



NOTICE OF PENDING ACTION

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An application for the project described on this notice has been filed and a decision about the project will soon be made by Planning Department staff. Any member of the public may submit comments on the proposal prior to the deadline listed on the reverse side of this notice. The project plans may be viewed on the Planning Department website (<http://www.sccoplanning.com> under Pending Public Notice Projects). The webpage may also be used to track the project decision date, which initiates an appeal period. Any member of the public may request a public hearing be held for this item within 15 working days from the date the notice of pending action was sent. Failure to request a public hearing may result in the loss of the ability to appeal the County action on the application to the Coastal Commission.

Any aggrieved person, or the applicant, may appeal the ultimate decision on this project by submitting a written request within 14 calendar days of the decision date and paying an appeal fee. Please be aware that, while an anticipated decision date has been identified for purposes of this notice, the actual decision date initiating the appeal period will be posted on the web address described above. Information regarding the appeal process or fees may be obtained by phoning (831) 454-2130.

«APN»
«OWNER»
«STREET»
«CITY», «ZIP»

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATION NUMBER: 231116

APN: 052-281-28

SITUS ADDRESS: 23 Plover Circle, Watsonville, 95076

Proposal to build a 368 square foot addition at ground level to an existing 1577 square foot single family dwelling, resulting in a three-story structure with 2 bedrooms and 2 baths.

Requires a Coastal Development Permit.

Project is located in the San Andreas General Plan Area, within the Pajaro Dunes Special Subdivision in the Plover Circle cul de sac (23 Plover Circle).

OWNER: Thomas Batten

APPLICANT: Edan Asturi

SUPERVISORIAL DISTRICT: 2

PLANNER: Alexandra Corvello, (831) 454-3209

EMAIL: Alexandra.Corvello@santacruzcounty.us

Public comments must be received by 5:00 p.m. June 28, 2023

A decision will be made on or shortly after June 29, 2023.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. If you would like to request a public hearing be held for this item, please contact the project planner listed on this notice.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, contact the project planner identified above.

PLOVER CIRCLE REMODEL

PAJARO DUNES - CALIFORNIA

CONRAD
ASTURI
STUDIOS INC.

LINCOLN ST. 3 SE OF OCEAN #333
CARMEL-BY-THE-SEA, CA. 93921

phone: 831.622.9724
web: CONRADASTURI.COM

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PROJECT:

**PLOVER CIRCLE
REMODEL**

**23 PLOVER CIRCLE
WATSONVILLE, CA 95076
A.P.N. 052-281-28**

PLOVER CIRCLE
REMODEL
DESIGN DEVELOPMENT

TIMELINE

DATE	ISSUED FOR:
-	ARCH. DESIGN REVIEW
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

REVISIONS

REVISIONS
4-20-2023 PLANNING REVISIONS

PROJECT NO: 2203

DRAWN BY: STAFF

CHECKED BY: EA

DESCRIPTION:

COVER SHEET



SHEET:

T0.1

PRINTED: APRIL 21, 2023

A	ARTISAN	ELEC.	ELECTRICAL	H.B.	HOSE BIBB	P.L.	PROPERTY LINE
ABV	ABOVE	ELEV.	ELEVATION	H.C.	HOLLOW CORE	PLYWD.	PLYWOOD
A.F.F.	ABOVE FINISHED FLOOR	EQ.	EQUAL	H/C	HANDICAPPED	REF.	REFRIGERATOR
A.F.S.	ABOVE FINISHED SURFACE	EQUIP.	EQUIPMENT	HDWD.	HARDWOOD	REQ'D.	REQUIRED
ALT.	ALTERNATE	EXP.	EXPANSION	HR.	HOUR	R.O.	ROUGH OPENING
APPROX.	APPROXIMATE	EXT.	EXTERIOR	HT.	HEIGHT	SCHED.	SCHEDULE
ARCH.	ARCHITECTURAL	F.D.	FLOOR DRAIN	HTVAC	HEATING, VENTILATION AND AIR CONDITIONING	SHT.	SHEET
BLDG.	BUILDING	F.D.C.	FIRE DEPARTMENT CONNECTION	INT.	INTERIOR	SIM.	SIMILAR
BOT.	BOTTOM	FDN.	FOUNDATION	KIT.	KITCHEN	SPEC.	SPECIFICATION
C.J.	CONTROL JT.	F.F.	FINISH FLOOR	MAX.	MAXIMUM	SQ.	SQUARE
CLG.	CEILING	FIN.	FINISH FLOOR LINE	MECH.	MECHANICAL	S.S.	STAINLESS STEEL
CLR.	CLEAR	F.L.	FLOOR	MFR.	MANUFACTURER	STRUC.	STRUCTURAL
C.M.U.	CONCRETE MASONRY UNIT	FND.	FOUNDATION	MIN.	MINIMUM	TYP.	TYPICAL
CONC.	CONCRETE	FT.	FOOT OR FEET	MISC.	MISCELLANEOUS	W.C.	WATER CLOSET
CONT.	CONTINUOUS	FTG.	FOOTING	MTL.	METAL		
DET./DTL.	DETAIL	FURR.	FURRING	N.T.S.	NOT TO SCALE		
D.G.	DECOMPOSED GRANITE	GA.	GALVE	OH.	OVERHEAD		
DIA.	DIAMETER	GALV.	GALVINIZED				
DN.	DOWN	GR.	GRADE				
DS.	DOWNSPOUT	GYP.	GYPSUM				
(E)	EXISTING	GYP. BD.	GYPSUM BOARD				
EA.	EACH						
E.J.	EXPANSION JOINT						
ELEV.	ELEVATION						

