



NOTICE OF PENDING ACTION

5 District Supervisor

NOTICE OF PENDING ACTION

An application for the project described on this notice has been filed and a decision about the project will soon be made by Planning Department staff. Any member of the public may submit comments on the proposal prior to the deadline listed on the reverse side of this notice. The project plans may be viewed on the Planning Department website (<http://www.sccoplanning.com> under Pending Public Notice Projects). The webpage may also be used to track the project decision date, which initiates an appeal period.

Any aggrieved person, or the applicant, may appeal the ultimate decision on this project by submitting a written request within 14 calendar days of the decision date and paying an appeal fee. Please be aware that, while an **anticipated** decision date has been identified for purposes of this notice, the **actual** decision date initiating the appeal period will be posted on the web address described above. Information regarding the appeal process or fees may be obtained by phoning (831) 454-2130.

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATION NUMBER: 241064 APN: 029-144-50
SITUS: 1508 Chanticleer Avenue, Santa Cruz CA 95062

Proposal to construct a new detached 525 square foot garage to be located approximately one and a half feet from the rear property line. Requires a site development permit. Property is located at 1508 Chanticleer Avenue, Santa Cruz CA 95062.

OWNER: Peter Spicer and Bonnie Wann
APPLICANT: Carol Riewe
SUPERVISORIAL DISTRICT: 1
PLANNER NAME: John Hunter, 831-454-3170
PLANNER EMAIL: John.Hunter@santacruzcountyca.gov

Public comments must be received by 5:00 p.m. May 24, 2024. A decision will be made on or shortly after May 28, 2024.

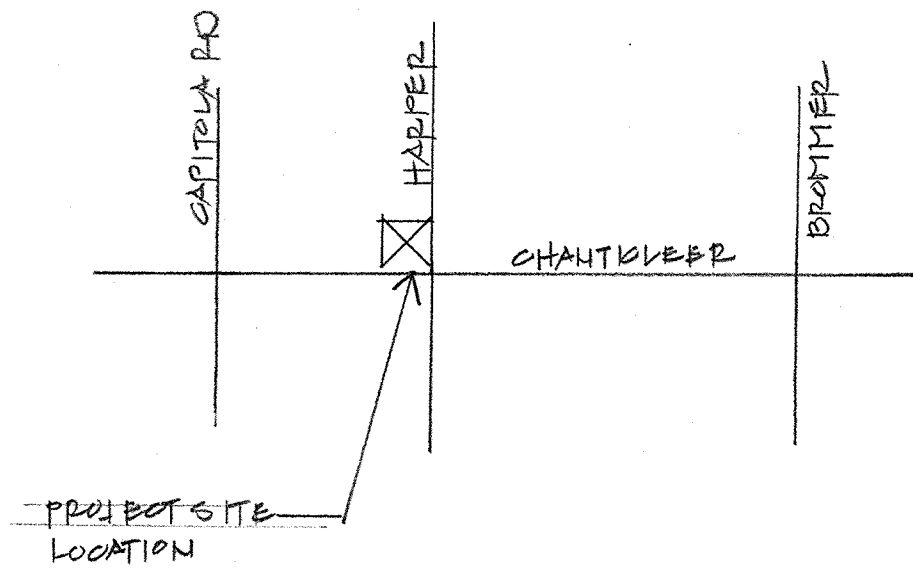
Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. Planner will provide notification of decision to any requesting party.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

PROJECT DATA

OWNER	Peter Spicer & Bonnie Wann 1508 Chanticleer Ave. Santa Cruz, CA 95062 831-588-6640
ARCHITECT	Carol Riewe AIA 1416 Laurent Street Santa Cruz, CA 95060 831-426-0658
GEOTECHNICAL	Dees and Associates 501 Mission Street Suite 8A Santa Cruz, CA 95060 831-427-1770
STRUCTURAL	John Buchanan 1515 Suite H Capitol Road Santa Cruz, CA 95062 831-476-3145
CIVIL ENGINEER	RI Engineering 303 Potrero Ste 42 Santa Cruz CA 95060 831-425-3901
APN	029-144-50
ZONING	R1-6
OCCUPANCY	U
CONSTRUCTION	Type VB
PROJECT	New detached 525 SF garage.
LOT AREA	9,060 SF
EXISTING STRUCTURES:	
MAIN RESIDENCE	1026 SF
ACCESSORY STRUCTURE	228 SF
SHED	96 SF (< 120 SF AND < 10' HIGH)
SHED	120 SF (< 120 SF AND < 10' HIGH)
DECK	130 SF (UNCOVERED < 18" HIGH)
CONC. PATIO	90 SF (UNCOVERED < 18" HIGH)
NEW GARAGE	525 SF (-225 = 300 SF)
NEW PAVING	670 SF
F.A.R.	1026 + 228 + 300 = 1614 / 9060 = 17.8% F.A.R.
LOT COVERAGE	1026 + 228 + 96 + 120 + 525 = 1995 / 9060 = 22% LOT COV

All work and materials shall be in full accordance with the 2022 edition of the following codes: California Bldg. Code, California Residential Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Fire Code, California Energy Code, California Green Building Standards Code and Local Santa Cruz County Amendments.

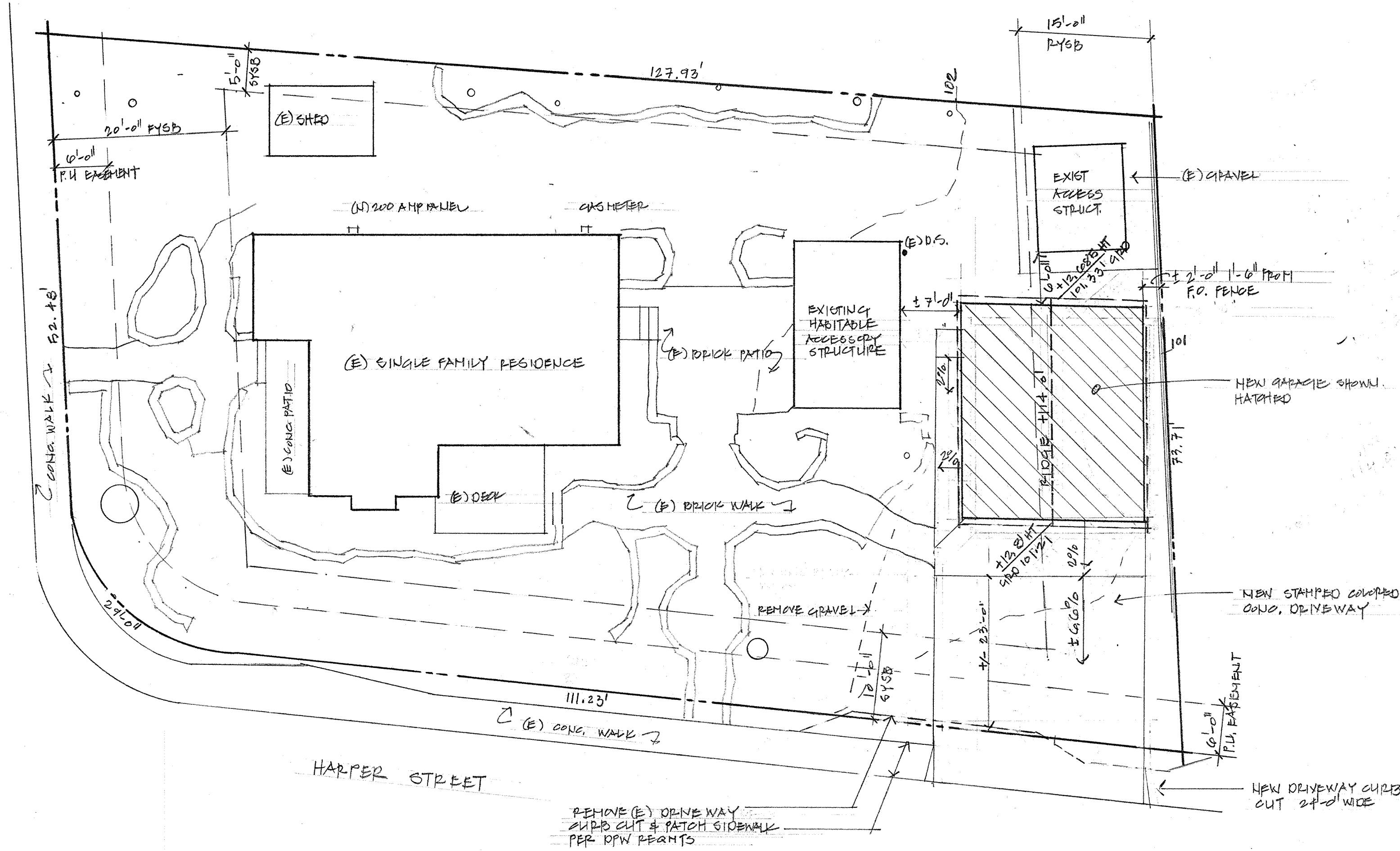


VICINITY MAP

SHEET INDEX

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SUR	PROJECT AREA SURVEY

CHANTICLEER AVE



SITE PLAN
1"=10'-0"

