

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 241213 APN: 054-601-38
SITUS ADDRESS: 2277 Dolphin Drive, Aptos, CA 95003

Proposal to construct a new external steel, spiral staircase from the living room and recognize the existing configuration of the dwelling with 5 bedrooms.

Requires an Administrative Coastal Development Permit.

Property located on the northwestern corner of Dolphin Drive and Via Trinita (2277 Dolphin Drive).

OWNER: Steve Allen
APPLICANT: Fuse Architecture c/o : Courtney Christiansen
SUPERVISORIAL DISTRICT: 2
PLANNER: Alexandra Corvello, (831) 454-3209
EMAIL: Alexandra.Corvello@santacruzcountycalifornia.gov

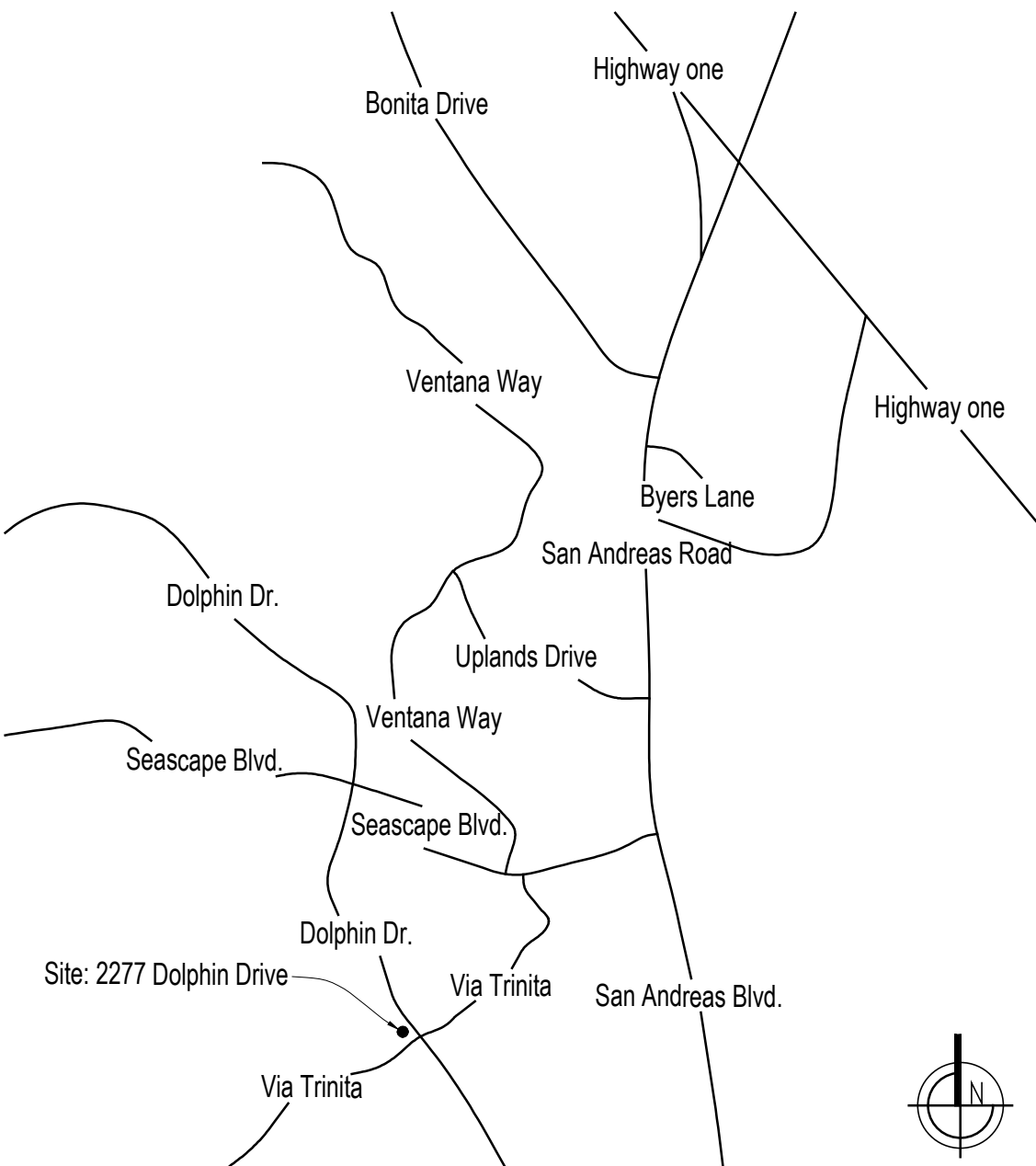
Public comments must be received by 5:00 p.m. June 9, 2025.
A decision will be made on or shortly after June 10, 2025.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. If you would like to request a public hearing be held for this item, please contact the project planner listed on this notice.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, contact the project planner identified above.

VICINITY MAP



HIGHWAY ONE SOUTH TO SAN ANDREAS ROAD EXIT (RIGHT)
RIGHT ON SEASCAPE BLVD.
RIGHT ON DOLPHIN DRIVE
ARRIVE 2277 DOLPHIN DRIVE, APTOS, CA.

GENERAL NOTES

1. ALL WORK SHALL COMPLY STRICTLY WITH THE CALIFORNIA BUILDING CODE LATEST EDITION (2022) AND ALL LOCAL CODES AND ORDINANCES.
2. ALL DIMENSIONS ARE TO FACE OF CONCRETE, MASONRY OR STUD FRAMING UNLESS NOTED OTHERWISE.
3. DRAWINGS ARE NOT TO BE SCALED. ANY DIMENSIONAL DISCREPANCIES SHALL BE CLARIFIED WITH THE ARCHITECT.
4. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY UNUSUAL GEOLOGICAL CONDITIONS.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND SHALL REPORT ANY INCONSISTENCIES TO THE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION. COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF SAID CONDITIONS.
6. CONTRACTOR SHALL VERIFY THE LOCATION AND SHALL PROVIDE PROTECTION FOR UTILITIES WITHIN THE WORK AREA, WHETHER OR NOT INDICATED IN THE DRAWINGS. CONTRACTOR SHALL NOTIFY UTILITY COMPANY IMMEDIATELY OF ANY PROBLEM OR POTENTIAL PROBLEM WITH UTILITIES.
7. GRADE IS TO SLOPE AWAY FROM THE BUILDING A MINIMUM OF 5% FOR A MINIMUM OF 10 FEET ALL AROUND
8. MECHANICAL, PLUMBING AND ELECTRICAL TO BE DESIGN BUILD, INCLUDED ITEMS ARE SCHEMATIC AND THE INSTALLATION SHALL BE REVIEWED BY THE BUILDING INSPECTOR, IN THE FIELD.
9. BUILDING NUMBERS SHALL BE PROVIDED. NUMBERS SHALL BE A MINIMUM OF 4 INCHES IN HEIGHT ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET, ADDITIONAL NUMBERS SHALL BE INSTALLED ON A DIRECTIONAL SIGN AT THE PROPERTY DRIVEWAY AND STREET.
15. n/a.
16. THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2022) AND DISTRICT AMENDMENT.
17. DRAINAGE AND DRAINAGE FEATURES SHALL CONFORM TO NPDES REQUIREMENTS
18. A BUILDING MAINTENANCE AND OPERATIONS MANUAL THAT STAYS WITH THE STRUCTURE WILL BE PLACED IN THE BUILDING AT THE TIME OF FINAL INSPECTION IN THE FORM OF A BOOKLET, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY PER 2022 CALGreen 4.410.



FINISH / COLOR OF PROPOSED SPIRAL STAIR
POWDER COATED ALUMINUM STAIR
MATTE BLACK FINISH / MANUFACTURED PRE-FINISHED



CURRENT (TO DATE) SIDE VIEW OF HOME
(ONLY AFFECTED SIDE OF THE HOME / ALL ALTERATIONS TO MATCH
CURRENT COLOR / MATERIALS SHOWN)

BUILDING CODE

OCCUPANCY	R-1
TYPE OF CONSTRUCTION	VB
FIRE SPRINKLERS	NA
APPLICABLE CODES	2022 CBC, CMC, CPC, CEC, & CFC 2022 CALIFORNIA ENERGY CODE, CGBSC & ANY OTHER APPLICABLE LOCAL CODES
DEFERRED SUBMITTALS	NA

DESCRIPTION OF WORK

PROPOSAL TO ADD (N) EXTERIOR STEEL STAIR & (N) SECOND STORY EXTERIOR DOOR TO REPLACE SECOND STORY (E) WINDOW. (N) SPIRAL STAIR & (N) EXTERIOR DOOR TO PROVIDE ADDITIONAL EGRESS TO THE (E) UPSTAIRS AREAS. ADDITIONALLY WITHIN THIS PERMIT: TO RECOGNIZE ALL EXISTING AREAS NOT RECOGNIZED WITHIN REPORTED RECORDS & ARCHIVAL DOCUMENTS. NOTE: CURRENT HOA APPROVAL PENDING COUNTY BUILDING PERMIT APPROVAL.

PHOTO TIMELINE:



SIDE VIEW OF HOME [ref: 2007 google maps]
(SEE SHEET A3 FOR ARCHIVAL INFORMATION TO REFERENCE PHOTO TIMELINES AS WELL AS ARCHIVED RECORD DOCUMENTS)

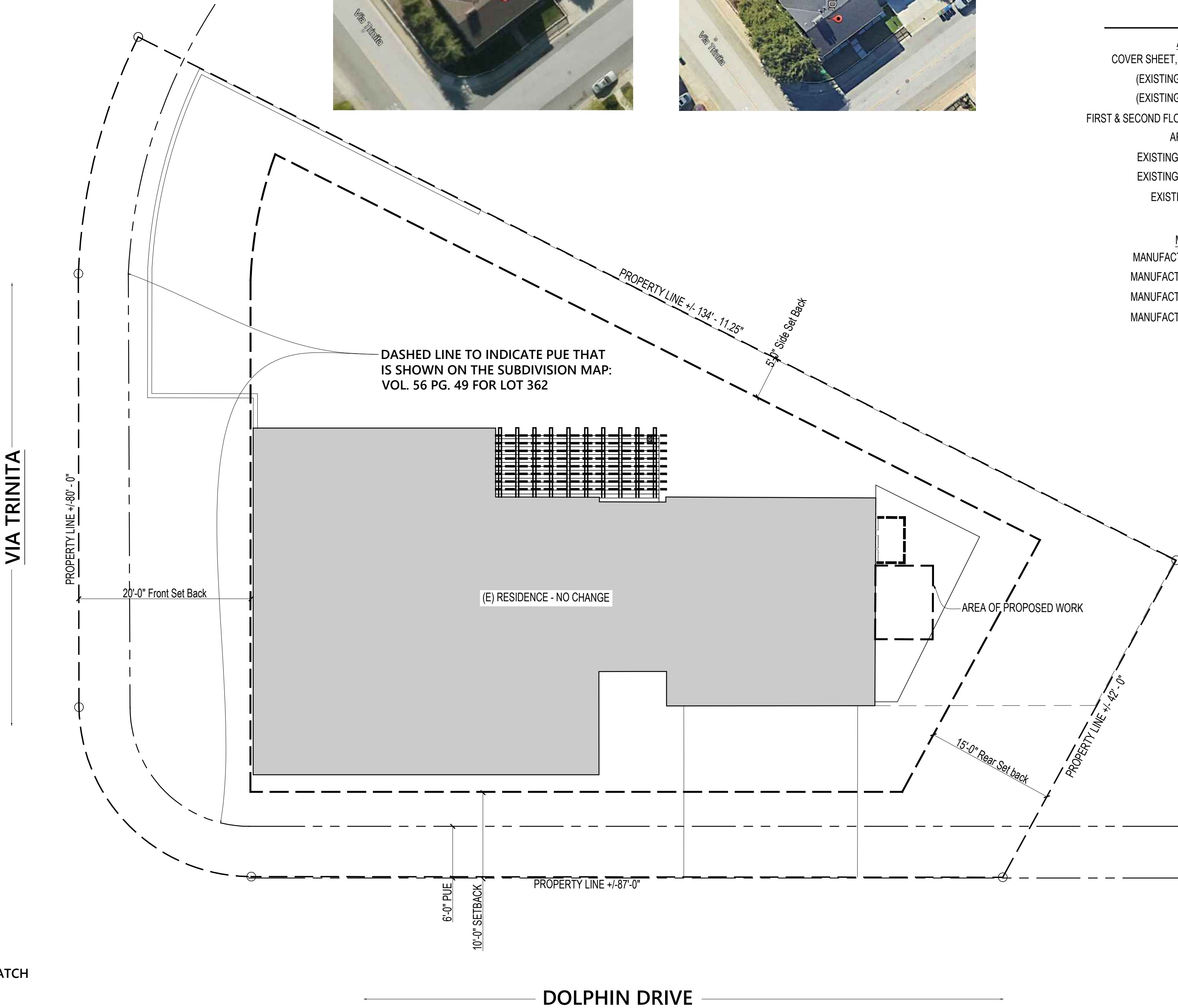


SIDE VIEW OF HOME [ref: 2024 google maps]
(SEE SHEET A3 FOR ARCHIVAL INFORMATION TO REFERENCE PHOTO TIMELINES AS WELL AS ARCHIVED RECORD DOCUMENTS)

BIRDS-EYE VIEW OF HOME [ref: 2007 google maps]



BIRDS-EYE VIEW OF HOME [ref: 2024 google maps]



DOLPHIN DRIVE

ARCHITECTURAL SITE PLAN

SCALE: 1/8" = 1'-0"

STATISTICS

APN: 054-601-38
2277 DOLPHIN DRIVE
APTOS, CALIFORNIA 95003
ZONING: R-1-6
TOTAL SITE AREA: 8,300 s.f.