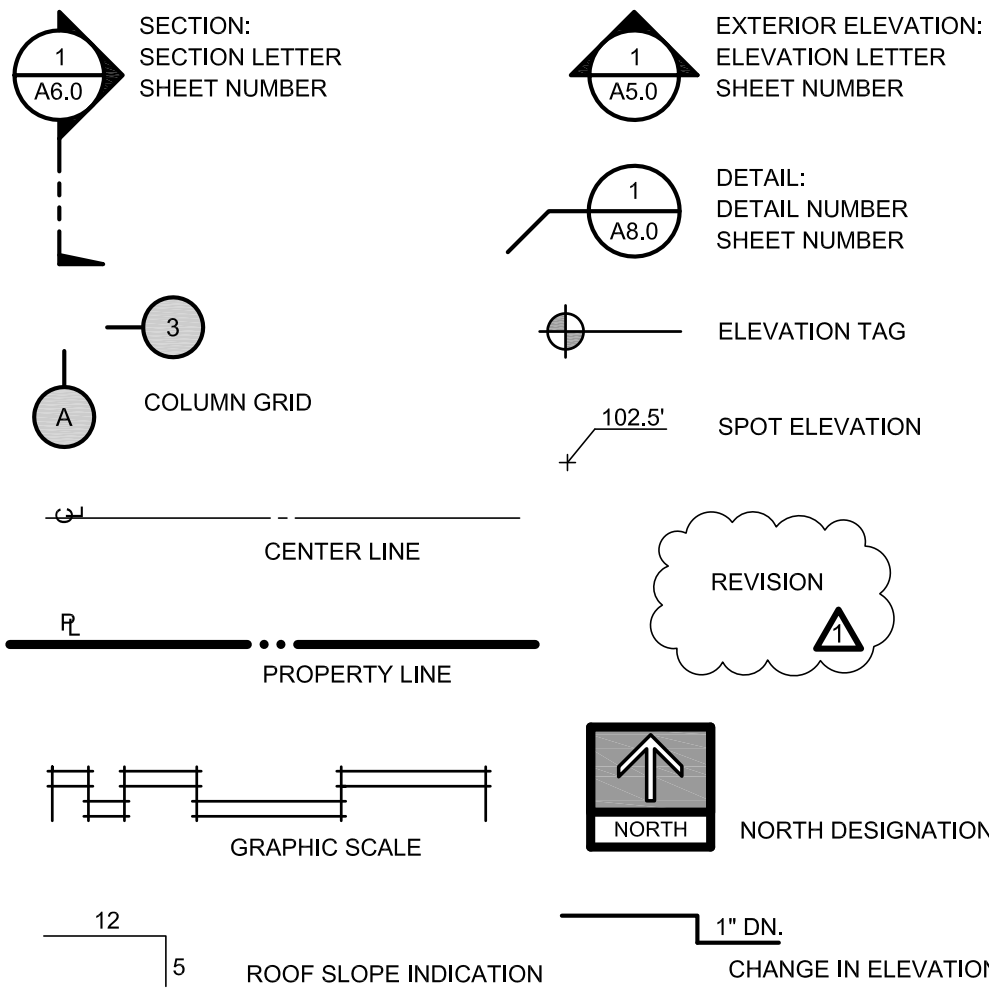
NOTE: CLARIFY WITH DESIGNER ALL ABBREVIATIONS NOT LISTED.

ABBREVIATIONS

OWNER:TOM BATTEN & ANDREA CONROY
23 PLOVER CIRCLE
WATSONVILLE, CA. 95076

ARCHITECT:CONRAD ASTURI STUDIOS, INC.
LINCOLN ST. 3SE OF OCEAN #333
CARMEL-BY-THE-SEA, CA 93921
831-622-9724
CONTACT: EDAN ASTURI

STRUCTURAL ENGINEER:MOZAFFARI ENGINEERING
1504 F STREET
MODESTO, CA 95354
209-572-4430



ARCHITECTURAL SYMBOLS

PROJECT LOCATION:23 PLOVER CIRCLE
WATSONVILLE, CA. 95076
A.P.N. APN: 052-281-28
PROJECT FILE NUMBER 2203
LOT SIZE:0.3 ACRES (13,247 SQ.FT.)
ZONING:SU
BUILDING TYPE:SFD
OCCUPANCY:R3/U
CONSTRUCTION TYPE:VB
MAIN STRUCTURE SETBACKS:(E) BUILDING ENVELOPE
ACTS AS SETBACK
TREE REMOVAL:NONE
FIRE SPRINKLERS:NO
PROPOSED CUT / FILL:NONE
PROPOSED RETAINING WALLS:NONE
REQUIRED PARKING:EXISTING ON-STREET
PARKING
SEWER PROVIDER:CITY OF WATSONVILLE
WATER PROVIDER:CITY OF WATSONVILLE
ELECTRICAL SERVICE PROVIDER:PG&E

EXISTING FLOOR AREA	
1ST FLOOR (CONDITIONED):	135 SQFT.
2ND FLOOR (CONDITIONED):	445 SQFT.
3RD FLOOR (CONDITIONED):	997 SQFT.
TOTAL RESIDENCE (CONDITIONED):	1577 SQFT.
DETACHED STORAGE:	49 SQFT.
TOTAL FLOOR AREA:	1626 SQFT. (12.3%)
TOTAL LOT AREA:	13247 SQFT.

PROPOSED FLOOR AREA	
(E) 1ST FLOOR (CONDITIONED):	135 SQFT.
(E) 2ND FLOOR (CONDITIONED):	445 SQFT.
(E) 3RD FLOOR (CONDITIONED):	997 SQFT.
(N) 1ST FLOOR ADDITION (CONDITIONED):	368 SQFT.
PROPOSED TOTAL RESIDENCE (CONDITIONED):	1945 SQFT.
DETACHED STORAGE:	49 SQFT.
TOTAL FLOOR AREA:	1994 SQFT. (15%)
TOTAL LOT AREA:	13247 SQFT.

EXISTING LOT COVERAGE	
BUILDING FOOTPRINT AREA:	1119 SQFT.
MISC. WOOD WALL / FIREPIT / STORAGE:	148 SQFT.
TOTAL COVERAGE:	1267 SQFT. (9.5%)
TOTAL LOT AREA:	13247 SQFT.

PROPOSED LOT COVERAGE (UNCHANGED)	
(E) BUILDING FOOTPRINT AREA:	1119 SQFT.
(E) MISC. WOOD WALL / FIREPIT / STORAGE:	148 SQFT.
TOTAL COVERAGE:	1267 SQFT. (9.5%)
TOTAL LOT AREA:	13247 SQFT.



FROM SANTA CRUZ TAKE THE CA-1 S
FOLLOW CA-1 S TO W RIVERSIDE DR. (17.5 MI)
TAKE EXIT 42s FROM CA-1 S
TAKE BEACH RD TO PLOVER CIRCLE (3.7 MI)

PROJECT SUMMARY TABLE

VICINITY MAP



PERSPECTIVE

THIS PROJECT WILL CONFORM TO
THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE,
CRC, CPC, CMC, CEC AND THE CALIFORNIA GREEN BUILDING
STANDARDS CODE (CGBS)

THIS PROJECT WILL CONFORM TO
THE 2019 CALIFORNIA FIRE CODE
AND THE 2019 CALIFORNIA ENERGY
EFFICIENCY STANDARDS (CEES).

PROPOSED ADDITION OF 368 SQ.FT. ON THE 1ST FLOOR OF AN (E) 1577 SQ.FT. RESIDENCE TO MAKE IT A
1945 SQ.FT. RESIDENCE. MATERIALS AND COLORS TO MATCH EXISTING.

RENDERING SHOWN FOR ORIENTATION. MATERIAL
TEXTURE, AND COLOR REFERENCE.
DETAILS MAY VARY SLIGHTLY.

