

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATION NUMBER: 241117 APN: 083-053-06
SITUS: 565 Sunset Rd, Boulder Creek, CA 95006

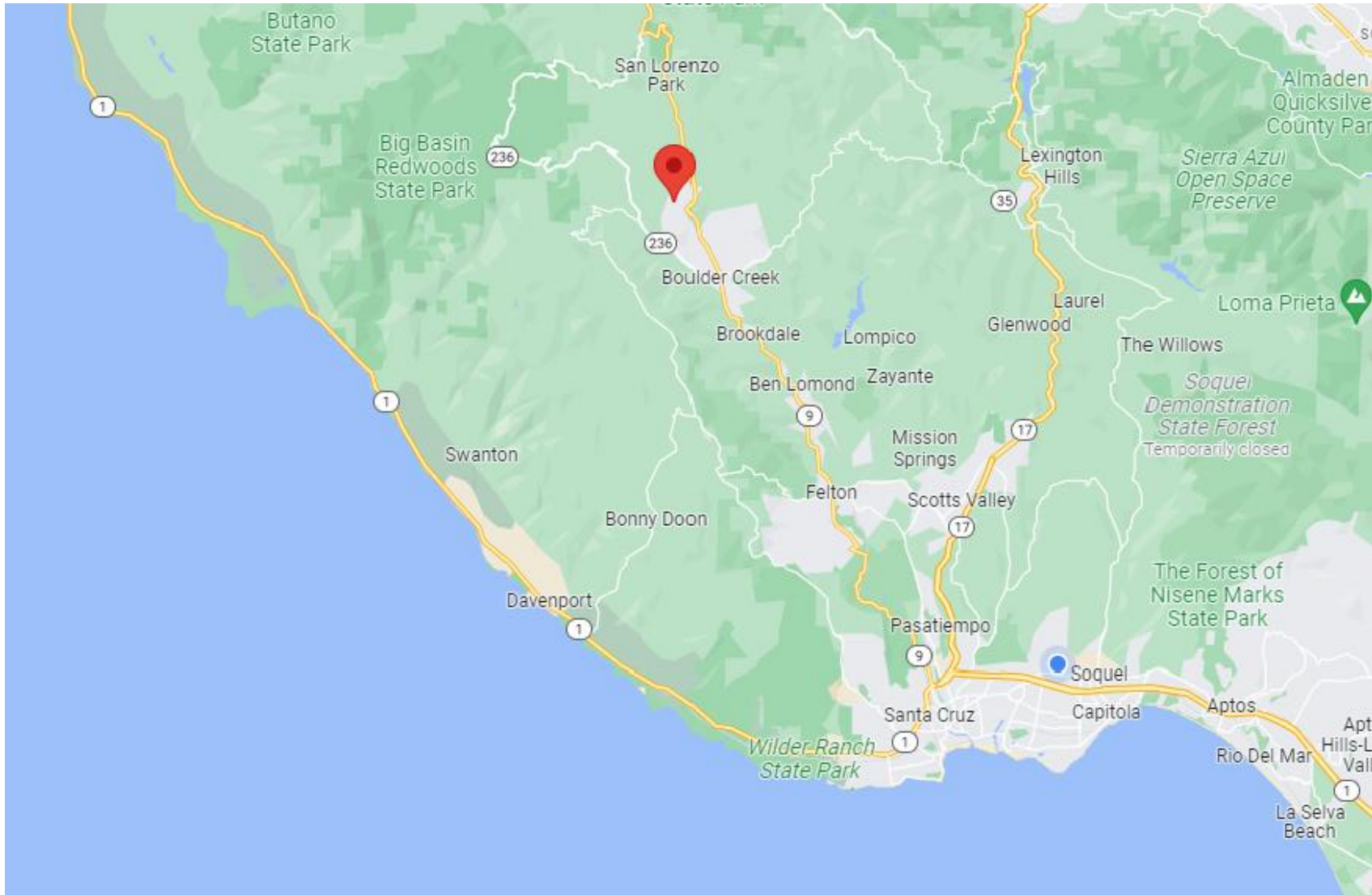
Proposal to construct a 1166 square foot 2-story single family dwelling replacement dwelling. Requires an Administrative Site Development Permit for reconstruction of a non-conforming structure located over a property line and within three feet of a right of way after a catastrophic event (CZU FIRE).

OWNER: Gerald Bardelmeier
APPLICANT: Maximilian Brandt
SUPERVISORIAL DISTRICT: 5
PLANNER: Nathan MacBeth, (831) 454-3118
EMAIL: Nathan.MacBeth@santacruzcountyca.gov

Public comments must be received by 5:00 p.m. May 21, 2024. A decision will be made on or shortly after May 22, 2024.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. Planner will provide notification of decision to any requesting party.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.



GENERAL NOTES:

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS, ORDINANCES AND REGULATIONS APPLICABLE AS FOLLOWS:
 - 2022 CALIFORNIA BUILDING CODE
 - 2022 CALIFORNIA RESIDENTIAL CODE
 - 2022 CALIFORNIA MECHANICAL CODE
 - 2022 CALIFORNIA PLUMBING CODE
 - 2022 CALIFORNIA ELECTRICAL CODE
 - 2022 CALIFORNIA ENERGY CODE
 - 2022 CALIFORNIA GREEN BUILDING CODE
 - 2022 CALIFORNIA FIRE CODE AS ADOPTED BY THE STATE OF CALIFORNIA AND THE LOCAL FIRE PROTECTION DISTRICT
 - SANTA CRUZ COUNTY CODE AMENDMENTS
- NOTHING IN THE CONTRACT DOCUMENTS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES, LAWS, ORDINANCES AND REGULATIONS.
- ALL WORK LISTED, SHOWN, OR IMPLIED ON ANY CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE NOTED OTHERWISE THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE THE WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER'S REQUIREMENTS.
- CONTRACTOR SHALL FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCING WITH COST ESTIMATE.
- ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED ON PROJECT SITE BY THE CONTRACTOR AND EACH TRADE BEFORE WORK BEGIN. ERRORS, OMISSIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE CONSTRUCTION BEGINS.
- ALL ITEMS ARE NEW UNLESS SPECIFICALLY INDICATED OR NOTED AS EXISTING.
- ALL DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE OF COLUMN OR CENTERLINE OF DOOR OR OTHER SCHEDULED OPENING.
- COORDINATION:
 - THE CONTRACTOR SHALL COORDINATE LAYOUT DIMENSIONS INDICATED ON THE LANDSCAPE, STRUCTURAL, AND ELECTRICAL DRAWINGS WITH THOSE INDICATED ON THE ARCHITECTURAL DRAWINGS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - SEE ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS, ELEVATIONS, DEPRESSIONS IN SLAB, OPENINGS IN WALLS AND ROOF, ROOF SLOPE, CRICKETS, AND ROOF DRAINS.
 - IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE CONSTRUCTION DOCUMENTS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN.
 - THE CONTRACTOR SHALL VERIFY ALL ELECTRICAL, MECHANICAL, TELEPHONE AND SECURITY REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
 - THE CONTRACTOR SHALL COORDINATE THE LOCATIONS OF LIGHTS, HVAC OUTLET AND INLET REGISTERS, AND SMOKE DETECTORS BEFORE CONSTRUCTION BEGINS.
- ON ALL CONTINUOUS SURFACES WHERE CONSTRUCTION INVOLVES MORE THAN ONE MATERIAL, FINISH OR MATERIAL THICKNESS, ALIGN FACE OF FINISH U.N.O.
- THE CONTRACTOR SHALL REPLACE OR REPAIR, AT CONTRACTOR'S EXPENSE, ALL DAMAGED, REMOVED OR OTHERWISE DISTURBED EXISTING UTILITIES, IMPROVEMENTS OR FEATURES OF WHATEVER NATURE, TO THEIR ORIGINAL CONDITION WHETHER SHOWN ON THE DRAWINGS OR NOT.
- VERIFY MOUNTING HEIGHTS OF BACKING PLATES AND SPECIAL STRUCTURAL SUPPORT REQUIREMENTS WITH EQUIPMENT MANUFACTURERS BEFORE INSTALLING BACKING PLATES AND SUPPORT.
- THE USE OF THE WORD "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED AND CONNECTED, WHERE SO REQUIRED, U.N.O.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES, AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.

PROJECT SCOPE

NEW TWO-STORY SINGLE-FAMILY RESIDENCE TO REPLACE A SIMILAR RESIDENCE THAT WAS DESTROYED IN THE CZU FIRES

CONTACTS

OWNER
GERALD BARDELMEIER
565 SUNSET ROAD
BOULDER CREEK / CA 95006
MOBILE: (408) 449-7682
grbm@comcast.net

DESIGNER
MAXIMILIAN BRANDT
3401 WINKLE AVE
SANTA CRUZ / CA 95065
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STRUCTURAL DESIGN
ASH ROAKE ENGINEERING
15E BEACH STREET
WATSONVILLE / CA 95076
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GEOTECHNICAL
DEES & ASSOCIATES, INC
501 MISSION STR., SUITE 8A
SANTA CRUZ / CA 95060
PHONE: (831) 427-1770
beckyb@deesandassociates.com

PROJECT DATA

APN: 083-053-06
ZONING: R-1-15
OCCUPANCY: R3
CONSTRUCTION TYPE: YB
SPRINKLERED: YES
YEAR BUILT (PRE-FIRE STRUCTURE): 1938

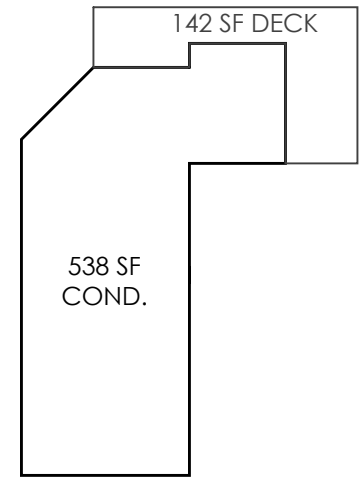
GEOGRAPHIC POSITION (PRE-FIRE & PROPOSED)
LATITUDE: 37.1538744
LONGITUDE: 122.142273

LOT SIZE
APN 083-052-09: 0.03 ACRES (1,667 SF)
APN 083-053-06: 0.11 ACRES (4,879 SF)
APN 083-053-07: 0.58 ACRES (25,115 SF)
BEACH WOOD RD.: 0.13 ACRES (5,773 SF)
TOTAL: 0.86 ACRES (37,434 SF)

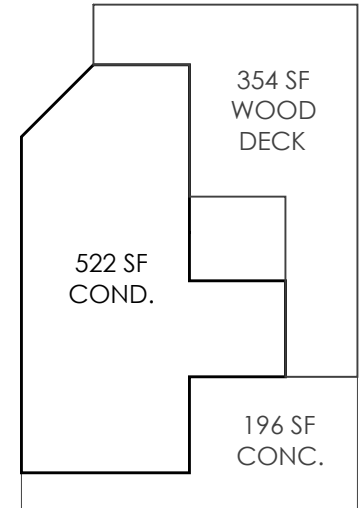
FLOOR AREAS
SHED: ±100 SF
RESIDENCE:
PRE-FIRE:
CONDITIONED: 1,061 SF
DECK: 496 SF
PROPOSED:
CONDITIONED:
LOWER FLOOR: 486 SF
UPPER FLOOR: 680 SF
TOTAL: 1,166 SF (1,167 SF MAX.)
UNCONDITIONED:
DECK: 194 SF
LOWER FLOOR: 112 SF
UPPER FLOOR: 297 SF
TOTAL: 409 SF

