

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATION NUMBER: 231463 APN: 050-251-16
SITUS: 323 Green Valley Rd, Watsonville, 95076

A proposal to construct a 684 square foot addition to an existing single-family dwelling.

Requires an Agricultural Buffer Setback Reduction to reduce the required 200' agricultural buffer setback to about 94 feet to the proposed addition.

Property located on the west side of Green Valley Road at 323 Green Valley Road in Watsonville.

OWNER: Belma Zuniga
APPLICANT: Roberto Zuniga
SUPERVISORIAL DISTRICT: 2
PLANNER: Randall Adams, (831) 454-3218
EMAIL: Randall.Adams@santacruzcountyca.gov

Public comments must be received by 5:00 p.m. APRIL 12, 2024.
A decision will be made on or shortly after APRIL 19, 2024.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. Planner will provide notification of decision to any requesting party.

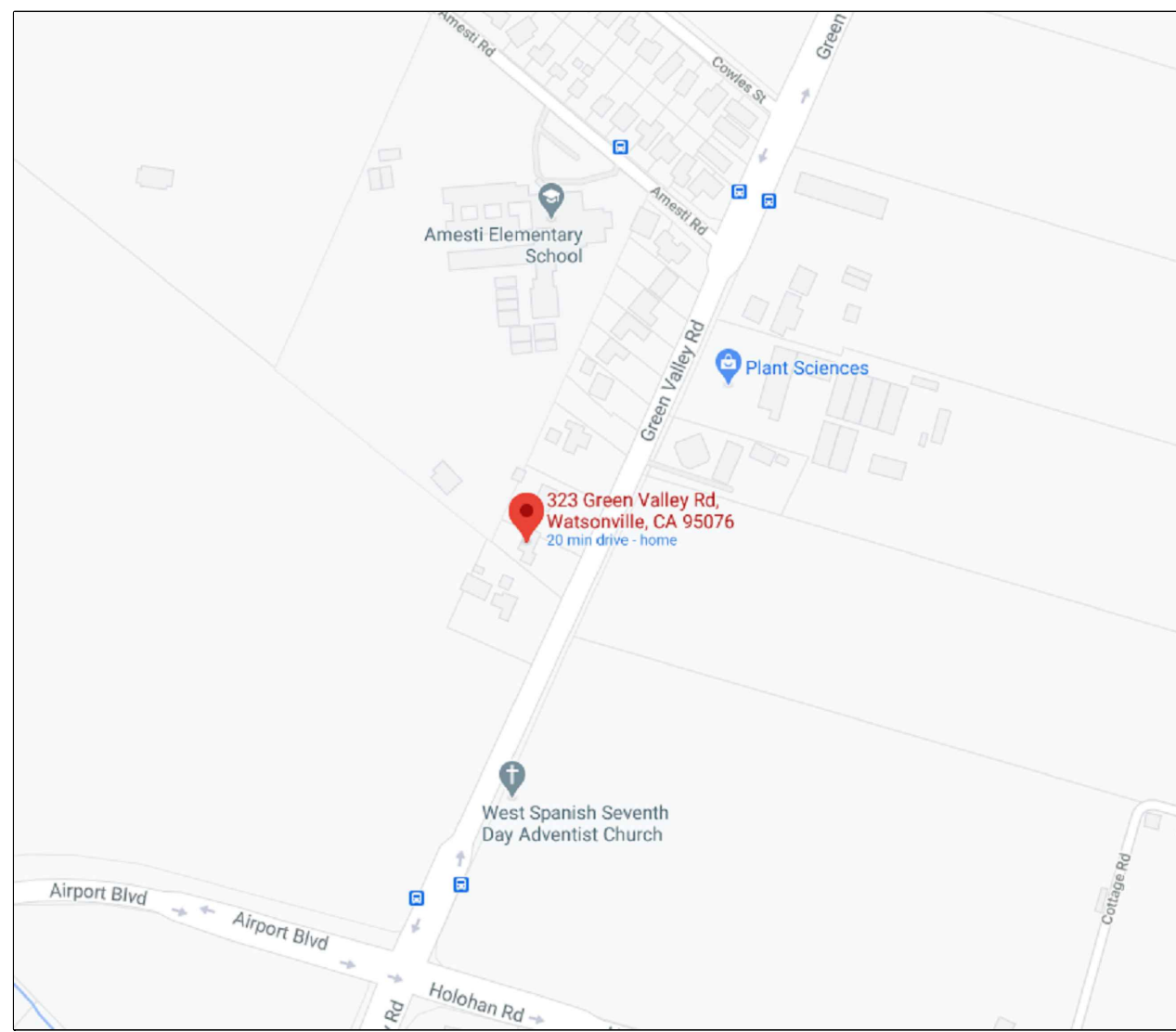
Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

ZUNIGA RESIDENCE

UTILITIES LOCATIONS	
①	WATER METER
②	PG&E METER
③	WATER HEATER
④	ELECTRICAL PANEL

GENERAL NOTES

1. A MINIMUM OF 65% OF NON-HAZARDOUS CONSTRUCTION AND DEMO SHALL BE RECYCLED AND/OR SALVAGED.
2. A MINIMUM OF CLASS B, ROOF COVERING IS REQUIRED FOR ALL CONSTRUCTION TYPES IN ALL LOCALITIES.
3. EXISTING HOME DOES NOT HAVE SPRINKLERS.
4. TRUSSES WILL BE USED ON THIS ADDITION AND WILL BE A DEFERRED SUBMITTAL.
5. 2% NATURAL SLOPE WATER DRAINAGE AWAY FROM STRUCTURE.
6. THE PROPOSED AGRICULTURAL BUFFER SETBACK FROM APN 050-241-14.
7. DROUGHT TOLERANCE AND NON INVASIVE.



VICINITY MAP

NOT TO SCALE

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF A +/- 684 SQ.FT ADDITION THAT INCLUDES: A MASTER BEDROOM WITH A WALKING CLOSET AND SHOWER, AND ADDITIONAL BEDROOM WITH CLOSET, A FULL BATHROOM, AN INTERIOR LAUNDRY ROOM, A FIREPLACE, A KITCHEN EXTENSION, NEW ON DEMAND WATER HEATER FOR ENTIRE HOME, AN ELECTRICAL SUB PANEL, NEW F.A.U. IN ATTIC SPACE INCLUDES DUCKING SYSTEM, NEW DUAL PANE WINDOWS, NEW LAP SIDING AT ADDITION, NEW PITCHED ROOF AT EXISTING GARAGE AND AT NEW ADDITION, NEW 30 YR. COMPOSITION SHINGLES.

PROPOSED AGRICULTURAL BUFFER ZONE:

THE OWNERS REQUEST REDUCTION FROM THE 200' AGRICULTURAL BUFFER.

PROJECT DATA

APN: 050-251-16
ZONING: R-1-15
CONSTRUCTION TYPE: VB
OCCUPANCY CLASSIFICATION: R-S

LOT AREA: 0.38 ACREAGE: 16,444 SQ.FT.
AREA LOT COVERAGE %: 0.1%
HOUSE: 684 SQ. FT.
EXISTING GARAGE: 321 SQ. FT.
EXISTING PORCH: 220 SQ. FT.

TOTAL EXISTING: 684 SQ.FT.
PROPOSED HABITABLE AREA: +/- 684 SQ. FT.
PROPOSED COVERED PATIO: +/- 140 SQ. FT.

CONTACTS

OWNER:
BELMA ZUNIGA
323 GREEN VALLEY RD.
WATSONVILLE CA, 95076
PHONE: 831-539-7929

DESIGNER:
ZUNIGA DESIGN
23 JARED WAY
FREEDOM, CA, 95019
PHONE: (831) 566-5374
rzdesigns831@gmail.com

GEOTECHNICAL ENGINEER:
ROBERT HASSELER, P.E.
HARO, KASUNICH & ASSOCIATES, INC.
116 E LAKE AVE, WATSONVILLE, CA 95076
PHONE: (831) 722-4175 x115
bhasseler@harokasunich.com

STRUCTURAL ENGINEER:
CESAR V. GARCIA
CV STRUCTURAL ENGINEERING
P.O. BOX 101, WATSONVILLE, CA 95076
PHONE: (831) 588-1590
c.v.garcia@att.net

SHEET INDEX

- | | |
|------|---|
| A1 | SITE MAP, VICINITY MAP AND PROJECT INFO |
| A2 | EXISTING FLOOR AND ROOF PLANS. |
| A3 | EXISTING ELEVATIONS PLANS. |
| A4 | FOUNDATION AND NEW FLOOR PLAN. |
| A5 | NEW ELEVATIONS PLANS. |
| A6 | ROOF PLAN AND SECTION DETAIL. |
| A7 | ELECTRICAL AND PLUMBING PLAN. |
| A8 | FAU UNIT & DUCTING SCHEMATIC PLAN |
| A9 | PROPOSED MATERIALS |
| S1.0 | GENERAL NOTES AND SPECIFICATIONS |
| S1.1 | FOOTING AND FRAMING DETAILS |
| S2.0 | FOOTING AND SLAB DETAILS |
| S2.1 | FRAMING DETAILS, ROOF FRAMING, SECTION |
| EN.1 | ENERGY COMPLIANCE |
| EN.1 | ENERGY COMPLIANCE |
| GB.1 | CALGREEN MANDATORY |

#	REVISIONS	DATE
1		9/30/22

ZUNIGA RESIDENCE
323 GREEN VALLEY RD
WATSONVILLE, CA, 95076
(831) 539-7929

Project Title:

1.

AG BUFFER

Notes:

ZUNIGA DESIGN
23 JARED WAY
FREEDOM, CA, 95076
TEL. 831-566-5674

Sheet Title:

SITE MAP, VICINITY MAP
AND PROJECT INFO

Drawn by: CADD

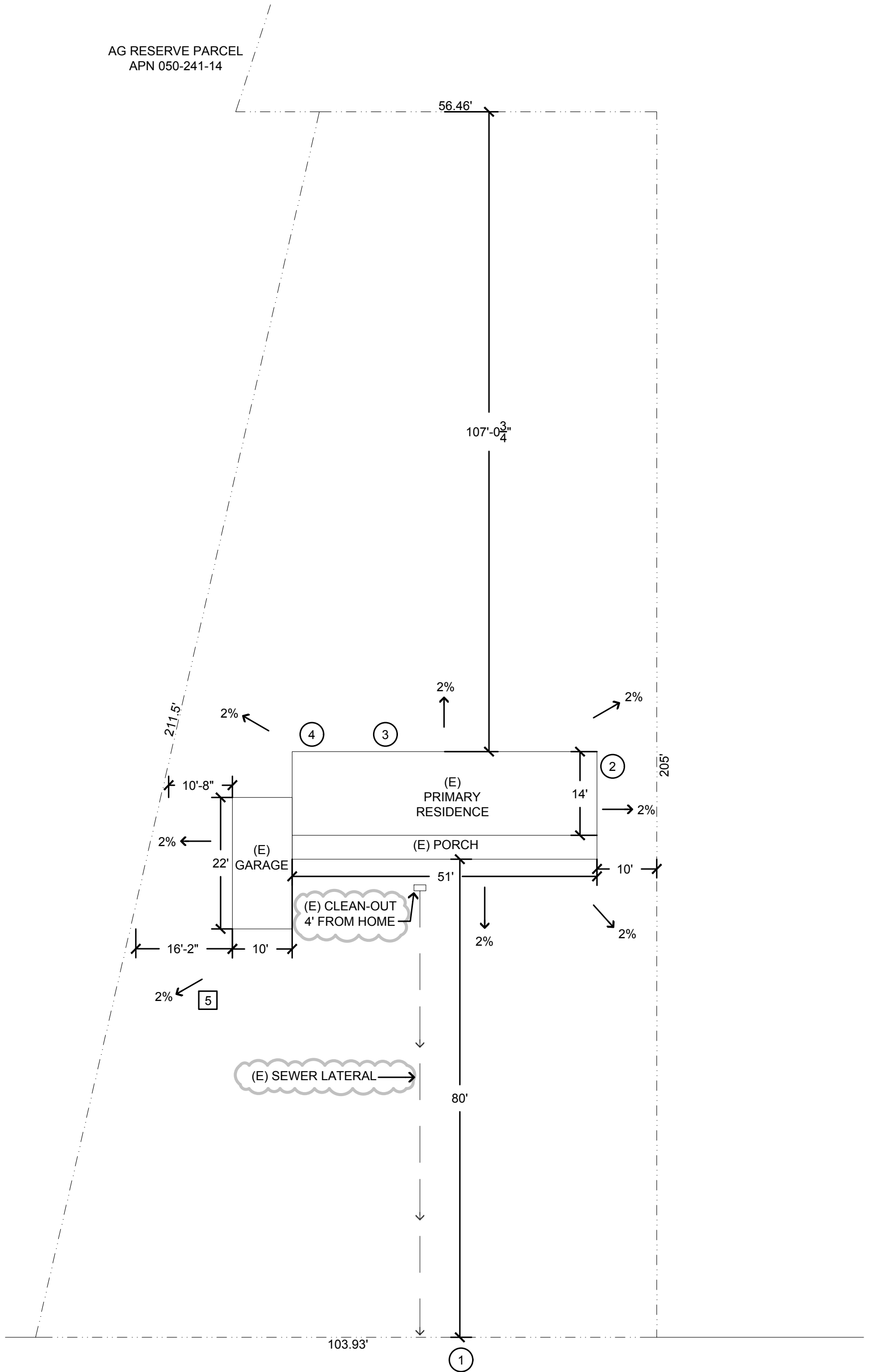
Date: 01.21.24

Scale: AS NOTED

A1

OF . SHEETS

AG RESERVE PARCEL
APN 050-241-14



GREEN VALLEY RD.

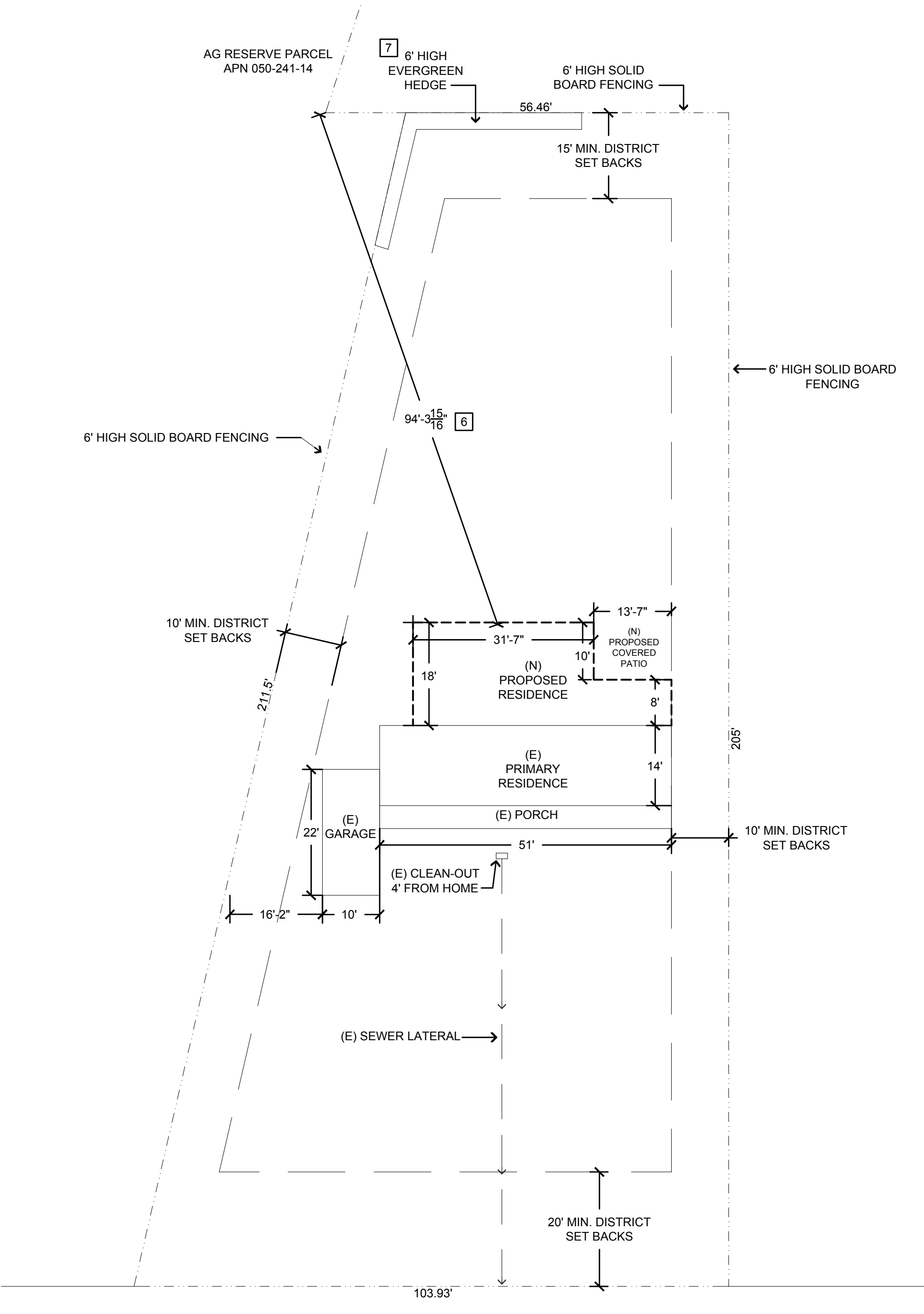
SITE PLAN

SCALE: 1/16"=1'-0"

16' 0' 4' 8' 12' 16'



AG RESERVE PARCEL
APN 050-241-14



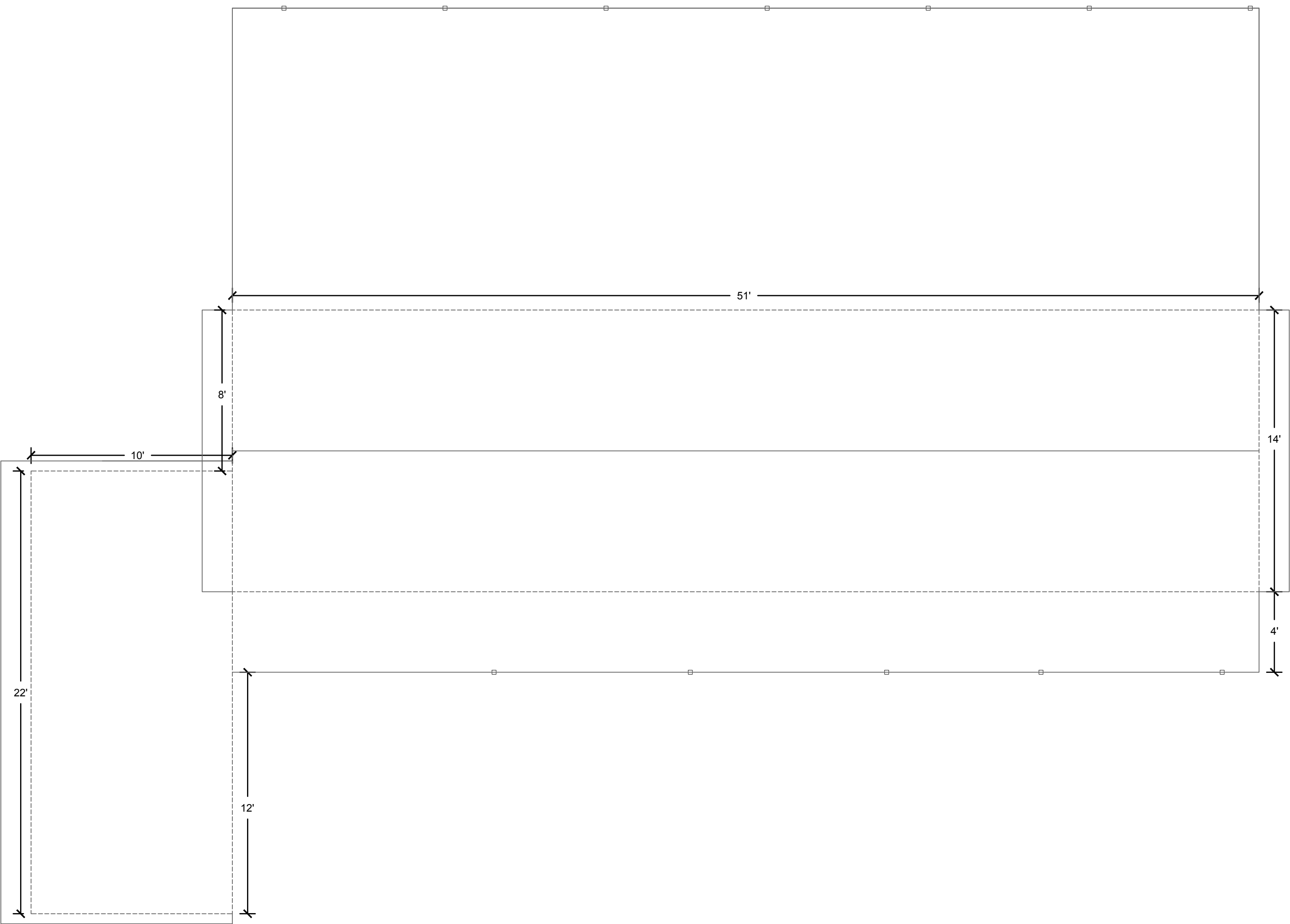
GREEN VALLEY RD.

