



NOTICE OF PENDING ACTION

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An application for the project described on this notice has been filed and a decision about the project will soon be made by Planning Department staff. Any member of the public may submit comments on the proposal prior to the deadline listed on the reverse side of this notice. The project plans may be viewed on the Planning Department website (<http://www.sccoplanning.com> under Pending Public Notice Projects). The webpage may also be used to track the project decision date, which initiates an appeal period. Any member of the public may request a public hearing be held for this item within 15 working days from the date the notice of pending action was sent. Failure to request a public hearing may result in the loss of the ability to appeal the County action on the application to the Coastal Commission.

Any aggrieved person, or the applicant, may appeal the ultimate decision on this project by submitting a written request within 14 calendar days of the decision date and paying an appeal fee. Please be aware that, while an anticipated decision date has been identified for purposes of this notice, the actual decision date initiating the appeal period will be posted on the web address described above. Information regarding the appeal process or fees may be obtained by phoning (831) 454-2130.

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATION NUMBER: 231196 APN: 054-142-18
SITUS: 141 Via Medici, Aptos, 95003

Proposal to convert 334 square foot unenclosed deck to a bedroom, closet and bathroom. Requires a Minor Coastal Permit (231196) and a Soils Report Waiver (REV231072). Property located on west side of Via Medici (141 Via Medici), approximately 350 feet south of the intersection with Calypso Drive.

OWNER: MOUSSADDAK & KAREN BISSANI
APPLICANT: Nik Kirby
SUPERVISORIAL DISTRICT: 2
PLANNER: Jerry Busch, (831) 454-3234
EMAIL: Jerry.Busch@santacruzcounty.us

Public comments must be received by 5:00 p.m. July 13, 2023.
A decision will be made on or shortly after July 14, 2023.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. If you would like to request a public hearing be held for this item, please contact the project planner listed on this notice. Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.
For more information, contact the project planner identified above.

file copy

- SITE NOTES:**
- Any survey monuments within the area of construction shall be preserved or reset by a person licensed to practice land surveying in the State of California.
 - Repair all damaged and/or off grade concrete street improvements as determined by the construction management prior occupancy.
 - [2] working days before commencing excavation operations within the street right-of way and/or utility easements, all existing underground facilities shall be located by underground services alert. Call 8-1-1.
 - All weather access surfaces shall consist of 3/4" crushed rock on 4" min. road base.

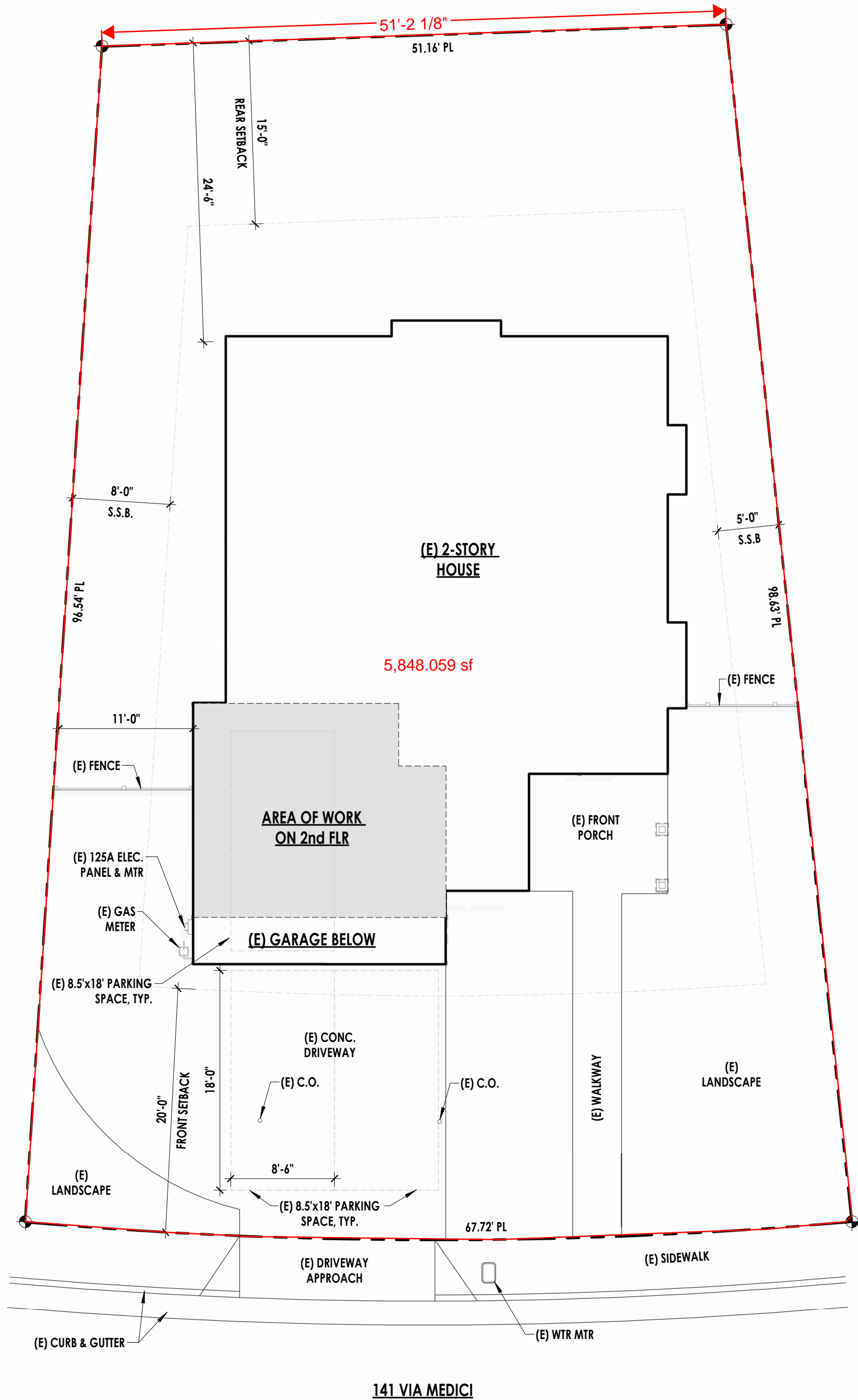
DESIGNER:



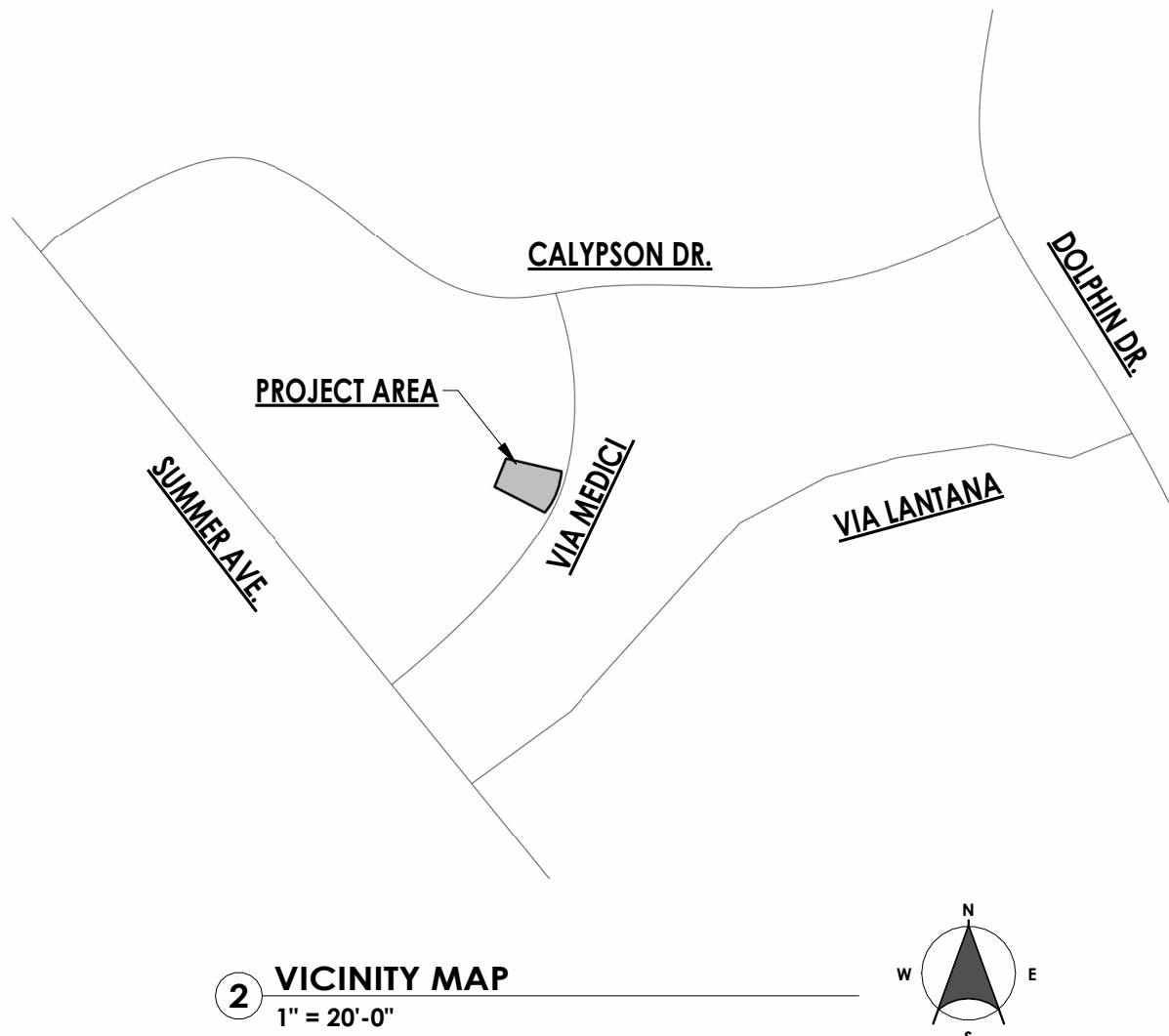
ENTERPRISES
373 E. SHAW AVE. #156
FRESNO, CA 93710
(559) 289-4912
wwenterprises@outlook.com

DISCLAIMER:
Plans shall not be distributed nor copied without the expressed written consent of the Designer. Plans are diagrammatic and shall not be scaled to determine dimensions. The contractor shall verify all dimensions and conditions at the site and shall notify the Designer of any discrepancies between the actual conditions and information shown on the drawings before proceeding with the work. The contractor shall immediately notify the Designer of any condition in which, in his opinion, might endanger the stability or cause distress to the structure.

ENGINEER:



1 SITE PLAN
1/8" = 1'-0"



STAMP:

DATE:	3-6-2023
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PROJECT:

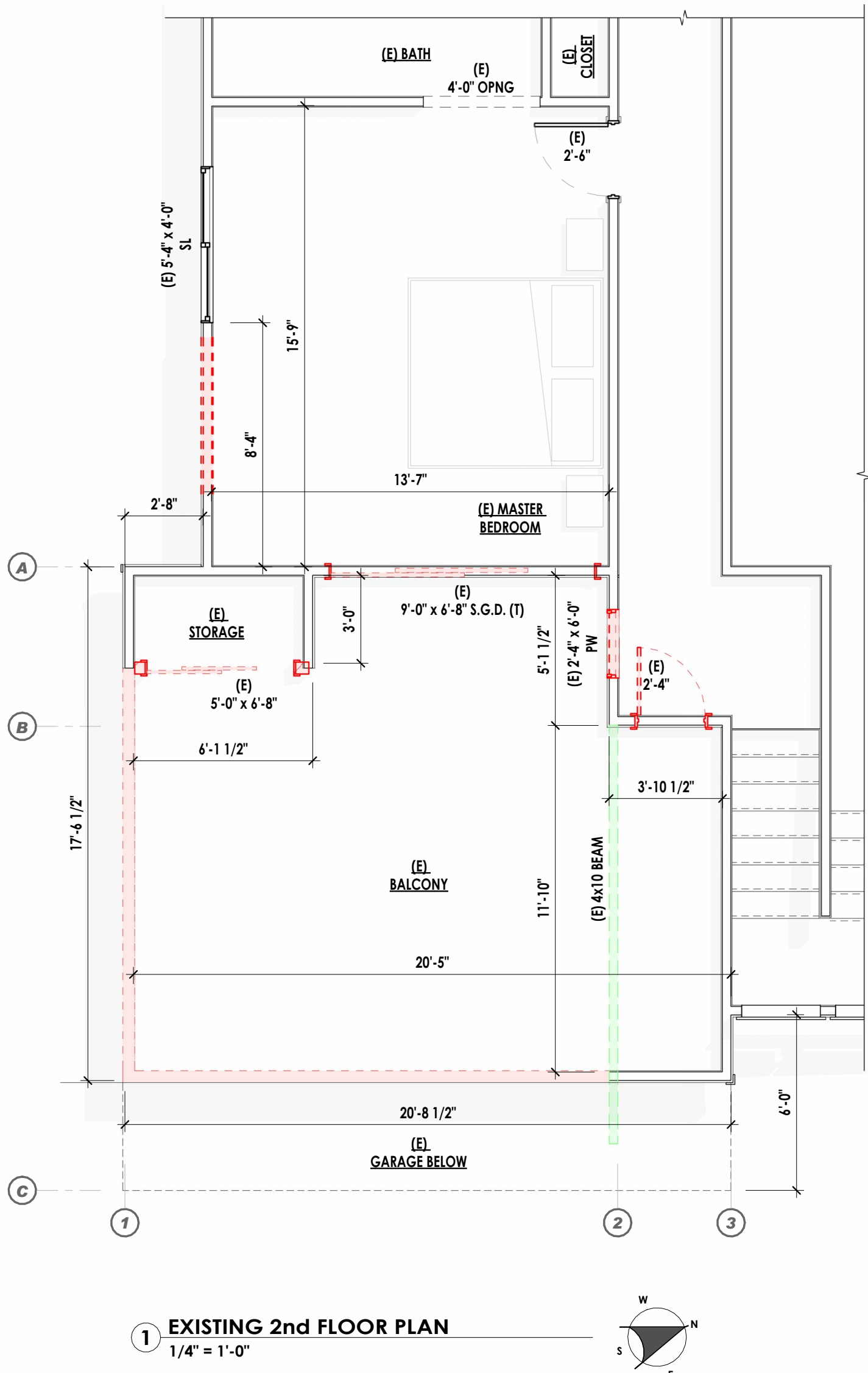
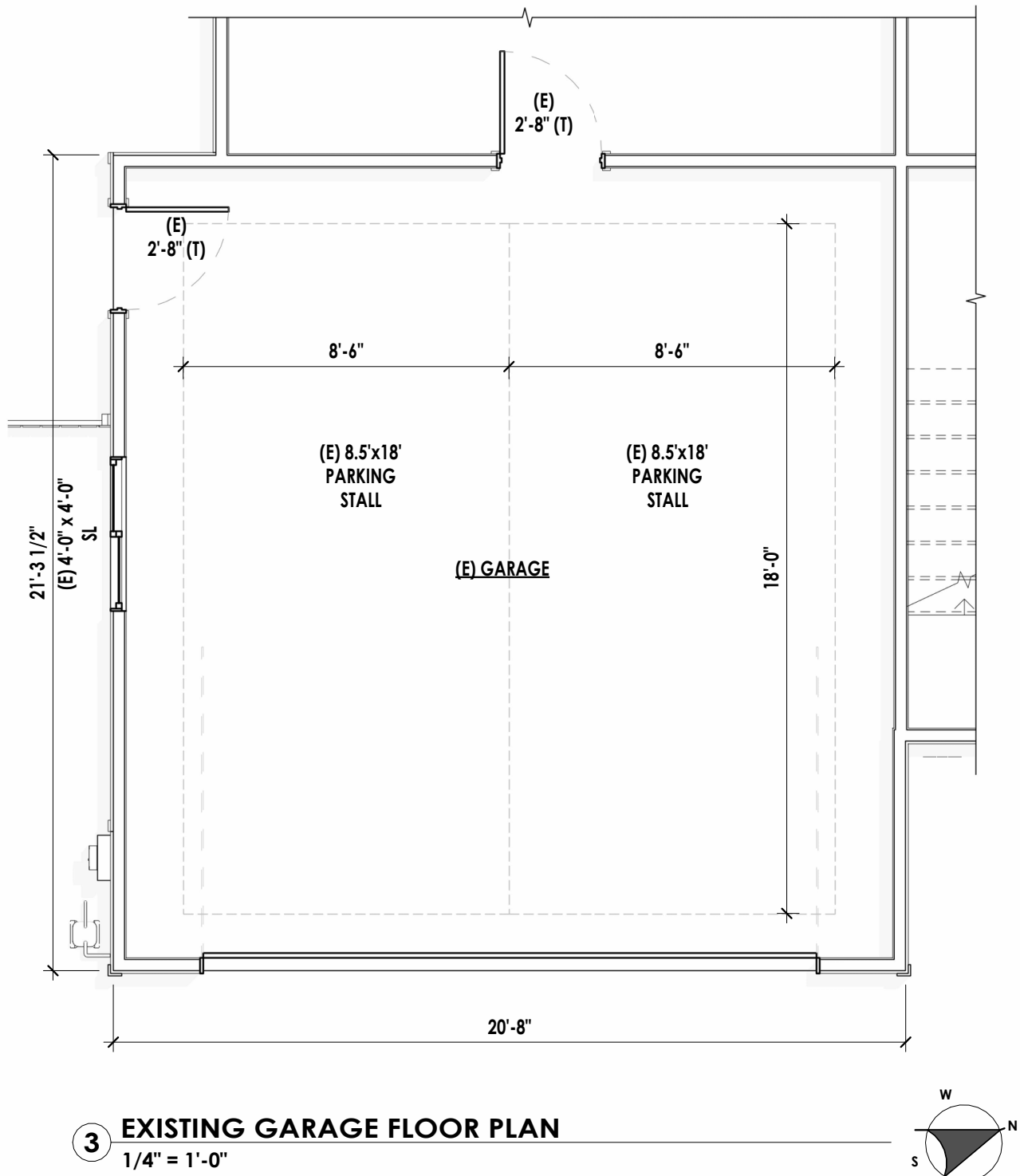
PROJECT INFO:	
ZONED:	R-1-6
LOT SIZE:	5,948 S.F.
FLOOR AREA RATIO:	(2,554 S.F.) 43% (50%)
LOT COVERAGE:	(1,724 S.F.) 29.4% (40%)
OCCUPANCY:	R-3
CONSTRUCTION TYPE:	V-8
FIRE SPRINKLERS:	NO