PROJECT TEAM

PROJECT INFORMATION

GOVERNING CODES

SCOPE OF WORK

SHEET INDEX

PLOVER CIRCLE
REMODEL
DESIGN DEVELOPMENT

TIMELINE	
DATE	ISSUED FOR:
-	ARCH. DESIGN REVIEW
-	1ST SUBMITTAL
-	PLAN CHECK
-	BID / FINAL
-	CONSTRUCTION

REVISIONS	
4-20-2023	PLANNING REVISIONS
△	
△	
△	

PROJECT NO: 2203
DRAWN BY: STAFF
CHECKED BY: EA

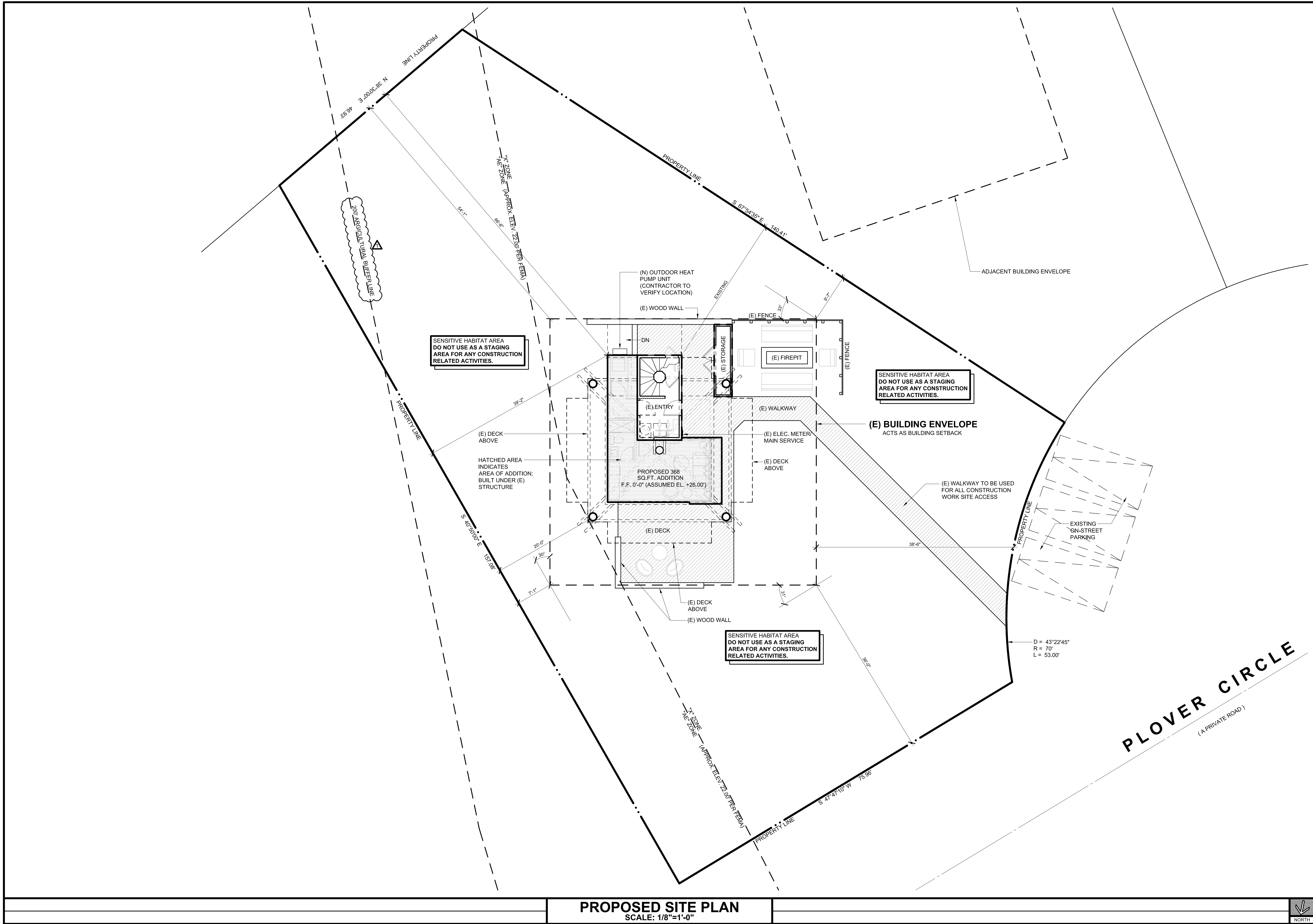
DESCRIPTION:
SITE PLAN
SCALE: 1/8"=1'-0"



SHEET:

A1.0

PRINTED: APRIL 21, 2023



PROPOSED SITE PLAN
SCALE: 1/8"=1'-0"

PLOVER CIRCLE REMODEL DESIGN DEVELOPMENT

TIMELINE	
DATE	ISSUED FOR:
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	REVISIONS
1	4-20-2023
2	PLANNING REVISIONS
3	

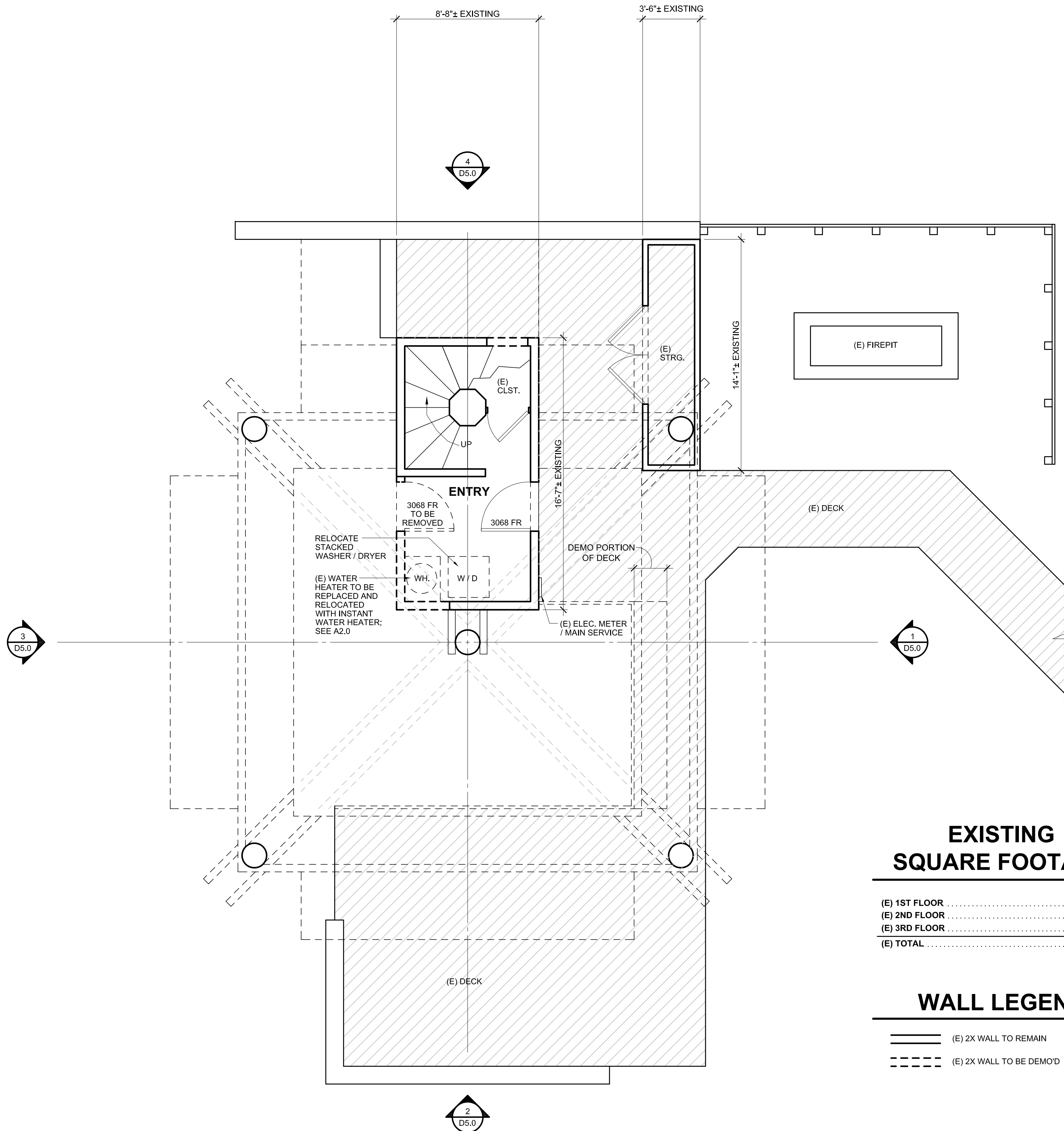
PROJECT NO:	2203
DRAWN BY:	STAFF
CHECKED BY:	EA
DESCRIPTION:	
EXISTING 1ST, 2ND, AND 3RD FLOOR / DEMO PLAN SCALE: 1/4"=1'-0"	