PARCEL COVERAGE
PRE-FIRE: 2.6% (976 SF)
PROPOSED: 2.9% (1,077 SF)

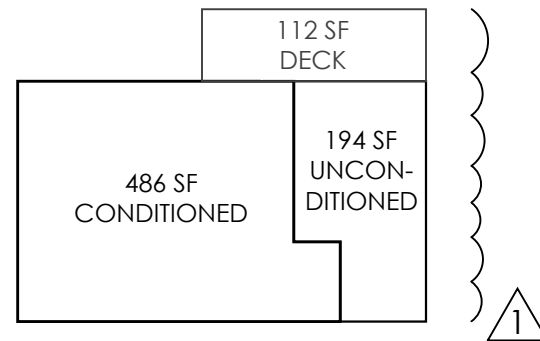
AREA DIAGRAMS



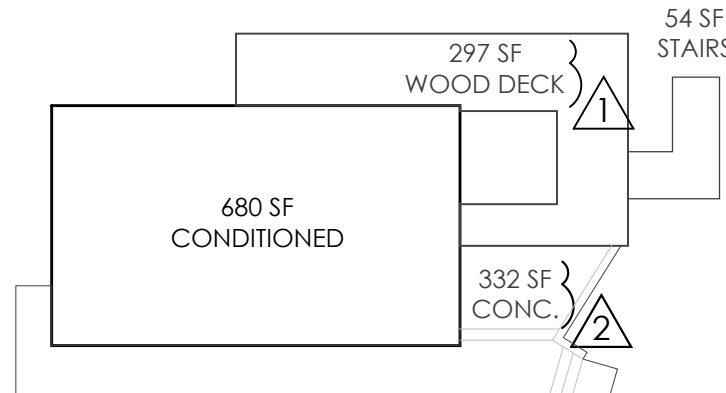
PRE-FIRE
LOWER FLOOR



PRE-FIRE
UPPER FLOOR



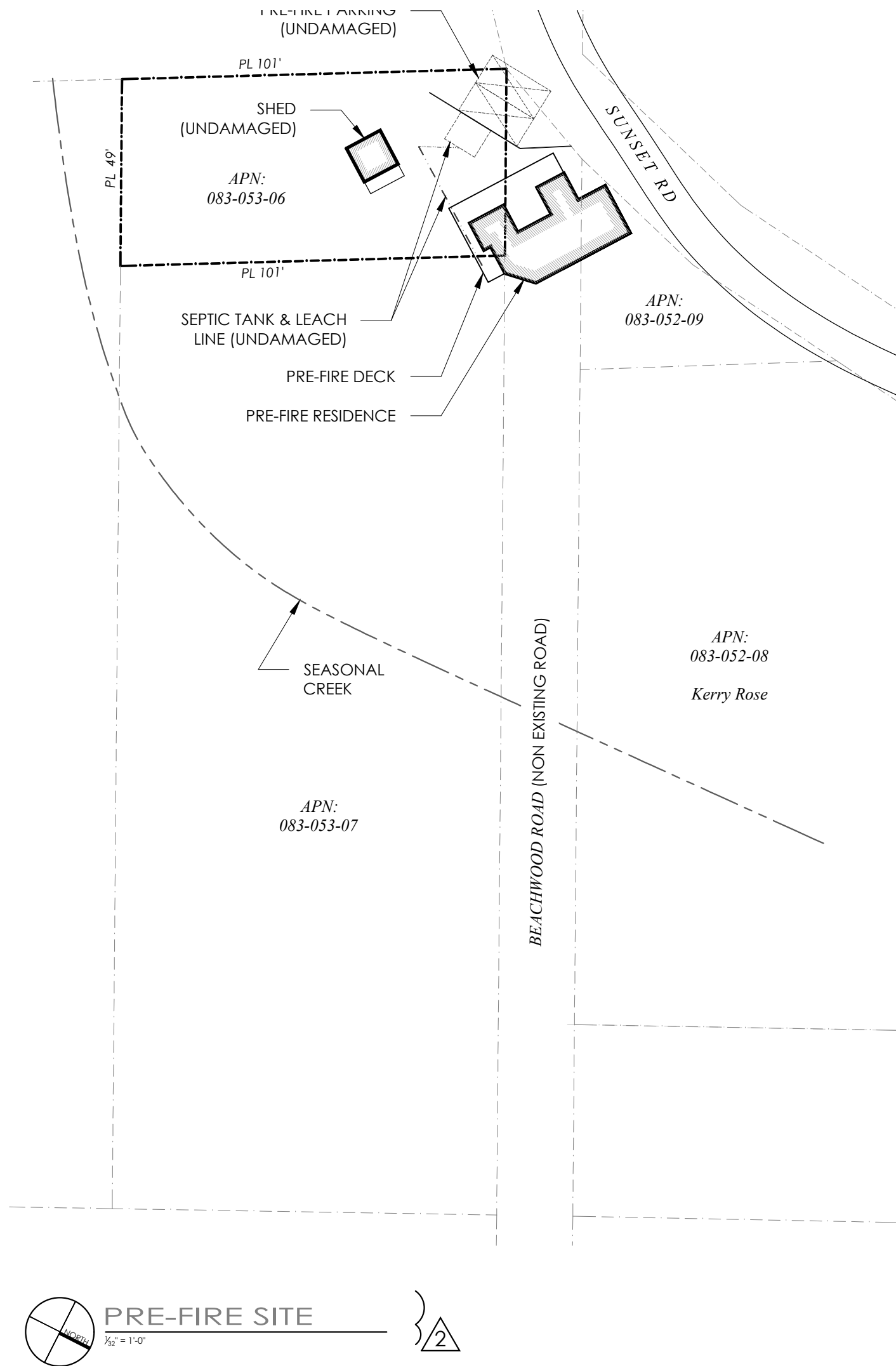
PROPOSED
LOWER FLOOR



PROPOSED
UPPER FLOOR

SHEET INDEX

- ARCHITECTURAL**
- A1 VICINITY MAP, PROJECT SCOPE, PROJECT DATA, SHEET INDEX, GENERAL NOTES
 - A2 SITE PLAN
 - A2.1 STORM DRAINAGE & BEST MANAGEMENT PRACTICES
 - A3 FLOOR PLANS & ROOF PLAN
 - A4 SECTION
 - A5 ELEVATIONS