REVISIONS	BY



Carol Riewe
Architect AIA

voice/facsimile
831.426.0658
1416 laurent street
santa cruz, ca. 95060

SITE PLAN and PROJECT DATA

SPICER & WANN RESIDENCE
GARAGE ADDITION
1508 CHANTICLEER AVENUE SANTA CRUZ CA
APN 029-144-50

Date	7/27/24
Scale	1"=10'
Drawn	CHR
Job	
Sheet	A1
Of	Sheets

GENERAL NOTES

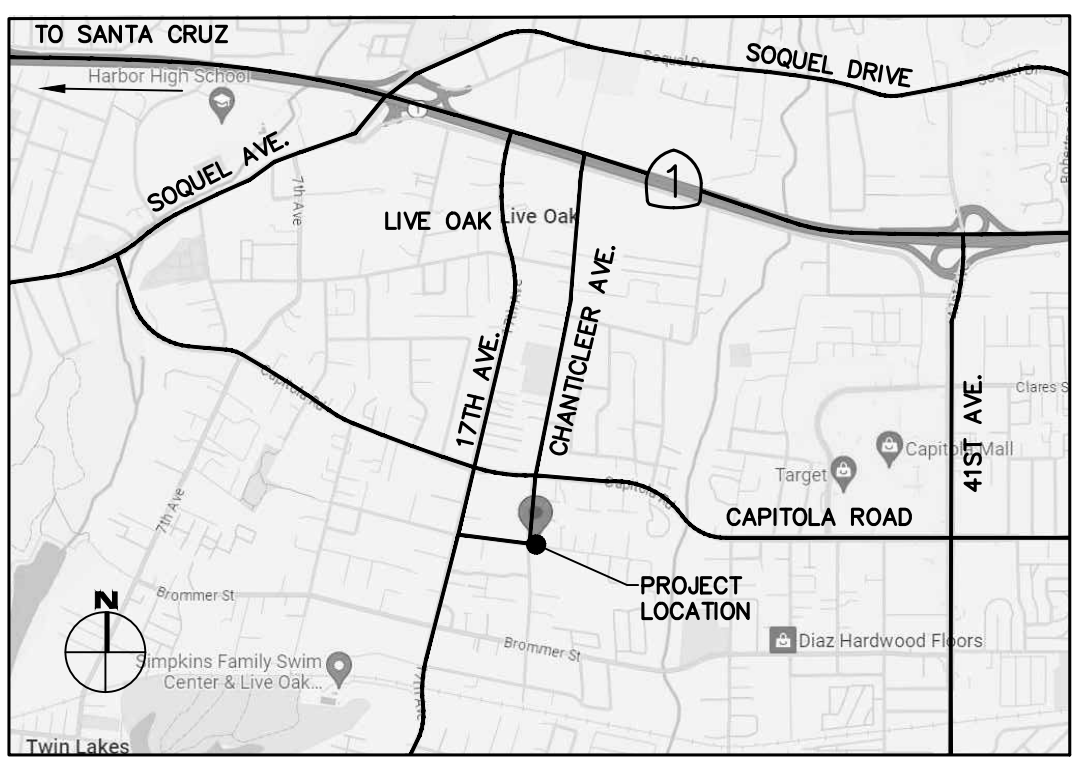
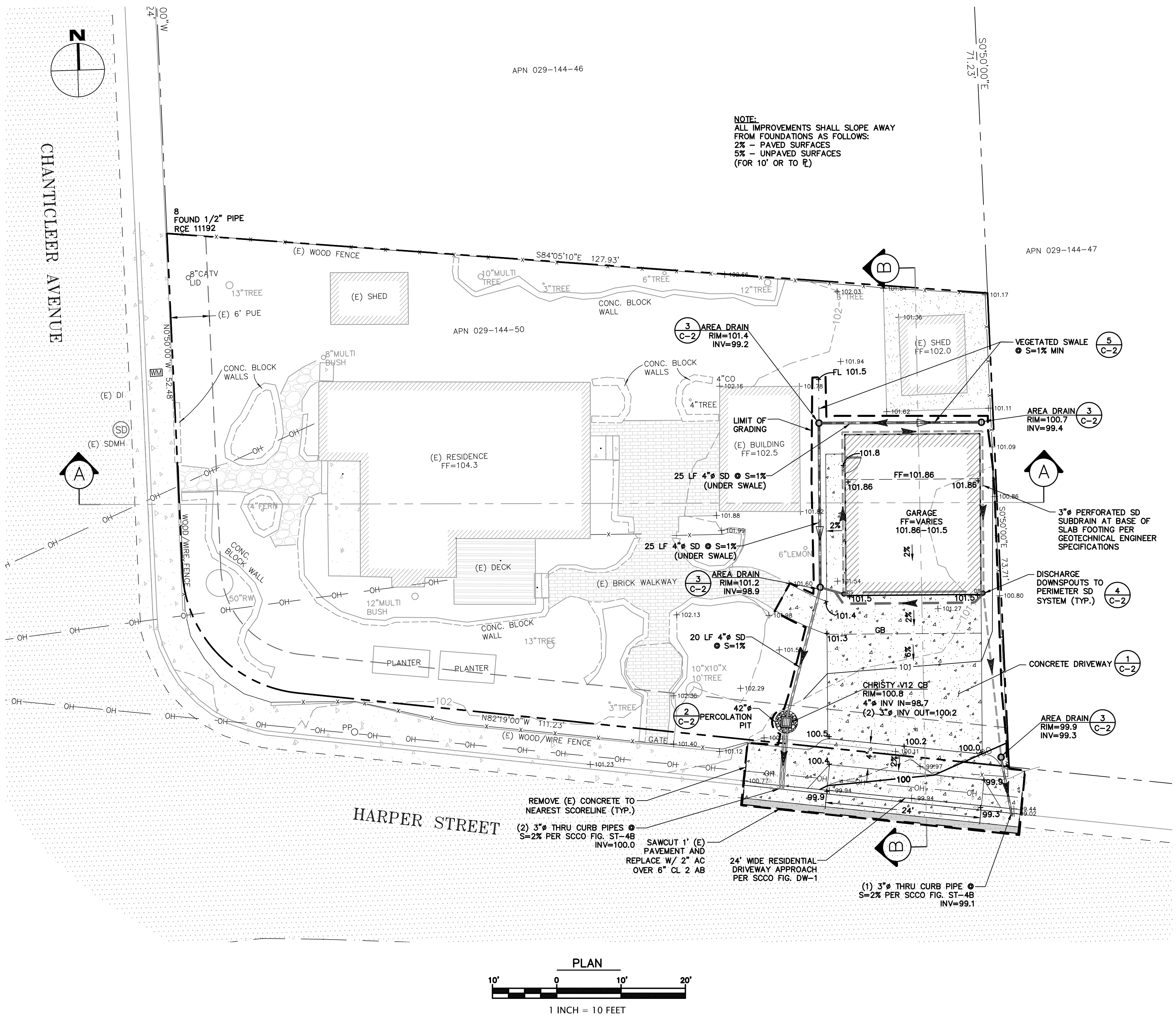
1. THE CONTRACTOR SHALL MAKE A DETAILED AND THOROUGH STUDY OF THESE PLANS IN THEIR ENTIRETY PRIOR TO ANY WORK ON THE JOBSITE. THE CONTRACTOR IS TO VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND IS TO COORDINATE THESE DRAWINGS WITH ALL OTHER TRADE DISCIPLINES FOR THE COMPLETED WORK. THE CONTRACTOR IS ALSO TO UNDERSTAND THAT ANY FEATURE OF CONSTRUCTION NOT FULLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE AS SHOWN FOR SIMILAR CONDITIONS.
2. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY OCCURRING ON THE DRAWINGS OR FOUND IN HIS COORDINATION WORK. NO CHANGES IN APPROVED PLANS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT ENGINEER AND THE COUNTY OF SANTA CRUZ DEPARTMENT OF PUBLIC WORKS.
3. ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED DIRECTLY TO THE PROJECT ENGINEER, ACCOMPANIED BY A DETAILED SKETCH, FOR REVIEW, BEFORE ANY APPROVAL WILL BE GIVEN AND BEFORE PROCEEDING WITH THE WORK. ABSOLUTELY NO ALTERATIONS OF THESE DOCUMENTS OF ANY KIND WILL BE APPROVED ON ANY SHOP DRAWINGS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS (CALTRANS), LATEST EDITION, THE COUNTY OF SANTA CRUZ DESIGN CRITERIA AND ALL APPLICABLE CODES AND ORDINANCES.
5. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE PLANS WERE OBTAINED FROM RECORD DRAWINGS AND MAY NOT REPRESENT TRUE LOCATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF THESE UTILITIES PRIOR TO CONSTRUCTION, AND TO NOTIFY THE PROJECT ENGINEER IN CASE OF CONFLICT.
6. THE CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS FROM THE COUNTY OF SANTA CRUZ PRIOR TO THE START OF WORK.
7. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO WORKING HOURS AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD PROJECT ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE PROJECT ENGINEER.
8. GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATIONS AND THE REQUIREMENTS OF THE COUNTY OF SANTA CRUZ.
9. THE CONTRACTOR SHALL NOTIFY THE COUNTY GRADING INSPECTOR, GEOTECHNICAL ENGINEER, THE CIVIL ENGINEER, & THE COUNTY CONSTRUCTION ENGINEER AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
10. WORK SHALL BE LIMITED TO 8:00 A.M. TO 5:00 PM WEEKDAYS. NON-NOISE PRODUCING ACTIVITIES, SUCH AS INTERIOR PAINTING, SHALL NOT BE SUBJECT TO THIS RESTRICTION.
11. ALL FIGURE (FIG.) REFERENCES, UNLESS OTHERWISE SPECIFIED, REFER TO STANDARD DRAWINGS IN THE CURRENT EDITION OF THE "COUNTY OF SANTA CRUZ DESIGN CRITERIA."
12. NO LAND CLEARING, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS THE PLANNING DIRECTOR APPROVES A SEPARATE WINTER EROSION CONTROL PLAN.
13. BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
14. THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DOWN AT THE END OF THE WORK DAY.
15. WHILE IN TRANSIT TO AND FROM THE PROJECT SITE, ALL TRUCKS TRANSPORTING FILL SHALL BE EQUIPPED WITH TARPS.
16. PURSUANT TO SECTIONS 16.40.040 AND 16.42.100 OF THE COUNTY CODE, IF AT ANY TIME DURING SITE PREPARATION, EXCAVATION, OR OTHER GRADE DISTURBANCE ASSOCIATED WITH THIS DEVELOPMENT, ANY ARTIFACT OR OTHER EVIDENCE OF AN HISTORIC ARCHEOLOGICAL RESOURCE OR A NATIVE AMERICAN CULTURAL SITE IS DISCOVERED, THE RESPONSIBLE PERSONS SHALL IMMEDIATELY CEASE AND DESIST FROM ALL FURTHER SITE EXCAVATION AND NOTIFY THE SHERIFF-CORONER IF THE DISCOVERY CONTAINS HUMAN REMAINS, OR THE PLANNING DIRECTOR IF THE DISCOVERY CONTAINS NO HUMAN REMAINS. THE PROCEDURES ESTABLISHED IN SECTIONS 16.40.010 AND 16.42.100, SHALL BE OBSERVED.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF CONSTRUCTION QUANTITIES PRIOR TO BIDDING ON ANY ITEM. QUANTITY REFERENCES SHOWN ON THESE PLANS OR ENGINEER'S ESTIMATES ARE FOR ESTIMATING PURPOSES ONLY AND SHALL NOT BE CONSIDERED AS A BASIS FOR CONTRACTOR PAYMENT. CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY FLUCTUATIONS IN SUCH QUANTITIES AND ESTIMATES.
18. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
19. UNDERGROUND UTILITY LOCATIONS SHOWN ARE COMPILED FROM INFORMATION SUPPLIED BY UTILITY AGENCIES, AND ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY LOCATIONS OF AFFECTED UTILITY LINES PRIOR TO ANY TRENCHING OR EXCAVATING AND POT HOLE. THOSE AREAS WHERE POTENTIAL CONFLICTS EXIST OR WHERE DATA IS OTHERWISE INCOMPLETE. FOR LOCATION, CALL USA-1-800-824-1444.
20. ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE OWNER'S EXPENSE.

