

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060  
(831) 454-2580

**NOTICE OF PENDING ACTION**

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

**APPLICATON NUMBER: 241274      APN: 049-121-84**  
**SITUS: 711 Larkin Valley Road, Watsonville CA 95076**

Proposal to construct a 1541 square foot detached garage with a 180 square foot open porch.

Requires an Administrative Site Development Permit. Project is associated with Soils Report Review (REV241123). Requires biotic assessment review (REV241158)

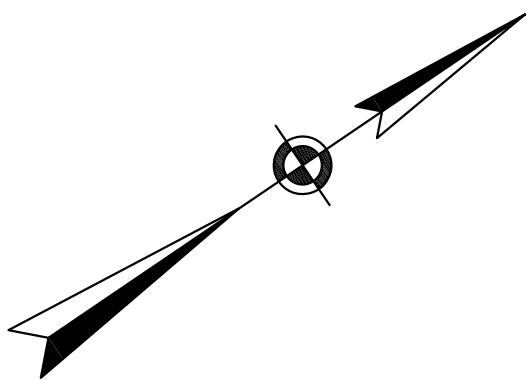
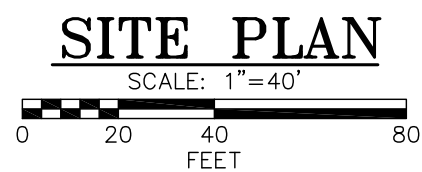
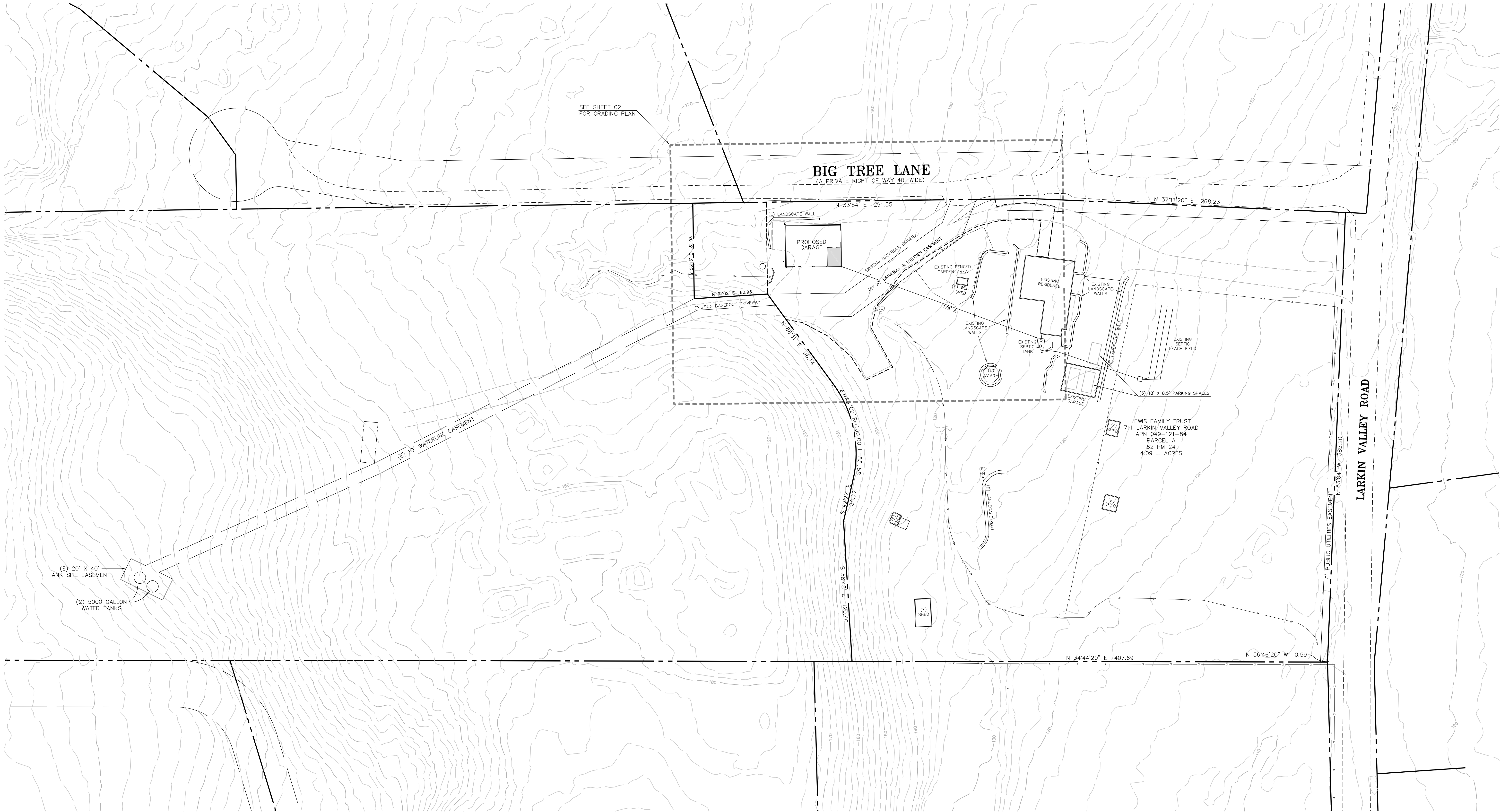
Parcel is located on the southwest side of Larkin Valley Road (711 Larkin Valley Road), approximately 7000 feet northwest of the intersection of Larkin Valley Road and Buena Vista Drive in the Aptos Hills Planning Area

**OWNER: Nathan Lewis**  
**APPLICANT: Dee Murray Land Use Consultant**  
**SUPERVISORIAL DISTRICT: 2**  
**PLANNER: Michael Lam, (831) 454 -3371**  
**EMAIL: Michael.Lam@santacruzcountyca.gov**

**Public comments must be received by 5:00 p.m. 07/22/2025. A decision will be made on or shortly after 07/23/2025.**

**Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. Planner will provide notification of decision to any requesting party.**

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.



**FIRE DEPT NOTES**

- ALL BUILDINGS SHALL BE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM COMPLYING WITH THE CURRENTLY ADOPTED EDITION OF NFPA 13-D AND ADOPTED STANDARDS OF THE SANTA CRUZ COUNTY FIRE CHIEFS' ASSOCIATION.
- A 100-FOOT CLEARANCE SHALL BE MAINTAINED AROUND AND ADJACENT TO THE BUILDING OR STRUCTURE TO PROVIDE ADDITIONAL FIRE PROTECTION OR FIRE BREAK BY REMOVING ALL BRUSH, FLAMMABLE VEGETATION, OR COMBUSTIBLE GROWTH. EXCEPTION: SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVERS, PROVIDED THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM NATIVE GROWTH TO ANY STRUCTURE.
- BUILDING NUMBERS SHALL BE PROVIDED. NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES IN HEIGHT ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET. WHERE NUMBERS ARE NOT VISIBLE FROM THE STREET, ADDITIONAL NUMBERS SHALL BE INSTALLED ON A DIRECTIONAL SIGN AT THE PROPERTY DRIVEWAY AND THE STREET.
- ROOF COVERINGS TO BE NO LESS THAN CLASS "B" RATED ROOF.
- A MINIMUM OF 48 HOURS NOTICE TO THE FIRE DEPARTMENT IS REQUIRED PRIOR TO INSPECTION.
- THE JOB COPIES OF THE BUILDING AND FIRE SYSTEMS PLANS AND PERMITS MUST BE ON-SITE DURING INSPECTIONS.

**PROJECT DATA TABLE**

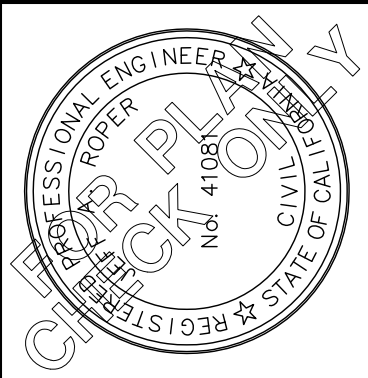
LOT AREA:	4.09 ± ACRES (178,160 SF)
BUILDING AREAS:	2956 SF EXISTING HOUSE & GARAGE 1541 SF PROPOSED GARAGE 4497 SF TOTAL (SHEDS NOT INCLUDED)
PROPOSED AREA OF DISTURBANCE:	16,466 SF LIMITS OF DISTURBANCE
ESTIMATED GRADING:	LESS THAN 100 CUBIC YARDS
PARKING:	2 SPACES IN EXISTING GARAGE & 1 SPACE IN DRIVEWAY
BUILDING HEIGHT:	LESS THAN 28 FEET
PROPOSED PLUMBING:	NONE
HABITABILITY:	NON-HABITABLE NEW GARAGE
BIOTIC ASSESSMENT AND CONDITIONED APPROVAL APPLICATION # REV241158, APP-241274 CONDITIONS OF APPROVAL MUST BE INCORPORATED INTO ANY DEVELOPMENT PERMITS FOR PARCEL 049-121-84.	

