



NOTICE OF PENDING ACTION

NOTICE OF PENDING ACTION

An application for the project described on this notice has been filed and a decision about the project will soon be made by Planning Department staff. Any member of the public may submit comments on the proposal prior to the deadline listed on the reverse side of this notice. The project plans may be viewed on the Planning Department website (<http://www.sccoplanning.com> under Pending Public Notice Projects). The webpage may also be used to track the project decision date, which initiates an appeal period. Any member of the public may request a public hearing be held for this item within 15 working days from the date the notice of pending action was sent. Failure to request a public hearing may result in the loss of the ability to appeal the County action on the application to the Coastal Commission.

Any aggrieved person, or the applicant, may appeal the ultimate decision on this project by submitting a written request within 14 calendar days of the decision date and paying an appeal fee. Please be aware that, while an anticipated decision date has been identified for purposes of this notice, the actual decision date initiating the appeal period will be posted on the web address described above. Information regarding the appeal process or fees may be obtained by phoning (831) 454-2130.

«APN»

«OWNER»

«STREET»

«CITY», «ZIP»

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATION NUMBER: 231181

APN: 057-191-14

SITUS ADDRESS: 260 Fistelera Ridge Road, Davenport, 95017

Proposal to construct a new two-story single-family dwelling containing approximately 2,921 square feet of floor area on-site with an existing cabin to be legalized as an ADU. Requires a Coastal Development Permit and a Soils Report Review (REV231069) and an Archaeological Report Review (REV231202). Property located on the west side of Fistelera Ridge Road, approximately 1,200 feet south from Last Chance Road.

OWNER: Mitchell and Shelly Neto

APPLICANT: Stillwater Dwellings – Curtis Heard

SUPERVISORIAL DISTRICT: 3

PLANNER: Jonathan DiSalvo, (831) 454-3157

EMAIL: Jonathan.Disalvo@santacruzcountyca.gov

Public comments must be received by 5:00 p.m. December 18, 2023.

A decision will be made on or shortly after December 19, 2023.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. If you would like to request a public hearing be held for this item, please contact the project planner listed on this notice.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, contact the project planner identified above.



NETO RESIDENCE

NEW SINGLE FAMILY RESIDENCE

COASTAL REVIEW

260 Fisterela Ridge Road
DAVENPORT, CA 95017
TAX PARCEL #: 05719114
FOR COASTAL REVIEW ONLY
NOT FOR CONSTRUCTION

NETO RESIDENCE
PROJECT #: 21-NETO-000
PHASE 2.0 - COASTAL REVIEW

DOCUMENT RELEASES:	
DATE	DESCRIPTION
24/DEC/21	PHASE 1.5
MARCH 23	COASTAL REVIEW
PROJ. MANAGER	MPOP

SHEET

COVER

ABBREVIATIONS

Ⓐ	AT	HM	HOLLOW METAL	TG	TEMPERED GLASS
℄	CENTERLINE	HORIZ	HORIZONTAL	T.O.	TOP OF ...
℄	PROPERTY LINE	H.P.	HIGH POINT	T.O.S	TOP OF SLAB
ø	DIAMETER	HR	HOOR	TPH	TOILET PAPER HOLDER
#	NUMBER OR POUND	HT.	HEIGHT	TYP	TYPICAL
(E)	EXISTING	HVAC	HEATING, VENTILATION, AND AIR CONDITIONING	U.N.O.	UNLESS NOTED OTHERWISE
(N)	NEW	HW	HOT WATER	VCT	VINYL COMPOSITE TILE
ABV	ABOVE	I.D.	INSIDE DIAMTER	V.I.F.	VERIFY IN FIELD
AD	AREA DRAIN	IN.	INCH	WC	WATER CLOSET
ADJ	ADJACENT	INSUL.	INSULATION	WD	WOOD
AFF	ABOVE FINISH FLOOR	INT	INTERIOR	WH	WATER HEATER
ALT	ALTERNATE	JB	JUNCTION BOX	WL	WATER LINE
ALUM	ALUMINUM	JT	JOINT	W/O	WITH OUT
APPROX	APPROXIMATE	LAM.	LAMINATE	WIN	WINDOW
ARCH	ARCHITECTURAL	LAV	LAVATORY	WP	WATERPROOF
BLKG	BLOCKING	LOC	LOCATION	WR	WATER RESISTANT
BM	BEAM	L.P.	LOW POINT		
B.O.	BOTTOM OF ...	LT	LIGHT		
C.B.	CATCH BASIN	MAX.	MAXIMUM		
C.I.P	CAST IN PLACE	M.C.	MEDICINE CABINET		
C.J.	CONTROL JOINT	MDO	MEDIUM DENSITY OVERLAY		
CLG	CEILING	MECH.	MECHANICAL		
CLKG	CAULKING	MEMB.	MEMBRANE		
CLO.	CLOSET	MTL	METAL		
CLR	CLEAR	MFR	MANUFACTURER		
CMU	CONCRETE MASONRY UNIT	MIN.	MINIMUM		
CONT.	CONTINUOUS	MIR	MIRROR		
COL.	COLUMN	MISC.	MISCELLANEOUS		
CONC	CONCRETE	N/A	NOT APPLICABLE		
CORR.	CORRIDOR	N.I.C.	NOT IN CONTRACT		
C.T.	CERAMIC TILE	NO.	NUMBER		
CPT	CARPET	NOM	NOMINAL		
DBL	DOUBLE	N.T.S.	NOT TO SCALE		
DEMO	DEMOLITION	OC	ON CENTER		
DET.	DETAIL	O.D.	OVERFLOW DRAIN		
DIA	DIAMETER	OFF.	OFFICE		
DIM	DIMENSION	OH	OVERHEAD		
DN	DOWN	OPNG	OPENING		
D.O.	DOOR OPENING	OPP.	OPPOSITE		
DW	DISHWASHER	PL	PLATE		
DWG	DRAWING	PLAM	PLASTIC LAMINATE		
EA.	EACH	PLYWD	PLYWOOD		
ELE	ELEVATION	PNL	PANEL		
EF	EXHAUST FAN	R	RISER		
ELEC	ELECTRICAL	R.A.	RETURN AIR		
ELEV	ELEVATOR	RAD	RADIUS		
EQ	EQUAL	RD	ROOF DRAIN		
EQUIP	EQUIPMENT	REINF	REINFORCED		
EXIST	EXISTING	REQ.	REQUIRED		
EXT	EXTERIOR	REV	REVISION		
F.D.	FLOOR DRAIN	R.H.	RIGHT HAND		
F.E.	FIRE EXTINGUISHER	RM	ROOM		
F.F.	FINISH FLOOR	R.O.	ROUGH OPENING		
FIN.	FINISH	SD	SMOKE DETECTOR		
FLR	FLOOR; FLOORING	SG	SAFETY GLAZING		
FLUOR.	FLUORESCENT	S.O.G.	SLAB ON GRADE		
F.O.C.	FACE OF CONCRETE	S.O.R.	STANDARD OUTLINE RECOMMENDATIONS		
F.O.F.	FACE OF FINISH	SPEC	SPECIFICATION		
F.O.I.C.	FURNISHED BY OWNER; INSTALLED BY CONTRACTOR	SQ FT	SQUARE FEET		
FT	FOOT OR FEET	SQ IN	SQUARE INCH		
FURR.	FURRING	SSTL	STAINLESS STEEL		
GA.	GAUGE	STOR.	STORAGE		
GALV.	GALVANIZED	SYM.	SYMMETRICAL		
GC	GENERAL CONTRACTOR	T	TREAD		
GL	GLASS	TB	TOWEL BAR		
GR.	GRADE	T.B.D.	TO BE DETERMINED		
GWB	GYPSUM WHITE BOARD	T.O.C.	TOP OF CURB		
HB	HOSE BIB	T&G	TONGUE & GROOVE		

DIRECTIONS TO SITE:
Take CA-1 North

Turn right onto Swanton Rd- 1.2 mi

Turn left onto Last Chance Rd0- .9 mi

Turn left toward Fistelera Ridge Rd- 0.1 mi

Turn left onto Fistelera Ridge Rd-180 ft

Turn right- Destination will be on the right- 331 ft

260 Fistelera Ridge Rd
Davenport, CA 95017

SYMBOLS LEGEND

ROOM REFERENCE	DINING RM
FLOOR FINISH	WOOD
DOOR/WINDOW REFERENCE	W WINDOW D DOOR
SKYLIGHT REFERENCE	S-1
ASSEMBLIES	WV
SECTION	A4.00 A4.00
DATUM	XXX'-X" T.O. XX
DETAIL REFERENCE	1 A5.00 1 A5.00
INTERIOR ELEVATION REFERENCE	1 2 3 4 SHEET
REVISIONS REFERENCE	
NORTH SYMBOL	N

GENERAL PROJECT NOTES

WRITTEN DIMENSIONS:

- WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK BEFORE PROCEEDING. THE OWNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATIONS SHALL BE RESOLVED BY THE OWNER PRIOR TO PROCEEDING WITH THE WORK, OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY SAME.
- DIMENSIONS ARE FROM FACE OF FRAMING TO FACE OF FRAMING OR FACE OF CONCRETE UNLESS NOTED OTHERWISE.
- VERIFY HARD DIMENSIONS FOR BUILT-IN ONE PIECE TUBS AND SHOWERS.

BIDDER DESIGN NOTES:

- ALL FOUNDATION DAMP PROOFING AND WATERPROOFING IS BIDDER DESIGNED. REFER TO STILLWATER OUTLINE WATER PROOFING DETAILS, DRAWINGS, AND S.O.R. FOR INSTALLATION AND PRODUCT RECOMMENDATIONS.
- ALL WATER PROOFING SYSTEMS ARE BIDDER DESIGNED. REFER TO STILLWATER OUTLINE WATER PROOFING DETAILS, DRAWINGS, AND S.O.R. FOR INSTALLATION AND PRODUCT RECOMMENDATIONS.
- MECHANICAL SYSTEMS ARE BIDDER DESIGNED. BIDDER DESIGN TO INCLUDE SIZING AND SELECTION OF SYSTEM COMPONENTS. REFER TO S.O.R. FOR STILLWATER RECOMMENDATIONS.
- PLUMBING SYSTEMS AND FIRE SPRINKLER SYSTEMS ARE BIDDER DESIGNED. BIDDER DESIGN TO INCLUDE SIZING AND SELECTION OF SYSTEM COMPONENTS AND SWITCHING. REFER TO S.O.R. FOR STILLWATER RECOMMENDATIONS.
- ELECTRICAL SYSTEMS ARE BIDDER DESIGNED. BIDDER DESIGN TO INCLUDE SIZING AND SELECTION OF SYSTEM COMPONENTS AND SWITCHING. REFER TO S.O.R. FOR STILLWATER RECOMMENDATIONS.
- SITE WORK, INCLUDING UTILITY CONNECTIONS AND FLATWORK, IS BIDDER DESIGN. REFER TO STILLWATER DRAWINGS AND S.O.R. FOR STILLWATER RECOMMENDATIONS.
- KITCHEN, BATHROOM, AND UTILITY ROOM CABINETRY IS BIDDER DESIGN. REFER TO STILLWATER DRAWINGS AND S.O.R. FOR STILLWATER RECOMMENDATIONS.

VICINITY MAP



PROJECT INFORMATION

PROJECT TEAM

OWNER:	MITCHELL AND SHELLY NETO 260 FISTERELA RIDGE ROAD DAVENPORT, CA 95017 925-683-0026 MITCHNSHELLY@YAHOO.COM	DESIGNER:	STILLWATER DWELLINGS 2111 3RD AVENUE SEATTLE, WA 98121 CONTACT: ANDREW WISDOM (206) 547-0565
SURVEYOR:	PAUL JENSEN SANTA CRUZ, CA 95062 (831) 440-9680	GEOTECHNICAL ENGINEER:	DEES AND ASSOCIATES 501 MISSION STREET, SUITE 8A SANTA CRUZ, CA 95060 CONTACT: C SCOTT CLARK (831) 427-1770
CIVIL ENGINEER:	TBD	STRUCTURAL ENGINEER:	TBD

SCOPE OF WORK

NEW SINGLE-FAMILY RESIDENCE W/ ATTACHED 3 CAR GARAGE

GENERAL INFORMATION

PROPERTY ADDRESS	260 Fisterela Ridge Road DAVENPORT, CA 95017	ASSESSOR'S PARCEL NO: JURISDICTION:	057-191-14 SANTA CRUZ - NORTH COUNTY
APPLICABLE CODES	2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA ENERGY CODE 2022 GREEN BUILDING STANDARDS	2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA FIRE CODE	
CONSTRUCTION TYPE	TYPE VB (WOOD FRAME-UNPROT.)		
LOT SIZE	5.04 ACRES	219586 SF	
FIRE SPRINKLER SYSTEM	YES		
FIRE HAZARD ZONE	CA, ALL FIRES HAZARD ZONES AND WUI REQUIRE FIRE PROTECTED CONSTRUCTION		
FIRE PROTECTED CONSTRUCTION	INCLUDES SOFFITS, SIDING, GLAZING, ETC IN CA PER R337; ROOFING IN OR PER R324		

ZONING INFORMATION

ZONE	SU
HEIGHT LIMIT	SCCC 13.10.323
MAX. BUILDING FLOOR AREA	N/A
ROOFING REQUIREMENTS	DEFINE OR REF ZONING SECTION
PARCEL COVERAGE	0.1
IMPERVIOUS SURFACE AREA	N/A
SETBACKS	MINIMUM FRONT YARD SETBACK MINIMUM SIDEYARD SETBACK MINIMUM REAR YARD SETBACK MAXIMUM EAVE PROJECTION

ENERGY CODE INFORMATION

PREScriptive:	SEE TYPICAL WALL SECTIONS A0.05, A0.06 & A0.07 FOR ACTUAL WALL, ROOF, FLOOR ASSEMBLY R-VALUES
CLIMATE ZONE:	3
CODE REFERENCE:	CEC 2022 TITLE 24

PREScriptive REQUIREMENTS (PER TABLE 150.1-A)	MINIMUM VALUES (CA LISTED)	ACTUAL VALUES (SOWD TYPICAL CONDITIONS LISTED)
INSULATION		
ROOFS/CEILINGS	R-38	R-49
WALLS ABOVE GRADE FRAMED	R15+4 OR R13+5	R-28
WALLS BELOW GRADE INTERIOR	R-13	N/A
WALLS BELOW GRADE EXTERIOR	R-5	N/A
FLOORS, SLAB PERIMETER	NR (NOT REQUIRED)	N/A
FLOORS, RAISED	R-19	R-30
RADIANT BARRIER	-	INSTALL AS REQUIRED PER CODE.
ROOFING PRODUCTS		
LOW SLOPED SOLAR REFLECT.	NR (NOT REQUIRED)	
LOW SLOPED THERMAL EMITT.	NR (NOT REQUIRED)	
STEEP SLOPED SOLAR REFLECT.	NR (NOT REQUIRED)	
STEEP SLOPED THERMAL EMITT.	NR (NOT REQUIRED)	
FENESTRATION		
MAX U-FACTOR	0.32	0.27
MAX SHGC	0.25	0.19
MAX TOTAL AREA	20% MAX	PER TITLE 24
MAX WEST FACING AREA	5% MAX	PER TITLE 24
HVAC SYSTEM		
SPACE HEATING		
ELECTRIC RESISTANCE ALLOWED	NO	NO
IF GAS, AFUE	MIN	PER TITLE 24
IF HEAT PUMP, HSPF	MIN	PER TITLE 24
SPACE COOLING		
SEER	MIN	0
RCV OR CID	REQUIRED	INSTALL AS REQUIRED PER CODE.
WHOLE HOUSE FAN	NR (NOT REQUIRED)	
CENTRAL SYSTEM AIR HANDLERS, CENTRAL FAN INTEGRATED VENTILATION SYSTEM FAN EFFICACY IS REQUIRED.		
DUCTS		
DUCT INSULATION	R-6	INSTALL AS REQUIRED PER CODE.
WATER HEATING- SYSTEM SHALL MEET SECTION 150.1.C)8		

PROPOSED RESIDENCE:

MAIN LEVEL COND AREA:	2078 SF	OUTDOOR PATIO(S) / DECK(S):	649 SF
LOWER LEVEL COND AREA:	317 SF	3 GARAGE (S):	903 SF
TOTAL CONDITIONED	2395 SF	UNCOND CRAWL	
TOTAL UNCONDITIONED	526 SF	BUILDING LOT COVERAGE:	3073 SF
PROPOSED FLOOR AREA RATIO	3982 SF	PROPOSED AREA OF	
PROPOSED LOT COVERAGE	3419 SF	ADDITIONAL DISTURBANCE	6810 SF
IMPERVIOUS COVERAGE	6910 SF	PERVIOUS COVERAGE	0 SF

EXISTING PROJECT INFO:			
EXISTING CABIN	608 SF	TEMPORARY STORAGE UNIT	160 SF
EXISTING CABIN DECK	240 SF	EXISTING DRIVEWAY	6560 SF
EXISTING TOOL SHED	96 SF	EXISTING LOT COVERAGE	7664 SF



2111 3RD AVENUE
SEATTLE WA 98121
TEL: (206) 547-0565
FAX: (206) 547-0563

© copyright

1) REPRODUCE DRAWINGS ONLY WITH WRITTEN PERMISSION FROM STILLWATER DWELLINGS
2) INTELLECTUAL PROPERTY OF STILLWATER DWELLINGS. THESE DRAWINGS MAY ONLY BE USED FOR THE CONSTRUCTION OF THE HOUSE TO BE INSTALLED AT THE PROJECT ADDRESS LISTED ON THESE DRAWINGS.