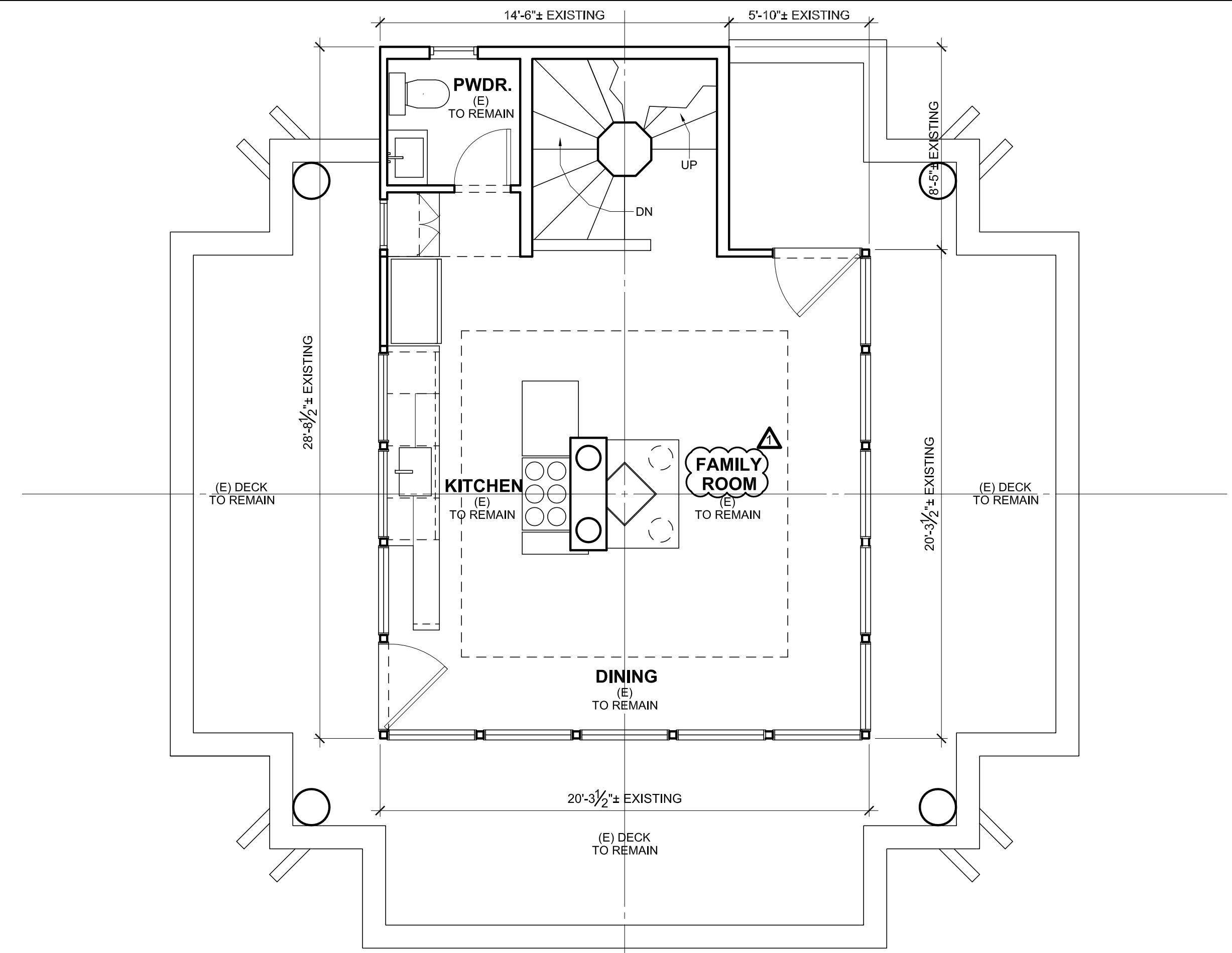
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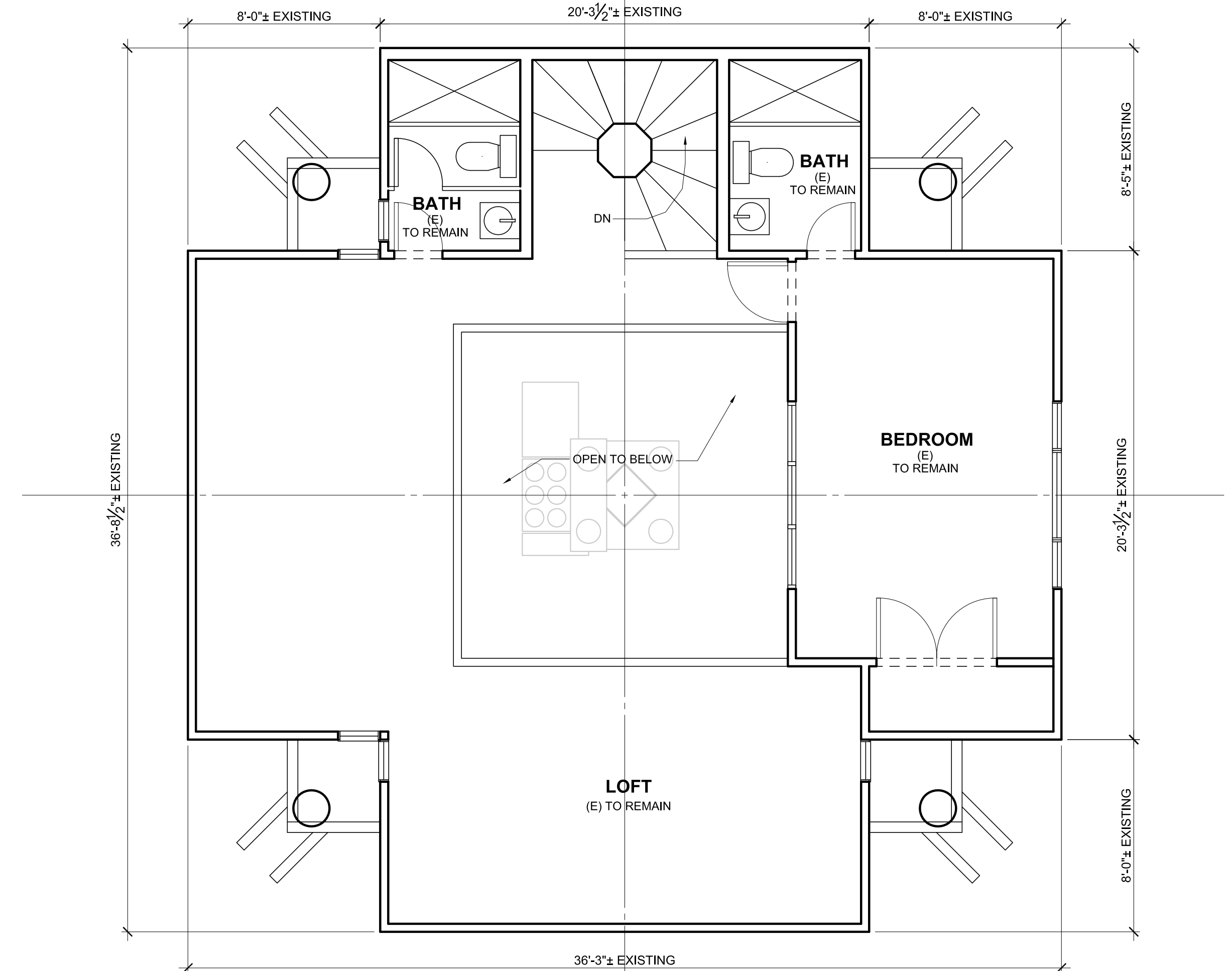