**LEGEND**

- 14- EXISTING CONTOUR
- +14.79 EXISTING GRADE
- ← FLOWLINE
- X- FENCE
- PROPERTY LINE

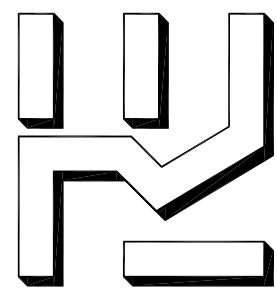
**NOTE**

TOPOGRAPHIC MAPPING THIS SHEET BASED UPON AERIAL MAPPING BY SANTA CRUZ COUNTY DATED 2020, NAVD 1988 DATUM  
BOUNDARY LINES COMPILED FROM RECORD INFORMATION  
THIS IS NOT A BOUNDARY SURVEY



UNLESS SIGNED BY THE ENGINEER, THIS PLAN IS FOR REFERENCE ONLY. THE SIGNED PLAN IS THE ONLY PLAN TO BE USED FOR CONSTRUCTION.

**ROPER ENGINEERING**  
CIVIL ENGINEERING & LAND SURVEYING  
48 MANN AVENUE CORRALITOS, CA 95076  
(831) 724-5300 [jeff@roperengineering.com](mailto:jeff@roperengineering.com)



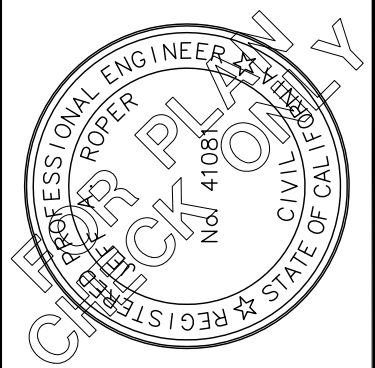
**NEW GARAGE FOR  
NATHAN & DEBRA LEWIS**  
711 LARKIN VALLEY ROAD, WATSONVILLE APN 049-121-84

**SITE PLAN**

SCALE:	AS NOTED
DESIGNED BY:	JR
DRAWN BY:	JR
DATE:	JUNE 21, 2024
REVISED:	FEB. 3, 2025
JOB NO.:	13011
SHEET	

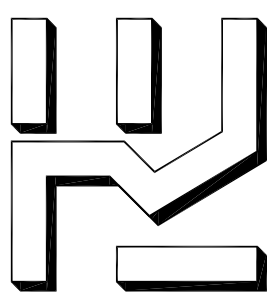
**C1**

TOPOGRAPHIC MAPPING BASED UPON A FIELD SURVEY BY ROPER ENGINEERING, DATED 8-25-22, NAVD 1988 DATUM. BOUNDARY LINES COMPILED FROM RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY.



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CIVIL ENGINEERING & LAND SURVEYING  
48 MAIN AVENUE CORRALITOS, CA 95076  
(831) 724-5300 [jeff@roperengineering.com](mailto:jeff@roperengineering.com)



**NEW GARAGE FOR NATHAN & DEBRA LEWIS**  
711 LARKIN VALLEY ROAD, WATSONVILLE APN 049-121-84

**GRADING PLAN**

SCALE:	AS NOTED
DESIGNED BY:	JR
DRAWN BY:	JR
DATE:	JUNE 21, 2024
REVISED:	FEB. 3, 2024
JOB NO.:	13011
SHEET	

**C2**

OF 2 SHEETS

**BENCHMARK**  
1/2" PIPE LS3233  
ELEVATION = 157.39  
NAVD 1988 DATUM

**BIG TREE LANE** (A PRIVATE RIGHT OF WAY 40' WIDE)

### GRADING NOTES

- UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR. PRIOR TO EXCAVATION, CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES. CALL 811 TO HAVE UTILITIES LOCATED AND MARKED.
- VEGETATION, ROOTS AND DELETERIOUS MATERIALS SHALL BE REMOVED FROM AREA TO BE GRADED PRIOR TO GRADING.
- CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL IN NATIVE MATERIAL AS DETERMINED BY THE ENGINEER.
- FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
- FILL SHALL BE COMPACTED TO 90% RELATIVE COMPACTION UNLESS OTHERWISE NOTED.
- AFTER GRADING, SPREAD TOPSOIL FROM STRIPPINGS ON SLOPES AND LANDSCAPED AREAS 3" TO 6" DEEP.
- BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
- CUT AND FILL SLOPES SHALL BE PLANTED WITH ANNUAL RYE GRASS (40 LBS/ACRE) AND MULCHED WITH COMPOST.
- CONCRETE IN DRIVEWAYS SHALL HAVE A COMPRESSIVE STRENGTH OF 2500 PSI @ 28 DAYS.
- THE UPPER 8 INCHES OF SUBGRADE IN DRIVEWAY AREAS SHALL BE COMPACTED TO 95% RELATIVE COMPACTION. SEE GEOTECHNICAL INVESTIGATION FOR FURTHER SPECIFICATIONS.
- AGGREGATE BASE SHALL BE CLASS 2 IN CONFORMANCE WITH SECTION 26 OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

**IMPERVIOUS SURFACES**  
NEW GARAGE : 1728 SF

**ESTIMATED EARTHWORK**  
LESS THAN 100 CUBIC YARDS

### LEGEND

- NEW CONCRETE
- NEW ASPHALT CONCRETE
- EXISTING CONTOUR
- FINISH CONTOUR
- FINISH GRADE
- FLOWLINE
- FENCE
- PROPERTY LINE

### GRADING PLAN

SCALE: 1"=10'  
0 5 10 20  
FEET



GENERAL NOTES AND DESIGN SPECIFICATIONS

- GENERAL NOTES:
- EVERY EFFORT HAS BEEN MADE TO ELIMINATE ERRORS DURING THE PREPARATION OF THESE DRAWINGS, BUT BECAUSE TIMBERLYNE CANNOT GUARANTEE AGAINST THE POSSIBILITY OF HUMAN ERROR, IT BECOMES THE OBLIGATION OF THE USER TO VERIFY THE ACCURACY OF ALL DETAILS AND DIMENSIONS AND PERSONALLY BE RESPONSIBLE FOR THEM.
  - NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. LARGER SCALE OVER SMALLER SCALE.
  - ALL MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS ARE DESIGN/BUILD FURNISHED BY THE MECHANICAL/ELECTRICAL CONTRACTOR FOR THEIR USE.
  - ALL TIMBERS ARE FULL DIMENSION ROUGH SAWN UNLESS NOTED. SILL PLATE IS 2X TREATED UNLESS NOTED OTHERWISE. WE RECOMMEND SILL SEALER BE INSTALLED BENEATH THE SILL PLATE.
  - WHERE FEASIBLE INSTALL THE BOLTS IN THE PLATE JOINERY SO THAT THE NUTS CAN BE ACCESSED FROM THE INTERIOR OF THE BARN. THE SIDING OR FRAMING MAY NEED TO BE NOTCHED SLIGHTLY FOR PLATE AND BOLT CLEARANCE.
  - VERIFY WINDOW AND DOOR ROUGH OPENINGS BEFORE FRAMING.
  - WE RECOMMEND 1X4 BREAKER BOARD BE INSTALLED AT SIDING SPLICES. WE RECOMMEND THAT THE CONTRACTOR INSTALL 2 FLASHING @ ALL BREAKER BOARD LOCATIONS.
  - EXTERIOR FLASHING TO BE INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, AND PROJECTIONS OR PENETRATIONS AS REQUIRED BY GOOD CONSTRUCTION PRACTICES. FLASHING IS NOT SUPPLIED BY TIMBERLYNE.
  - ANY MATERIALS SHOWN ON THESE DRAWINGS WHICH ARE NOT WRITTEN IN YOUR CONTRACT OR INCLUDED IN THE TIMBERLYNE MATERIALS LIST ARE TO BE PROVIDED BY THE BUYER.
  - WHERE TREATED WOOD IS CROSSCUT, NOTCHED, OR BORED ON SITE, THE EXPOSED UNTREATED WOOD SHOULD BE GIVEN TWO LIBERAL COATS OF A WOOD PRESERVATIVE SEALANT.