MAIN BUILDING SETBACKS:
SIDE = 5'
FRONT = 20'
REAR = 15'
HEIGHT LIMIT: n/a

ARCHITECT

DANIEL GOMEZ
PH. 831.479.9295

FUSE ARCHITECTS INC.
512 CAPITOLA AVENUE
CAPITOLA CA 95010
fuse@fusearchitecture.com

ENGINEER

LEONARD WILLIS
PH. 831.426.8444

REDWOOD ENGINEERING
1535 SEABRIGHT AVENUE #200
SANTA CRUZ CA 95062
leonard@redwoodengineering.net

DRAWING INDEX

- ARCHITECTURAL & STRUCTURAL SHEETS:
COVER SHEET, SITE PLAN & PROJECT INFORMATION : A1.0
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DOLPHIN RESIDENCE



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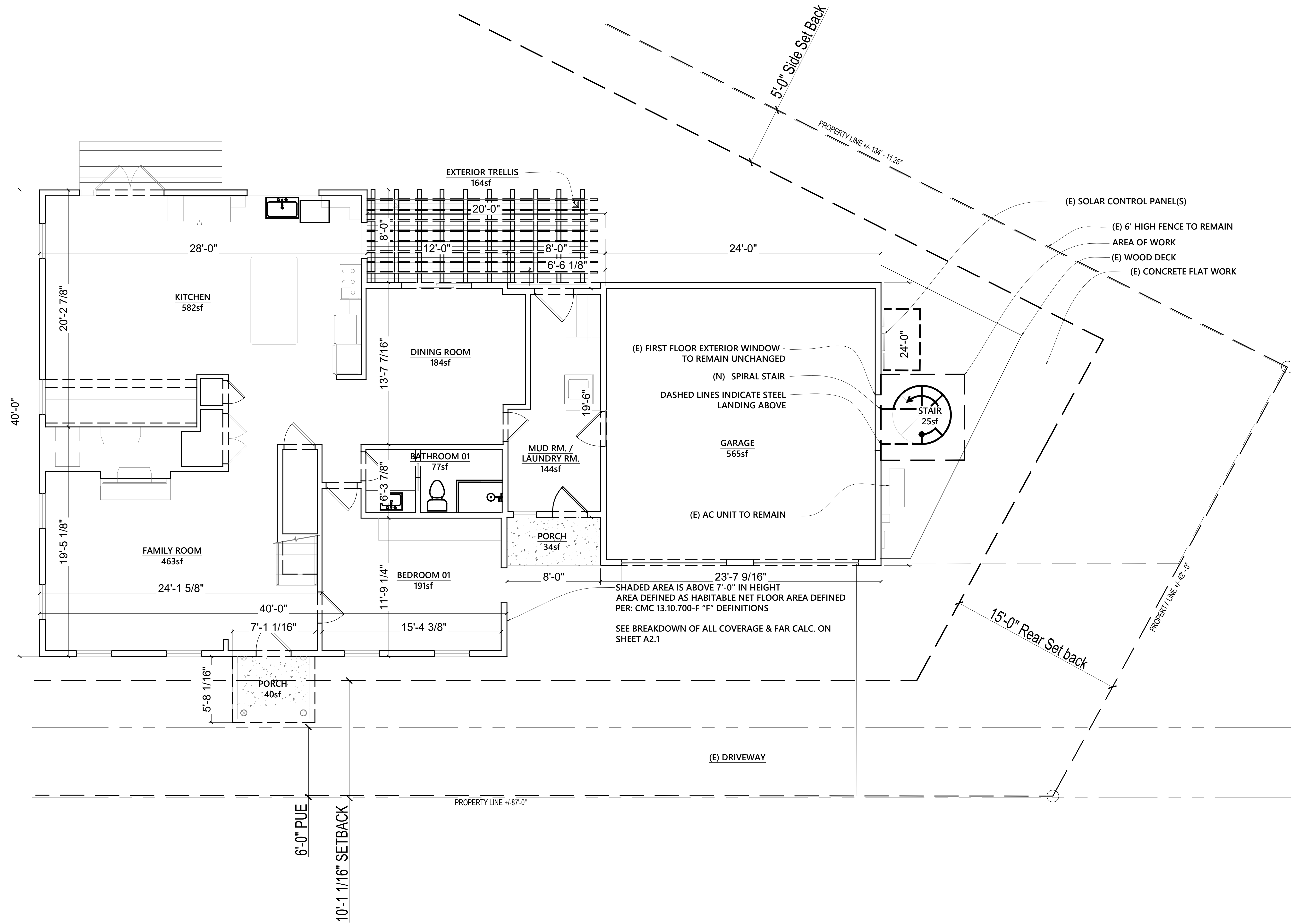
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2277 DOLPHIN DRIVE, APTOS CA 95003
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OCTOBER 26, 2023
BLDG. 5.20.24
BLDG. / 22.24
RESUB. 12.17.24
PLN. RESUB. 2.17.25

COVER SHEET, SITE PLAN
& PROJECT DATA

A1.0

THESE DRAWINGS AND THE DESIGN IDEAS AND SPECIFICATIONS DEPICTED HEREIN ARE THE EXCLUSIVE PROPERTY OF FUSE ARCHITECTS, INC. AND SHALL NOT BE DUPLICATED, USED, OR DISCLOSED FOR ANY PURPOSE WITHOUT WRITTEN CONSENT OF FUSE ARCHITECTS, INC. - ALL COPYRIGHTS AND PROPERTY RIGHTS ARE EXPRESSLY RESERVED



EXISTING / PROPOSED FLOOR PLAN - LEVEL 01

SCALE: 1/4" = 1'-0"



EXISTING / PROPOSED LEVEL 01
FLOOR PLANS

A2.0

OCTOBER 26, 2023
BLDG. 5.20.24
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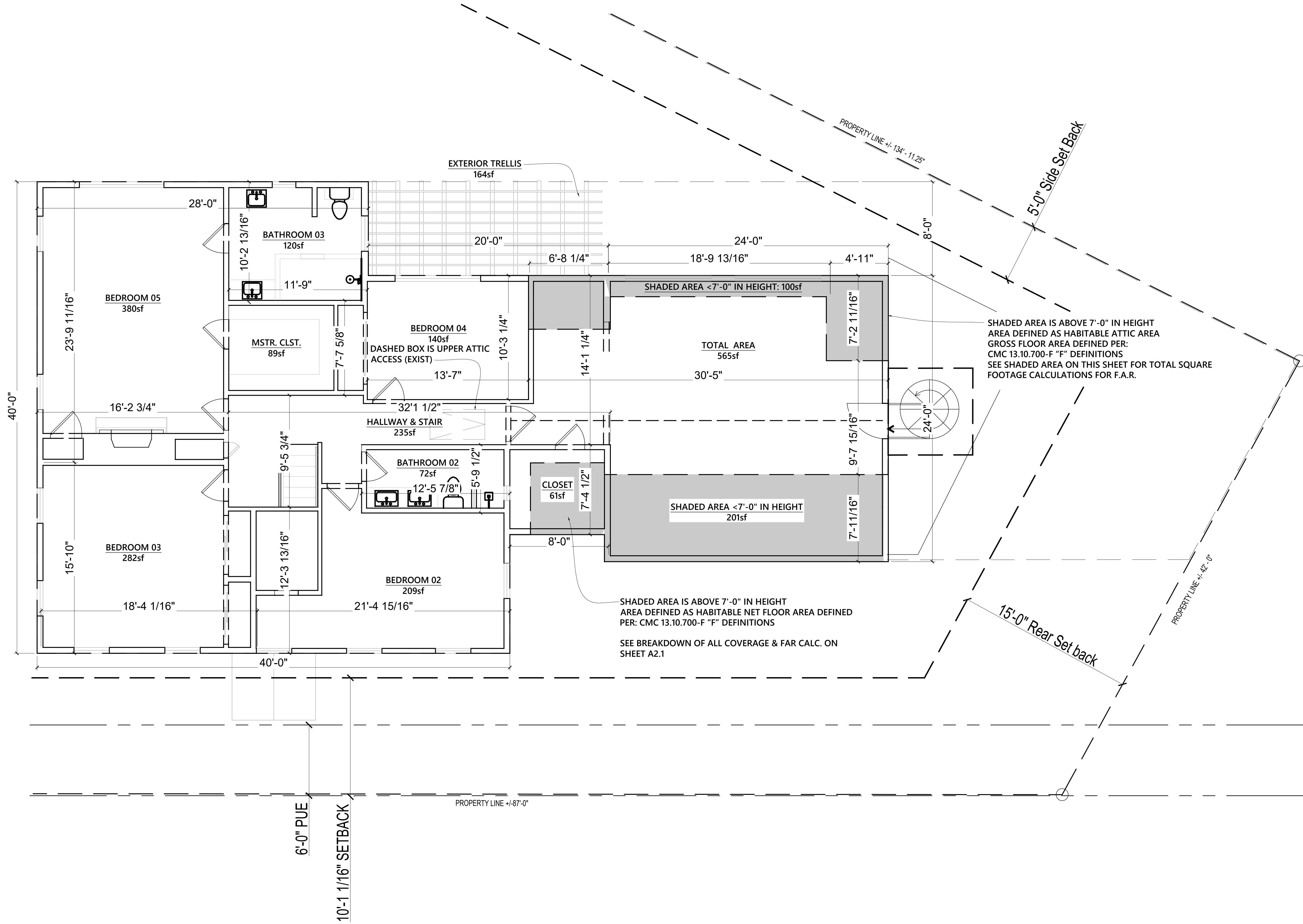
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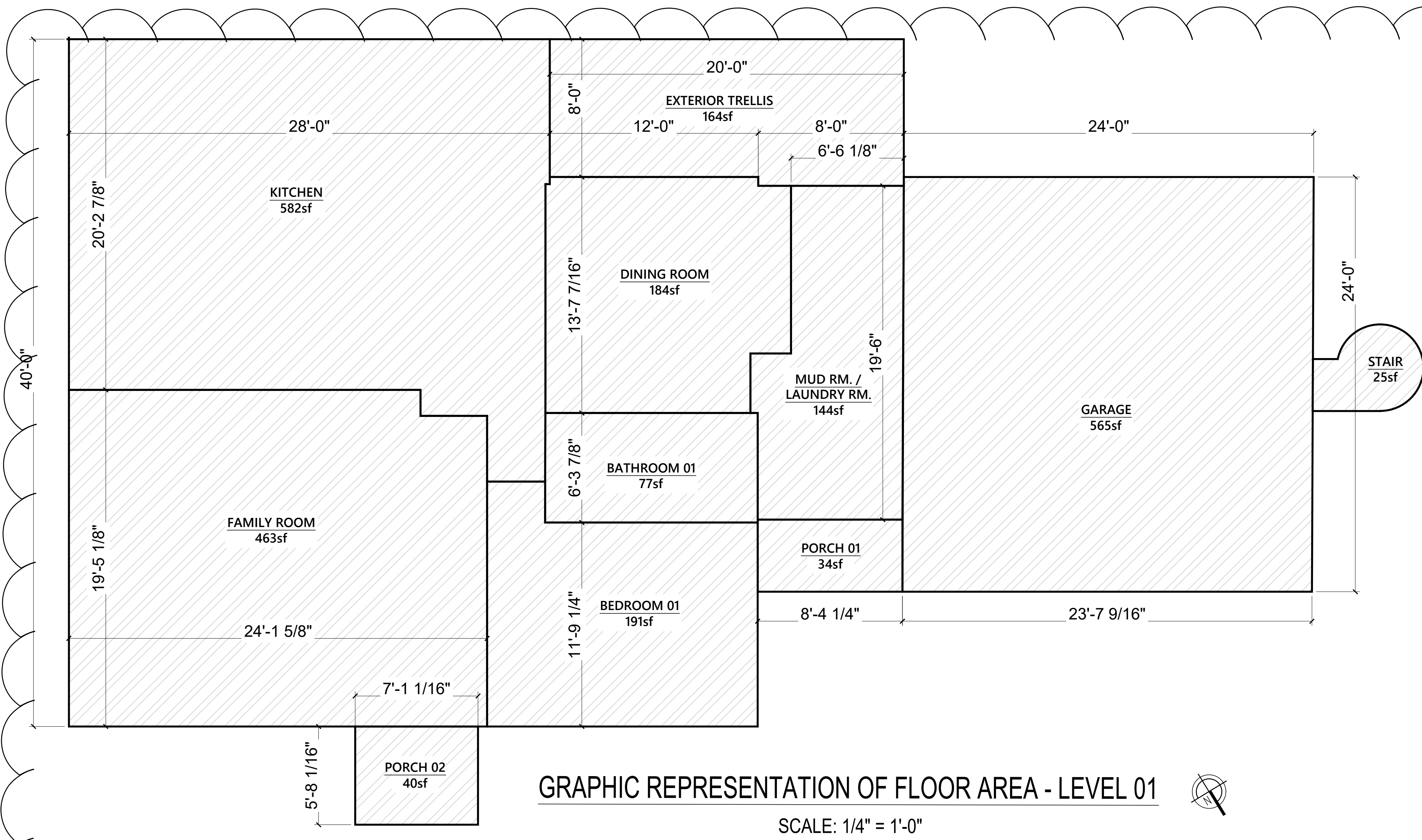


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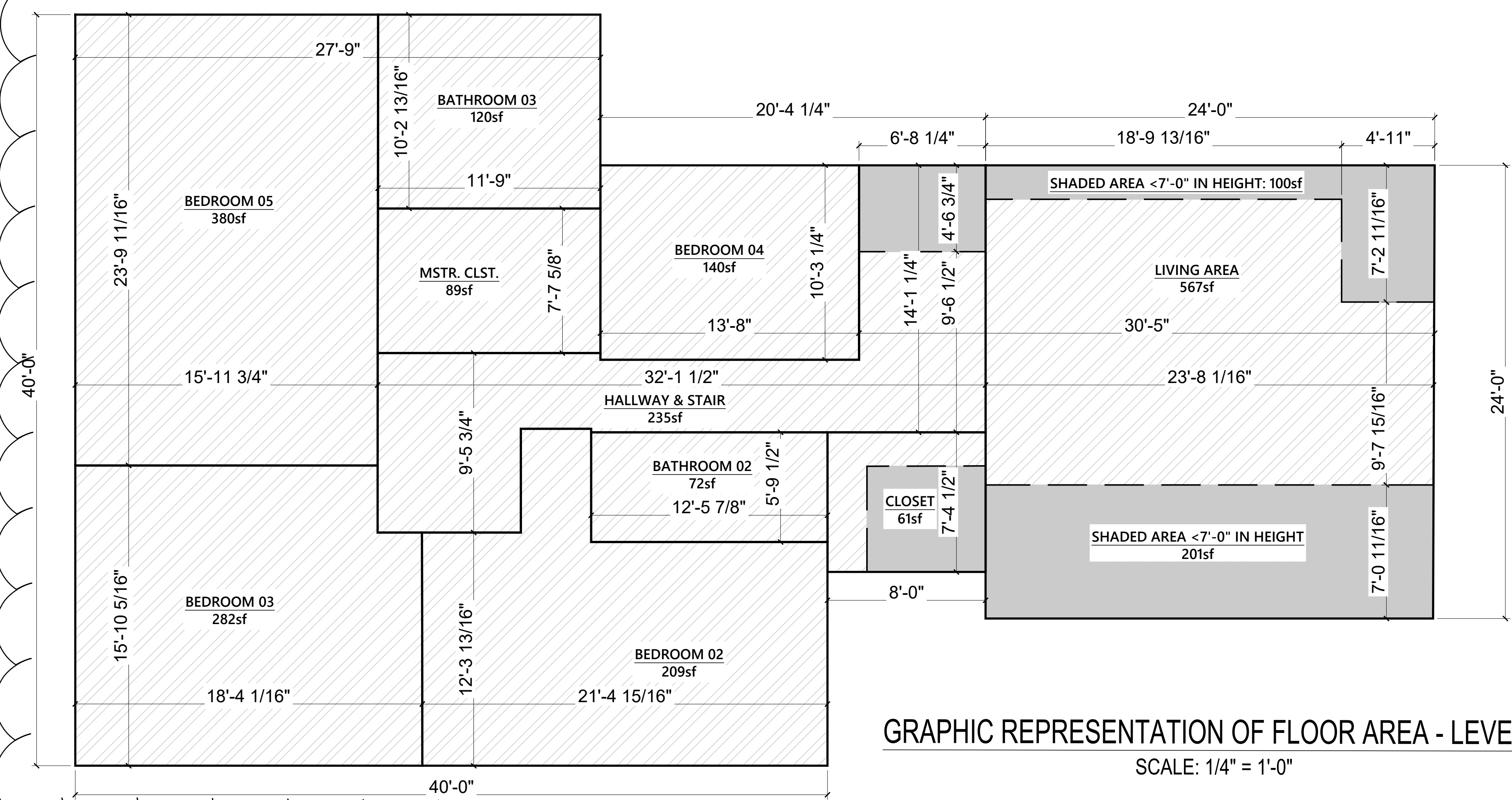
EXISTING / PROPOSED FLOOR PLAN - LEVEL 02
SCALE: 1/4" = 1'-0"





GRAPHIC REPRESENTATION OF FLOOR AREA - LEVEL 01

SCALE: 1/4" = 1'-0"



GRAPHIC REPRESENTATION OF FLOOR AREA - LEVEL 02

SCALE: 1/4" = 1'-0"

F.A.R. & COVERAGE CALCULATIONS

EXISTING AREA OF PARCEL: 8,300sf (E)

LEVEL 01 / INTERIOR SPACES -
COUNTED TOWARDS COVERAGE CALCULATIONS & F.A.R.