EARTHWORK AND GRADING

1. WORK SHALL CONSIST OF ALL CLEARING, GRUBBING, STRIPPING, PREPARATION OF LAND TO BE FILLED, EXCAVATION, SPREADING, COMPACTION AND CONTROL OF FILL, AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADES, AND SLOPES, AS SHOWN ON THE APPROVED PLANS.
2. ALL GRADING OPERATIONS SHALL CONFORM TO SECTION 19 OF THE CALTRANS STANDARD SPECIFICATIONS, AND SHALL ALSO BE DONE IN CONFORMANCE WITH THE REQUIREMENTS OF THE COUNTY OF SANTA CRUZ. THE MOST STRINGENT GUIDELINE SHALL PREVAIL.
3. REFERENCE IS MADE TO THE GEOTECHNICAL INVESTIGATIONS BY DEES AND ASSOCIATES., ENTITLED "GEOTECHNICAL INVESTIGATION FOR ADDITION TO SINGLE FAMILY RESIDENCE AND NEW ATTACHED ACCESSORY DWELLING," DATED JUNE 2021. THE CONTRACTOR SHALL MAKE A THOROUGH REVIEW OF THIS REPORT AND SHALL FOLLOW ALL RECOMMENDATIONS THEREIN. THE CONTRACTOR SHALL CONTACT DEES AND ASSOCIATES. FOR ANY CLARIFICATIONS NECESSARY PRIOR TO PROCEEDING WITH THE WORK.
4. THE CONTRACTOR SHALL GRADE TO THE LINE AND ELEVATIONS SHOWN ON THE PLAN AND SHALL SECURE THE SERVICES OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER TO PROVIDE STAKES FOR LINE AND GRADE.
5. THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED AT LEAST FOUR (4) DAYS PRIOR TO ANY SITE CLEARING AND GRADING OPERATIONS.
6. STRIPPED AREAS SHOULD BE SCARIFIED TO A DEPTH OF ABOUT 6" WATER-EQUATIONED TO BRING THE SOILS WATER CONTENT TO ABOUT 2% ABOVE THE OPTIMUM, AND COMPACTED TO A DENSITY EQUIVALENT TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY OF THE SOIL ACCORDING TO ASTM D1557 (LATEST EDITION). SUBGRADES AND AGGREGATE BASE ROCK FOR PAVEMENTS SHOULD BE COMPACTED TO A MINIMUM OF 95%.
7. ENGINEERED FILL SHOULD BE PLACED IN THIN LIFTS NOT EXCEEDING 8" IN LOOSE THICKNESS, MOISTURE CONDITIONED, AND COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
8. MATERIAL USED FOR ENGINEERED FILL SHALL MEET THE REQUIREMENTS OF THE AFOREMENTIONED REPORTS BY DEES AND ASSOCIATES.
9. IMPORTED FILL MATERIAL USED AS ENGINEERED FILL FOR THE PROJECT SHALL MEET THE REQUIREMENTS OF THE AFOREMENTIONED GEOTECHNICAL INVESTIGATION.
10. ALL FILL MATERIAL SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO JOBSITE DELIVERY AND PLACEMENT. NO EARTHWORK OPERATIONS SHALL BE PERFORMED WITHOUT THE DIRECT OBSERVATION AND APPROVAL OF THE GEOTECHNICAL ENGINEER.
11. BARE GROUND WITHIN 10' OF FOUNDATIONS SHALL BE SLOPED AWAY @ 5% MINIMUM OR 2% MINIMUM FOR PAVED SURFACES.

PROJECT DESCRIPTION

Lot Coverage	Actual	Adjusted	
A. Total lot size:	9,050	sq.ft.	
B. Existing Permitted Impervious Area:	2,405	sq.ft.	
C. Replaced Permitted Impervious Area:	0	sq.ft.	
D. Replaced Permitted Semi-Impervious* Area:	0	sq.ft.	0 sq.ft.
E. Total proposed Self-mitigating Area:	0	sq.ft.	
F. Proposed Impervious Area:	1,235	sq.ft.	
G. Proposed Semi-impervious* Area:	0	sq.ft.	0 sq.ft.
Project Threshold Classification			1,235 sq.ft.
(Value will auto-sum if filled out electronically, otherwise add REPLACED and NEW to obtain total for determining project size below)			
<input type="checkbox"/> Small Project (less than 500 sq.ft. created and/or replaced) - Use Appendix B 'Small Project Submittal Requirements' for submittal requirement guidance.			
<input checked="" type="checkbox"/> Medium Project (more than 500 sq.ft. but less than 5,000 sq.ft. created and/or replaced) - Use Appendix C 'Medium Project Submittal Requirements' for submittal requirement guidance.			
<input type="checkbox"/> Large Project (more than 5,000 sq.ft. created and/or replaced OR 50% increase in permitted impervious area**) - Use Appendix D 'Large Project Submittal Requirements' for submittal requirement guidance.			



VICINITY MAP
NTS

LEGEND

	(E) AB
	(E) AC
	(E) CONCRETE
	PROPOSED AC
	PROPOSED CONCRETE
	(E) FLOWLINE
	(E) RETAINING WALL
	PROPERTY LINE
	SETBACK LINE
	PROPOSED LIMIT OF GRADING
	PROPOSED SWALE
	PROPOSED SD
	PROPOSED PERIMETER SD
	PROPOSED GRAVEL LINED DEPRESSION
	PROPOSED SDCO
	PROPOSED CB

ABBREVIATIONS

BW	BOTTOM OF WALL
CB	CATCH BASIN
CONST	CONSTRUCT
DIA, #	DIAMETER
DS	DOWNSPOUT
DTL	DETAIL
DWY	DRIVEWAY
(E)	EXISTING
EL	ELEVATION
EOP	EDGE OF PAVEMENT
FF	FINISH FLOOR
FG	FINISH GRADE
FS	FIRE SERVICE
HP	HIGH POINT
INV	INVERT
LF	LINEAR FEET
LP	LOW POINT
MAX	MAXIMUM
N.T.S.	NOT TO SCALE
RW	RETAINING WALL
RIM	RIM ELEVATION
S	SLOPE
SCCO	COUNTY OF SANTA CRUZ
SSCO	SANITARY SEWER CLEANOUT
SDCO	STORM DRAIN CLEANOUT
TYP	TYPICAL
TW	TOP OF WALL
WS	WATER SERVICE

TOPOGRAPHIC SURVEY

THE TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION PROVIDED HEREON WAS COMPLETED BY EDMUNDSON & ASSOC. LAND SURVEYING. RI ENGINEERING INC. MAKES NO GUARANTEE AS TO THE ACCURACY OF BOTH. THE CONTRACTOR SHALL VERIFY THE BOUNDARY LOCATION AND TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK.

BASIS OF ELEVATION

ELEVATIONS ARE BASED ON ASSUMED DATUM. BENCH MARK = MAG NAIL
JOB ELEVATION IS SET MAG NAIL. POINT NO. 1
ELEVATION 100.00 FEET (ASSUMED)

APPROXIMATE EARTHWORK QUANTITIES

	CUT	CUBIC YARDS FILL	NET
SITE GRADING	<20	<20	<20 CUT/FILL

- NOTES:
- EARTHWORK QUANTITIES ARE APPROXIMATE AND SHALL BE INDEPENDENTLY VERIFIED BY THE CONTRACTOR FOR BIDDING PURPOSES.
 - EARTHWORK VOLUMES FOR RESIDENCE GRADING INCLUDE EXCAVATION TO ROUGH GRADE FOR CONSTRUCTION OF THE PROPOSED RESIDENCE. EARTHWORK VOLUMES REQUIRED TO CONSTRUCT THE FOUNDATIONS HAVE NOT BEEN INCLUDED.
 - EXCESS SOIL SHALL BE HAULED OR PLACED IN A COUNTY APPROVED LOCATION.

BUILDING PERMIT SUBMITTAL



3/6/2024



RI Engineering, Inc.