1 1ST FLOOR PLAN

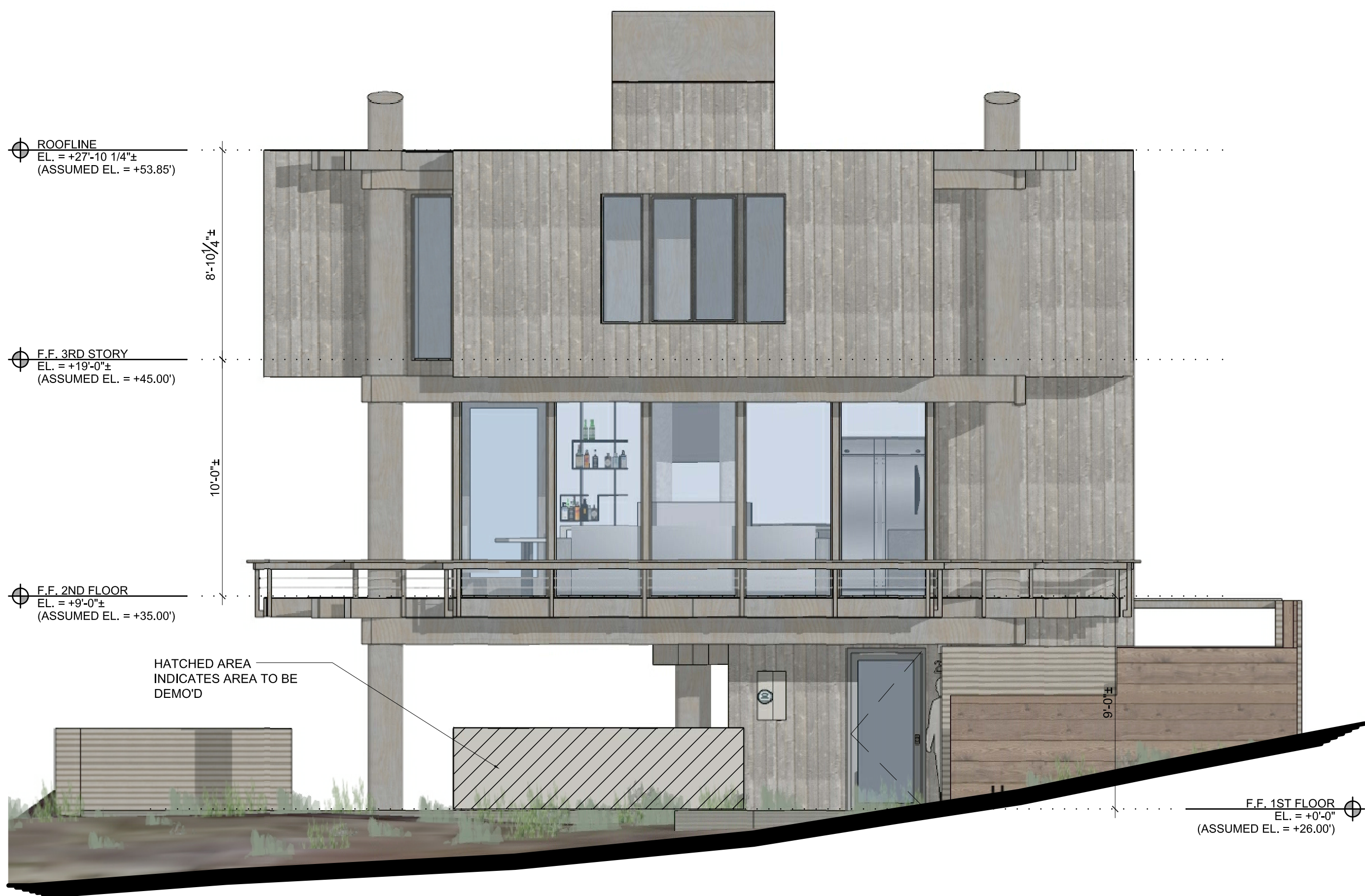


2 2ND FLOOR PLAN

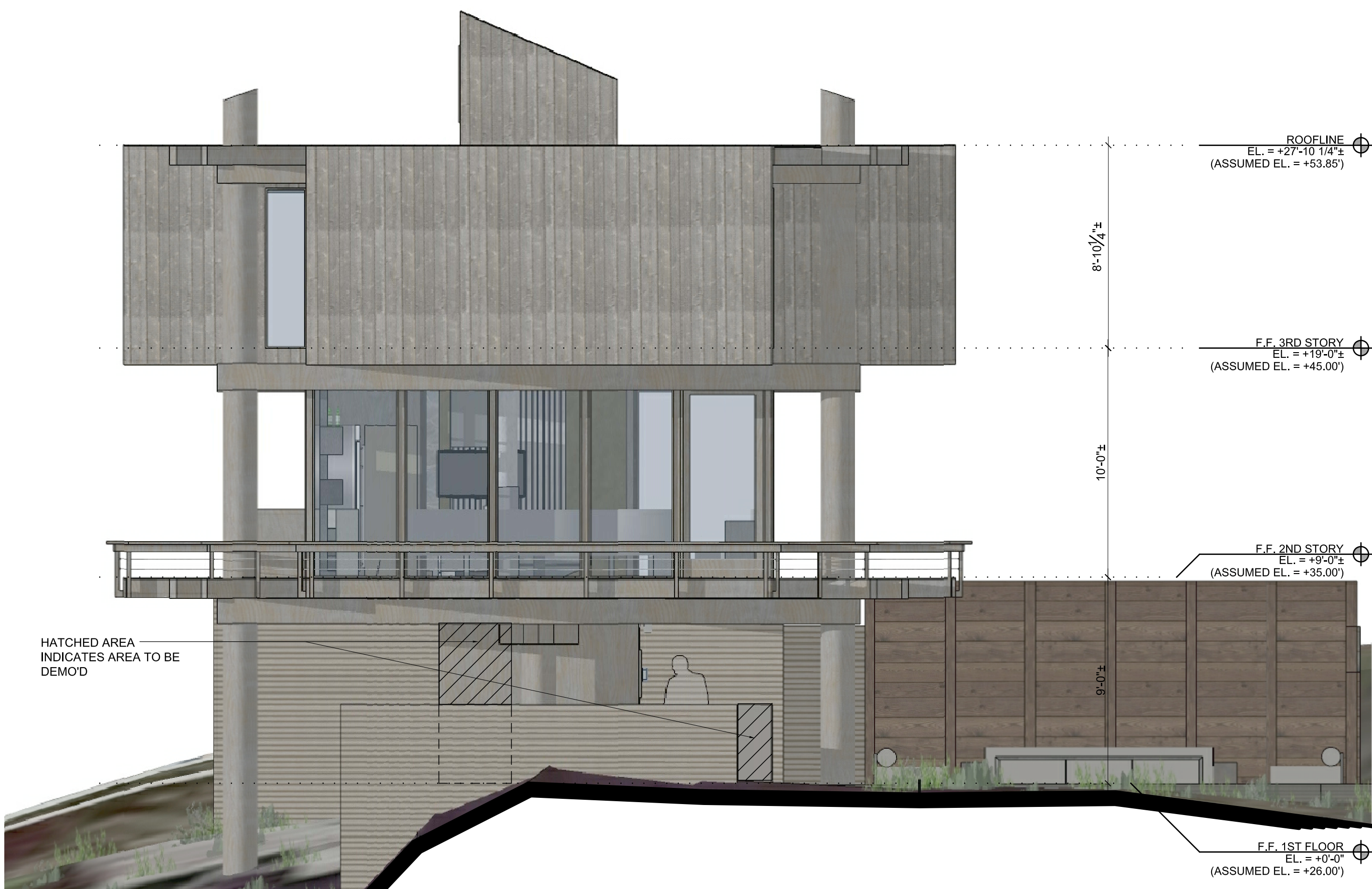
(EXISTING TO REMAIN)



3 3RD FLOOR PLAN (EXISTING TO REMAIN)



1 FRONT (WEST) ELEVATION



2 SIDE (NORTH) ELEVATION



3 BACK (EAST) ELEVATION



4 SIDE (SOUTH) ELEVATION

PLOVER CIRCLE
REMODEL
DESIGN DEVELOPMENT

TIMELINE	
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REVISIONS	
4-20-2023	PLANNING REVISIONS

PROJECT NO: 2203
DRAWN BY: STAFF
CHECKED BY: EA
DESCRIPTION:
EXISTING ELEVATIONS