MAXIMILIAN BRANDT

RESIDENTIAL DESIGN
3401 WINKLE AVE
SANTA CRUZ, CA 95006
TEL: 831.325.6892

Brandt

BARDELMEIER
CZU FIRE REPLACEMENT HOME
565 SUNSET ROAD
BOULDER CREEK, CA 95006
APN: 083-052-09 & 083-053-06 & 083-053-07

VICINITY MAP,
PROJECT SCOPE,
PROJECT DATA,
SHEET INDEX,
GENERAL NOTES,
PRE-FIRE SITE PLAN

SCALE AS NOTED
DATE 9/8/2023

REVISIONS

1	12/13/2023
2	1/31/2024

PRE-CLEARANCE

A1

BARDELMEIER
CZU FIRE REPLACEMENT HOME

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SITE PLAN

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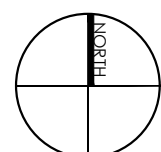
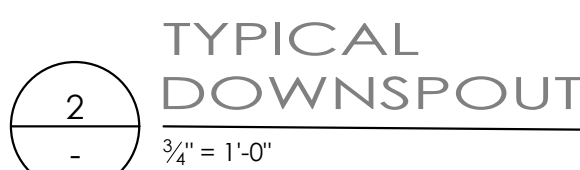
PRE-CLEARANCE

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3401 WINKLE AVE
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APN: 083-052-09 & 083-053-06 & 083-053-07

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL. EROSION CONTROL MEASURES SHALL BE CONTINUALLY MAINTAINED THROUGHOUT THE RAINY SEASON. THE EROSION CONTROL PLAN SHALL BE RE-EVALUATED AND ADJUSTED ACCORDINGLY AS THE SITE CHANGES AND AFTER RAIN EVENTS.
2. NO GRADING SHALL TAKE PLACE BETWEEN OCTOBER 15TH AND APRIL 15TH WITHOUT A WINTER GRADING PERMIT.
3. EROSION CONTROL MEASURES SHALL BE IN PLACE BETWEEN OCTOBER 15TH AND APRIL 15TH, OR FORECASTED RAIN.
4. EXPOSED SOIL SHALL BE TRACK ROLLED AND PROTECTED FROM EROSION AT ALL TIMES, COVERED WITH STRAW AND SEED. SEED SHALL CONSIST OF ANNUAL WINTER BARLEY.
5. SILT FENCES, FIBER ROLLS, STRAW BALES OR OTHER MEANS SHALL BE EMPLOYED TO PREVENT TURBID RUNOFF TO DRAINAGE AREAS OR TO ADJOINING PROPERTIES.
6. SILT FENCING AND FIBER ROLLS SHALL BE INSTALLED BEFORE AREAS OF GRADING PARALLEL TO CONTOURS. HAY BALES SHALL BE INSTALLED AROUND CATCH BASINS DURING CONSTRUCTION.
7. EROSION CONTROL BLANKETS SHALL BE PLACED ON CUT AND FILL SLOPES EQUAL TO AND GREATER THAN 2:1 (H:V).
8. BERMS SHALL BE CONSTRUCTED ON THE TOP OF CUT AND FILL SLOPES.
9. INACTIVE SOIL STOCKPILES SHALL BE COVERED WITH PLASTIC. ACTIVE STOCKPILES SHALL BE COVERED PRIOR TO A FORECASTED RAIN EVENT.
10. ACTIVE ROADS SHALL BE ROCKED WITH 2 INCH TO 3 INCH COARSE AGGREGATE, MINIMUM 6 INCHES THICK.
11. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED UNTIL THE FINAL DRAINAGE SYSTEM IS CONSTRUCTED AND THE PERMANENT LANDSCAPING IS ESTABLISHED.
12. SOILS TRACKED ON ADJACENT STREETS SHALL BE CLEANED UP AT THE END OF EACH WORK DAY.
13. THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DOWN AT THE END OF THE WORK DAY, NO VEGETATION REMOVAL OR GRADING WILL BE ALLOWED WHICH WILL RESULT IN SILTATION OF WATER COURSES OR UNCONTROLLABLE EROSION.
14. WHILE IN TRANSIT TO AND FROM THE PROJECT SITE, ALL TRUCKS TRANSPORTING FILL SHALL BE EQUIPPED WITH TARPS.
15. ALL EXCAVATION FILL SHALL BE REMOVED TO AN APPROVED DUMP SITE.