3) CONSTRUCTION OF THE PROJECT THESE DRAWINGS BECOME MAY ONLY PROCEED WITH THE EXPRESS WRITTEN CONSENT GRANTED BY STILLWATER DWELLINGS INC.

260 Fisterela Ridge Road
DAVENPORT, CA 95017
TAX PARCEL #: 05719114
FOR COASTAL REVIEW ONLY
NOT FOR CONSTRUCTION

NETO RESIDENCE
PROJECT #: 21-NETO-000
PHASE 2.0 - COASTAL REVIEW

DOCUMENT RELEASES:	
DATE	DESCRIPTION
24/DEC/21	PHASE 1.5
MARCH 23	COASTAL REVIEW
PROJ. MANAGER	MPOP

SHEET

PROJECT DATA
& GENERAL
INFORMATION

A0.00

AB	AGGREGATE BASE	JT	JOINT TRENCH
AC	AIR CONDITIONER UNIT	L	LANDING
ADU	ACCESSORY DWELLING UNIT	LF	LINEAR FOOT
APN	ASSESSORS PARCEL NUMBER	LIP	LIP OF GUTTER
ARV	AIR-RELEASE VALVE	LOG	LIMIT OF GRADING
BF	BASEMENT FLOOR	LP	LOW POINT
BFF	BACKFLOW PREVENTER	MP	MANHOLE
BO	BLOW-OFF VALVE	MIN	MINIMUM
BRW	FG AT BOTTOM OF RETAINING WALL	N	NORTH
BSW	BACK OF SIDEWALK	NE	NORTHEAST
BVC	BEGIN VERTICAL CURVE	NTS	NOT TO SCALE
BW	BOTTOM OF WALL	NW	NORTHWEST
CATV	CABLE TELEVISION	OC	ON CENTER
CB	CATCH BASIN	OCEW	ON CENTER, EACH WAY
CBC	CALIFORNIA BUILDING CODE	OH	OVERHEAD
CI	CURB INLET	PCC	PORTLAND CEMENT CONCRETE
CIP	CAST IRON PIPE	POC	POINT OF CONNECTION
CL	CENTERLINE	PP	POWER POLE
CMP	CORRUGATED METAL PIPE	PL	PROPERTY LINE
CMU	CONCRETE MASONRY UNIT	PRC	POINT OF REVERSE CURVE
CO	CLEANOUT	PS	PLANTING STRIP
CONC	CONCRETE	PSE	PUBLIC SERVICE EASEMENT
COTG	CLEANOUT TO GRADE	PIV	POST-INDICATOR VALVE
DIP	DUCTILE IRON PIPE	PV	PAVEMENT
DS	DOWNSPOUT	PVC	POLYVINYL CHLORIDE PIPE
DTL	DETAIL	R	RADIUS
DWG	DRAWING	RC	RELATIVE COMPACTION
DWY	DRIVEWAY	RCP	REINFORCED CONCRETE PIPE
E	EAST, ELECTRICAL	ROW	RIGHT-OF-WAY
EG	EXISTING GROUND	RPPB	REDUCE PRESSURE PRINCIPLE BACKFLOW
EP	EDGE OF PAVEMENT	RSB	REAR SETBACK
(E)	EXISTING	RW	RECYCLED WATER
EQ	EQUAL	S	SOUTH, SLOPE
EX	EXISTING	SD	STORM DRAIN
FC	FACE OF CURB	SE	SOUTHEAST
FDC	FIRE DEPARTMENT CONNECTION	SDMH	STORM DRAIN MANHOLE
FG	FINISH GRADE	SDE	STORM DRAIN EASEMENT
FF	FINISH FLOOR	SHT	SHEET
FH	FIRE HYDRANT	SS	SANITARY SEWER
FL	FLOWLINE	SSB	SIDE SETBACK
FNC	FENCE	SSE	SANITARY SEWER EASEMENT
FO	FIBER OPTIC	SSMH	SANITARY SEWER MANHOLE
FS	FINISHED SURFACE	STA	STATION
FSB	FRONT SETBACK	STD	STANDARD
FT	FOOT/FEET	SW	SIDEWALK, SOUTHWEST
FW	FIRE WATER	SWE	SIDEWALK EASEMENT
G	GAS	T	TELEPHONE
GB	GRADE BREAK	TC	TOP OF CURB
GB	GARAGE FLOOR	TH	THRESHOLD
HT	HEIGHT	TRAN	TRANSFORMER
HDPE	HIGH-DENSITY POLYETHYLENE	TRW	FG AT TOP OF RETAINING WALL
HP	HIGH POINT	TW	TOP OF WALL
INT	INTERSECTION	USA	UNDERGROUND SERVICE ALERT
INV	INVERT	W	WEST, WATER
IRR	IRRIGATION	WM	WATER METER
JB	JUNCTION BOX	WV	WATER VALVE

	PROPERTY LINE		AIR RELEASE VALVE
	PROPERTY LINE - ADJACENT		BLOW-OFF VALVE
	PROPOSED EASEMENT		CATCH BASIN
	FENCE		CURB INLET
	ELECTRICAL LINE		CLEANOUT STRUCTURE
	FIBER OPTIC LINE		FIRE HYDRANT
	FIRE WATER LINE		GUY ANCHOR
	GAS LINE		MANHOLE STRUCTURE
	IRRIGATION LINE		WATER METER
	JOINT TRENCH LINE		WATER VALVE
	OVERHEAD LINE		WATER THRUST BLOCK
	RECYCLED WATER LINE		FLOW DIRECTION
	STORM DRAIN LINE		
	PERFORATED PIPE		
	SANITARY SEWER LINE		
	TELEPHONE LINE		
	CABLE TV LINE		
	WATER LINE		
	SWALE		
	LIMIT OF GRADING		
	TREE PROTECTION FENCING		
	FIBER ROLLS		
	PROPOSED RETAINING WALL		

The map displays a complex land parcel with several key features:

- Property Lines:** Defined by bearings and distances, such as "PROPERTY LINE: 525.00 FT S 90 DEG W" and "PROPERTY LINE: 423.28 FT N 02 DEG E".
- Easements:** Notable easements include the "CENTERLINE 5' WIDE PG&E EASEMENT 2644 O.R. 195" and "PG&E POLE LINE 2049 O.R. 536".
- Structures and Features:** Includes "DAVID LEWIS BOXER" (4037 O.R. 575), "MITCHELL NETO & MICHELLE R. NETO, TRUSTEES OF THE MITCHELL AND MICHELLE R. NETO LIVING TRUST" (DOC. # 2018-0017591), and "DAMON FAMILY TRUST" (DOC. # 2015-0006769).
- Boundaries and Setbacks:** Shows "SIDE SETBACK 20 FEET" and "FRONT SETBACK 40 FEET" along various edges.
- Infrastructure:** Marks locations for "FOUND 3/4\" IRON PIPE LS 3307", "FOUND TOP 12\" WELL CASING", and "EXISTING AC PVMT".
- Orientation:** A north arrow points towards the top right of the page.

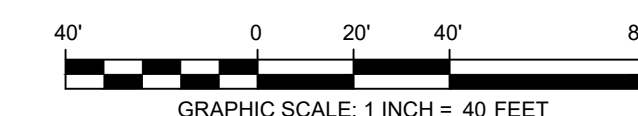
SURVEY FOR THIS PROJECT PROVIDED BY PAUL
JENSEN, DATED MAY& JUNE 2019.

ELEVATIONS ARE BASED ON ASSUMED DATUM WITH
BENCHMARK POINT AT TOP OF MOST NORTH
EASTERLY PG&E VAULT, AS NOTED ON SURVEY

BENCHMARK ELEVATION = 893.00'

BASIS OF BEARINGS
N00°00'00" E 916.75
(N00°00'00" E 916.95)

SHEET NO.	DESCRIPTION
C1.0	COVER SHEET
C1.1	NOTES
C2.0	SITE PLAN
C3.0	GRADING AND DRAINAGE PLAN
C3.1	SECTIONS
C4.0	UTILITY PLAN
C5.0	DETAILS
C6.0	EROSION CONTROL PLAN & DETAILS

[illegible]

DRAWN BY:	DMR
DESIGNED BY:	DMR
DATE:	08/24/2023
SCALE:	AS NOTED
PROJECT NO:	23-030
SHEET:	

C1.0

1. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH APPLICABLE REQUIREMENTS IN THE CURRENT EDITION OF THE "COUNTY OF SANTA CRUZ DESIGN CRITERIA".
2. UNLESS OTHERWISE AGREED UPON WITH THE COUNTY OF SANTA CRUZ, WORK SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. WEEKDAYS, NON-NOISE PRODUCING ACTIVITIES, SUCH AS INTERIOR PAINTING, SHALL NOT BE SUBJECT TO THIS RESTRICTION.
3. A "DISTURBANCE COORDINATOR" SHALL BE ESTABLISHED, PRIOR TO CONSTRUCTION, TO RESPOND TO CITIZEN COMPLAINTS AND INQUIRIES REGARDING CONSTRUCTION NOISE AND DUST. THE NAME, PURPOSE AND TELEPHONE NUMBER OF THE DISTURBANCE COORDINATOR SHALL BE POSTED ON A SIGN EASILY VISIBLE FROM OFF-SITE DURING THE ENTIRE TIME PROJECT GRADING AND CONSTRUCTION OCCURS. THE DISTURBANCE COORDINATOR SHALL INVESTIGATE THE CONCERN AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24 HOURS OF RECEIVING A COMPLAINT OR INQUIRY.
4. ALL FIGURE (FIG.) REFERENCES, UNLESS OTHERWISE SPECIFIED, REFER TO STANDARD DRAWINGS IN THE CURRENT EDITION OF THE "COUNTY OF SANTA CRUZ DESIGN CRITERIA".
5. NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.
6. NO LAND CLEARING, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS A SEPARATE WINTER EROSION CONTROL PLAN IS APPROVED BY THE PLANNING DIRECTOR. BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
7. THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DOWN AT THE END OF THE WORK DAY.
8. THE CONTRACTOR SHALL NOTIFY THE COUNTY CONSTRUCTION ENGINEER (831-454-2160) 24 HOURS PRIOR TO START OF CONSTRUCTION.

UNLESS OTHERWISE INDICATED BY A GEOTECHNICAL ENGINEER, THE TOP 8" OF SUB-GRADE UNDER ALL PAVED (CONCRETE AND ASPHALT) SURFACES SUBJECT TO VEHICULAR USE SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.

10. CONTRACTOR SHALL FIELD VERIFY ALL UNDERGROUND UTILITIES AND SUBSTRUCTURES. PRIOR TO FURTHER CONSTRUCTION, THE ENGINEER MUST BE NOTIFIED, IN WRITING, OF ANY DISCREPANCIES THAT MAY EXIST.
11. PRIOR TO CONSIDERATION FOR FORMAL COUNTY ACCEPTANCE OF THE IMPROVEMENTS, AS-BUILT PLANS WILL BE PREPARED BY COUNTY STAFF. ANY CHANGES FROM THE IMPROVEMENT PLANS NOT PREVIOUSLY APPROVED BY THE DEPARTMENT OF PUBLIC WORKS WILL REQUIRE NEGOTIATION AND ADJUSTMENT TO THE SATISFACTION OF THE COUNTY.
12. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
13. UNLESS OTHERWISE NOTED, THE TERMS "INSTALL," "CONSTRUCT" AND "NEW (N)" INDICATE THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS, PRODUCTS, EQUIPMENT, AND LABOR FOR SAID INSTALLATION AND CONSTRUCTION.
14. PURSUANT TO SECTIONS 16.40.040 AND 16.42.100 OF THE COUNTY CODE, IF AT ANY TIME DURING SITE PREPARATION, EXCAVATION, OR OTHER GROUND DISTURBANCE ASSOCIATED WITH THIS DEVELOPMENT, ANY ARTIFACT OR OTHER EVIDENCE OF AN HISTORIC ARCHEOLOGICAL RESOURCE OR A NATIVE AMERICAN CULTURAL SITE IS DISCOVERED, THE RESPONSIBLE PERSONS SHALL IMMEDIATELY CEASE AND DESIST FROM ALL FURTHER SITE EXCAVATION AND NOTIFY THE SHERIFF-CORONER IF THE DISCOVERY CONTAINS HUMAN REMAINS, OR THE PLANNING DIRECTOR IF THE DISCOVERY CONTAINS NO HUMAN REMAINS. THE PROCEDURES ESTABLISHED IN SECTIONS 16.40.010 AND 16.42.100, SHALL BE OBSERVED.
15. THE DIRECTOR OF PUBLIC WORKS, OR HIS AUTHORIZED REPRESENTATIVE, SHALL HAVE THE AUTHORITY TO "STOP WORK" IF THE WORK IS NOT BEING DONE IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS.
17. CIVIL ENGINEER OF RECORD, SHALL INSPECT THE DRAINAGE IMPROVEMENTS ON THE PARCEL AND PROVIDE PUBLIC WORKS WITH A LETTER CONFIRMING THAT THE WORK WAS COMPLETED PER THE PLANS. AS-BUILT PLANS, STAMPED BY THE CIVIL ENGINEER, MAY BE PROVIDED IN LIEU OF SAID LETTER.

AREA WITHIN LIMITS OF DISTURBANCE LINE = 13,835 SF (0.32 ACRES)

300	CUBIC YARDS EXCAVATION
380	CUBIC YARDS EMBANKMENT
80	CUBIC YARDS (IMPORT)

1. ESTIMATE DOES NOT INCLUDE UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION, IF REQUIRED BY SITE CONDITIONS.
2. ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% EXPANSION FACTOR ON ALL CUT MATERIAL.
3. PRIOR TO COMMENCEMENT OF WORK CONTRACTOR SHALL CONFIRM THAT ESTIMATES ARE CORRECT.
4. EXCESS MATERIAL SHALL BE DISPOSED OF OFFSITE AT AN APPROVED DISPOSAL SITE.

