



NOTICE OF PENDING ACTION

NOTICE OF PENDING ACTION

An application for the project described on this notice has been filed and a decision about the project will soon be made by Planning Department staff. Any member of the public may submit comments on the proposal prior to the deadline listed on the reverse side of this notice. The project plans may be viewed on the Planning Department website (cdi.santacruzcountyca.gov under Pending Public Notice Projects). The webpage may also be used to track the project decision date, which initiates an appeal period. Any member of the public may request a public hearing be held for this item within 15 working days from the date the notice of pending action was sent. Failure to request a public hearing may result in the loss of the ability to appeal the County action on the application to the Coastal Commission.

Any aggrieved person, or the applicant, may appeal the ultimate decision on this project by submitting a written request within 14 calendar days of the decision date and paying an appeal fee. Please be aware that, while an anticipated decision date has been identified for purposes of this notice, the actual decision date initiating the appeal period will be posted on the web address described above. Information regarding the appeal process or fees may be obtained by phoning (831) 454-2130.

4 District Supervisor

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 241056 APN: 028-304-72
SITUS ADDRESS: 2866 S. Palisades Ave. Santa Cruz, CA 95062

Proposal to construct a 60 Lineal ft, 18 inch high by 18 inch wide sitting wall within the rear yard of an existing single-family dwelling. Requires a Coastal Development Permit. Property located on the south side of South Palisades approximately 175 feet east of the intersection with East Cliff Drive (2866 S. Palisades Ave).

OWNER: Steve Laub
APPLICANT: Cove Britton
SUPERVISORIAL DISTRICT: 1
PLANNER: Nathan MacBeth, (831) 454-3118
EMAIL: Nathan.MacBeth@santacruzcountyca.gov

Public comments must be received by 5:00 p.m. July 09, 2024.
A decision will be made on or shortly after July 10, 2024.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. If you would like to request a public hearing be held for this item, please contact the project planner listed on this notice. Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.
For more information, contact the project planner identified above.

SYMBOLS USED

- WATER METER
- GAS METER
- DROP INLET
- SSMH
- POWER POLE

LINETYPES USED

- BOUNDARY LINE
- - - EASEMENT LINE
- - - ADJACENT BOUNDARY LINE
- - - UNDERGROUND WATER
- - - MAJOR CONTOUR (10' INTERVAL)
- - - MINOR CONTOUR (2' INTERVAL)
- ▬▬▬ RETAINING WALL
- WOODEN FENCE
- EDGE OF PAVING
- MEAN HIGH TIDE LINE

SURVEY NOTES

- INDICATES FOUND MONUMENT, AS NOTED UNLESS OTHERWISE NOTED.
- INDICATES SET 1/2" IRON PIPE, TAGGED RCE 20919 PER CORNER RECORD No. 710.
- () INDICATES RECORD DATA PER 18-M-57.

NOTES

1. UNDERGROUND UTILITY LOCATIONS COMPILED FROM FIELD TIES TO SURFACE FEATURES.
2. CONTRACTOR TO VERIFY UTILITIES PRIOR TO CONSTRUCTION.
3. CONTOUR INTERVAL IS TWO FEET.
4. DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.

LEGEND

- AC ASPHALT CONCRETE
- BLDG BUILDING
- CC CONCRETE OR CONCRETE CURB
- CC-RK CONC.-ROCK
- CLF CLIFF
- CONC CONCRETE
- DI DROP INLET
- D/W DRIVEWAY
- E EXISTING
- EP EDGE OF PAVING
- FD IP FOUND IRON PIPE
- FNC FENCE
- GM GAS METER
- MH MANHOLE
- PP POWER POLE
- PN PAVING NAIL
- RK ROCK
- STR STAIRS
- TW TOP OF WALL
- UGW UNDERGROUND WATER
- WM WATER METER

ELEVATION DATUM

SANTA CRUZ COUNTY BENCHMARK #242, Located at the NW corner of the intersection of E. Cliff Dr. & 24th Ave. approx. 27 ft. N from the C/L of E. Cliff dr. & 21' W from the center of 24th Ave., std. conc. mon. w/brass cap stamped E.C.1 Elevation = 35.206 (NGVD 29 adjusted). (Elevation = 37.94 feet NAVD 88).

At the request of the owner, this map was converted from the original datum (NGVD 29) to the NAVD 88 datum by adjusting the spot elevations and contours upward by 2.74'

At Co. B.M. #242; 35.206 + 2.74 = 37.94 (NGVD 29) (NAVD 88)