1. PAVEMENT:
 - 1.1. NO ERODIBLE AREAS SHALL DRAIN ONTO PAVEMENT
 - 1.2. SUBGRADE SHALL BE UNIFORM AND MINIMALLY COMPACTED
 - 1.3. RESERVOIR BASE COURSE SHALL BE OF OPEN-GRADED CRUSHED STONE. BASE DEPTH SHALL BE ADEQUATE TO RETAIN RAINFALL AND SUPPORT DESIGN LOADS.
 - 1.4. WHERE SUBDRAIN IS PROVIDED, OUTLET ELEVATION SHALL BE 3" ABOVE BOTTOM OF BASE COURSE.
2. CONSTRUCTION MATERIALS:
 - 2.1. LOOSE STOCKPILED MATERIALS THAT ARE NOT ACTIVELY BEING USED SHALL BE COVERED AND BERMED.
 - 2.2. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED.
 - 2.3. ALL CHEMICALS SHALL BE STORED IN WATER TIGHT CONTAINERS OR IN A STORAGE SHED.
 - 2.4. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.
3. WASTE MANAGEMENT:
 - 3.1. DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
 - 3.2. SANITATION FACILITIES SHALL BE CONTAINED TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM A DRAINAGE FACILITY.
 - 3.3. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND MAINTAINED AS NECESSARY.
 - 3.4. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY WORK DAY AND DURING A RAIN EVENT.
 - 3.5. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM SHALL BE PREVENTED. STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN UNLESS BEING ACTIVELY USED.
 - 3.7. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
 - 3.8. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND SHALL BE USED TO CLEAN LEAKS OR SPILLS IMMEDIATELY. ASSOCIATED WASTE SHALL BE IMMEDIATELY CLEANED AND DISPOSED OF.
 - 3.9. WASHOUT AREAS THAT MAY CONTAIN POLLUTANTS SHALL BE CONTAINED WITH NO DISCHARGE TO SURROUNDING AREA.
4. VEHICLE STORAGE AND MAINTENANCE:
 - 4.1. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK INTO THE GROUND, STORM DRAINS, OR SURFACE WATERS.
 - 4.2. ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED, AND STORED ON SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs
 - 4.3. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.
5. LANDSCAPE MATERIALS:
 - 5.1. DISCONTINUE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
 - 5.2. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT BEING USED.
 - 5.3. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT BEING USED.
 - 5.4. APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURER RECOMMENDATIONS.
 - 5.5. STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING WHEN NOT BEING USED OR APPLIED.



&
BEST MANAGEMENT
PRACTICES

SCALE AS NOTED
DATE 9/8/2022

1	12/13/202
2	1/31/202

PRE-CLEARANCE

A2.1

EGRESS WINDOW REQUIREMENTS PER CBC 1030

- MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET
- MINIMUM NET CLEAR OPENABLE HEIGHT OF 24"
- MINIMUM NET CLEAR OPENABLE WIDTH OF 20"
- FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR

SAFETY GLASS REQUIREMENTS






THE AREAS CONSIDERED TO BE HAZARDOUS SAFETY GLAZING AREAS REQUIRING TEMPERED GLASS ARE:

1. GLASS IN ANY DOOR;
2. GLASS IN ANY KIND OF SHOWER, BATHTUB AREA, HOT TUB, STEAM ROOM, SAUNA OR WHIRLPOOL AREA WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN OUTLET;
3. GLASS IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE;
4. GLASS IN FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - * BOTTOM EDGE IS LESS THAN 18" ABOVE FLOOR
 - * TOP EDGE IS GREATER THAN 36" ABOVE FLOOR
 - * TOTAL AREA OF GLASS IS GREATER THAN 9 SQ. FT. (1296 SQ.IN.)
 - * ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING;

5. GLASS IN WALLS USED AS A BARRIER FOR INDOOR OR OUTDOOR SWIMMING POOLS OR SPAS WHEN BOTH OF THE FOLLOWING EXIST:
THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A POOL SIDE OF THE GLAZING,
THE GLAZING IS WITHIN 5 FEET OF A SWIMMING POOL OR SPA DECK AREA;

6. GLASS IN WALLS ENCLOSING STAIRWAY LANDINGS OR WITHIN 5 FEET OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE A WALKING SURFACE



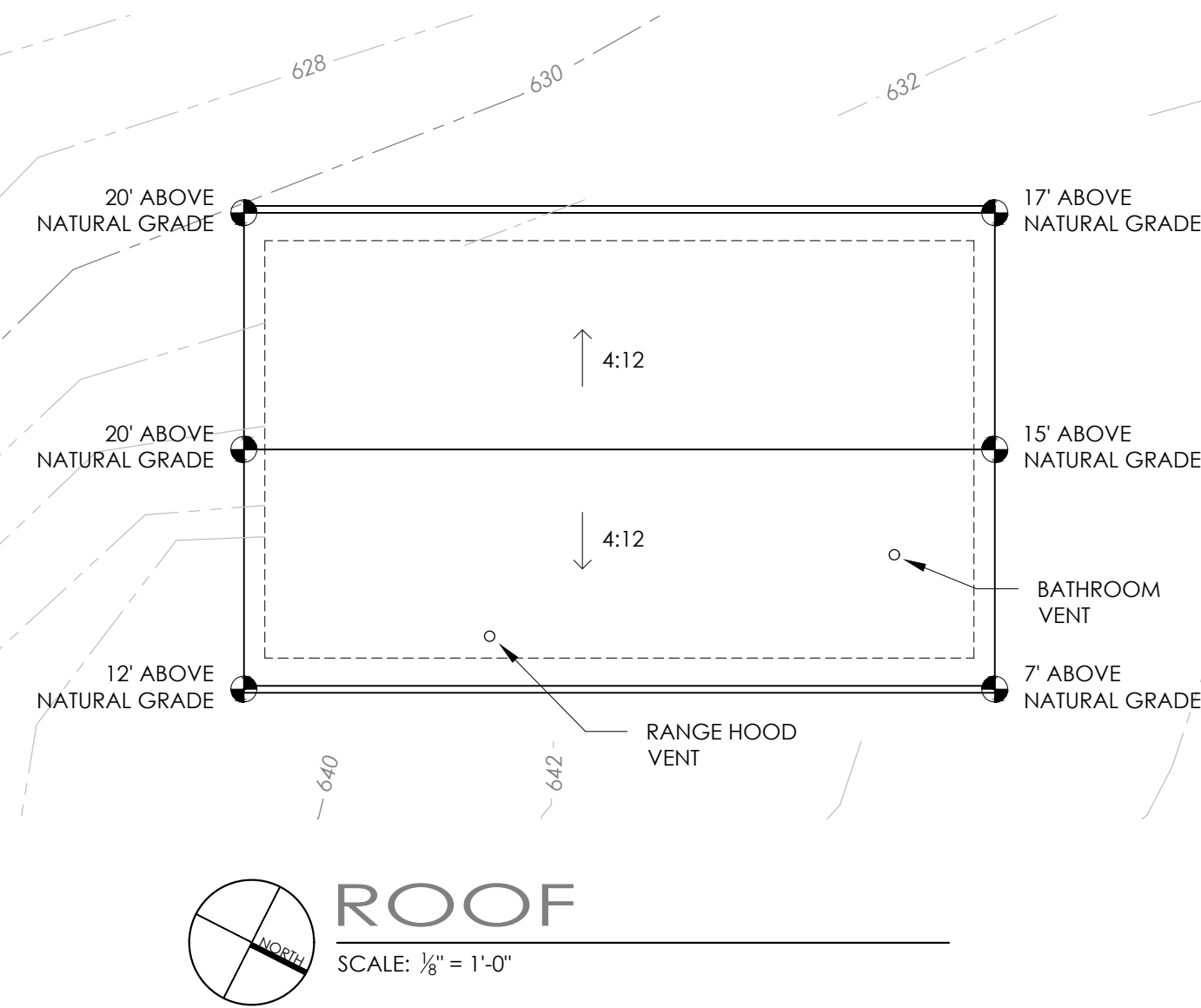
- | | |
|---|------------------------------|
|  | LOG WALL |
|  | 2X6 @ 16" O.C. WALL |
|  | 2X4 @ 16" O.C. WALL |
|  | CONCRETE WALL |
|  | DROP DOWN BEAM
IN CEILING |