1. SITE PLAN BASED ON TOPOGRAPHIC SURVEY, PERFORMED BY PAUL JENSEN, DATED MAY & JUNE 2019.
2. ALL GRADING WORK AND CONSTRUCTION OF IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS SPECIFIED IN THE GEOTECHNICAL REPORT BY DEES & ASSOCIATES, AND ANY SUBSEQUENT ADDENDUM LETTERS, THE GEOTECHNICAL ENGINEER SHALL INSPECT THE COMPLETED PROJECT AND CERTIFY, IN WRITING, THAT ALL WORK CONFORMS TO THE GEOTECHNICAL INVESTIGATION REPORT.
3. REFER TO ABOVE REFERENCED GEOTECHNICAL REPORT FOR ONSITE SOIL PREPARATION (OVEREXCAVATION AND RECOMPACTION REQUIRED) BELOW CONCRETE FOOTINGS, SLABS, AND PAVEMENT.
4. ALL GRADING WORK AND CONSTRUCTION OF IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH THE CBC 2022.
5. NO CHANGES ON THESE PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF RAMSEY CIVIL ENGINEERING, INC.
6. EROSION CONTROL PLANS SHALL BE PERMITTED AND FILED WITH THE APPLICABLE AGENCIES PRIOR TO ANY CONSTRUCTION OR GRADING OPERATIONS.
7. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
8. ROOF DOWNSPOUTS SHALL DISCHARGE AWAY FROM BUILDING FOUNDATION PER 2022 CBC, AND DIRECTED TO GRADE TO DRAIN.
9. ALL COMPACTION TO BE DETERMINED USING THE LATEST EDITION OF ASTM D1557.
10. THE TYPES, LOCATIONS, SIZES, AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE IMPROVEMENT PLANS MAY BE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR SHALL PERFORM THEIR OWN FIELD INVESTIGATION PRIOR TO CONSTRUCTION TO VERIFY UTILITY LOCATIONS. CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND DEPTHS OF SUCH UNDERGROUND UTILITIES. THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED. IF AT ANYTIME THE CONTRACTOR IS UNSURE OF UTILITY LOCATIONS, A CERTIFIED UNDERGROUND UTILITY LOCATOR SHALL BE OBTAINED AT THE COST OF THE CONTRACTOR, FOR ONSITE UTILITIES, OR CONTACT U.S.A. (OR 811) FOR OFFSITE UTILITIES.
11. ALL UTILITY STRUCTURES TO REMAIN WITHIN AREAS EFFECTED BY THE CONSTRUCTION WORK ON THIS PROJECT, INCLUDING, BUT NOT LIMITED TO CLEANOUTS, WATER VALVES, AND PULL BOXES SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR WHETHER SHOWN ON THESE PLANS OR NOT. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL PUBLIC OR PRIVATE UTILITY COMPANIES.
12. ALL AREAS TO BE GRADED ACCORDING TO THE GRADES SHOWN ON THESE PLANS. A 1% MINIMUM SLOPE FOR DRAINAGE SHALL BE APPLIED IF NO GRADES ARE SHOWN, SUBJECT TO THE APPROVAL OF THE PROJECT ENGINEER.
13. CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS.
14. CONTRACTOR SHALL VERIFY THE CONTENTS AND THICKNESS OF THE BUILDING SLAB SECTION (I.E. CONCRETE, SAND, ROCK) WITH THE STRUCTURAL PLANS PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
15. ALL GRADING, TRENCHING, SHORING, PAVING, AND CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
16. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONNEL AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONALS AND CITY REPRESENTATIVES HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
17. NO ADDITIONAL IMPERVIOUS OR SEMI-PERVIOUS SURFACE AREA COVERAGE BEYOND THE LIMITS SHOWN ON THESE PLANS SHALL BE CONSTRUCTED WITHOUT UPDATED MITIGATIONS AND PRIOR APPROVAL OF THE COUNTY OF SANTA CRUZ.
18. RAMSEY CIVIL ENGINEERING PERFORMED AN UPSTREAM AND DOWNSTREAM SITE ASSESSMENT FOR STORMWATER RUNOFF ON AUGUST 14, 2023. THERE ARE NO KNOWN DRAINAGE ISSUES THAT CURRENTLY EXIST. THERE WILL BE NO SIGNIFICANT IMPACT TO DOWNSTREAM PROPERTIES DUE TO THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

ONSITE	EXISTING (SF)	NEW/REPLACED (SF)
BUILDING AREA	1,563	2,390
CONCRETE	120	1,680
GRAVEL (PERVIOUS) DRIVEWAY*	5,147	1,780 (890 @50%)
PERMEABLE PAVERS*	0	0
TOTAL	6,830 (4,257 W/ PERVIOUS @ 50%)	4,960

PER PART 3, SECTION C.1.a OF THE SANTA CRUZ COUNTY DESIGN CRITERIA THIS PROJECT IS CONSIDERED A MEDIUM PROJECT (500SF-5,000SF) AND REQUIRES IMPLEMENTATION OF BMP's

NOTES:
1. * PERMEABLE PAVERS & GRAVEL DRIVEWAY COUNT AS 50% IMPERVIOUS
2. DOWNSPOUTS DRAIN TO GRADE, AWAY FROM FOUNDATION PER CBC 2021, AND FLOW TO ADJACENT LANDSCAPE PRIOR TO LEAVING SUBJECT PARCEL



RAMSEY
CIVIL ENGINEERING INC.

CIVIL ENGINEERING
LAND PLANNING
PROJECT MANAGEMENT
CONSTRUCTION SUPPORT
QSD AND QSP SERVICES

2905 KRISTIE COURT
SANTA CRUZ, CA 95065
TEL (831) 462-2905
www.ramseycivilengineering.com



DAVID RAMSEY DATE
RCE# 73735

APN# 057-191-14

PLAN TYPE
RESIDENTIAL

NOTES

NETO RESIDENCE

260 FISTELERA RIDGE ROAD, DAVENPORT, CA, 95017

[illegible]

DRAWN BY:	DMR
DESIGNED BY:	DMR
DATE:	08/24/2023
SCALE:	AS NOTED
PROJECT NO:	23-030
SHEET:	

C1.1

DOC. # 2018-0017591
APN 057-191-14

CENTERLINE 5' WIDE
PG&E EASEMENT
2644 O.R. 195

LAST COURSE OF
2644 O.R.195
STATES" ... TO A POINT IN AN
EXISTING LINE OF POLES ... 2049 O.R./536

N 89°56'11" E 150.00'

FOUND 3/4" IRON PIPE
LS 2678

FOUND TOP
12" WELL CASING

PG&E POLE LINE
2049 O.R. 536

SIDE SETBACK 20 FEET

60' Pine

56"

SIDE SETBACK 20 FEET

N 90°00'00" E

PROPERTY LINE 532.91 FT N 90 DEG E

EXISTING 5000
GAL WATER TA

EXISTING WELL

WTR TMR

INNER —

EXISTING TOOL SHED

DRIVEWAY

NE TANK

1000

1

1

1

12

[illegible]

HATCH LEGEND

PROPOSED STRUCTURE
(SEE ARCH DRAWINGS)

CONCRETE DRIVEWAY
6" PCC W/ #4 BARS @ 24" O.C.E.W
OVER 6" CLASS II AB @ 95% R.C.


CONCRETE PATIO
4" PCC W/#4 BARS @ 24" O.C.E.W
OVER 6" CLASS II AB @95% R.C.

ASPHALT
EXISTING ASPHALT ROADWAY

PERMEABLE GRAVEL DRIVEWAY
(6" CL 2 PERMEABLE MATERIAL SET
ATOP ROLLER COMPACT SUBGRADE

20' 0 10' 20' 40'

GRAPHIC SCALE: 1 INCH = 20 FEET




RAMSEY
CIVIL ENGINEERING INC.

CIVIL ENGINEERING
LAND PLANNING
PROJECT MANAGEMENT
CONSTRUCTION SUPPORT
QSD AND QSP SERVICES

2905 KRISTIE COURT
SANTA CRUZ, CA 95065
TEL (831) 462-2905

www.ramseycivilengineering.com



DAVID RAMSEY
RCE# 73735

DATE _____

APN# 057-191-14

PLAN TYPE
RESIDENTIAL

SITE PLAN

NETO RESIDENCE

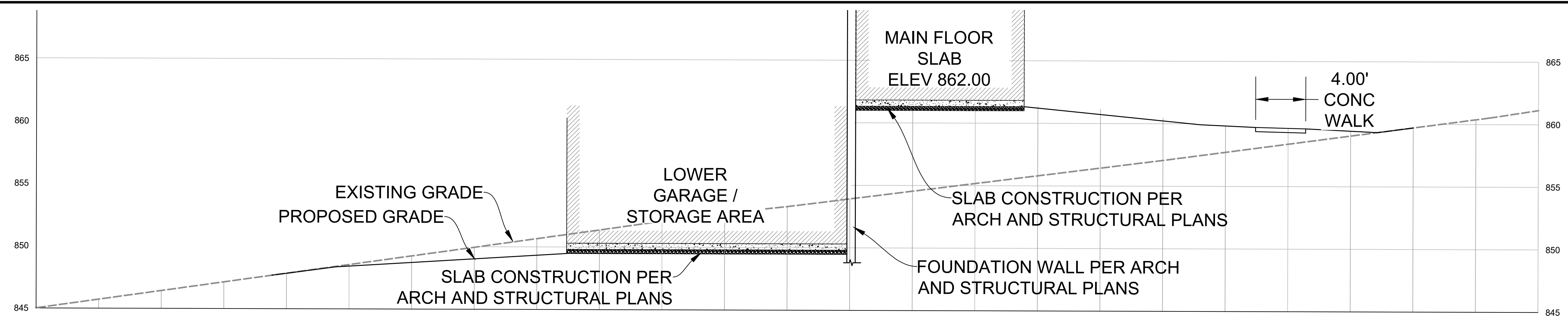
260 FISTELERA RIDGE ROAD, DAVENPORT, CA; 95017

[illegible]

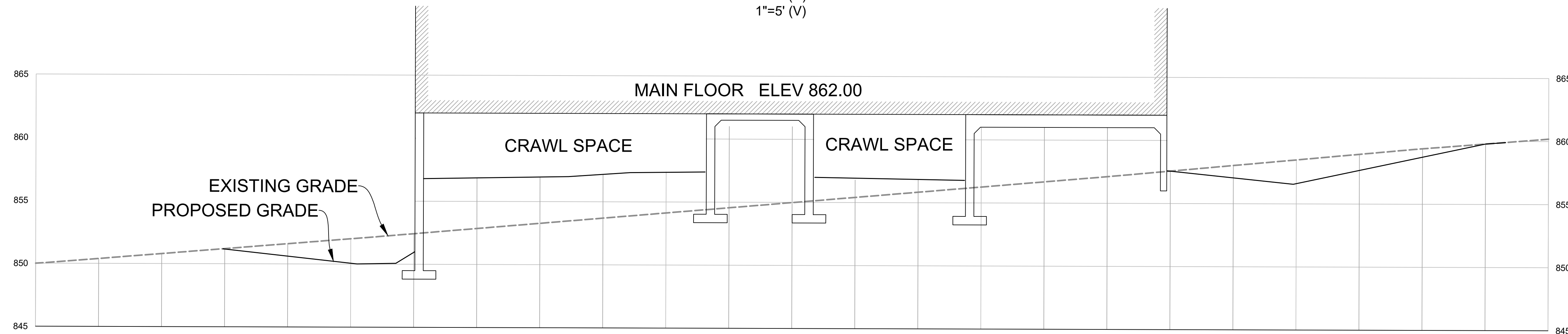
DRAWN BY:	DMR
DESIGNED BY:	DMR
DATE:	08/24/2023
SCALE:	AS NOTED
PROJECT NO:	23-030
SHEET:	

C2.0

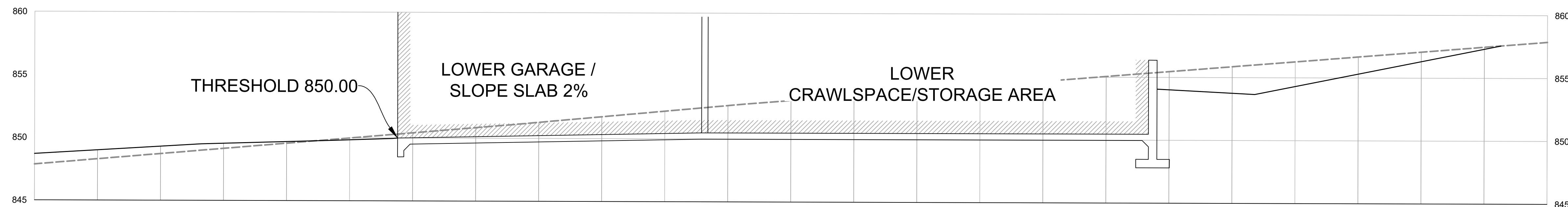
Know what's **below**.
Call before you dig.



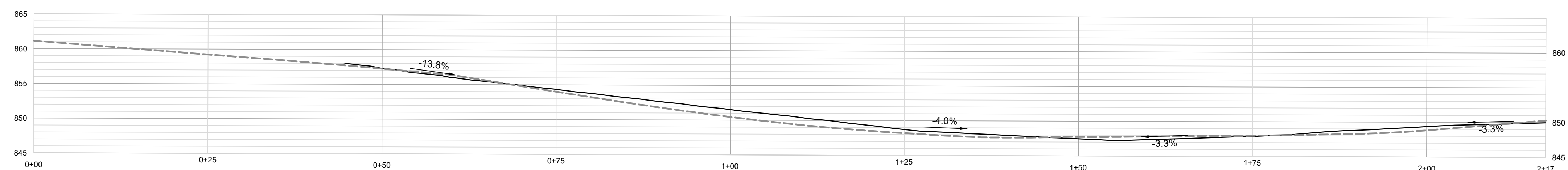
SECTION A-A
1"=5' (H)
1"=5' (V)



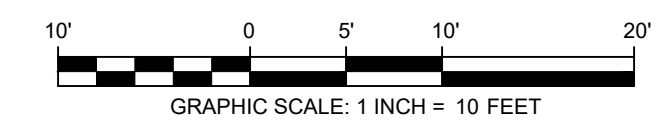
SECTION B-B
1"=5' (H)
1"=5' (V)



SECTION C-C
1"=5' (H)
1"=5' (V)



LOWER DRIVE CL
STA: 0+00 - 2+17
H: 1"=10'
V: 1"=10'

DAVID RAMSEY
CE# 73735

APN# 057-191-14

PLAN TYPE	
RESIDENTIAL	

SECTIONS

NETO RESIDENCE

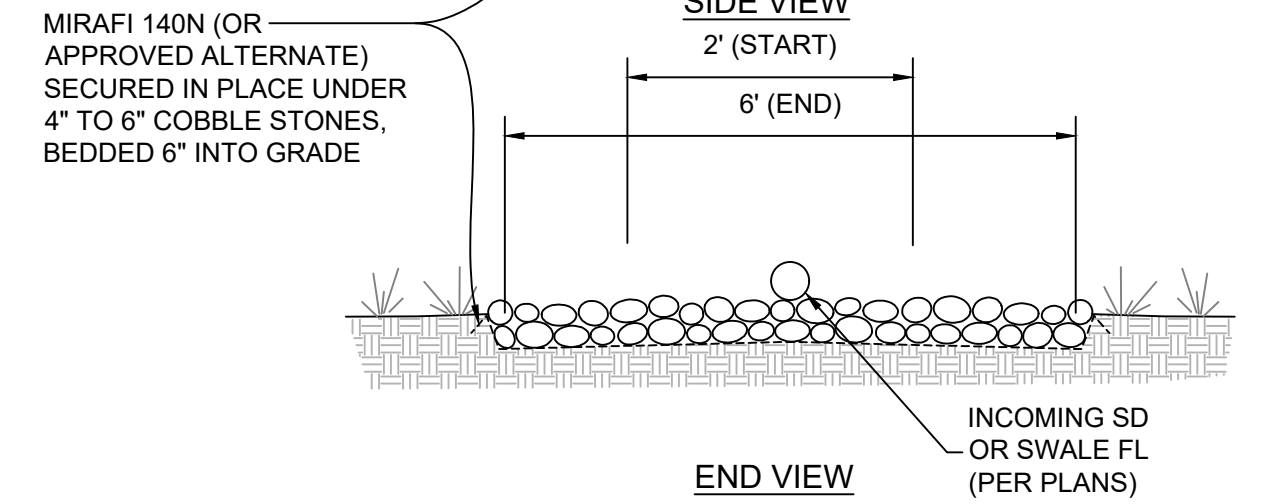
260 FISTELERA RIDGE ROAD, DAVENPORT, CA, 95017

[illegible]

DRAWN BY:	DMR
DESIGNED BY:	DMR
DATE:	08/24/2023
SCALE:	AS NOTED
PROJECT NO:	23-030
SHEET:	

