



NOTICE OF PENDING ACTION

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NOTICE OF PENDING ACTION

An application for the project described on this notice has been filed and a decision about the project will soon be made by Planning Department staff. Any member of the public may submit comments on the proposal prior to the deadline listed on the reverse side of this notice. The project plans may be viewed on the Planning Department website (<http://www.sccoplanning.com> under Pending Public Notice Projects). The webpage may also be used to track the project decision date, which initiates an appeal period.

Any aggrieved person, or the applicant, may appeal the ultimate decision on this project by submitting a written request within 14 calendar days of the decision date and paying an appeal fee. Please be aware that, while an **anticipated** decision date has been identified for purposes of this notice, the **actual** decision date initiating the appeal period will be posted on the web address described above. Information regarding the appeal process or fees may be obtained by phoning (831) 454-2130.

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application.
The identified planner may be contacted for specific information on this application.

APPLICATION NUMBER: 221338 **APN:** 105-371-21
SITUS: 525 Ranchitos Del Sol, Aptos, 95003

Proposal to demolish and reconstruct an existing fire-damaged, single story single-family dwelling, including a 468 square foot addition to the dwelling and conversion of 220 square feet of the existing dwelling to a Junior ADU. Requires a minor exception to the site standard for lot coverage of 10% to 11.3%. Property is on the northwest side of Ranchitos Del Sol (525 Ranchitos Del Sol), approximately 526 feet northeast of Calle Del Sol in the Aptos Hill Planning Area.

OWNER: Henry and Maria Montes
APPLICANT: Mike Tinsley
SUPERVISORIAL DISTRICT: 2
PLANNER: Victoria Miller, (831) 454-2757
EMAIL: Victoria.Miller@santacruzcounty.us

Public comments must be received by 5:00 p.m. January 5, 2023.
A decision will be made on or shortly after January 6, 2023.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. Planner will provide notification of decision to any requesting party.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

NEW RESIDENCE FOR

MONTES RESIDENCE

525 RANCHITOS DEL SOL
APTOS, CALIFORNIA 95003

FIRE NOTES

AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IS REQUIRED PER CRC SEC. 313.2. THE OWNERS, OCCUPANTS, CONTRACTORS, OR SUB-CONTRACTORS ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW FOR THEIR APPROVAL PRIOR TO BEGINNING THEIR WORK. CRC SEC 312.2 IS ADOPTED AND AMENDED BY STGMC.

CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE C.F.C. CHP. 33 AND SANTA CLARA COUNTY FIRE DEPARTMENT SPECIFICATION SI-7.

THIS PROJECT IS LOCATED WITHIN THE DESIGNATED WILDLAND-URBAN INTERFACE FIRE AREA. THE BUILDING CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF CALIFORNIA BUILDING CODE (CBC) CHP 7A. NOTE THAT VEGETATION CLEARANCE SHALL BE IN COMPLIANCE WITH CBC SECT. 701A.3.2.4 PRIOR TO PROJECT FINAL APPROVAL.