AREA INFO	
LIVABLE AREA:	
(E) 1st FLOOR	1,289 SF
(E) 2nd FLOOR	1,055 SF
(E) GARAGE	435 SF
(N) ADDITION	334 SF
3,112 SF	
ACCESSORY:	
(E) FRONT PORCH	111 SF
	111 SF
GRAND TOTAL:	3,223 SF

Convert (E) Balcony to Bedroom:
Bissani, Mo
141 Via Medici
Aptos, CA 95003
(831) 889-8140
APN: 054-142-18

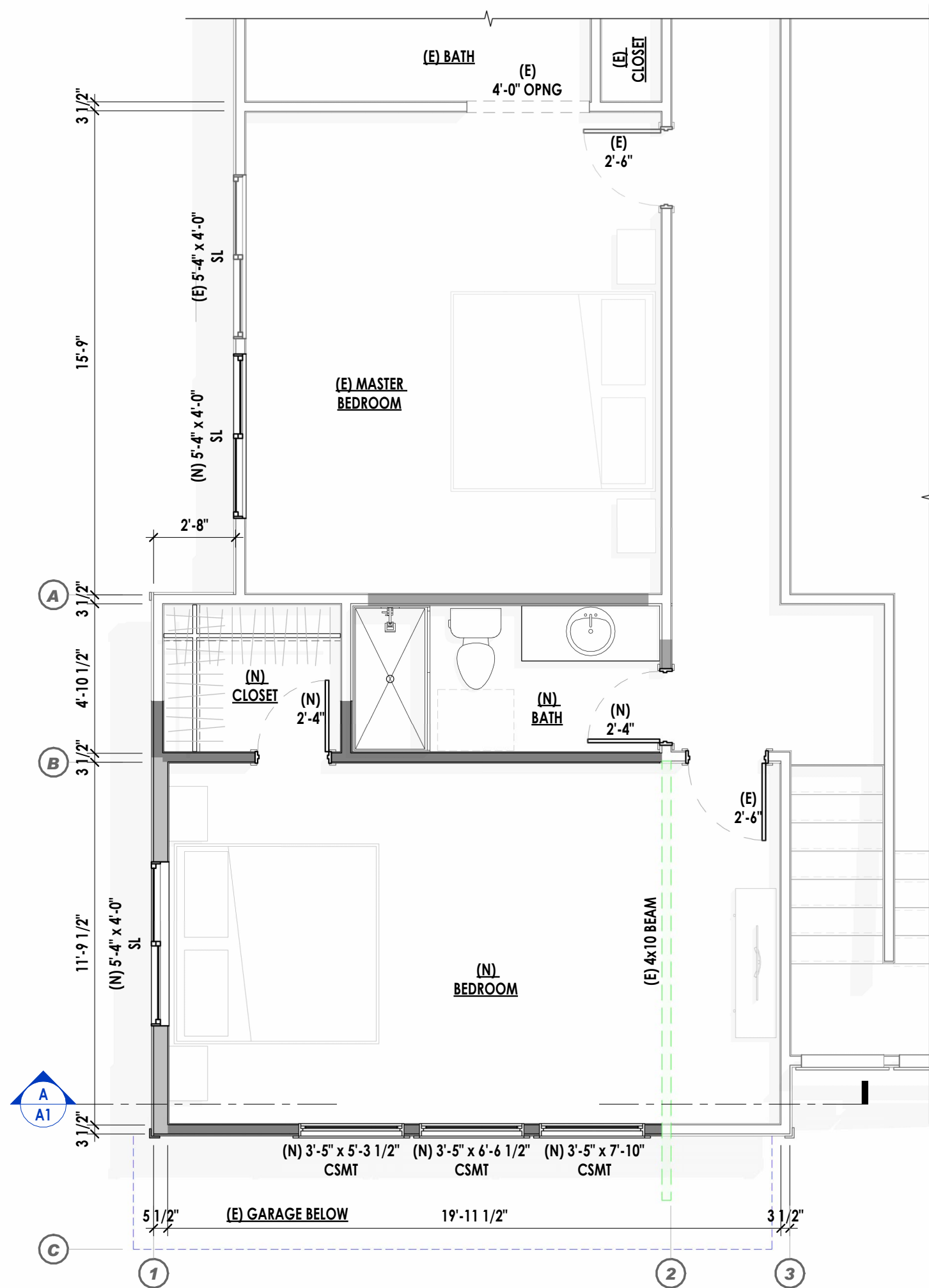
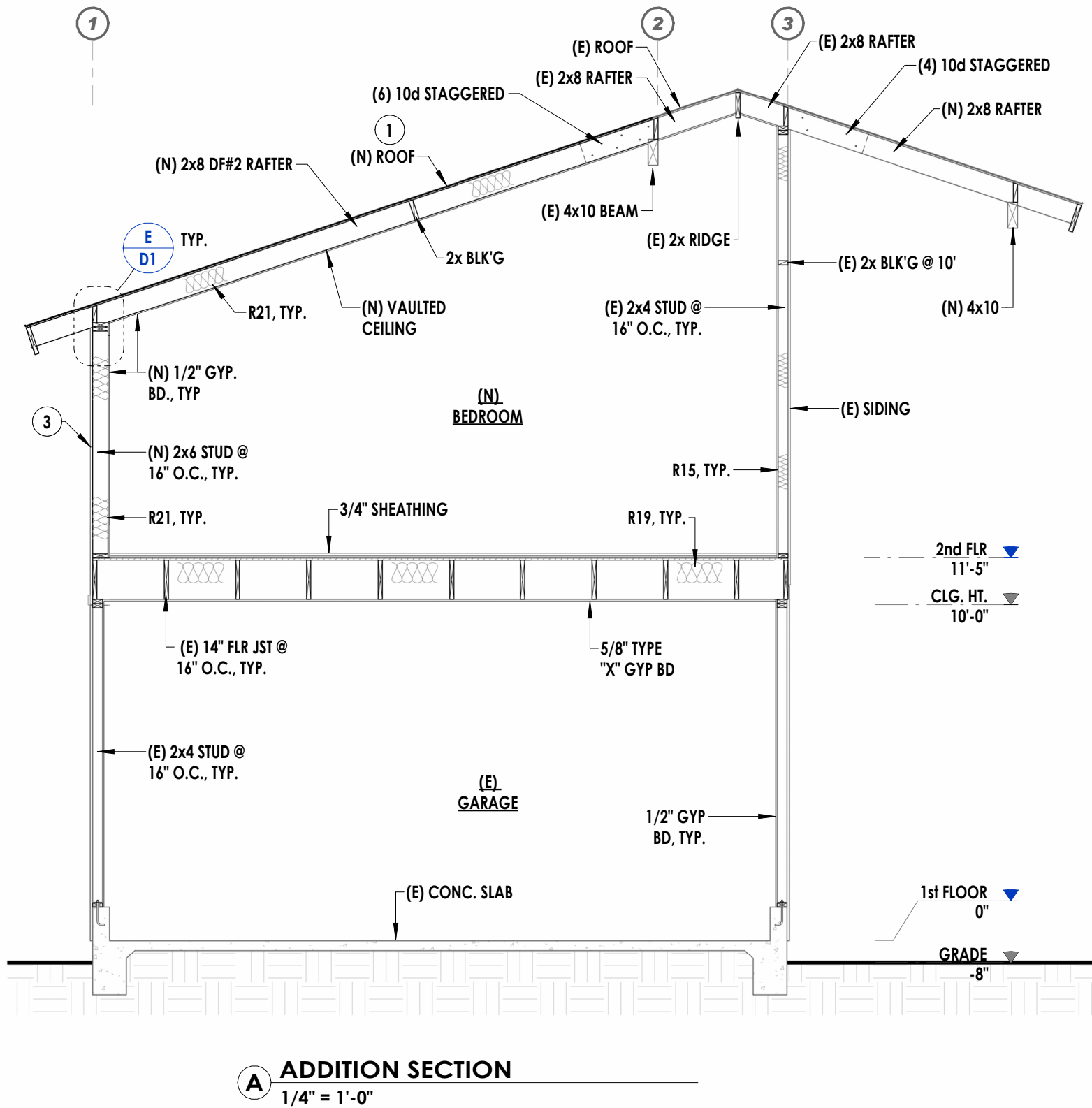
SHEET

T2



EXISTING FLOOR PLAN LEGEND:

- (E) WALL
- (E) TO BE REMOVED
- (E) SHEAR / BRACED WALL



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GRAND TOTAL:	3,223 SF

NEW FLOOR PLAN LEGEND:

- (N) 2x6 DF#2 STUDS @ 16" O.C. (U.N.O.)
- (N) 2x4 DF#2 STUDS @ 16" O.C. (U.N.O.)
- (E) 2x WALL
- (N) SHEAR WALL

- GENERAL NOTES:**
- Non-Shear Exterior Wall Anchor Bolts: 1/2" Ø x 10" w/ 0.229" x 3x3" steel plate located in middle 1/3 of all plate @ 6'-0" O.C. (with 7" embed.) & within 12" of each end. Use wedge anchors or 1/2" Ø Titen's w/ 5" embed. in existing concrete.
 - Non-Shear Wall Interior Partitions: Shot Pins 0.145" Ø x 2.875" w/ washer located in middle 1/3 of all plate @ 36" O.C. max. and 6" from end. Max. penetration: 1/3 slab depth. Rammed ICC-ESB #1799.
 - Lumber; (unless otherwise noted)
 - Bearns & Posts: Douglas Fir #1
 - Studs & Plates: Douglas Fir #2
 - Pressure treated plates in contact with soil, concrete, masonry
 - Nailing per Table CRC R602.3 "Fastening Schedule".
 - Cutting, notching, & boring per CRC R602.6.
 - Provide chemical toilet on-site during construction.