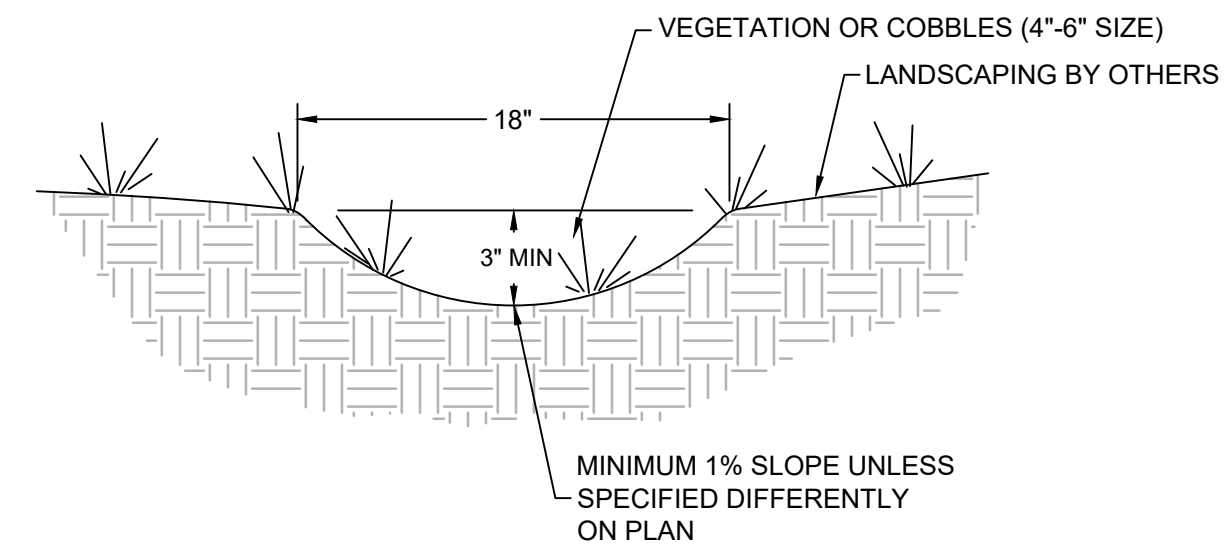
C3.1





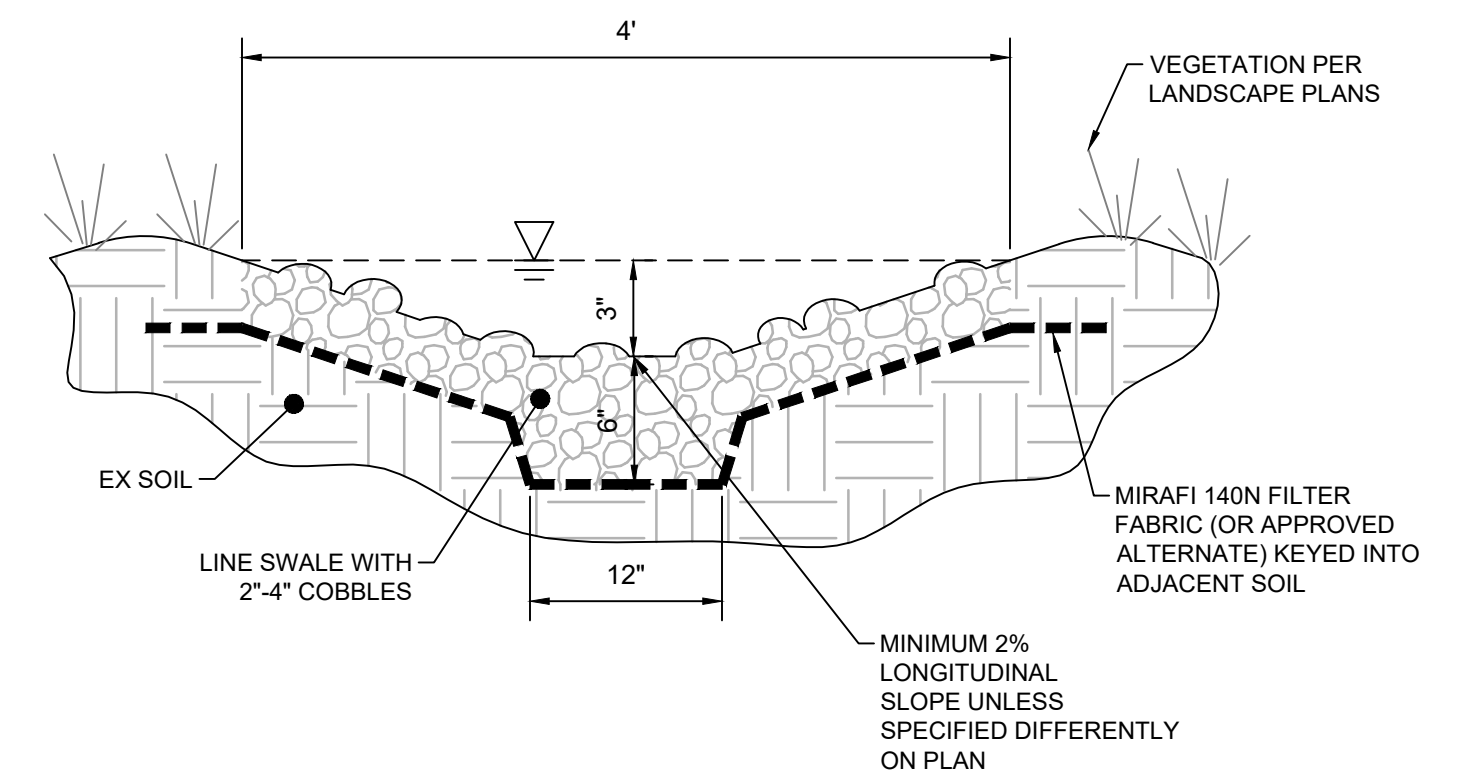
COBBLE ENERGY DISSIPATER
NTS

4



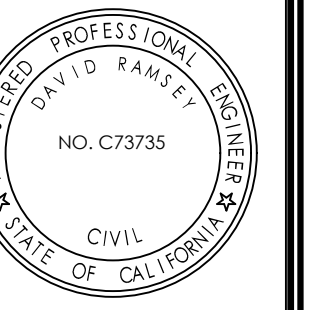
GRADED SWALE
NTS

3



SWALE - GRADED
NTS

1

DAVID RAMSEY
CE# 73735

PN# 057-191-14

PLAN TYPE

RESIDENTIAL

DETAILS

NEIO RESIDENCE
260 FISTELERA RIDGE ROAD, DA

[illegible][illegible]

DRAWN BY:	DMR
DESIGNED BY:	DMR
DATE:	08/24/2023
SCALE:	AS NOTED
PROJECT NO:	23-030
SHEET:	

C5.0

8

7

6

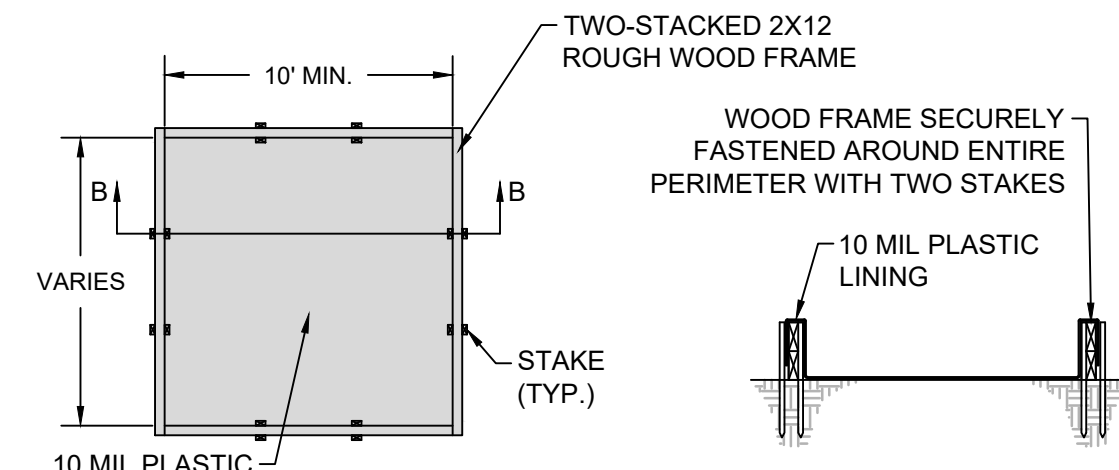
5

12

11

10

9



OPTION #1
ABOVE GRADE
(WOOD PLANKS)

SECTION B - B

NOTE:
ACTUAL LAYOUT DETERMINED IN THE FIELD.
ALTERNATIVE WASHOUTS AVAILABLE, CONFIRM
WITH ENGINEER PRIOR TO INSTALLATION

INSPECTION AND MAINTENANCE

1. THE CONTRACTORS WATER POLLUTION CONTROL (WPCM) MANAGER SHALL MONITOR ON SITE CONCRETE WASTE STORAGE AND DISPOSAL PROCEDURES AT LEAST WEEKLY.
2. THE WPCM SHALL MONITOR CONCRETE WORKING TASKS, SUCH AS SAW CUTTING, CORING, GRINDING AND GROOVING DAILY TO ENSURE PROPER METHODS ARE EMPLOYED AS DIRECTED BY THE ENGINEER.
3. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 4 INCHES FOR ABOVE GRADE FACILITIES AND 12 INCHES FOR BELOW GRADE FACILITIES. MAINTAINING TEMPORARY CONCRETE WASHOUT FACILITIES SHALL INCLUDE REMOVING AND DISPOSING OF HARDENED CONCRETE AND RETURNING THE FACILITIES TO A FUNCTIONAL CONDITION. HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
4. EXISTING FACILITIES SHALL BE REPAIRED OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
5. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED FOR DAMAGE (I.E. TEARS IN POLYETHYLENE LINER, MISSING SANDBAGS, ETC.). DAMAGED FACILITIES SHALL BE REPAIRED.

CONCRETE WASHOUT

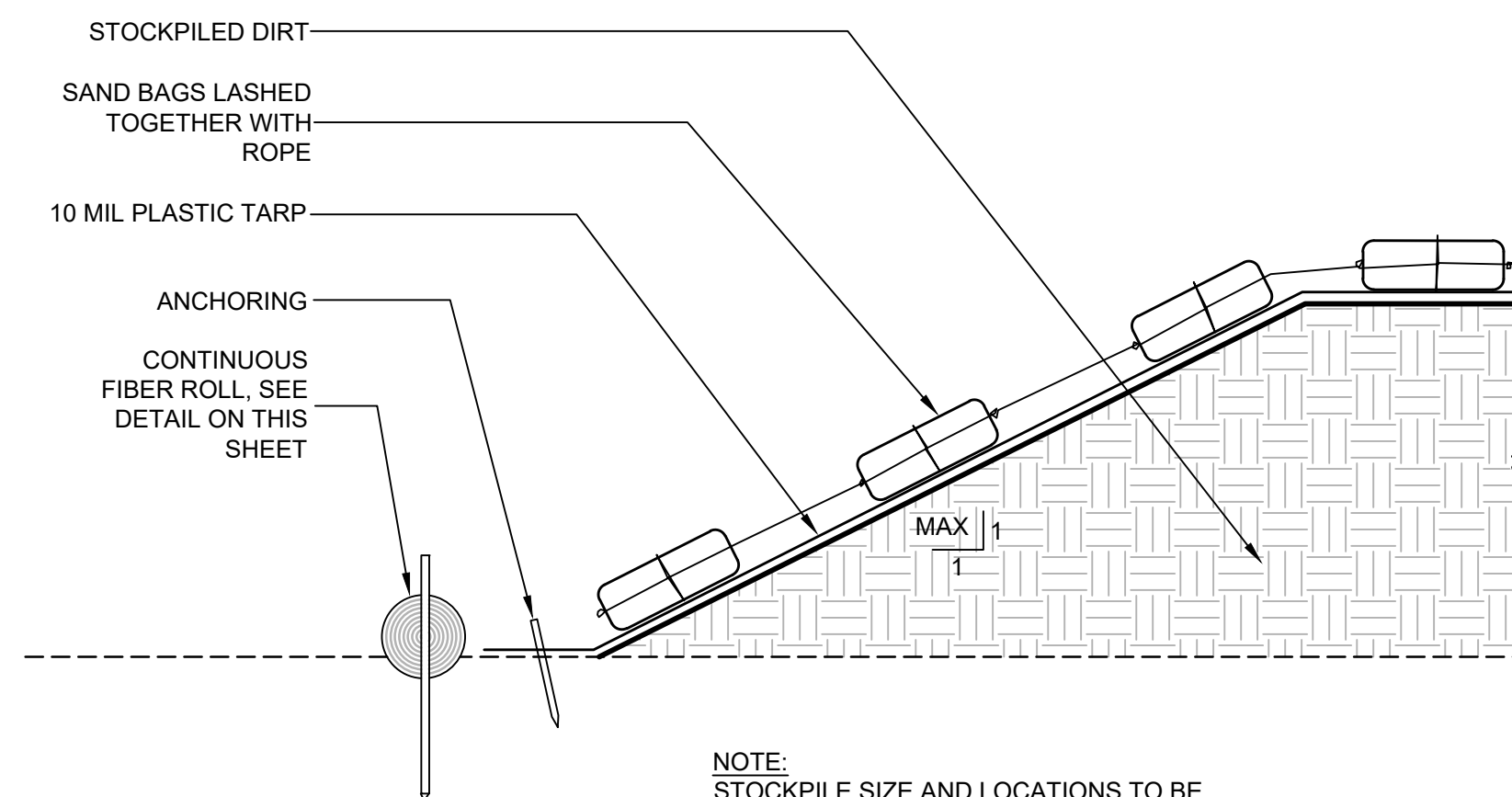
NTS



1. PREPARE SLOPE BEFORE THE FIBER ROLL. PROCEDURE IS STARTED. SHALLOW GULLIES SHOULD BE SMOOTHED AS WORK PROGRESSES.
2. DIG SMALL TRENCHES ACROSS SLOPE ON CONTOUR, TO PLACE FIBER ROLLS IN. THE TRENCH SHOULD BE DEEP ENOUGH TO ACCOMMODATE HALF THE THICKNESS OF THE FIBER ROLL. WHEN THE SOIL IS LOOSE AND UNCOMPACTED, THE TRENCH SHOULD BE DEEP ENOUGH TO BURY THE FIBER ROLL 2/3 OF ITS THICKNESS BECAUSE THE GROUND WILL SETTLE. IT IS CRITICAL THAT FIBER ROLLS ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, PARALLEL TO THE SLOPE CONTOUR.
3. START BUILDING TRENCHES AND INSTALL FIBER ROLLS FROM THE BOTTOM OF THE SLOPE AND WORK UP.
4. CONSTRUCT TRENCHES AT CONTOUR INTERVALS OF THREE TO EIGHT FEET APART DEPENDING ON STEEPNESS OF SLOPE. THE STEEPER THE SLOPE, THE CLOSER TOGETHER THE TRENCHES.
5. LAY THE FIBER ROLL ALONG THE TRENCHES FITTING IT SNUGLY AGAINST THE SOIL. MAKE SURE NO GAPS EXIST BETWEEN THE SOIL AND THE FIBER ROLL. USE A STRAIGHT BAR TO DRIVE HOLES THROUGH THE FIBER ROLL AND INTO THE SOIL FOR THE WOODEN STAKES.
6. DRIVE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOIL. LEAVE ONLY ONE OR TWO INCHES OF STAKE EXPOSED ABOVE FIBER ROLL. IF USING WILLOW STAKES REFER TO USDA SOIL CONSERVATION SERVICE TECHNICAL GUIDE TO ENGINEERING, FOR GUIDELINES TO PREPARING LIVE WILLOW MATERIAL.
7. INSTALL STAKES AT LEAST EVERY FOUR FEET APART THROUGH FIBER ROLL. ADDITIONAL STAKES MAY BE DRIVEN ON THE DOWNSLOPE SIDE OF THE TRENCHES ON HIGHLY ERODIVE OR VERY STEEP SLOPES.

INSTALLATION AND MAINTENANCE

8. INSPECT THE FIBER ROLL AND THE SLOPES AFTER SIGNIFICANT STORMS. MAKE SURE THE FIBER ROLLS ARE IN CONTACT WITH THE SOIL.
9. REPAIR ANY RILLS OR GULLIES PROMPTLY.
10. RESEED OR REPLANT VEGETATION IF NECESSARY UNTIL THE SLOPE IS STABILIZED.