PROPOSED BUFFER ZONE

SCALE: 1/16"=1'-0"

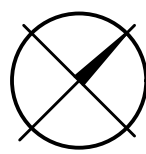
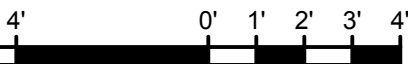
16' 0' 4' 8' 12' 16'



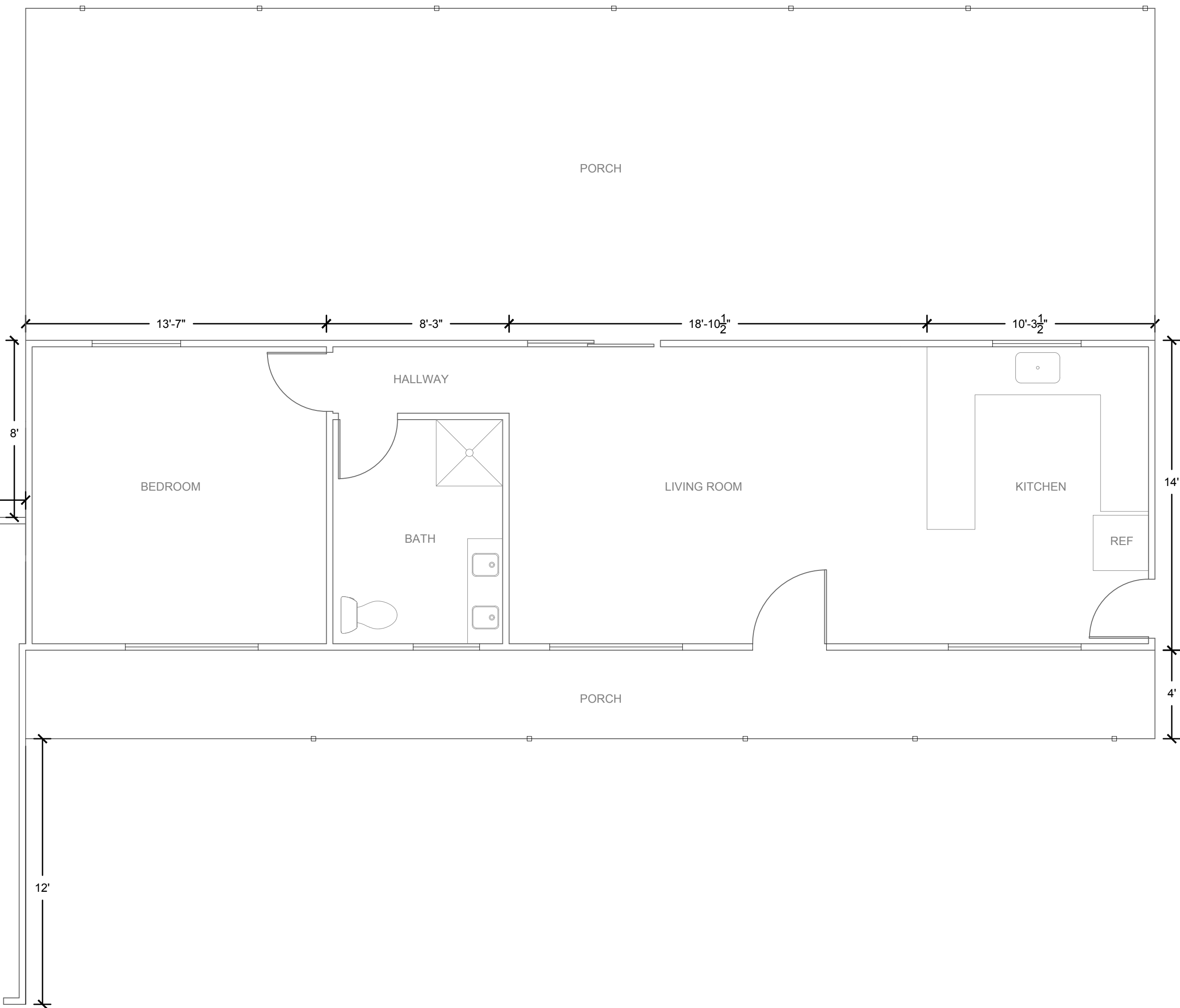
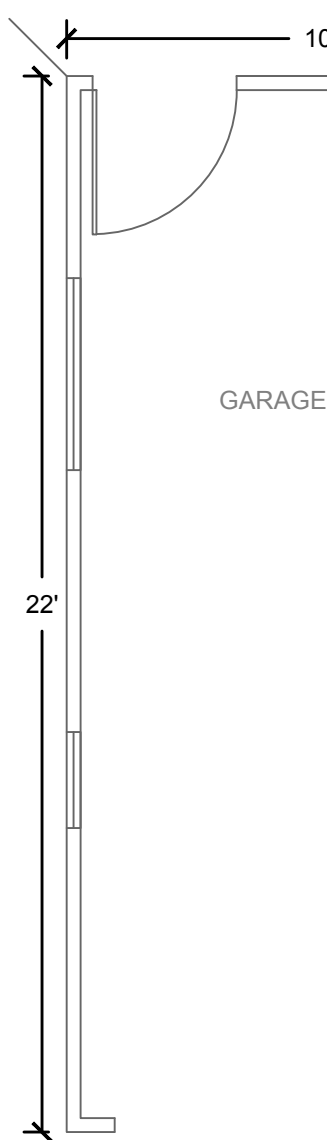


EXISTING ROOF PLAN

SCALE: 1/4"=1'-0"

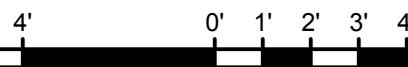


NORTH



EXISTING FLOOR PLAN

SCALE: 1/4"=1'-0"



NORTH

#	REVISIONS	DATE
1	.	9/30/22
	.	.

ZUNIGA RESIDENCE
 323 GREEN VALLEY RD
 WATSONVILLE, CA. 95076
 (831) 539-7929

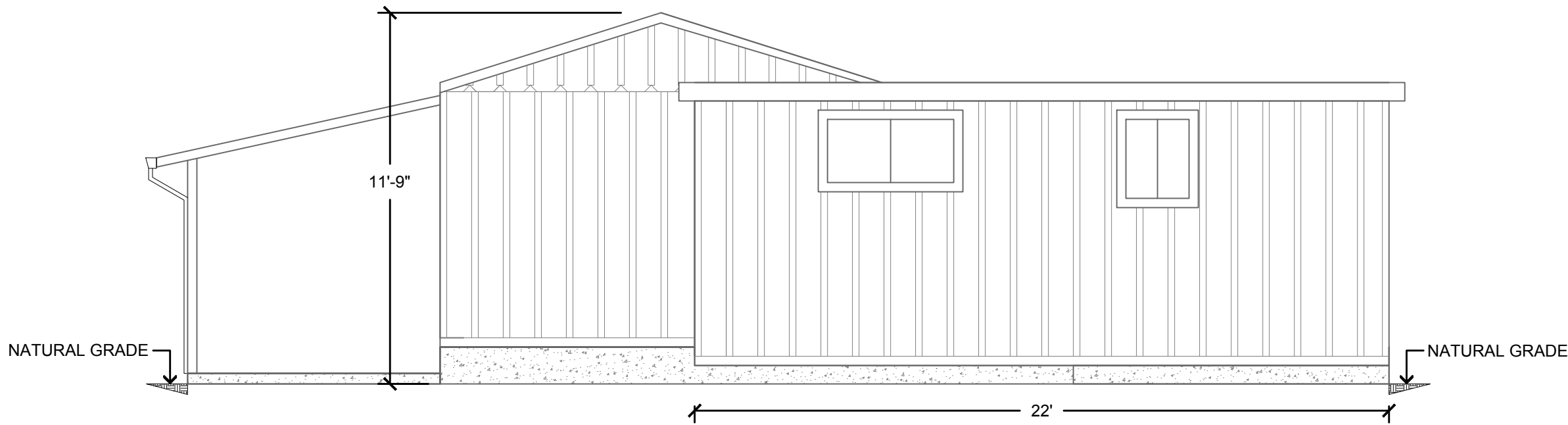
AG BUFFER

ZUNIGA DESIGN
 23 JARED WAY
 FREEDOM, CA. 95076
 TEL. 831-566-5674

EXISTING FLOOR AND ROOF PLANS

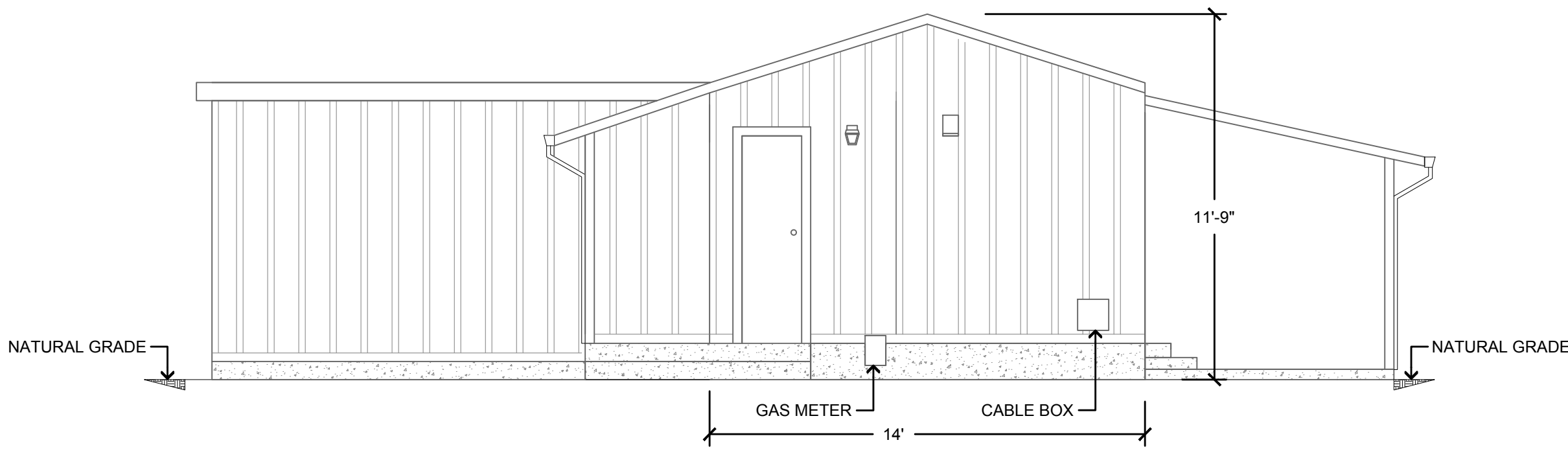
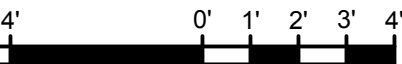
Drawn by: CADD
 Date: 01.21.24
 Scale: AS NOTED

A2
 OF . SHEETS



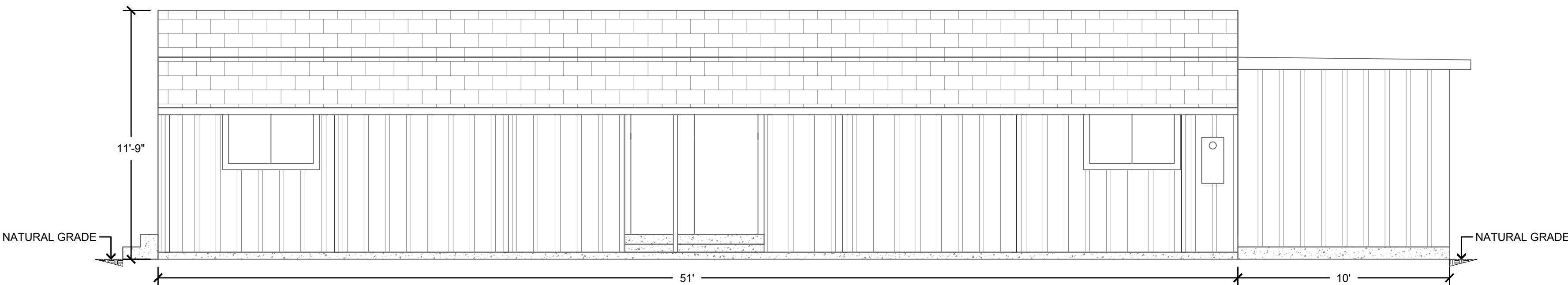
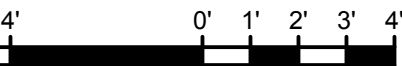
EXISTING WEST ELEVATION