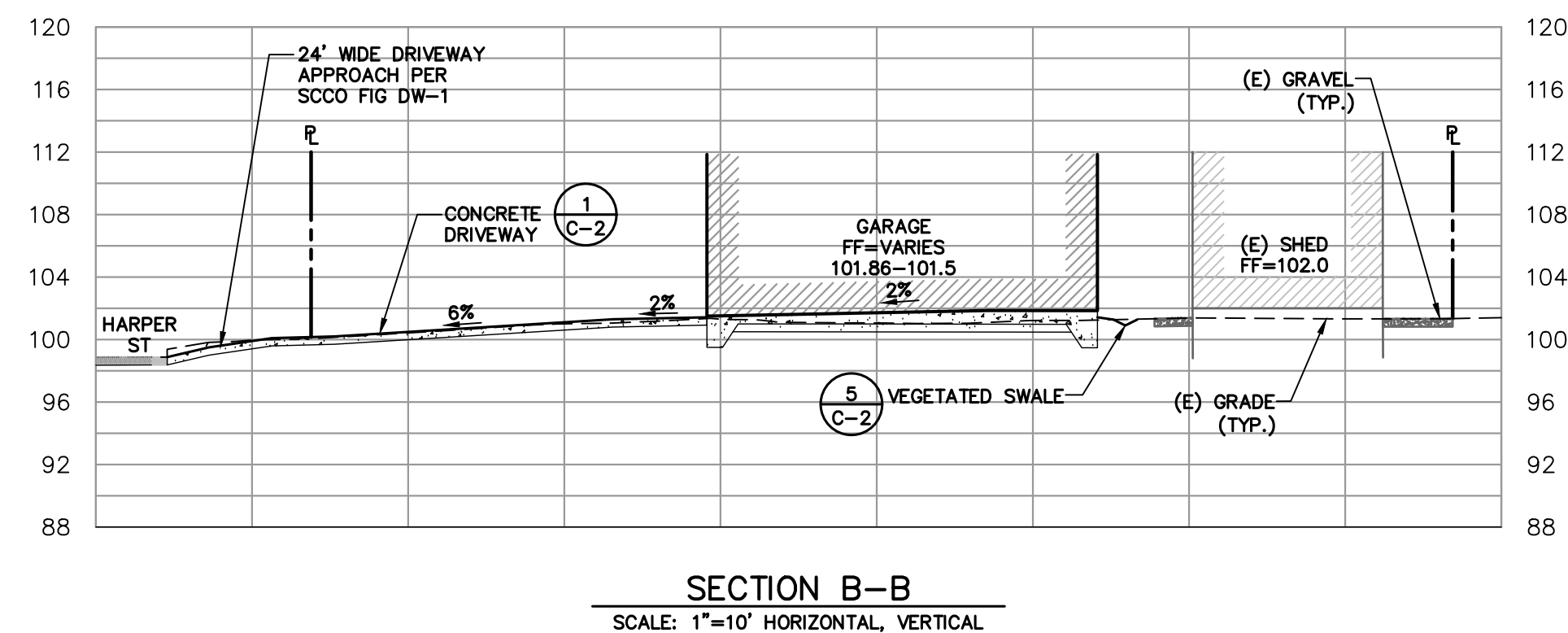
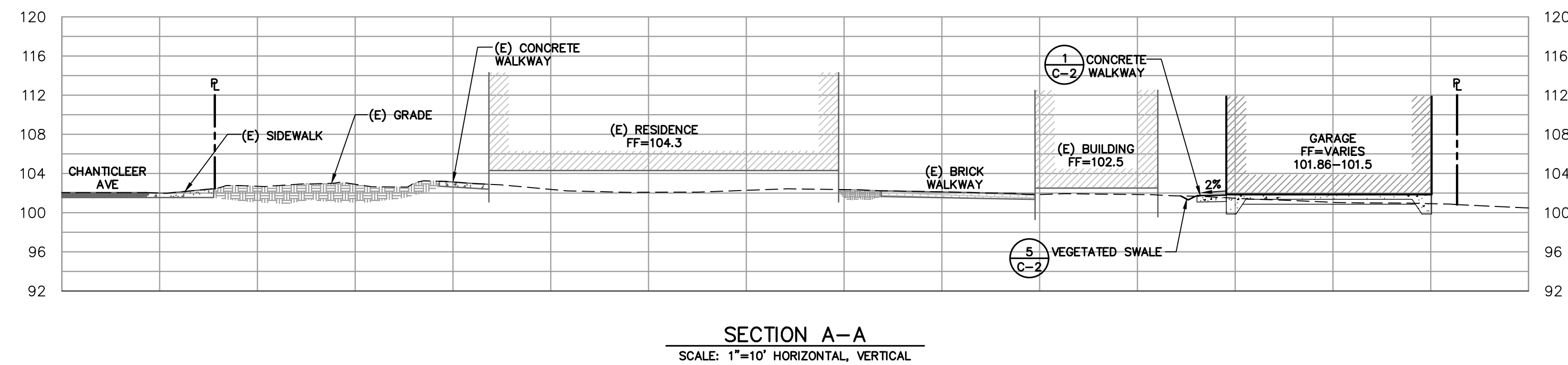
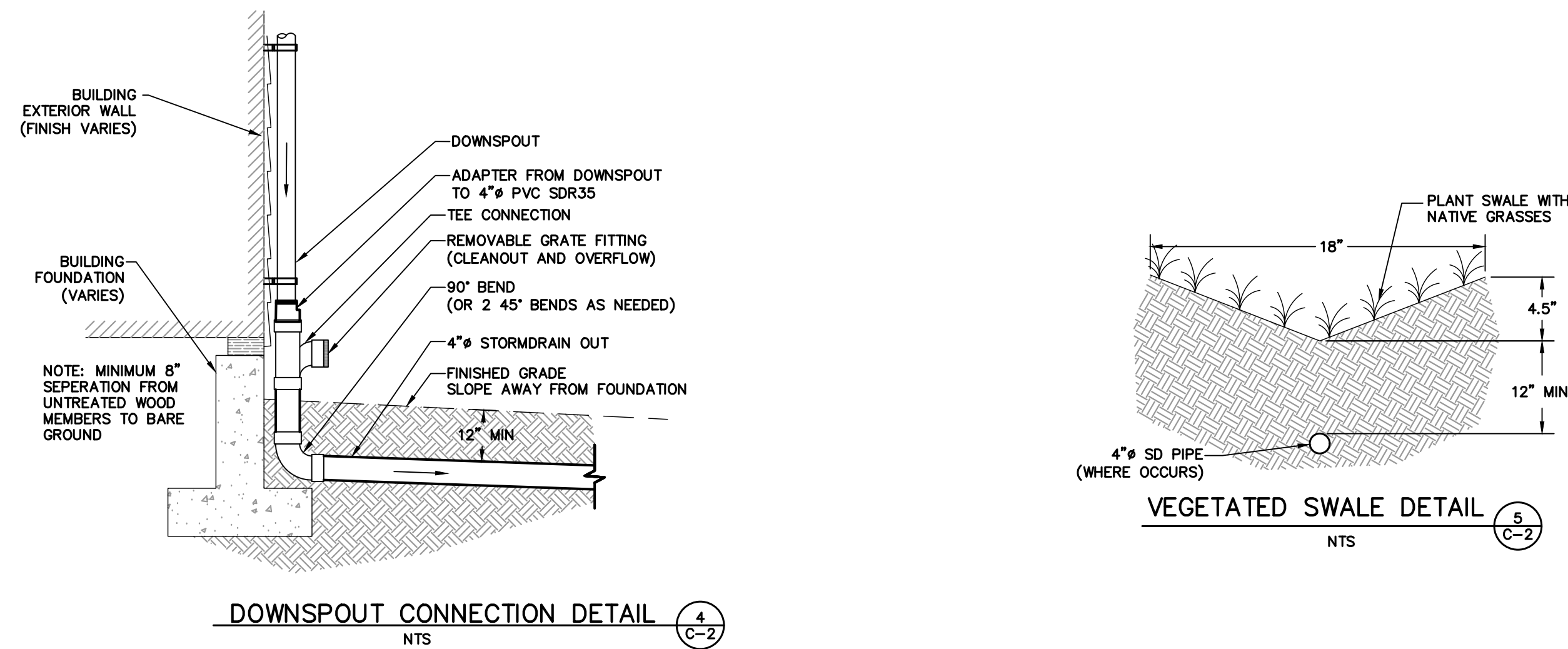
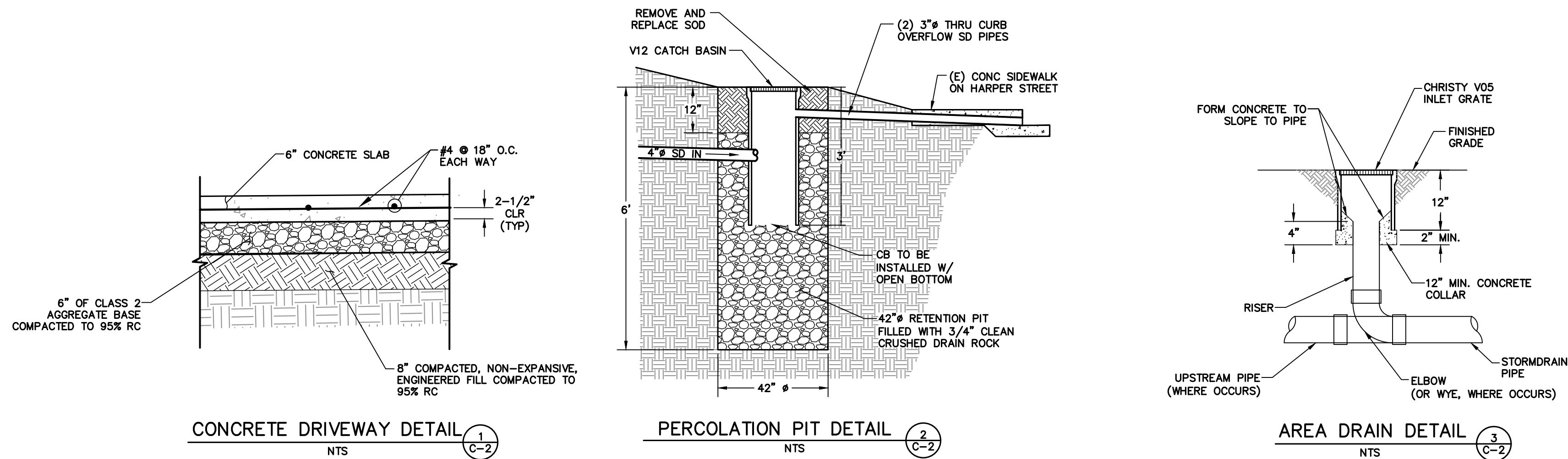
303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

NEW GARAGE AND DRIVEWAY
FOR
PETER SPICER
1508 CHANTICLEER AVENUE
SANTA CRUZ COUNTY
APN 029-144-50

GRADING & DRAINAGE PLAN

project no. 23-094-1
date MARCH 2024
scale AS SHOWN
dwg name CIVIL1.DWG

C-1



POST CONSTRUCTION STORM DRAIN SYSTEM MAINTENANCE SCHEDULE			
ITEM	INTERVAL	INSPECTION	REPAIR
CATCH BASINS	ANNUAL	1. SEDIMENT BUILD UP 2. TRASH & DEBRIS	1. REMOVE SEDIMENT 2. REMOVE TRASH & DEBRIS
SWALES	ANNUAL	1. WASHOUTS 2. MISPLACED ROCK 3. ACCUMULATION OF TRASH & DEBRIS	1. REPLACE TRANSPORTED ROCK 2. REMOVE TRASH & DEBRIS
GRAVEL RETENTION PIT	ANNUAL	1. DISPLACEMENT OF GRAVEL 2. SCOUR AROUND PERIMETER 3. ACCUMULATION OF TRASH & DEBRIS	1. REPLACE GRAVEL 2. REPAIR DAMAGED SLOPES & FABRIC 3. REMOVE TRASH & LOOSE DEBRIS



3/6/2024



RI Engineering, Inc.