NOTE:
STOCKPILE SIZE AND LOCATIONS TO BE
DETERMINED BY CONTRACTOR WITH ENGINEERS
APPROVAL.

DIRT STOCKPILE

N.T.S.

EROSION CONTROL NOTES

1. THE EROSION CONTROL PLANS IN THIS SET SHALL BE REVIEWED AND IMPLEMENTED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
2. THE CONTRACTOR SHALL ENSURE ALL MONITORING AND INSPECTIONS ARE PERFORMED AS REQUIRED ONSITE THROUGHOUT CONSTRUCTION.
3. NO LAND CLEARING, GRADING OR EXCAVATION SHALL BE DONE BETWEEN OCTOBER 15TH AND APRIL 15TH. ANY DEVIATION FROM THIS CONDITION REQUIRES REVIEW AND APPROVAL OF A SEPARATE WINTER EROSION CONTROL PLAN BY ENVIRONMENTAL PLANNING PRIOR TO BEGINNING CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
4. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM ANY ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED BY THE PLANNING DIRECTOR AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.
5. PRIOR TO ANY FORECAST RAIN AND ANYTIME BETWEEN OCTOBER 15 AND APRIL 15, AT THE END OF EACH WORKDAY, AT THE END OF EACH WORKWEEK, THE DEVELOPER SHALL IMPLEMENT ALL TEMPORARY MEASURES NECESSARY TO PREVENT EROSION AND SILTATION, UNTIL THE PROJECT HAS BEEN FINALIZED. THESE MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, DIRECT SEEDING OF THE AFFECTED AREAS, STRAW MULCHING, AND/OR INSTALLATION OF STRAW BALES DAMS/SILT FENCES.
6. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO LEAVE THE SITE. USE OF SILT AND GREASE TRAPS, FILTER BERMS, HAY BALES OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE.
7. ALL AREAS ON- AND OFF-SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR SEEDING WITH ANNUAL WINTER BARLEY.
8. ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
9. ANY MATERIAL STOCKPILED, FOR LONGER THAN 14 DAYS, DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
10. UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED SOILS SHALL BE PERMANENTLY REVEGETATED PER LANDSCAPING PLAN. THE PROTECTION SHALL BE INSTALLED PRIOR TO CALLING FOR FINAL APPROVAL OF THE PROJECT AND AT ALL TIMES BETWEEN OCTOBER 15 AND APRIL 15. SUCH PROTECTION SHALL BE MAINTAINED FOR AT LEAST ONE WINTER UNTIL PERMANENT PROTECTION IS ESTABLISHED.
11. EXPOSED SOIL ON SLOPES GREATER THAN 20% SHALL BE SEEDED, COVERED WITH 2 INCHES OF STRAW, AND AN EROSION CONTROL BLANKET. THE EROSION CONTROL BLANKET SHALL BE STAKED IN PLACE.
12. IT IS THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES, NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
13. ALL SPILLS AND/OR LEAKS SHALL BE IMMEDIATELY CLEANED UP AND MITIGATED PER THE CONTRACTORS O&M STANDARDS.

STORMWATER O&M PLAN

1. REFER TO THE RECORDED STORMWATER MAINTENANCE AGREEMENT (SCC FIG. SWM-25A) FOR ADDITIONAL SITE/PROJECT INFORMATION AND REQUIREMENTS, AS WELL AS RESPONSIBLE PARTY AGREEMENT.
2. STORMWATER MAINTENANCE AGREEMENT SHALL TRANSFER WITH OWNERSHIP
3. BELOW MAINTENANCE SPECIFICATIONS REFER TO POST-CONSTRUCTION REQUIREMENTS. REFER TO THE PROJECT EROSION CONTROL PLAN (THIS SHEET) FOR MAINTENANCE REQUIREMENTS DURING THE CONSTRUCTION PHASE OF THE PROJECT.
4. MAINTENANCE AGREEMENT REFERS TO ALL PRIVATELY OWNED STORMWATER FACILITIES.
5. SUMMARIZED MAINTENANCE REQUIREMENTS FOR DRAINAGE FACILITIES:
 - 5.1. ROOF DOWNSPOUTS:
 - 5.1.1. ALL DOWNSPOUTS AND ROOF GUTTERS SHALL BE INSPECTED YEARLY FOR SEDIMENT AND/OR TRASH BUILD-UP. ALL SEDIMENT AND TRASH SHALL BE REMOVED AND PROPERLY DISPOSED OF.
 - 5.2. GRADED SWALES & PERVIOUS DRIVEWAY/PEDESTRIAN SLAB AREAS:
 - 5.2.1. ROUTINE MAINTENANCE ON AN ANNUAL BASIS SHALL INCLUDE TRASH AND DEBRIS REMOVAL, AND REMOVAL OF LEAVES DURING AND AFTER FALL LEAF DROP.
 - 5.2.2. RECOMMENDED INSPECTIONS ON AN ANNUAL BASIS INCLUDE:
 - 5.2.2.1. ENSURE INFLOW AND OUTFLOW AREAS ARE SECURE AND NO EROSION HAS OCCURRED. ADD ROCK DISSIPATION PADS OR CHECK DAMS AS NECESSARY TO REDUCE FLOWS AND ELIMINATE EROSION.
 - 5.2.2.2. IF VISIBLE SEDIMENT EXIST AT BOTTOM OF FACILITY OR WITHIN GAPS OF SLABS, SEDIMENT SHALL BE REMOVED TO ENSURE PROPER FLOW THROUGH.
 - 5.2.2.3. IF EXCESSIVE PONDING OF WATER IS OCCURRING (2-3 DAYS AFTER THE END OF A STORM) CONFIRM LEAF, DEBRIS OR SEDIMENT BUILD-UP IS NOT IMPEDING FLOW, REMOVE AS NECESSARY.
 - 5.2.2.4. IF VEGETATED ENSURE ALL VEGETATION IS HEALTHY. REMOVE AND REPLACE ALL DEAD OR DYING VEGETATION.

SOURCE CONTROL MEASURES
BELOW ARE THE MEANS AND METHODS
ACTIVITIES:

BELOW ARE THE MEANS AND METHODS TO CONTROLLING POLLUTING ACTIVITIES:

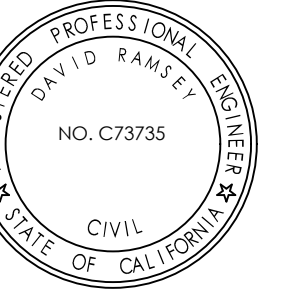
- **INDOOR & STRUCTURAL PEST CONTROL - ALL PEST CONTROL MEASURES SHALL BE PERFORMED TO PREVENT ANY DISCHARGES INTO THE STORM DRAIN SYSTEM.**
- **LANDSCAPE/OUTDOOR PESTICIDE USE - PESTICIDES SHALL BE USED ONLY IF NECESSARY AND SHALL BE LIMITED TO REQUIRED TREATMENT AREA. SPOT TREATMENT WITH HANDHELD SPRAYER SHALL BE USED IN LOW QUANTITIES.**
- **OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS - ALL MATERIALS, CONSTRUCTION OR OTHER, SHALL BE STORED INDOORS OR WITHIN A COVERED (PROTECTED) AREA.**
- **UNAUTHORIZED NON-STORMWATER DISCHARGES - ALL UNAUTHORIZED NON-STORMWATER DISCHARGES, DURING AND AFTER CONSTRUCTION, SHALL BE REPORTED TO THE COUNTY OF SANTA CRUZ. DISCHARGES SHALL BE MITIGATED PER COUNTY GUIDANCE.**
- **BUILDING & GROUND MAINTENANCE - ANY ROUTINE MAINTENANCE PERFORMED SHALL BE COMPLETED TO REDUCE OR ELIMINATE ANY NON-STORMWATER DISCHARGES FROM THE SITE.**



AMSEY
ENGINEERING INC.

CIVIL ENGINEERING
LAND PLANNING
PROJECT MANAGEMENT
CONSTRUCTION SUPPORT
QSD AND QSP SERVICES

905 KRISTIE COURT
ANTA CRUZ, CA 95065
TEL (831) 462-2905
[ramseycivilengineering.com](http://www.ramseycivilengineering.com)



ID RAMSEY DATE
 # 73735

LPN# 057-191-14

PLAN TYPE

RESIDENTIAL

	7
--	---

NEIO RESIDENCE

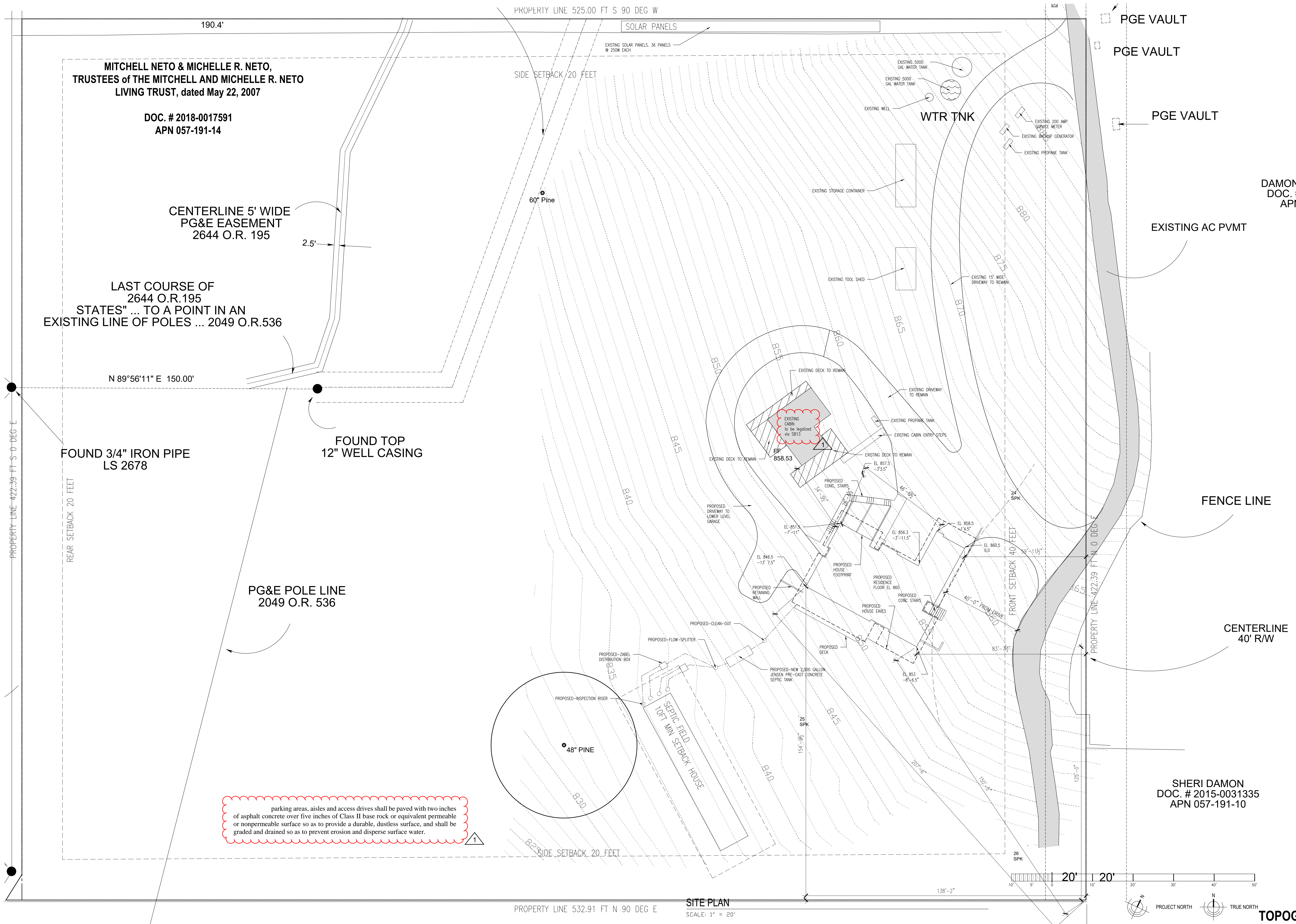
260 FISIELERA RIDGE ROAD, DAVENPORT, CA, 95017

[illegible]

OWN BY:	DMR
SIGNED BY:	DMR
DATE:	08/24/2023
REMARKS:	AS NOTED
SUBJECT NO:	23-030
FILE NO:	

C6.0

DOCUMENT RELEASES:	
DATE	DESCRIPTION
24/DEC/21	PHASE 1.5
MARCH '23	COASTAL REVIEW
SEPT. '23	COASTAL REVIEW
ROJ. MANAGER	CH



GENERAL PROJECT NOTES:

1. SEE COVER SHEET A0.00.

BIDDER DESIGN PROJECT NOTES:

1. SEE COVER SHEET A0.00.

GENERAL SITE PLAN NOTES:

1. SITE LAYOUT SHOWN IS CONCEPTUAL. FINAL GRADING, UTILITIES, PAVING, LANDSCAPING, HARDSCAPING, ETC TO BE COORDINATED BY OWNER WITH LANDSCAPE ARCHITECT AND CONTRACTOR UNLESS NOTED OTHERWISE.
2. REFER ALSO TO OWNER-CONSULTANT SURVEY IF ATTACHED.

EROSION CONTROL NOTES:

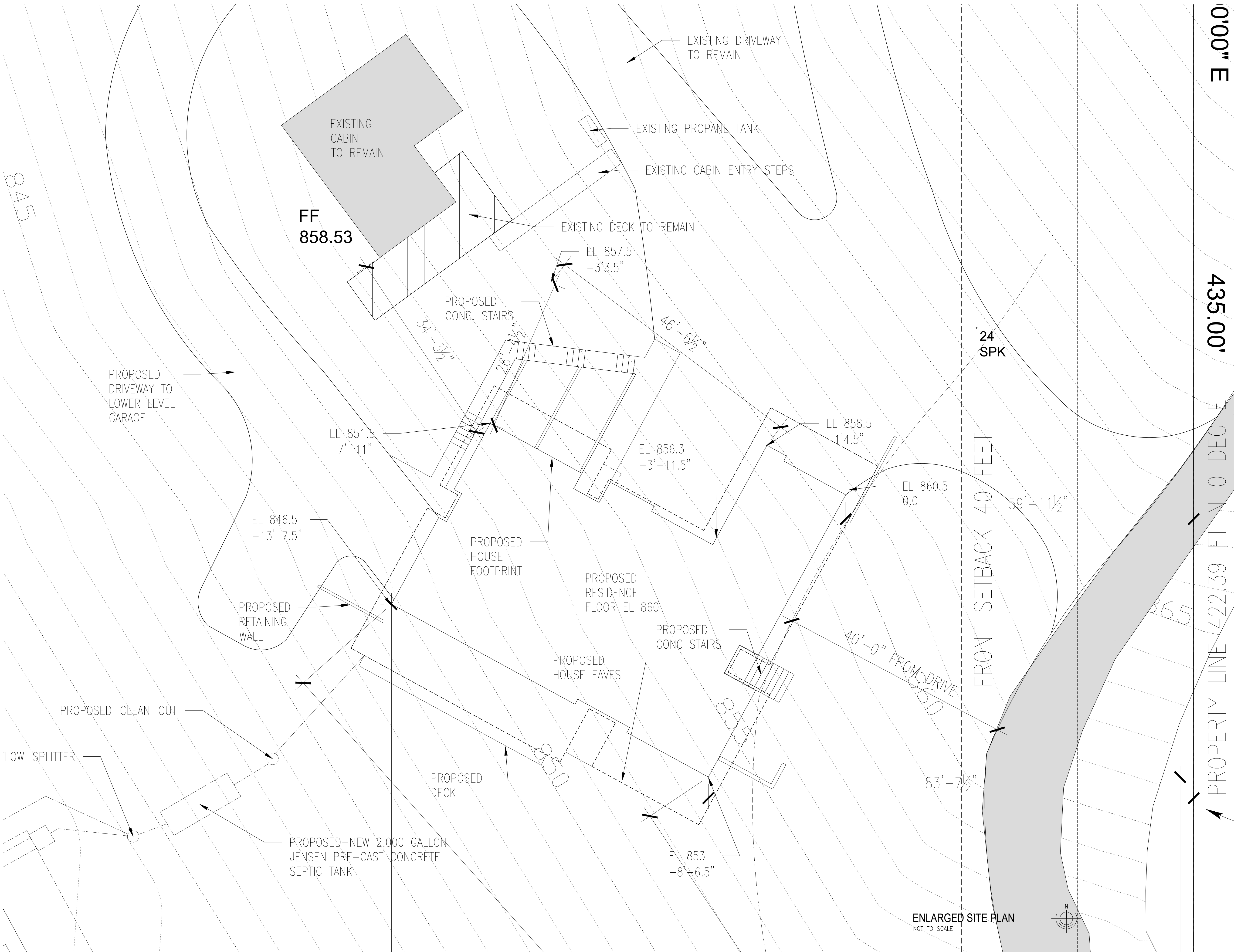
1. AT LEAST PER THE LOCAL JURISDICTIONS MOST STRINGENT REQUIREMENTS.