SCALE: $\frac{1}{4}'' = 1'-0''$



SCALE: $\frac{1}{4}" = 1'-0"$



Brandt

BARDELMER
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FLOOR PLANS
&
ROOF PLAN

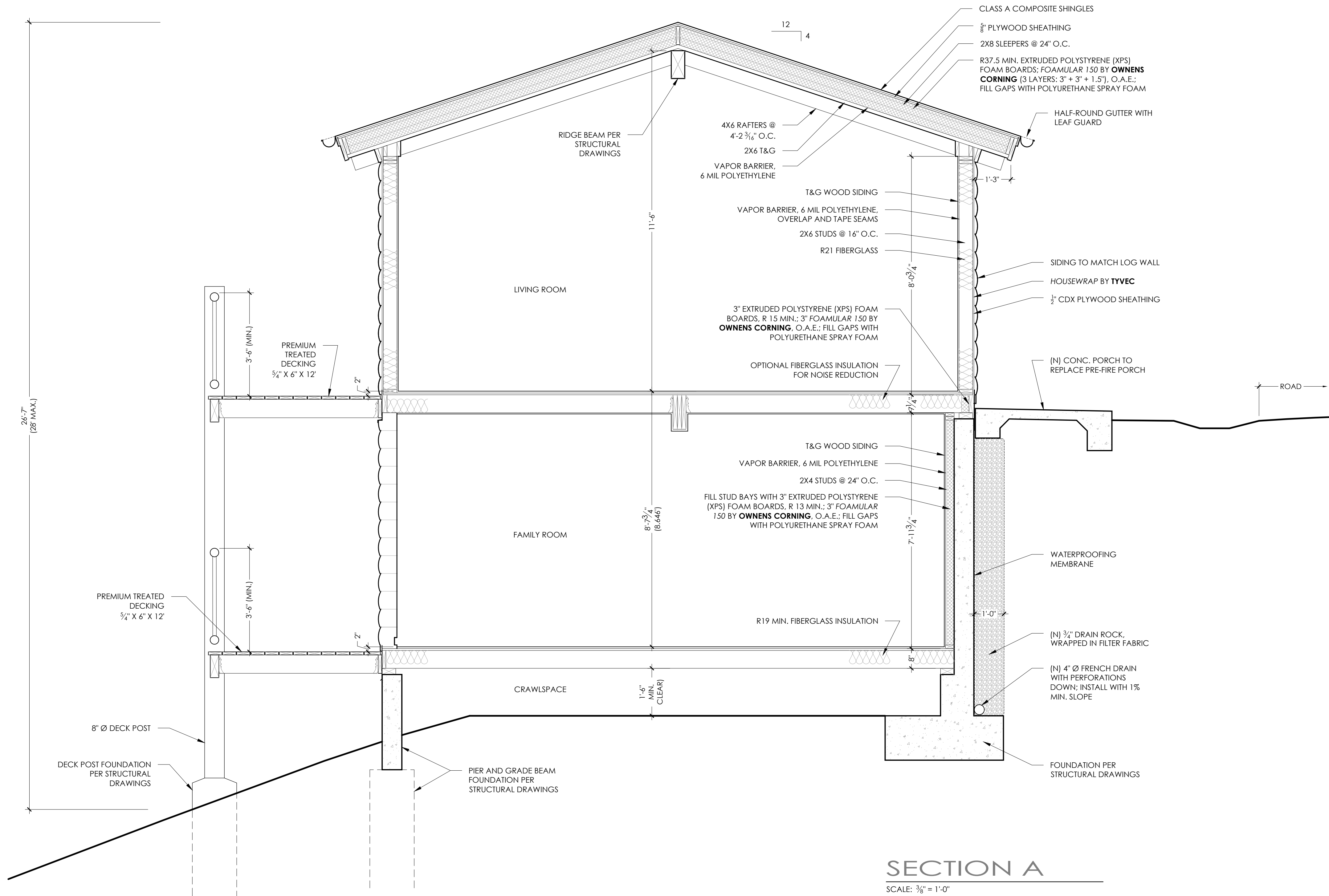
SCALE AS NOTE
DATE 9/8/2022

REVISIONS

- | | |
|---|------------|
| 1 | 12/13/2023 |
| 2 | 1/31/2024 |

PRE-CLEARANCE