SCALE: 1/4"=1'-0"



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PRINTED: APRIL 21, 2023

EXISTING ELEVATIONS
SCALE: 1/4"=1'-0"

PLOVER CIRCLE REMODEL DESIGN DEVELOPMENT

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	REVISIONS
1	4-20-2023
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3	

PROJECT NO: 2203

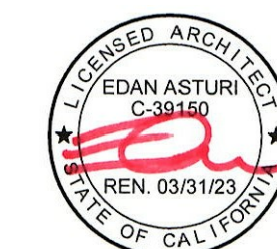
DRAWN BY: STAFF

CHECKED BY: EA

DESCRIPTION:

PROPOSED 1ST FLOOR PLAN

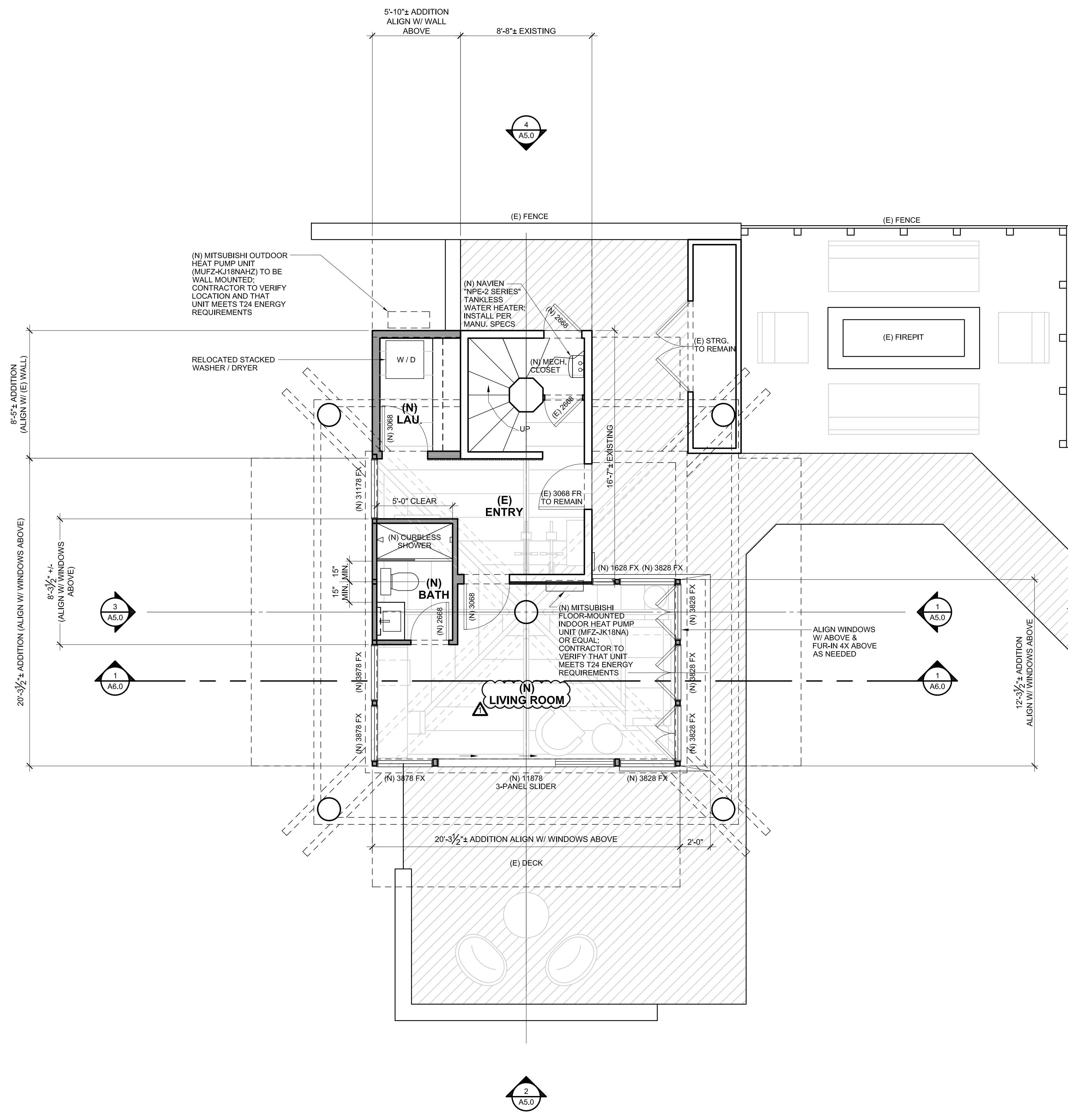
SCALE: 1/4"=1'-0"