SOILS NOTES:

1. SOILS REPORT GUIDELINES TAKE PRECEDENCE.
2. SOIL SUBGRADES SHALL BE PREPARED AS NEEDED TO ACHIEVE A FIRM, UNYIELDING STATE BEFORE ANY CONCRETE, PAVEMENT, OR FILL SOIL IS PLACED, SEE SOILS REPORT.
3. LOOSE GRANULAR SOILS SHALL BE COMPACT TO A DENSITY COMMENSURATE WITH THE SURROUNDING SOILS. SEE SOILS REPORT.
4. ORGANIC OR SOFT COHESIVE SOILS SHALL BE OVER EXCAVATED AND REPLACED WITH A GRANULAR STRUCTURAL FILL MATERIAL, SEE SOILS REPORT.
5. FILL MATERIAL SHALL BE PLACED IN HORIZONTAL LIFTS AND AND COMPACTED TO A UNIFORM DENSITY OF AT LEAST 95% OF THE STANDARD PROCTOR OR AT LEAST 90% OF THE MODIFIED PROCTOR.
6. TEMPORARY CUT SLOPES ARE LIMITED PER LOCAL BUILDING CODE.
7. TEMPORARY DRAINAGE MEASURES TO MANAGE WATER DURING CONSTRUCTION SHALL BE PER LOCAL JURISDICTION REQUIREMENTS.

LEGEND:

- | | |
|--|--|
| | PROPOSED BUILDING FOOTPRINT |
| | ROOF OVERHANG |
| | PROPERTY LINE |
| | SETBACK LINE |
| | GRADE ELEVATION |
| | LOWER LEVEL |
| | A.E.G. |
| | ADJACENT EXISTING GRADE |
| | GRADE CONTOUR (EXISTING TO REMAIN) |
| | GRADE CONTOUR (REVISED) |
| | TREE DRIPLINE |
| | ELECTRIC LINE |
| | CABLE LINE |
| | TELEPHONE LINE |
| | STORMWATER LINE |
| | SANITARY SEWER LINE |
| | WATER LINE |
| | GAS LINE |
| | FIRE SPRINKLER LINE |
| | GAS METER |
| | WATER METER |
| | ELECTRICAL METER - MAIN |
| | ELECTRICAL METER |
| | FENCELINE |
| | SILT FENCE |
| | ITEMS TO BE REMOVED/EXTENT OF DEMOLITION |



ENLARGED SITE PLAN
NOT TO SCALE

Stillwater
dwellings

2111 3RD AVENUE
SEATTLE WA 98121
TEL: (206) 547-0565
FAX: (206) 547-0563

© copyright

Stillwater Dwellings

1) REPRODUCE DRAWINGS ONLY WITH WRITTEN PERMISSION FROM STILLWATER DWELLINGS.
2) INTELLECTUAL PROPERTY OF STILLWATER DWELLINGS. THESE DRAWINGS MAY ONLY BE USED FOR THE CONSTRUCTION OF THE HOUSE TO BE INSTALLED AT THE PROJECT ADDRESS LISTED ON THESE DRAWINGS.

3) CONSTRUCTION OF THE PROJECT THESE DRAWINGS RESOLVE MAY ONLY PROCEED WITH THE EXPRESS WRITTEN CONSENT GRANTED BY STILLWATER DWELLINGS INC.

260 Fisterela Ridge Road
DAVENPORT, CA 95017
TAX PARCEL #: 05719114
FOR COASTAL REVIEW ONLY
NOT FOR CONSTRUCTION

NETO RESIDENCE
PROJECT #: 21-NETO-000
PHASE 2.0 - COASTAL REVIEW

DOCUMENT RELEASES:	
DATE	DESCRIPTION
24/DEC/21	PHASE 1.5
MARCH 23	COASTAL REVIEW
PROJ. MANAGER	MPOP

SHEET

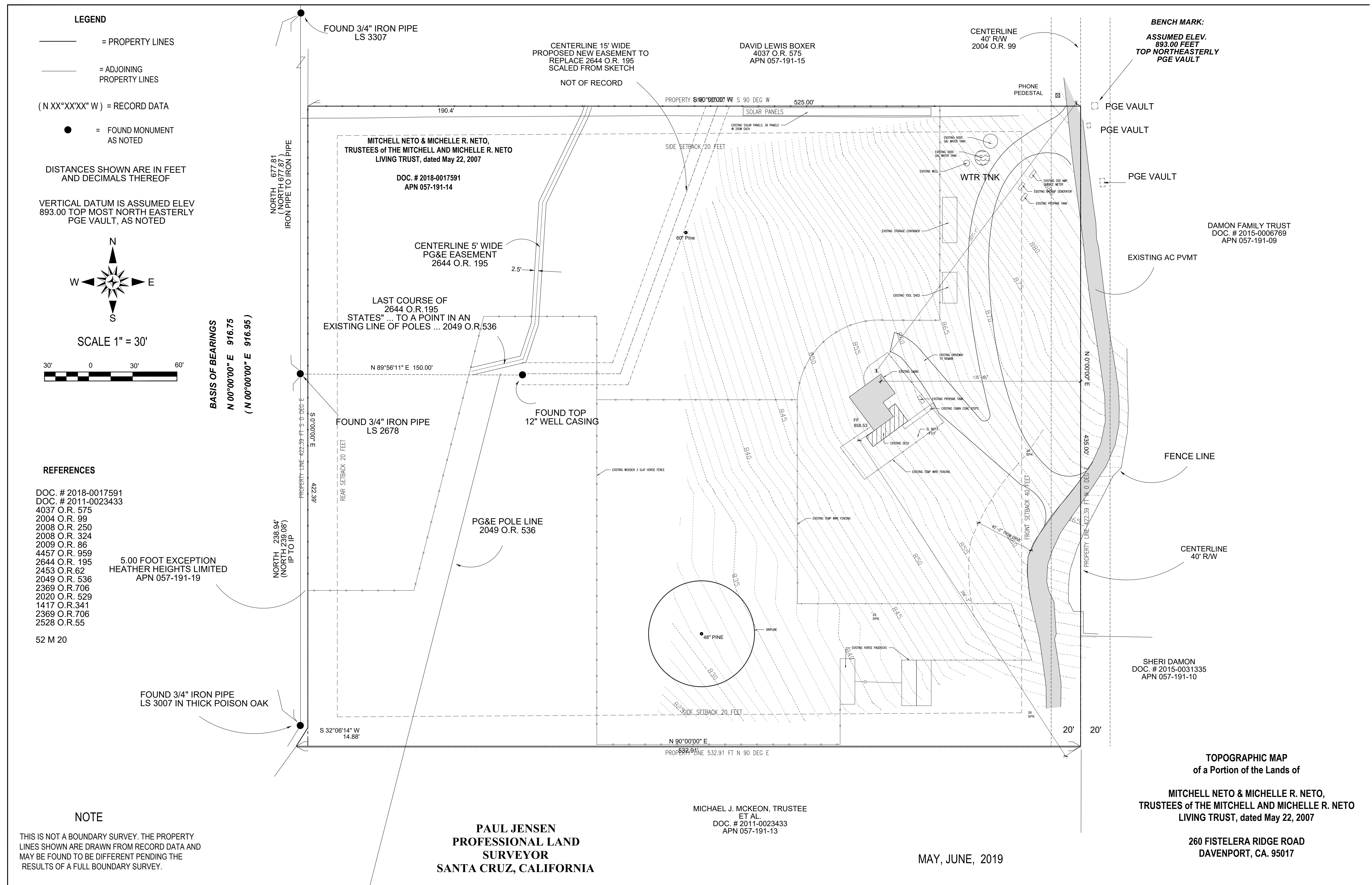
SITE PLAN
(ENLARGED)

A1.01

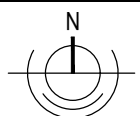
DOCUMENT RELEASES:	
DATE	DESCRIPTION
24/DEC/21	PHASE 1.5
MARCH '23	COASTAL REVIEW

ROJ. MANAGER	MPOP
--------------	------

SHEET

ORIGINAL
SITE PLAN

ORIGINAL SITE PLAN
SCALE- 1"=30'



NOTES: FLOOR PLAN

GENERAL PROJECT NOTES:

1. SEE COVER SHEET A0.00.

WRITTEN DIMENSIONS:

1. SEE COVER SHEET A0.00.

DESIGN-BUILD PROJECT NOTES:

1. SEE COVER SHEET A0.00.

ENERGY CODE NOTES:

1. SEE COVER SHEET A0.00.

HVAC NOTES:

1. INSTALLATION PER ASHRAE 90A-88.

2. ALL DUCTING TO BE INSULATED AND SHEET METAL U.N.O.

3. ALL PILOTS, BURNERS, AND SWITCHES TO BE MINIMUM +18" ABOVE SLAB.

4. PROVIDE +18" PLATFORM OF 2 LAYERS ¾" PLYWOOD.

5. WATER HEATERS SHALL BE SEISMICALLY ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ⅓ AND LOWER ⅓ OF THE WATER HEATER. LOWER ANCHOR/STRAP TO BE LOCATED TO MAINTAIN A MINIMUM 4" DISTANCE ABOVE THE CONTROLS.

6. PROVIDE PRESSURE RELIEF VALVE DRAIN TO EXTERIOR.

7. MAXIMUM HOT WATER TEMP DISCHARGING INTO A BATHTUB OR WHIRLPOOL BATH SHALL BE LIMITED TO 120°F THE WATER HEATER SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION.

8. PROVIDE OUTSIDE COMBUSTION AIR FOR NON-DIRECT VENT APPLIANCES.

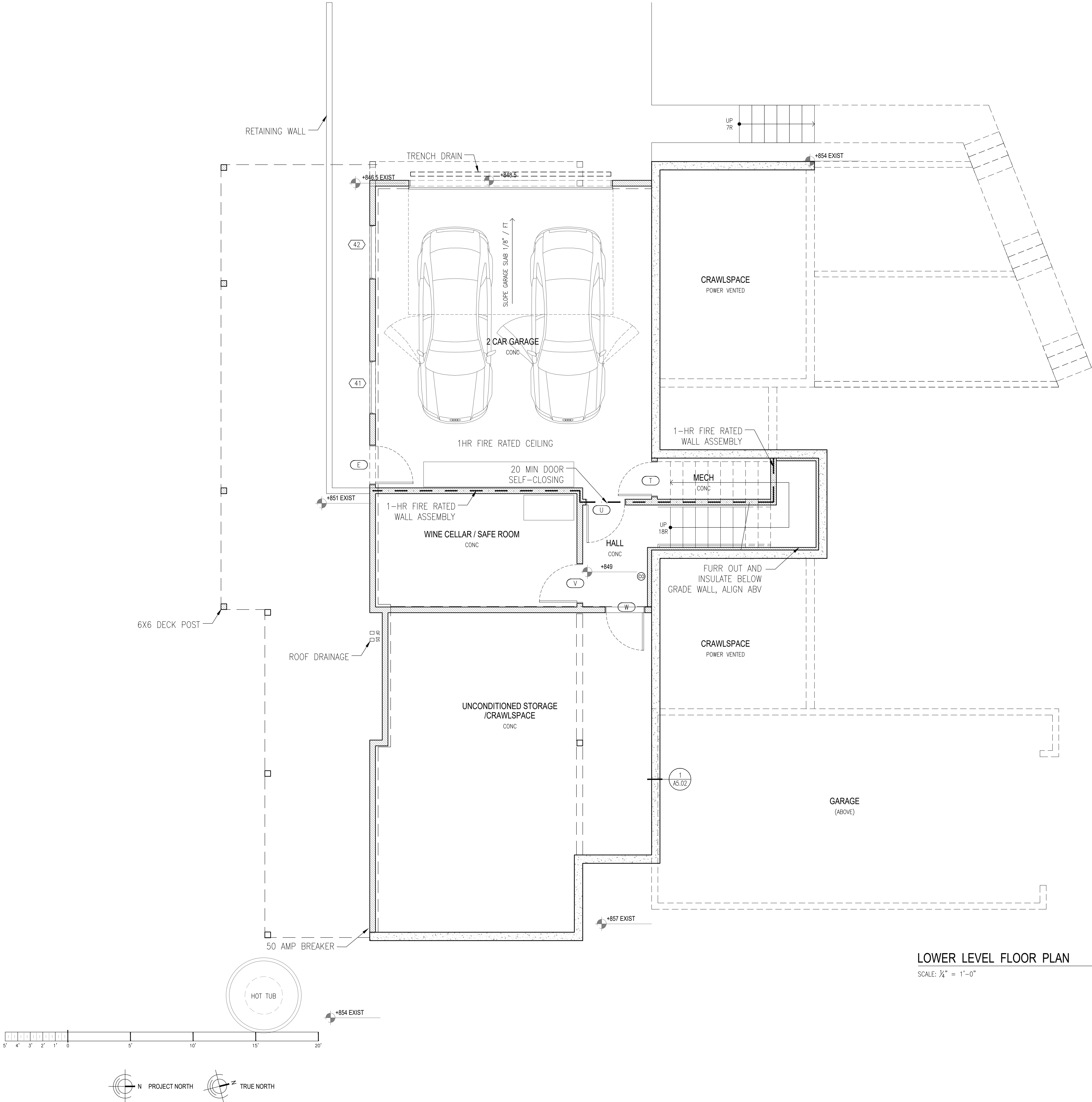
9. PROVIDE OUTSIDE COMBUSTION AIR FOR GAS WATER HEATER AND FURNACE. OPENINGS SHALL HAVE A FREE NET AREA OF 1 SQ IN PER 1000 BTU OR GREATER FOR THE COMBINE APPLIANCES IN THE SPACE, BUT NOT LESS THAN 100 SQUARE INCHES. SEE DOOR SCHEDULE FOR GRILL SIZE AND LOCATIONS.

VENTILATION FANS:

VENTILATION FANS SHALL HAVE SOUND RATING OF LESS THAN 1 SONE FOR CONTINUOUS FANS OR A MAXIMUM OF 3 SONE FOR INTERMITTENT FANS; UNLESS THEIR MAXIMUM RATED AIRFLOW EXCEEDS 400 CFM. VENTILATION FANS THAT EXCEED 400 CFM REQUIRE MAKE-UP AIR.