A3



SECTIONS

SCALE AS NOTED
DATE 9/8/2023

REVISIONS

1 12/13/2023
2 1/31/2024

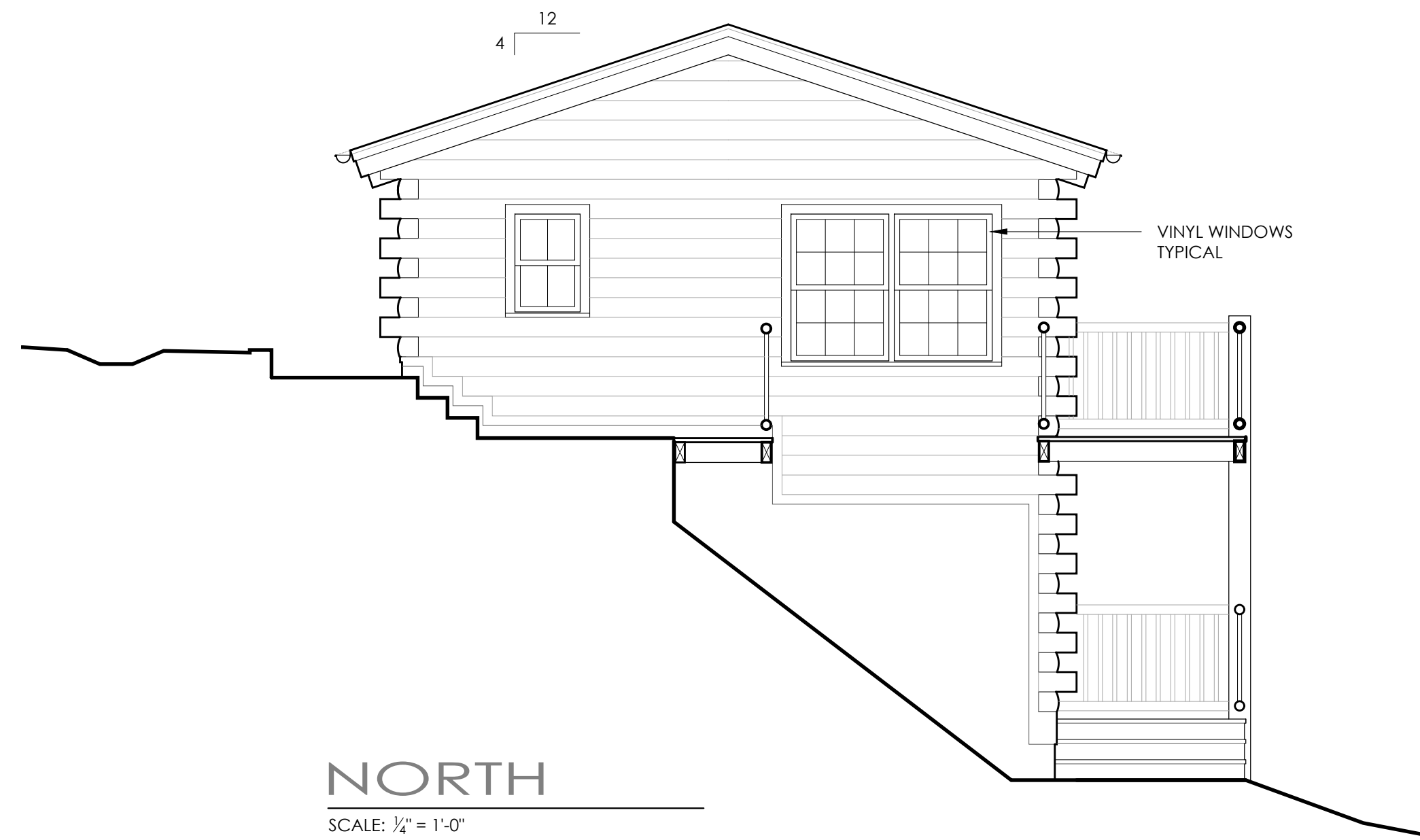
PRE-CLEARANCE

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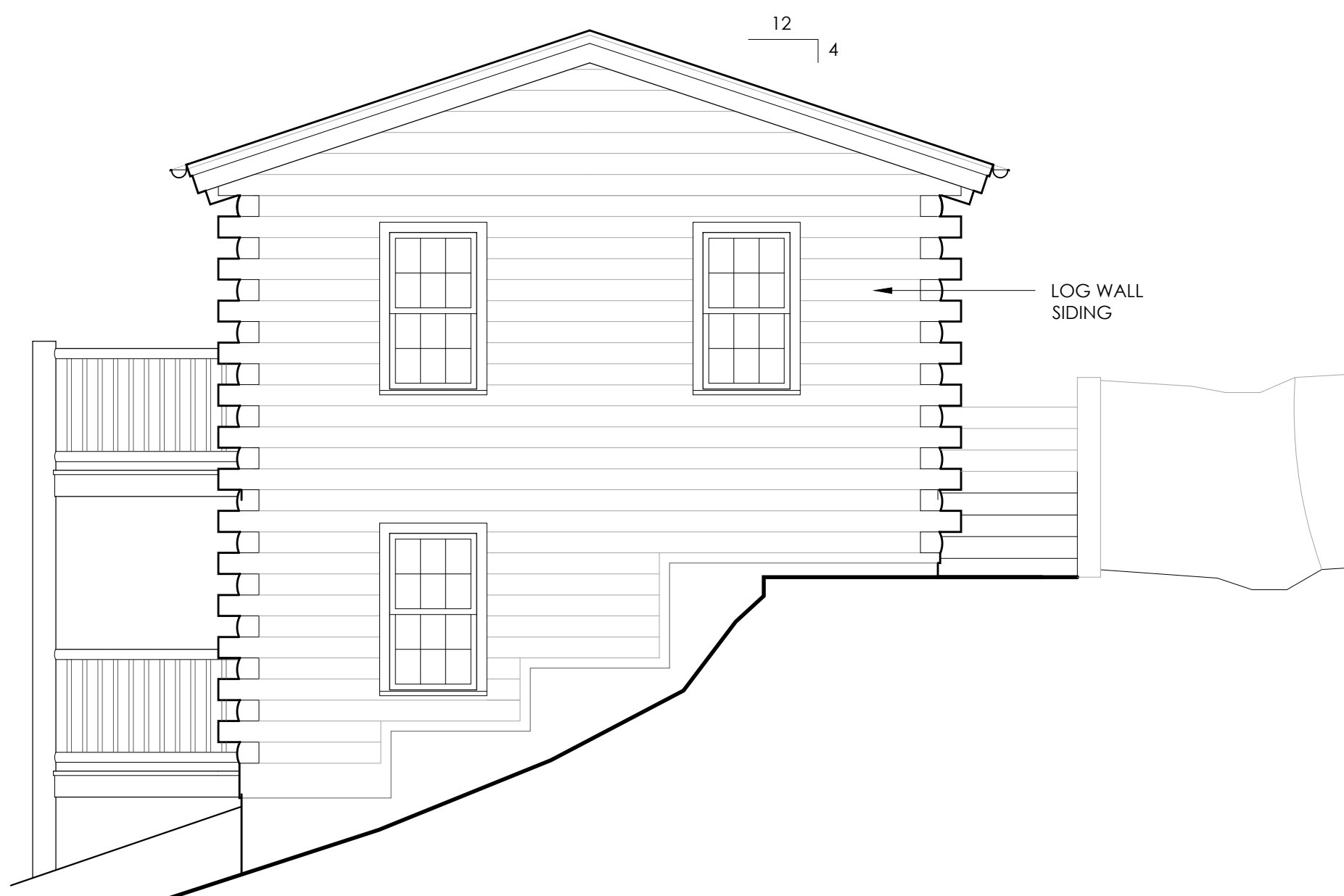
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EAST
SCALE: 1/4" = 1'-0"



