



NOTICE OF PENDING ACTION

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An application for the project described on this notice has been filed and a decision about the project will soon be made by Planning Department staff. Any member of the public may submit comments on the proposal prior to the deadline listed on the reverse side of this notice. The project plans may be viewed on the Planning Department website (<http://www.sccoplanning.com> under Pending Public Notice Projects). The webpage may also be used to track the project decision date, which initiates an appeal period.

Any aggrieved person, or the applicant, may appeal the ultimate decision on this project by submitting a written request within 14 calendar days of the decision date and paying an appeal fee. Please be aware that, while an **anticipated** decision date has been identified for purposes of this notice, the **actual** decision date initiating the appeal period will be posted on the web address described above. Information regarding the appeal process or fees may be obtained by phoning (831) 454-2130.

«APN»

«OWNER»

«STREET»

«CITY», «ZIP»

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATION NUMBER: 231177 APN: 105-281-15
SITUS: 115 Day Valley Lane, Aptos, CA 95003

Proposal to construct a new, 1,800 square-foot non-habitable accessory structure. Requires an Administrative Site Development Permit. Property is located on the western side of Day Valley Lane, at the intersection of Day Valley Road and Day Valley Lane in Aptos (115 Day Valley Lane).

OWNER: Kent Wiggins
APPLICANT: Hugh Zike
SUPERVISORIAL DISTRICT: 2
PLANNER: Michael Lam, (831) 454-3371
EMAIL: Michael.Lam@santacruzcountyca.gov

Public comments must be received by 5:00 p.m. December 11, 2023. A decision will be made on or shortly after December 12, 2023.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. Planner will provide notification of decision to any requesting party.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

LICENSED ARCHITECT
 HUGH ZIKE
 C #11897
 EXP. 3/25
 STATE OF CALIFORNIA

AB	Anchor Bolt	EN	Edge Nailing	PSF	Pounds per Square Foot
ABV	Above	ENGR	Engineer	PSI	Pounds per Square Inch
ACI	American Concrete Institute	EXT	Exterior	PTDF	Preservative Treated
		FLR	Floor		Douglas Fir
ALT	Alternate	FND	Foundation	RDWD	Redwood
APA	American Plywood Association	FOC	Face of Concrete	REINF	Reinforcement
		FOS	Face of Stud	REQD	Required
ARCH	Architect	FRMG	Framing	RF	Roof
BR	Ball Thread Rod	FT	Foot or Feet	RM	Room
BD	Board	FTG	Footing	RTW	Retaining Wall
BLK(G)	Block(ing)	GLV	Galvanized	SB	Solid Blocking
BLW	Below	GL	Glued Laminated	SF	Square Foot
BM	Beam	GYP	Gypsum	SIM	Similar
BN	Boundary Nailing	HD	Holdown	SPEC	Specifications
BP	Base Plate	HDR	Header	SQ	Square
BRG	Bearing	HORIZ	Horizontal	STD	Standard
CL	Center Line	HT	Height	STL	Steel
CLG	Ceiling	INT	Interior	SKYLT	Skylight
CLR	Clear, Clearance	JST(S)	Joist(s)	T&B	Top and Bottom
COL	Column	MB	Machine Bolt	T&G	Tongue and Groove
CONC	Concrete	MI	Malleable Iron	TOC	Top of Concrete
CONN	Connection	MIN	Minimum	TOW	Top of Wall
CONT	Continuous	(N)	New	TYC	Typical
CNTR	Center	OC	On Center	UBB	Uniform Building Code
DBL	Double	OH	Opposite Hand	UNO	Unless Noted Otherwise
DF	Douglas Fir	OPNG	Opening	Ø	Diameter
DIA	Diameter	PAF	Powder Actuated		
DTL	Detail		Fastener		
DWG	Drawing	PL	Plate or Property Line		
(E)	Existing	PLY	Plywood		
EA	Each				

WATER:
CENTRAL WATER DISTRICT
400 COX RD, APTOS, CA 95003
831-688-2767

FIRE
CENTRAL FIRE DISTRICT
930 17th AVE, SANTA CRUZ, CA 95062
831-479-6842

A LICENSED DESIGNER / INSTALLER SHALL PREPARE AND SUBMIT (2) SETS OF PLANS, CALCULATIONS, AND CUT SHEETS FOR THE WATER STORAGE TANKS AND FIRE HYDRANT SYSTEM TO THE FIRE DEPARTMENT AGENCY FOR REVIEW AND APPROVAL. THE CUT SHEETS SHALL INCLUDE, BUT ARE NOT LIMITED TO, PIPING, VALVES, GUAGES, ETC.

HUGH ZIKE ARCHITECT
838 WESTERN DR, SANTA CRUZ, CA 95060
831-818-5808

2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN BUILDING CODE
2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS

NEW BARN AT 115 DAY VALLEY LANE, APTOS, CA

AREAS	
AREA OF PROPERTY	54,188.64 SF - 1.244 ACRES

NEW BARN 1800 SF

MAXIMUM PARCEL COVERAGE $10\% = 54,188.64 \times .1 = 5,230 < 5,431$

S1.1 GENERAL NOTES AND DETAILS
S2.1 STRUCTURAL PLANS
S2.2 STRUCTURAL ELEVATIONS

[illegible]

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS A FOUND 3/8" IRON PIPE WITH NO TAG AND FOUND 1/2" IRON PIPE WITH AN ILLEGIBLE BRASS TAG, LOCATED AT THE WESTERN AND EASTERN CORNERS OF THE NORTHERN BOUNDARY OF THE LANDS OF MCCANDLESS, RITCHEY, AND PEARSON, THE BEARING OF WHICH IS SHOWN ON THE MAP ENTITLED "RECORD OF SURVEY FOR BARBARA JEAN MCCANDLESS, THOMAS W. RITCHEY, SR., AND LARRY C. PEARSON", FILED IN VOLUME 68 OF MAPS AT PAGE 23, SANTA CRUZ COUNTY RECORDS, AND ALSO FOUND IN VOLUME 5508 PAGE 276 OF SANTA CRUZ COUNTY RECORDS, A DEED TO KENT M. AND DEBORAH L. WIGGINS, TRANSFER DOCUMENT #1994-37415.

= S 33°10' E

RECORD DATA

(100)¹ RECORD DATA PER 68-M-23
(100)² RECORD DATA PER DEED 5508 OR 276 DOC#1994-37415

SURVEYOR NOTES

THE BOUNDARY SHOWN ON THIS MAP IS BASED ON THE GRANT DEED FOR THE PARCEL. THE BOUNDARY MONUMENTS SHOWN ON 74-M-39 OVERLAPS THE EXTERIOR BOUNDARY OF THE FILED MAP 74-M-39 ENTITLED "TRACT 818 THE FOREST" BY 6 TO 9 INCHES. THIS OVERLAP HAS NOT BEEN RESOLVED FOR THIS SURVEY.

THE GRANT DEED CALLS TO THE CENTERLINE OF DAY VALLEY ROAD AND IS AS FOLLOWS "THENCE SOUTH 27°58'30" EAST 92.68 FEET TO THE CENTER OF DAY VALLEY ROAD, OUR MEASUREMENT TO THE CENTERLINE OF THE ROAD IS 103.48 FEET A DIFFERENCE OF +11.12 FEET ON THAT COURSE. THE NEXT COURSE IS ALONG THE CENTERLINE OF THE ROAD A DISTANCE OF 94.97' (RECORD IS 96.06'). THE SHORTAGE IS DUE TO THE CONVERGENCE OF THE BOUNDARIES TO/FROM THE CENTERLINE OF DAY VALLEY ROAD. THE CLOSING COURSE IS "THENCE LEAVING SAID ROAD, NORTH 33°10' WEST 305.00 FEET", OUR MEASUREMENT IS 316.62 FEET, A DIFFERENCE OF +11.62 FEET. THE POINT OF BEGINNING OF THE DEED IS CONSISTENT WITH THE POINT SHOWN ON 68-M-23.

THE INFORMATION ON THIS MAP REPRESENTS THE SITE CONDITIONS FROM A SURVEY MADE IN JANUARY 2023 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.

THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT WITH REGARD TO ANY RECORDED EASEMENTS OR RIGHTS OF WAYS AFFECTING THE SUBJECT PROPERTY. NO ADDITIONAL RESEARCH REGARDING THE EXISTENCE OF EASEMENTS, RESTRICTIONS, OR OTHER MATTERS OF RECORD HAS BEEN PERFORMED BY THE SURVEYOR. EASEMENTS SHOWN HEREON ARE BASED ON THE RECORDED MAPS AND DEEDS SHOWN ON THIS SURVEY.

ONLY THE IMPROVEMENTS THAT WERE EVIDENT FROM A VISUAL INSPECTION OF THE PROPERTY ARE SHOWN ON THIS SURVEY.

THE UTILITY LINE, SIZES, DIRECTIONS AND TYPES SHOWN HEREON ARE BASED UPON ABOVE GROUND SURFACE EVIDENCE. THE SURVEYOR CAN NOT ATTEST TO THE EXACT LOCATION, SIZE, TYPE, OR DIRECTION OF UNDERGROUND LINES SHOWN HEREON. OTHER UNDERGROUND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST. THE EXACT LOCATION OF UNDERGROUND UTILITIES SHOULD BE INDEPENDENTLY VERIFIED PRIOR TO COMMENCING ANY UNDERGROUND CONSTRUCTION.

THE FOREST
TRACT 818
2871-OR-26
074-M-39

FD 2"IP W/CONC PLUG NT
BEARS S 4°26' W 0.9'

FD 1/2"IP NT
BEARS S 34°20' W 0.7'
57 Δ
523.68
SET_MAG

MICHAEL E. AND BARBARA J.
GRANT
APN: 105-281-18
DOC: #2020-0055582
118 DAY VALLEY LANE

KENT M. AND DEBORAH L.
WIGGINS
APN: 105-281-15
DOC: #1994-37415
115 DAY VALLEY LANE

DWYER AND DENISE WYMORE
APN: 105-281-14
DOC: #2002-0079696
121 DAY VALLEY LANE

RESIDENCE

LIMIT OF
TOPOGRAPHIC
SURVEY

WOOD POOL DECK
(NOT SURVEYED)

FD 1/2"IP RE 18927 UNDER CONC FENCE FTG
BEARS S 43°04' W 0.54'

FD 1/2"IP BRS TAG ILL UNDER FENCE
(238.67')²

FD 1/2"IP W/WOOD PLUG NT

FD 3/8"IP NT
MOST NORTHERLY CORNER 697-OR-3

APN: 105-281-09
185 MERRY LANE

68-M-23

APN: 105-281-11
175 MERRY LANE

APN: 105-281-08
1005 DAY VALLEY ROAD

ABBREVIATIONS

AC	ASPHALT CONCRETE	MTR	METER
APH	ASSESSOR'S PARCEL NUMBER	NL	NAIL
BRS	BRASS	NT	NO TAG
CL	CENTERLINE	OH	OVERHEAD
CONC	CONCRETE	PL	PROPERTY LINE
CPP	CORRUGATED PLASTIC PIPE	PVMT	PAVEMENT
DBL	DOUBLE	PVRS	PAVERS
DOC#	DOCUMENT NUMBER	RDWD	REDWOOD
DWT	DRIVEWAY	RES	RESIDENCE
FC	FACE OF CURB	RSR	RISER
FD	FOUND	S/O	SHUT-OFF
FL	FLOWLINE	SPK	SPIKE
FS	FINISH SLAB	SS	SANITARY SEWER
FTG	FOOTING	SSCO	SANITARY SEWER CLEANOUT
FW	FACE OF WALL	SSMH	SANITARY SEWER MANHOLE
GAR	GARAGE	TC	TOP OF CURB
ILL	ILLEGIBLE	THRS	THRESHOLD
IN	INCH	TYP	TYPICAL
IP	IRON PIPE	W/	WITH
JP	JOINT POLE	WM	WATER METER
L=	LENGTH	WTR	WATER
LS	LAND SURVEYOR	±	PLUS OR MINUS
MAG	MAGNETIC		

TREE NOTE

ONLY TREES 6 INCHES IN DIAMETER OR GREATER WERE LOCATED AS A PART OF THIS SURVEY. TREE DIAMETERS WERE MEASURED BY THE DIAMETER AT BREAST HEIGHT (DBH) METHOD (4.5 FEET ABOVE GRADE). CAUTION SHOULD BE USED WHEN DESIGNING CLOSELY TO TREE TRUNKS. THERE ARE LIMITATIONS IN FIELD ACCURACY AND DRAFTING ACCURACY AS WELL AS THE "SPREAD" OR "LEAN" OF TREES.

THE TREE SPECIES AND SIZES SHOWN HEREON HAVE BEEN IDENTIFIED TO THE BEST OF THE SURVEYORS' KNOWLEDGE. THE SURVEYOR CAN NOT CERTIFY, NOR ATTEST, TO THE ACCURACY OF THESE NOTATIONS IF CERTIFICATION OF THIS INFORMATION IS REQUIRED, PLEASE CONTACT A LICENSED URBAN FORESTER, OR AN ARBORIST FOR CONFIRMATION.