303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

NEW GARAGE AND DRIVEWAY
FOR
PETER SPICER
1508 CHANTICLEER AVENUE
SANTA CRUZ COUNTY
APN 029-144-50

DETAILS & SECTIONS

project no.
23-094-1
date
MARCH 2024
scale
AS SHOWN
dwg name
CIVIL1.DWG

C-2

TOTAL AREA OF DISTURBANCE = 2,000 SQFT

SITE HOUSEKEEPING REQUIREMENTS

CONSTRUCTION MATERIALS

- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
- ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
- EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
- BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

LANDSCAPE MATERIALS

- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
- CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
- DISCONTINUE THE APPLICATION OF ANY ERODABLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIOD OF PRECIPITATION.
- APPLY ERODABLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
- STACK ERODABLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

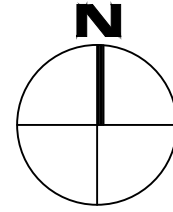
VEHICLE STORAGE AND MAINTENANCE

- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACES WATERS.
- ALL EQUIPMENT OR VEHICLES, WHICH ARE THE BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S.
- LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

WASTE MANAGEMENT

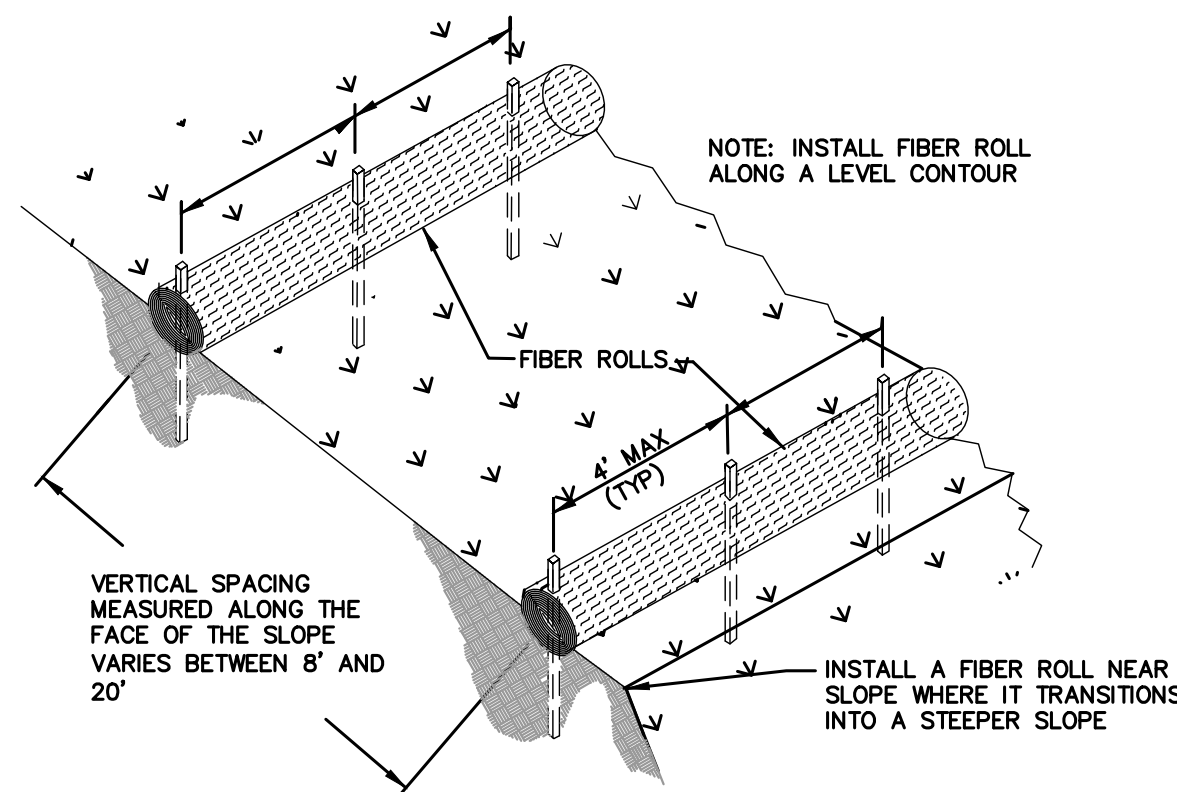
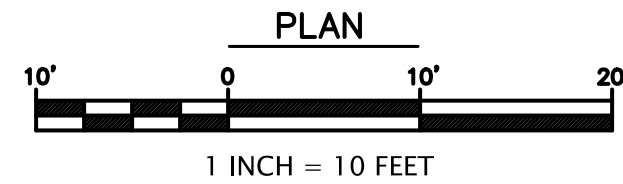
- DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
- SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
- SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
- COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
- DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
- STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
- PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
- EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OR PROPERLY; AND
- CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

CHANTICLEER AVENUE

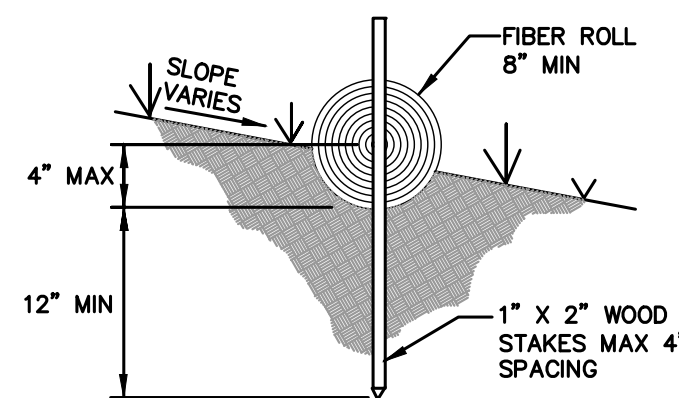


SD

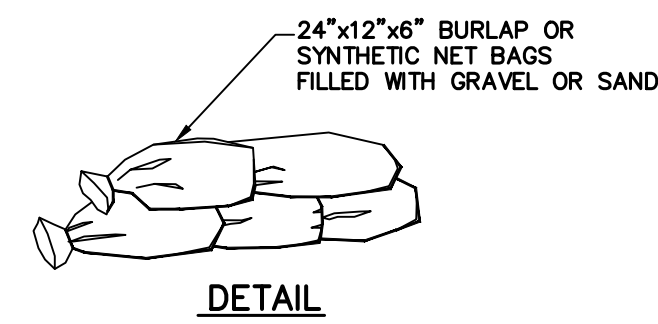
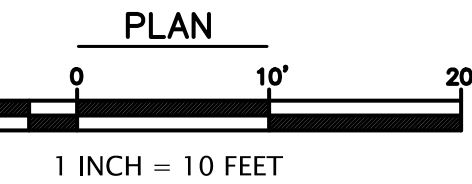
HARPER STREET