GARAGE:	565sf
DINING ROOM:	184sf
BATHROOM 01:	77sf
MUD ROOM:	144sf
KITCHEN:	582sf
FAMILY ROOM:	463sf
BEDROOM 01:	191sf

TOTAL AREA FOR LEVEL ONE (GROSS): 2,206sf

LEVEL 02 / INTERIOR SPACES - COUNTED TOWARDS F.A.R. CALCULATION

BEDROOM 05:	380sf
BATHROOM 03:	120sf
BEDROOM 04:	140sf
HALLWAY & STAIR:	235sf
BATHROOM 02:	72sf
BEDROOM 03:	282sf
CLOSET:	61sf
LIVING AREA:	567sf
MASTER CLOSET:	89sf
CLOSET:	61sf
TOTAL AREA / LEVEL 02 (GROSS):	2,007sf

LEVEL 01 & LEVEL 02 TOTAL AREA (GROSS):	4,213sf
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AREA NOT COUNTED TOWARD F.A.R. (CREDIT):	
AREA ABOVE GARAGE <7'-0" IN HEIGHT:	(302sf)
LEVEL 01 GARAGE CREDIT:	(325sf)

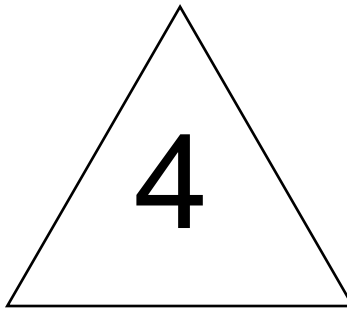
LEVEL 01 & LEVEL 02 TOTAL AREA (NET):	3,586sf = 43% F.A.R. (MAX. 50%)
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EXTERIOR & INTERIOR SPACES (COUNTED TOWARDS COVERAGE):

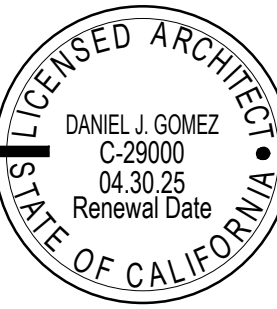
LEVEL 01 FLOOR AREA (GROSS):	2,206sf (E)
PORCH 01:	34sf (E)
EXTERIOR TRELLIS:	164sf (N)
PORCH 02:	40sf (N)
EXTERIOR STAIR:	25sf (N)

EXISTING AREA OF PARCEL COVERAGE:	2,240sf = 27% (MAX. 40%)
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PROPOSED AREA OF PARCEL COVERAGE:	2,465.5sf = 30% (MAX. 40%)
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FIRST & SECOND FLOOR PLANS &
F.A.R. COVERAGE CALCULATIONS

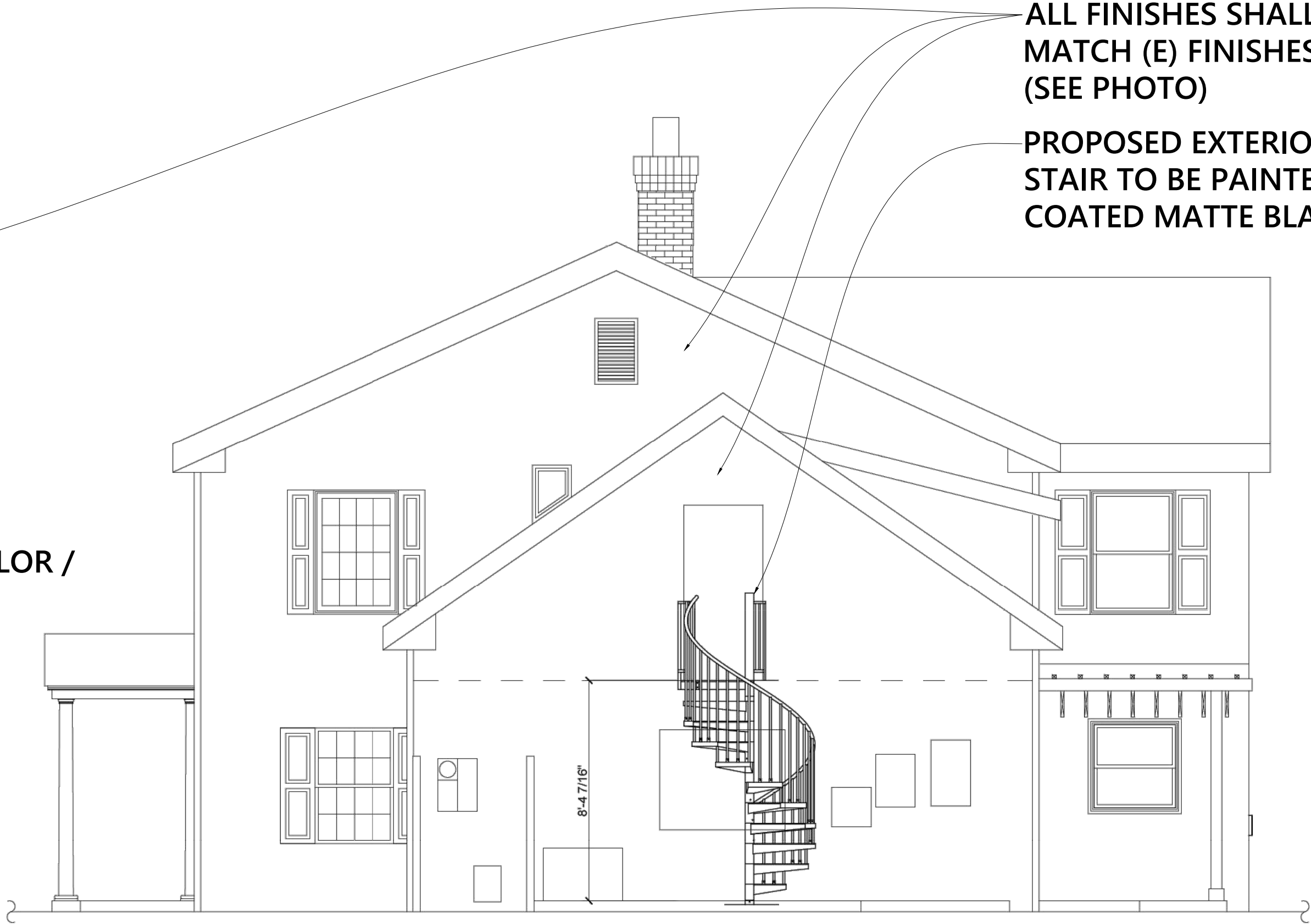
A2.2

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SIDE VIEW OF HOME
(ONLY AFFECTED SIDE OF HOME /
ALL ALTERATIONS TO MATCH CURRENT COLOR /
MATERIAL SCHEMATIC)

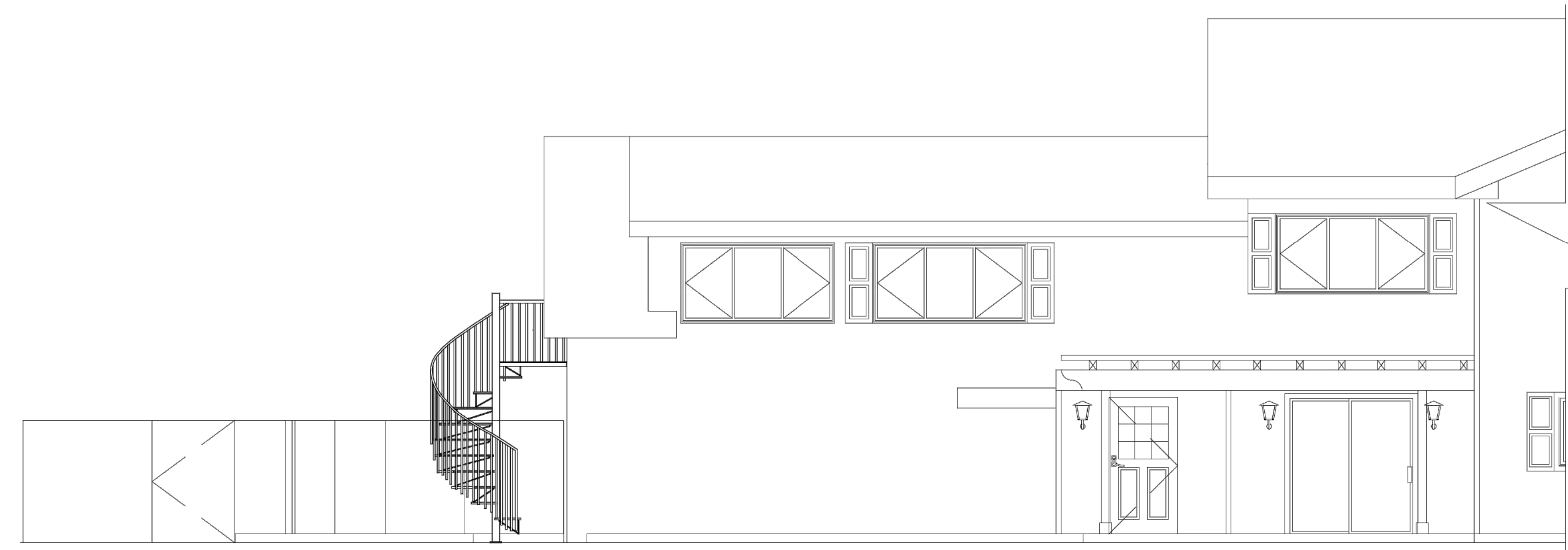
PROPOSED FRONT ELEVATION @ GARAGE & SIDE YARD FENCE
SCALE = 1/4" = 1'-0"



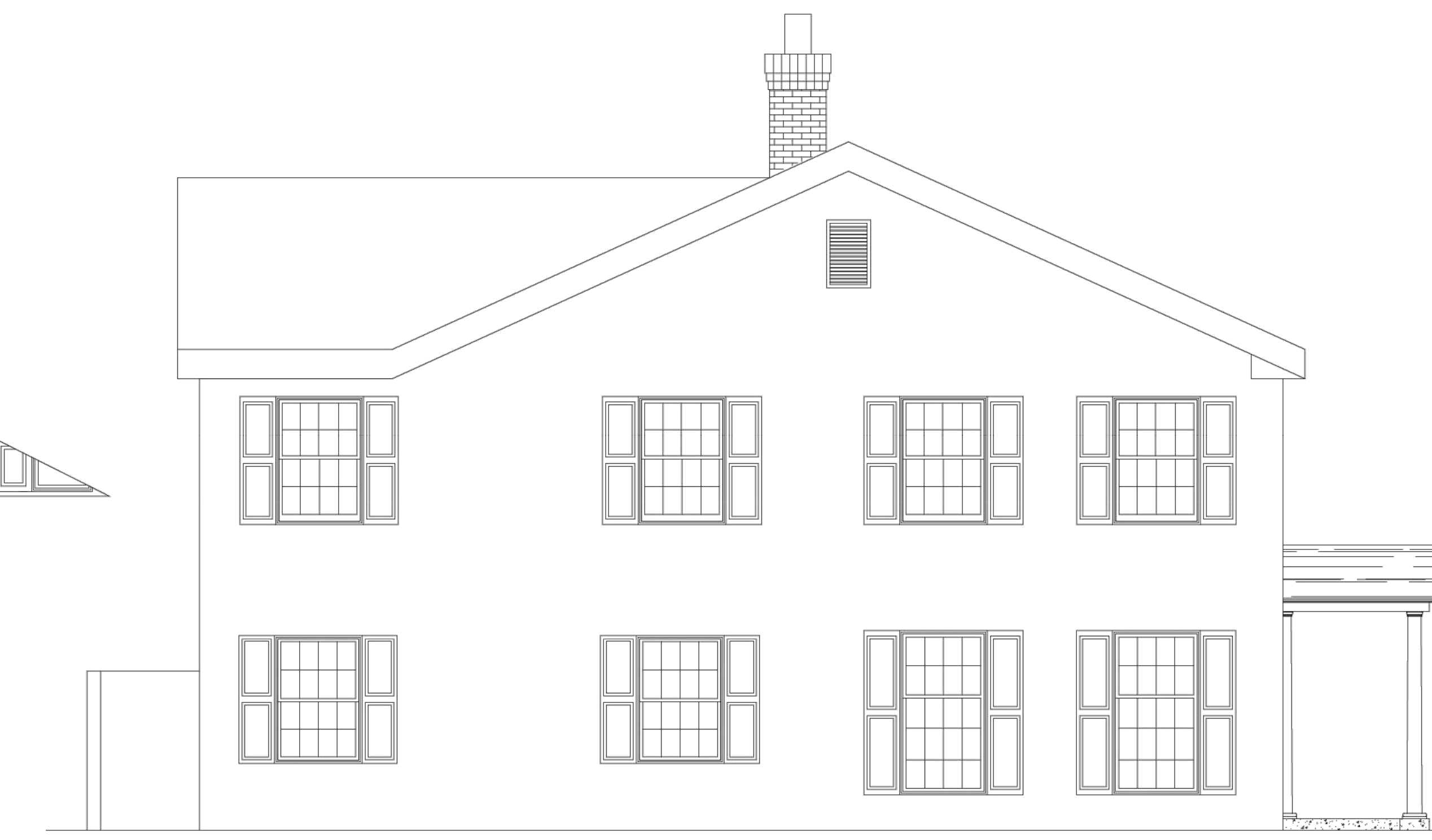
ALL FINISHES SHALL
MATCH (E) FINISHES
(SEE PHOTO)