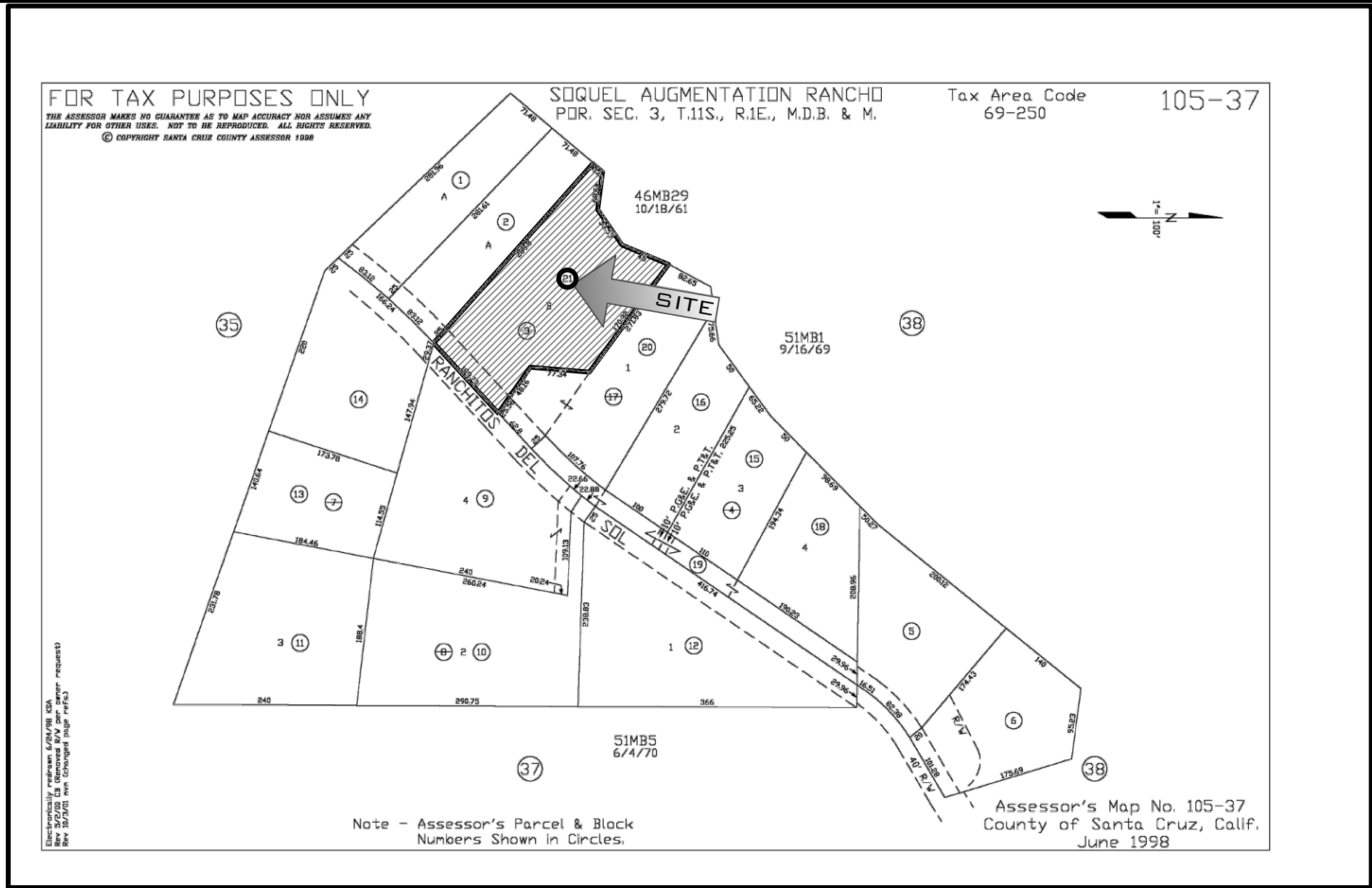
ALL NEW WINDOWS SHALL HAVE ONE PANE OF TEMPERED GLAZING PER CBC CHP. 7A

ALL NEW ROOF VENTS SHALL COMPLY WITH CBC CHP 7A

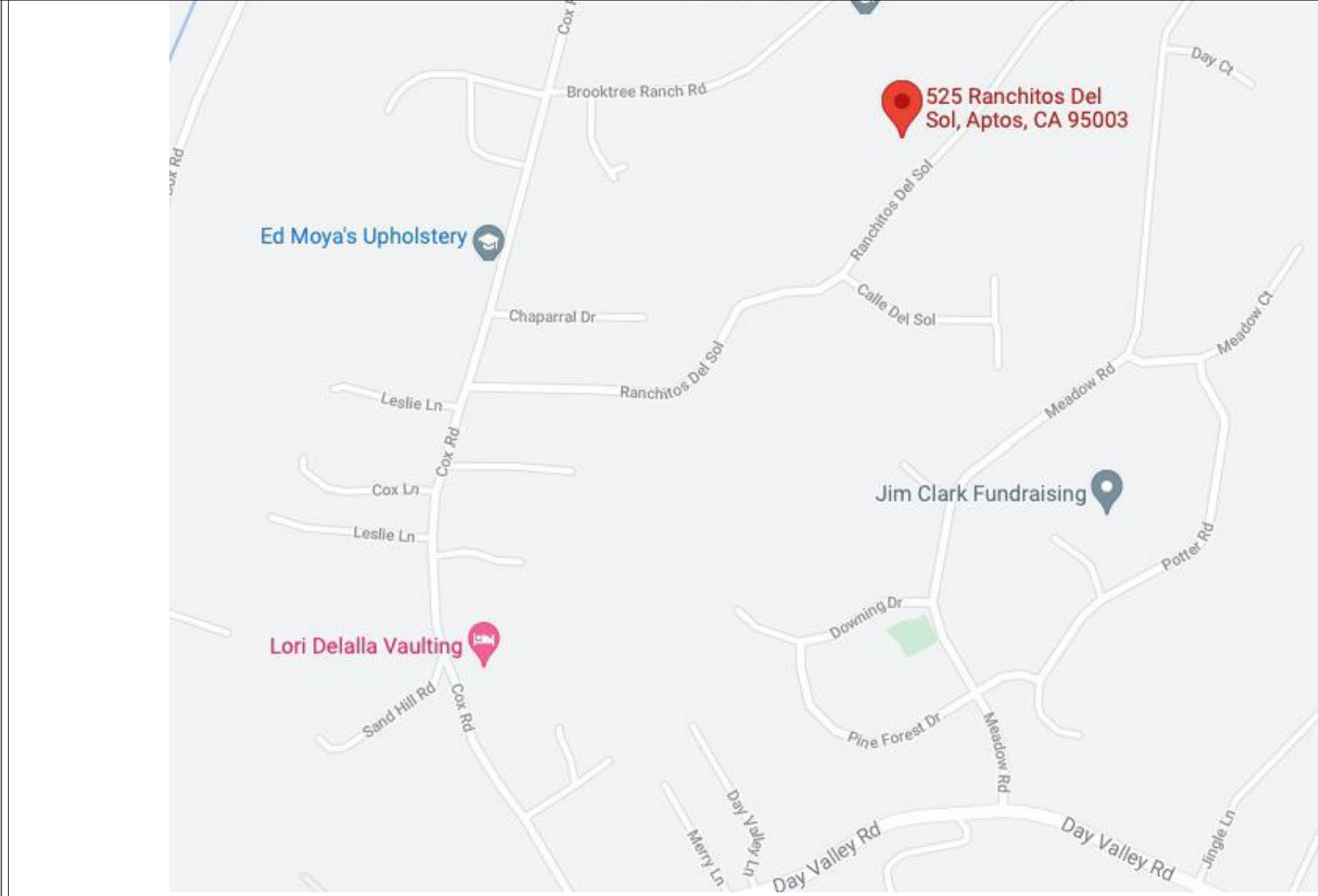
POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD.

PROVIDE ADDRESS NUMBERS IN A POSITION THAT IS PLAINLY VISIBLE FROM STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY ADDRESS RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS. NUMBERS SHALL BE A MIN. OF 4" HIGH WITH A MIN. STROKE WIDTH OF 0.5". ADDRESS NUMBERS SHALL BE MAINTAINED, CFC505.1.

PARCEL MAP



VICINITY MAP



PROPERTY OWNER

HENRY MONTES
525 RANCHITOS DEL SOL
APTOS, CA. 95003

CONSULTANTS

ARCHITECT: MICHAEL TINSLEY, ARCHITECT
4159 PEARSON COURT
CAPITOLA, CA 95010
PH: (408) 705-6763

STRUCTURAL ENGINEER: REDWOOD ENGINEERING
LEONARD WILLIS
1535 SEABRIGHT AVE. #200
SANTA CRUZ, CA 95062
PH: (831) 426-8444

ENERGY CALCULATIONS: LINDA BUTLER, CEPE
124 OTIS ST.
SANTA CRUZ, CA 95060
PH: (831) 345-1028

SUPPORTING DOCUMENTS: STRUCTURAL CALCULATIONS

DEFERRED SUBMITTALS: TRUSS CALCULATIONS
PHOTOVOLTAIC SYSTEM DESIGN & DOCUMENTATION

REPAIR FIRE DAMAGED HOME. REMOVE ALL FIRE DAMAGED FRAMING AND MATERIAL. REUSE EXISTING FOUNDATION AND FOOTINGS, 468 sq.ft. SINGLE STORY ADDITION TO EXISTING 2,628 sq.ft. RESIDENCE, INCLUDING 220 sq.ft. CONVERSION JADU, AND MINOR EXCEPTION REQUEST FOR 11.3% LOT COVERAGE

APPLICABLE CODES: THESE PLANS CONFORM TO THE:
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRIC CODE
2019 CALIFORNIA GREEN STANDARDS
2019 CALIFORNIA ENERGY STANDARDS
SANTA CRUZ COUNTY AMENDMENTS

JOB COPIES OF THE BUILDING AND FIRE SYSTEMS PLANS AND PERMITS MUST BE ON-SITE DURING INSPECTIONS

PROJECT INFORMATION

ADDRESS: 525 RANCHITOS DEL SOL
APTOS, CA. 95003

PARCEL NUMBER: 10537121

ZONING: RA

TYPE CONSTRUCTION: V-B

OCCUPANCY: R3 / U

PARKING: 3 UNCOVERED

FIRE ZONE: SRA - MODERATE

LOT AREA: 35,414 SQ. FT.
(81.3% OF MIN. LOT SIZE FOR RA ZONE)

REQUIRED SETBACKS:
FRONT: 40'-0"
SIDES: 20'-0"
REAR: 20'-0"

MAX. HEIGHT: 28'-0"

EXISTING LOT COVERAGE

CALCULATED PER "RA" ZONE

RESIDENCE:	2,628 SQ.FT.
GARAGE:	1,138 SQ.FT.
CARPORT:	720 SQ.FT.
COVERED PATION (AT POOL):	360 SQ.FT.
GROUND PHOTOVOLTAIC PANELS:	495 SQ.FT.
TOTAL LOT COVERAGE	5,341 SQ.FT. (15.1%)

LOT COVERAGE ALLOWED: 3,541 SQ.FT.
35,414 X .10

PROPOSED LOT COVERAGE

CALCULATED PER "RA" ZONE

RESIDENCE:	2,876 SQ.FT.
JUNIOR ADU <DOES NOT COUNT>:	<220> SQ.FT.
(E) GARAGE:	1,138 SQ.FT.
TOTAL LOT COVERAGE:	4,014 SQ.FT. (11.3%)

PROPOSED DEVELOPMENT REDUCES LOT COVERAGE
1,327 SQ.FT. (3.7% OF LOT AREA)

MINOR EXCEPTION REQUEST: 4,014 SQ.FT. (11.3%)
MAX. REQUEST ALLOWED: 3,541 + 15% = 4,041 SQ.FT.

DESIGN DATA

HABITABLE FLOOR AREA:	3,096 SQ. FT.
BUILDING HEIGHT:	20'-9 1/2"
HEATED FLOOR AREA:	3,096 SQ. FT.
UNHEATED FLOOR AREA:	0 SQ.FT.
PATIO > 18" ABOVE GRADE:	N/A
PORCH AREA: AREA WITHIN 3'-0" OF WALL DOES NOT COUNT. 140 SQ.FT. PER SIDE DOES NOT COUNT	0 SQ.FT.

FLOOR AREA

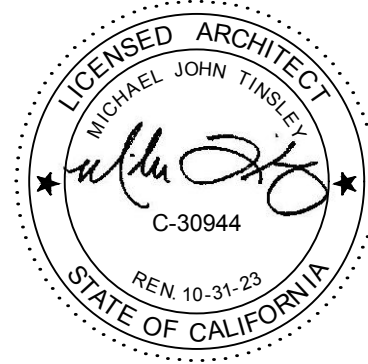
HEATED AREA:	3,096 SQ.FT.
FRONT PORCH:	61 SQ.FT.
FAMILY ROOM PORCH:	184 SQ.FT.
(E) GARAGE:	1,138 SQ.FT.

