



County of Santa Cruz
Planning Department
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060

NOTICE OF PENDING ACTION

An application for the project described on this notice has been filed and a decision about the project will soon be made by Planning Department staff. Any member of the public may submit comments on the proposal prior to the deadline listed on the reverse side of this notice. The project plans may be viewed on the Planning Department website (<http://www.sccoplanning.com/PlanningHome/ZoningDevelopment/ViewLeve4Plans.aspx>). The webpage may also be used to track the project decision date, which initiates an appeal period.

Any aggrieved person or the applicant may appeal the ultimate decision on this project by submitting a written request within 14 calendar days of the decision date and paying an appeal fee. Please be aware that, while an **anticipated** decision date has been identified for purposes of this notice, the **actual** decision date initiating the appeal period will be posted on the web address described above. Information regarding the appeal process or fees may be obtained by phoning (831) 454-2130 Monday through Friday.

«APN»
«OWNER»
«STREET»
«CITY», «ZIP»

COUNTY OF SANTA CRUZ PLANNING DEPARTMENT

NOTICE OF PENDING ACTION

APPL. #: 231488

APN: 027-064-17

Proposal to renew Vacation Rental Permit 181533, for a 2-bedroom vacation rental, located at 490 5th Ave, Santa Cruz, CA 95062. Requires a Vacation Rental Permit.

OWNER: Ryan Shaw

APPLICANT: Ryan Shaw

SUPERVISORIAL DISTRICT: 1

PLANNER: Fernanda Dias Pini, (831) 454-3119

EMAIL: Fernanda.DiasPini@santacruzcountyca.gov

Comments must be received by 1/23/2024. Be advised that County Code, at section 13.10.694(D)(3), states that it is the intention of the County that the renewal application be approved. If there are documented violations of the Vacation Rental Ordinance (County Code section 13.10.694(K)), the renewal application may be amended or denied.

A decision on the renewal application will be made on or after 1/24/2024. Appeals must be submitted in writing, include the required fee and be received at the Planning Department by 5:00 p.m. 2 weeks from the decision date. Information about the appeal process may be obtained by phone at (831) 454-2130 or by contacting the project planner.

Issues that arise from the use of the property as a vacation rental should be reported to the emergency contact posted at the property and on the Planning Department website at www.sccoplanning.com under "Vacation Rentals".

Vacation Rental emergency contact info. for this application is:

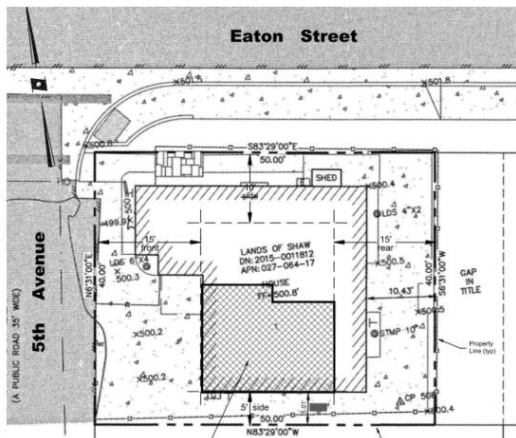
Name: Pattie Gilbert

Telephone #: 415-971-3132

Address: 101 Cooper St, Santa Cruz, CA 95060

Discussion with the emergency contact can resolve most issues.

Vacation rental applications are processed pursuant to Santa Cruz County Code section 13.10.694, also available at the Planning Department website.



LEGEND

E = Electric Meter & Panel
G = Gas Meter
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JP = Joint Utility Pole
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S = Sewer Manhole
CE = Overhead Electric

CalGreen Plumbing Fixture Compliance

All existing plumbing fixtures in the existing house that do not meet minimum flow rates will need to be upgraded. All fixtures shall meet flow rates per CalGreen Section 4.303.1 through 4.303.4.

- Water closet maximum flow rate: 1.28 gpf
- Showerhead maximum flow rate: 1.8 gpm
- Laundry faucet maximum flow rate: 1.2 gpm
- Kitchen faucet maximum flow rate: 1.8 gpm

SITE PLAN

Notes:
Survey map completed by
Hagen Land Services
2851 41st Avenue, Suite A
Santa Cruz, CA 95073
Job # 4020
October 2019

Building Manual

An operation and maintenance manual will be provided to the building owner at the completion of the project.