LEGEND:

	CONCRETE WALL
	WALL
	WALL/CEILING ABOVE
	WALL HIDDEN BELOW
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	FAN
	FLOOR DRAIN
	SHOWER HEAD
	TOILET PAPER HOLDER
	TOWEL RING
	TOWEL BAR
	HANGING ROD & SHELF
	WINDOW/DOOR DESIGNATION
	ELECTRICAL PANEL
	ELECTRICAL SUB PANEL
	ELECTRICAL METER MAIN
	ELECTRICAL METER
	STRUCTURED DATA BOX W/OUTLET
	RECESSED WASHER BOX
	RECESSED DRYER BOX
	WATER SHUT OFF VALVE
	FROST FREE HOSE BIB
	GAS BIB
	GAS METER
	CRAWL SPACE ACCESS
	SHOWER CURTAIN
	WATER FILTER
	CABLE INTERFACE, PHONE INTERFACE
	SUPPLY REGISTER, FLOOR
	SUPPLY REGISTER, UNDER CABINET AT TOE KICK



LOWER LEVEL FLOOR PLAN

SCALE: ¼" = 1'-0"

DOCUMENT RELEASES:	
DATE	DESCRIPTION
24/DEC/21	PHASE 1.5
MARCH 23	COASTAL REVIEW
PROJ. MANAGER	MPOP

SHEET

LOWER LEVEL
FLOOR PLAN

NOTES:

GENERAL PROJECT NOTES:

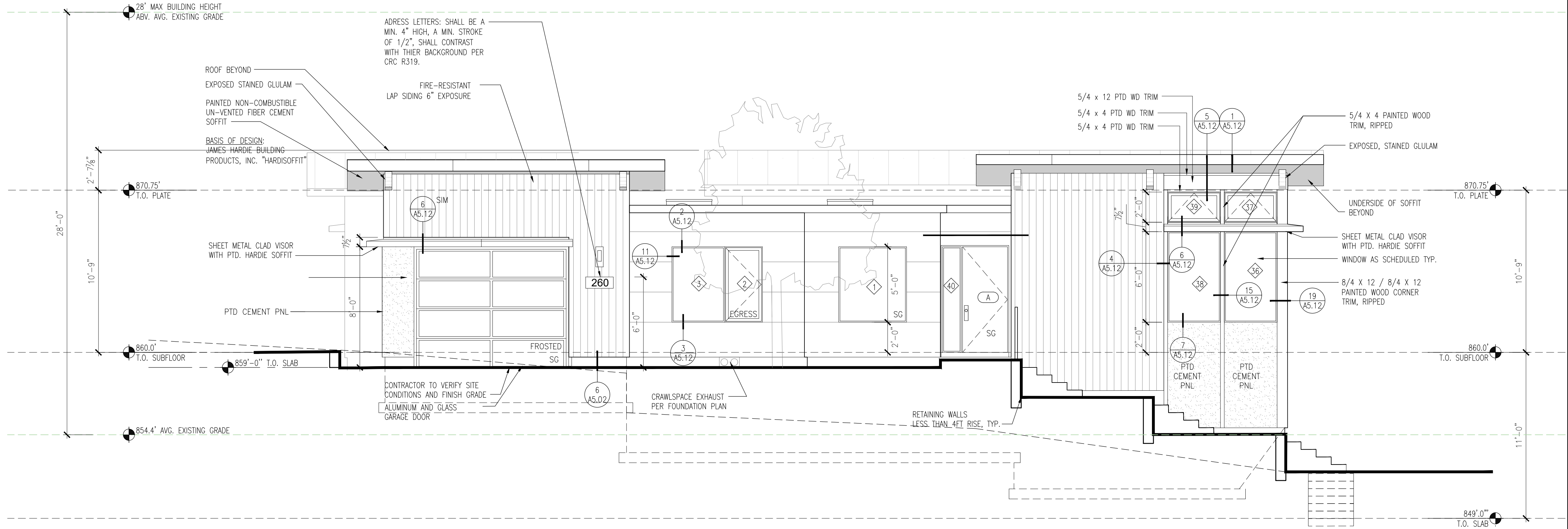
1. SEE COVER SHEET A0.00.

BIDDER DESIGN PROJECT NOTES:

1. SEE COVER SHEET A0.00.

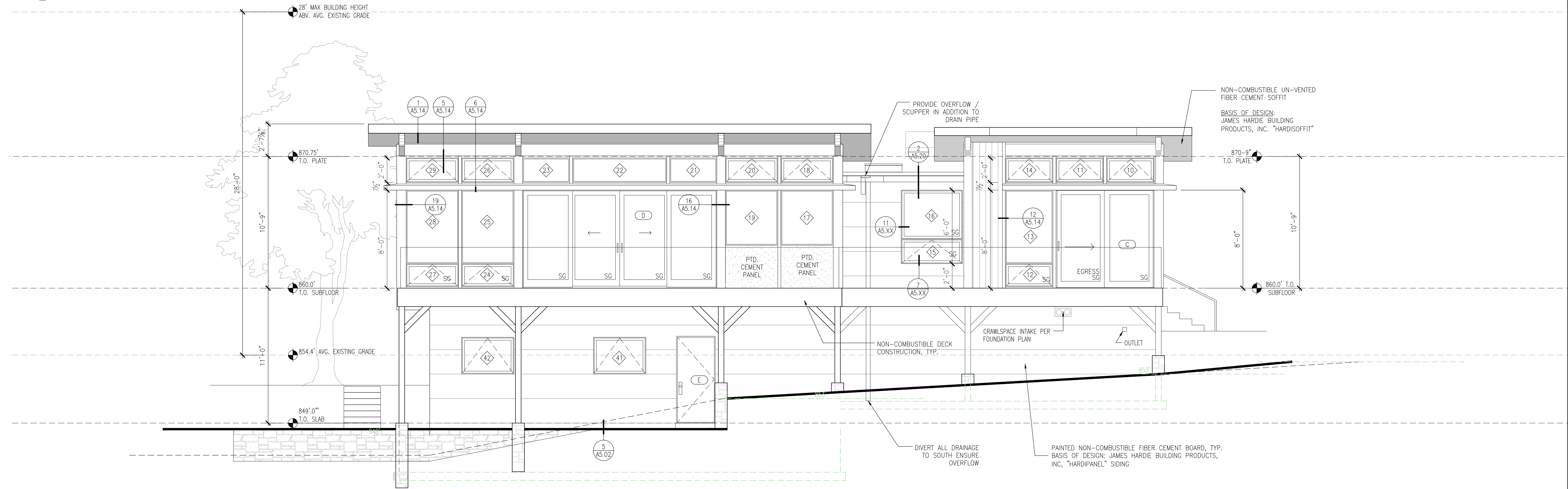
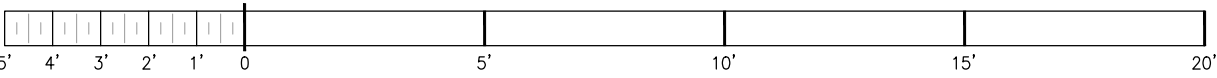
LEGEND:

	CEMENT BOARD & BATTEN SIDING
	CEMENT BOARD PANEL SIDING
	EXISTING GRADE
	NEW GRADE AND EXISTING GRADE UNCHANGED
	FLOOR LINE (T.O. SHEATHING)
	BUILDING HEIGHT LIMIT LINE
	CONCRETE
	ELECTRIC METER
	GAS METER
	PHONE INTERFACE
	CABLE INTERFACE
	EXTERIOR OUTLET
	HOSE BIB
	GAS BIB
	WALL SCONCE



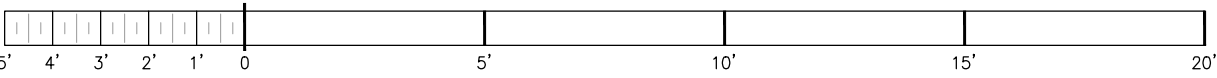
1-NORTH ELEVATION

SCALE: 1/4" = 1'-0"



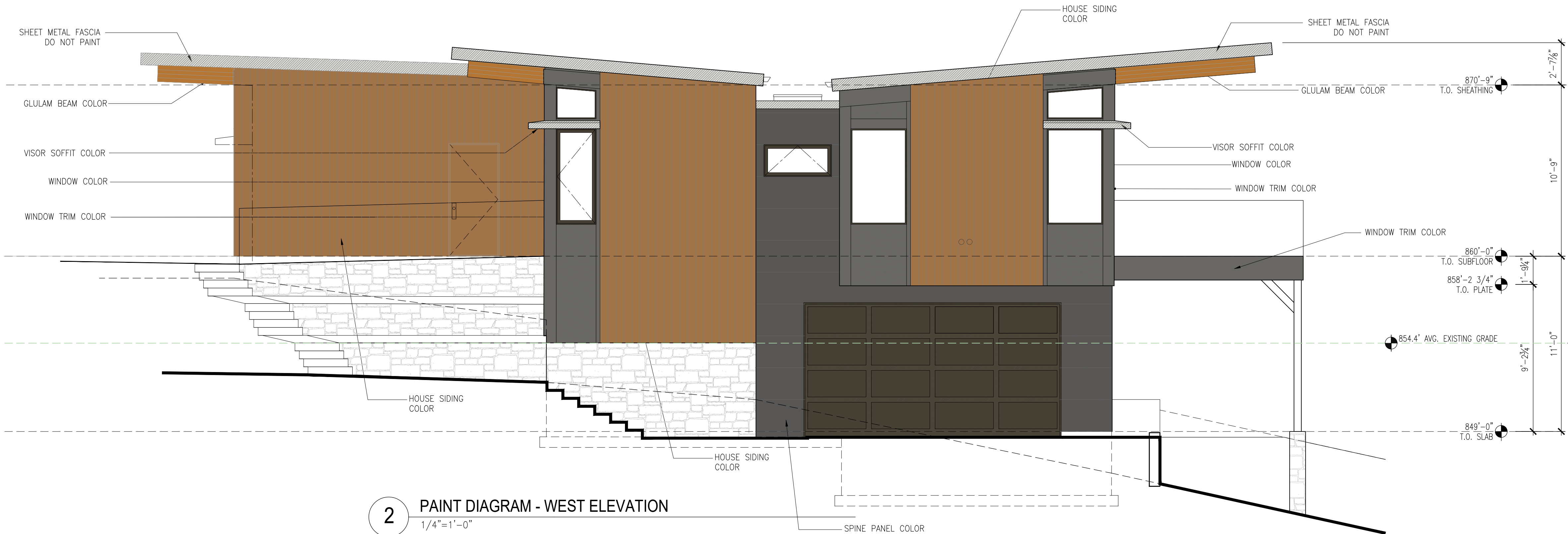
2-SOUTH ELEVATION

SCALE: 1/4" = 1'-0"





1 PAINT DIAGRAM - SOUTH ELEVATION
1/4"=1'-0"



2 PAINT DIAGRAM - WEST ELEVATION
1/4"=1'-0"

COLOR KEY – NATURAL PACKAGE			
NOTE TO CONTRACTOR: REFER TO SWD STANDARD OUTLINE RECOMMENDATIONS FOR SWD RECOMMENDED COLOR SELECTIONS. CONTRACTOR TO CONFIRM FINAL PAINT COLOR SELECTIONS WITH OWNER PRIOR TO CONSTRUCTION.			
KEY	DESIGNATION	SWD STANDARD	DESCRIPTION
	EXT C1	BM=HC 166, KENDALL CHARCOAL (VERIFY WITH OWNER)	WINDOW TRIM AND PANEL COLOR
	EXT C2	BM=HC 166, KENDALL CHARCOAL	VISOR SOFFIT COLOR FASCIA BOARD COLOR DECK EDGE COLOR
	EXT C3	PENOFIN VERDE, NATURAL (VERIFY WITH OWNER)	SIDING COLOR (STAIN)
	EXT C4	BM 2134=30, IRON MOUNTAIN (VERIFY WITH OWNER)	SPINE PANEL COLOR
	EXT C5	BM=HC 166, KENDALL CHARCOAL	ROOF SOFFIT COLOR (HARDIE OR MDO)
	EXT C6	PENOFIN VERDE, NATURAL	GLULAM BEAM COLOR (STAIN)
	EXT C7	WEATHERED ZINC (METALLIC)	ROOF, METAL FASCIA COLOR
	EXT C8	WEATHERED ZINC (METALLIC)	VISOR, METAL FASCIA COLOR
	EXT C9	DARK BRONZE (VERIFY WITH OWNER)	PATIO DOORS – SIERRA PACIFIC, (ALUMINUM CLAD)
	EXT C10	DARK BRONZE (VERIFY WITH OWNER)	WINDOWS – SIERRA PACIFIC, (ALUMINUM CLAD)
	EXT C11	PENOFIN VERDE, NATURAL	ENTRY DOOR – CHERRY, (STAIN)

GENERAL PROJECT NOTES:

1. SEE COVER SHEET A0.00.

DESIGN BUILD PROJECT NOTES:

1. SEE COVER SHEET A0.00.

EXTERIOR PAINT & STAIN:

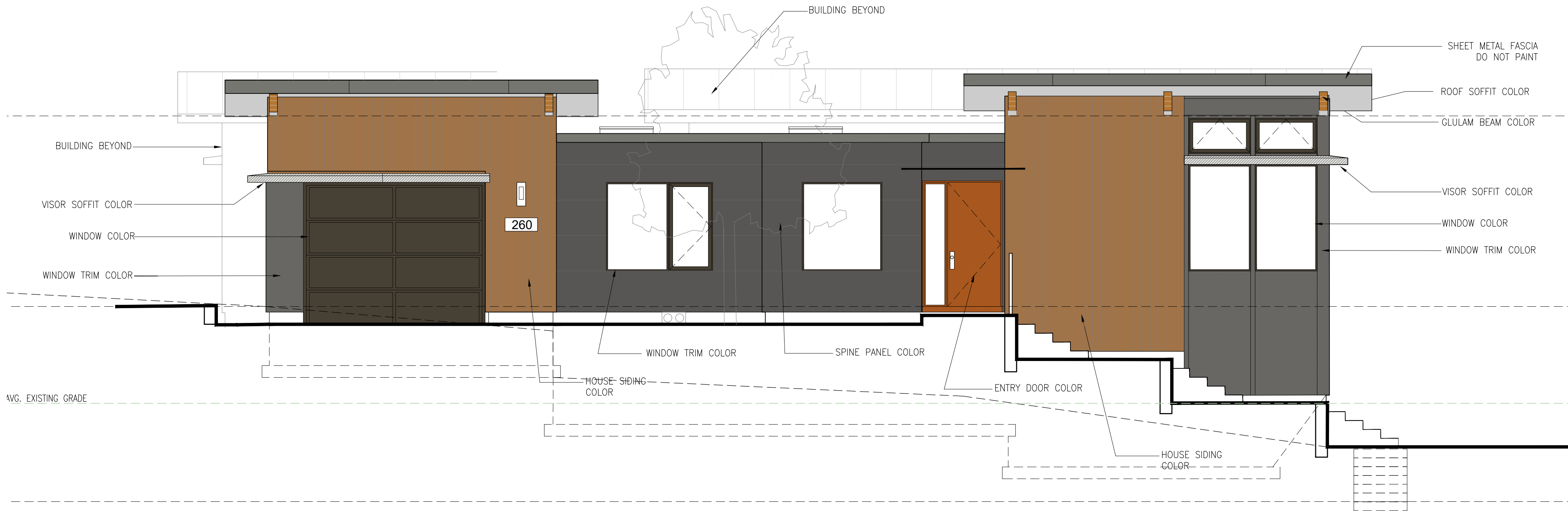
MATERIAL PREPARATION FOR PAINTING OR STAINING.

1. ALL PRIMED MATERIAL THAT IS CUT ON SITE (SIDING, TRIM, SOFFIT, HARDY BOARD, BATTENS) MUST HAVE ROUGH CUT ENDS PRIMED OR FINISHED BEFORE INSTALLATION.

2. ALL UNFINISHED NATURAL MATERIAL (CEDAR SIDING, TRIM, AND GLULAM) MUST FINISHED WITH PENOFIN ON ALL SIDES PRIOR TO INSTALLING. ANY ROUGH-CUT ENDS MUST BE TREATED WITH PENOFIN PRIOR TO INSTALLATION.