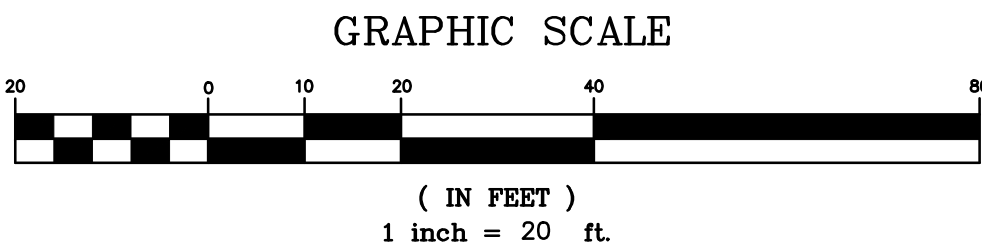
LEGEND

—	CONTOUR (MAJOR)
—	CONTOUR (MINOR)
— X —	FENCE LINE 3"± SPLIT RAIL (UNLESS NOTED OTHERWISE)
—	FLOWLINE
⊙	JOINT POLE
●	MONUMENT — BASIS OF BEARINGS
●	MONUMENT FOUND
⊕	FIRE HYDRANT
— OH —	OVERHEAD LINE
—	PROPERTY LINE
— SS —	SANITARY SEWER LINE
Δ	SET RANDOM CONTROL POINT
+46.21	SPOT ELEVATION
●	TREE AS NOTED
⊙	TREE STUMP

CONTOUR INTERVAL = 1 FOOT

DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF

OVERHEAD ELECTRIC LINES PER GOOGLE MAP OBSERVATIONS

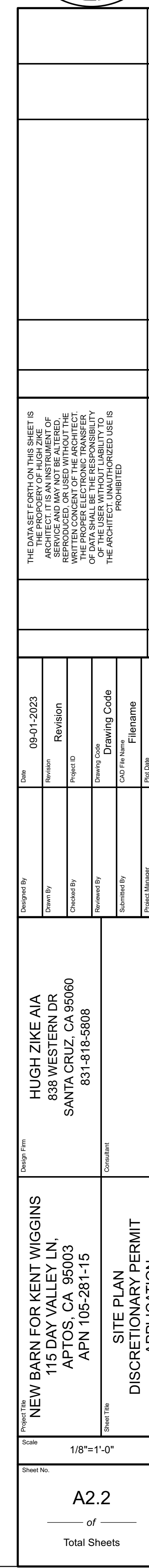


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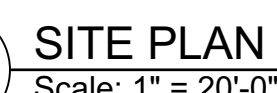
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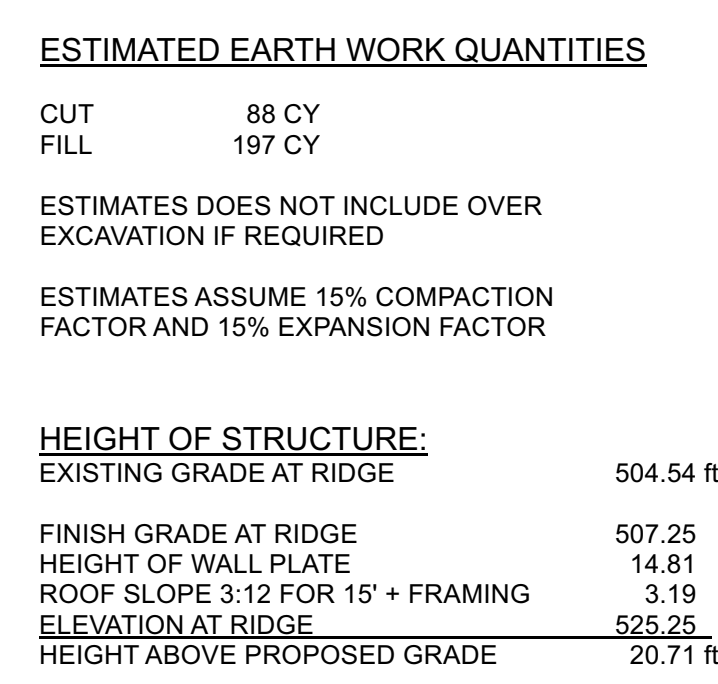
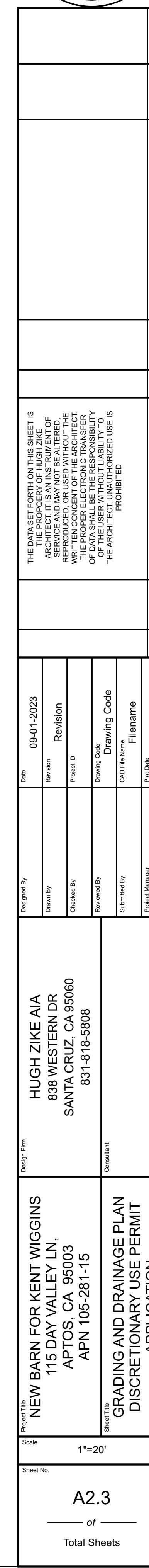
REVISED			
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560		TOPOGRAPHIC MAP FOR KENT WIGGINS 115 DAY VALLEY ROAD SITUATE IN SOQUEL AUGMENTATION RANCHO SANTA CRUZ, CALIFORNIA	
SCALE 1" = 20'	DRAWN KRG	JOB NO. 28918	SHEET 1
DATE FEBRUARY 7, 2023	CHECKED BFH	INDEX	OF 1
DESIGN	DWG NAME 28918	FILE NO.	



NOTE:
SITE PLAN INFORMATION WAS
PROVIDED BY THE OWNER OR
WAS TAKEN FROM A SURVEY
PREPARED BY BOWMAN AND
WILLIAMS CIVIL ENGINEERS
AND LAND SURVEYORS.
CONTRACTOR IS TO VERIFY
ALL INFORMATION AS NEEDED

- PROPERTY LINE
- R.O.W. ACCESS EASEMENT
- SET BACK TYP
- PAVED WAY OF DAY
VALLEY LN





A. DRAINAGE SYSTEM MAINTENANCE NOTES

1. ALL DRAINAGE CHANNELS, SWALES, ENERGY DISSIPATERS, SHALL BE MAINTAINED BY THE PROPERTY OWNER ON A REGULAR BASIS, PRIOR TO, AND DURING RAINSTORMS TO ENSURE THEIR PROPER FUNCTIONING AND PREVENT OVERFLOW AND EROSION.
2. DRAINAGE STRUCTURES SHALL BE INSPECTED FOR DAMAGE NO LESS THAN ANNUALLY, AND ANY DAMAGE SHALL BE REPAIRED PRIOR TO THE NEXT SIGNIFICANT RAINSTORM, WHEN POSSIBLE.
3. MAINTENANCE SHALL INCLUDE CLEARING EXCESS SILT, AND OTHER DEBRIS OUT OF ALL CHANNELS.
4. OWNER SHALL REMOVE EXCESS PLANTS AND BRANCHES THAT COULD DIVERT OR OBSTRUCT THE FLOW OF WATER IN CHANNELS OR CAUSE DEBRIS JAMS AT INLETS AND OUTLETS.

B. EROSION AND STORMWATER POLLUTION CONTROL NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO PART 1, SECTION C, "EROSION CONTROL REQUIREMENTS," OF THE SANTA CRUZ COUNTY DESIGN CRITERIA AND THE SANTA CRUZ COUNTY CONSTRUCTION SITE STORMWATER POLLUTION CONTROL BMP MANUAL. (SUMMARIZED AND SUPPLEMENTED HERE)
2. THE PROJECT GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SITE EROSION AND STORMWATER POLLUTION CONTROL.
3. DISTURBANCE AND REMOVAL OF VEGETATION SHALL NOT EXCEED THE MINIMUM NECESSARY TO COMPLETE OPERATIONS.
4. NO CLEARING, GRADING, OR EXCAVATION SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 WITHOUT REVIEW AND APPROVAL OF A SEPARATE WINTER EROSION CONTROL PLAN. WHEN PERMITTING IS REQUIRED, THE COUNTY PLANNING DEPARTMENT PRIOR TO BEGINNING SUCH CONSTRUCTION. WINTER EROSION CONTROL PLANS SHALL BE SUBMITTED TO THE ENVIRONMENTAL PLANNING SECTION A MINIMUM OF 30 DAYS BEFORE CONSTRUCTION IS TO BEGIN.
5. ALL DISTURBED SOIL (PARTICULARLY CUT AND FILL SLOPES) SHALL BE SEEDDED WITH ANNUAL WINTER BARLEY SEED AT A RATE OF 5 LBS/1000 SQUARE FEET AND COVERED WITH 2 TO 4 INCHES OF STRAW (2-3 BALES/1000 SQUARE FEET). INCORPORATE STRAW INTO THE SOIL WITH A STUDDED ROLLER OR ANCHOR IT WITH A TACKIFIER STABILIZING EMULSION. SEED AND STRAW SHALL BE INSTALLED PRIOR TO OCTOBER 15. THE MULCH COVER SHALL BE MAINTAINED UNTIL A GOOD VEGETATIVE COVER HAS BEEN ESTABLISHED.
6. FOR STEEP SLOPES (GREATER THAN 20%) APPLY ANNUAL WINTER BARLEY SEED AND COVER WITH AN EROSION CONTROL BLANKET.
7. WHEN PERMITTING IS REQUIRED, EROSION CONTROL SHALL BE FULLY ESTABLISHED, EXPOSED EROSION SHALL BE REPAIRED BETWEEN OCTOBER 15 AND APRIL 15.
8. ERODABLE MATERIALS STOCKPILED ON-SITE SHALL BE COVERED WITH PLASTIC BETWEEN OCTOBER 15 AND APRIL 15 OR DURING OTHER PERIODS OF RAIN.
9. UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THE APPROVED PLANS, ALL COLLECTED OR CONCENTRATED RUNOFF SHALL BE PERCOLATED INTO THE GROUND, CARRIED TO DRAINAGE COURSES IN LINED CONDUITS, OR DISPERSED OVER DENSE VEGETATION IN AN APPROVED MANNER THAT WILL NOT CAUSE EROSION.
10. DRAINAGE STRUCTURES INCLUDING CATCH BASINS, ENERGY DISSIPATORS, ETC. SHOWN ON THE GRADING AND DRAINAGE PLANS SHALL BE INSTALLED PRIOR TO THE RAINY SEASON. CONTRACTOR SHALL KEEP ALL DRAINAGE STRUCTURES AND CULVERTS FREE OF SILT AND DEBRIS.
11. CONTRACTORS SHALL TAKE REASONABLE PRECAUTIONS TO ENSURE THAT VEHICLES DO NOT TRACK OR SPILL EARTH MATERIALS INTO PUBLIC STREETS AND SHALL REMOVE SUCH MATERIALS IMMEDIATELY IF IT OCCURS.
12. EVERY EFFORT SHALL BE MADE TO ENSURE THAT SITE STABILIZATION IS PERMANENT.
13. TOPSOIL SHALL BE STOCKPILED AND REDISTRIBUTED TO AREAS WITH SLOPES LESS THAN 20% WITHIN THE GRADED AREA AFTER ROUGH GRADING TO PROVIDE A SUITABLE BASE FOR SEEDING AND PLANTING.
14. EMERGENCY CONDITIONS - SHOULD INCREASED SEDIMENT DISCHARGE OCCUR OR BECOME IMMINENT, CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL SUCH DISCHARGE. SUCH STEPS MAY INCLUDE CONSTRUCTION OF ADDITIONAL FACILITIES OR REMOVAL OR ALTERATION OF FACILITIES REQUIRED BY APPROVED EROSION AND SEDIMENT CONTROL PLANS. FACILITIES REMOVED SHALL BE RESTORED AS SOON AS POSSIBLE AFTERWARD OR APPROPRIATE CHANGES IN THE PLAN SHALL BE IMMEDIATELY SUBMITTED TO THE COUNTY PLANNING SECTION FOR REVIEW AND RESOLUTION.
15. THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. IF FIELD INSPECTIONS BY COUNTY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES WILL BE REQUIRED.

SITE HOUSEKEEPING REQUIREMENTS

C. CONSTRUCTION MATERIALS

1. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
2. ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
3. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, INSULATORS, BRICKS, ETC.).
4. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIAL SHALL BE IMPLEMENTED.