SCALE: 1/4"=1'-0"



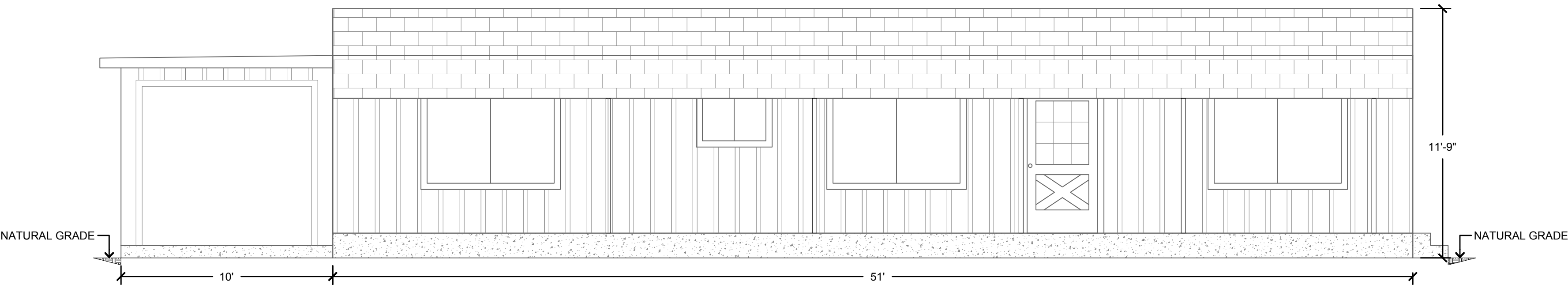
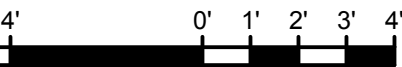
EXISTING EAST ELEVATION

SCALE: 1/4"=1'-0"



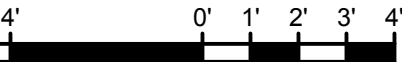
EXISTING SOUTH ELEVATION

SCALE: 1/4"=1'-0"



EXISTING NORTH ELEVATION

SCALE: 1/4"=1'-0"



#	REVISIONS	DATE
1		9/30/22

Project Title:

ZUNIGA RESIDENCE
323 GREEN VALLEY RD
WATSONVILLE, CA. 95076
(831) 539-7929

Notes:

1.

AG BUFFER

Sheet Title:

ZUNIGA DESIGN
23 JARED WAY
FREEDOM, CA. 95076
TEL. 831-566-5674


Sheet Title:

EXISTING ELEVATIONS

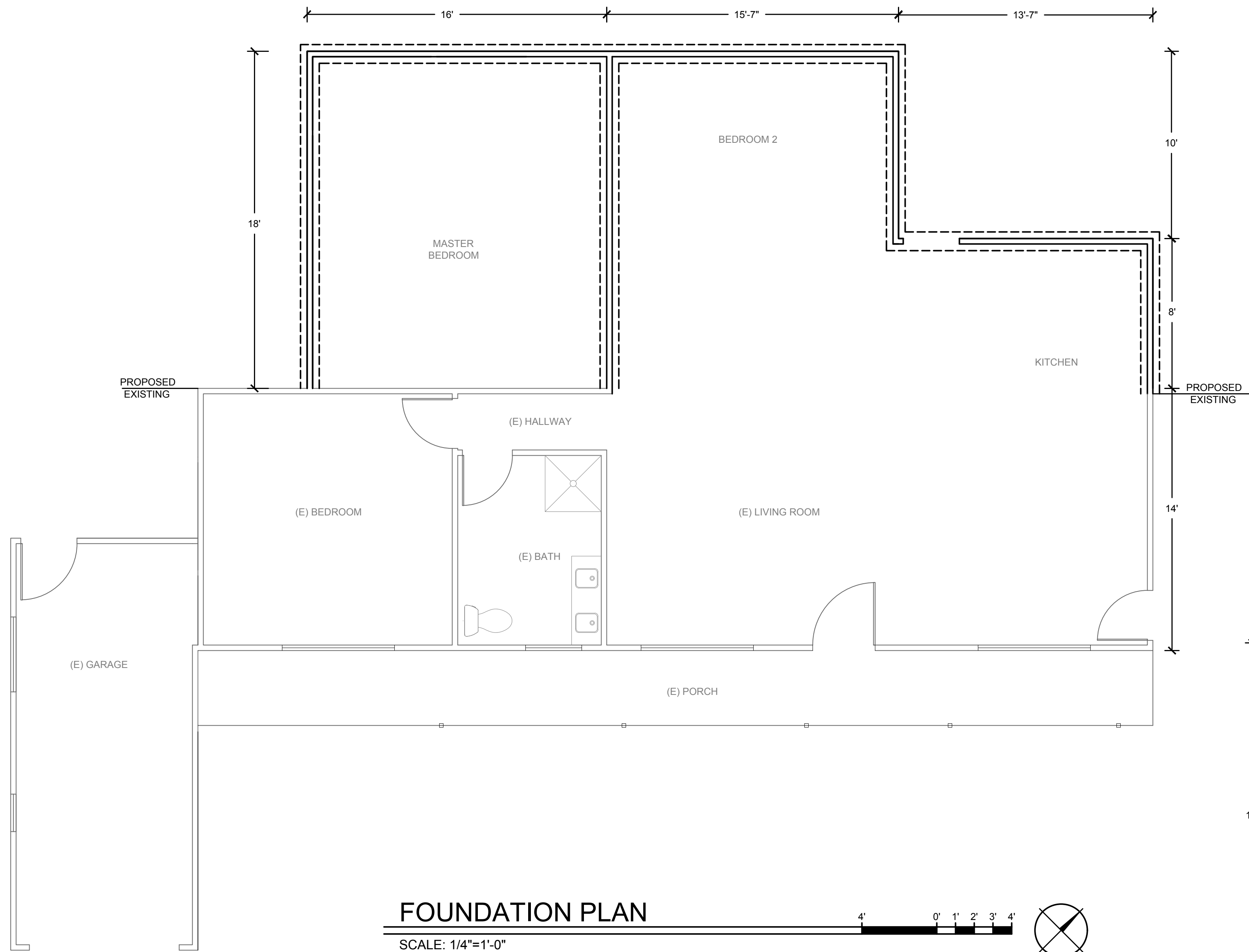
Drawn by: CADD

Date: 01.21.24

Scale: AS NOTED

A3

OF . SHEETS

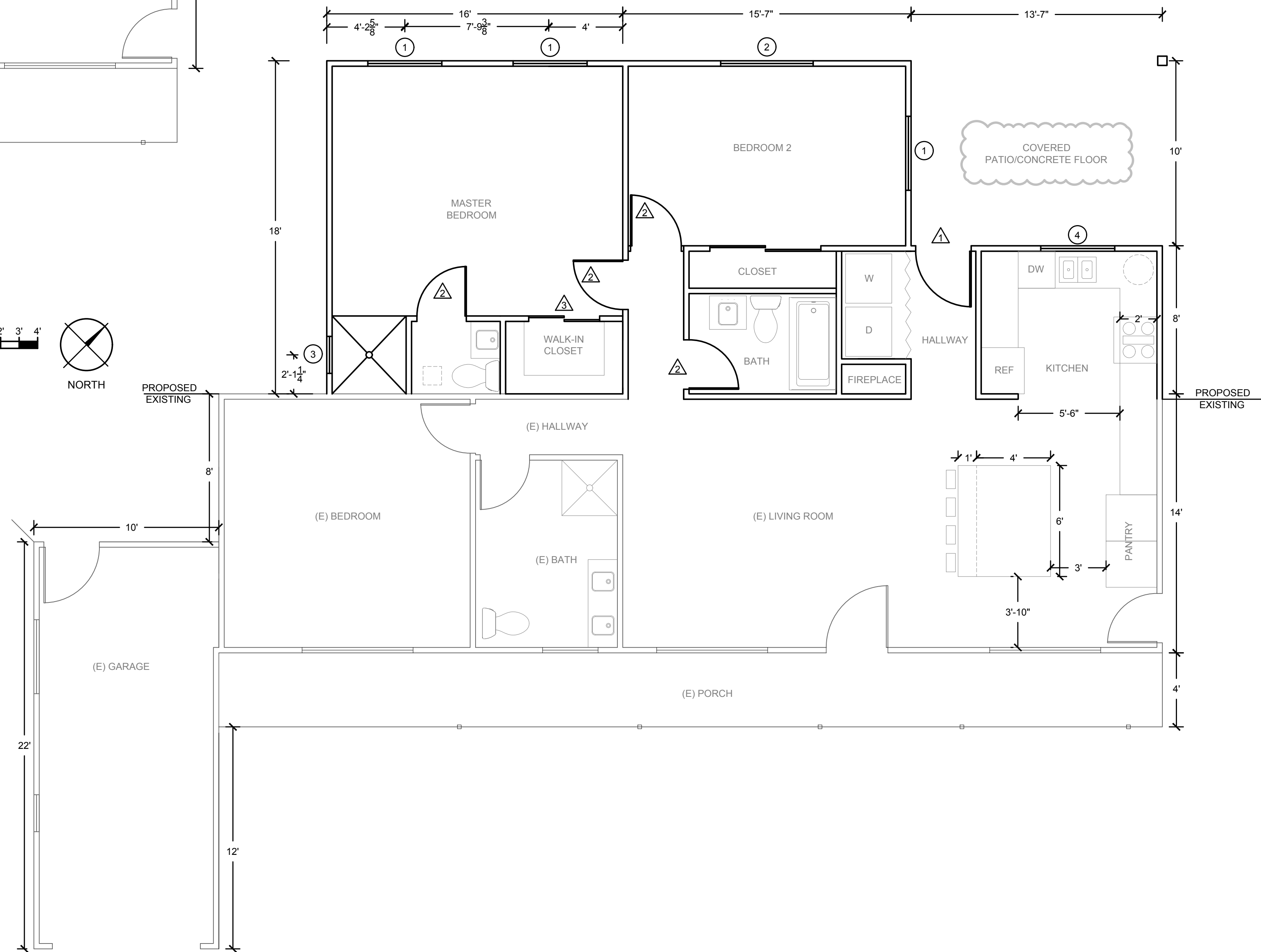


FOUNDATION PLAN

SCALE: 1/4"=1'-0"

DOOR SCHEDULE		
	DIMENSIONS	TYPE
1	3'-0" x 6'-6"	EXTERIOR DOOR
2	2'-8" x 6'-8"	INTERIOR DOOR
3	4'-0" x 6'-8"	CLOSET DOORS

WINDOW SCHEDULE			
	DIMENSIONS	TYPE	SILL HEIGHT
1	4'-0" x 4'-0"	SLIDER	34-1/4"
2	5'-0" x 4'-0"	SLIDER	34-1/4"
3	2'-0" x 1'-0"	TEMPERED	70-1/4"
4	4'-0" x 3'-0"	SLIDER	46-1/4"



NEW FLOOR PLAN

SCALE: 1/4"=1'-0"