3. TRIM DETAILS WILL BE INSTALLED SMOOTH SIDE OUT.

: BUILDING HEIGHT
G. EXISTING GRADE

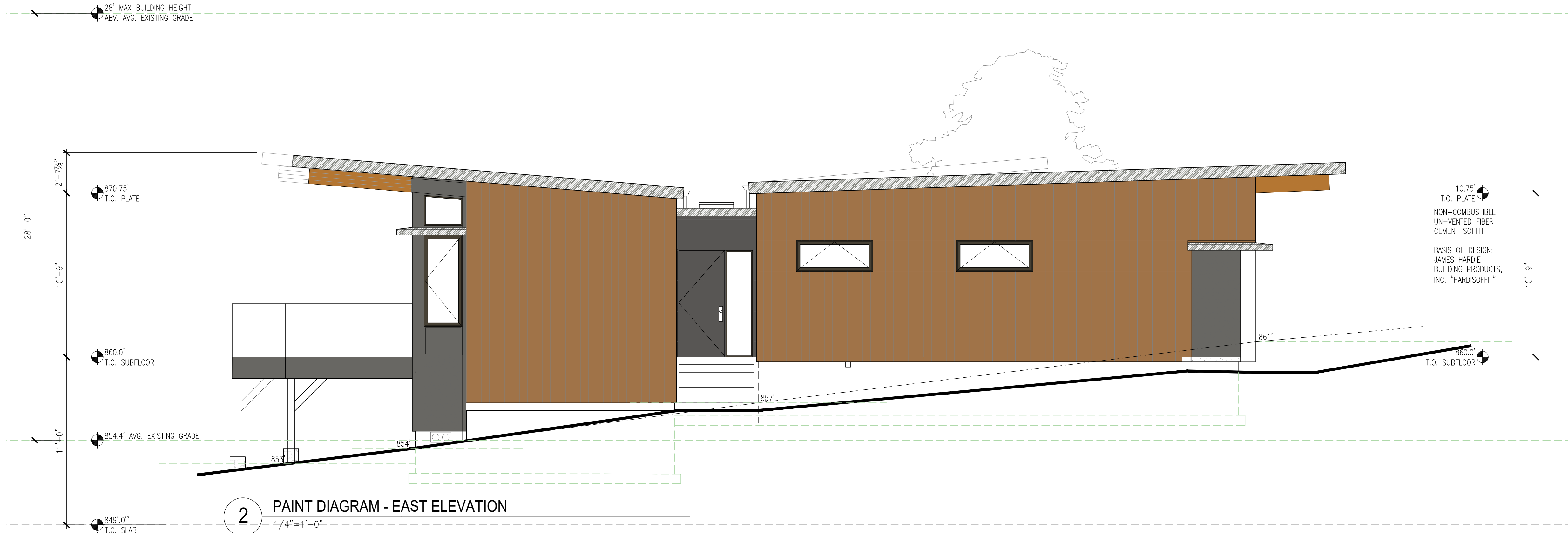


1 PAINT DIAGRAM - NORTH ELEVATION
1/4"=1'-0"

COLOR KEY - NATURAL PACKAGE			
NOTE TO CONTRACTOR: REFER TO SWD STANDARD OUTLINE RECOMMENDATIONS FOR SWD RECOMMENDED COLOR SELECTIONS. CONTRACTOR TO CONFIRM FINAL PAINT COLOR SELECTIONS WITH OWNER PRIOR TO CONSTRUCTION.			
KEY	DESIGNATION	SWD STANDARD	DESCRIPTION
	EXT C1	BM-HC 166, KENDALL CHARCOAL (VERIFY WITH OWNER)	WINDOW TRIM AND PANEL COLOR
	EXT C2	BM-HC 166, KENDALL CHARCOAL	VISOR SOFFIT COLOR FASCIA BOARD COLOR DECK EDGE COLOR
	EXT C3	PENOFIN VERDE, NATURAL (VERIFY WITH OWNER)	SIDING COLOR (STAIN)
	EXT C4	BM 2134-30, IRON MOUNTAIN (VERIFY WITH OWNER)	SPINE PANEL COLOR
	EXT C5	BM-HC 166, KENDALL CHARCOAL	ROOF SOFFIT COLOR (HARDIE OR MDO)
	EXT C6	PENOFIN VERDE, NATURAL	GLULAM BEAM COLOR (STAIN)
	EXT C7	WEATHERED ZINC (METALLIC)	ROOF, METAL FASCIA COLOR
	EXT C8	WEATHERED ZINC (METALLIC)	VISOR, METAL FASCIA COLOR
	EXT C9	DARK BRONZE (VERIFY WITH OWNER)	PATIO DOORS - SIERRA PACIFIC, (ALUMINUM CLAD)
	EXT C10	DARK BRONZE (VERIFY WITH OWNER)	WINDOWS - SIERRA PACIFIC, (ALUMINUM CLAD)
	EXT C11	PENOFIN VERDE, NATURAL	ENTRY DOOR - CHERRY, (STAIN)

- GENERAL PROJECT NOTES:
- SEE COVER SHEET A0.00.
- DESIGN BUILD PROJECT NOTES:
- SEE COVER SHEET A0.00.

- EXTERIOR PAINT & STAIN:
- MATERIAL PREPARATION FOR PAINTING OR STAINING.
- ALL PRIMED MATERIAL THAT IS CUT ON SITE (SIDING, TRIM, SOFFIT, HARDY BOARD, BATTENS) MUST HAVE ROUGH CUT ENDS PRIMED OR FINISHED BEFORE INSTALLATION.
 - ALL UNFINISHED NATURAL MATERIAL (CEDAR SIDING, TRIM, AND GLULAM) MUST FINISHED WITH PENOFIN ON ALL SIDES PRIOR TO INSTALLING. ANY ROUGH-CUT ENDS MUST BE TREATED WITH PENOFIN PRIOR TO INSTALLATION.
 - TRIM DETAILS WILL BE INSTALLED SMOOTH SIDE OUT.



2 PAINT DIAGRAM - EAST ELEVATION
1/4"=1'-0"

- REPRODUCE DRAWINGS ONLY WITH WRITTEN PERMISSION FROM STILLWATER DWELLINGS
- INTELLECTUAL PROPERTY OF STILLWATER DWELLINGS. THESE DRAWINGS MAY ONLY BE USED FOR THE CONSTRUCTION OF THE HOUSE TO BE INSTALLED AT THE PROJECT ADDRESS LISTED ON THESE DRAWINGS.
- CONSTRUCTION OF THE PROJECT THESE DRAWINGS BECOME MAY ONLY PROCEED WITH THE EXPRESS WRITTEN CONSENT GRANTED BY STILLWATER DWELLINGS INC.

260 Fisterela Ridge Road
DAVENPORT, CA 95017
TAX PARCEL #: 05719114
FOR COASTAL REVIEW ONLY
NOT FOR CONSTRUCTION

NETO RESIDENCE
PROJECT #: 21-NETO-000
PHASE 2.0 - COASTAL REVIEW

DOCUMENT RELEASES:	
DATE	DESCRIPTION
24/DEC/21	PHASE 1.5
MARCH 23	COASTAL REVIEW
PROJ. MANAGER	MPOP

SHEET
EXTERIOR PAINT
& STAIN COLORS

NOTES:

GENERAL PROJECT NOTES:

1. SEE COVER SHEET A0.00.

BIDDER DESIGN DESIGN NOTES:

1. SEE COVER SHEET A0.00.

FOUNDATION NOTES:

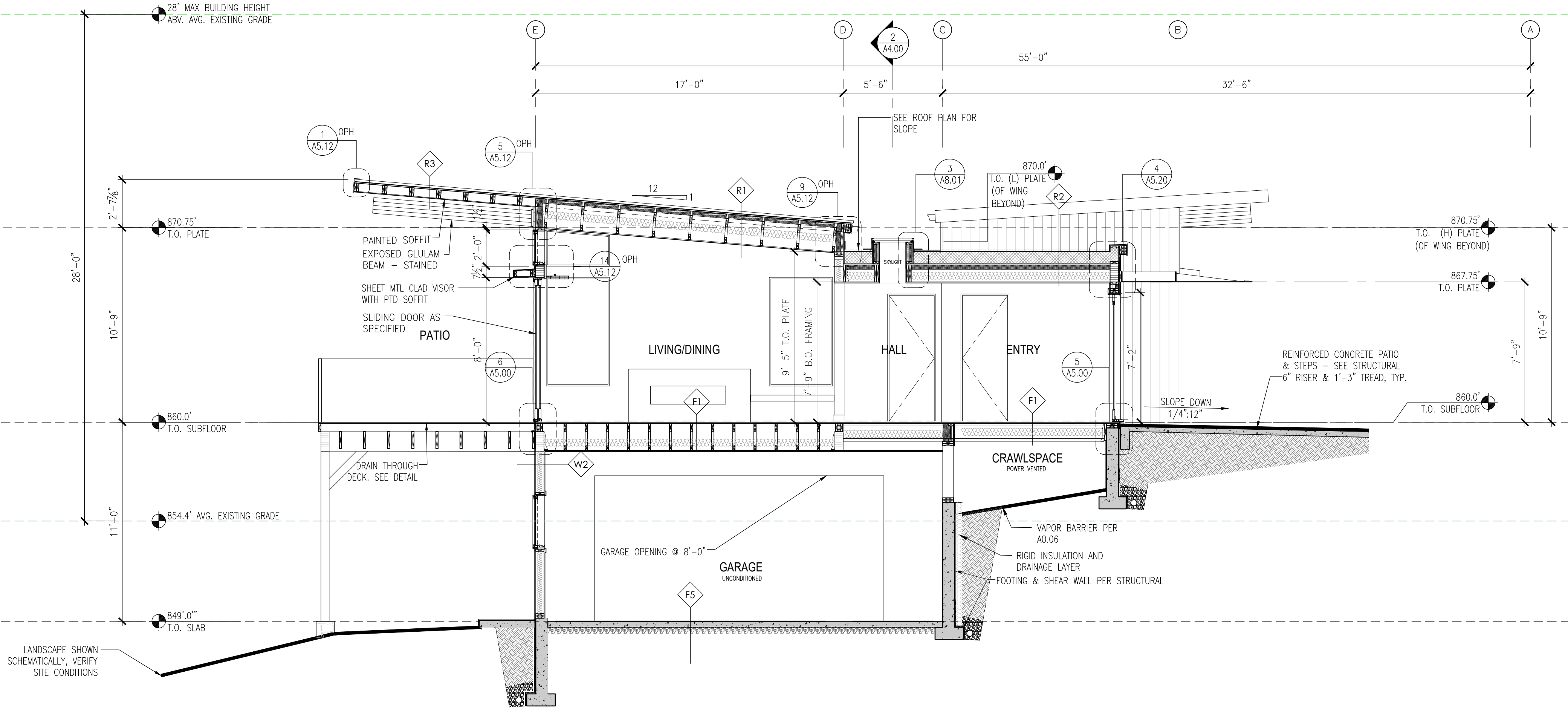
1. SEE FOUNDATION PLAN(S).

SOILS NOTES:

1. SEE SITE PLAN.

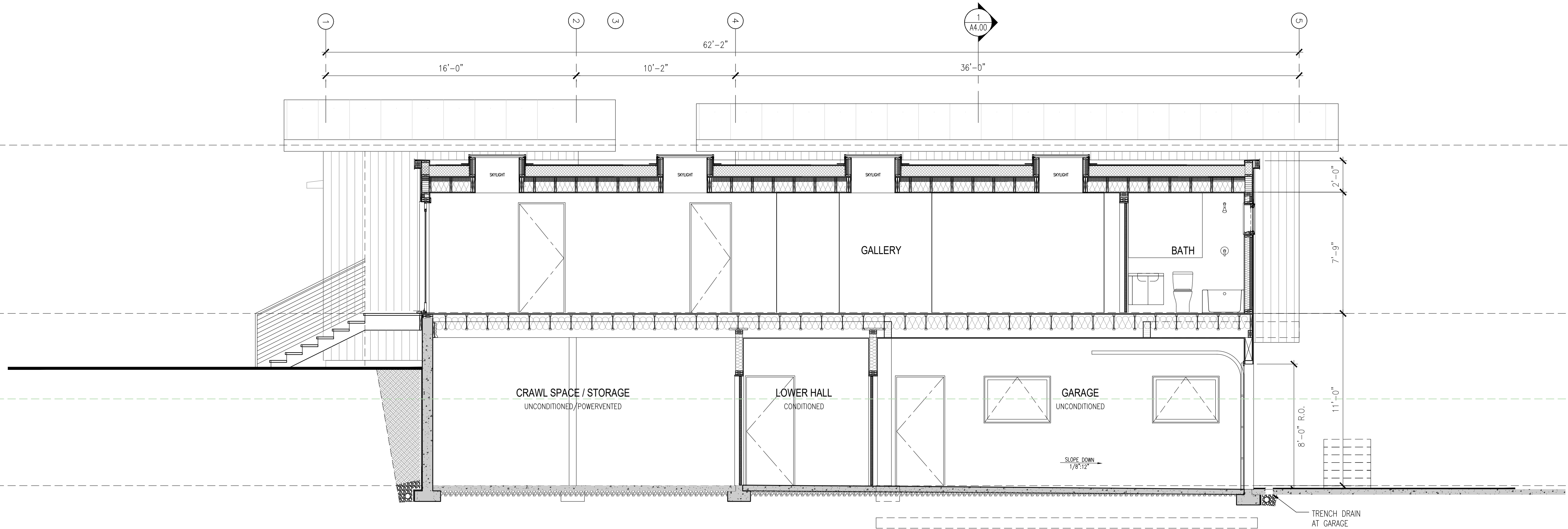
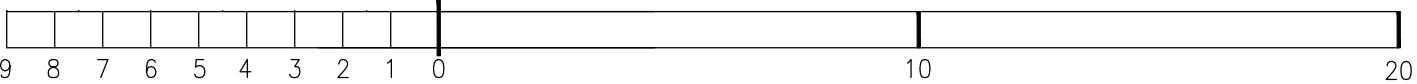
LEGEND:

- EXISTING GRADE
- NEW GRADE AND EXISTING GRADE UNCHANGED
- FLOOR LINE (T.O. SHEATHING)
- BUILDING HEIGHT LIMIT LINE
- EARTH
- FREE DRAINING FILL
- GRAVEL
- CONCRETE
- BATT INSULATION
- RIGID INSULATION
- SPRAY FOAM INSULATION
- ASSEMBLY TYPE DESIGNATION, REFER TO SHEETS A0.05 THRU A0.08



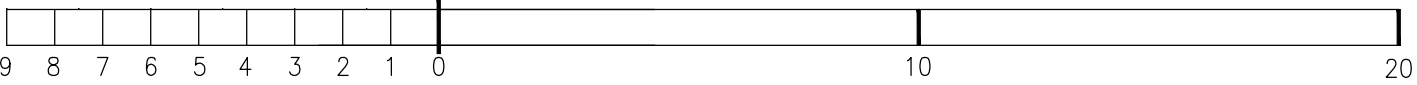
1-BUILDING SECTION - SOUTH TO NORTH

SCALE: 1/4" = 1'-0"



2-BUILDING SECTION - EAST TO WEST

SCALE: 1/4" = 1'-0"



DOCUMENT RELEASES:	
DATE	DESCRIPTION
24DEC21	PHASE 1.5
MARCH 23	COASTAL REVIEW

PROJ. MANAGER MPOP

SHEET

BUILDING
SECTION



Natural

SIDING

Fire-Resistant Lap Siding 6"
Exposure
Color: Penofin Verde- Natural



OTHER TRIMS

Visor soffit, Fascia board, Deck edge
Color: BM Kendal Charcoal HC-166



Natural

SOFFIT BEAM

Glue Laminate Architectural Grade Wood, Penofin Verde, Natural



WINDOW TRIM AND PANELS
Wood/Cement Board
Color: BM Kendal Charcoal HC-166



WINDOWS

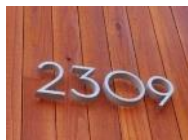
Aluminum Clad, Low-E Glass, Thermal Glazed
Ext Color: Dark Bronze

SLIDING DOORS

Aluminum Clad Wood Windows & Sliding Doors, Color: Dark Bronze



ROOF + VISOR + FASCIA
Standing Seam Metal
Storm Gray (metallic)

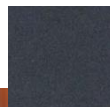


ROOF + VISOR SOFFIT
Cement Board
Color: BM Puritan Gray

HOUSE NUMBERS
4" - 4.25"
with 1/2" stand offs
Die-cast Aluminum



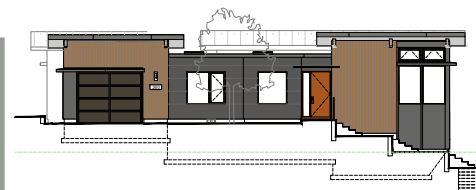
EXTERIOR SCONCES
Progress Lighting,
Square Black



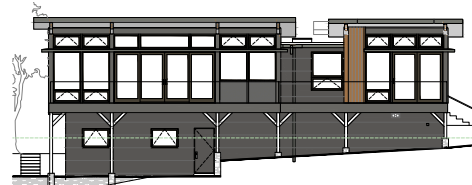
ENTRY CANOPY
3/8" Thick Plate Steel,
Powder coated



PATHWAY LIGHTS
Hampton Bay JAO1501L
(at driveway and sidewalk)



FRONT FACADE



REAR FACADE



HARDSCAPE
River rock dry creek bed
and Concrete patios