FOUNDATION NOTES:

1. LOCAL BUILDING CODE SPECIFICATIONS REGARDING WATERPROOFING, DAMP PROOFING AND VENTILATION OF FOUNDATION WALLS AND SLABS, TAKE PRECEDENCE OVER THE STANDARD INFORMATION SHOWN IN THESE DRAWINGS. IT IS THE RESPONSIBILITY OF THE BUYER, OR ON-SITE FOUNDATION CONTRACTOR TO SATISFY THE LOCAL BUILDING CODE REQUIREMENTS.

SOIL: FOOTINGS ARE DESIGNED TO A MIN. SOIL CAPACITY OF 1500 PSF.

SLABS: CONCRETE SLABS SHALL CONFORM TO A 28-DAY STRENGTH OF 3000 PSI AND FOOTINGS TO A STRENGTH OF 3000 PSI.

CODE: 2016 INTERNATIONAL BUILDING CODE & LOCAL CODES

LOADS  
ROOF LIVE/SNOW LOAD= \_\_\_ PSF  
LOFT LIVE LOAD= \_\_\_ PSF  
WIND LOAD = \_\_\_ MPH "L" EXPOSURE  
SEISMIC DESIGN CATEGORY= \_  
IMPORTANCE CATEGORY= \_

BUILDING ERECTION SAFETY NOTES:  
THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES IN ACCORDANCE WITH NATIONAL, STATE, AND LOCAL SAFETY REQUIREMENTS. THE ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, AND TEMPORARY SUPPORTS IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

WOOD TYPE

STRUCTURAL FRAMING: RED PINE #2 OR BETTER UNO  
PURLIN: RED PINE #2 OR BETTER UNO

REVISION HISTORY

REV#	DATE:	DESCRIPTION:
0.0	04/15/2024	INITIAL
01	04/30/2024	ADJUSTED BENTS
02	05/16/2024	ADJUSTED EXTERIOR WALLS
1.0	06/25/2024	STRUCTURAL SET
1.1	07/24/2024	ADDED ROLL UP DOORS
1.2	12/04/2024	ADJUSTED BENTS
1.3	01/12/2025	ADJUSTED ROOF PITCH