PROPOSED EXTERIOR
STAIR TO BE PAINTED/
COATED MATTE BLACK

PROPOSED SIDE ELEVATION @ (N) SPIRAL STAIR & (N) SECOND FLOOR EXTERIOR DOOR
SCALE = 1/4" = 1'-0"

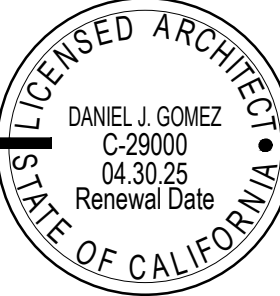


PROPOSED REAR ELEVATION @ GARAGE & SIDE YARD
SCALE = 1/4" = 1'-0"



PROPOSED SIDE ELEVATION @ UNCHANGED SIDE ELEVATION
SCALE = 1/4" = 1'-0"

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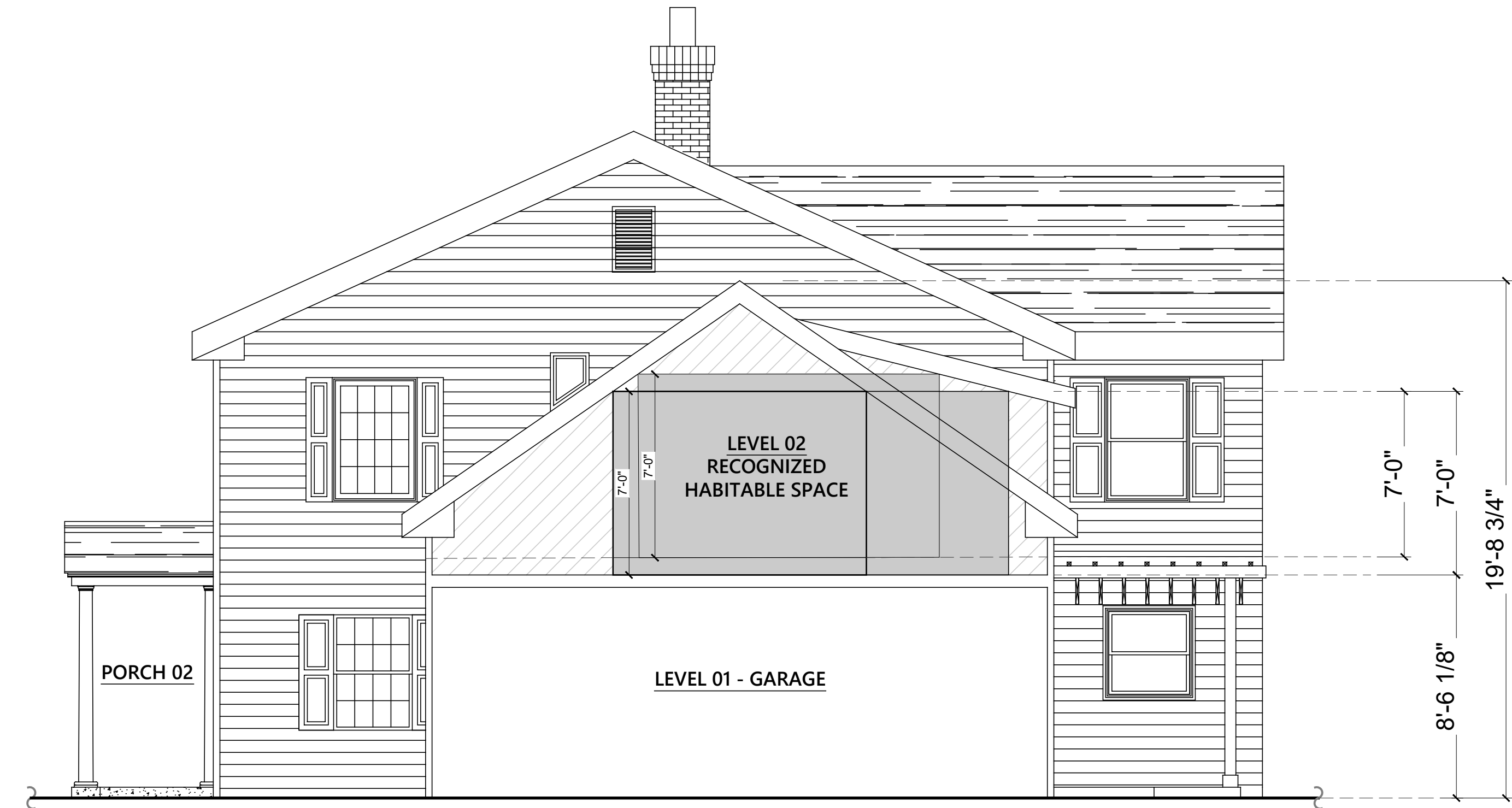
EXISTING / PROPOSED
EXTERIOR ELEVATIONS

A3.0

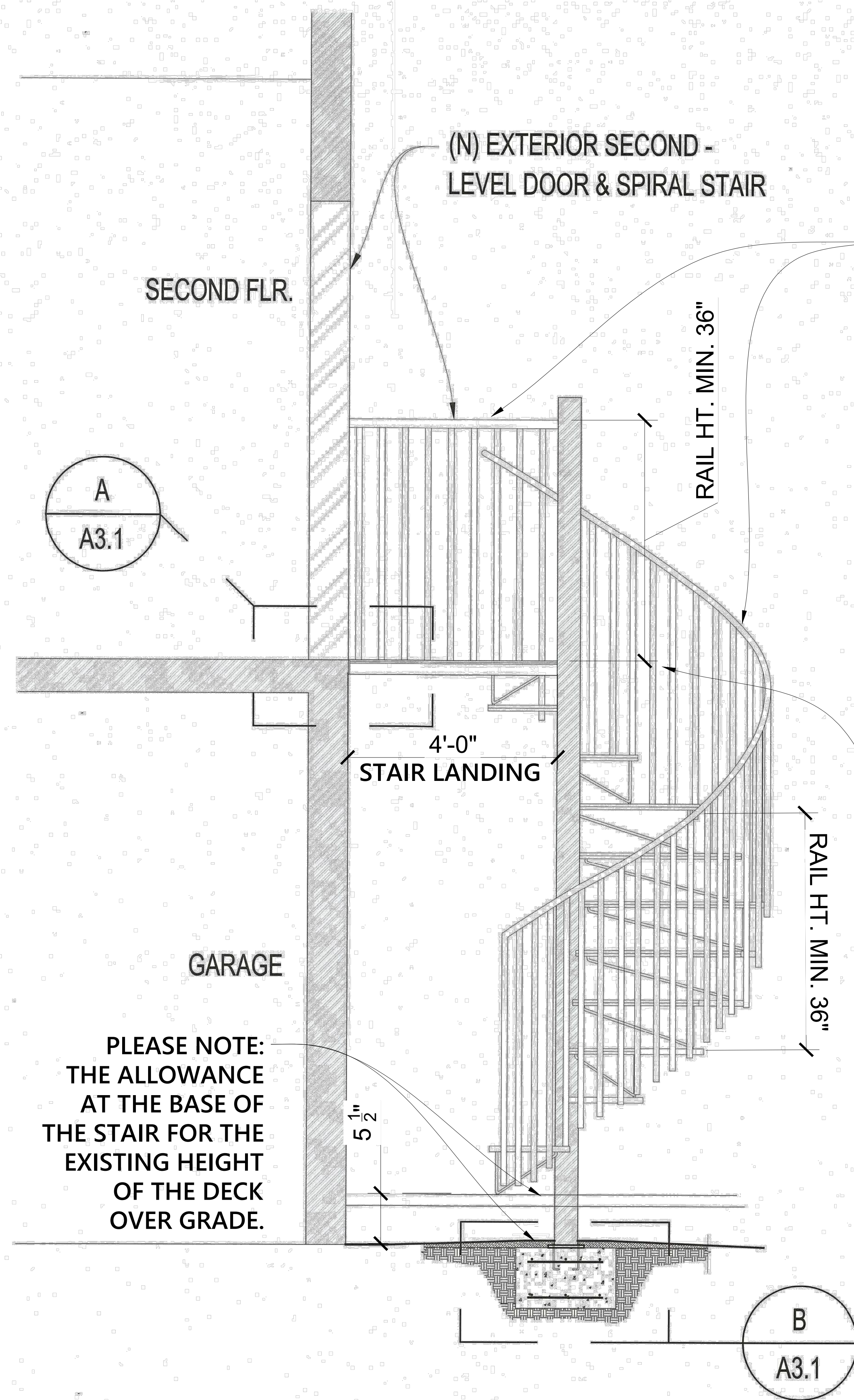
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BUILDING SECTION 01
SCALE: 1/8" = 1'-0"



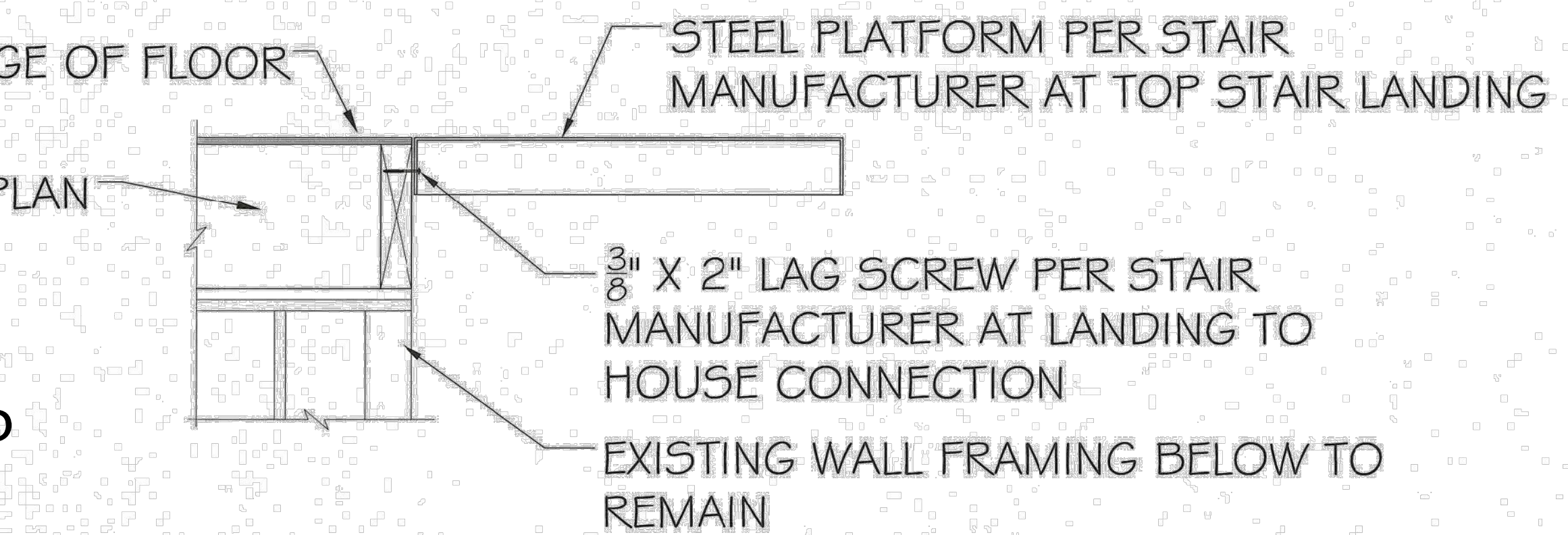
BUILDING SECTION 02
SCALE: 1/8" = 1'-0"



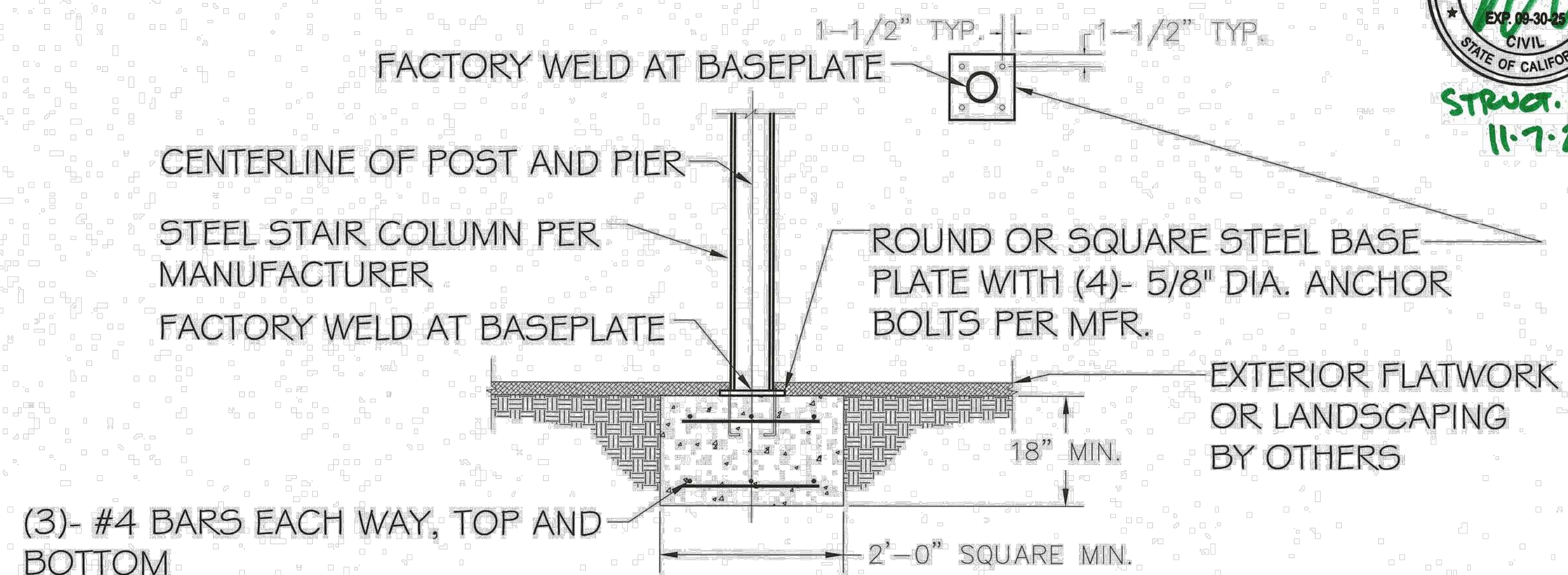
PROPOSED FRONT ELEVATION @ GARAGE & SIDE YARD FENCE

SCALE = 1" = 1'-0"

EXISTING RIM JOIST AT EDGE OF FLOOR
TYP. FLOOR FRAMING PER PLAN
LANDING GUARDRAIL HEIGHT AT THE LANDING TO COMPLY W. CRC 312.1.2
"REQUIRED GUARDS AT OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, PORCHES, BALCONIES OR LANDINGS, SHALL BE NOT LESS THAN 36 INCHES (914 MM) IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR THE LINE CONNECTING THE NOSINGS.