- KEY NOTES:**
- Circle with number refers to notes below:
- CLASS "C" COMP. ROOFING ON 30# FELT ON 7/16" OSB SHEATHING (24/0). CCV EXT. GRADE IN EXPOSED AREAS. 1/8" GAP ALL EDGES. METAL FLASHING AT EAVES. SHEATHING NAILING: 8d @ 4" O.C. EN, BN & 8d @ 12" O.C. FN. MIN. 1" AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING. PROVIDE 4" Baffles @ EAVE VENTS.
 - ATTIC VENTILATION CALCS. (xx S.F.):
REQ'D: $xx / 300 = xx$ S.F. PROVIDED: xx S.F.
(12) EAVE VENTS = xx S.F.
(2) ROOF VENTS = xx S.F.
(2) GABLE VENTS = xx S.F.
a. 22.5" x 3.5" EAVE VENT w/ 1/16" MIN. 1/4" MAX. NON-CORROSIVE METAL MESH (NFVA = 0.31 S.F).
b. 22.5" x 4" EYEBROW ROOF VENT w/ 1/16" MIN. 1/4" MAX. NON-CORROSIVE METAL MESH (NFVA = 0.42 S.F).
c. 14" x 18" GABLE VENT w/ 1/16" MIN. 1/4" MAX. NON-CORROSIVE METAL MESH. (NFVA = 1.06 SF).
 - a. EXTERIOR GRADE PLYWD BOARD PAINTED ON (2) LAYERS OF "D" PAPER. PROVIDE "Z" METAL FLASHING HORIZONTAL JOINTS. TO MATCH EXISTING.
b. DIAGONAL LAP SIDING PAINTED ON (2) LAYERS OF "D" PAPER TO MATCH EXISTING.
 - SMOKE DETECTOR / CARBON MONOXIDE ALARM 110V HARD WIRED w/ BATTERY BACK UP. MIN. OF 20" HORIZONTALLY FROM COOKING APPLIANCE & MIN. 3" FROM SUPPLY REGISTERS & MEASURED FROM THE BLADE TIP OF CEILING FANS. MODEL AND MANUFACTURER APPROVED BY STATE FIRE MARSHALL.
 - ATTIC ACCESS 22" x 30" w/ 30" HEADROOM MIN. GASKETED TO PREVENT AIR LEAKAGE AND INSULATED EQUAL TO CEILING FASTENERS.
 - EXIT WINDOW: NET WIDTH 20". HEIGHT 24". OPENABLE AREA 5.7 SQ. FT MINIMUM. BOTTOM EDGE OF OPENING WITHIN 44" OF FINISH FLOOR IN ROOM.
 - WATER FLOW RATES; SHOWER HEAD: MAX. 1.8 GAL/MIN. @ 80 psi; LAVATORY FAUCETS: MIN. 0.8 GAL/MIN. @ 20 psi AND A MAX. OF 1.2 GAL/MIN. @ 60 psi; KITCHEN FAUCETS: MAX. 1.8 GAL/MIN @ 60 psi; TOILET: MAX. 1.28 GAL/FLUSH.
 - SHOWER w/ CERAMIC TILE OR FIBERGLASS ENCLOSURE TO 6" MIN. A.F.F. w/ MIN. 30" DIA. CIRCLE & MIN. 1.024 SQ. IN. (32"x32") AREA. PROVIDE WELDED BRASS FERRULES OR 1/2"x1/2" ACCESS PANEL. PROVIDE ROD FOR CURTAIN OR MIN. 22" WIDE DOOR w/ TEMPERED GLASS.
 - MIN. 30" WIDE x 24" DEEP CLEARANCE IN FRONT OF TOILET.
 - EXHAUST FANS; BATH FAN 50 CFM. 5 AIR CHANGES PER HOUR MIN. KITCHEN HOOD w/ FAN 100 CFM. ALL EXHAUST FANS TO BE VENTED TO EXTERIOR w/ BACKDRAFT DAMPER.
 - 1 HR FIREWALL w/ MIN. 1/2" GYP. BD. TO BOTTOM OF CEILING LID.
 - CEILING LID TO BE 5/8" TYPE "X" GYP. BD.
 - WATER HEATER: ALL HOT WATER PIPING 3/4" TO 2" SHALL HAVE 1" THICK INSULATION w/ AN R-7.7 RATING. INSULATE THE FIRST 5' OF HOT & COLD WATER TO STORAGE TYPE WATER HEATER.
 - PROVIDE SIMP. ST6236 STRIP WHERE TOP PLATES DO NOT LAP AT EXTERIOR CORNERS OR WHERE A CHANGE IN PLATE HEIGHT OR SLOPED PLATES AT RAKED WALLS OCCUR.

DESIGNER:

0 2 4 6

ENTERPRISES

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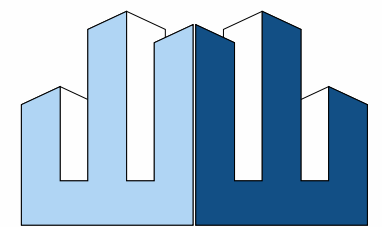
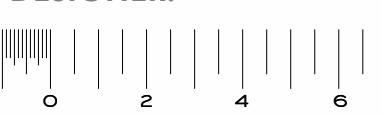
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(831) 889-8140
APN: 054-142-18