SYMBOLS

WOOD IN SECTION

CONCRETE IN SECTION

SAND OR GRAVEL IN SECTION

STEEL IN SECTION

BATT INSULATION IN SECTION

INSULATION NAILBASE IN SECTION

ARCH ROOF

BOARD AND BATTEN SIDING

E1

ELEVATION NUMBER

A-S300

VIEW DIRECTION OF BUILDING ELEVATION

1

DESCRIBES DETAIL LETTER

1

DESCRIBES PAGE DETAIL IS ON

1

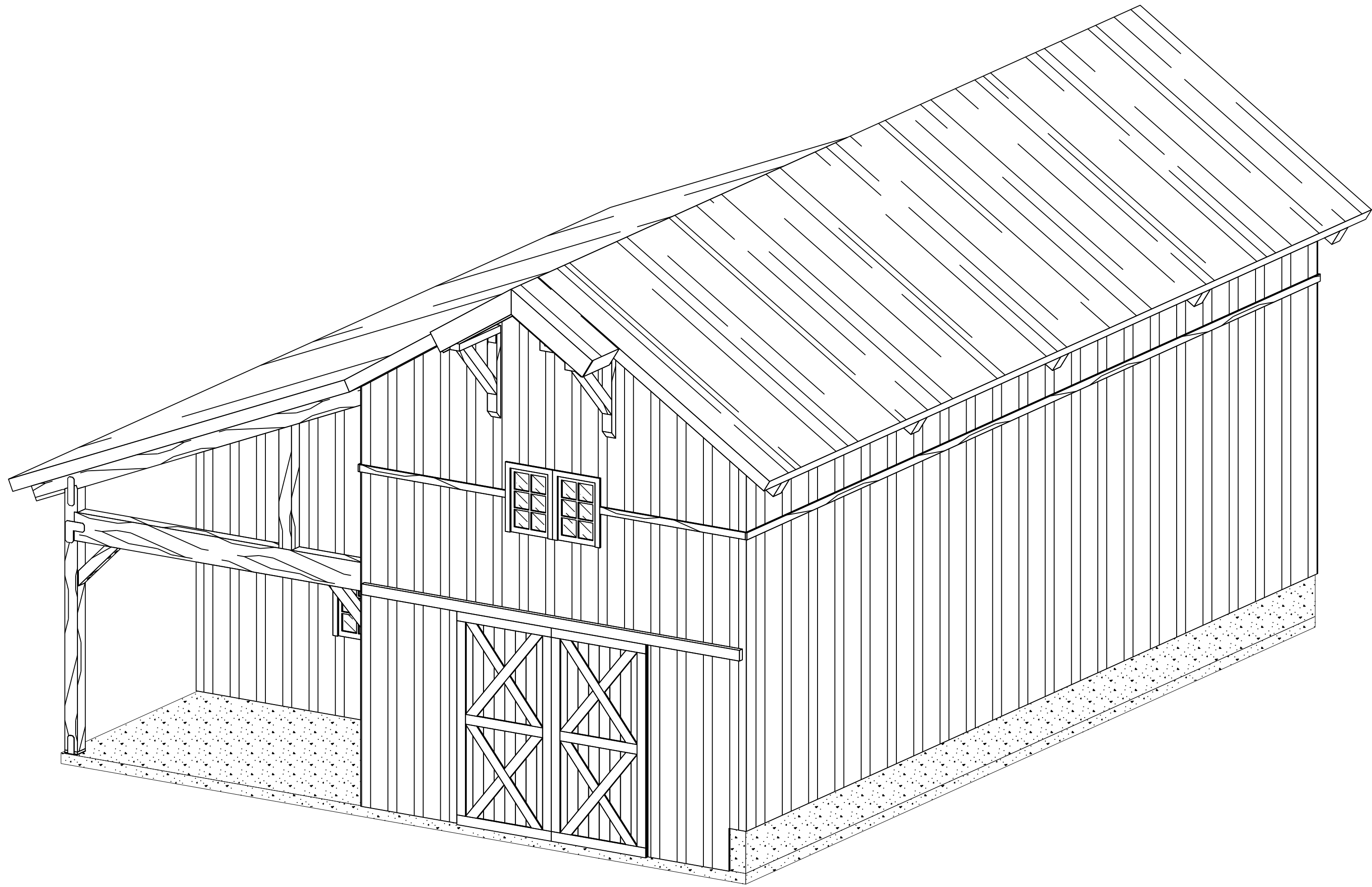
VIEW DIRECTION OF SECTION DETAILS

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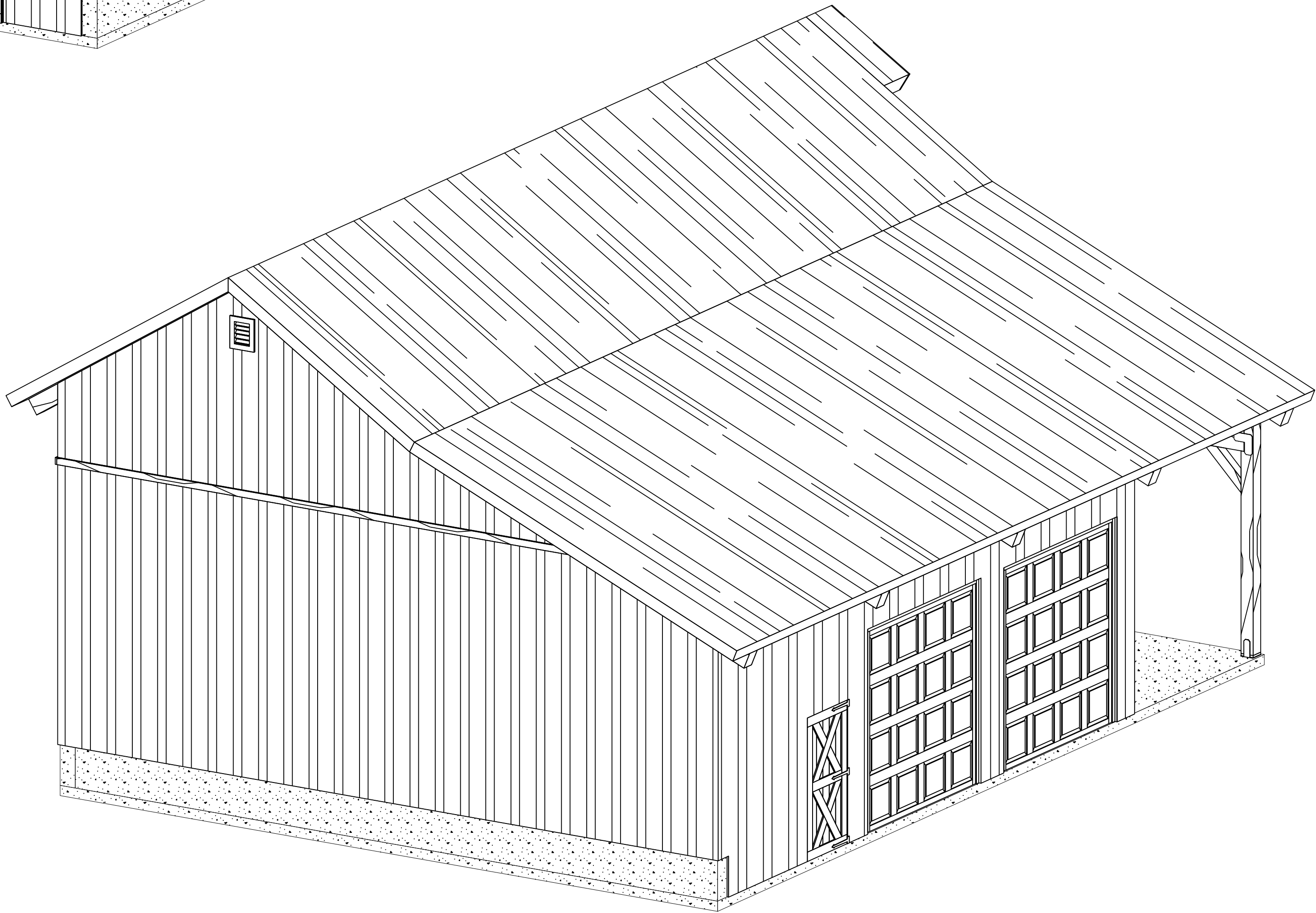
POST CONNECTION TYPE

STANDARD ABBREVIATIONS

CONC	CONCRETE	MAX	MAXIMUM	EXT	EXTERIOR
CONT	CONTINUOUS	MIN	MINIMUM	FF	FINISHED FLOOR
DBL	DOUBLE	NTS	NOT TO SCALE	FTG	FOOTING
DF	DOUGLAS FIR	OC	ON CENTER	INSUL	INSULATION
EA	EACH	OH	OVERHEAD	INT	INTERIOR
STD	STANDARD	T&G	TONGUE & GROOVE	TYP	TYPICAL



NOTE: THIS DRAWING IS PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE



SHEET INDEX

- 6000 COVER SHEET
- D200 MAIN FLOOR PLAN
- D201 UPPER WALL LAYOUT
- D300 EXTERIOR ELEVATIONS
- D301 EXTERIOR ELEVATIONS
- D400 BUILDING SECTIONS
- S200 FOUNDATION PLAN
- S300 DETAILED BUILDING SECTIONS
- S301 DETAILED BUILDING SECTIONS
- S400 CONNECTIONS AND ATTACHMENT DETAILS
- S401 FLASHING DETAILS
- S402 BUBBLE DETAILS
- S500 BENT DETAILS
- S502 FRAME ISO
- S600 POST CONNECTION BENT LAYOUT
- S601 MAIN FLOOR SHEAR WALL SCHEDULE

COVER SHEET

NOTE: LINE 3D DIAGRAMS ON COVER SHEET ( SHEET #1 ) ARE REPRESENTATIONAL ONLY AND ARE NOT INTENDED FOR USE AS CONSTRUCTION DRAWINGS



TIMBERLYNE

[www.timberlyne.com](http://www.timberlyne.com)

Nebraska: 116 West 1st Street  
Wayne, NE 68787  
888-489-1680

Texas: 613 Hwy 46 E  
Boerne, TX 78006  
877-680-1680

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CUSTOMER INFORMATION:

NATHAN  
LEWIS

PROJECT INFORMATION:

LEWIS

RESIDENTIAL GARAGE

711 LARKIN VALLEY RD  
WATSONVILLE, CA 95076

NUMBER: NLE0324-1

CATEGORY: RESIDENTIAL

STYLE: PONDEROSA

OTHER: --

OTHER: --

PM: LB

DRAWING INFORMATION:

DRAWN BY: AM

DATE: 01/17/2025

STATUS: STRUCTURAL SET

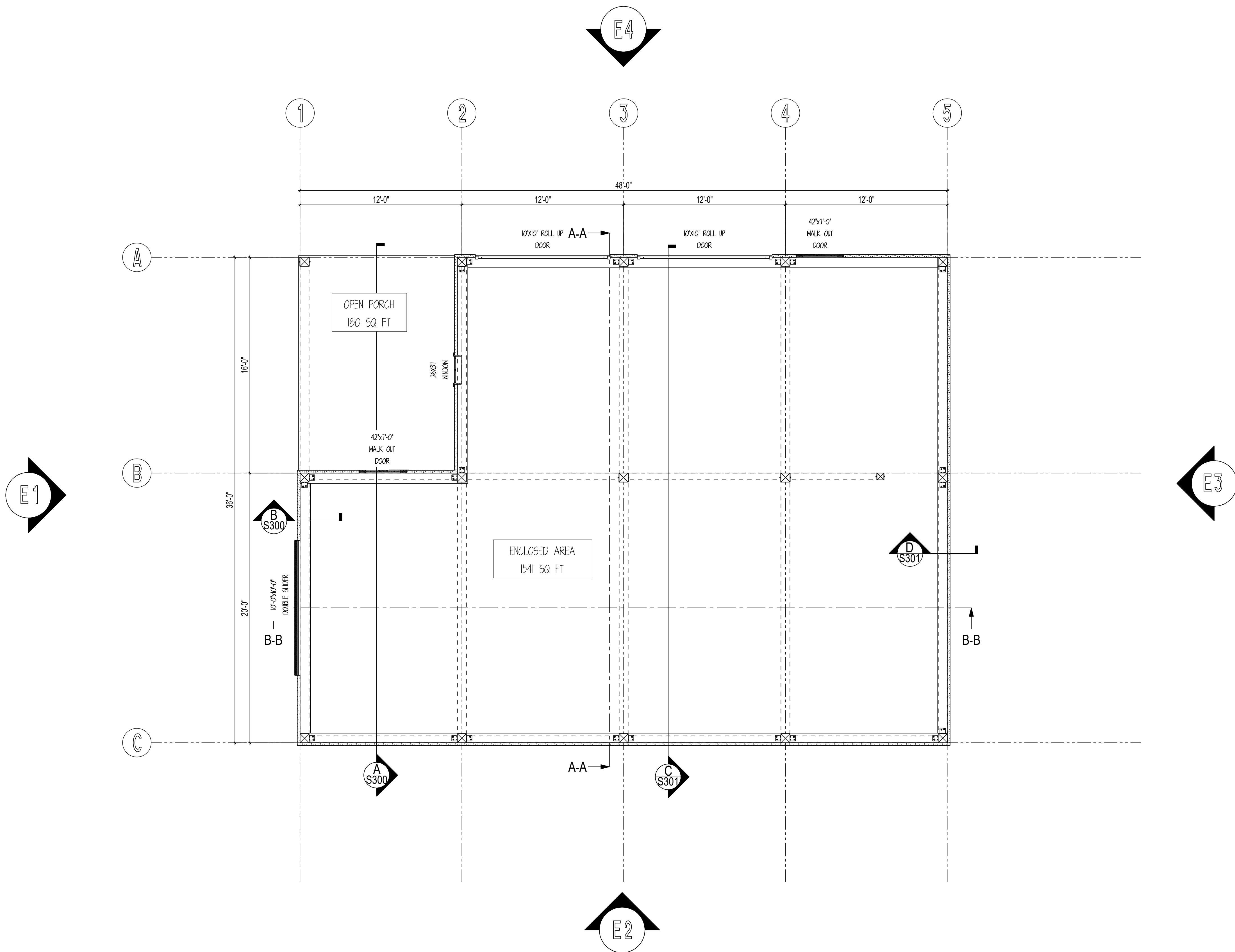
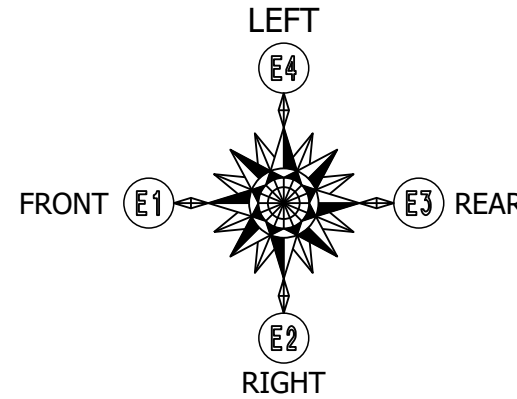
OTHER: --