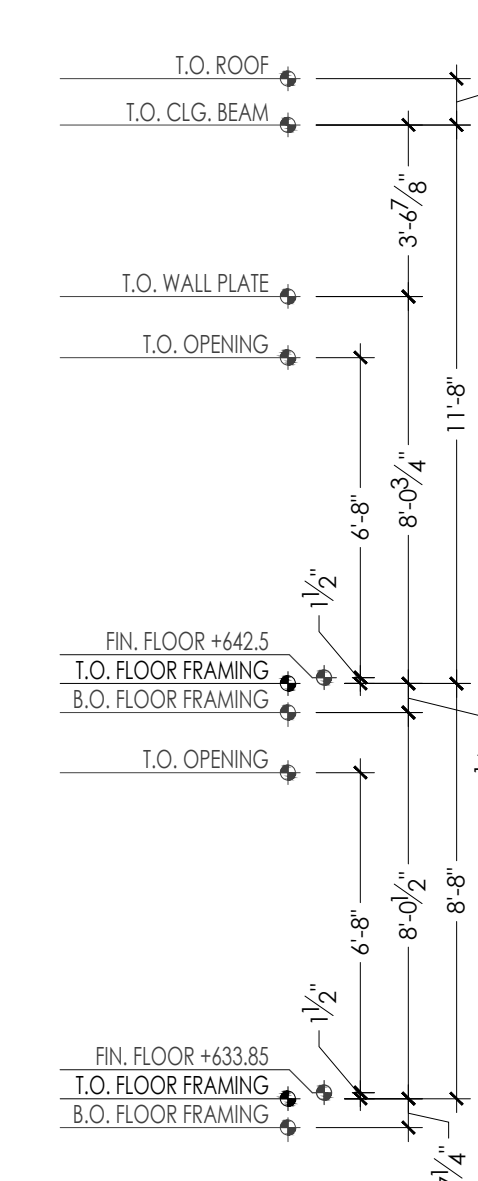
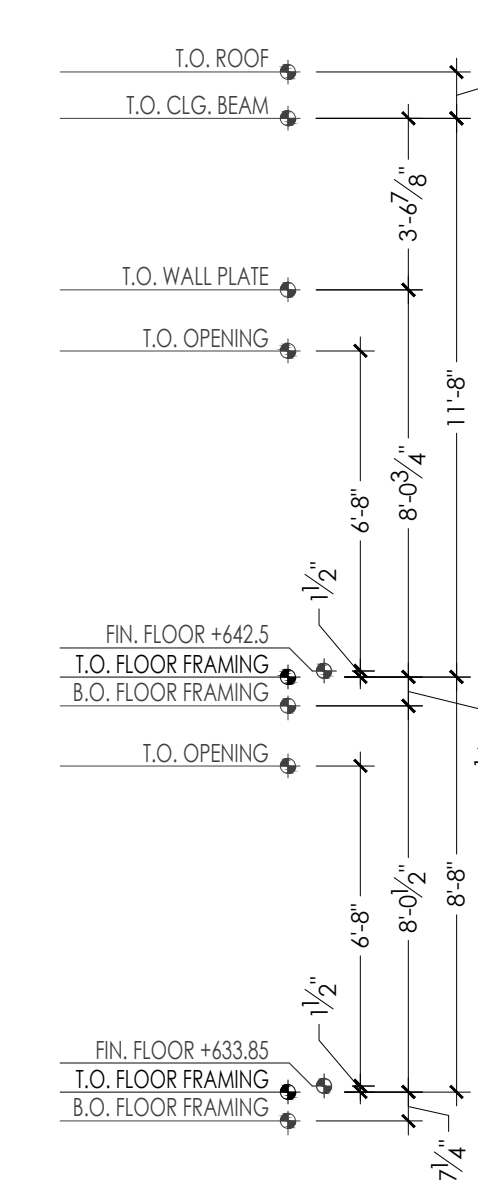
NORTH
SCALE: 1/4" = 1'-0"



SOUTH
SCALE: 1/4" = 1'-0"



WEST
SCALE: 1/4" = 1'-0"



ELEVATIONS

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PRE-CLEARANCE