SHEET INDEX

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A1.1	SITE PLAN
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A3.0	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
A4.0	SECTIONS
A4.1	SECTIONS



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Capitola, California 95010
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DISCRETIONARY APPLICATION SET

NO.	DATE	REVISION

PROPOSED REMODEL:

THE MONTES RESIDENCE

525 RANCHITOS DEL SOL
APTOS, CA. 95003

A.P.N. 10537121

SHEET TITLE:

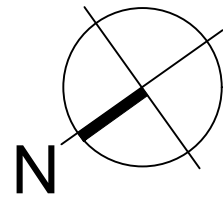
COVER SHEET

ISSUE DATE: 10/21/2022

SCALE: AS NOTED

AA1

RANCHITOS DEL SOL



EXISTING SITE PLAN

1/16" = 1'-0"

SITE PLAN NOTES

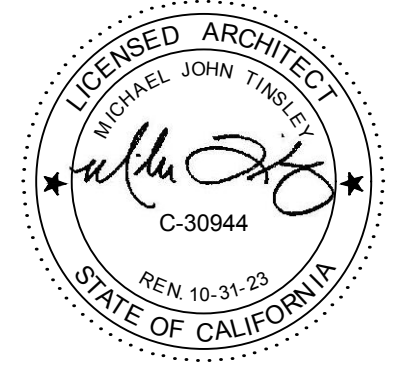
1. NO EXISTING DRAINAGE ISSUES HAVE BEEN OBSERVED AT OR NEAR THE SITE. NO ISSUES OR ADVERSE IMPACTS TO NEIGHBORING PROPERTIES, ROADWAYS, DRAINAGE PATHWAYS ARE ANTICIPATED RESULTING FROM THE PROPOSED IMPROVEMENTS.

SHEET NOTES

- 1 (E) ASPHALT DRIVEWAY
- 2 (E) RETAINING WALL
- 3 (E) LANDSCAPE AREA
- 4 NOT USED
- 5 (E) CONC. PATIO
- 6 FOOTPRINT OF (E) SINGLE STORY RESIDENCE
- 7 NOT USED
- 8 (E) POOL
- 9 (E) GARAGE
- 10 (E) WOOD FENCE
- 11 ELECTRICAL METER
- 12 (E) 1500 GAL. SEPTIC TANK
- 13 (E) 65'-0" x 1'-6" x 9'-0" DEEP =1200 sq.ft. LEACH FIELD
- 14 1,200 sq.ft. EXPANSION AREA
- 15 (E) CARPORT TO BE REMOVED
- 16 (E) AREA DRAIN TO REMAIN
- 17 (E) DRAINAGE DISCHARGE AT BASE OF RETAINING WALL TO REMAIN
- 18 NOT USED
- 19 NOT USED
- 20 NOT USED
- 21 8'-6" x 18'-0" PARKING SPACE, TYP. OF (3)
- 22 NOT USED
- 23 NOT USED
- 24 (E) TRELLIS TO BE REMOVED
- 25 (E) PHOTOVOLTAIC ARRAY TO BE RELOCATED TO ROOF
- 26 (N) CONVERSION JADU



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SHEET TITLE:

EXISTING
SITE PLAN

ISSUE DATE: 10/21/2022

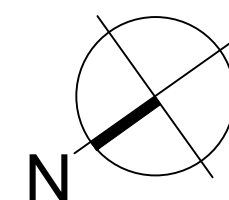
SCALE: AS NOTED

A1.0

SITE PLAN NOTES

SHEET NOTES

-
- The site plan illustrates a residential property with a single-story residence and an adjacent garage. The residence is a large, irregularly shaped building with a central entrance and several windows. The garage is a smaller, rectangular structure attached to the side of the residence. The plan includes various setbacks and dimensions:
- Front Yard Setback:** 40'-0"
 - Side Yard Setback:** 20'-0"
 - Rear Yard Setback:** 20'-0"
 - Lot Dimensions:** 189.73' (width), 255.95' (depth), 77.34' (depth), 170.32' (depth), 45.00' (depth), 53.53' (depth), 49.89' (depth), 4.12' (depth).
 - Callouts:** 1-27, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27.
 - Other Features:** A driveway, a parking area, and a small circular feature (possibly a well or a small pond).



SITE PLAN

NO.	DATE	REVISION

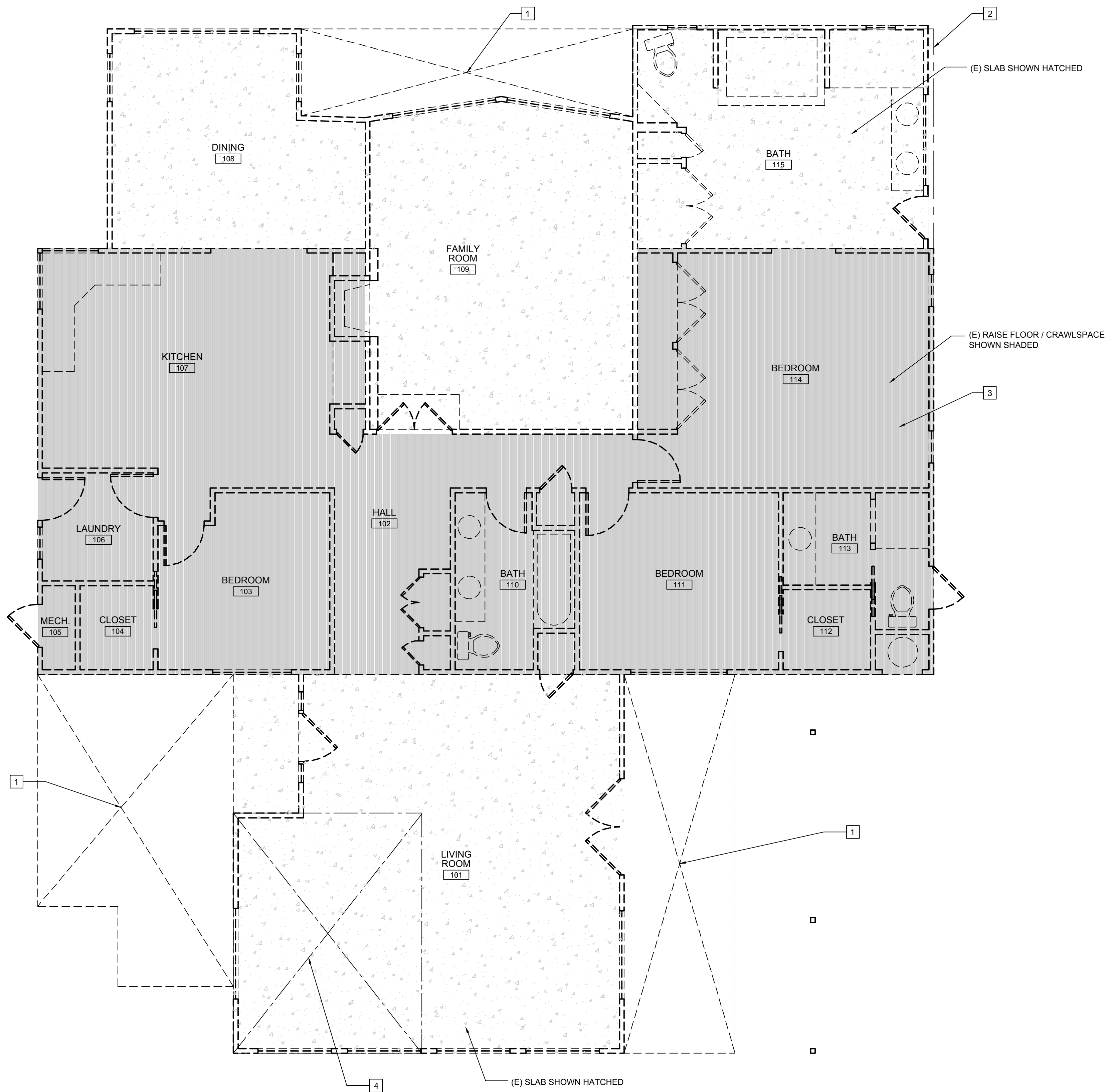
SHEET TITLE:

SITE PLAN

SCALE: AS NOTED

A1.1

NOTE: (E) FIRE DAMAGED BUILDING TO BE DEMOLISHED. (E) FOUNDATION TO REMAIN



DEMOLITION PLAN NOTES

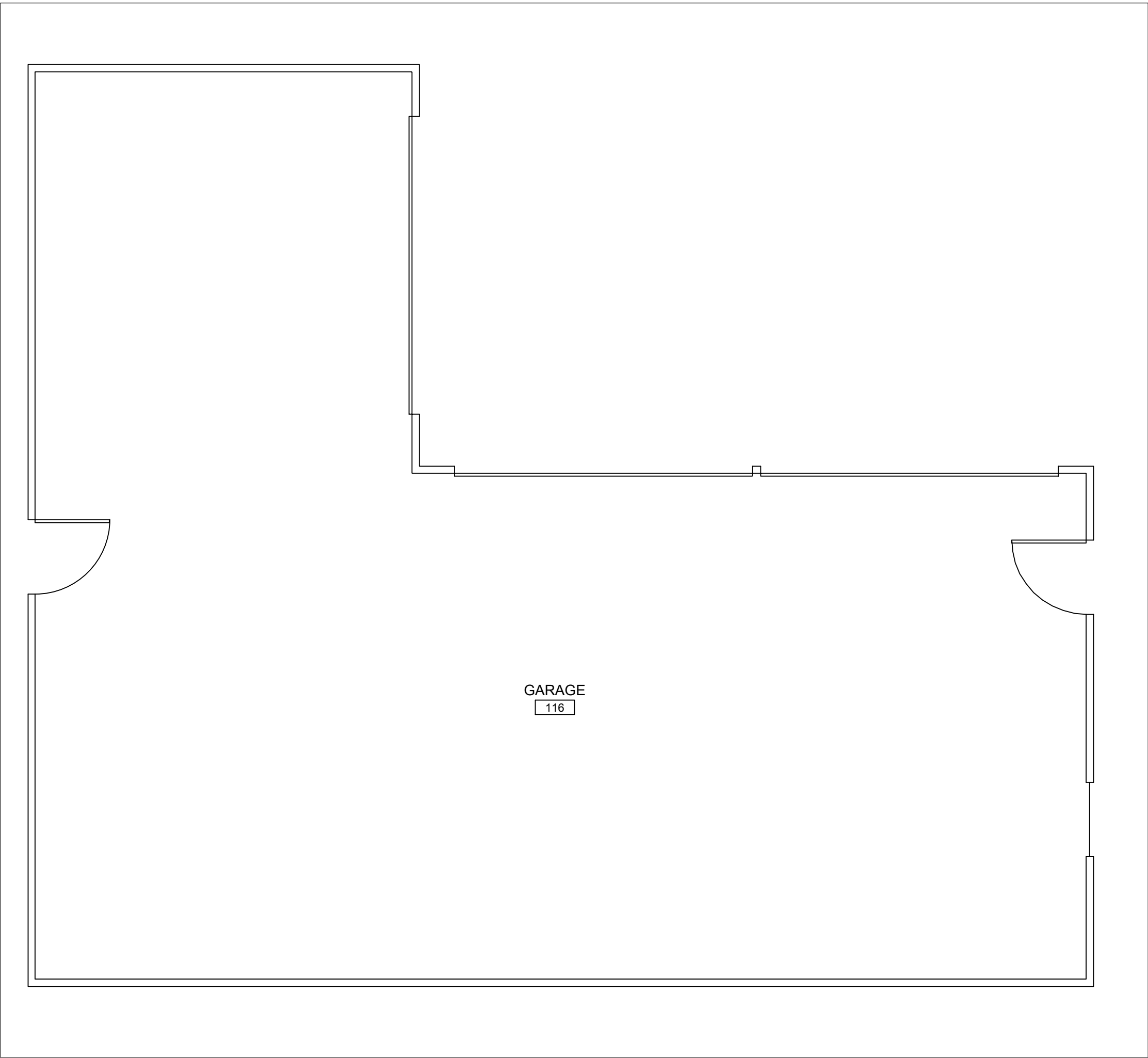
- DEMOLITION PLAN IS PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL CAREFULLY COORDINATE DEMOLITION & REMOVAL WITH NOTES & DIMENSIONS INDICATING THE EXTENT & NATURE OF NEW CONSTRUCTION SHOWN ELSEWHERE IN THESE DOCUMENTS
- GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURELY SHORING IN PLACE ALL OVERHEAD STRUCTURES PRIOR TO REMOVAL OF ANY SUPPORTING STRUCTURES.
- CAP OFF ALL PLUMBING, GAS, AND ELECTRICAL LINES AS REQUIRED
- PREP (E) CONC CRETE SLABS FOR (N) LEVELING SLAB PER STRUCTURAL DRAWINGS
- PREP (E) RAISED FLOOR FOR (N) FILL AND CONCRETE SLAB, SEE STRUCTURAL DRAWINGS

SHEET NOTES

- REMOVE (E) CONC. PATIO, PREP FOR (N) CONC. SLAB, SEE STRUCTURAL DRAWINGS
- EXTENT OF (N) FOOTPRINT, SEE FLOOR PLAN A2.1
- REMOVE (E) FLOOR FRAMING
- (N) JADU LOCATION

LEGEND

- (E) CONSTRUCTION TO REMAIN
- (E) CONSTRUCTION TO BE REMOVED



EXISTING & DEMO FLOOR PLAN

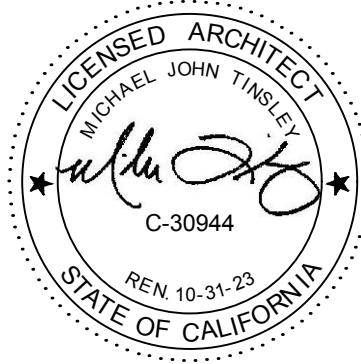
1/4" = 1'-0"

EXISTING GARAGE TO REMAIN

1/4" = 1'-0"