D. WASTE MANAGEMENT

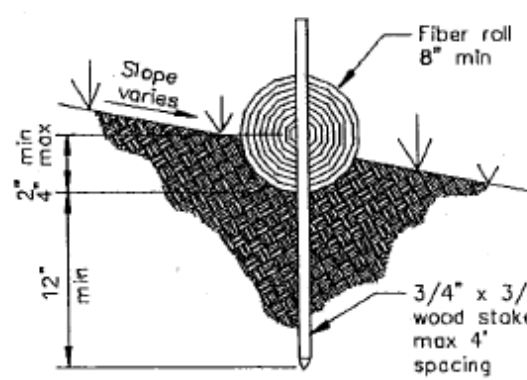
1. DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PEROUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
2. SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
3. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
4. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING RAIN.
5. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
6. STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
7. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
8. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY.
9. CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

E. VEHICLE STORAGE AND MAINTENANCE

1. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL FROM LEAKING INTO THE GROUND, STORM DRAINS, OR SURFACE WATERS.
2. ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED, AND STORED ONSITE, SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S.
3. LEAKS SHALL BE CLEANED UP IMMEDIATELY. LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

F. LANDSCAPE MATERIALS

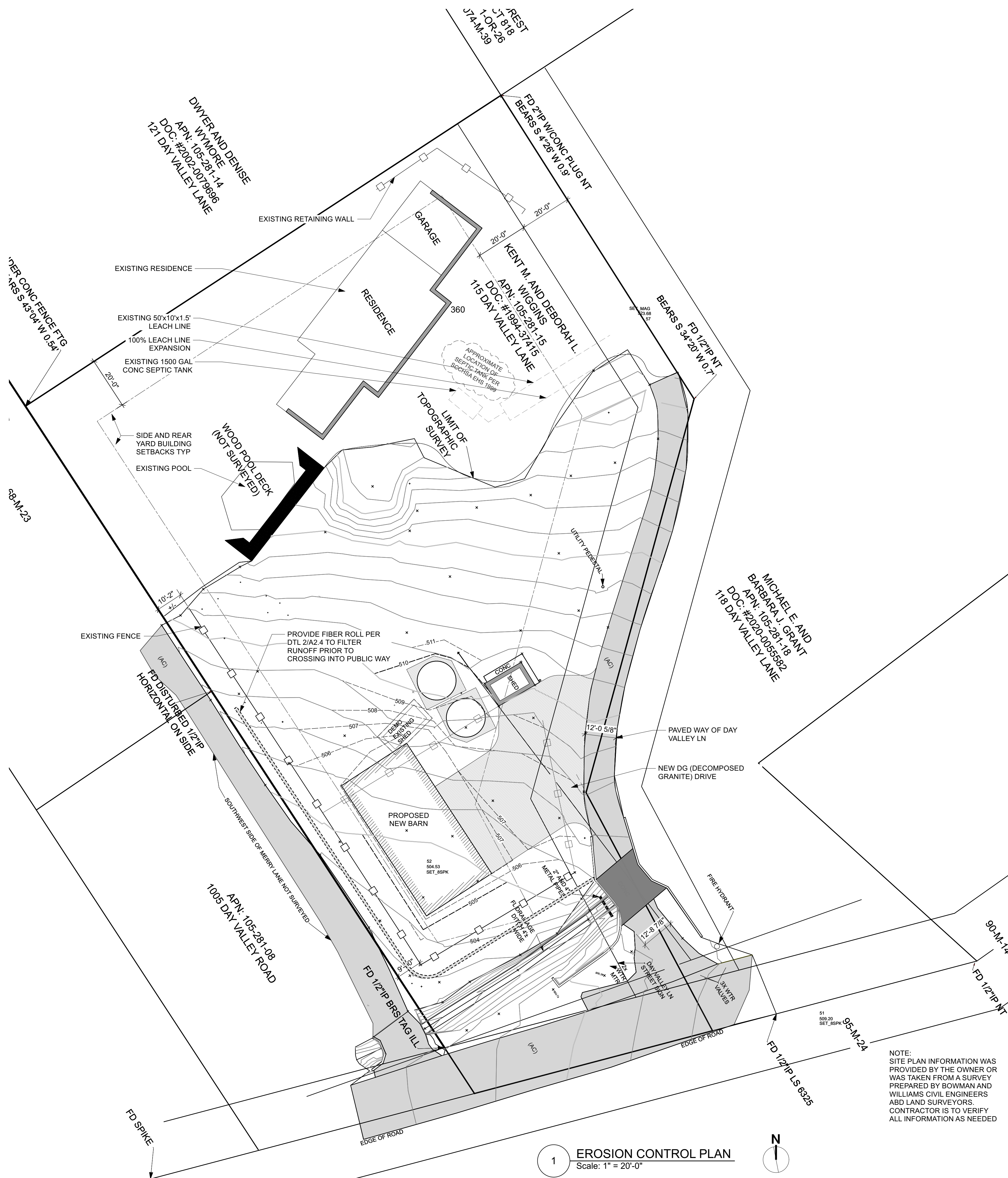
1. CONTAIN FERTILIZERS, LANDSCAPE MATERIALS, AND STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
2. DISCONTINUE THE APPLICATION OF ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
3. APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURER RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
4. STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVER OR STORE SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.



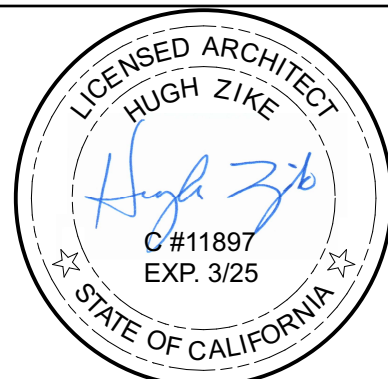
ENTRENCHMENT DETAIL
N.T.S.

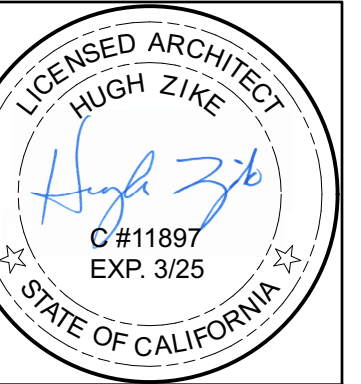
2

FIBER ROLL



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WAS TAKEN FROM A SURVEY
PREPARED BY BOWMAN AND
WILLIAMS CIVIL ENGINEERS
AND LAND SURVEYORS.
CONTRACTOR IS TO VERIFY
ALL INFORMATION AS NEEDED

[illegible]



Issue Notes	No.	Date	Revision Notes	Zone	Appr.
THE PROPERTY OF HIGH ZINC ARCHITECTS. THIS DOCUMENT IS FOR THE USE OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR USED WITHOUT THE PROPER ELECTRONIC TRANSFER OF THE ARCHITECT'S RESPONSIBILITY OF THE USES WITHOUT LIABILITY TO THE ARCHITECT. UNAUTHORIZED USE IS PROHIBITED					

	No.	Date
	00/00/00	
Project Manager	Plot Date	
Submitted By	CAD File Name	
Reviewed By	Drawing Code	
Checked By	Project ID	
Drawn By	Revision	
00001-2020		

HUGH ZINE AIA
 838 WESTERN DR
 SANTA CRUZ, CA 95060
 831-818-5808

Consultant

NEW BARN FLOOR & ROOF PLAN DISCRETIONARY USE PERMIT APPLICATION	Show Title NEW BARN FLOOR & ROOF PLAN DISCRETIONARY USE PERMIT APPLICATION
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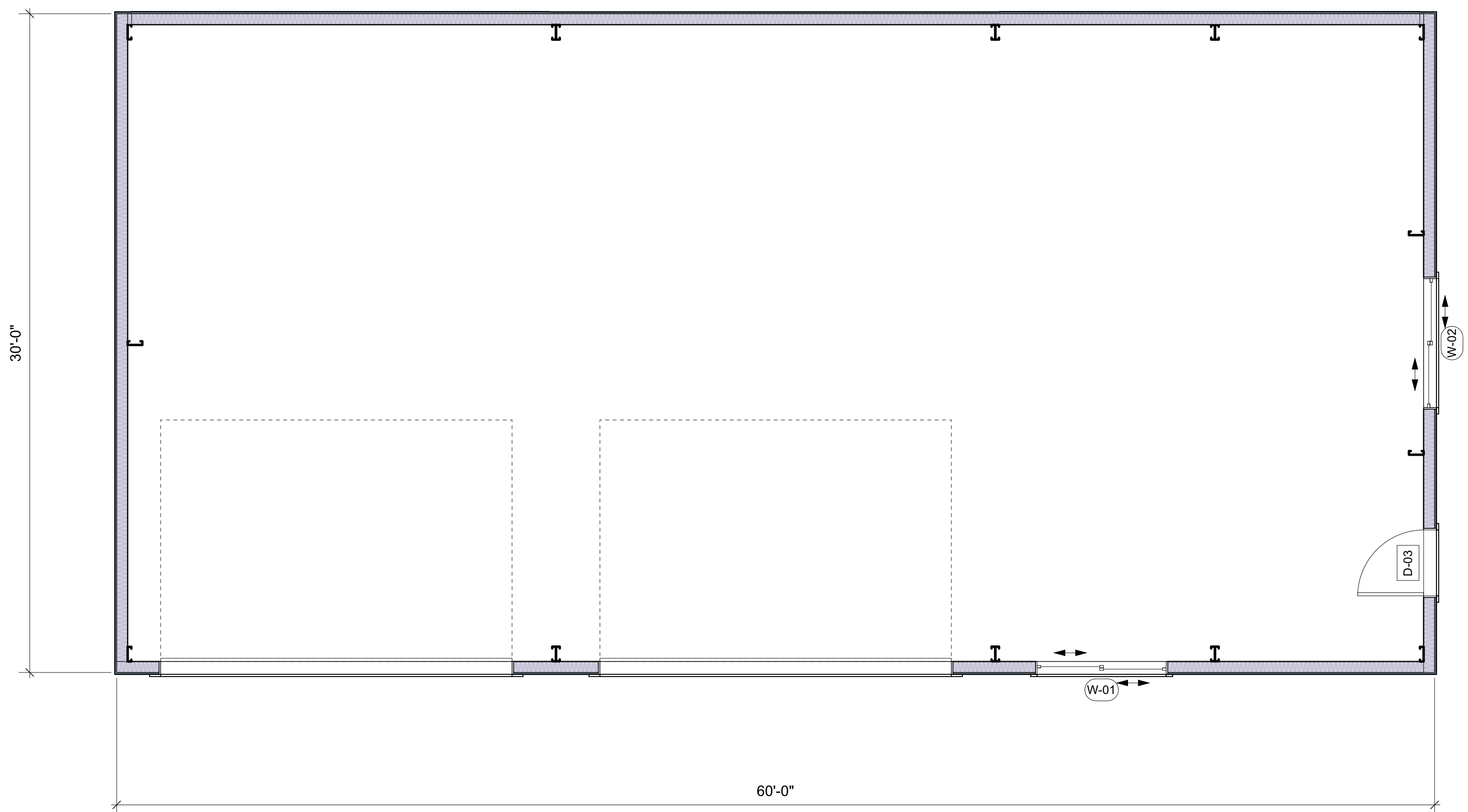
1/8"=1'-0"

Sheet No.