OTHER: --

SHEET NOTES

SHEET

G000



**MAIN FLOOR LAYOUT**  
SCALE: 1/4" = 1'

**SHEET NOTES:**  
1. FLOOR LAYOUT DRAWINGS ARE NOT DESIGNED BY AN ARCHITECT. ADDITIONAL PROFESSIONAL SERVICES MAY BE REQUIRED TO COMPLY WITH LOCAL CODES AND REGULATIONS.  
2. TIMBERLYNE IS NOT RESPONSIBLE FOR DESIGNING ELECTRICAL, PLUMBING, AND HVAC PLANS.  
3. INTERIOR PARTITION WALLS, WINDOWS, DOORS, AND FIXTURES ARE PROVIDED BY CUSTOMER OR GENERAL CONTRACTOR.  
4. DAYLIGHT OPENING, VENT OPENING, AND EGRESS REQUIREMENTS ARE THE RESPONSIBILITY OF THE CUSTOMER/GENERAL CONTRACTOR.  
5. DOOR AND WINDOW LOCATIONS ARE APPROX. ONLY. EXACT LOCATION TO BE DETERMINED BY THE CUSTOMER AND GENERAL CONTRACTOR.

CUSTOMER INFORMATION:

**NATHAN LEWIS**

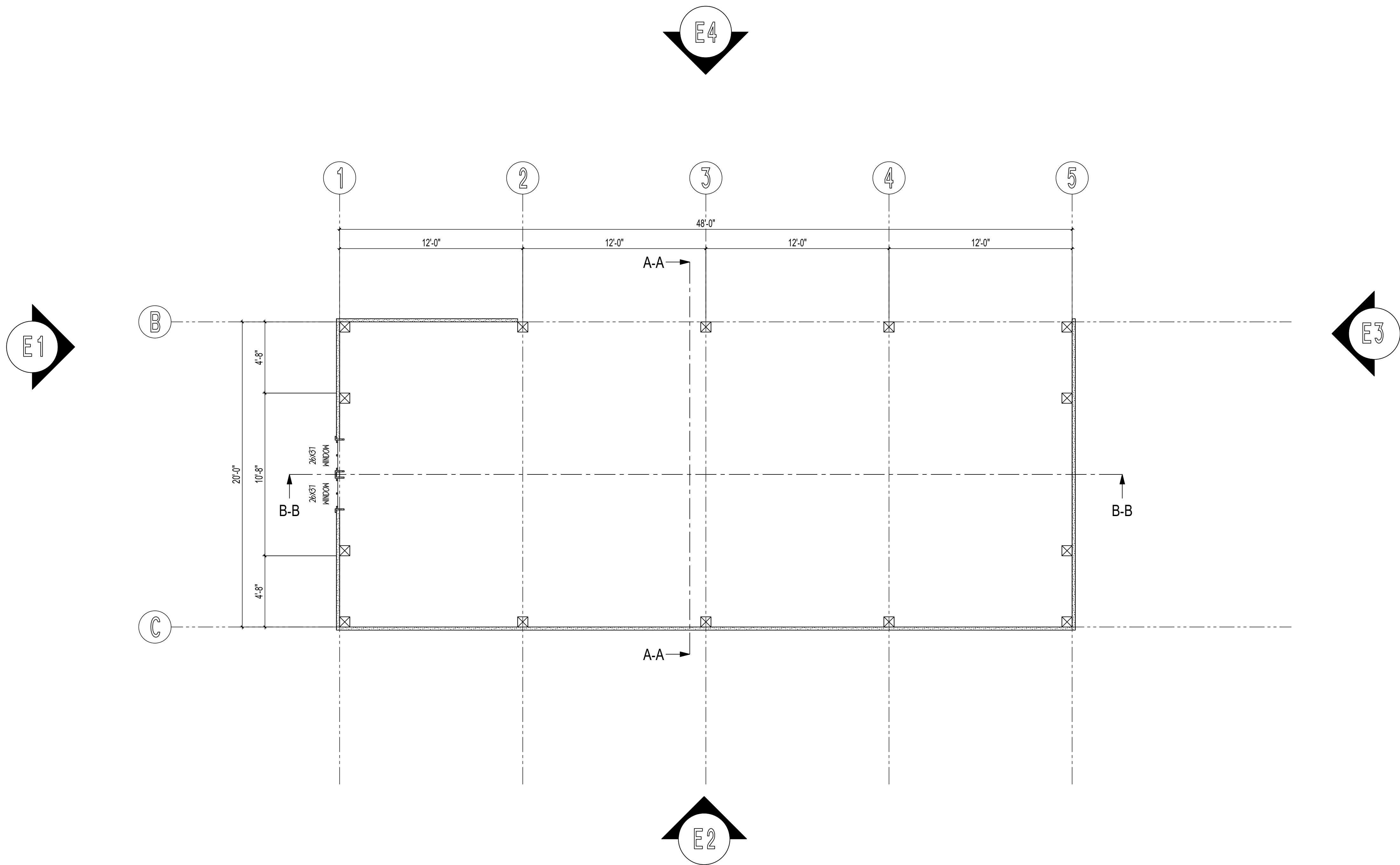
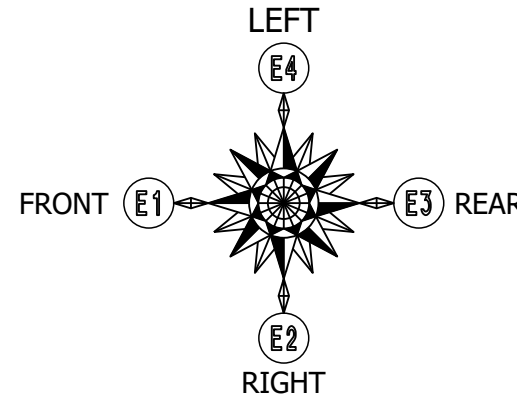
PROJECT INFORMATION:

**LEWIS**  
RESIDENTIAL GARAGE  
711 LARKIN VALLEY RD  
WATSONVILLE, CA 95076  
NUMBER: NLE0324-1  
CATEGORY: RESIDENTIAL  
STYLE: PONDEROSA  
OTHER: --  
OTHER: --  
PM: LB

DRAWING INFORMATION:

DRAWN BY: AM  
DATE: 01/17/2025  
STATUS: STRUCTURAL SET  
OTHER: --  
OTHER: --

SHEET NOTES



UPPER WALL LAYOUT

SCALE: 1/4" = 1'