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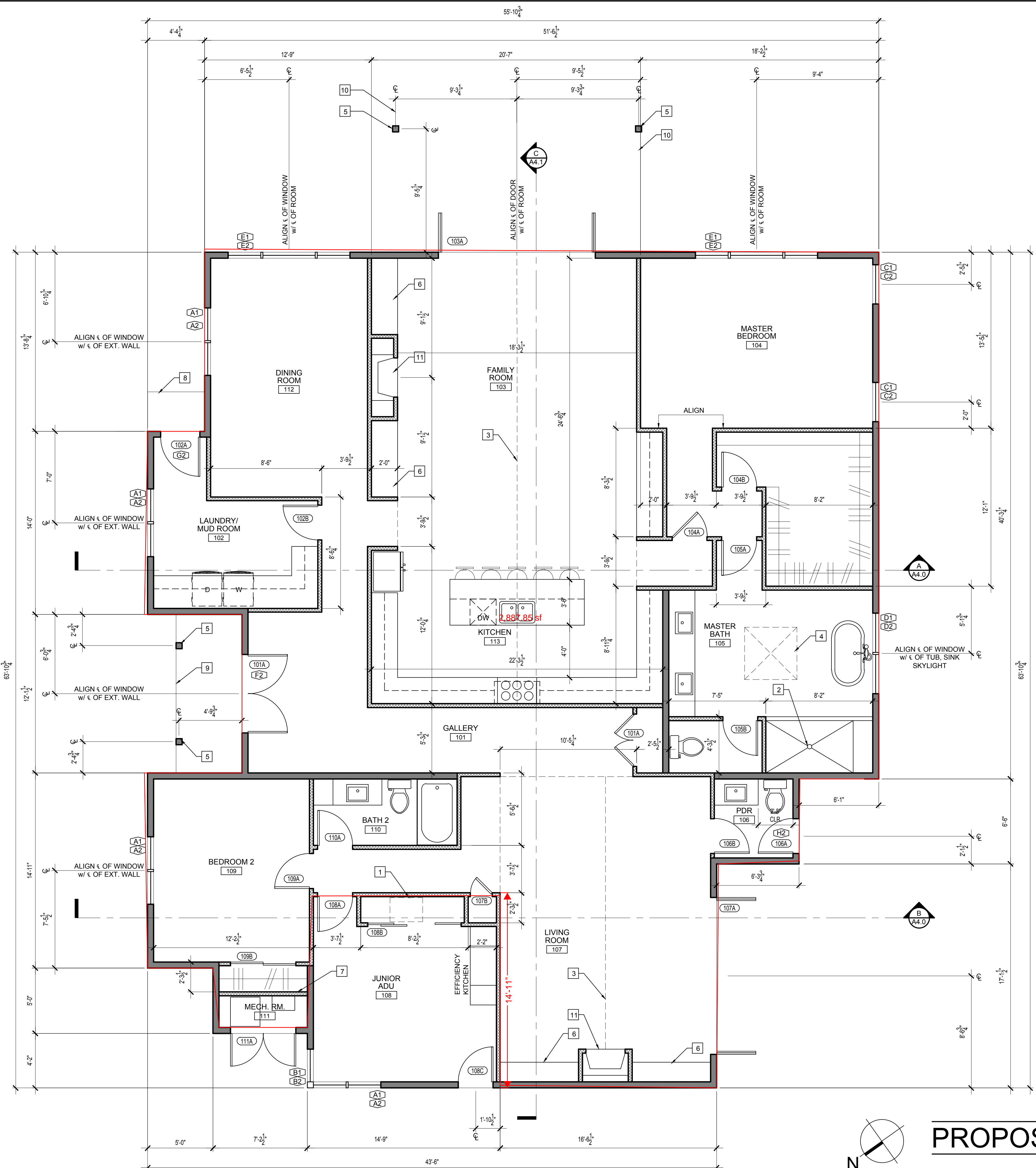
SHEET TITLE:

DEMOLITION FLOOR PLAN

ISSUE DATE: 10/21/2022

SCALE: AS NOTED

A2.0



FLOOR PLAN NOTES

- 1. COORDINATION: THE GENERAL CONTRACTOR AND EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF FIELD CONDITIONS PRIOR TO COMMENCEMENT OF ANY RELATED WORK. THE CONTRACTOR SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THIS OFFICE, OR THE OWNER.
- 2. DIMENSIONS SHOWN ARE TO FACE OF STUDS, OR CONCRETE, UNLESS NOTED OTHERWISE
- 3. PROVIDE MIN. 3'-0" LANDINGS OUTSIDE ALL EXTERIOR DOORS PER C.B.C. LANDINGS SHALL BE NOT MORE THAN 7'-3/4" BELOW INSIDE FINISHED FLOORS AT IN-SWING DOORS, AND 1'-1/2" OUTSWING DOORS
- 4. OPENINGS AROUND GAS VENTS, DUCTS, PIPES, CHIMNEYS, AND FIREPLACES SHALL BE FIRE-BLOCKED WITH NON-COMBUSTIBLE MATERIALS PER C.B.C.
- 5. TUB / SHOWER WALLS TO HAVE A SMOOTH, NON-ABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO HEIGHT OF 70" ABOVE THE DRAIN INLET, PER C.B.C.
- 6. PROVIDE FULLY TEMPERED, LAMINATED SAFETY GLASS FOR TUB / SHOWER ENCLOSURE.
- 7. ALL INTERIOR FINISHES, FIXTURES, APPLIANCES, AND EQUIPMENT TO BE SELECTED AND APPROVED BY THE OWNER PRIOR TO INSTALLATION.

SHEET NOTES

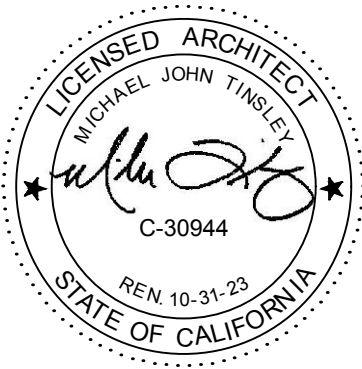
- 1 22"X30" FULLY WEATHERSTRIPPED ATTIC ACCESS ABOVE
- 2 TEMP. GLASS ENCLOSURE w/ MIN. 22" MIN. OPENING: 1024 SQ. IN. (MIN) INTERIOR CAPABLE OF ENCOMPASSING A 30" DIA. CIRCLE.
- 3 VAULTED CEILING ABOVE
- 4 SKYLIGHT ABOVE, SEE ROOF PLAN A2.3
- 5 4X4 POST WRAPPED w/ 2X, SEE EXTERIOR ELEVATIONS A3.0
- 6 BUILT-IN SHELVING PER OWNER
- 7 CLOSED CELL SPRAY FOAM INSULATION BETWEEN BEDROOM 109 & MECH. RM. 111
- 8 36" (min.) WIDE CONCRETE LANDING, SLOPE 1/8" : 12" AWAY FROM STRUCTURE
- 9 CONCRETE PORCH, SLOPE 1/8" : 12" AWAY FROM STRUCTURE
- 10 ALIGN CENTERLINE OF POST w/ CENTERLINE OF INTERIOR WALL.
- 11 DIRECT VENT FIREPLACE IN COMPLIANCE w/ ANSI Z21.88/CSA 2.33

PROPOSED FLOOR PLAN

1/4" = 1'-0"



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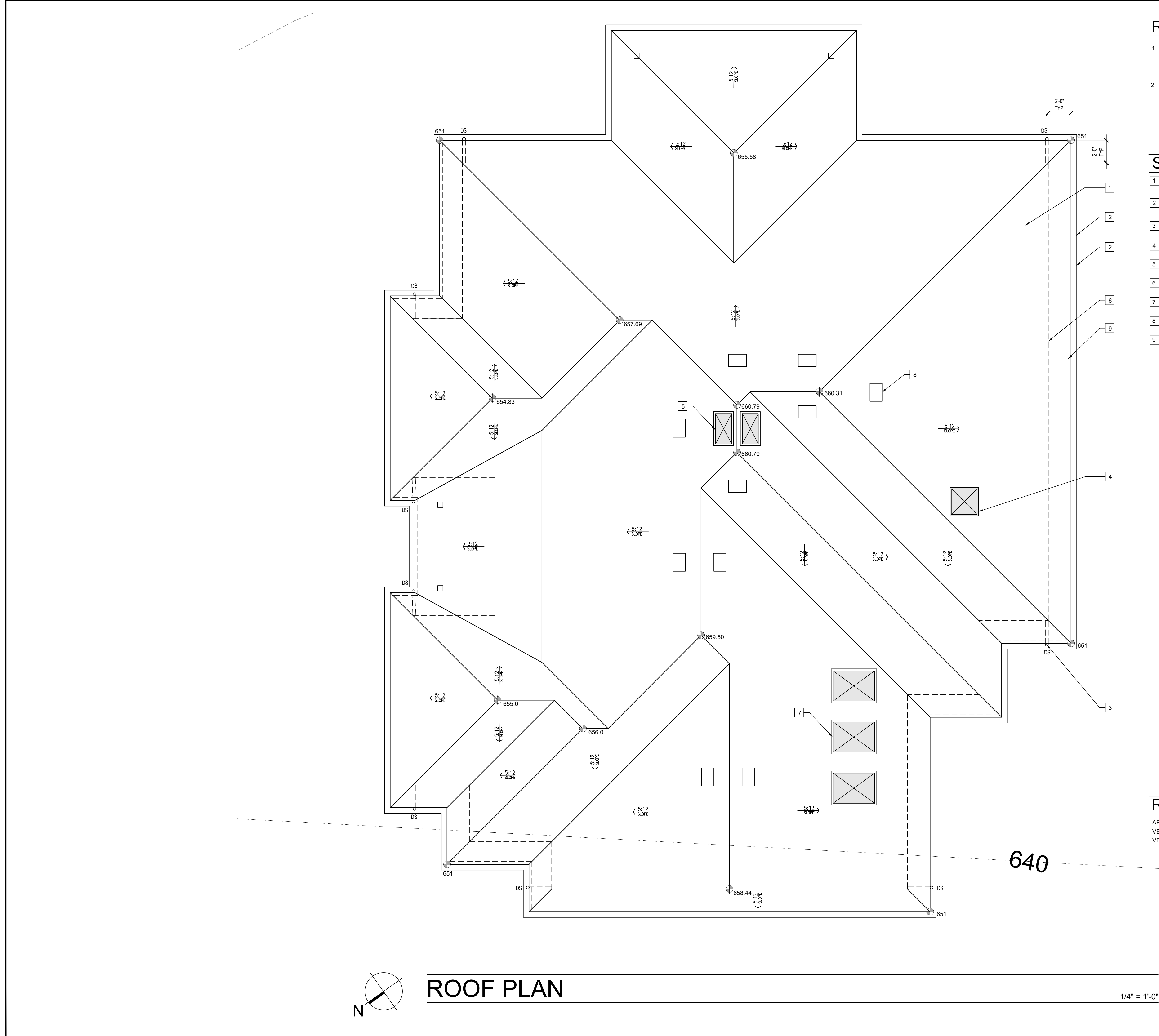
SHEET TITLE:

FLOOR PLAN

ISSUE DATE: 10/21/2022

SCALE: AS NOTED

A2.1



ROOF PLAN NOTES

- 1 VALLEY FLASHING SURFACES SHALL NOT BE LESS THAN 26 GA. GALVANIZED SHEET CORROSION RESISTANT METAL INSTALLED OVER NOT LESS THAN (1) LAYER MION 72-POUND MINERAL-SURFACED NON-PERFORATED CAP SHEET, AT LEAST 36" WIDE RUNNING THE FULL LENGTH OF THE VALLEY
- 2 ALL SKYLIGHTS TO HAVE A MIN. ONE PANE TEMPERED, OR PERFORMANCE TESTED PER SFM STANDARD 12-7A-2

SHEET NOTES

- 1 CLASS 'A' ASPHALTIC SHINGLES, CERTAINTED 'LANDMARK TL' α/ 30# ROOF FELT. INSTALL PER MANUFACTURER'S INSTRUCTIONS
- 2 G.S.M. GUTTER W/ DEBRIS GUARD
- 3 G.S.M. DOWNSPOUT, CONNECT TO (E) UNDERGROUND DRAINAGE SYSTEM
- 4 FIXED SKYLIGHT BY VELUX, 30"x30" M02
- 5 FIXED SKYLIGHT BY VELUX, 21"x38" C04
- 6 OUTLINE OF BUILDING BELOW
- 7 FIXED SKYLIGHT BY VELUX, 44"x46" S06
- 8 VULCAN ROOF VENT 'VG148', TYP. OF (10). FIRE MARSHALL LISTING: 8165-2192:0503
- 9 VULCAN EAVE VENT 'VSC25120', FIRE MARSHALL LISTING: 8165-2192:0501

ROOF VENTILATION CALCULATION

AREA TO BE VENTED:	3,096 SQ. FT.
VENTILATION REQUIRED:	3096 / 150 = 20.64sq.ft. = 2972sq.in.
VENTILATION PROVIDED:	CONT. EAVE VENT: 9.6 sq.in. / l.f. 9.6(260) = 2496sq.in.
	ROOF VENT: 52 sq.in. 10 VENTS(52) = 520sq.in.
	2496 sq.in. 520 sq.in. 3016 sq.in.
TOTAL VENT:	

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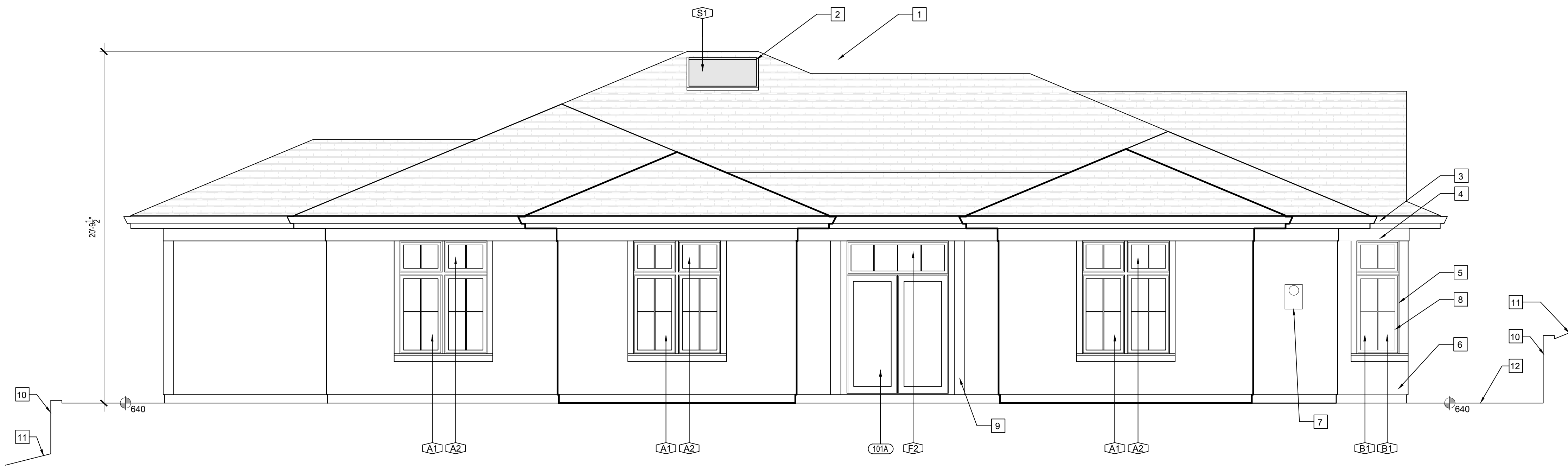
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ROOF PLAN

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A2.3

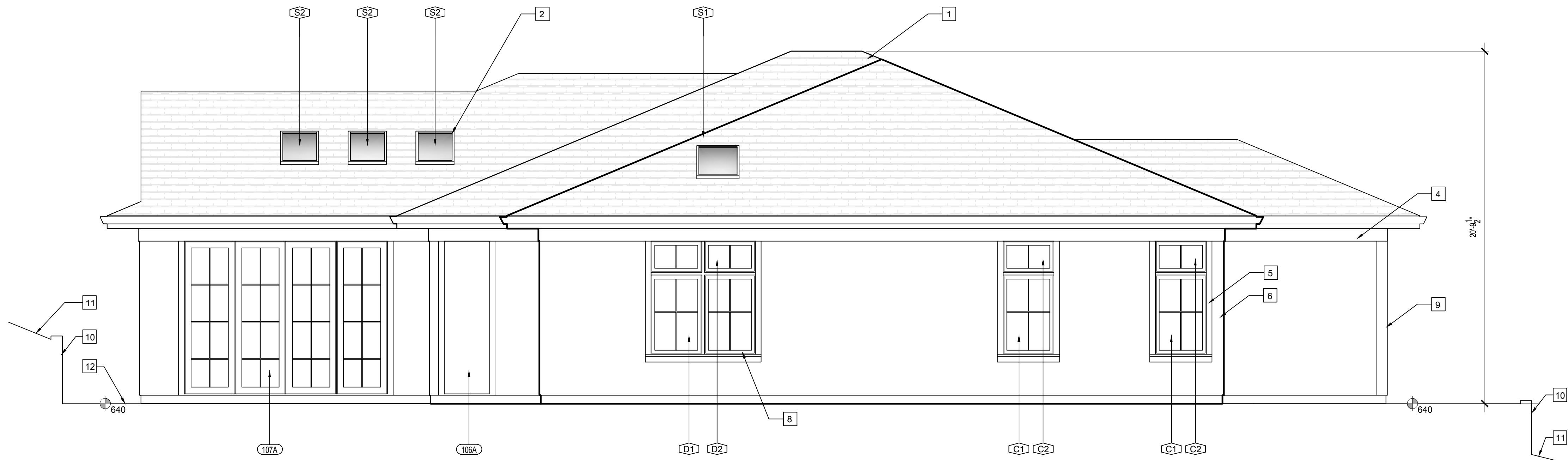


WEST ELEVATION

1/4" = 1'-0"