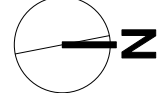
A3.1

— of —

Total Sheets



1 NEW BARN FLOOR PLAN
Scale: 1/4" = 1'-0"

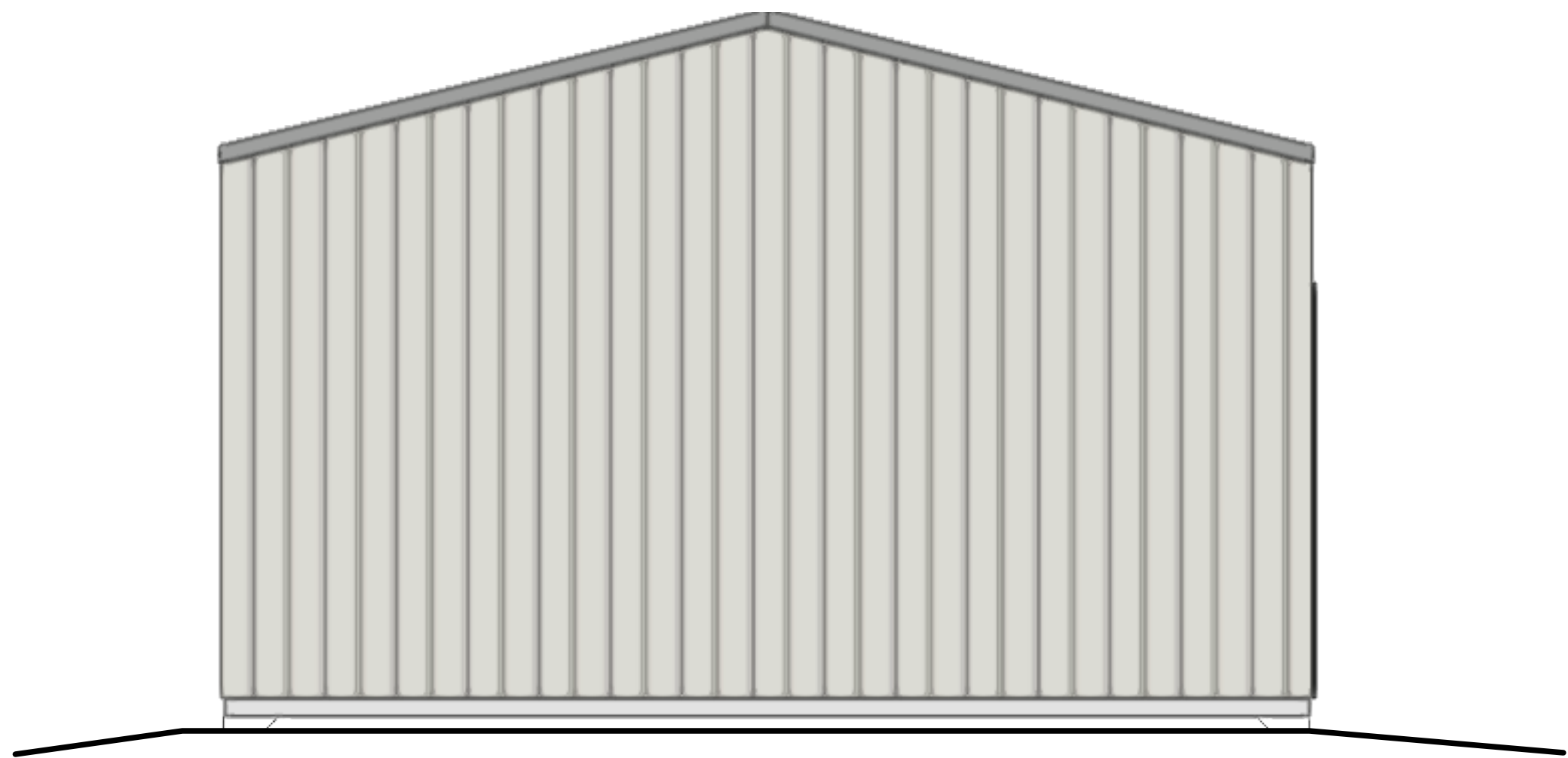


2 ROOF PLAN
Scale: 1/4" = 1'-0"

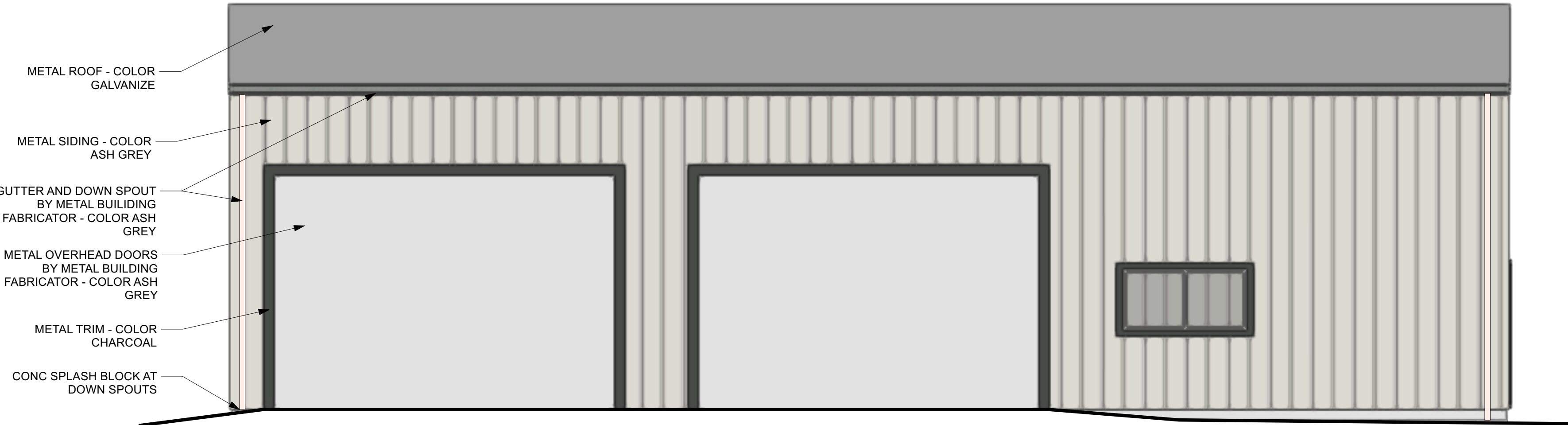




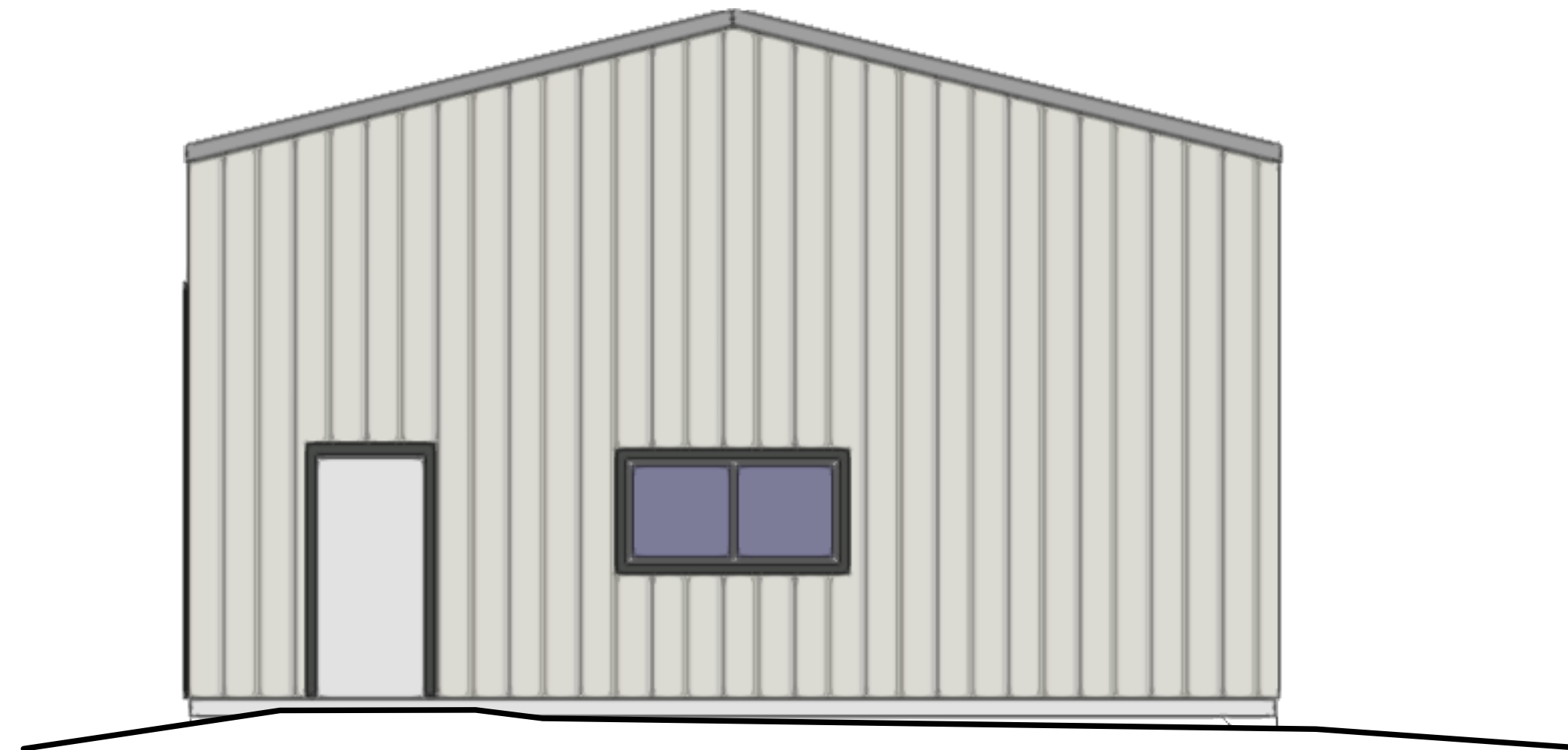
Project No.		Project Name		Project Manager		Project Date		Project Location		Project Description	
NEW BARN FOR KENT WIGGINS		115 DAY VALLEY LN, APTOS, CA 95003 APN 105-281-15		HUGH ZIKE AIA		838 WESTERN DR SANTA CRUZ, CA 95060 831-818-5808		SANTA CRUZ, CA		EXTERIOR ELEVATIONS & SECTION DISCRETIONARY USE PERMIT APPLICATION	
Scale		1/8"=1'-0"		Sheet No.		A4.1		of		Total Sheets	
Designed By		Drawn By		Checked By		Reviewed By		Submitted By		Project Manager	
Date		Revision		Project ID		Drawing Code		CAD File Name		File Date	
09-01-2023		Revision		00/00/00		00/00/00		00/00/00		00/00/00	
Issue Notes		No.		Date		Revision Notes		Zone		Appr	
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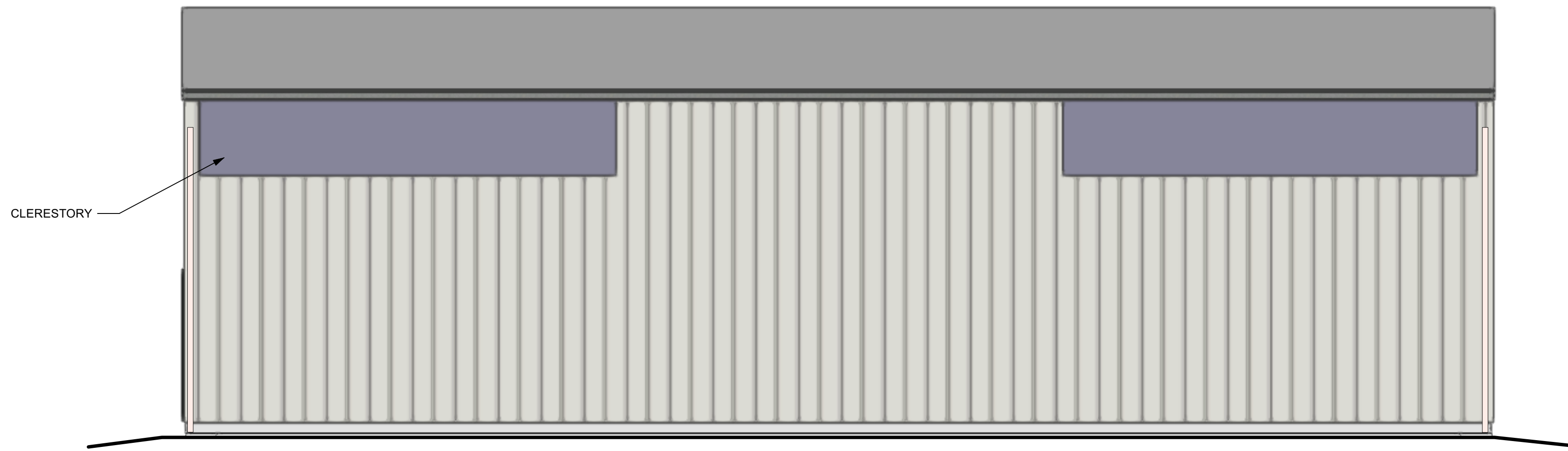
2 SOUTH ELEVATION
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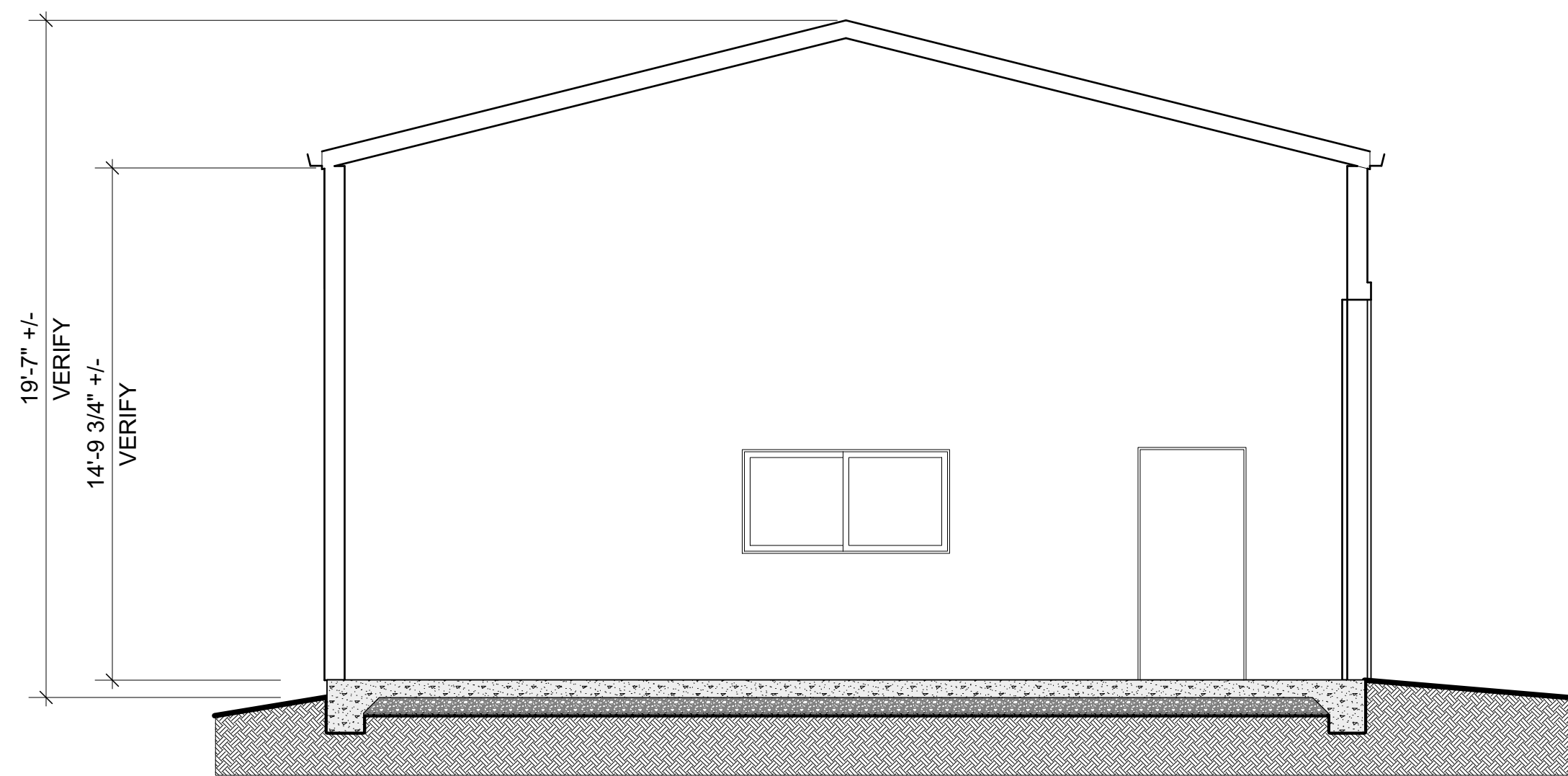
1 EAST ELEVATION
Scale: 1/4" = 1'-0"