#	REVISIONS	DATE
1	.	9/30/22
	.	.
	.	.

ZUNIGA RESIDENCE
323 GREEN VALLEY RD
WATSONVILLE, CA. 95076
(831) 539-7929

Project Title:

AG BUFFER

Notes:

ZUNIGA DESIGN
23 JARED WAY
FREEDOM, CA. 95076
TEL. 831-566-5674

Sheet Title:

FOUNDATION AND NEW
FLOOR PLAN

Drawn by: CADD

Date: 01.21.24

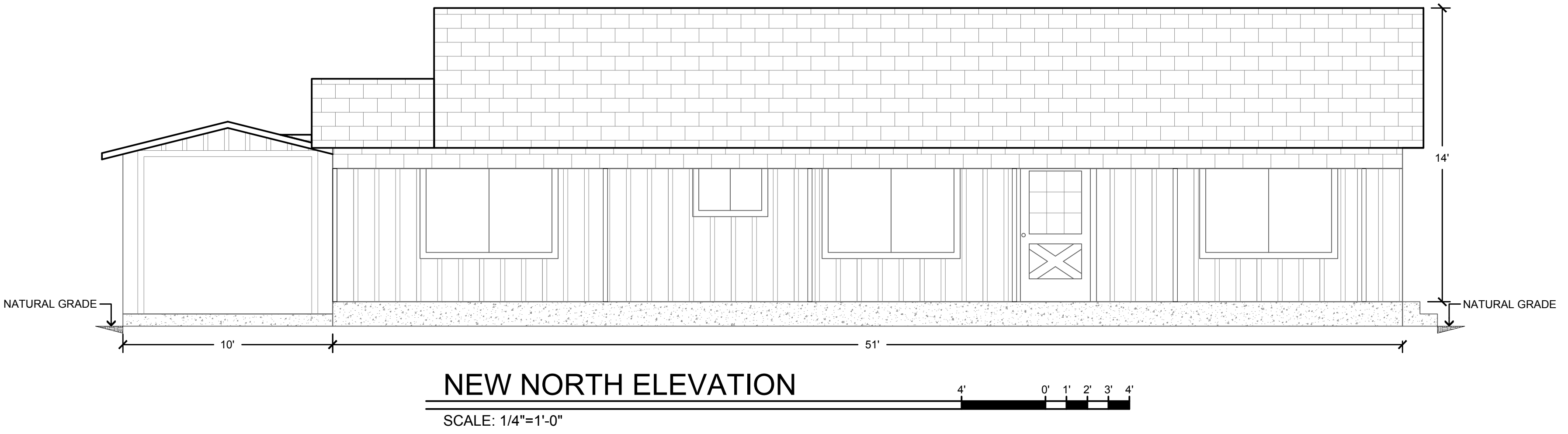
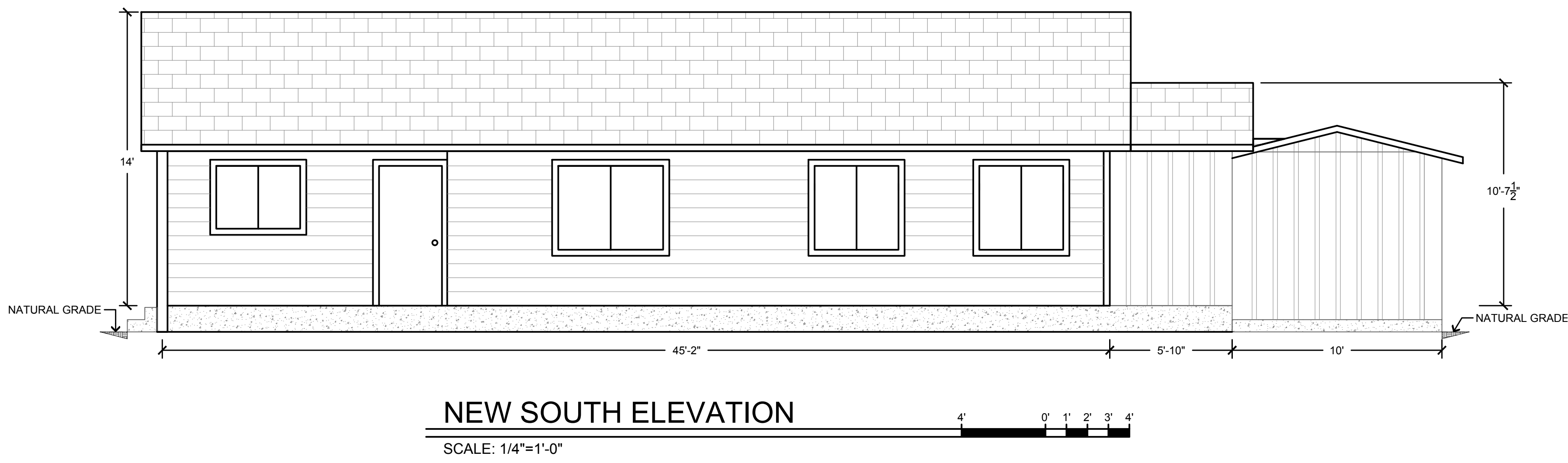
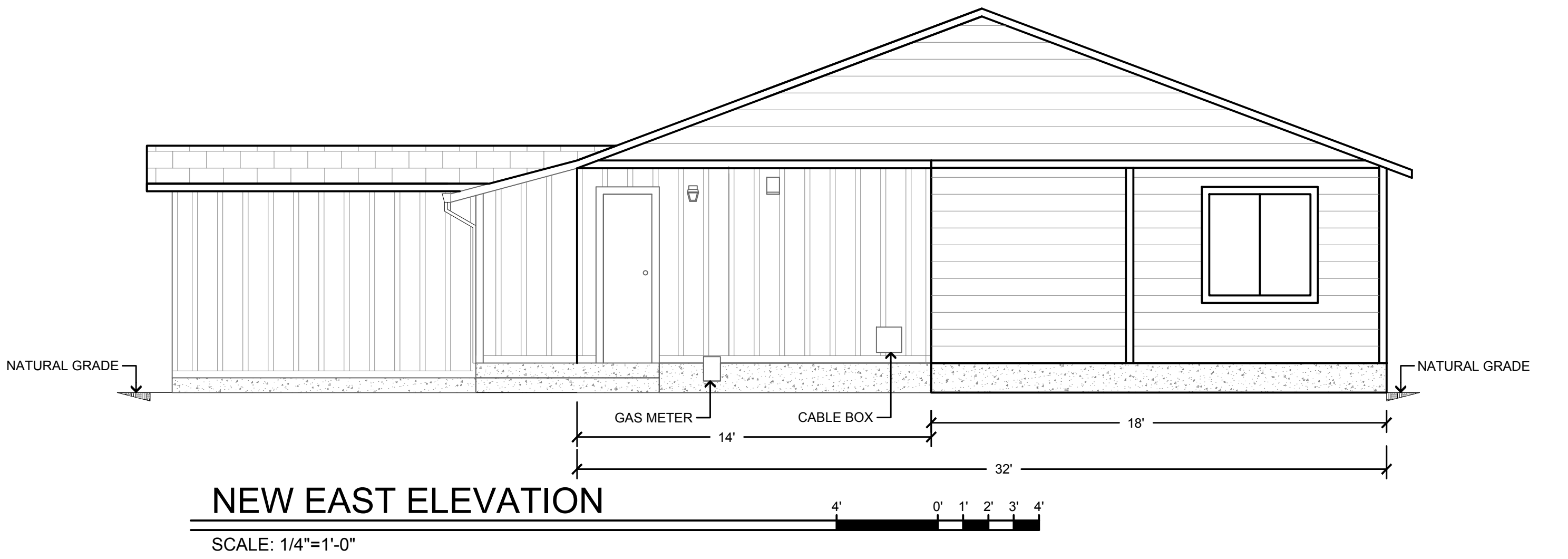
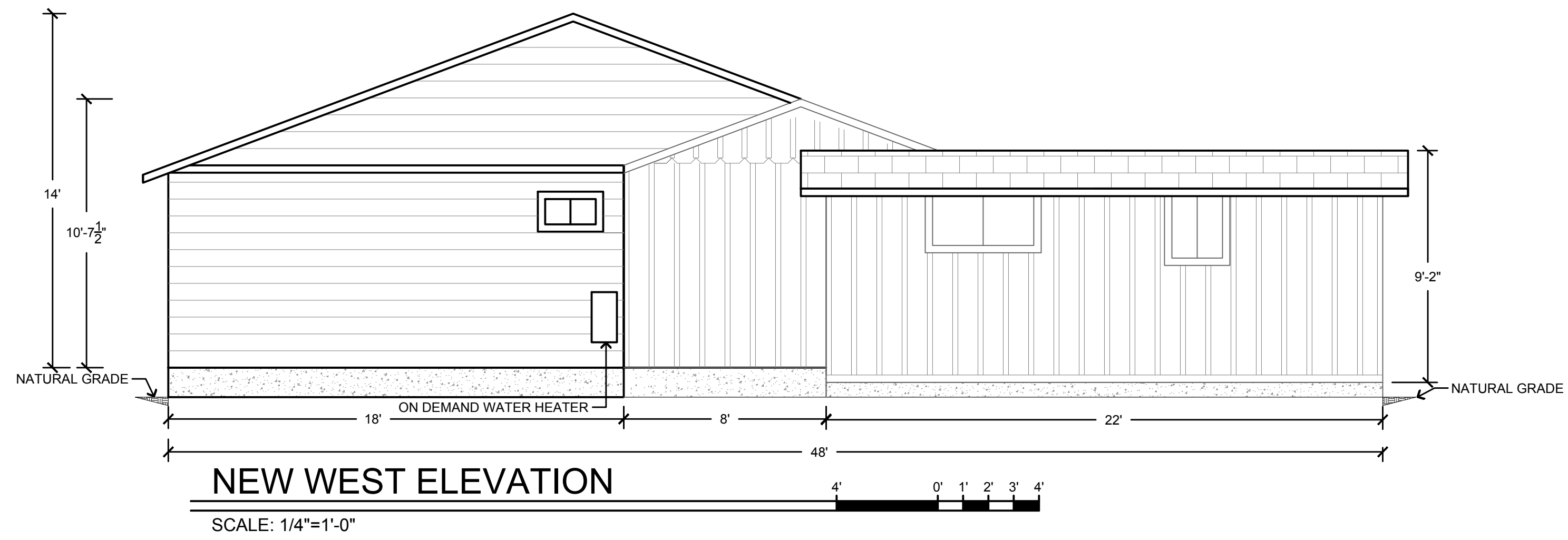
Scale: AS NOTED

A4

OF . SHEETS

NOTE

DOWNSPOUTS THROUGHOUT HOUSE WITH
SPLASH BLOCKS



#	REVISIONS	DATE
1		9/30/22

Project Title:

ZUNIGA RESIDENCE
323 GREEN VALLEY RD
WATSONVILLE, CA. 95076
(831) 539-7929

Notes:

1.