SHEET NOTES:  
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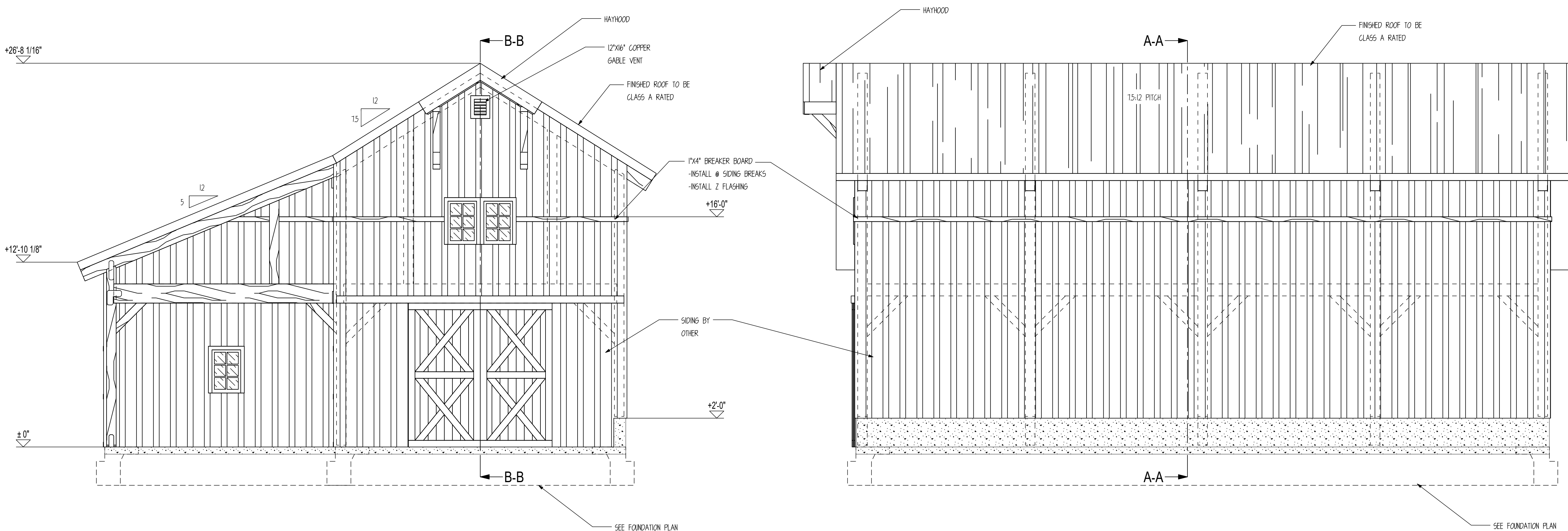
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711 LARKIN VALLEY RD  
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NUMBER: NLE0324-1  
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STYLE: PONDEROSA  
OTHER: --  
OTHER: --  
PM: LB

DRAWING INFORMATION:  
DRAWN BY: AM  
DATE: 01/17/2025  
STATUS: STRUCTURAL SET  
OTHER: --  
OTHER: --

SHEET NOTES

SHEET

**D201**



E1

FRONT ELEVATION

SCALE: 1/4" = 1'

E2

RIGHT ELEVATION

SCALE: 1/4" = 1'

SHEET NOTES:

- BREAKER BOARD LOCATION IS APPROX. ONLY AND SHOULD BE INSTALLED ON SITE TO MATCH SIDING LENGTH PROVIDED.
- DOOR AND WINDOW LOCATIONS ARE APPROX. ONLY. EXACT LOCATIONS TO BE VERIFIED BY CUSTOMER AND GENERAL CONTRACTOR.
- FINISHED ROOFING MATERIAL TO BE PROVIDED BY CUSTOMER OR GENERAL CONTRACTOR. ROOFING UNDERLAYMENT PROVIDED BY TIMBERLYNE

CUSTOMER INFORMATION:

NATHAN  
LEWIS

PROJECT INFORMATION:

LEWIS

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SHEET NOTES

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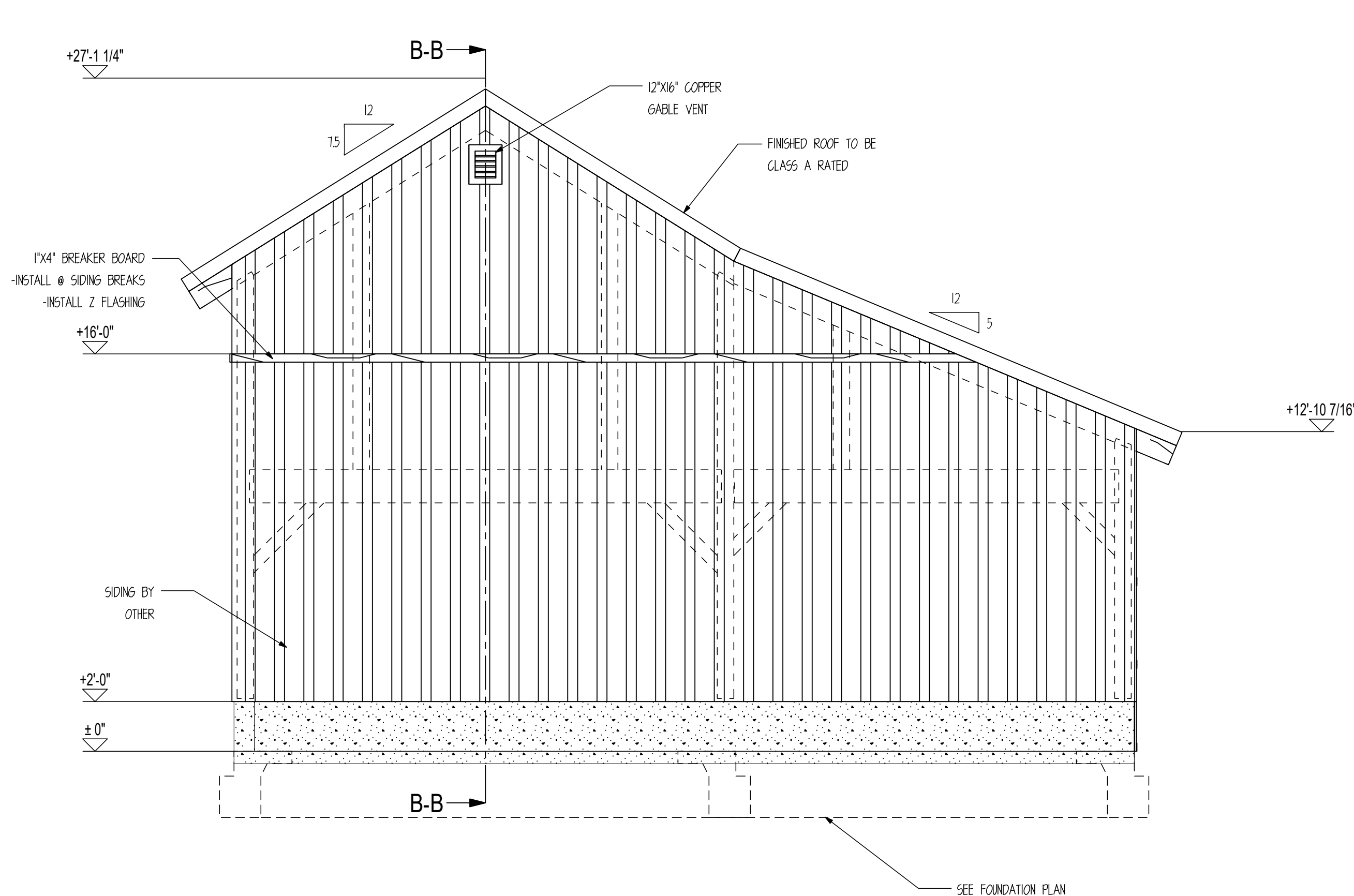
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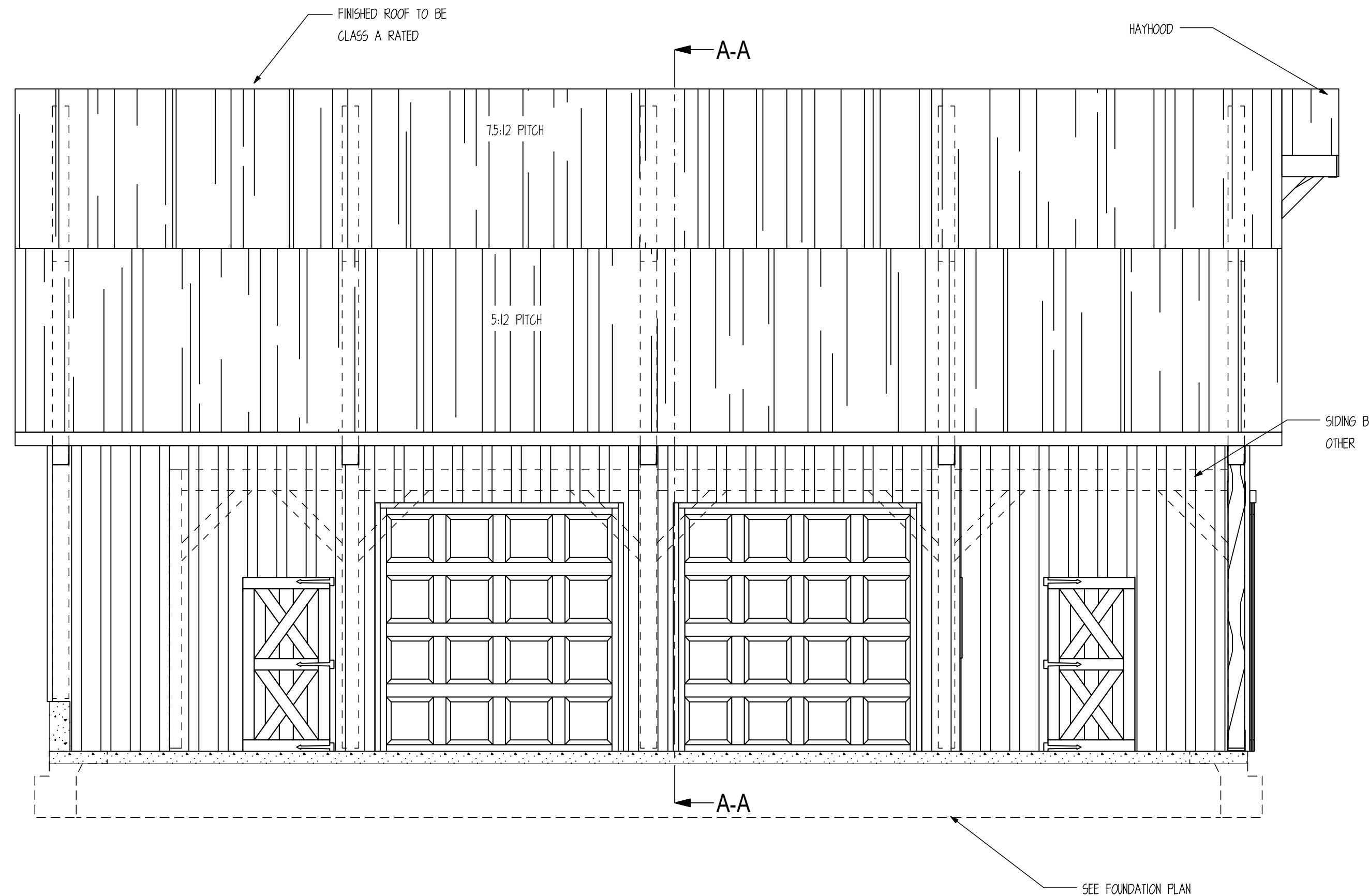
SHEET NOTES