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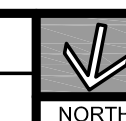
**PROPOSED
SQUARE FOOTAGE**

(E) 1ST FLOOR	135 SQ.FT.
(E) 2ND FLOOR	445 SQ.FT.
(E) 3RD FLOOR	997 SQ.FT.
<hr/> (E) TOTAL	<hr/> 1577 SQ.FT.
(N) 1ST FLOOR OFFICE ADDITION	368 SQ.FT.
<hr/> (N) PROPOSED TOTAL	<hr/> 1945 SQ.FT.

WALL LEGEND



PROPOSED 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"



TIMELINE	
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REVISIONS	
4-20-2023	PLANNING REVISIONS

PROJECT NO: 2203
DRAWN BY: STAFF
CHECKED BY: EA

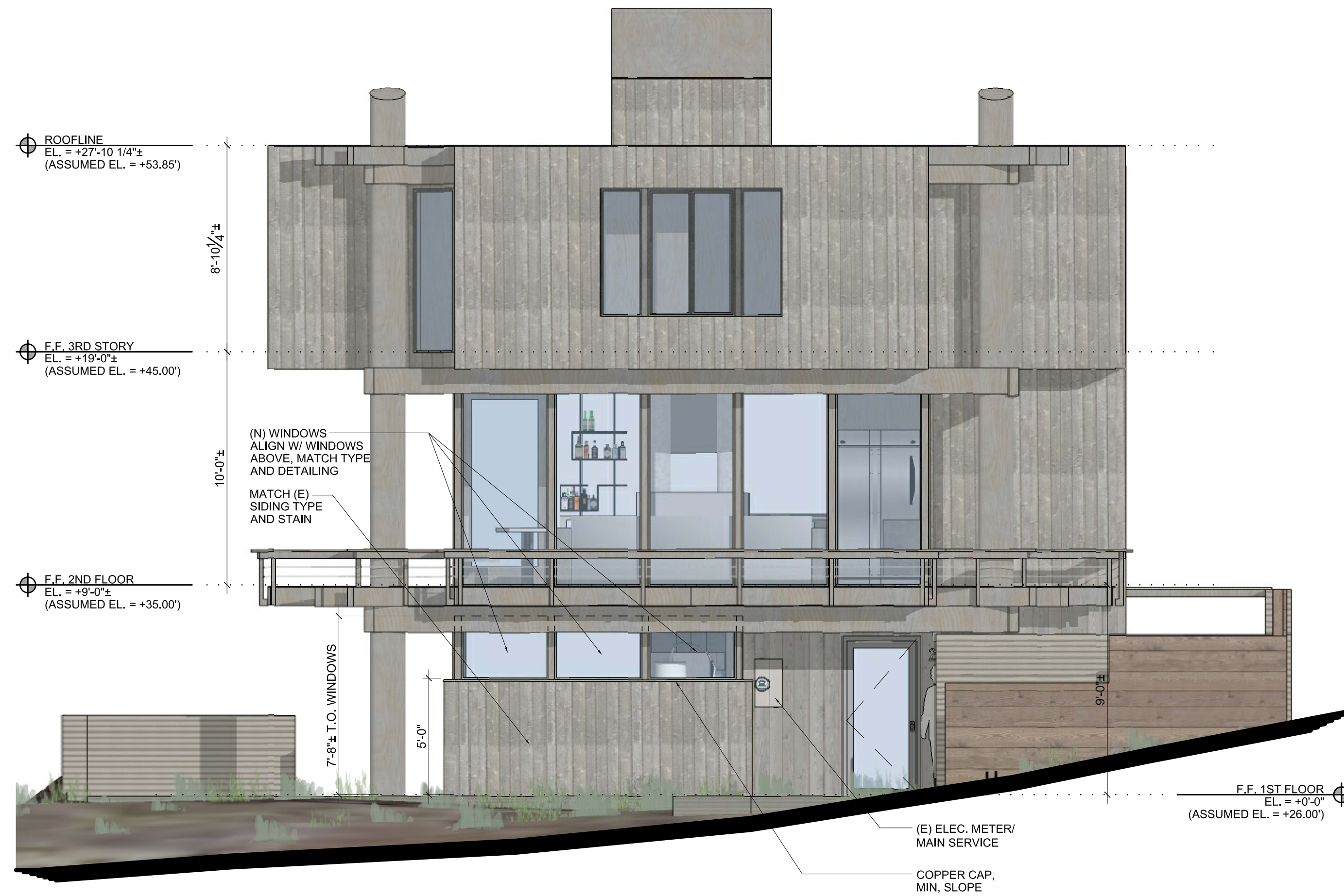
DESCRIPTION:
PROPOSED ELEVATIONS
SCALE: 1/4"=1'-0"