4 NORTH ELEVATION
Scale: 1/4" = 1'-0"



3 WEST ELEVATION
Scale: 1/4" = 1'-0"



5 BUILDING SECTION
Scale: 1/4" = 1'-0"

A. GENERAL

1. THE CONTRACTOR SHALL EXAMINE CAREFULLY THE SITE OF WORK CONTEMPLATED, THE PLANS, AND SPECIFICATIONS; THEREFORE, THE SUBMISSION OF A BID SHALL BE CONCLUSIVE EVIDENCE THAT THE CONTRACTOR HAS INVESTIGATED AND IS SATISFIED AS TO THE CONDITIONS TO BE ENCOUNTERED, THE CHARACTER, QUALITY, AND SCOPE OF WORK TO BE PROVIDED, THE QUANTITIES OF MATERIALS TO BE FURNISHED, AND AS TO THE REQUIREMENTS OF THE PLANS AND THESE SPECIFICATIONS.
2. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA BUILDING CODE STANDARDS, AND LOCALLY ENFORCED CODES AND AUTHORITIES. ALL ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE INSTALLED, APPLIED, AND CONNECTED AS DIRECTED BY THE MANUFACTURER'S LATEST WRITTEN SPECIFICATIONS EXCEPT WHERE OTHERWISE NOTED. MATERIAL NOTES ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE SPECIFICATIONS.
3. IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN, THEIR CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR FEATURES. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON THE PLANS.
4. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC., AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS, AND MATERIALS AND NOTIFY THE OWNER, ARCHITECT, OR ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS, THAT AFFECT ANY WORK, THE ARCHITECT OR ENGINEER SHALL BE NOTIFIED AT ONCE FOR INSTRUCTIONS ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK UNEXPECTEDLY, WITHOUT INSTRUCTIONS FROM THE ARCHITECT OR ENGINEER, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT OR ENGINEER. SHOULD A CONFLICT OCCUR IN, OR BETWEEN DRAWINGS AND SPECIFICATIONS, OR WHERE DATE REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS RESPONSIBLE TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS WRITTEN DECISION OF THE ARCHITECT OR ENGINEER HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS.
6. ALL MATERIAL STORED ON SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIAL MAY BE CAUSE FOR REJECTION OF WORK.
7. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, OR OTHERWISE ALTERING, THE TOTAL WORK OR ANY PART OF IT. CONTRACTOR SHALL EXERCISE CARE TO PROTECT ANY EXISTING CONSTRUCTION SO THAT INTEGRITY AND FINISH ARE NOT IMPAIRED. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SO MUCH OF THE WORK AS MAY BE REQUIRED TO MAKE IT BE DONE WITH APPROPRIATE MATERIALS SO THAT THE SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
8. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, FLOORING UNITS, PLUMBING FIXTURES, TOILET ROOM ACCESSORIES, HEATING EQUIPMENT, AND ALL OTHER ITEMS REQUIRING SUPPORT.

B. EARTHWORK

1. FOOTINGS SHALL BE EMBEDDED A MINIMUM OF 12 INCHES BELOW LOWER OF FINISH GRADE OR NATURAL GRADE. FOOTINGS ARE PROPORTIONED PER THE CALIFORNIA BUILDING CODE TABLE 1809.7 AND TABLE 1806.2 FOR AN ALLOWABLE SOIL PRESSURE OF 1500 P.S.F.
2. CONTRACTOR SHALL CAREFULLY EXCAVATE ALL MATERIALS NECESSARY OF WHATEVER NATURE, FOR CONSTRUCTION OF THE WORK. ANY MATERIAL OF AN UNSUITABLE OR DELETERIOUS NATURE DISCOVERED BELOW THE BOTTOMS OF THE FOUNDATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

C. CONCRETE

1. POURED IN PLACE CONCRETE WORK SHALL BE CONSTRUCTED OF NORMAL WEIGHT, PORTLAND CEMENT CONCRETE, HAVING A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 2500 PSI. ALL PORTLAND CEMENT CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," LATEST EDITION. MAXIMUM CONCRETE SLUMP SHALL BE 4 INCHES. THE USE OF ANY ADMIXTURE IN THE CONCRETE MUST BE APPROVED BY THE ENGINEER.
2. ALL NEWLY PLACED CONCRETE SHALL BE CURED IN ACCORDANCE WITH THE PROVISIONS IN ACI 308, "STANDARD PRACTICE FOR CURING CONCRETE," LATEST EDITION. METHOD OF CURING SHALL BE AT THE OPTION OF THE CONTRACTOR WITH APPROVAL OF THE OWNER.
3. ALL METAL ANCHORAGE DEVICES, ANCHOR BOLTS, ETC. SHALL BE SECURED IN PLACE AND OBSERVED BY THE ARCHITECT PRIOR TO PLACING CONCRETE.
4. ALL WORK DONE UNDER THIS BUILDING CODE SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION.

D. REINFORCEMENT

1. USE GRADE 40 DEFORMED REINFORCING FOR #4 AND SMALLER BARS AND GRADE 60 FOR #5 AND LARGER BARS CONFORMING TO THE REQUIREMENTS OF ASTM A615. STAGGERED REINFORCING BAR CONTACT SPLICES SHALL LAP 40 DIAMETERS. SUPPORT HORIZONTAL STEEL AT BOTTOM ON MORTAR BLOCKS. MINIMUM CLEARANCE SHALL BE 3 INCHES FOR SURFACES Poured AGAINST EARTH AND 1.5 INCHES ELSEWHERE U.N.O.
2. ALL REINFORCING SHALL BE SECURED IN PLACE AND INSPECTED BY THE ENGINEER PRIOR TO PLACING ANY CONCRETE OR GROUT.
3. ALL WORK DONE UNDER THIS SECTION SHALL CONFORM WITH THE APPLICABLE PORTIONS OF ACI 318, LATEST EDITION, PARTICULARLY CHAPTER 7, "DETAILS OF REINFORCEMENT".

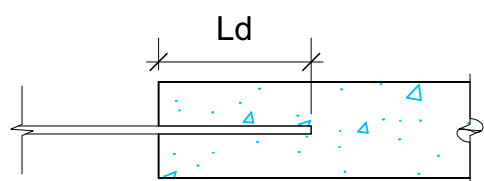
E. STEEL FRAMING

1. SEE PLANS BY "ALL METAL CONSTRUCTION" FOR STEEL FRAMING MEMBER SIZES AND SPECIFICATIONS.
2. ALL CONSTRUCTION OF THE STEEL STRUCTURE SHALL BE PER MANUFACTURER'S RECOMMENDATIONS, PER AISI SPECIFICATION, AND CALIFORNIA BUILDING CODE (CBC) REQUIREMENTS.

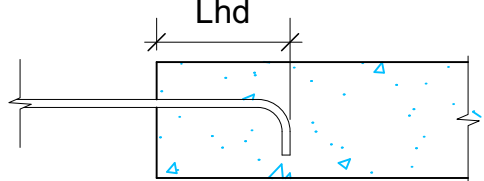
F. STRUCTURAL OBSERVATION

1. ARCHITECT SHALL PERFORM OBSERVATION OF THE PRIMARY STRUCTURAL FRAMING AT THE FOLLOWING STAGES OF WORK:
- a. FOUNDATION: PRIOR TO POURING CONCRETE BUT AFTER REINFORCING STEEL AND STEEL EMBEDMENTS ARE IN PLACE.
 - b. CONTRACTOR SHALL CONTACT THE ARCHITECT 48 HOURS MINIMUM PRIOR TO DESIRED TIME OF OBSERVATION.

CONCRETE REINFORCEMENT DEVELOPMENT AND SPLICE LENGTHS (INCHES)																								
BAR LOCATION		CONCRETE		BAR SIZE																				
				#3		#4		#5		#6		#7		#8		#9								
		TYPE	STRENGTH	Ld	LS	Lhd	Ld	LS	Lhd	Ld	LS	Lhd	Ld	LS	Lhd	Ld	LS	Lhd	Ld	LS	Lhd			
ELEVATOR PIT AND FOUNDATION		NWC	4.0 KSI	12	16	6	13	17	6	24	32	9	29	38	10	42	55	12	48	63	14	54	71	15
WALLS ABOVE PIT		NWC	3.0 KSI	12	16	6	15	20	6	28	37	10	33	43	10	48	63	14	55	72	16	62	81	18



Ld = DEVELOPMENT LENGTH



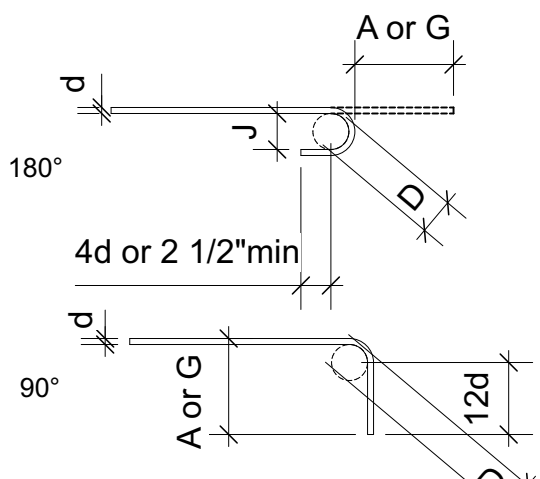
Lhd = HOOK DEVELOPMENT LENGTH

NOTES:

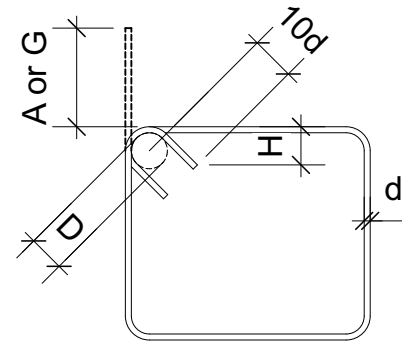
1. WHEN SPlicing BARS OF DIFFERENT SIZE, USE LAP SPlice LENGTH OF LARGER BAR; U.N.O.
2. STAGGER SPlices IN PARALLEL BARS.

5

Hooks & Splices



STD. HOOKS AND BENDS



STIRRUPS AND TIES

END HOOKS				
BAR SIZE	D	180 DEGREE HOOKS		90 DEGREE HOOKS
		A or G	J	A or G
#3	2 1/4"	5"	3"	6"
#4	3"	6"	4"	8"
#5	3 3/4"	7"	5"	10"
#6	4 1/2"	8"	6"	12"
#7	5 1/4"	10"	7"	14"
#8	6"	11"	8"	16"
#9	9"	15"	11 1/4"	19"

STIRRUPS AND TIES				
BAR SIZE	D	90 DEGREE HOOKS	135 DEGREE HOOKS	
		A or G	A or G	H APPROX
#3	1 1/2"	4"	4 1/2"	2 1/2"
#4	2"	4 1/2"	4"	3"
#5	2 1/2"	6"	5 1/2"	3 3/4"