HERS Verification

Hers field verification will be required for the completion of this permit and plan.

Deferred Submittal:

Permit to install improvements plans for preconstruction special items using County application form "Building Permit" Deferred Submittal PL-2007 will be submitted, reviewed, and approved.

COUNTY OF SANTA CRUZ PLANNING DEPARTMENT
RECEIVED ON 08/15/2021
PROJECT: 027-064-17
APN: 027-064-17
SUBMITTER: RYAN SHAW
CONTACT: 831-455-1234



Existing House Photograph
(front view from west)



Proposed House Rendering
(front view from west)

Lot Coverage & Floor Area Ratio

EXISTING BUILDING AREA
Parcel Size: 2,000 sq. ft.
House Footprint: 838 sq. ft.
Total Floor Area: 838 sq. ft.
Building Area Ratio (footprint): 42 %

EXISTING FLOOR AREA RATIO
Parcel Size: 2,000 sq. ft.
House Footprint: 838 sq. ft.
Total Floor Area: 838 sq. ft.
Floor Area Ratio (footprint): 42 %

PROPOSED BUILDING AREA (same)
Parcel Size: 2,000 sq. ft.
House Footprint: 838 sq. ft.
Total Floor Area: 838 sq. ft.
Building Area Ratio (footprint): 42 %

PROPOSED FLOOR AREA RATIO
Parcel Size: 2,000 sq. ft.
House Area: 838 sq. ft.
Total Floor Area: 1,150 sq. ft.
Floor Area Ratio: 58.5 %

Minor Exception Calculation (increase to allowable FAR)

Location	Existing	Proposed
1st Floor	838	838
2nd Floor (living spaces)	none	102
2nd Floor (mezzanine)	none	42
2nd Floor (open to below)	none	81
Deck	0	25

Parcel Size: 2,000 sq. ft.
Increased FAR: 58.5 % (Floor area ratio: 1,000 sq. ft.)
Minor Exception 07.05.7 A.R. = 1,150 sq. ft.

This increase is within allowable minor exception limits.
Proposed FAR can only be used if FAR = 1,150 sq. ft.

RESIDENTIAL ADDITION/REMODEL

Shaw Residence
490 5th Avenue
Santa Cruz, CA.

APN: 027-064-17

SCOPE OF WORK

Proposed residential addition consists of the following:
1. New 2nd story addition with deck.
2. New exterior wall and roofline.
3. New exterior wall and roofline.
4. New exterior wall and roofline.
5. New exterior wall and roofline.
6. New exterior wall and roofline.
7. New exterior wall and roofline.
8. New exterior wall and roofline.
9. New exterior wall and roofline.
10. New exterior wall and roofline.

CODE COMPLIANCE

All work and materials shall be performed and installed with the current editions of the following codes as adopted by the County of Santa Cruz:
1. 2019 California Building Code
2. 2019 California Residential Code
3. 2019 California Plumbing Code
4. 2019 California Electrical Code
5. 2019 California Mechanical Code
6. 2019 California Fire Building Standards Code
7. 2019 California Energy Code
8. 2019 California Building and Fire Code & Santa Cruz County Amendments

SHEET INDEX

No.	Revision/Name	Date
1	1st County Comments	11-2-21
2	2nd County Comments	8-10-21

LOCATION MAP



SITE NOTES

- Parcel Owner/Address:
Ryan Shaw
1720 Willowhurst Avenue
San Jose, CA 95125
650 884 0328
- Project Contractor:
Santa Cruz Green Builders
Low Price
Santa Cruz, CA 95063
831 462 0080
(License #006088)
- Site APN: 027-064-17
- Site Area: 2,000 sq. ft.
- Assessment Area: none.
- Occupancy Type: R-30
Construction Type: Type VB
- Zoning: R-1.5-S
- Setbacks:
Front - 15'
Side - 15'
Rear - 15'
- Exist. Bldg. Coverage:
838 sq. ft. = 42% total.
- Proposed Bldg. Coverage:
same as above.
- Building Height: 22' 0" from finish floor at lowest level.
- Property lines derived from:
Topographic Map by Hagen Land Services, Job #0088, dated October 2019.
- All other information shown based upon field measurements and inspection dated 8/10/21.
- Fire Sprinklers: None.