SHEET

**D301**



**E3** **REAR ELEVATION**  
SCALE: 1/4" = 1'



**E4** **LEFT ELEVATION**  
SCALE: 1/4" = 1'

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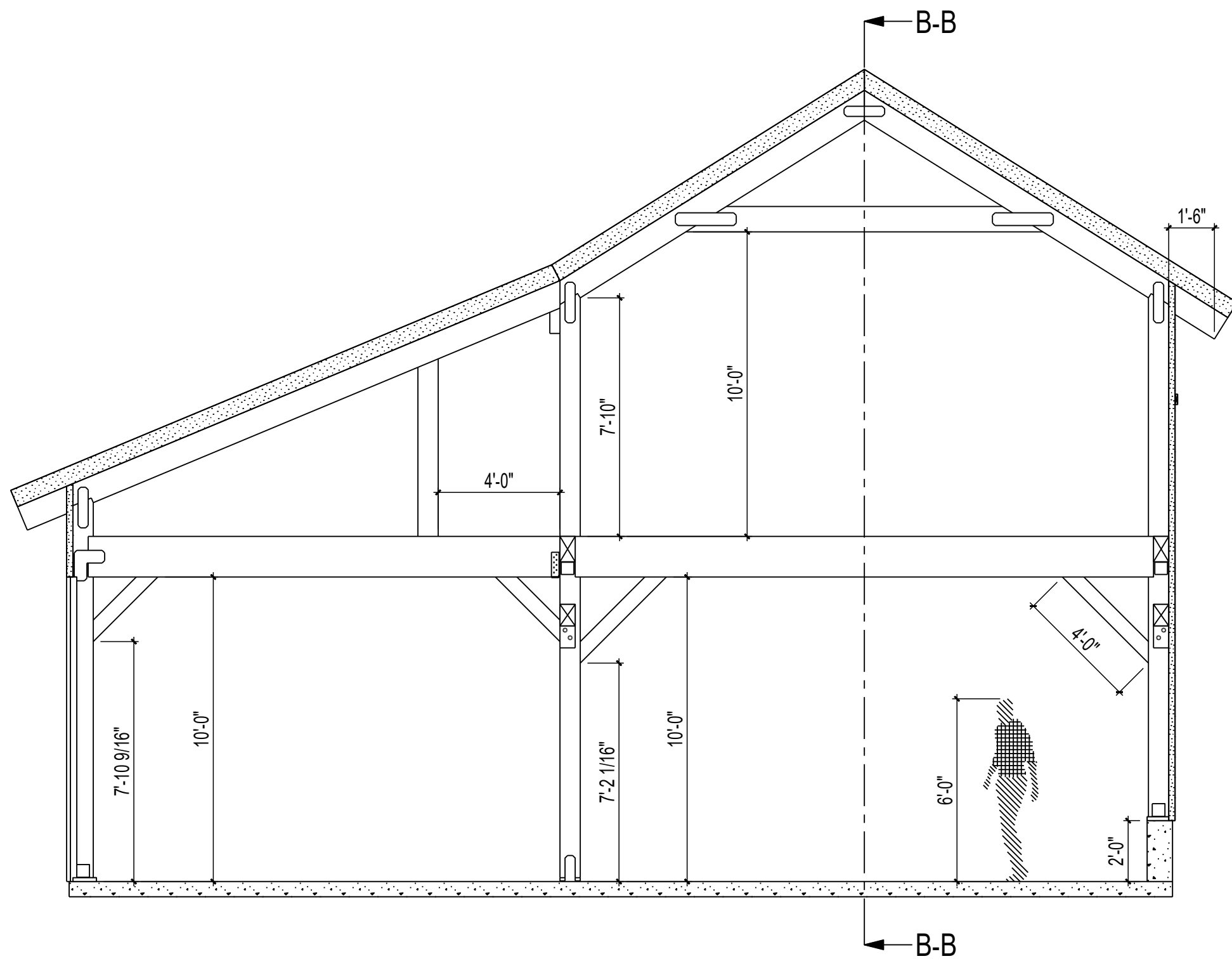
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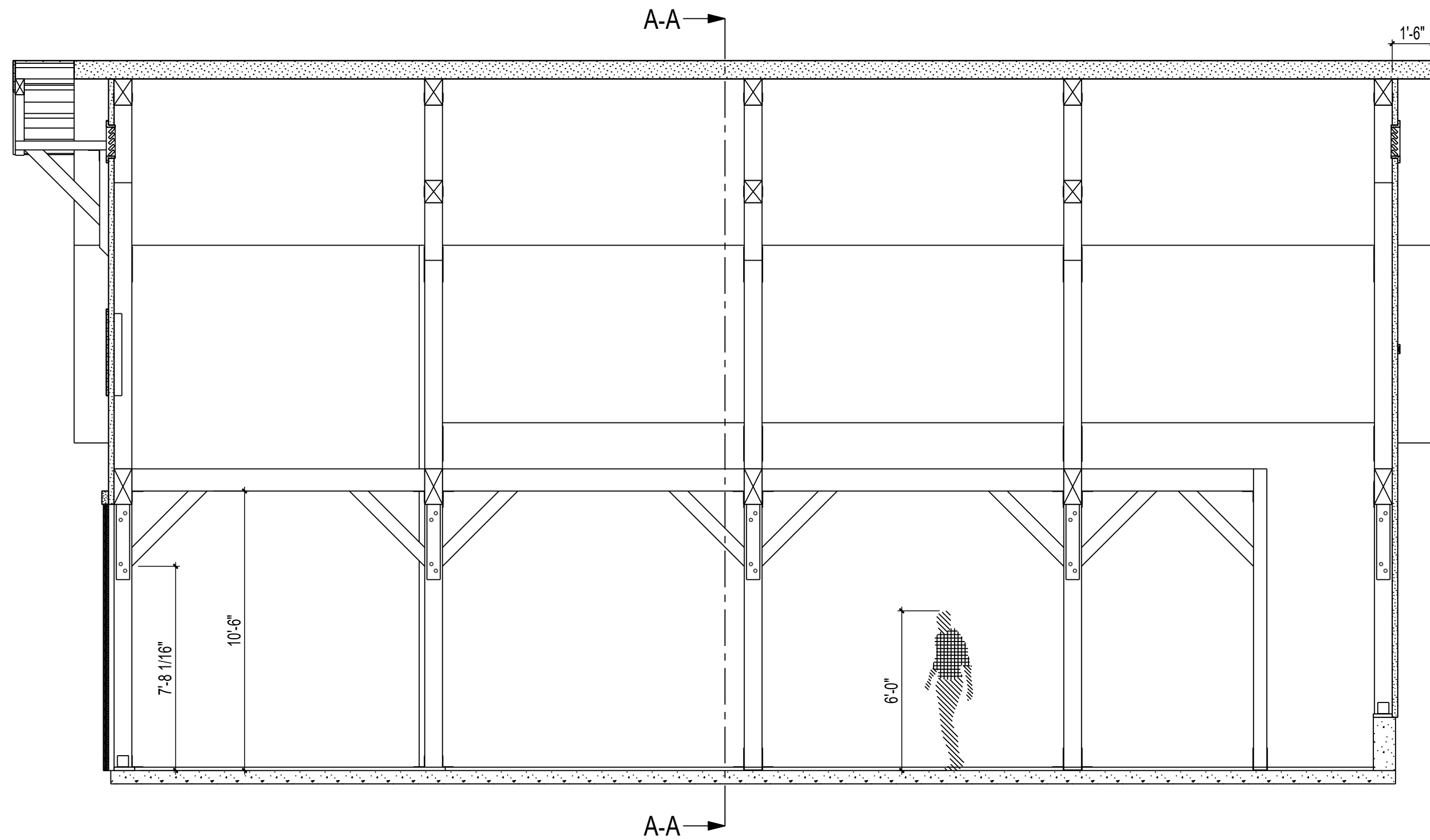
SHEET NOTES