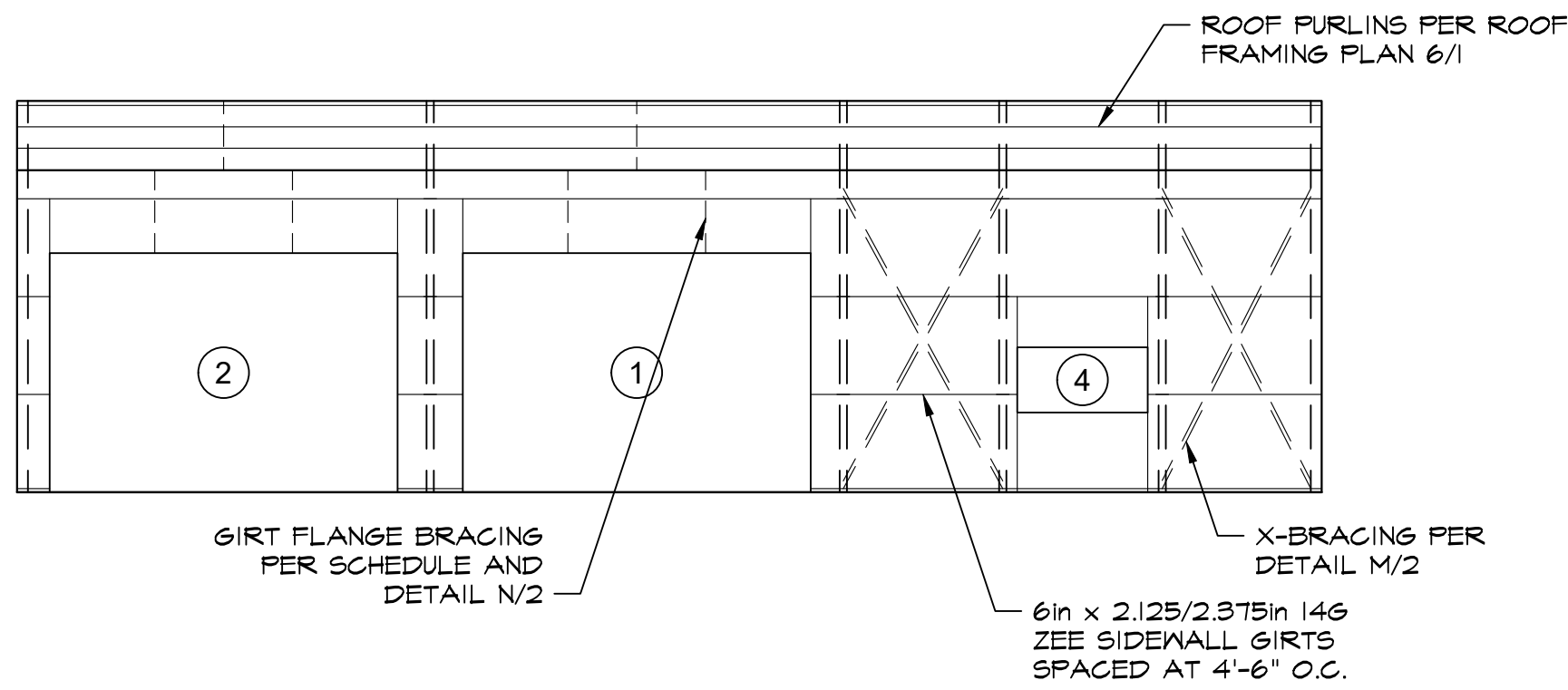
NOTE:

1. DO NOT FIELD BEND REINFORCEMENT
PARTIALLY EMBEDDED IN CONCRETE

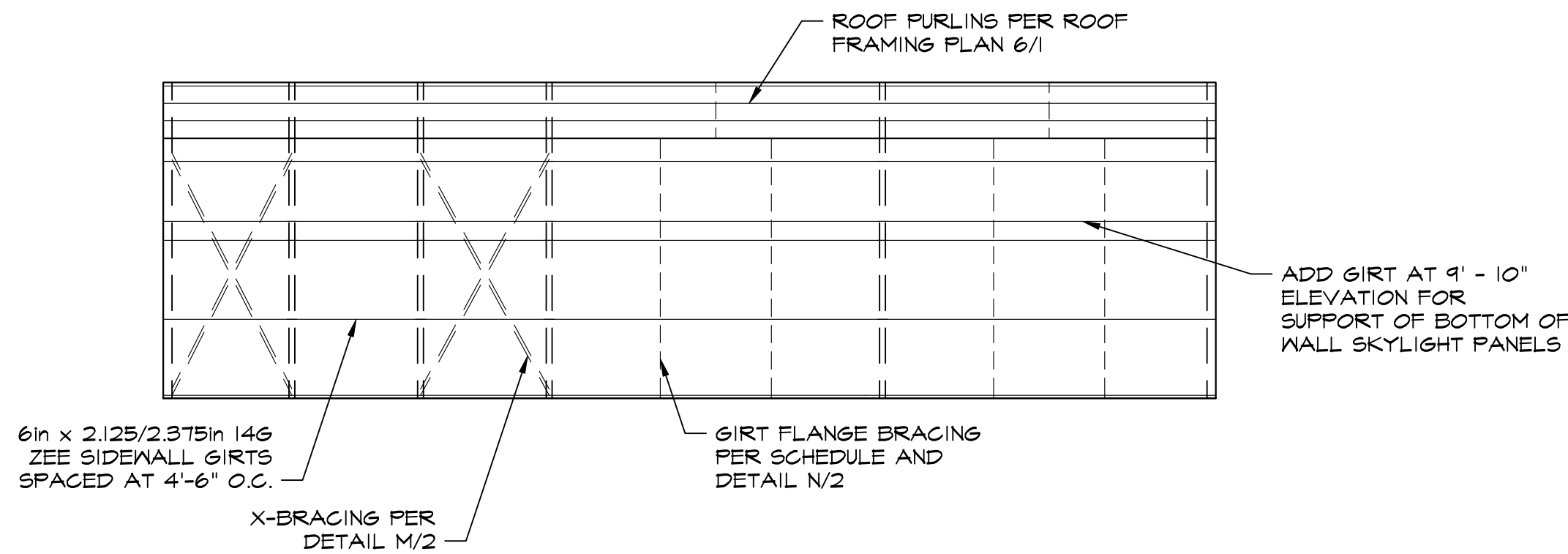
6

Hooks & Splices

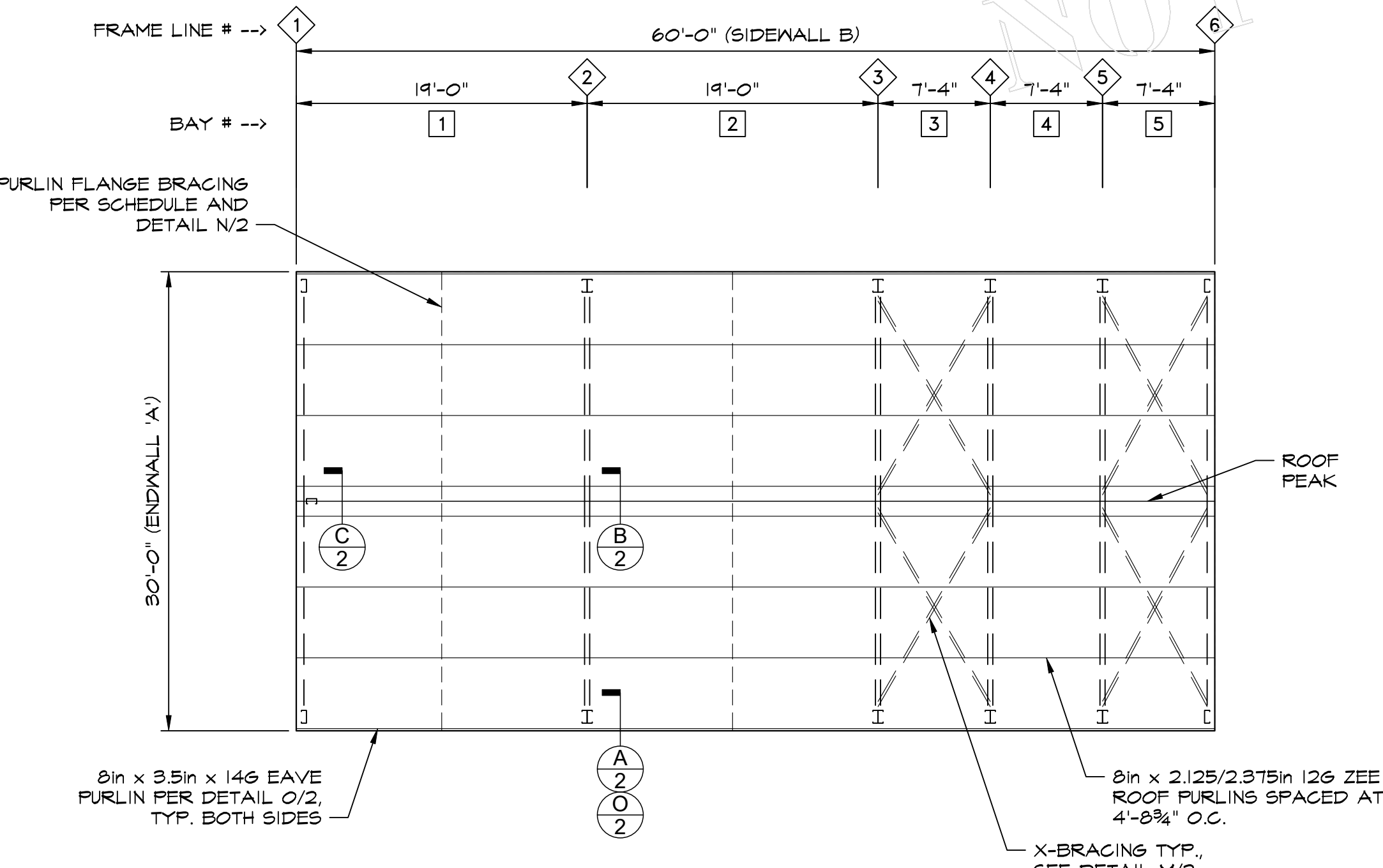
Sheet No. S1.1 _____ of _____ Total Sheets	Project Title NEW BARN FOR KENT WIGGINS 115 DAY VALLEY LN, APTOS, CA 95003 APN 105-231-15	Design Firm HUGH ZIKE AIA 838 WESTERN DR SANTA CRUZ, CA 95060 831-818-5808	Designed By	Date	THE DATA SET FORTH ON THIS SHEET IS THE PROPERTY OF HUGH ZIKE AIA. IT IS TO BE USED FOR THE ARCHITECTURAL SERVICE AND MAY NOT BE ALTERED, REPRODUCED OR USED WITHOUT THE WRITTEN CONSENT OF HUGH ZIKE AIA. THE PROPER ELECTRONIC TRANSFER OF THIS DATA SET MUST BE USED TO MAINTAIN THE INTEGRITY OF THE USER WITHOUT LIABILITY TO THE ARCHITECT. UNAUTHORIZED USE IS PROHIBITED.	No. Date Issue Notes Revision Notes Zone Appr
			Drawn By	Revision		
			Checked By	Revision		
			Project ID			
			Drawing Code			
Submitted By	GDG P. H. HARRIS	Filename				
Project Manager	Plot Date	00/00/00				



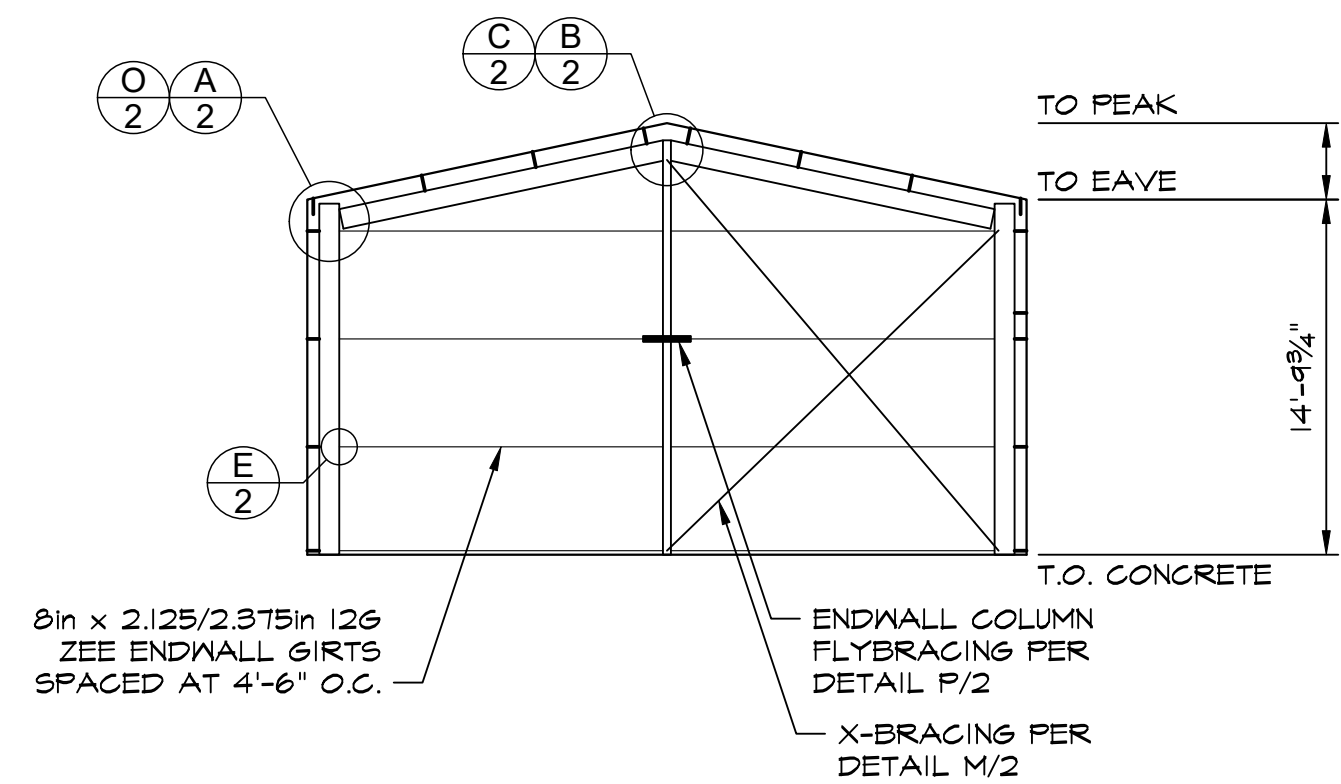
2 **SIDEWALL 'A' EXTERIOR ELEVATION**
1 SCALE: 1/8" = 1'-0"