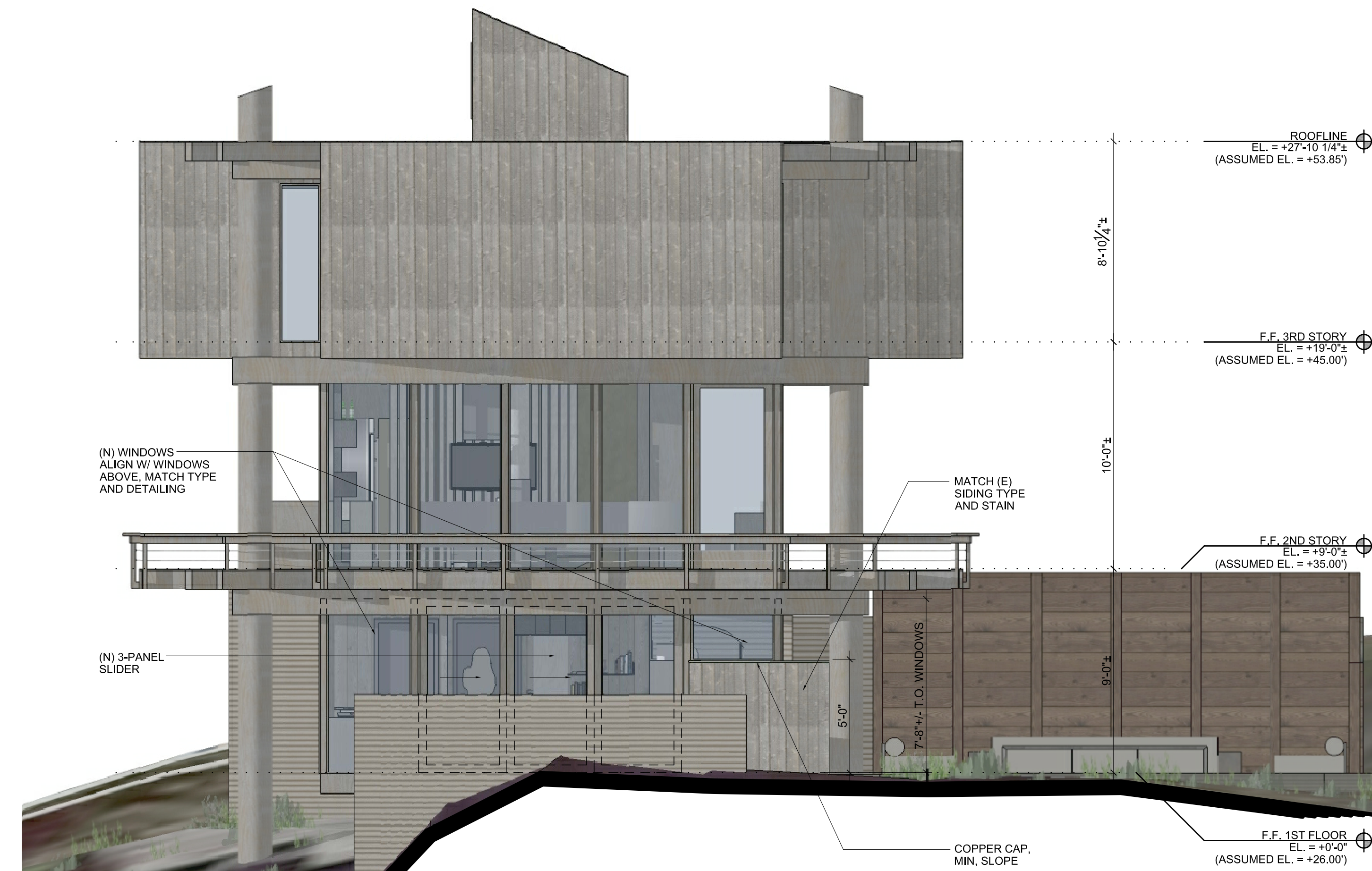
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1 FRONT (WEST) ELEVATION
MATCH EXISTING COLORS AND MATERIALS



2 SIDE (NORTH) ELEVATION
MATCH EXISTING COLORS AND MATERIALS

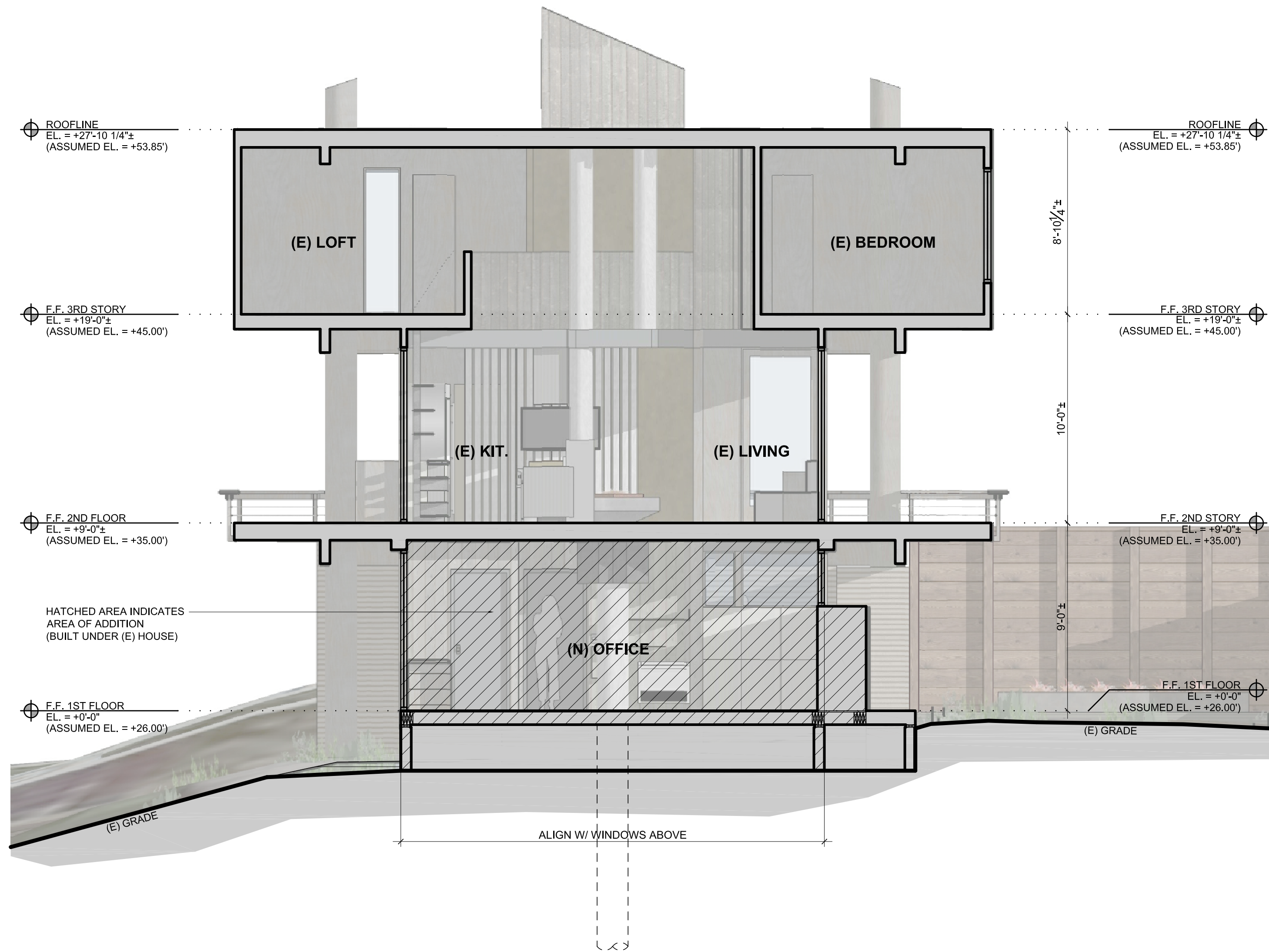


3 BACK (EAST) ELEVATION
MATCH EXISTING COLORS AND MATERIALS



4 SIDE (SOUTH) ELEVATION
MATCH EXISTING COLORS AND MATERIALS

PLOVER CIRCLE
REMODEL
DESIGN DEVELOPMENT



1 SECTION LOOKING SOUTH
SCALE: 1/4"=1'-0"

TIMELINE	
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REVISIONS	
4-20-2023	PLANNING REVISIONS
Δ	
Δ	
Δ	

PROJECT NO:	2203
DRAWN BY:	STAFF
CHECKED BY:	EA

DESCRIPTION:
PROPOSED SECTIONS
SCALE: 1/4"=1'-0"



SHEET:

A6.0

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