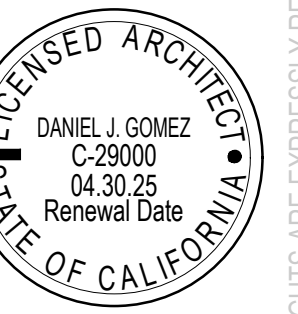


DETAIL 'A' - SPIRAL STAIR CONNECTION AT TOP
SCALE : 1' = 1'



DETAIL 'B' - EXTERIOR FOOTING AT STEEL COLUMN
SCALE : 1' = 1'

STAIR LANDING TO COMPLY W. R311.7.10.1 'SPIRAL STAIRWAYS'
"...SPIRAL STAIRWAYS ARE PERMITTED, PROVIDED THAT THE CLEAR WIDTH AT AND BELOW THE HANDRAIL IS NOT LESS THAN 26 INCHES (660 MM) AND THE WALKLINE RADIUS IS NOT GREATER THAN 24 1/2 INCHES (622 MM). EACH TREAD SHALL HAVE A DEPTH OF NOT LESS THAN 6 3/4 INCHES (171 MM) AT THE WALKLINE. ALL TREADS SHALL BE IDENTICAL, AND THE RISE SHALL BE NOT MORE THAN 9 1/2 INCHES (241 MM). HEADROOM SHALL BE NOT LESS THAN 6 FEET 6 INCHES (1982 MM)"



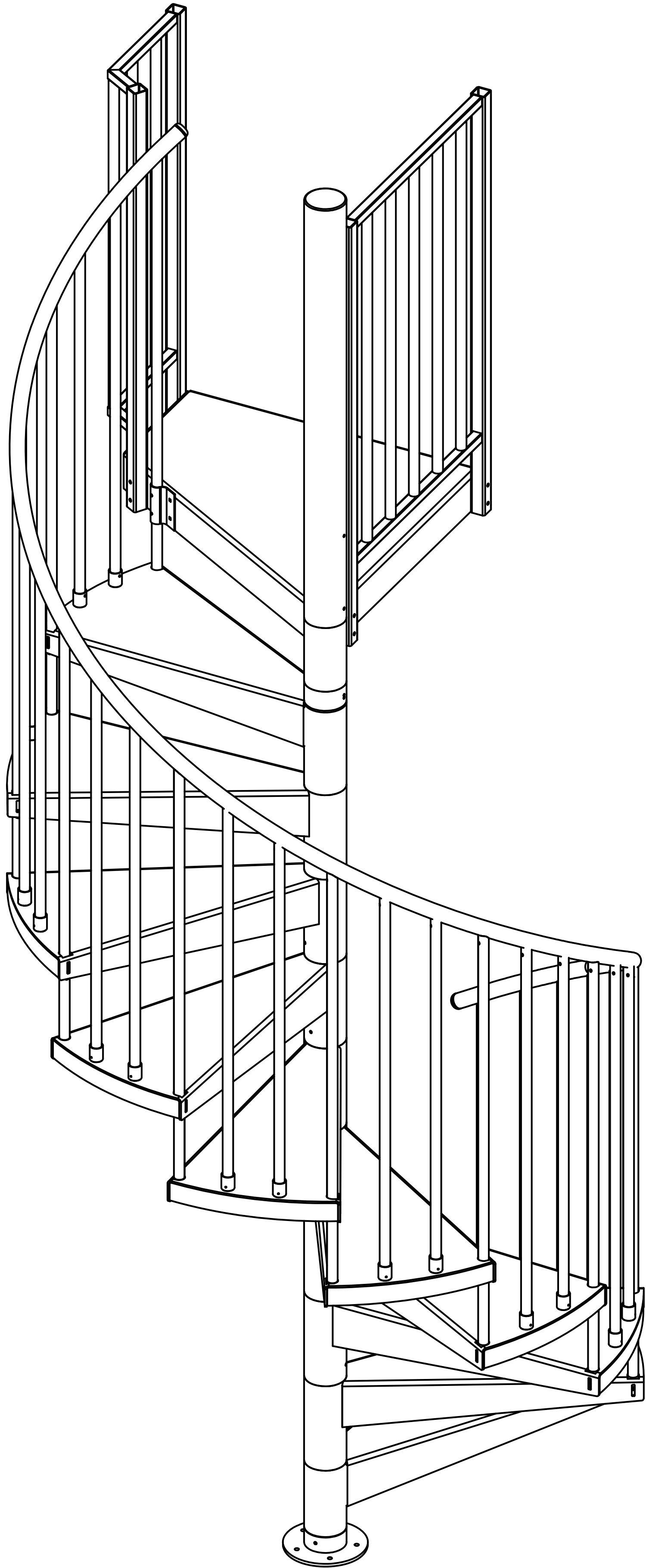
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STRUCTURAL DETAILS



DRAWING INDEX

- A-01: INDEX
- A-02: PLAN VIEW AND ELEVATION VIEW
- A-03: COLUMN, PLATFORM AND BASEPLATE
- A-04: TREAD PROFILES, HANDRAIL, MISC.

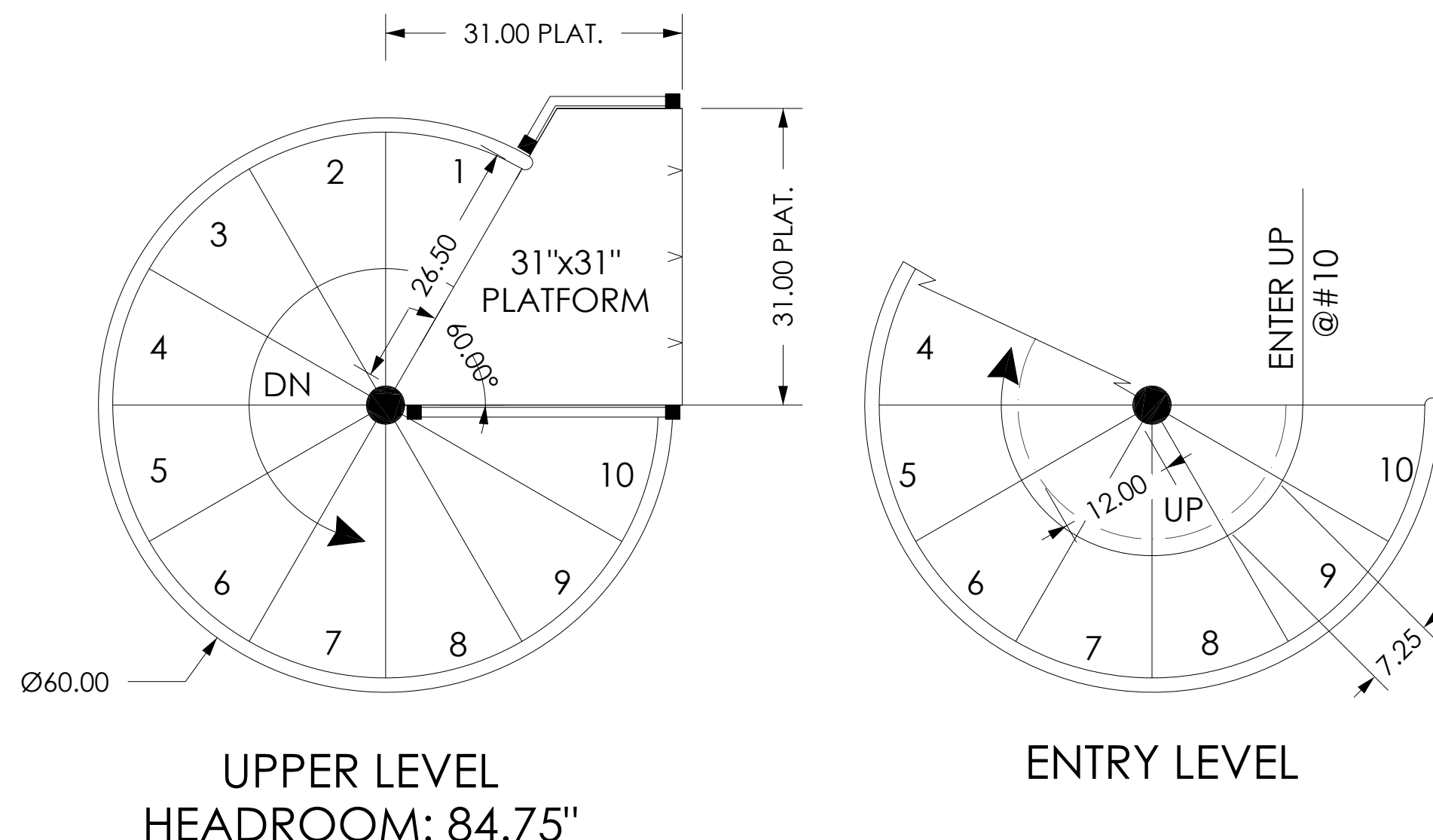
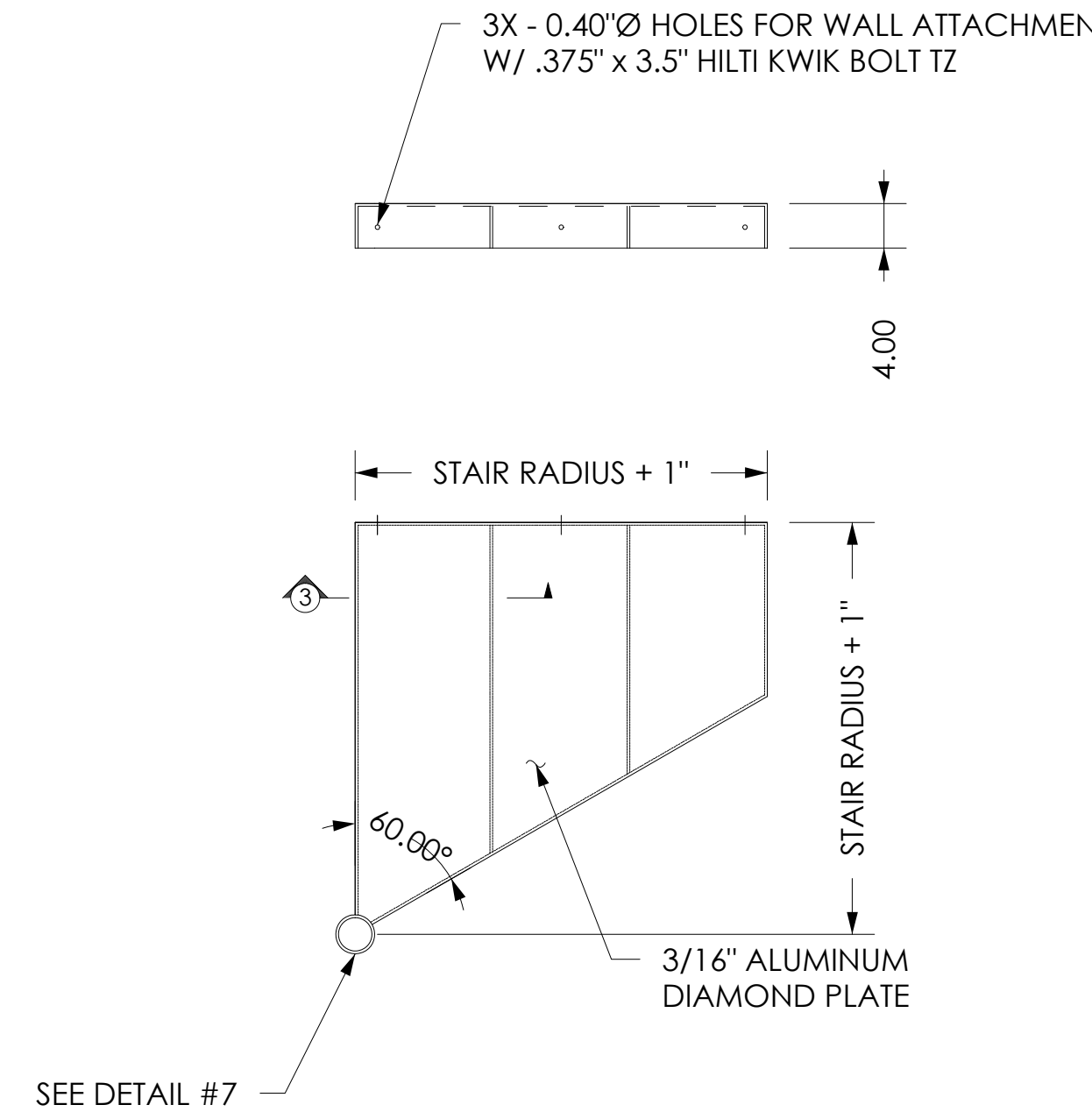
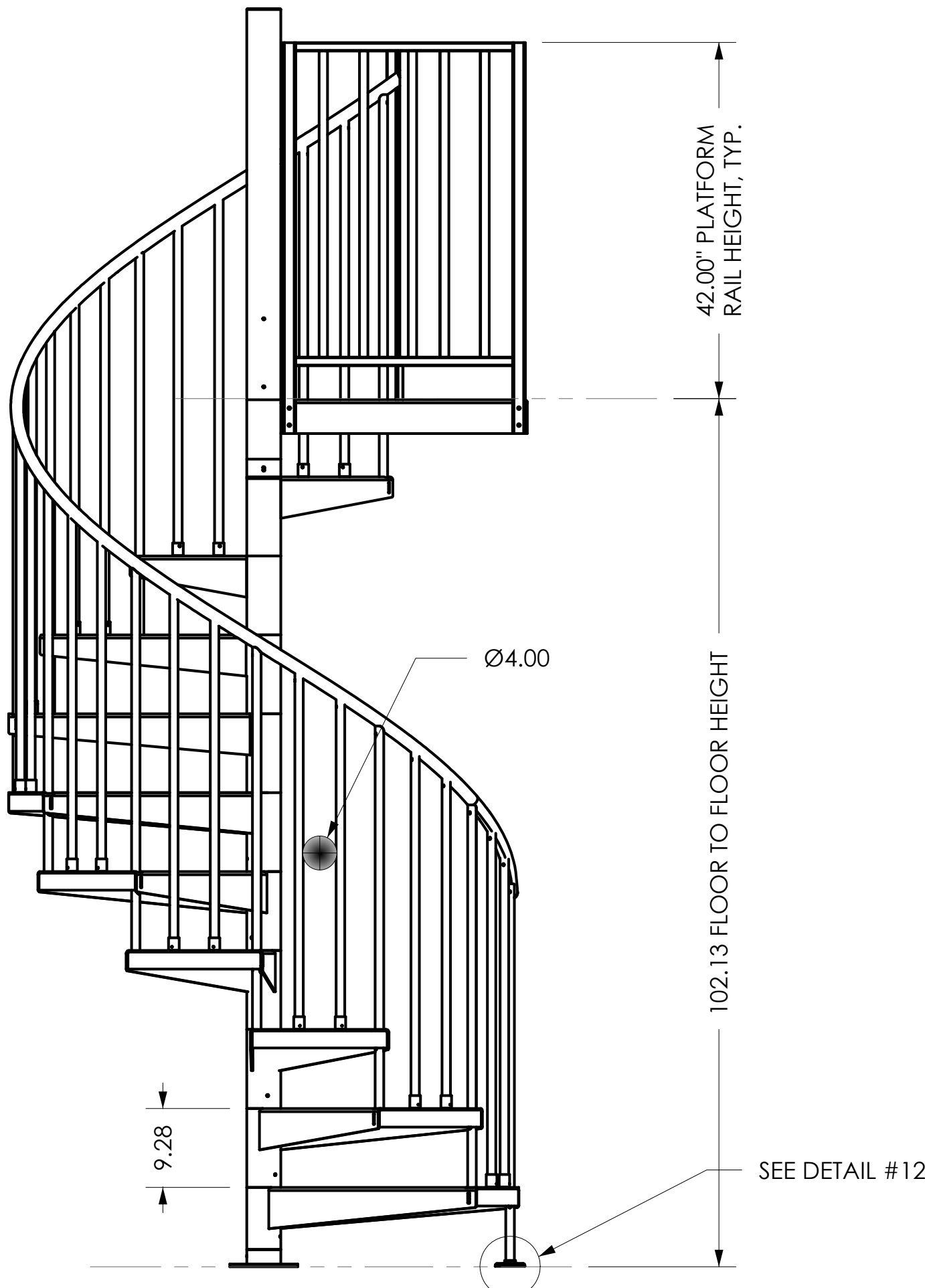
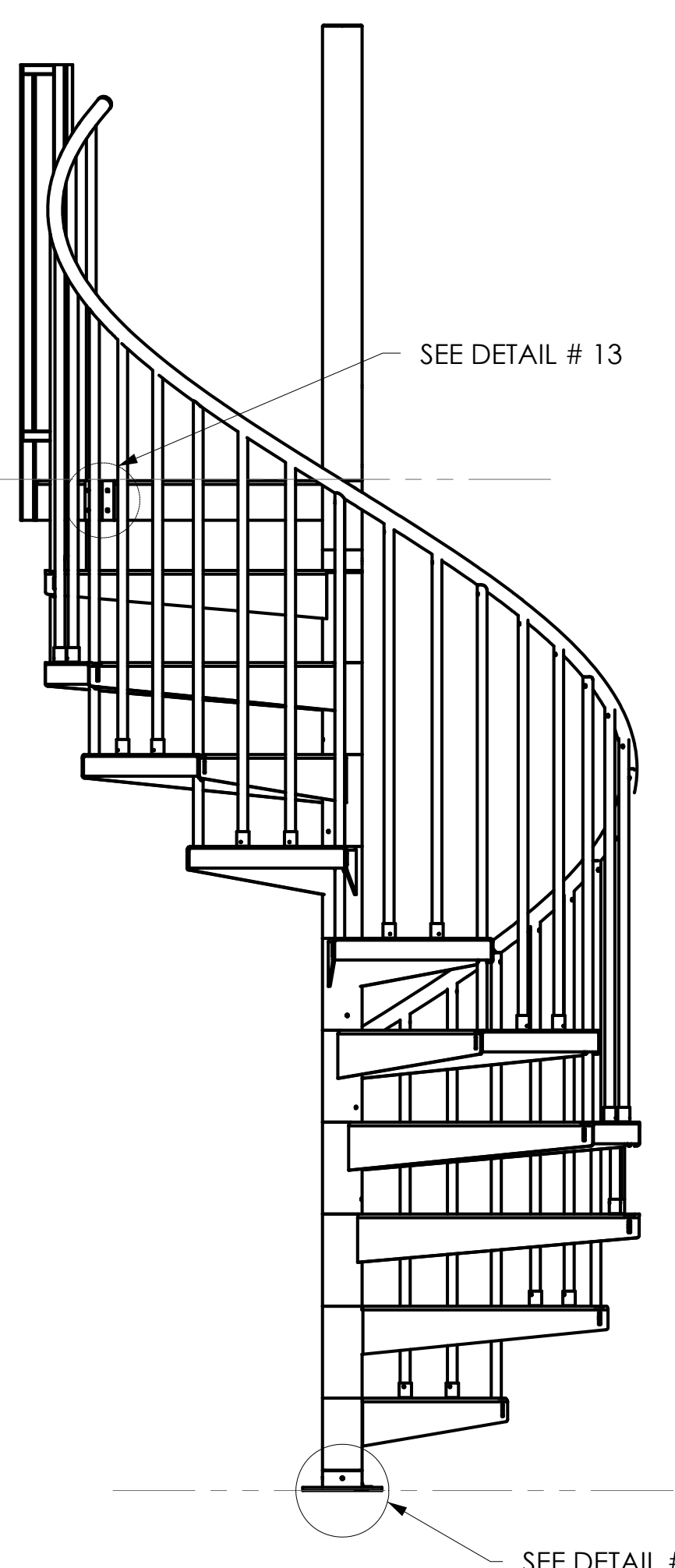
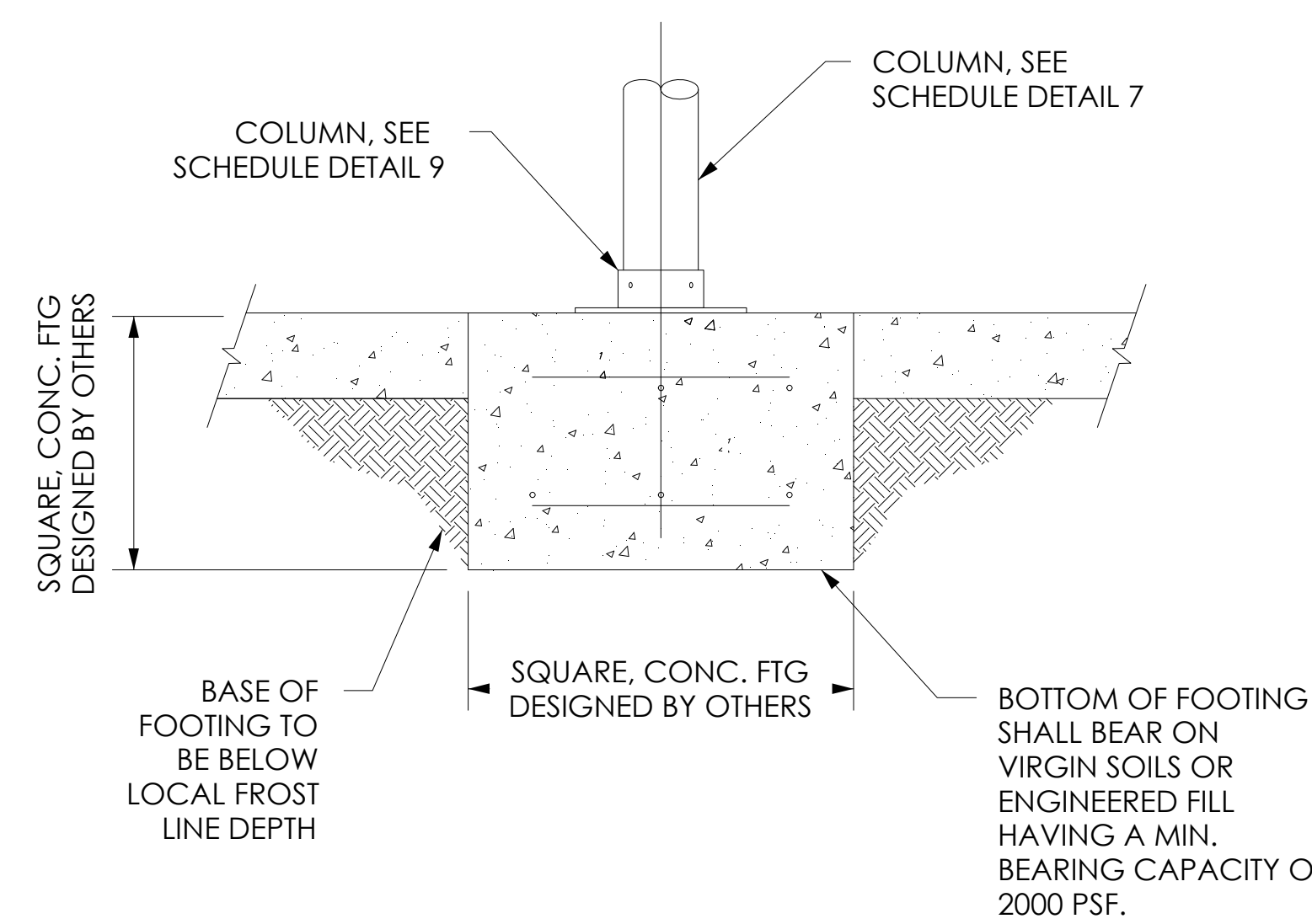