AG BUFFER

Sheet Title:

ZUNIGA DESIGN
23 JARED WAY
FREEDOM, CA. 95076
TEL. 831-566-5674

Signature: RZA

Sheet Title:

NEW ELEVATIONS

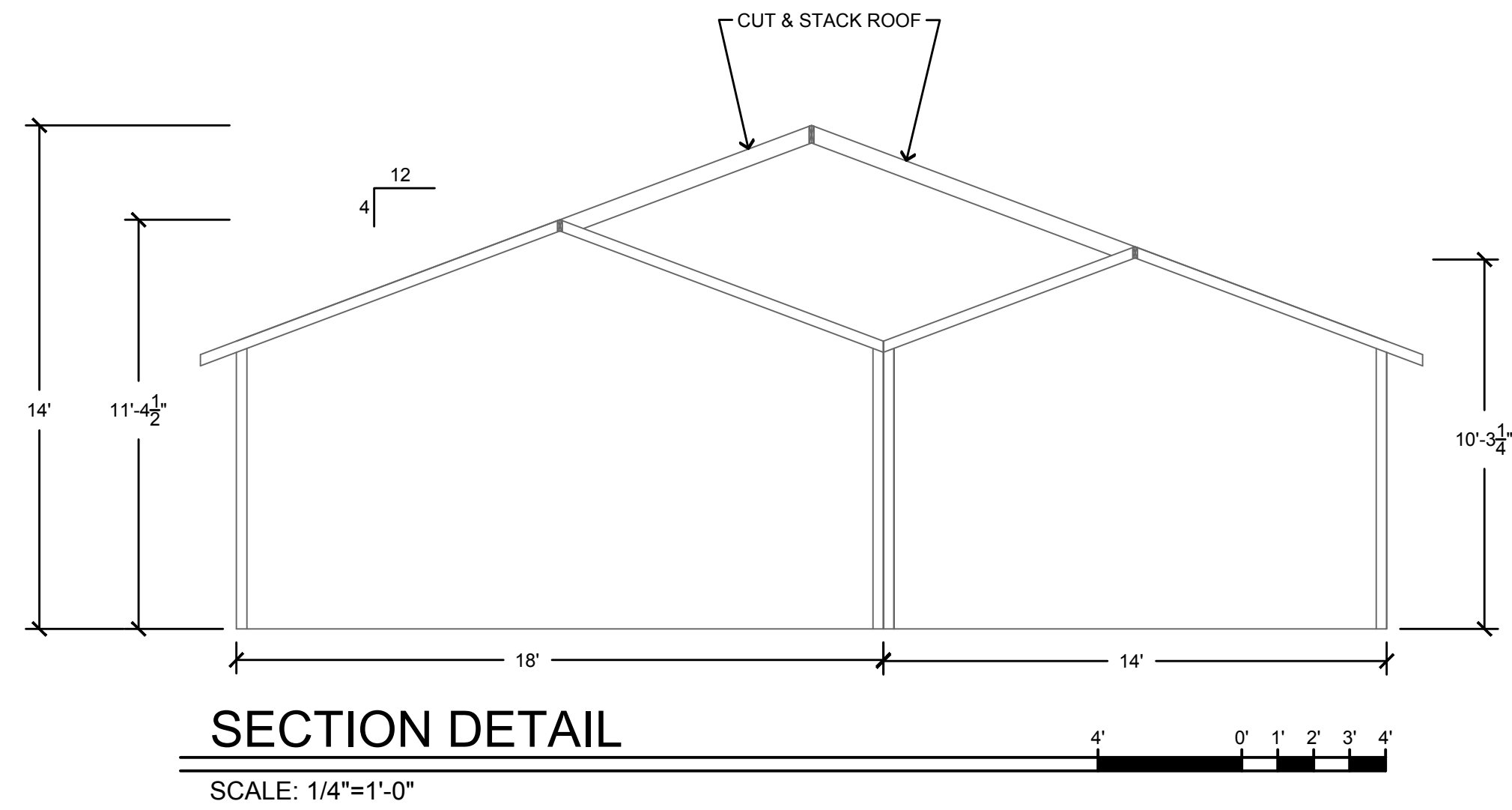
Drawn by: CADD

Date: 01.21.24

Scale: AS NOTED

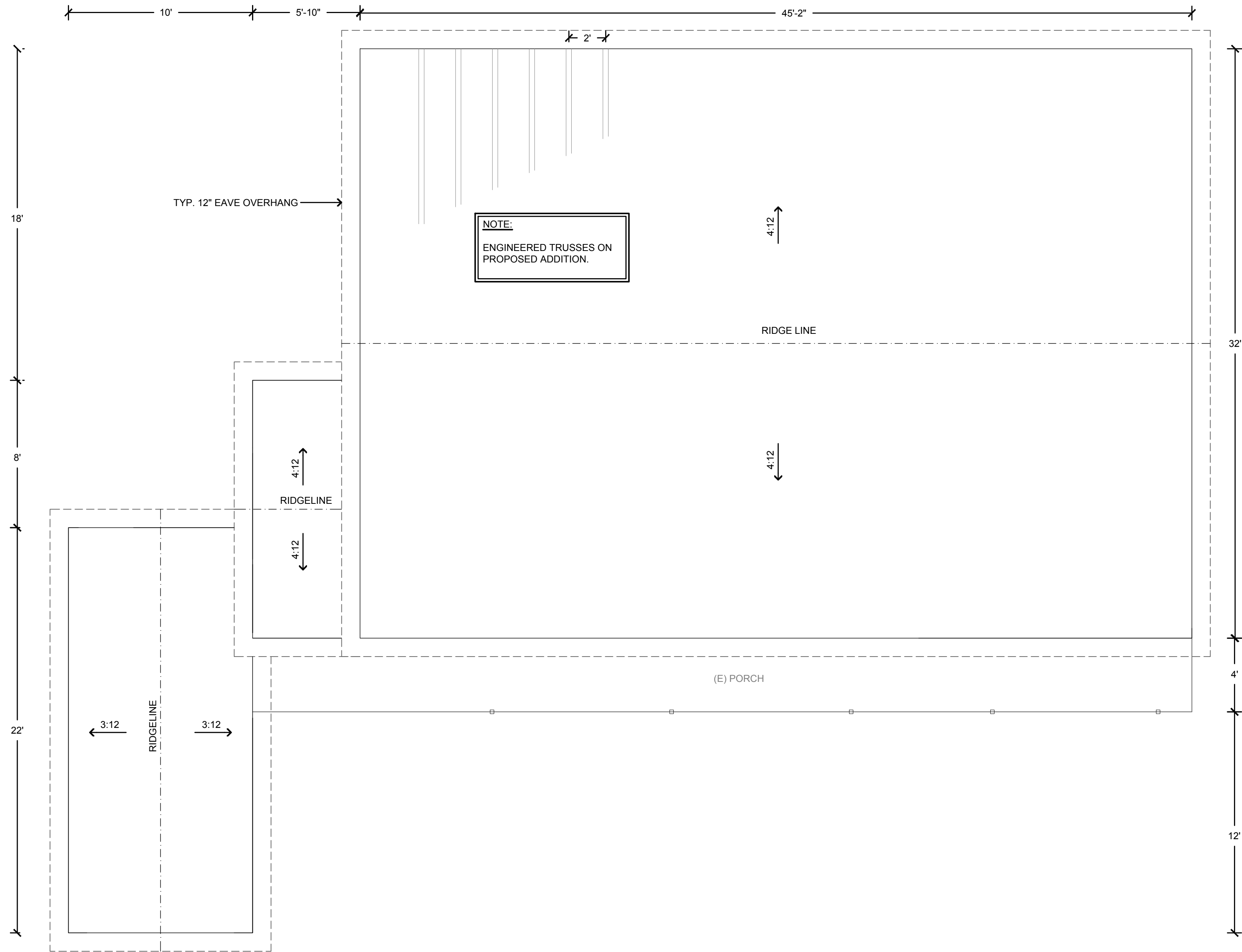
A5

OF . SHEETS



SECTION DETAIL

SCALE: 1/4"=1'-0"



ROOF PLAN

SCALE: 1/4"=1'-0"



#	REVISIONS	DATE
1	.	9/30/22
	.	.
	.	.

Project Title:

ZUNIGA RESIDENCE
323 GREEN VALLEY RD
WATSONVILLE, CA. 95076
(831) 539-7929

Notes:

1.

AG BUFFER

Sheet Title:

ZUNIGA DESIGN
23 JARED WAY
FREEDOM, CA. 95076
TEL. 831-566-5674

RZ

Sheet Title:

ROOF PLAN AND
SECTION DETAIL

Drawn by: CADD

Date: 01.21.24

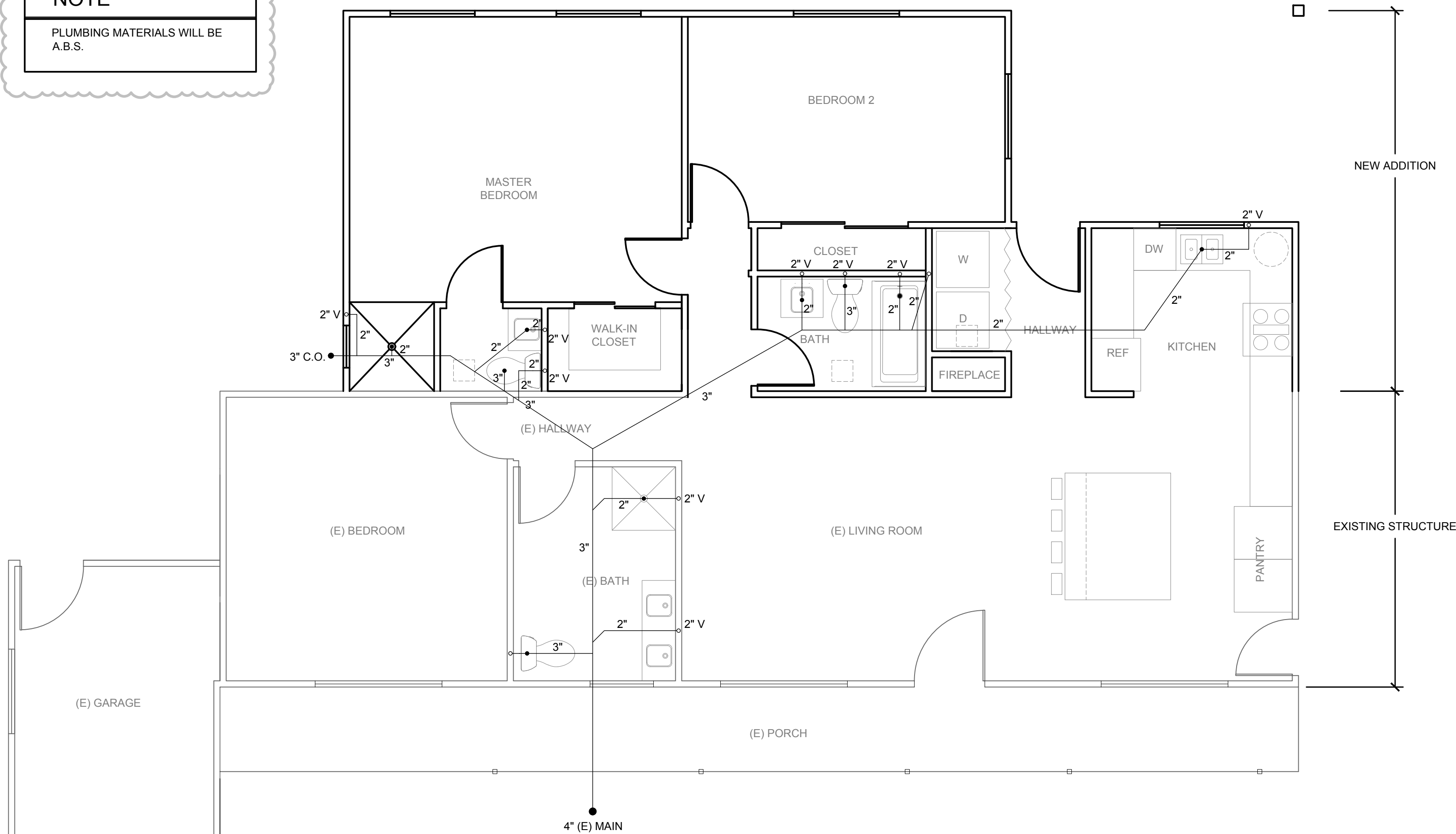
Scale: AS NOTED

A6

OF . SHEETS

NOTE

PLUMBING MATERIALS WILL BE A.B.S.