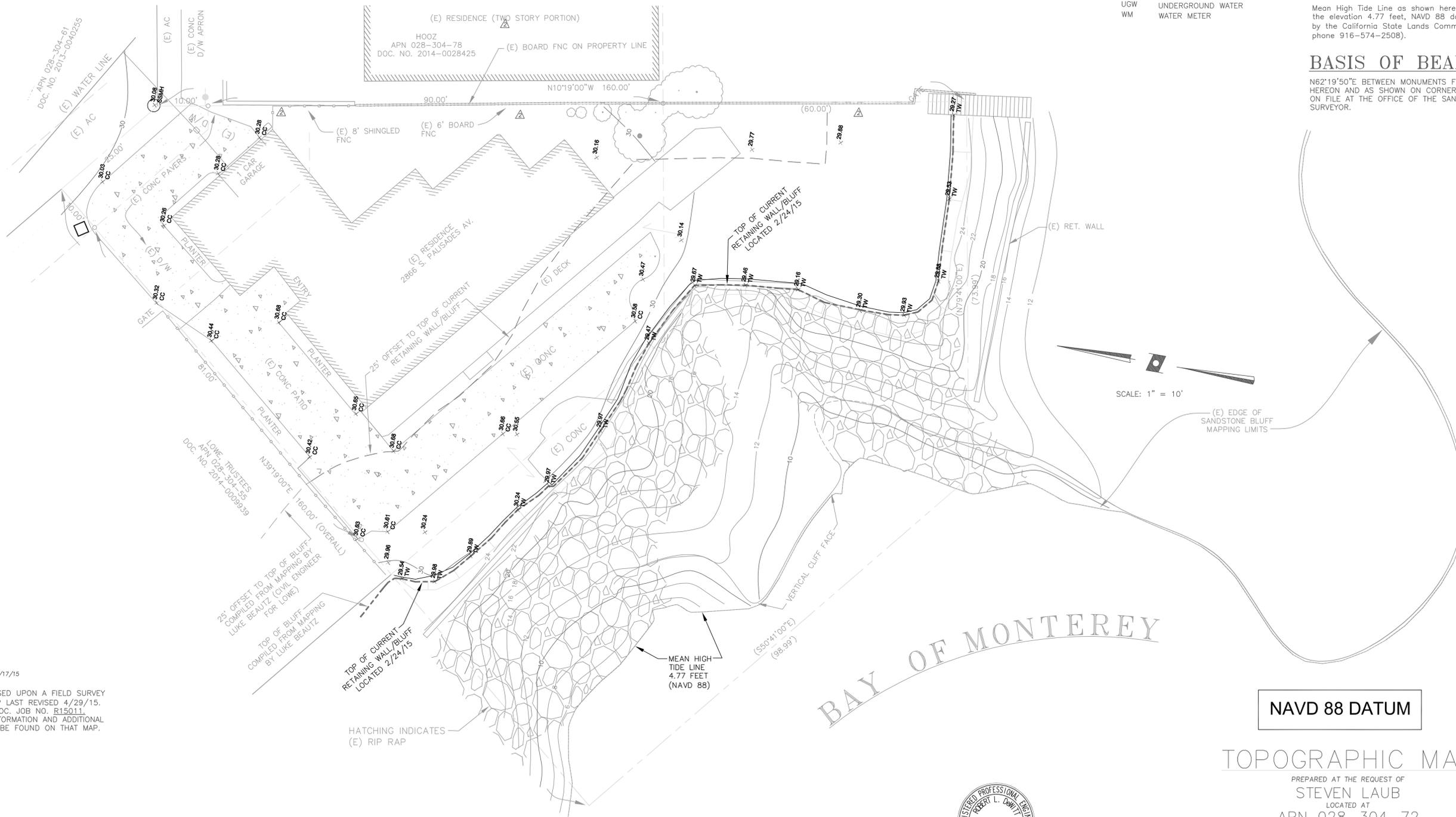
MEAN HIGH TIDE LINE

Mean High Tide Line as shown hereon is based on the elevation 4.77 feet, NAVD 88 datum, as provided by the California State Lands Commission (Jim Kopke, phone 916-574-2508).

BASIS OF BEARINGS

N62°19'50"E BETWEEN MONUMENTS FOUND AS SHOWN HEREON AND AS SHOWN ON CORNER RECORD No. 710 ON FILE AT THE OFFICE OF THE SANTA CRUZ COUNTY SURVEYOR.

12/17/15



NOTE: 12/17/15

THIS TOPO MAP IS BASED UPON A FIELD SURVEY AND TOPOGRAPHIC MAP LAST REVISED 4/29/15. FILED UNDER RLD ASSOC. JOB NO. R15011. ADDITIONAL SURVEY INFORMATION AND ADDITIONAL EXISTING GRADES MAY BE FOUND ON THAT MAP.

- ▲ ADD LOCATION OF NEW RETAINING WALL.
- ▲ ADD LOCATION OF FENCE AND HOUSE NEXT DOOR.
- ▲ DATUM CONVERSION TO NAVD 88 DATUM

1607 Ocean Street, Suite 1
 Santa Cruz, California 95060
 (831) 425-1617 TEL
 (831) 425-0224 FAX

Robert L. DeWitt
 & Associates, Inc.
 Civil Engineers & Land Surveyors

DESIGN:	RLD
DRAWN:	rid
DATE:	12-21-15
DWG:	H0116 TOPO 88.dwg
REVISED:	
	3/03/15
	4/29/15
	12/17/15
PROJECT:	H0116
SHEET:	1 OF 1



NAVD 88 DATUM

TOPOGRAPHIC MAP

PREPARED AT THE REQUEST OF
STEVEN LAUB
 LOCATED AT
APN 028-304-72
 County of Santa Cruz, California