SHEET NOTES

- 1 CLASS 'A' ASPHALTIC SHINGLES. CERTAINTED 'LANDMARK TL' w/ 30# ROOF FELT. INSTALL PER MANUFACTURER'S INSTRUCTIONS
- 2 FIXED SKYLIGHT, BY VELUX, SEE ROOF PLAN
- 3 G.S.M. GUTTER
- 4 2x10 TRIM, PAINT
- 5 2x4 TRIM, PAINT
- 6 CEMENT PLASTER SMOOTH SAND FLOAT FINISH, PAINT, $\frac{7}{8}$ " MIN. THICKNESS IN (3) COATS w/ (2) LAYERS GRADE 'D' PAPER
- 7 APPROVED 200 AMP ELECTRICAL COMBINATION METER / PANEL WITH BREAKERS AS PER PG&E STANDARDS AND ALL APPLICABLE CODES
- 8 ALUMINUM CLAD WOOD WINDOW, SEE WINDOW SCHEDULE
- 9 1x WOOD CLAD 6X6 POST
- 10 (E) RETAINING WALL TO REMAIN
- 11 (E) GRADE
- 12 (E) CONC. WALKWAY



EAST ELEVATION

1/4" = 1'-0"



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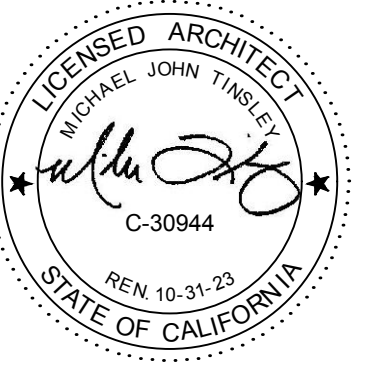
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A.P.N. 10537121

SHEET TITLE:
ELEVATIONS

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SCALE: AS NOTED

A3.0



- 1 CLASS 'A' ASPHALTIC SHINGLES. CERTAINTED 'LANDMARK TL' or 30# ROOF FELT. INSTALL PER MANUFACTURER'S INSTRUCTIONS
- 2 FIXED SKYLIGHT, BY VELUX, SEE ROOF PLAN
- 3 G.S.M. GUTTER
- 4 2x10 TRIM, PAINT
- 5 2x4 TRIM, PAINT
- 6 CEMENT PLASTER SMOOTH SAND FLOAT FINISH, PAINT, $\frac{3}{8}$ " MIN. THICKNESS IN (3) COATS or (2) LAYERS GRADE 'D' PAPER
- 7 APPROVED 200 AMP ELECTRICAL COMBINATION METER / PANEL WITH BREAKERS AS PER PG&E STANDARDS AND ALL APPLICABLE CODES
- 8 ALUMINUM CLAD WOOD WINDOW, SEE WINDOW SCHEDULE
- 9 1x WOOD CLAD 6X8 POST


$$1/4" = 1'-0"$$

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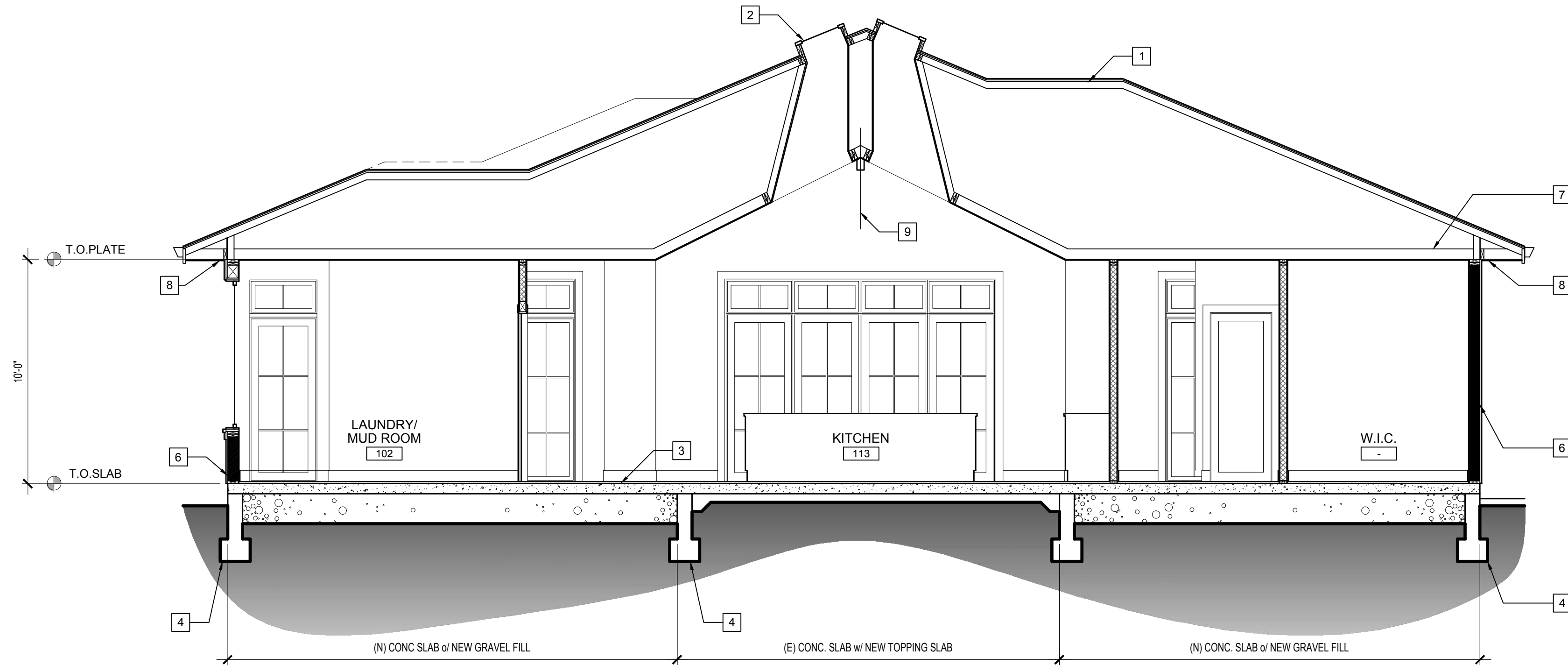
SHEET TITLE:

ELEVATIONS

ISSUE DATE: 10/21/2022

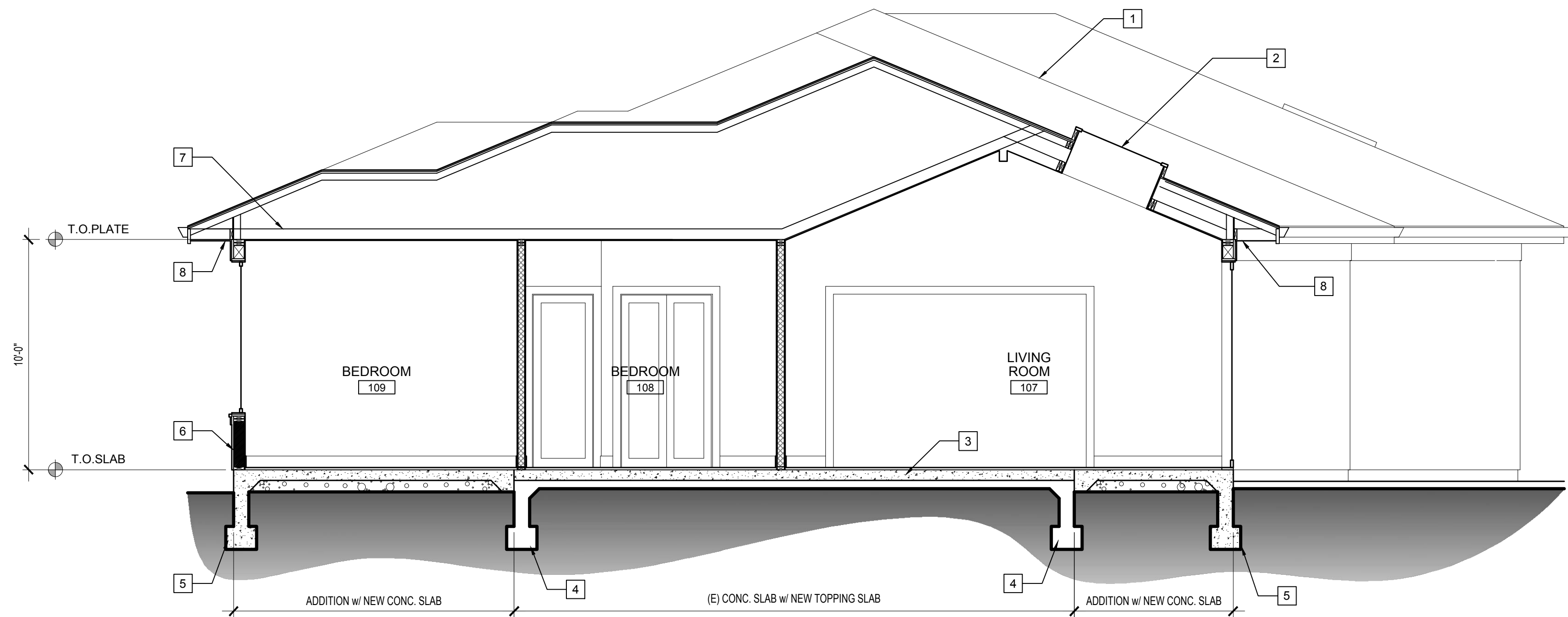
SCALE: AS NOTED

A3.1



A SECTION

1/4" = 1'-0"



B SECTION

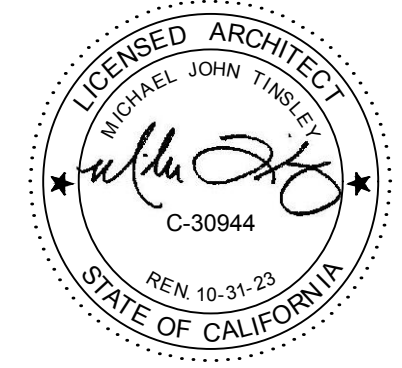
1/4" = 1'-0"

SHEET NOTES

- 1 ROOF TRUSSES, SEE STRUCT. DWGS.
- 2 FIXED SKYLIGHT, BY VELUX, SEE ROOF PLAN
- 3 (N) GYP CRETE LEVELING SLAB w/ 6 MIL POLYETHYLENE VAPOR BARRIER, SEE STRUCT. DWGS.
- 4 (E) CONC. FOOTING TO REMAIN
- 5 (N) CONC. FOOTING, SEE STRUCT. DWGS.
- 6 2X6 WALL w/ R21 INSULATION PER ENERGY CALCS.
- 7 R31 INSULATION PER ENERGY CALCS.
- 8 VULCAN EAVE VENT "VSC25120", FIRE MARSHALL LISTING: 8165-2192:0501
- 9 SKYLIGHT SHAFTS TO ALIGN WITH INTERIOR RIDGE



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DISCRETIONARY
APPLICATION
SET

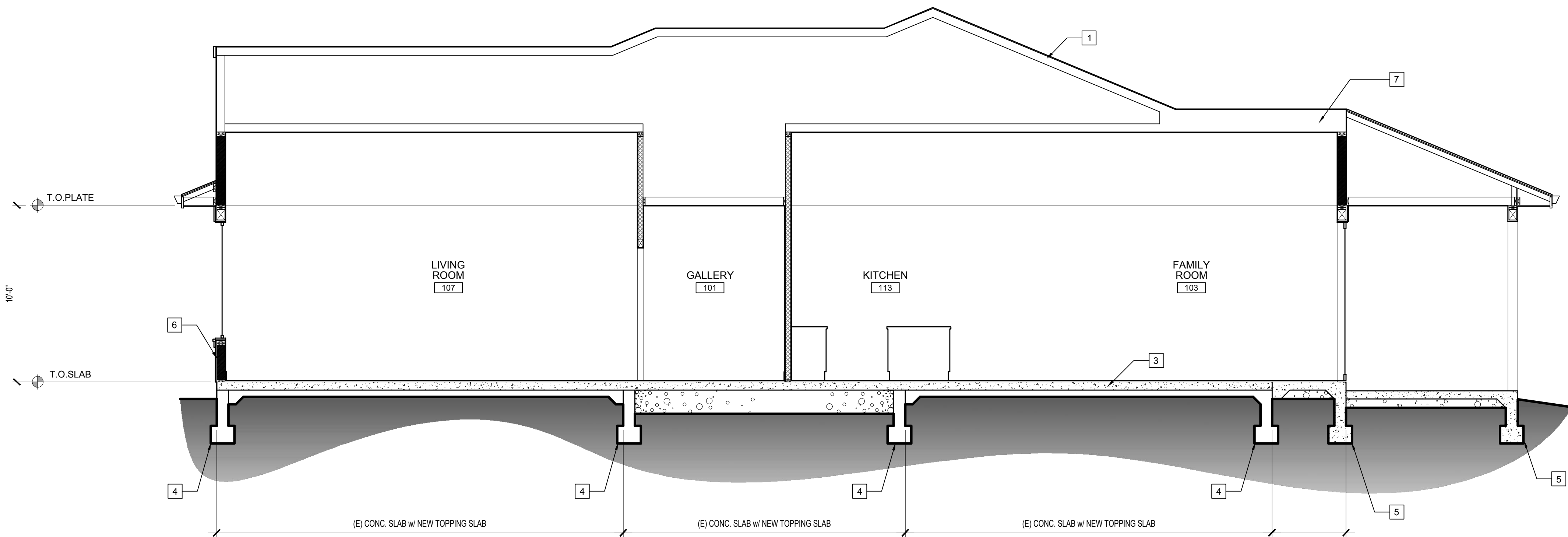
NO.	DATE	REVISION

PROPOSED REMODEL:
**THE
MONTES
RESIDENCE**
525 RANCHITOS DEL SOL
APTOS, CA. 95003
A.P.N. 10537121

SHEET TITLE:
SECTIONS

ISSUE DATE: 10/21/2022
SCALE: AS NOTED

A4.0

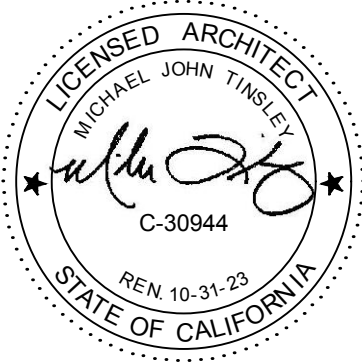


SHEET NOTES

- 1 ROOF TRUSSES, SEE STRUCT. DWGS.
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A4.1