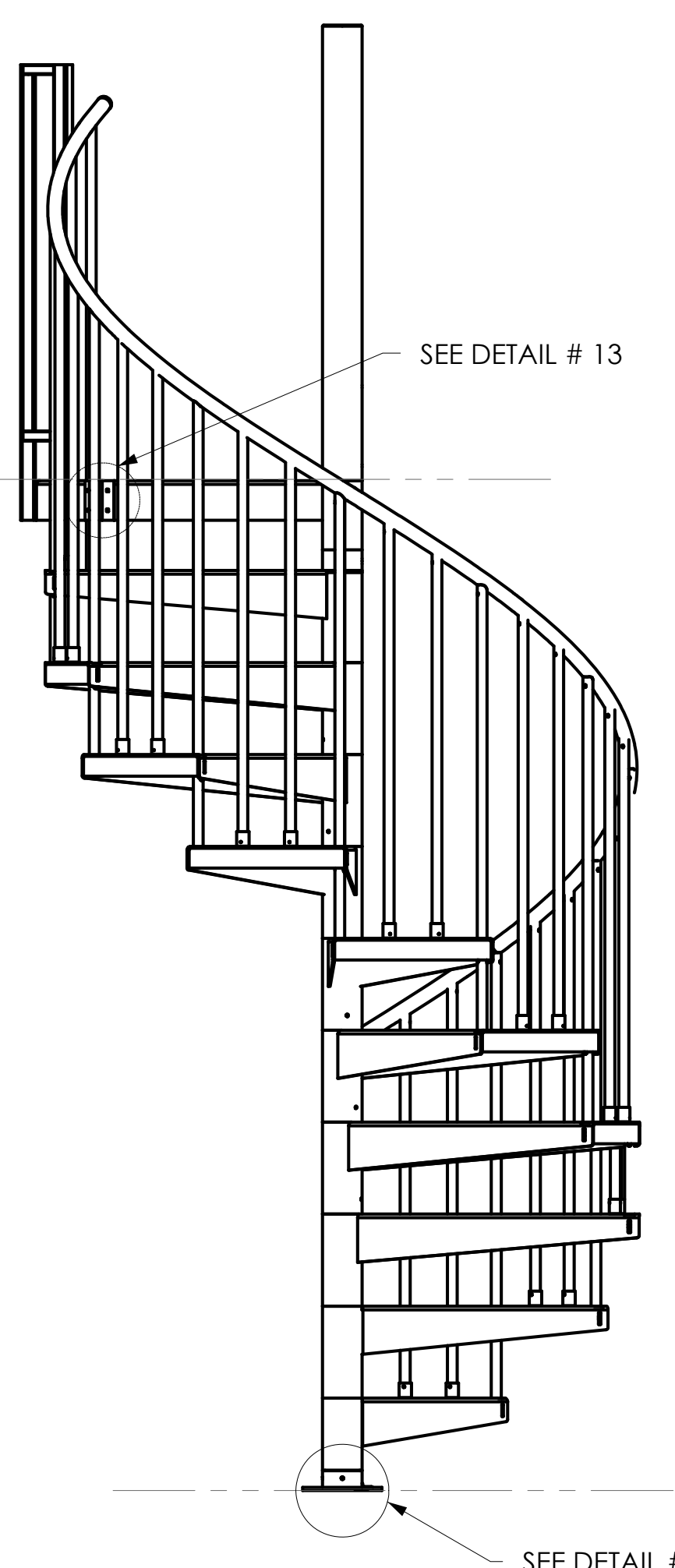
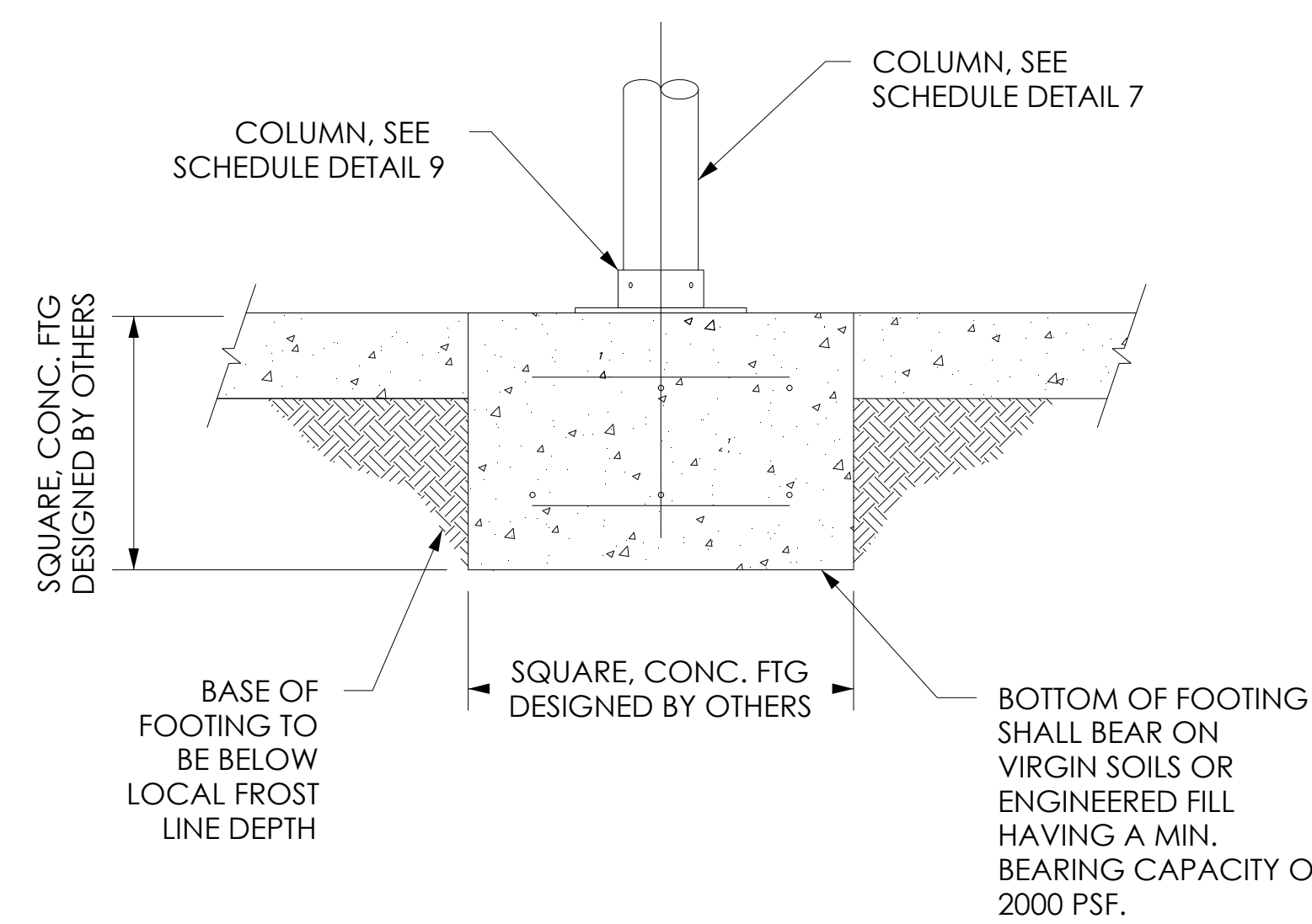
GENERAL REQUIREMENTS