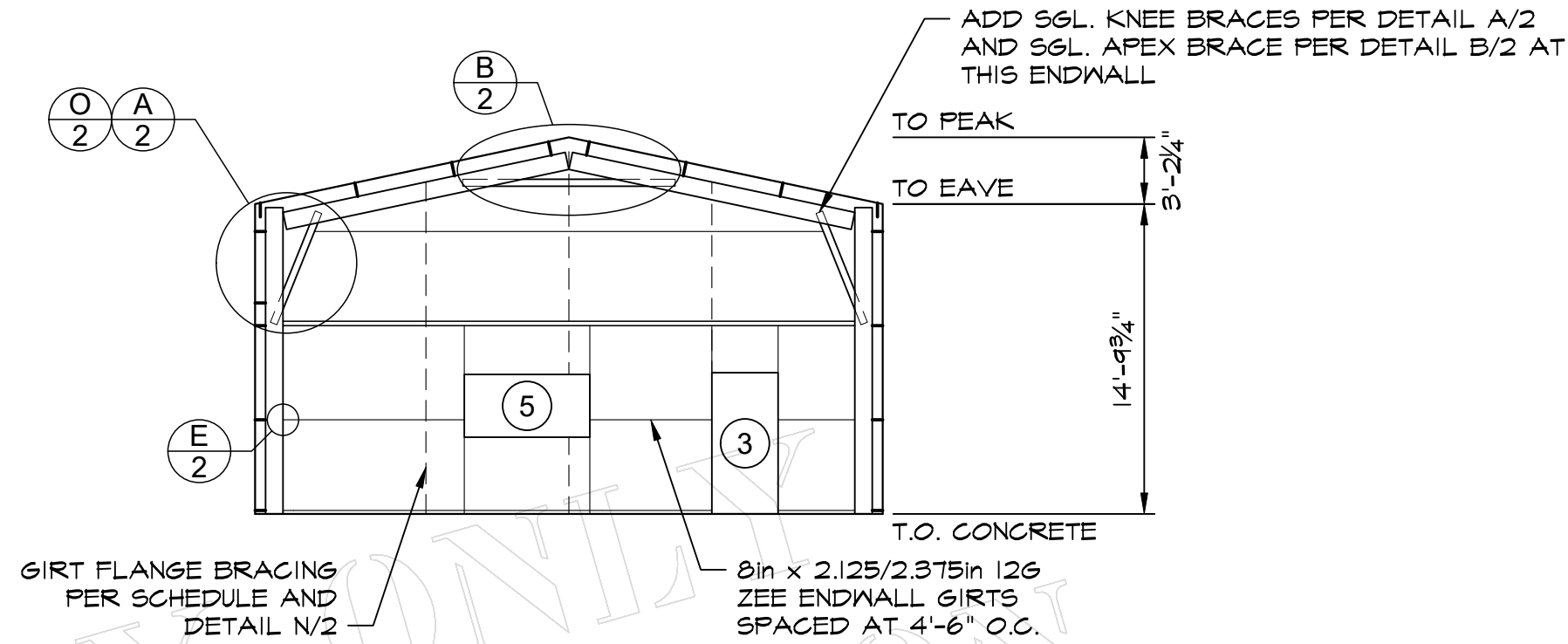
3 **SIDEWALL 'B' EXTERIOR ELEVATION**
1 SCALE: 1/8" = 1'-0"



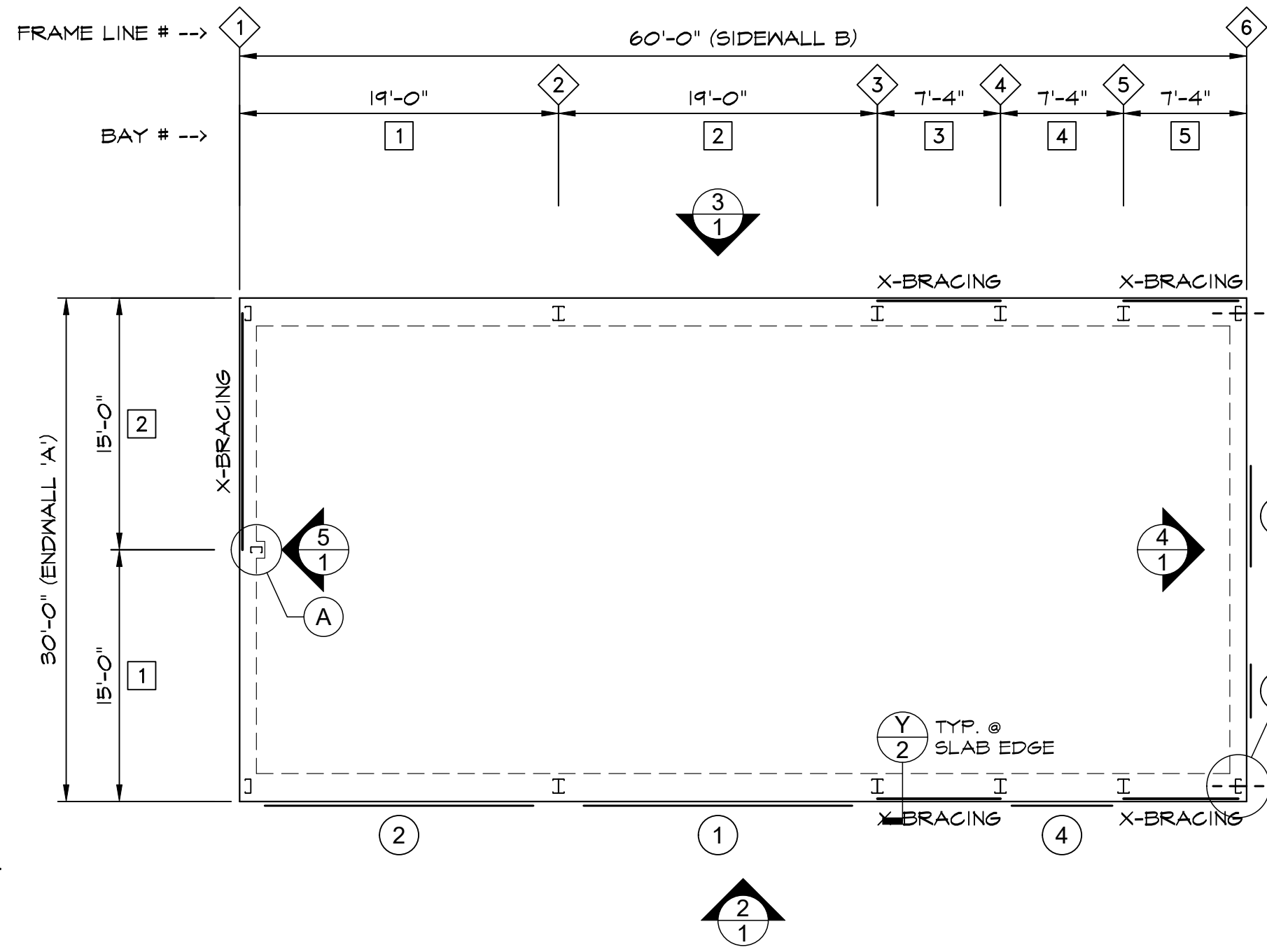
6 **ROOF FRAMING PLAN**
1 SCALE: 1/8" = 1'-0"



5 **ENDWALL 'A' INTERIOR ELEVATION**
1 SCALE: 1/8" = 1'-0" FRAME #1



4 **ENDWALL 'B' INTERIOR ELEVATION**
1 SCALE: 1/8" = 1'-0" FRAME #6



1 **FOUNDATION PLAN**
1 SCALE: 1/8" = 1'-0"

IMPORTANT: IN ADDITION TO THESE PLANS (WHICH ALWAYS TAKE PRECEDENCE), YOU SHOULD HAVE THE FOLLOWING FROM ACT BUILDING SYSTEMS:

- CONSTRUCTION PACKAGE
- INSTALLATION MANUALS
- CONSTRUCTION VIDEOS

PLEASE CONTACT YOUR SALES REP IF YOU HAVE NOT RECEIVED THESE PRIOR TO STARTING CONSTRUCTION.

PROJECT DESIGN CRITERIA

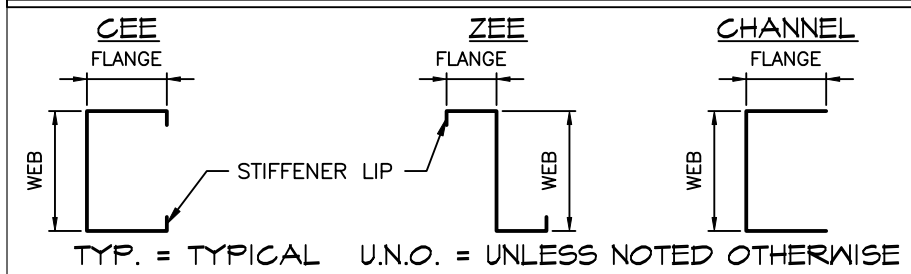
ROOF DEAD LOAD: 3 psf
ROOF COLLATERAL LOAD: 6 psf
GROUND SNOW LOAD: 0 psf
ROOF SNOW LOAD: 0 psf
ROOF LIVE LOAD: 20 psf
WIND SPEED: 110 mph
WIND EXPOSURE: C
Ss: 2.308
S1: 0.884
Sds: 1.846
Sd1: 1.002
Ct = 1.0
SEISMIC DESIGN CATEGORY: E ('short' period) E ('1-sec' period)
R transverse: 3.0 R longitudinal: 3.0
RISK CATEGORY: II
SOIL BEARING PRESSURE: 1500 psf

WIND DESIGN OF LATERAL FORCE-RESISTING SYSTEMS IS BASED ON THE DIRECTIONAL DESIGN PROCEDURE OF ASCE 7-16, CHAPTER 27

SEISMIC DESIGN OF LATERAL FORCE-RESISTING SYSTEMS ARE AS FOLLOWS:
-- TRANSVERSE: ORDINARY STEEL MOMENT FRAME (SEISMIC DESIGN IS BASED ON ASCE 07-16, SECTION 12.1 - 12.13)
-- LONGITUDINAL: ORDINARY STEEL BRACED FRAME (SEISMIC DESIGN IS PERFORMED USING THE SIMPLIFIED DESIGN PROCEDURE (ASCE 07-16, SECTION 12.14).

DESIGN BASE SHEAR: IS SHOWN ON CALCULATION SHEET M2.

COMPONENT DIAGRAM



FOUNDATION DETAIL KEYS

- (A) ENDWALL COLUMN (SEE DETAIL C/2 FOR TOP CONNECTION AND G/2 FOR BASE CONNECTION)
(B) ADD CONCRETE TENSION REINFORCING PER DETAIL T/2 AT THE FOLLOWING LOCATIONS:
SIDEWALL A: FRAMES 6
SIDEWALL B: FRAMES 6

WALL OPENING SCHEDULE

DOOR	WIDTH	HEIGHT	OPENING TYPE	HEADER GIRTS	OPENING JAMBS
1-2	16'-0"	11'-0"	ROLL UP DOOR	SINGLE	C6X4X16
3	3'-2"	6'-9"	PERSONNEL DOOR	DOUBLE	CHN8X3X12
4	6'-0"	3'-0"	WINDOW	SINGLE	CHN6X3X16
5	6'-0"	3'-0"	WINDOW	DOUBLE	CHN8X3X12

NOTES:
1) JAMB MEMBERS SHOWN AS "CHN" ARE CHANNEL MEMBERS (WITHOUT STIFFENER LIPS) AND THOSE SHOWN AS "C" ARE CEE MEMBERS. FIRST NUMBER IS WEB DEPTH IN INCHES, SECOND NUMBER IS FLANGE WIDTH IN INCHES, AND THIRD NUMBER IS MATERIAL THICKNESS (GAUGE).
2) SEE DETAILS J/2 AND K/2 AND L/2 FOR OPENING FRAMING INFORMATION.
3) SIZE OF HEADER GIRTS MEMBER TO BE SAME AS SIDEWALL OR ENDWALL GIRTS, AS APPROPRIATE, PER ELEVATIONS. AT WINDOWS, INSTALL HEADER GIRTS SPECIFIED ABOVE AND BELOW WINDOWS, U.N.O.
4) ALL OPENINGS AND ACCESSORIES SHALL BE CAPABLE OF SUPPORTING ALL WIND PRESSURES PERPENDICULAR TO THE SURFACE (GENERATED BY WINDS AT THE SPEED AND EXPOSURE INDICATED ABOVE) BY SPANNING BETWEEN THE JAMBS.

NOTE: USE 1/2" X 3" DEWALT 'SCREW-BOLT+' ANCHOR IN 3 1/2" DEEP HOLES AT ANCHOR LOCATIONS PER BASE DETAIL F/2, INSTALLED PER ICC REPORT ESR-3889, SECTION 4.3.

NOTE: SEE "TYP. FRAME CROSS-SECTION" DETAIL ON SHEET 2 FOR SPECIFIC FRAME DETAIL INFORMATION.

NOTE: EXCEPT AT DOOR OPENINGS, INSTALL L4x2x166 ANGLE TO FOUNDATION (FOR ATTACHMENT OF BOTTOM OF WALL SIDING) WITH 1/4in X 11in MUSHROOM HEAD SPIKE ANCHORS AT 48" O.C. (6" MAX. FROM ANY END).