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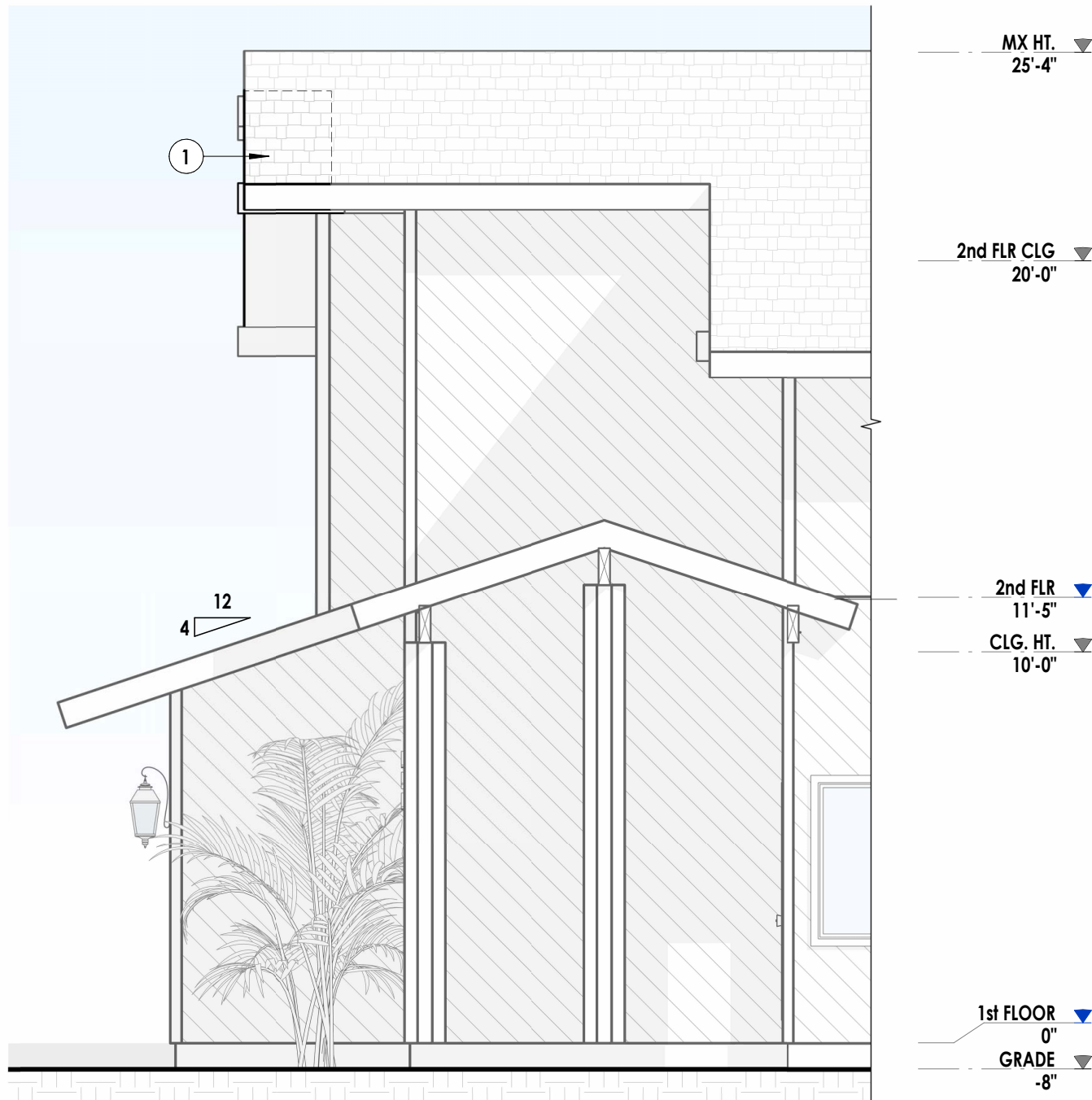
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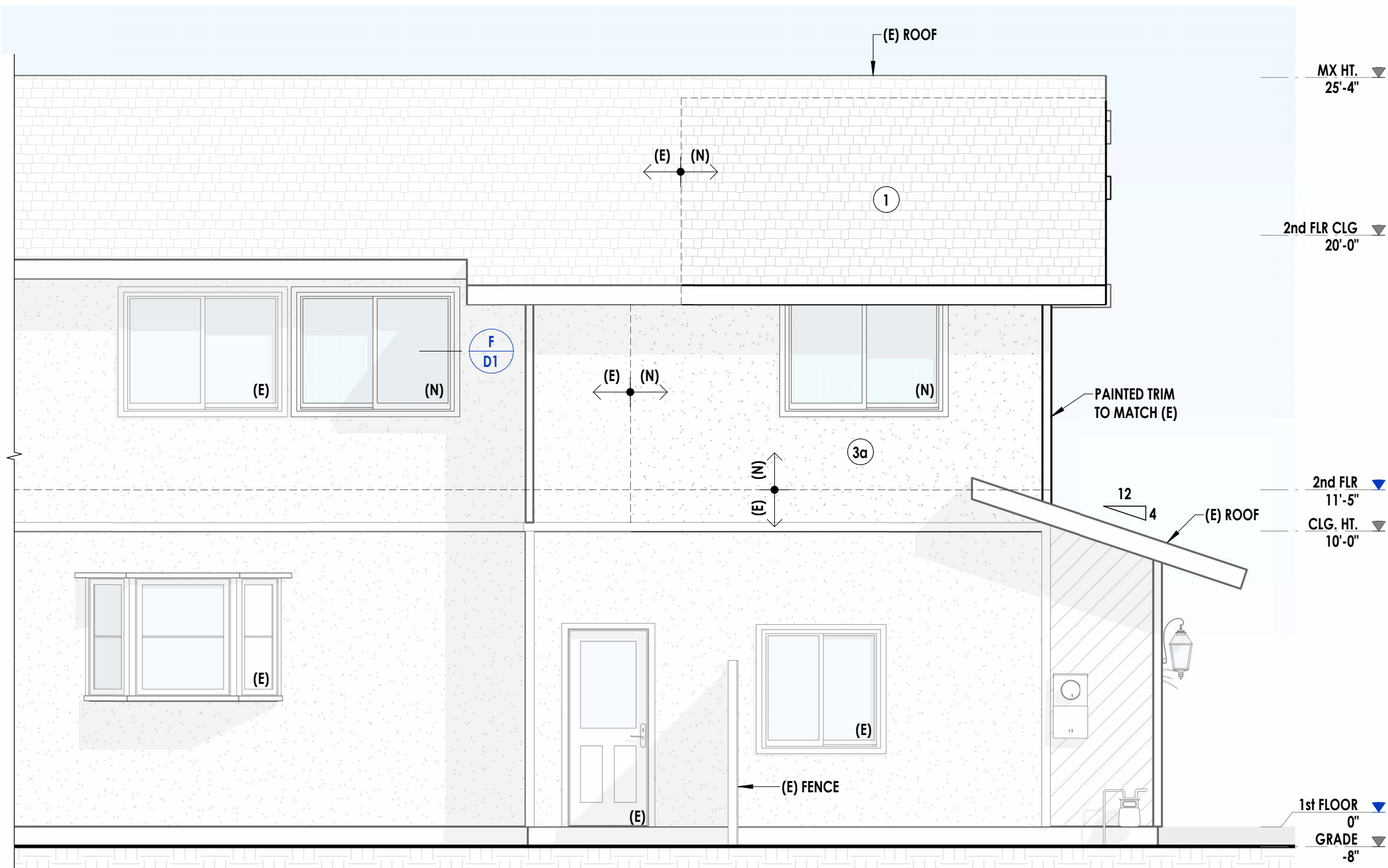
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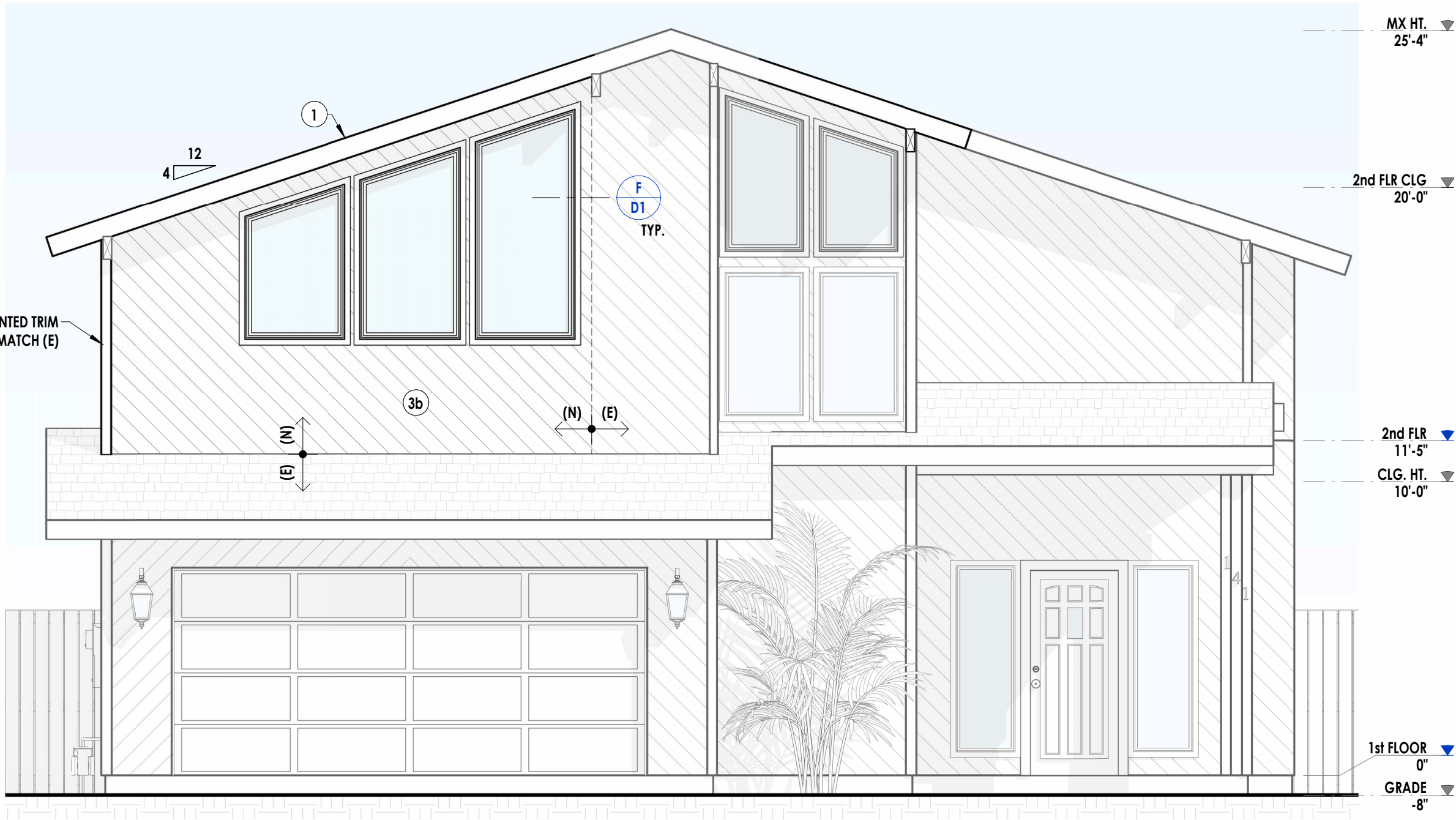
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3 RIGHT / NORTH ELEVATION
1/4" = 1'-0"



2 LEFT / SOUTH ELEVATION
1/4" = 1'-0"



1 FRONT / EAST ELEVATION
1/4" = 1'-0"

INSULATION & GLAZING

TYPICAL GLAZING ENERGY VALUES:	
U-FACTOR:	0.30
SHGC:	0.23
INSULATION SCHEDULE:	
ATTIC @ ROOFING:	R19
ATTIC @ CEILING:	R38
(N) EXTERIOR WALLS:	R21 + R5 XPS
WALL BETWEEN HOUSE & GARAGE:	R21

STAMP:

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A2