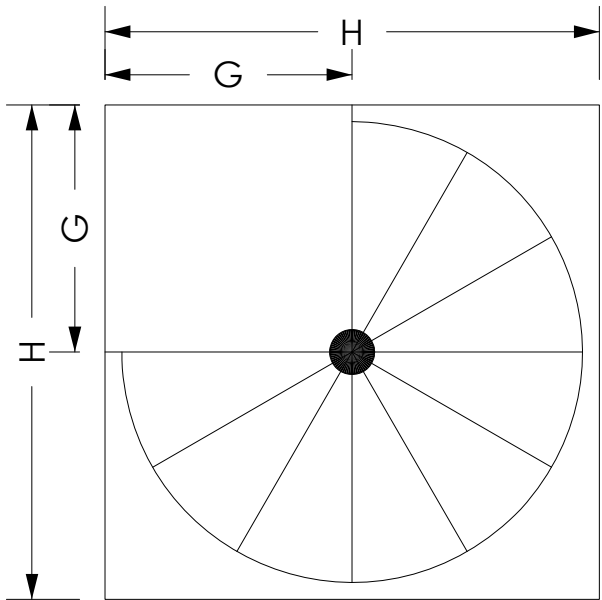
- 1. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS AND OTHER PROJECT DRAWINGS BY OTHER DISCIPLINES. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CODES LISTED BELOW.
- 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS RELATING TO EXISTING CONDITIONS BY MAKING FIELD SURVEYS AND MEASUREMENTS PRIOR TO COMMENCING FABRICATION OR CONSTRUCTION.
- 3. THE GENERAL CONTRACTOR SHALL COMPARE AND COORDINATE THE DRAWINGS OF ALL DISCIPLINES AND REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS TO THE ARCHITECT AND ENGINEER.
- 4. DETAILS LABELED "TYPICAL" SHALL APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SEE DETAIL TITLES FOR APPLICABILITY OF A PARTICULAR DETAIL. TYPICAL DETAILS SHALL APPLY WHETHER OR NOT THEY ARE SPECIFICALLY KEYED AT EACH LOCATION.
- 5. THE ENGINEER SHALL HAVE FINAL AUTHORITY TO DETERMINE APPLICABILITY OF TYPICAL DETAILS.
- 6. WHERE CONFLICTS EXIST BETWEEN STRUCTURAL DOCUMENTS THE STRICTEST REQUIREMENTS, AS INDICATED BY THE STRUCTURAL ENGINEER SHALL GOVERN.
- 7. THE GENERAL CONTRACTOR SHALL REVIEW AND DETERMINE THAT DIMENSIONS ARE COORDINATED BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO FABRICATION OR START OF CONSTRUCTION.
- 8. NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED OR OTHERWISE REDUCED IN STRENGTH UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
- 9. THE GENERAL CONTRACTOR SHALL COORDINATE ARCHITECTURAL, AND MECHANICAL, DRAWINGS FOR ANCHORED, EMBEDDED OR SUPPORTED ITEMS. NOTIFY THE ARCHITECT / ENGINEER OF ANY DISCREPANCIES.
- PRIMARY BUILDING CODES AND SPECIFICATIONS:
 - 1. GENERAL BUILDING CODE:
 - A. INTERNATIONAL RESIDENTIAL CODE, 2015, 2018, 2021
 - B. INTERNATIONAL BUILDING CODE, 2015, 2018, 2021
 - C. CBC 2020, 2022
 - D. FBC 2020, 2022
 - DESIGN LOADS:
 - 1. PER IRC, 2015, 2018, 2021:
 - A. LIVE LOADS uniform (psf): 40
 - B. LIVE LOADS concentrated (lb): 300
 - C. LIVE LOADS handrail (plf): 50
 - D. LIVE LOADS handrail concentrated (lb): 200
 - 2. PER IBC, 2015, 2018, 2021:
 - A. LIVE LOADS uniform (psf): 100
 - B. LIVE LOADS concentrated (lb): 300
 - C. LIVE LOADS handrail (plf): 50
 - D. LIVE LOADS handrail concentrated (lb): 200
 - 3. CBC 2020, 2022
 - 4. FBC 2020, 2022
 - ALUMINUM MATERIAL:
 - 1. SEE NOTES ON PRIMARY CODES AND SPECIFICATIONS.
 - 2. MATERIALS:
 - W-SHAPES & WT-SHAPES..... 6061-T6
 - C-SHAPES & MC-SHAPES..... 6061-T6
 - ANGLES..... 6061-T6
 - HSS SHAPES..... 6061-T6
 - DIAMOND PLATE..... 3003-H22/24-PT
 - SMOOTH PLATE..... 5052-H32-SH/PL
 - ALUMINUM PIPE/TUBE..... 6061-T6511-TB, 6061-T6-PP
 - HANDRAIL ALUMINUM TUBE..... 6063-T0
 - WELDING ELECTRODES..... AWS ER 4043
 - HIGH STRENGTH BOLTS.....ASTM F593C, ASTM A193
 - HIGH STRENGTH NUTS.....ASTM F594C, ASTM A194
 - ANCHOR RODS.....ASTM F1554, GRADE 55
 - WELDED HEADED STUDS..... ASTM A108
 - DEFORMED BAR ANCHORS..... ASTM A496
 - MECHANICAL ANCHORS INTO CONCRETE:
 - 1. USE THE FOLLOWING:
 - A. HILTI KWIK BOLT TZ CARBON AND STAINLESS STEEL ANCHORS - PER ESR-1719 (per application)
 - FINISH:
 - 1. POWDER COAT.....PER SPECIFICATION
 - ERECTION:
 - 1. ENGINEER SHALL BE CONTACTED FOR APPROVAL OF ANY FIELD MODIFICATIONS OF ANCHOR BOLTS OR RODS AND COLUMN BASE PLATES (PER OSHA).
 - 2. TEMPORARY BRACING OF STRUCTURAL STEEL ELEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR. STRUCTURAL STABILITY SHALL BE MAINTAINED AT ALL TIMES DURING THE ERECTION PROCESS.
 - 3. CONTRACTOR MUST PROVIDE NOTIFICATION TO THE ERECTOR THAT, BY TESTING, THE FOUNDATION AND SUPPORTING WALLS HAVE ATTAINED SUFFICIENT STRENGTH TO SUPPORT THE STEEL TO BE ERECTED BEFORE ERECTING STRUCTURAL STEEL.
 - INSTALLATION RESPONSIBILITY:
 - 1. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE COMPLETED STRUCTURE, AND ARE NOT INTENDED TO INDICATE THE METHOD OR MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, SEQUENCES, AND FOR JOB SAFETY.
 - 2. THE ENGINEER DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

LOCAL SEAL:

ENGINEER SEAL:

PROJECT:		NAME:	
ALLEN, STEVEN - SHOP DRAWINGS		ALLEN, STEVEN	
ADDRESS:			
2277 DOLPHIN DR APTOS, CA 95003-5857 USA			
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<div>ALUMINUM SPIRAL STAIR</div> <div> 105 G.P. CLEMENT DRIVE COLLEGEVILLE, PA 19426 1-800-368-8280</div>			
DRAWN DATE:		SCALE:	
4/4/24		N.T.S.	
DRAWN BY:		APPROVED BY:	
Y.V.		XX	
JOB No.	REV No.		
P-418822	1		
ARCH:			
A-01			

<div><p>UPPER LEVEL HEADROOM: 84.75"</p><p>ENTRY LEVEL</p></div>		<div><p>3X - 0.40"Ø HOLES FOR WALL ATTACHMENT W/ .375" x 3.5" HILTI KWIK BOLT TZ</p><p>4.00</p><p>STAIR RADIUS + 1"</p><p>STAIR RADIUS + 1"</p><p>60.00°</p><p>3/16" ALUMINUM DIAMOND PLATE</p><p>SEE DETAIL #7</p></div>		LOCAL SEAL:																																																																											
1		PLAN VIEW [SCALE = 1:32]		ENGINEER SEAL:																																																																											
<div><p>42.00" PLATFORM RAIL HEIGHT, TYP.</p><p>102.13 FLOOR TO FLOOR HEIGHT</p><p>Ø4.00</p><p>9.28</p><p>SEE DETAIL #12</p></div>		<div><p>SEE DETAIL #13</p><p>SEE DETAIL #9</p></div>		<div><p>COLUMN, SEE SCHEDULE DETAIL 9</p><p>COLUMN, SEE SCHEDULE DETAIL 7</p><p>SQUARE, CONC. FTG DESIGNED BY OTHERS</p><p>BASE OF FOOTING TO BE BELOW LOCAL FROST LINE DEPTH</p><p>SQUARE, CONC. FTG DESIGNED BY OTHERS</p><p>BOTTOM OF FOOTING SHALL BEAR ON VIRGIN SOILS OR ENGINEERED FILL HAVING A MIN. BEARING CAPACITY OF 2000 PSF.</p></div>		<table><tr><td colspan="2">PROJECT:</td><td colspan="2">NAME:</td></tr><tr><td colspan="2">ALLEN, STEVEN - SHOP DRAWINGS</td><td colspan="2" rowspan="5">ALLEN, STEVEN</td></tr><tr><td colspan="4">ADDRESS:</td></tr><tr><td colspan="4">2277 DOLPHIN DR APTOS, CA 95003-5857 USA</td></tr><tr><td colspan="4"><small>INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A PROFESSIONAL SERVICE RENDERED BY AND IS OWNED BY SALTER SPIRAL STAIR. REPRODUCTION OF THIS PLAN WITHOUT APPROVAL OF SALTER SPIRAL STAIR IS NOT PERMITTED. THE REPRODUCTION OF A COPY OF THIS PLAN FOR THE PURPOSE OF CREATING ADDITIONAL COPIES OR REVISING SAID PLAN SHALL, IN NO CIRCUMSTANCE, BE APPROVED. VIOLATION OF THIS RESTRICTION SHALL BE CONSIDERED A VIOLATION OF BOTH THE PROFESSIONAL CODE OF ETHICS AND A THEFT OF CORPORATE ASSETS, BOTH OF WHICH SHALL BE PROSECUTED TO THE FULLEST EXTENT OF CURRENT STATUTES. THIS PLAN HAS BEEN SPECIFICALLY PREPARED FOR THE PROJECT DESIGNATED HEREON. ANY MODIFICATION, REVISION, DUPLICATION OR USE WITHOUT THE WRITTEN CONSENT OF SALTER SPIRAL STAIR IS PROHIBITED. RELIANCE ON THIS PLAN FOR ANY PURPOSE OTHER THAN THAT WHICH IT IS INTENDED SHALL BE AT THE SOLE DISCRETION AND LIABILITY OF THE APPLICABLE PARTY.</small></td></tr><tr><td colspan="4">REVISIONS:</td></tr><tr><td>REV No.</td><td>DATE:</td><td colspan="2">DESCRIPTION:</td></tr><tr><td> </td><td> </td><td colspan="2"> </td></tr><tr><td> </td><td> </td><td colspan="2"> </td></tr><tr><td> </td><td> </td><td colspan="2" rowspan="2"> </td></tr><tr><td colspan="4"><div><p>ALUMINUM SPIRAL STAIR</p><p>105 G.P. CLEMENT DRIVE COLLEGEVILLE, PA 19426 1-800-368-8280</p></div></td></tr><tr><td colspan="2">DRAWN DATE:</td><td colspan="2">SCALE:</td></tr><tr><td colspan="2">4/4/24</td><td colspan="2">N.T.S.</td></tr><tr><td colspan="2">DRAWN BY:</td><td colspan="2">APPROVED BY:</td></tr><tr><td colspan="2">Y.V.</td><td colspan="2">XX</td></tr><tr><td colspan="2">JOB No.</td><td colspan="2">REV No.</td></tr><tr><td colspan="2">P-418822</td><td colspan="2" rowspan="2">1</td></tr><tr><td colspan="4">ARCH:</td></tr></table>		PROJECT:		NAME:		ALLEN, STEVEN - SHOP DRAWINGS		ALLEN, STEVEN		ADDRESS:				2277 DOLPHIN DR APTOS, CA 95003-5857 USA				<small>INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A PROFESSIONAL SERVICE RENDERED BY AND IS OWNED BY SALTER SPIRAL STAIR. REPRODUCTION OF THIS PLAN WITHOUT APPROVAL OF SALTER SPIRAL STAIR IS NOT PERMITTED. THE REPRODUCTION OF A COPY OF THIS PLAN FOR THE PURPOSE OF CREATING ADDITIONAL COPIES OR REVISING SAID PLAN SHALL, IN NO CIRCUMSTANCE, BE APPROVED. VIOLATION OF THIS RESTRICTION SHALL BE CONSIDERED A VIOLATION OF BOTH THE PROFESSIONAL CODE OF ETHICS AND A THEFT OF CORPORATE ASSETS, BOTH OF WHICH SHALL BE PROSECUTED TO THE FULLEST EXTENT OF CURRENT STATUTES. THIS PLAN HAS BEEN SPECIFICALLY PREPARED FOR THE PROJECT DESIGNATED HEREON. ANY MODIFICATION, REVISION, DUPLICATION OR USE WITHOUT THE WRITTEN CONSENT OF SALTER SPIRAL STAIR IS PROHIBITED. RELIANCE ON THIS PLAN FOR ANY PURPOSE OTHER THAN THAT WHICH IT IS INTENDED SHALL BE AT THE SOLE DISCRETION AND LIABILITY OF THE APPLICABLE PARTY.</small>				REVISIONS:				REV No.	DATE:	DESCRIPTION:														<div><p>ALUMINUM SPIRAL STAIR</p><p>105 G.P. CLEMENT DRIVE COLLEGEVILLE, PA 19426 1-800-368-8280</p></div>				DRAWN DATE:		SCALE:		4/4/24		N.T.S.		DRAWN BY:		APPROVED BY:		Y.V.		XX		JOB No.		REV No.		P-418822		1		ARCH:			
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A.TREAD RADIUS
B.CLEAR WALKING PATH
C.TRUE TREAD DEPTH
D.STEEL TREAD WIDTH
E.WOOD COVER WIDTH
F.HUB HEIGHT
G.PLATFORM SIZE
H.MINIMUM WELL OPENING