PLUMBING PLAN

SCALE: 1/4"=1'-0"



ELECTRICAL SYMBOLS & ABBREVIATIONS

	RECEPTACLE - DUPLEX *	WP	WEATHERPROOF
	GFCI CONVENIENCE RECEPTACLE - DUPLEX*	V	PLUMBING VENTS
	GFCI CONVENIENCE DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER - FIELD VERIFY HEIGHT		
	THREE WAY SWITCH**		
	DOUBLE SWITCHED WALL OCCUPANCY SENSOR **		
	LUMINAIRE - RECESSED		
	LUMINAIRE - SUSPENDED		
	CARBON MONOXIDE ALARM		
	SMOKE DETECTOR		

* +15" A.F.F. TO BOTTOM OF BOX, U.O.N.
** +48" A.F.F. TO TOP OF BOX, U.O.N.

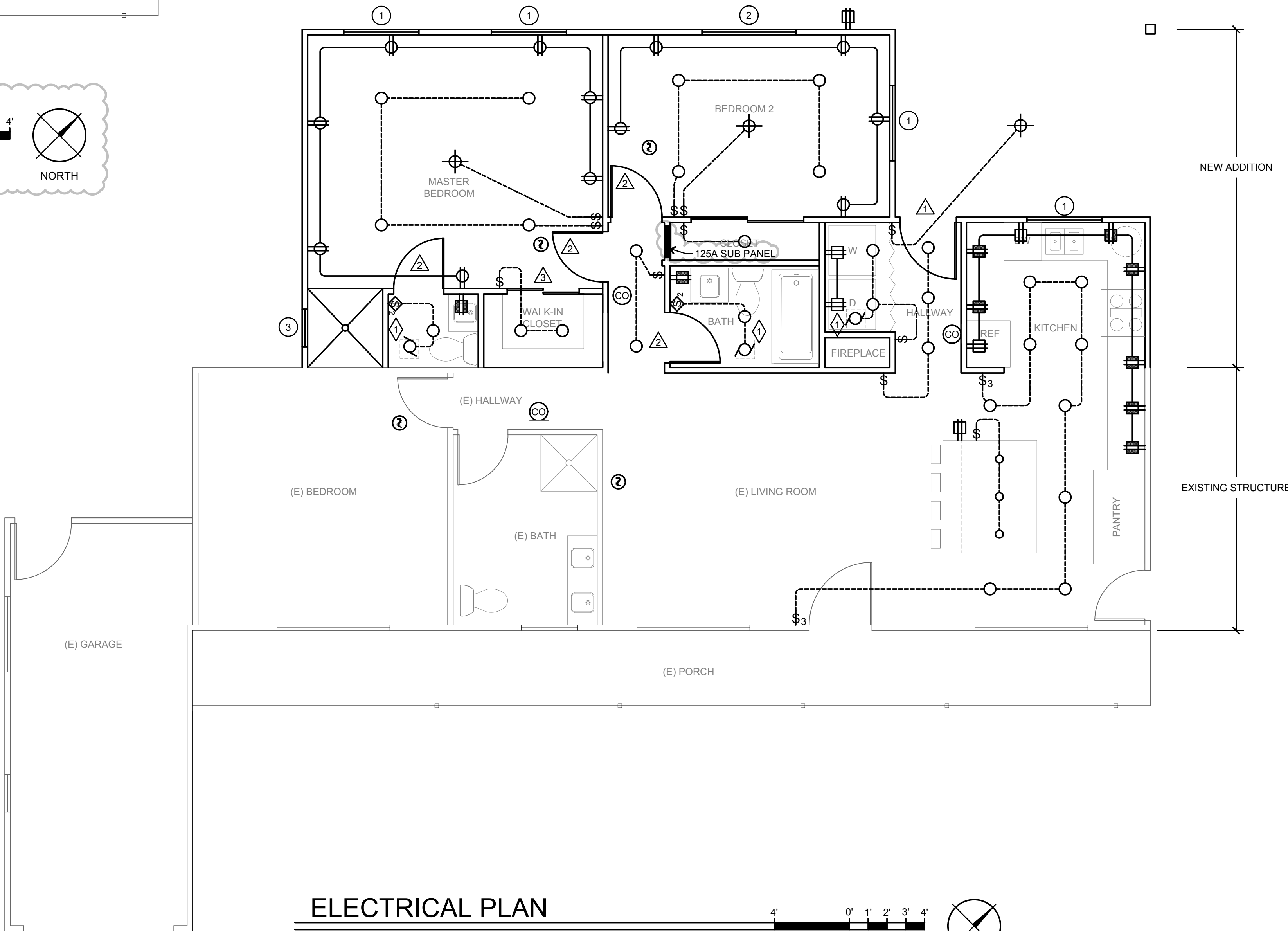
MECHANICAL EXHAUST FAN

70 CFM

* CUBIC FEET PER MINUTE (CFM)

RESIDENTIAL WIRING NOTES

- A. LIGHTS, RECEPTACLES & EQUIPMENT SHALL BE ON SEPARATE CIRCUITS. ROMEX PERMITTED ONLY WHERE ALLOWED BY CODE. MINIMUM WIRE SIZE SHALL BE #12 AWG COPPER.
- B. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE ELECTRICAL SPECIFICATIONS.
- C. LIGHTING CIRCUITS SHALL BE LIMITED TO A MAXIMUM OF 1500 WATTS PER CIRCUIT.
- D. AT A SWITCH CONTROLLING LIGHTING LOADS A NEUTRAL CONDUCTOR SHALL BE PROVIDED AT THE SWITCH LOCATION. THE NEUTRAL CONDUCTOR SHALL BE PERMITTED TO BE OMITTED IF THERE IS A CONDUIT PATHWAY TO THE SWITCH BOX OR IF CABLE ASSEMBLIES CAN ENTER THE BOX THROUGH A FRAMING CAVITY THAT IS OPEN AT THE TOP OR BOTTOM ON THE SAME FLOOR LEVEL OR THROUGH A WALL, FLOOR OR CEILING THAT IS UNFINISHED ON ONE SIDE.
- E. RECEPTACLES SHALL BE LIMITED TO A MAXIMUM OF 6 DUPLEX CONVENIENCE OUTLETS PER 20 AMP CIRCUIT.
- F. DUPLEX CONVENIENCE OUTLETS LOCATED IN KITCHEN SHALL BE DIVIDED INTO A MINIMUM OF 6 SEPARATE CIRCUITS. NO OTHER OUTLETS SHALL BE CONNECTED TO THESE CIRCUITS.
- G. THE FOLLOWING ITEMS SHALL BE ON SEPARATE INDIVIDUAL CIRCUITS AND NO OTHER OUTLETS, EQUIPMENT, ETC., SHALL BE CONNECTED TO THESE CIRCUITS U.O.N.:
1. OVENS
 2. DISHWASHER
 3. LAUNDRY ROOM RECEPTACLES
 4. WASHER
 5. DRYER
 6. GARBAGE DISPOSER
 7. REFRIGERATOR
- H. BATHROOM CONVENIENCE OUTLETS SHALL BE GFI TYPE AND ON SEPARATE 20 AMP CIRCUITS.
- I. GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL SHALL BE PROVIDED AS REQUIRED IN CEC 210.8 (A) THROUGH (E). THE GROUND FAULT CIRCUIT INTERRUPTER SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION.
- J. MINIMUM BRANCH BREAKER SIZE SHALL BE 20 AMPS PER POLE. ALL BREAKERS SHALL BE FULL SIZE.
- K. ANY MULTI WIRE BRANCH CIRCUIT SHARING A COMMON NEUTRAL SHALL HAVE A COMMON TRIP CIRCUIT BREAKER.
- L. ALL 120V SINGLE PHASE, 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, BEDROOMS, SUN ROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTED, (AFCI) COMBINATION DEVICE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT PER CEC 210-12, (A) THROUGH (D).
- M. ALL 15 AND 20 AMP, 125 AND 250 VOLT NON-LOCKING TYPE RECEPTACLES IN THE AREAS SPECIFIED IN CEC 406.12 (1) THROUGH (7) SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- N. ALL 120V RESIDENTIAL SMOKE DETECTORS SHALL BE POWERED FROM THE HOUSE ELECTRICAL WIRING AND SHALL HAVE BATTERY BACK-UP PER CBC 907.2.10.6.
- O. INTERCONNECT ALL 120V RESIDENTIAL SMOKE DETECTORS FOR COMMON ANNUNCIATION PER CBC 907.2.10.5.
- P. FOR NEW CONSTRUCTION AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED; AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES CBC 915.1.
- Q. ALL INSTALLED CARBON MONOXIDE ALARMS SHALL BE POWERED FROM THE HOUSE ELECTRICAL WIRING (120V) AND SHALL HAVE BATTERY BACK-UP POWER CBC 915.4.1.
- R. INTERCONNECT ALL 120V CARBON MONOXIDE DETECTORS FOR COMMON ANNUNCIATION PER CBC 915.4.5.
- S. TELEPHONE & CABLE TV OUTLETS SHALL BE PRE-WIRED BEFORE WALLS ARE CLOSED-IN TELEPHONE & CABLE OUTLETS SHALL BE INDIVIDUAL HOME RUNS. NO DAISY CHAIN WIRING. TELEPHONE WIRE SHALL BE CAT 6, TELEVISION CABLE SHALL BE RG-6 WITH 100% SHIELD.
- T. TYPICAL OF ALL TELEVISION LOCATIONS, WIRE WITH (2) RG-6 & (2) CAT 6. TERMINATION IN 2-GANG BOX WITH SINGLE GANG RING. LABEL ALL CABLES AT BOTH ENDS FOR IDENTIFICATION. USE (1) 1" CONNECTORS FOR CATV AND (1) VOICE TELEPHONE JACK IN FINISH TRIM PLATE.
- U. RECEPTACLES INSTALLED IN A DAMP OR WET LOCATION SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WITH THE ATTACHMENT PLUG CAP INSERTED OR NOT PER CEC 406.9.
- V. ALL RECEPTACLES INSTALLED IN A DAMP OR WET LOCATION SHALL BE LISTED WEATHER RESISTANT TYPE (WR) TYPE. PER CEC 406.9.
- W. NEW 125A SUB PANEL WILL BE INSTALLED IN ADDITION WITH REQUIRED BREAKERS AS PER 2019 N.E.C. CODE.