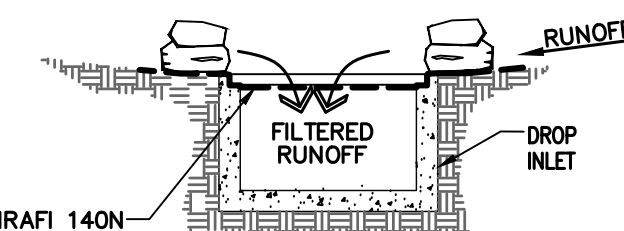
TYPICAL FIBER ROLL INSTALLATION
NTS



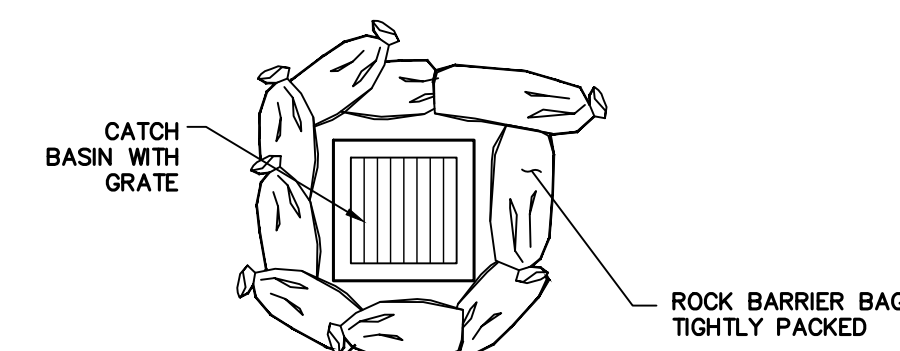
FIBER ROLL DETAIL IN SLOPE AREA
NTS



DETAIL

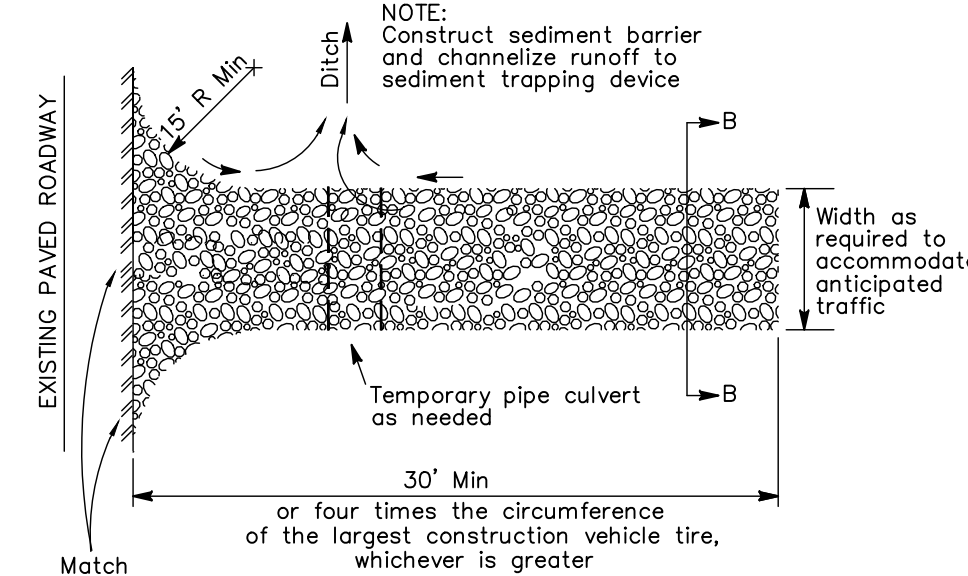
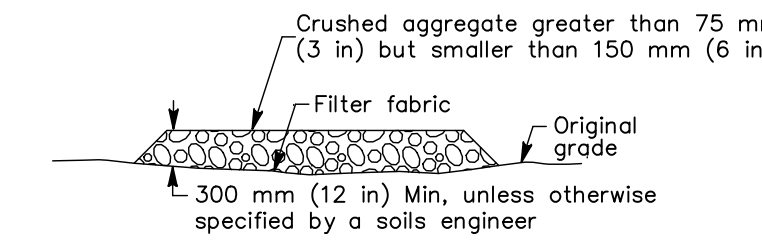


SIDE VIEW



PLAN VIEW

GRAVEL BAG CATCH BASIN PROTECTION
NTS



CONSTRUCTION ENTRANCE DETAIL
NTS

EROSION CONTROL MEASURES

- EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BY OCTOBER 15.
- UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THIS PLAN, ALL COLLECTED RUNOFF SHALL BE CARRIED TO DRAINAGE COURSES IN LINED CONDUITS. DISCHARGE SHALL BE IN THE LOCATIONS SHOWN ON THE PLANS.
- THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. IF FAILED INSPECTIONS BY COUNTY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
- ALL DISTURBED AREAS NOT CURRENTLY BEING USED FOR CONSTRUCTION SHALL BE SEEDED WITH THE FOLLOWING SEED MIXTURE:
WINTER BARLEY 25#/ACRE
- AFTER SEEDING, STRAW MULCH WILL BE APPLIED IN 4" (AVG.) LAYERS.
- AMMONIUM PHOSPHATE FERTILIZER, 6-3-3, SHALL BE APPLIED AT A RATE OF 30 LBS. PER ACRE, ON SLOPES GREATER THAN 20% EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SHALL BE APPLIED.
- SILT BARRIERS SHALL BE PLACED END TO END AND STAKED DOWN ALONG THE BOTTOM OF ALL GRADED SLOPES.

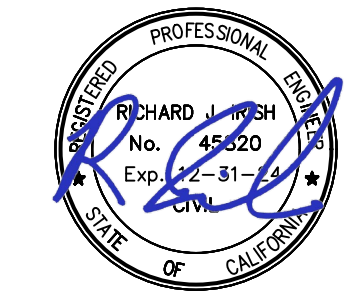
ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SILT FENCES, FIBER ROLLS AND SLOPE PROTECTION SHALL BE IN PLACE BY OCTOBER 15TH. THE ENGINEER OF RECORD SHALL INSPECT ONCE EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

EXPOSED SLOPE MEASURES

- COVER ALL EXPOSED SLOPES
- STRAW 2 TONS/ACRE ON SLOPES \leq 20% WITH SOIL BINDER
- USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES $>$ 20%.

EROSION CONTROL LEGEND

- INSTALL FIBER ROLL PER DETAILS THIS SHEET
- INSTALL CATCH BASIN PROTECTION PER DETAIL THIS SHEET
- INSTALL STABILIZED CONSTRUCTION ENTRANCE PER DETAIL THIS SHEET
- PROPOSED SLOPE PROTECTION
- PROPOSED STOCKPILE AREA
- PROPOSED STAGING AREA



3/6/2024



RI Engineering, Inc.