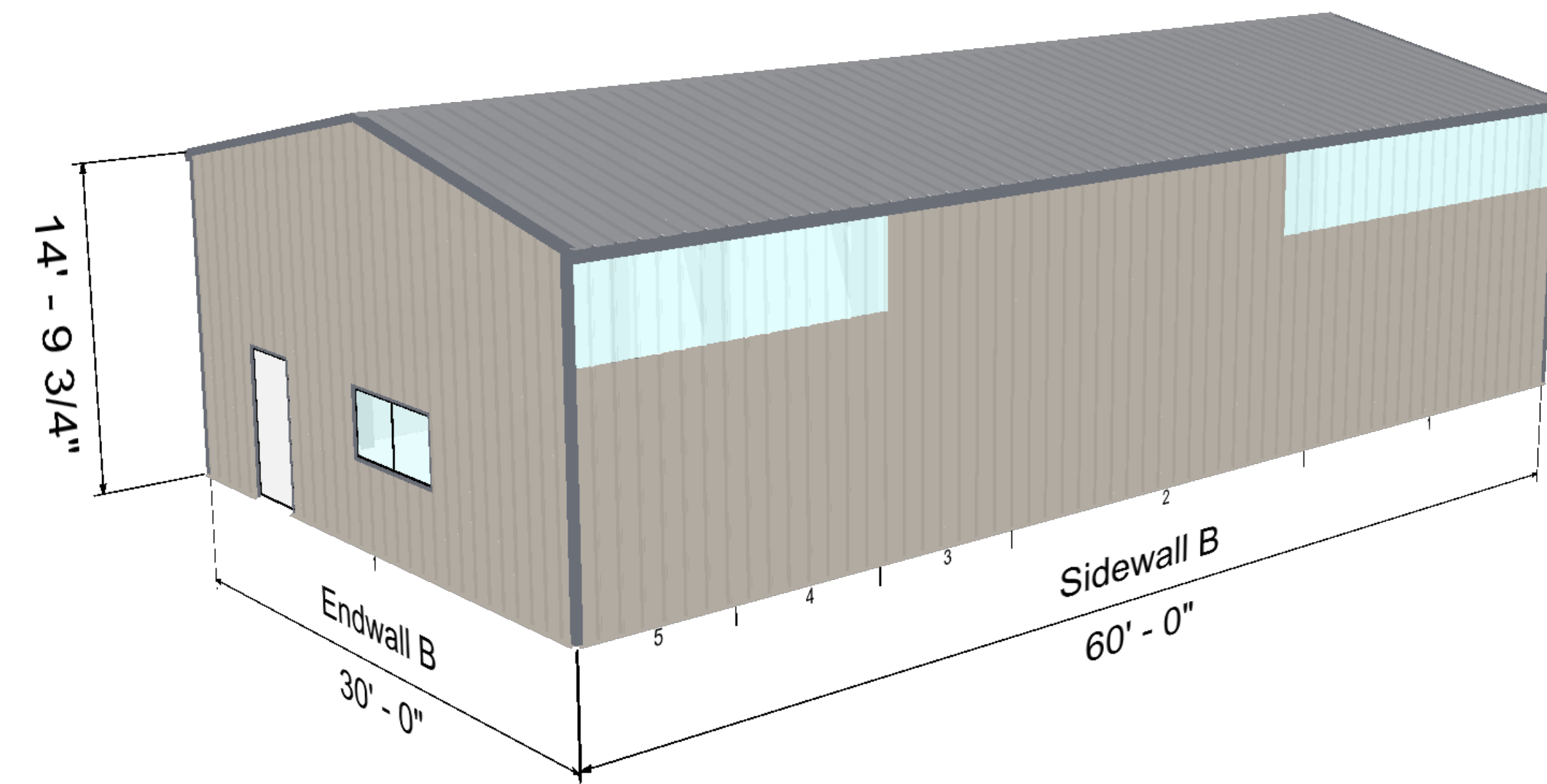
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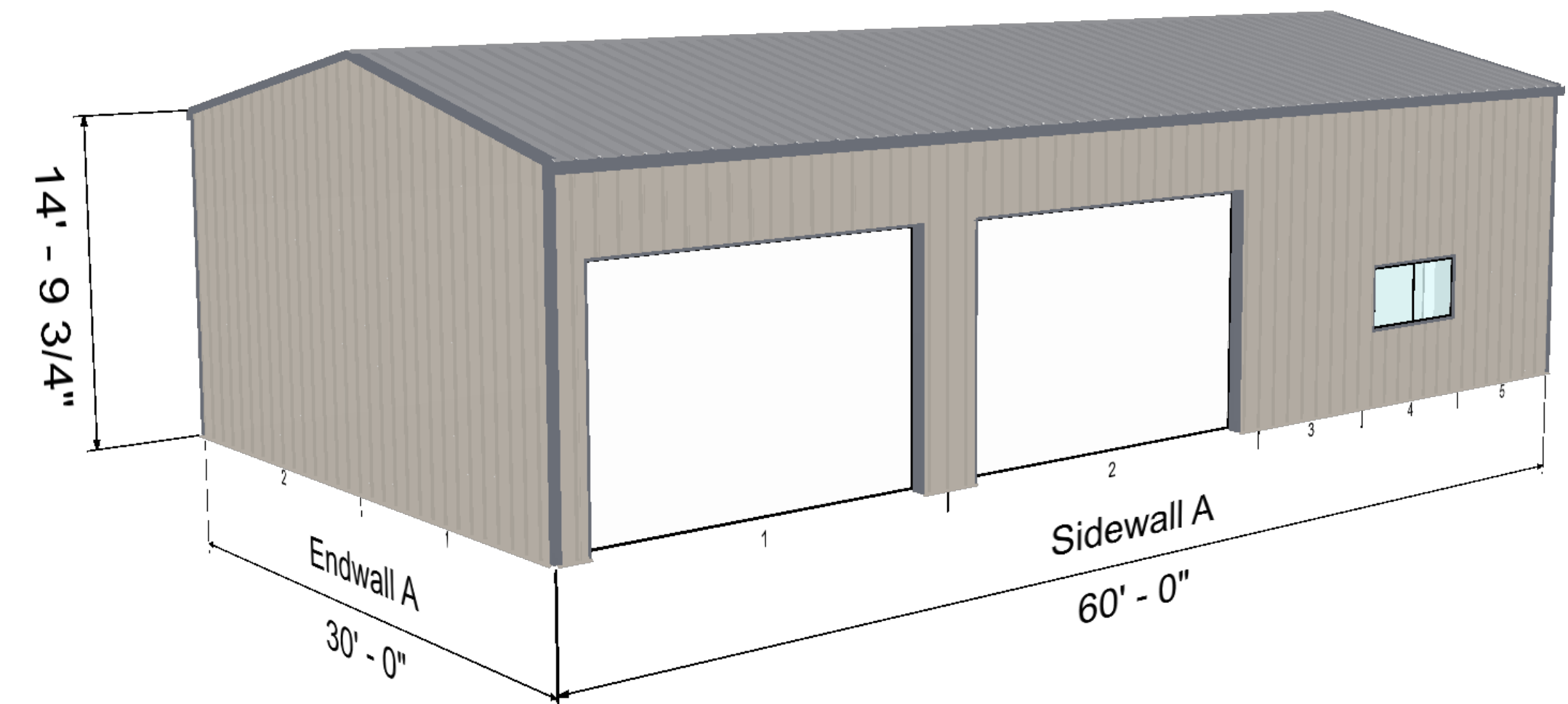
DISTRIBUTOR:
All Metal Construction
JOB NAME:
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JOB ADDRESS:
115 DAY VALLEY LANE
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DRAWN
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DATE
2/21/2023
JOB NO.
UAPT92401706
SHEET

S2.1



2 NORTH - WEST ELEVATION



1 SOUTH - EAST ELEVATION

metal sales
manufacturing corporation

Roof and Wall Colors

MS Colorfast45® Paint System

Polar White (80) SR = 0.89 TE = 0.87 SRI = 68	Light Stone (63) SR = 0.50 TE = 0.88 SRI = 58	Mocha Tan (22) SR = 0.52 TE = 0.87 SRI = 60	Antique Bronze (D4) SR = 0.35 TE = 0.88 SRI = 39
Taupe (74) SR = 0.44 TE = 0.87 SRI = 49	Ash Grey (25) SR = 0.37 TE = 0.85 SRI = 48	Charcoal (17) SR = 0.30 TE = 0.87 SRI = 31	Brown (12) SR = 0.31 TE = 0.87 SRI = 32
Dark Brown (44) SR = 0.27 TE = 0.87 SRI = 27	Forest Green (26) SR = 0.27 TE = 0.87 SRI = 27	Fern Green (07) SR = 0.30 TE = 0.88 SRI = 31	Sierra Green (20) SR = 0.38 TE = 0.87 SRI = 41
Ocean Blue (35) SR = 0.30 TE = 0.88 SRI = 31	Red (24) SR = 0.30 TE = 0.86 SRI = 30	Matte Black (106) SR = 0.27 TE = 0.86 SRI = 26	Acrylic Coated Galvalume® (41) SR = 0.67 TE = 0.14 SRI = 56 Non-Painted Finish

Color Code • SR = Initial Solar Reflectance • TE = Thermal Emittance • SRI = Solar Reflectance Index

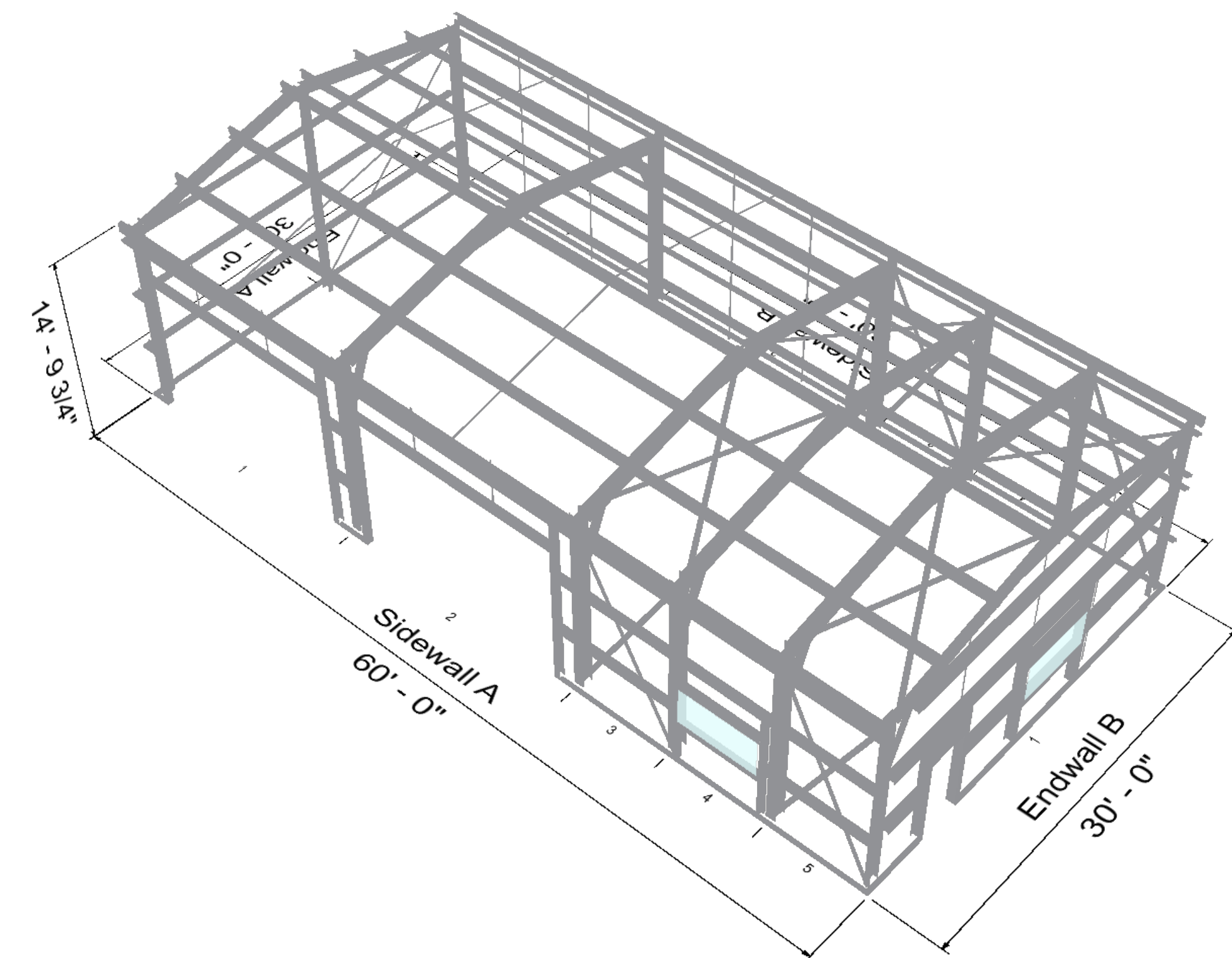
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paint finish 45
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26 gauge **WEST**

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3 FRAMING PERSPECTIVE

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SHEET

S2.2