ELECTRICAL PLAN

SCALE: 1/4"=1'-0"



ZUNIGA RESIDENCE
323 GREEN VALLEY RD
WAYSONVILLE, CA. 95076
(831) 539-7929

AG BUFFER

Project Title:

Notes:

ZUNIGA DESIGN
23 JARED WAY
FREEDOM, CA. 95076
TEL. 831-566-5674

Sheet Title:

ELECTRICAL AND
PLUMBING PLAN

Sheet Title:

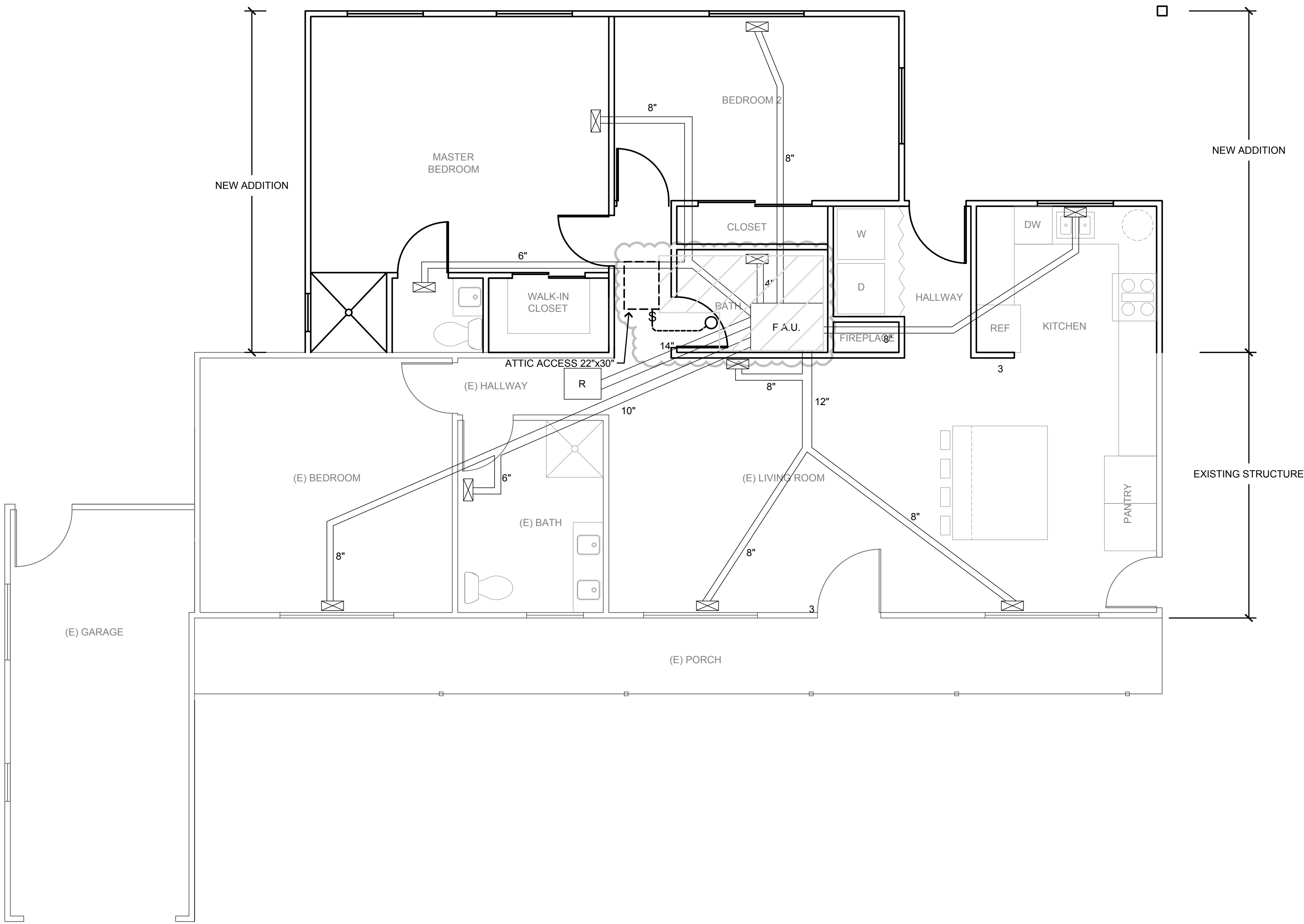
Drawn by: CADD

Date: 01.21.24

Scale: AS NOTED

A7

OF . SHEETS



FAU UNIT & DUCTING SCHEMATIC
SCALE: 1/4"=1'-0"

ABBREVIATIONS	
F.A.U.	FORCED AIR UNIT
R	RETURN

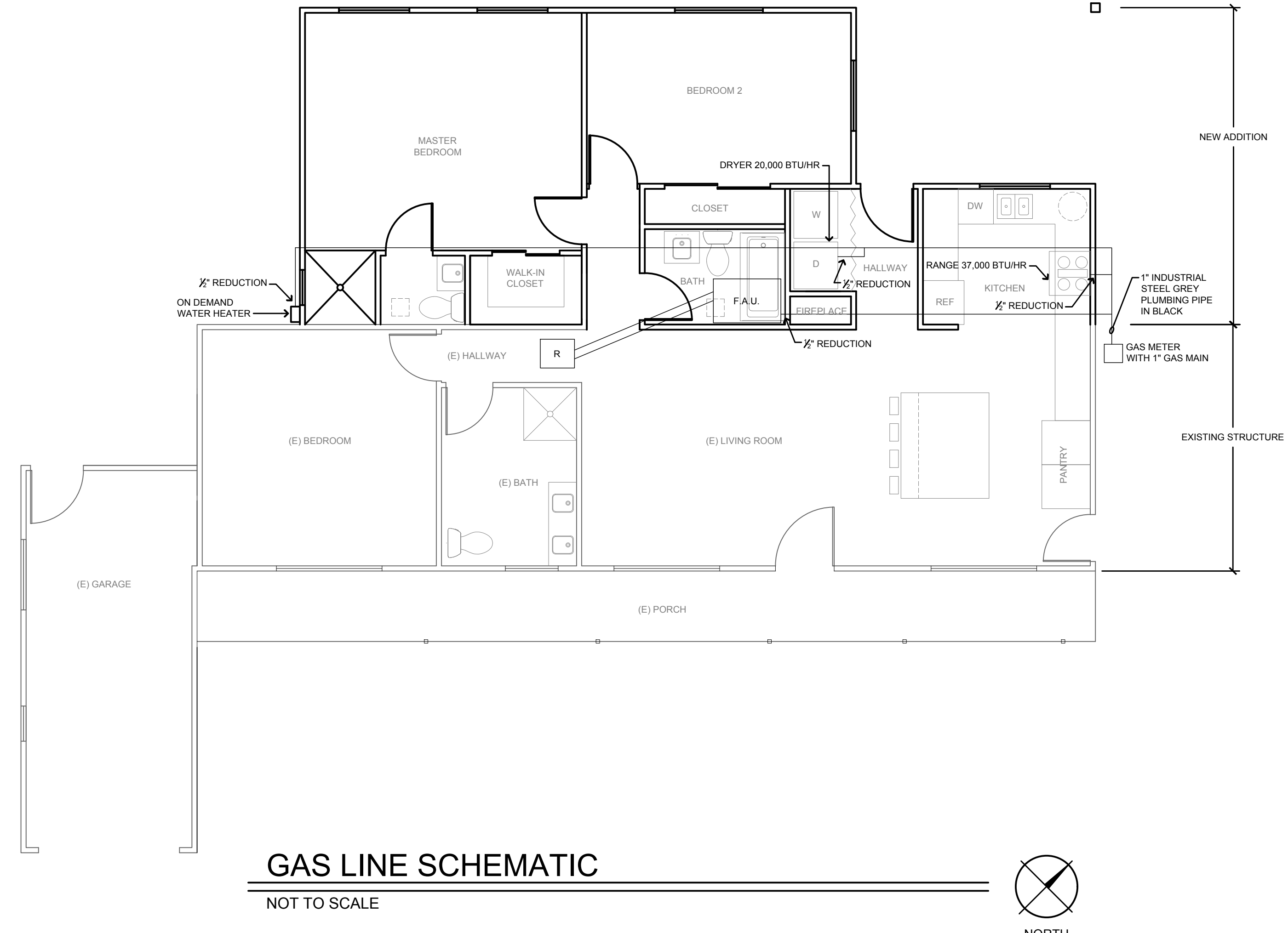
95%-96% GAS FURNACES

ASSEMBLED IN TRENTON, NEW JERSEY

- 34" cabinet height on all models
- Up to 96% AFUE
- 2 - 5 ton models available in each family
- Stainless steel primary and secondary heat exchangers
- Compliant with California 40ng/J Low-NOx requirements



Model Number	Input BTU/h	Nominal Airflow (Tons)	Dimensions (Inches) H x W x D	Motor Type	Application	AFUE
A951X Constant Torque 95-96% AFUE						
A951X040B3SAB	40,000	2-3	34 x 17.5 x 28.75	Constant Torque (ECM)	Upflow	96%
A951X060B4SAB	60,000	3-4	34 x 17.5 x 28.75			96%
A951X080B4SAB	80,000	3-4	34 x 17.5 x 28.75			96%
A951X080C4SAB	80,000	4-5	34 x 21 x 28.75			96%
A951X100C4SAB	100,000	4-5	34 x 21 x 28.75			95%
A951X120D5SAB	120,000	5	34 x 24.5 x 28.75			95%
A951X Variable Speed 96% AFUE						
A951X040B3SAB	40,000	2-3	34 x 17.5 x 28.75	Constant Torque (ECM)	Downflow	96%
A951X060B3SAB	60,000	3	34 x 17.5 x 28.75			95%
A951X080B4SAB	80,000	4	34 x 17.5 x 28.75			95%
A951X100C4SAB	100,000	5	34 x 21 x 28.75			95%
A951X120D5SAB	120,000	5	34 x 24.5 x 28.75			95%
A952V Variable Speed 96% AFUE						
A952V040B3SAB	40,000	3	34 x 17.5 x 28.75	Var Speed ECM	Upflow	96%
A952V060B3SAB	60,000	3	34 x 17.5 x 28.75			96%
A952V080B4SAB	80,000	4	34 x 17.5 x 28.75			96%
A952V080B4SAB	80,000	4	34 x 17.5 x 28.75			96%
A952V080C4SAB	80,000	5	34 x 21 x 28.75			96%
A952V100C4SAB	100,000	4	34 x 21 x 28.75			96%
A952V100C4SAB	100,000	5	34 x 21 x 28.75			96%
A952V100C4SAB	100,000	5	34 x 21 x 28.75			96%

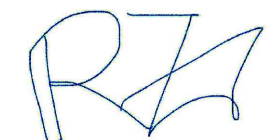


GAS LINE SCHEMATIC
NOT TO SCALE

#	REVISIONS	DATE
1		9/30/22

Project Title:
ZUNIGA RESIDENCE
323 GREEN VALLEY RD
WATSONVILLE, CA. 95076
(831) 539-1929

Notes:
AG BUFFER

Sheet Title:
ZUNIGA DESIGN
23 JARED WAY
FREEDOM, CA. 95076
TEL. 831-566-5674


Sheet Title:
FAU UNIT & DUCTING SCHEMATIC PLAN

Drawn by:	CADD
Date:	01.21.24
Scale:	AS NOTED

A8

OF . SHEETS