303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

NEW GARAGE AND DRIVEWAY

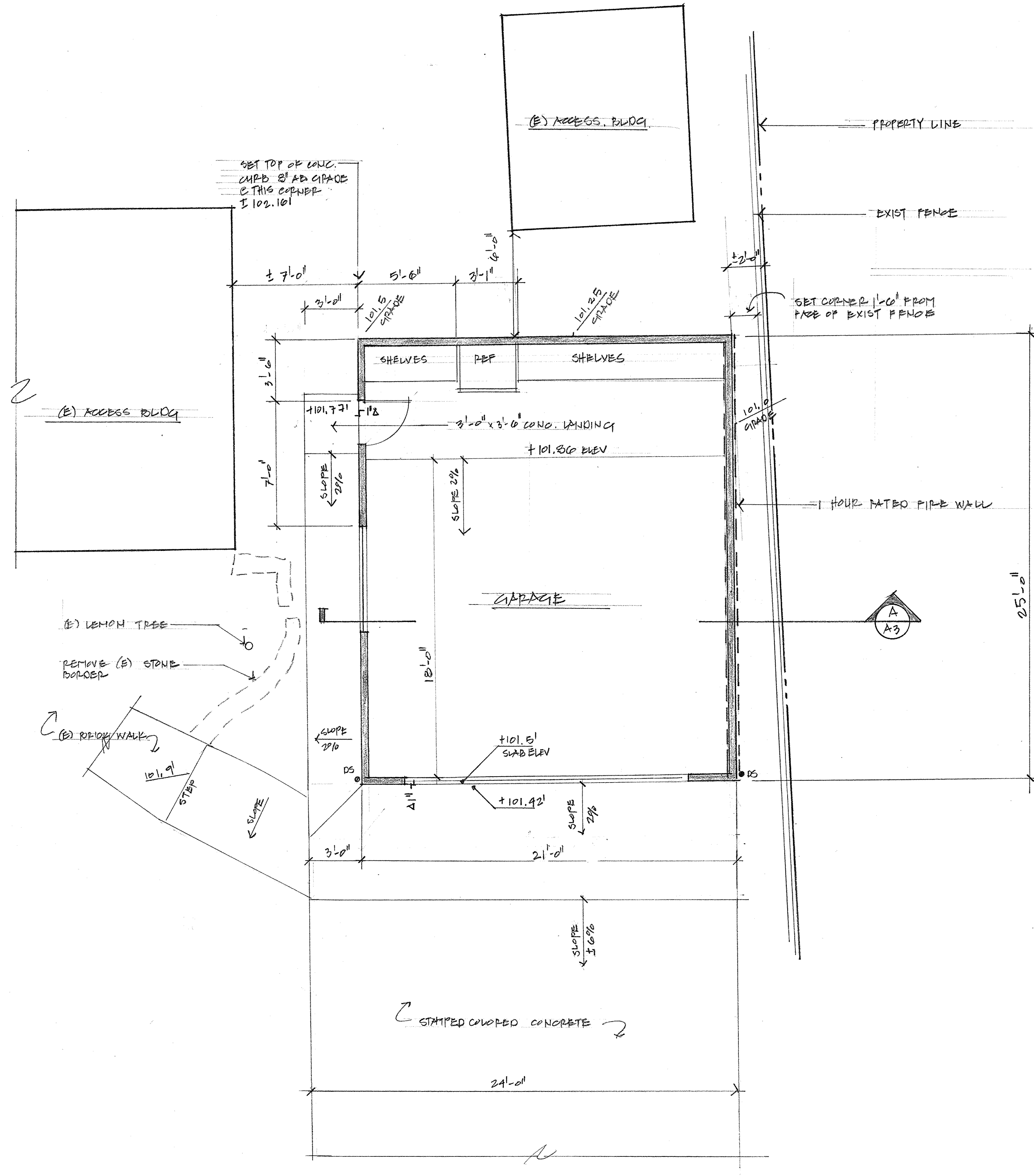
FOR
PETER SPICER
1508 CHANTICLEER AVENUE
SANTA CRUZ COUNTY
APN 029-144-50

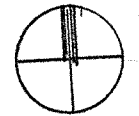
STORMWATER POLLUTION
CONTROL PLAN

project no.
23-094-1
date
MARCH 2024
scale
AS SHOWN
dwg name
CIVIL1.DWG


C-3

BUILDING PERMIT SUBMITTAL



 **FLOOR PLAN**
1/4" = 1'-0"
NORTH

REVISIONS	BY



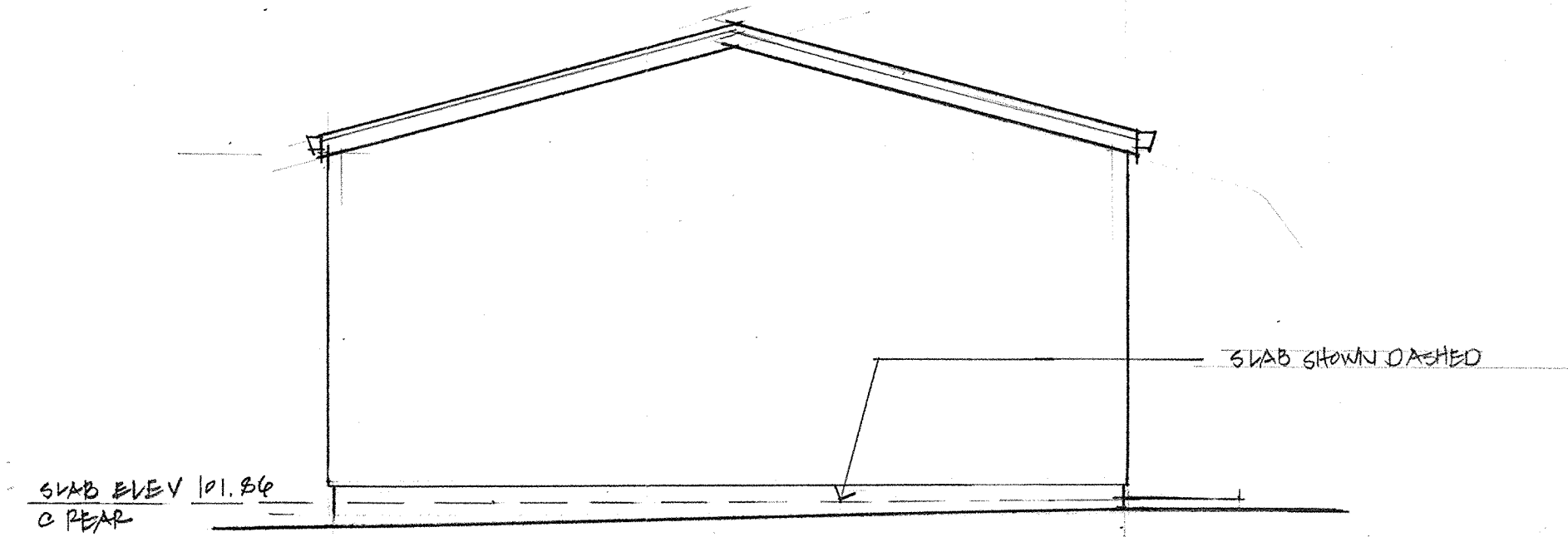
Carol Riewe
Architect AIA

voice/facsimile
831.426.0658
1416 laurent street
santa cruz, ca. 95060

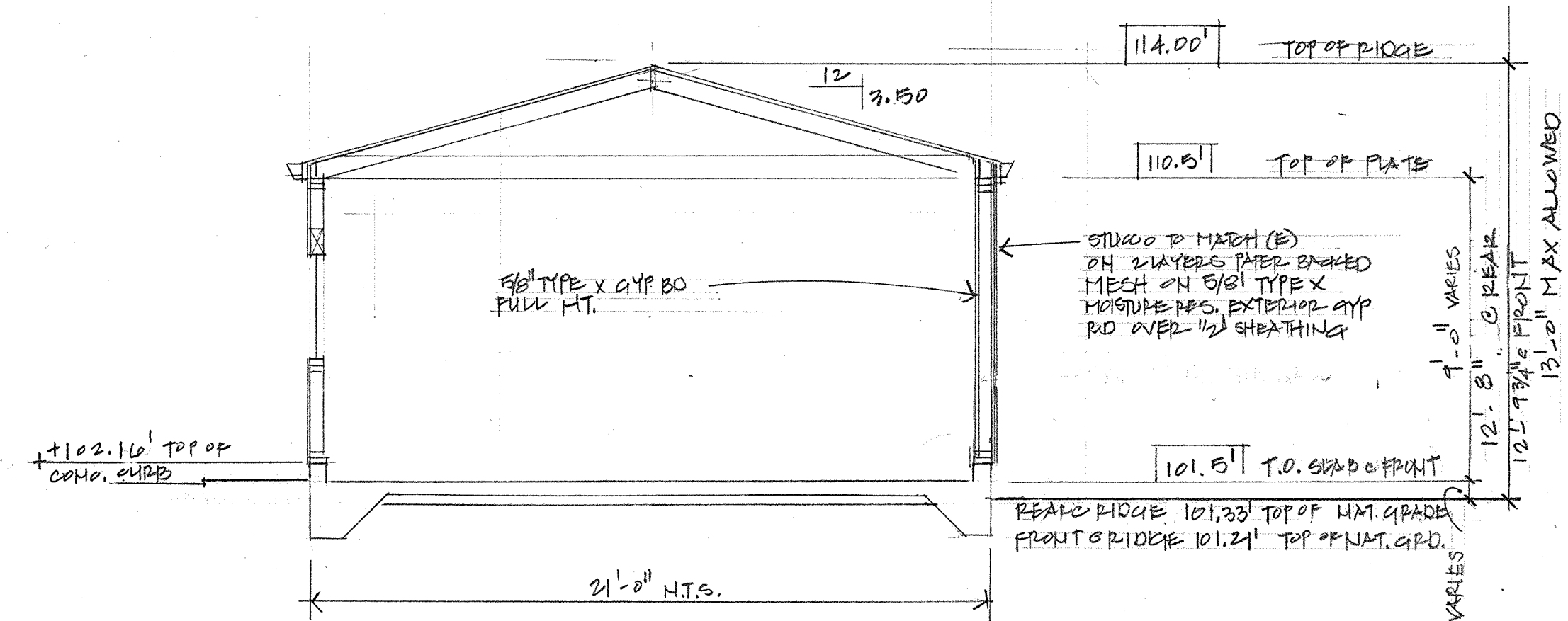
FLOOR PLAN AND SCHEDULES

SPICER & WANN RESIDENCE
GARAGE ADDITION
1508 CHANTICLEER AVENUE SANTA CRUZ CA
APN 029-144-50

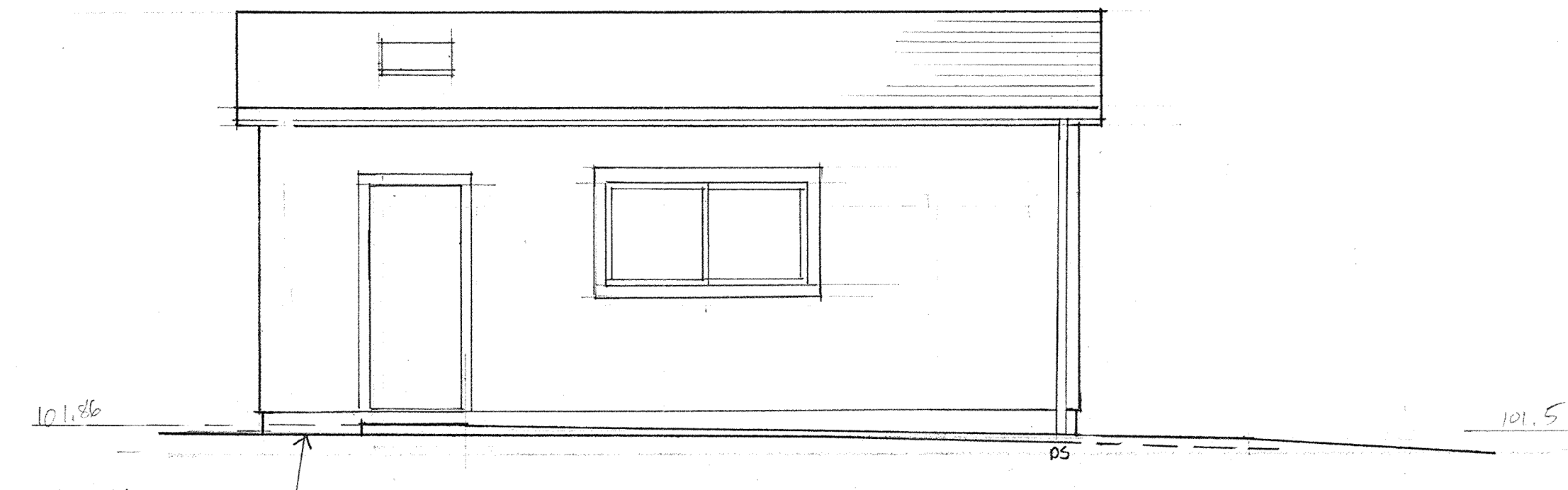
Date	
Scale	1/4" = 1'-0"
Drawn	CAR
Job	
Sheet	A2
Of	Sheets