DIAMETER OF STAIR	30° 5'-0"
A	30.00
B	26.25
C	9.35
D	16.54
E	17.25
F	9.28
G	31"x31"
H	62"x62"
ROTATION W/ 12 TREADS	360°

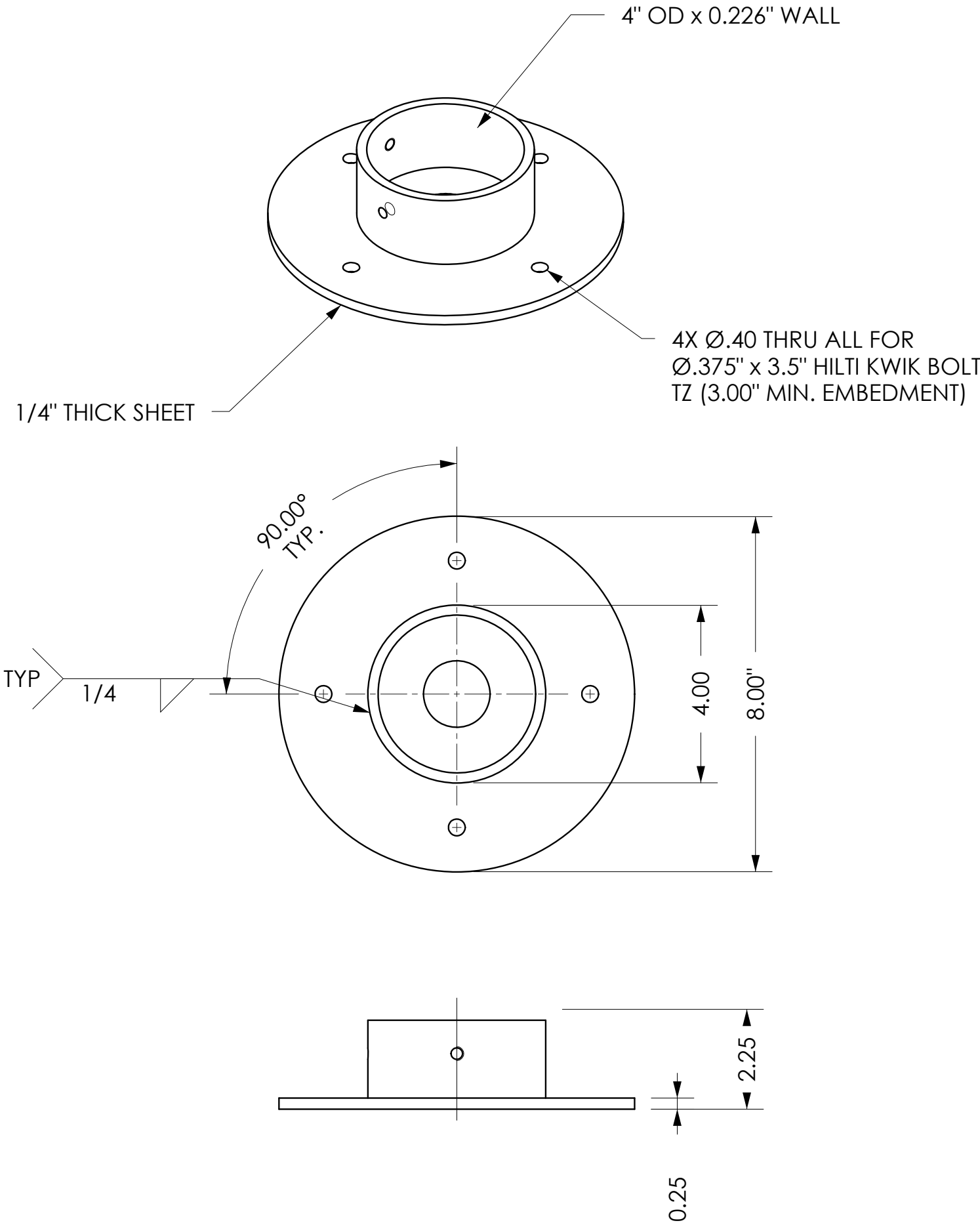
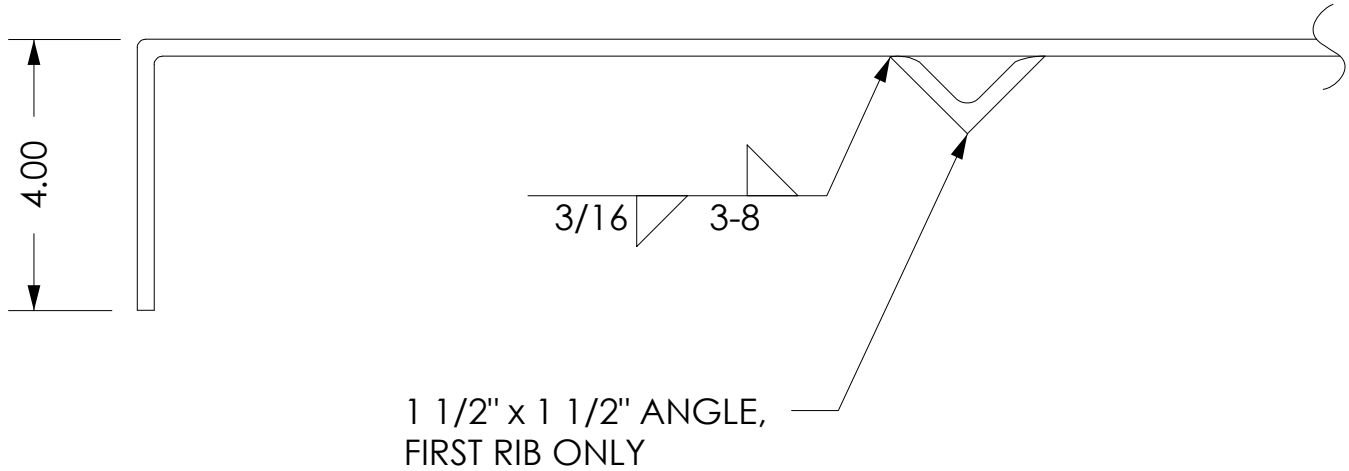
COLUMNS			
O.D.	I.D.	WALL TH.	MATERIAL
3.5"	3.00"	0.25"	TUBE
HUBS			
O.D.	I.D.	WALL TH.	MATERIAL
4"	3.548"	0.226"	TUBE

LOCAL SEAL:

ENGINEER SEAL:

6 TREAD SIZES & DIMENSION CHART

7 COLUMN & HUB SIZE



PROJECT:
ALLEN, STEVEN - SHOP
DRAWINGS

NAME:
ALLEN, STEVEN

ADDRESS:
2277 DOLPHIN DR
APTOS, CA 95003-5857 USA

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ALUMINUM
SPIRAL STAIR


105 G.P. CLEMENT DRIVE
COLLEGEVILLE, PA 19426
1-800-368-8280

DRAWN DATE:	SCALE:
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P-418822	1

ARCH:

A-03

<p>SEE DETAIL 7</p> <p>(2)-1/4"Ø HOLES FOR SET SCREWS ON CONT. SLEEVE TREADS</p> <p>3/16" ALUMINUM DIAMOND PLATE</p> <p>1 1/2" CUP TO RECEIVE CENTER BALUSTER W/ SET SCREW</p> <p>3/16" ALUMINUM DIAMOND PLATE</p> <p>SECTION</p> <p>NOTE:SEE CHART 5 FOR DIMENSIONS</p>		<p>SEE DETAIL 7</p> <p>STANDARD</p> <p>3/16" ALUMINUM DIAMOND PLATE</p>		LOCAL SEAL:																																																																																	
11		TREAD PROFILE		<p>SEE DETAIL #7</p> <p>(2)-1"Ø HOLES FOR BALUSTERS</p> <p>2X Ø0.38</p>		ENGINEER SEAL:																																																																															
10		TREAD END PLAN		12		TREAD TOP																																																																															
<p>2 X Ø0.25</p> <p>(2) SELF-TAPPING SCREWS</p> <p>(2) BOLT, WASHER AND NUT</p> <p>12 GA ASTM A36 GR36</p>		<p>(2) -3/8"Ø HOLES FOR 5/16"Ø x 1 1/2" LAG BOLTS (LEAD ANCHOR SHIELDS NECESSARY FOR CONCRETE FLOORS)</p> <p>Ø3.50</p> <p>R&B WAGNER 1419T</p>		<p>Ø1.50" X 0.83" 6063 ALUMINUM HANDRAIL</p> <p>Ø1.50</p>		<p>HANDRAIL</p> <p>12-14 X 1" SQUARE PAN HEAD SCREW</p> <p>Ø1.00" X 0.188", 6061-T6 ALUMINUM MAIN BALUSTERS</p> <p>COPED</p>		<table><tr><td colspan="2">PROJECT:</td><td colspan="2">NAME:</td></tr><tr><td colspan="2">ALLEN, STEVEN - SHOP DRAWINGS</td><td colspan="2">ALLEN, STEVEN</td></tr><tr><td colspan="4">ADDRESS:</td></tr><tr><td colspan="4">2277 DOLPHIN DR APTOS, CA 95003-5857 USA</td></tr><tr><td colspan="4">INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A PROFESSIONAL SERVICE RENDERED BY AND IS OWNED BY SALTER SPIRAL STAIR. REPRODUCTION OF THIS PLAN WITHOUT APPROVAL OF SALTER SPIRAL STAIR IS NOT PERMITTED. THE REPRODUCTION OF A COPY OF THIS PLAN FOR THE PURPOSE OF CREATING ADDITIONAL COPIES OR REVISING SAID PLAN SHALL, IN NO CIRCUMSTANCE, BE APPROVED. VIOLATION OF THIS RESTRICTION SHALL BE CONSIDERED A VIOLATION OF BOTH THE PROFESSIONAL CODE OF ETHICS AND A THEFT OF CORPORATE ASSETS, BOTH OF WHICH SHALL BE PROSECUTED TO THE FULLEST EXTENT OF CURRENT STATUTES. THIS PLAN HAS BEEN SPECIFICALLY PREPARED FOR THE PROJECT DESIGNATED HEREON. ANY MODIFICATION, REVISION, DUPLICATION OR USE WITHOUT THE WRITTEN CONSENT OF SALTER SPIRAL STAIR IS PROHIBITED. RELIANCE ON THIS PLAN FOR ANY PURPOSE OTHER THAN THAT WHICH IT IS INTENDED SHALL BE AT THE SOLE DISCRETION AND LIABILITY OF THE APPLICABLE PARTY.</td></tr><tr><td colspan="4">REVISIONS:</td></tr><tr><td>REV No.</td><td>DATE:</td><td colspan="2">DESCRIPTION:</td></tr><tr><td> </td><td> </td><td colspan="2"> </td></tr><tr><td> </td><td> </td><td colspan="2"> </td></tr><tr><td> </td><td> </td><td colspan="2"> </td></tr><tr><td> </td><td> </td><td colspan="2"> </td></tr><tr><td colspan="4"><div><div><div>ALUMINUM SPIRAL STAIR</div><div><div>Paragon Stairs</div></div><div>105 G.P. CLEMENT DRIVE COLLEGEVILLE, PA 19426 1-800-368-8280</div></div></div></td></tr><tr><td colspan="2">DRAWN DATE:</td><td colspan="2">SCALE:</td></tr><tr><td colspan="2">4/4/24</td><td colspan="2">N.T.S.</td></tr><tr><td colspan="2">DRAWN BY:</td><td colspan="2">APPROVED BY:</td></tr><tr><td colspan="2">Y.V.</td><td colspan="2">XX</td></tr><tr><td colspan="2">JOB No.</td><td colspan="2">REV No.</td></tr><tr><td colspan="2">P-418822</td><td colspan="2">1</td></tr><tr><td colspan="4">ARCH:</td></tr></table>		PROJECT:		NAME:		ALLEN, STEVEN - SHOP DRAWINGS		ALLEN, STEVEN		ADDRESS:				2277 DOLPHIN DR APTOS, CA 95003-5857 USA				INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A PROFESSIONAL SERVICE RENDERED BY AND IS OWNED BY SALTER SPIRAL STAIR. REPRODUCTION OF THIS PLAN WITHOUT APPROVAL OF SALTER SPIRAL STAIR IS NOT PERMITTED. THE REPRODUCTION OF A COPY OF THIS PLAN FOR THE PURPOSE OF CREATING ADDITIONAL COPIES OR REVISING SAID PLAN SHALL, IN NO CIRCUMSTANCE, BE APPROVED. VIOLATION OF THIS RESTRICTION SHALL BE CONSIDERED A VIOLATION OF BOTH THE PROFESSIONAL CODE OF ETHICS AND A THEFT OF CORPORATE ASSETS, BOTH OF WHICH SHALL BE PROSECUTED TO THE FULLEST EXTENT OF CURRENT STATUTES. THIS PLAN HAS BEEN SPECIFICALLY PREPARED FOR THE PROJECT DESIGNATED HEREON. ANY MODIFICATION, REVISION, DUPLICATION OR USE WITHOUT THE WRITTEN CONSENT OF SALTER SPIRAL STAIR IS PROHIBITED. RELIANCE ON THIS PLAN FOR ANY PURPOSE OTHER THAN THAT WHICH IT IS INTENDED SHALL BE AT THE SOLE DISCRETION AND LIABILITY OF THE APPLICABLE PARTY.				REVISIONS:				REV No.	DATE:	DESCRIPTION:																		<div><div><div>ALUMINUM SPIRAL STAIR</div><div><div>Paragon Stairs</div></div><div>105 G.P. CLEMENT DRIVE COLLEGEVILLE, PA 19426 1-800-368-8280</div></div></div>				DRAWN DATE:		SCALE:		4/4/24		N.T.S.		DRAWN BY:		APPROVED BY:		Y.V.		XX		JOB No.		REV No.		P-418822		1		ARCH:			
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13	TOP BALUSTER BRACKET	14	BALUSTER BASE PLATE	15	HANDRAIL PROFILE	16	BALUSTER TIPS																																																																														