No.	Revision/Name	Date
1	1st County Comments	11-2-21
2	2nd County Comments	8-10-21

Residential Addition Building Permit Plans

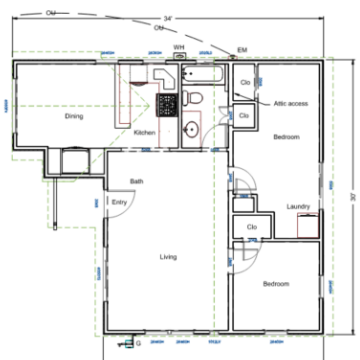
490 5th Avenue
Santa Cruz, CA
APN 027-064-17

ON THE LANDS OF:

Ryan Shaw
1720 Willowhurst Avenue
San Jose, CA 95125

Sheet: 01 of 7
Date: 8-10-21
Scale: 1/8" = 1'-0"

A
1 of 7



EXIST. FLOOR PLAN

Notes:
1/8" = 1'-0"
= All exterior dimensions from outside finished edge of wall.

LEGEND

E = Electric Meter & Panel
G = Gas Meter
W = Water Meter
T = Telephone line
JP = Joint Utility Pole
AC = Air Conditioner Unit
S = Sewer Manhole
CE = Overhead Electric

EXIST/PROPOSED BUILDING AREA
Parcel Size: 2,000 sq. ft.
House Footprint: 838 sq. ft.
Total Floor Area: 838 sq. ft.
Building Area Ratio (footprint): 42 %



EXIST. ELEVATIONS

1/4" = 1'-0"

COUNTY OF SANTA CRUZ PLANNING DEPARTMENT
RECEIVED ON 08/15/2021
PROJECT: 027-064-17
APN: 027-064-17
SUBMITTER: RYAN SHAW
CONTACT: 831-455-1234

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Residential Addition Building Permit Plans

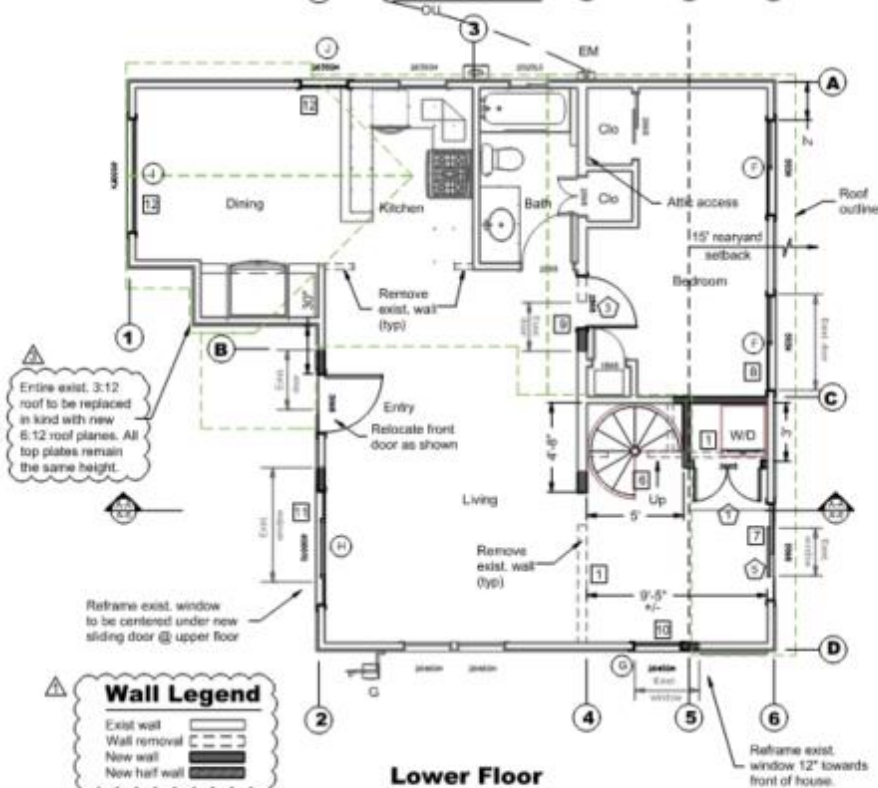
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APN 027-064-17

ON THE LANDS OF:

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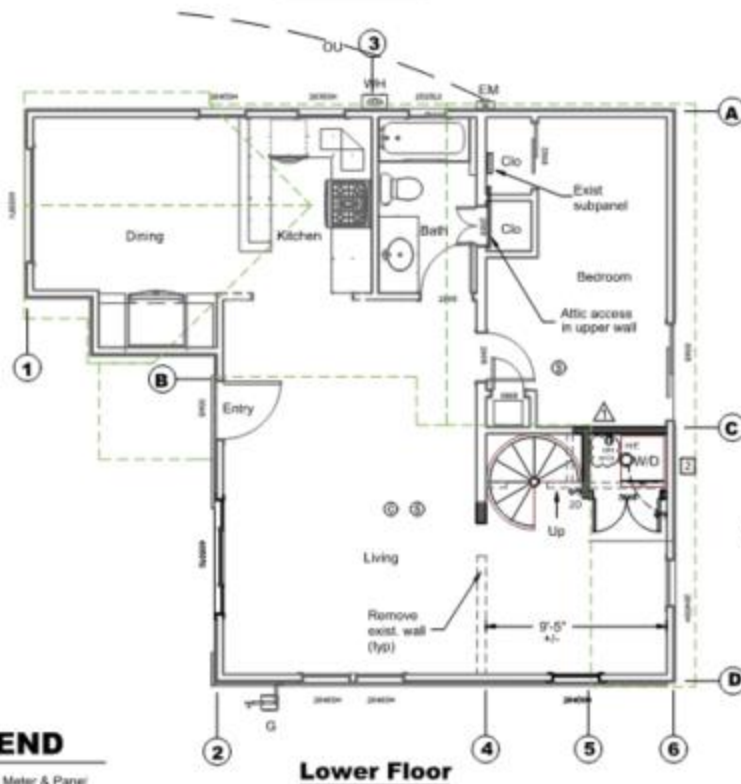
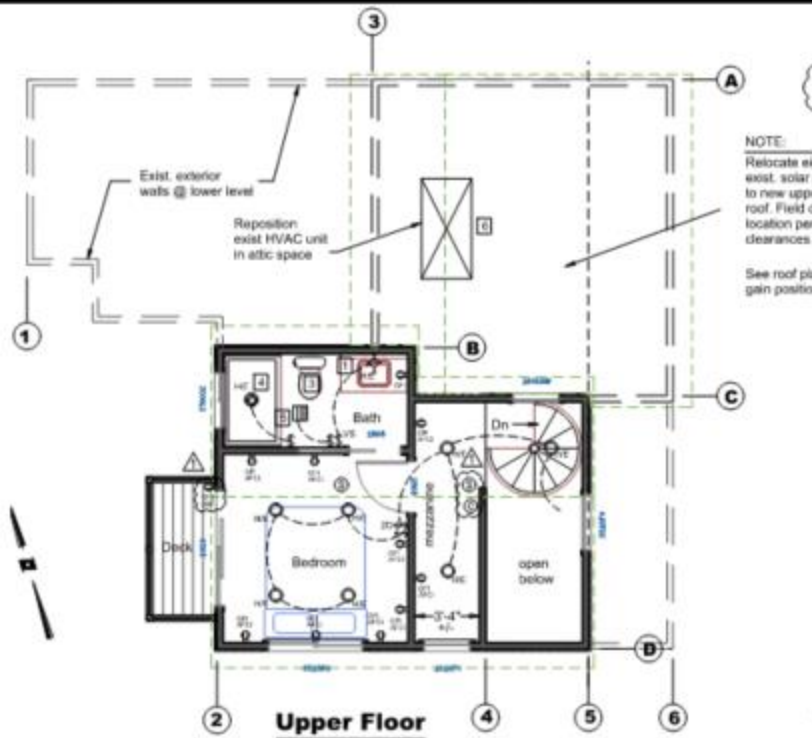
Sheet: 01 of 7
Date: 8-10-21
Scale: 1/8" = 1'-0"

A
2 of 7



NEW FLOOR PLANS

1/4" = 1'-0"



LEGEND

E = Electric Meter & Panel
G = Gas Meter
W = Water Meter
T = Telephone box
JP = Joint Utility Pole
AC = Air cond fan unit
S = Sewer cleanout
OU = Overhead utilities

UTILITY PLANS

1/4" = 1'-0"