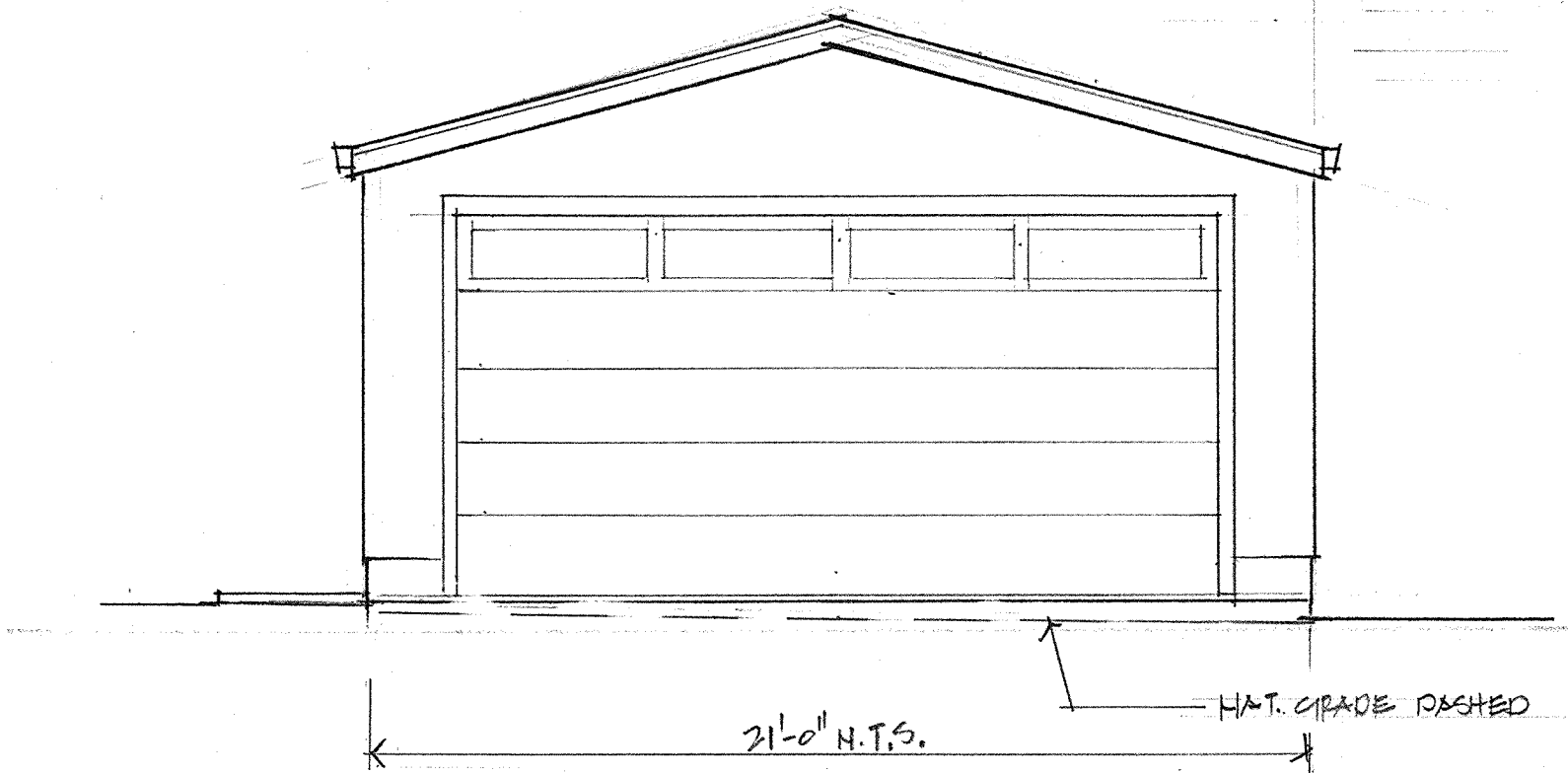
NORTH ELEVATION



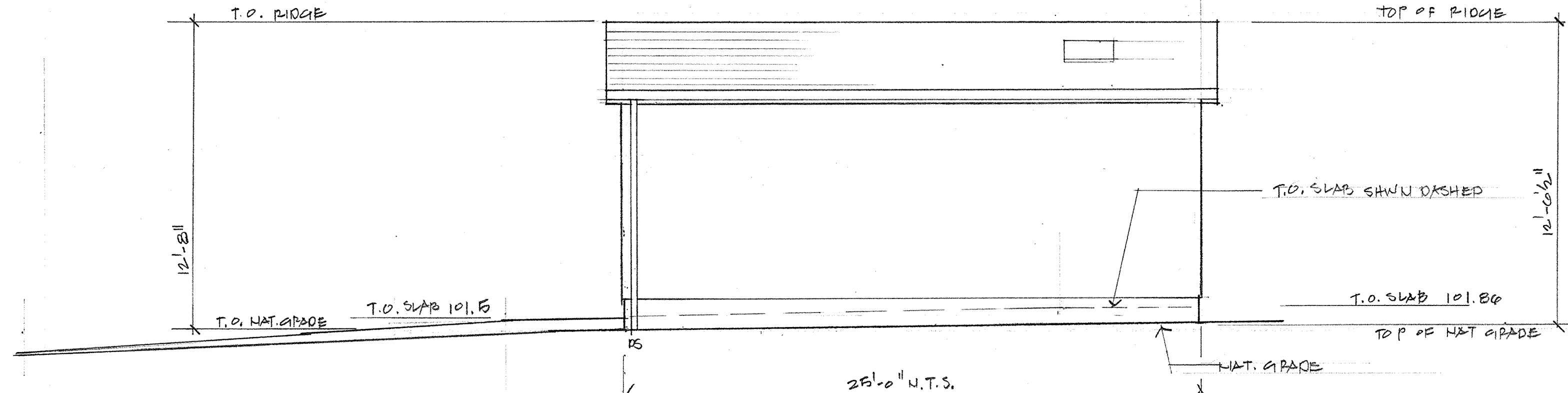
SECTION A
1/4" = 1'-0"



WEST ELEVATION



SOUTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION

REVISIONS	BY



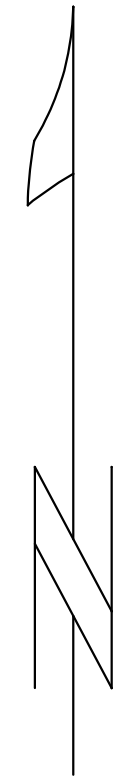
Carol Riewe
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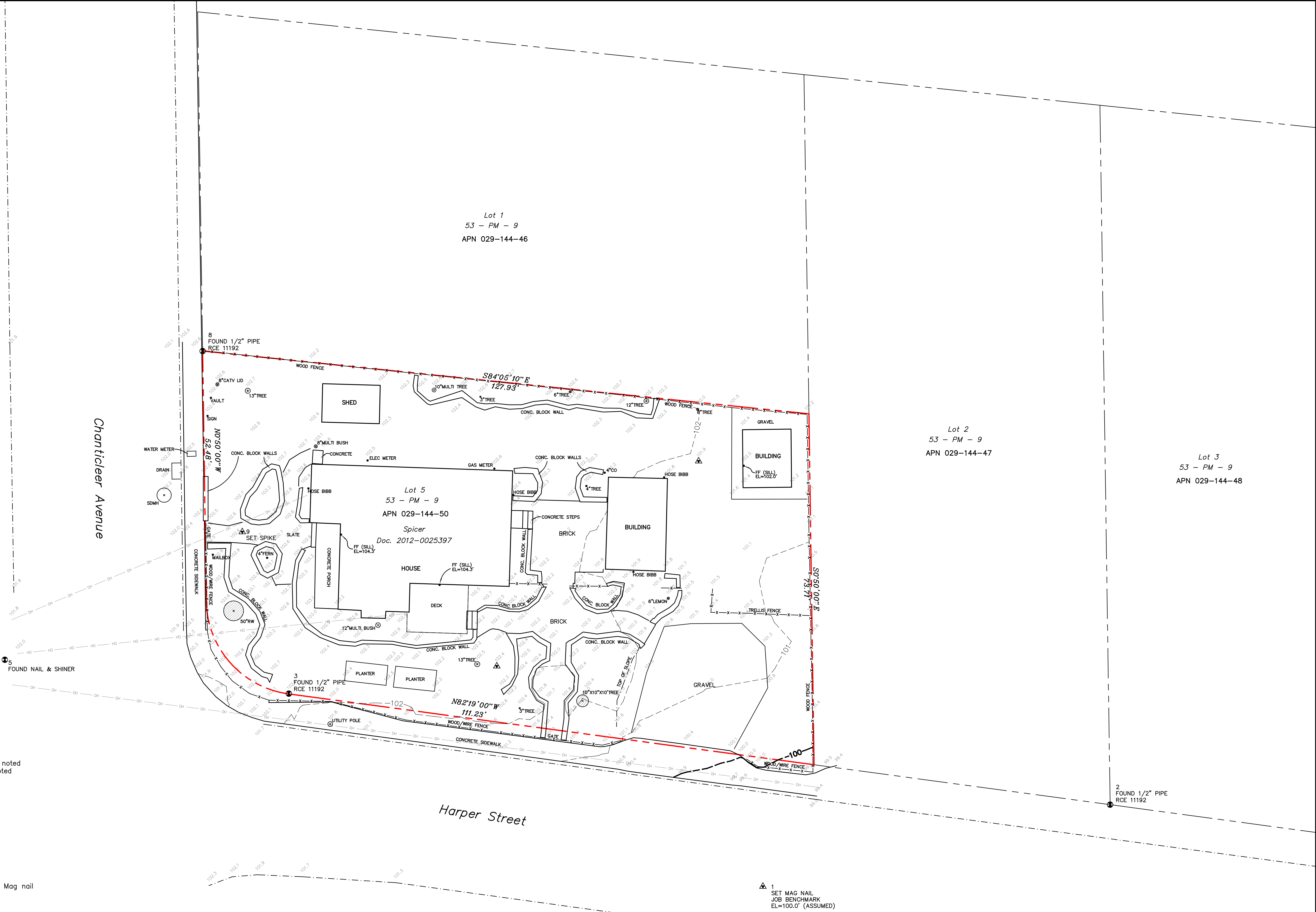
ELEVATIONS

SPICER & WANN RESIDENCE
GARAGE ADDITION
1508 CHANTICLEER AVENUE SANTA CRUZ CA
APN 029-144-50

Date 2/27/24
Scale 1/4" = 1'-0"
Drawn CWR
Job
Sheet
A3
Of Sheets



Scale 1" = 10'
Contour Interval = 1'

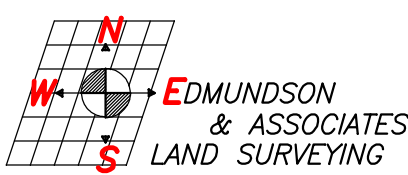


LEGEND

- Survey control point found as noted
- Survey control point set as noted
- Property line, lands of Spicer
- Other property line
- Center of Right of Way
- Edge of Right of Way
- Structure line
- Fence
- Tie line
- Edge of pavement
- Tree
- Record data

Elevations are based on assumed datum. Bench Mark = Mag nail
Job Benchmark is Set Mag nail, point number 1
Elevation 100.00 Feet (Assumed)

NOTE: This is not a boundary survey. Property lines are shown
for orientation only and are based on recorded data. They may
be discovered to be different, subject to the results of a com-
plete boundary survey.



1512 SEABRIGHT AVENUE
SANTA CRUZ, CA 95062
PHONE (831) 425-1796
FAX (831) 425-1795

TOPOGRAPHIC SURVEY MAP OF ASSESSOR'S PARCEL NO. 029-144-50

Scale 1" = 10'	Santa Cruz County California	File 23029B.DWG FB 212/58
June 28, 2023	Prepared for Peter Spicer	
	Job #2329	