SHEET

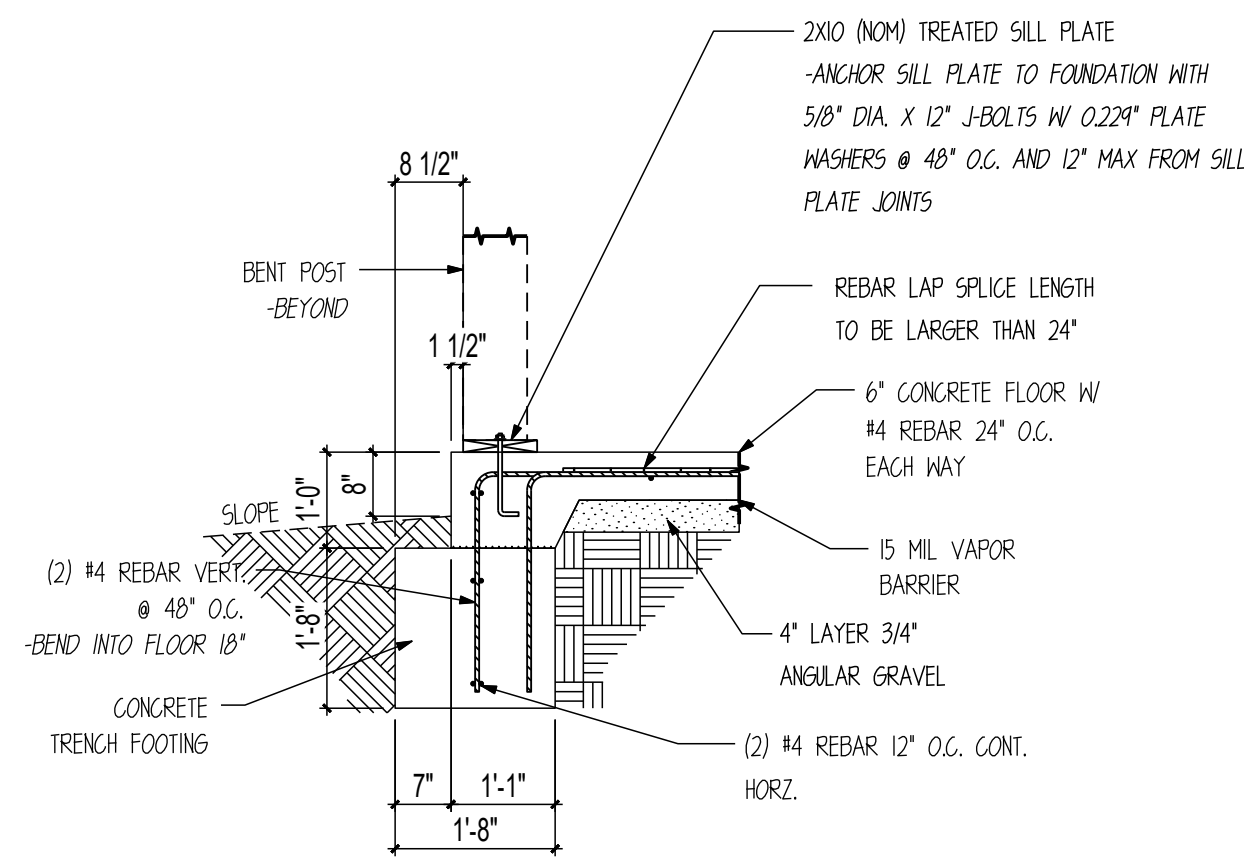
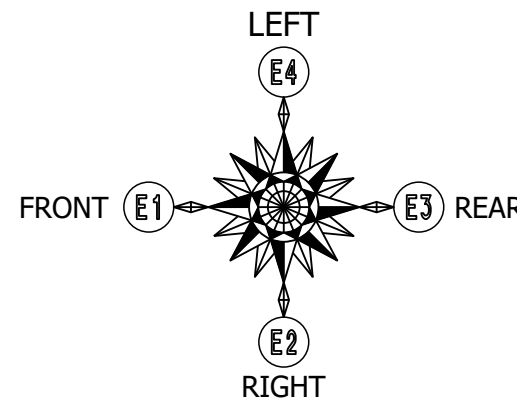
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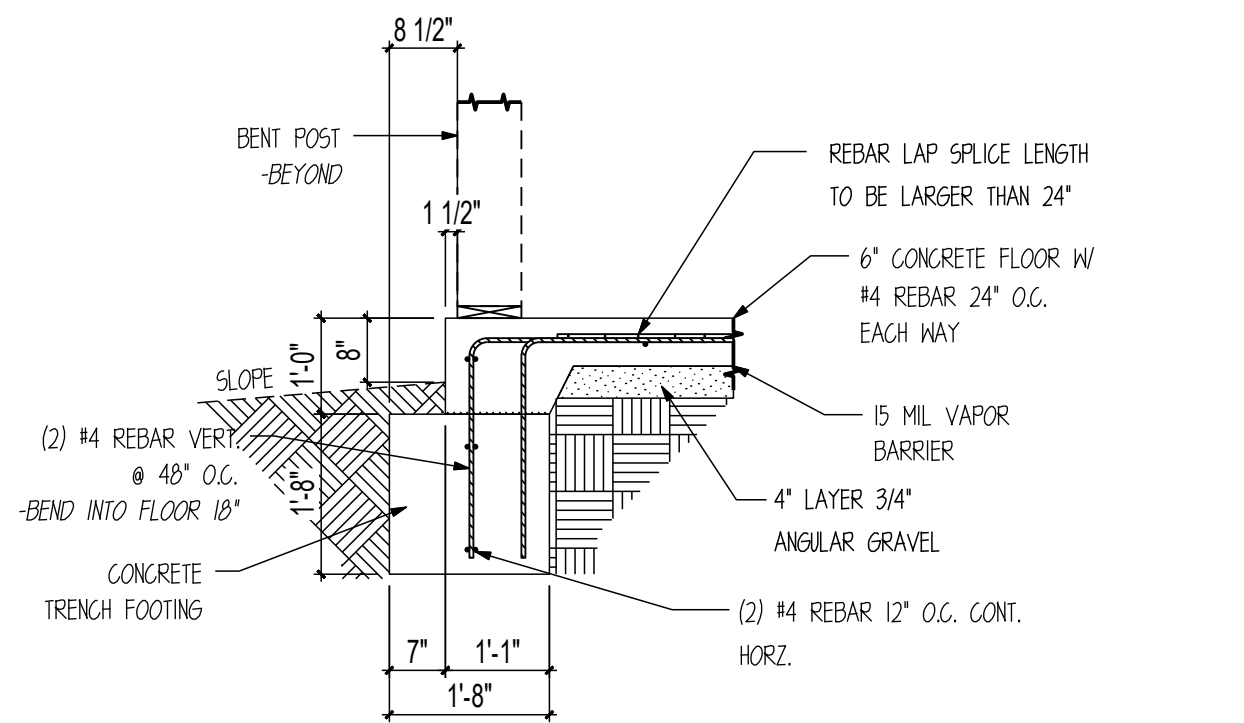
**BUILDING SECTION A-A**  
SCALE: 1/4" = 1'



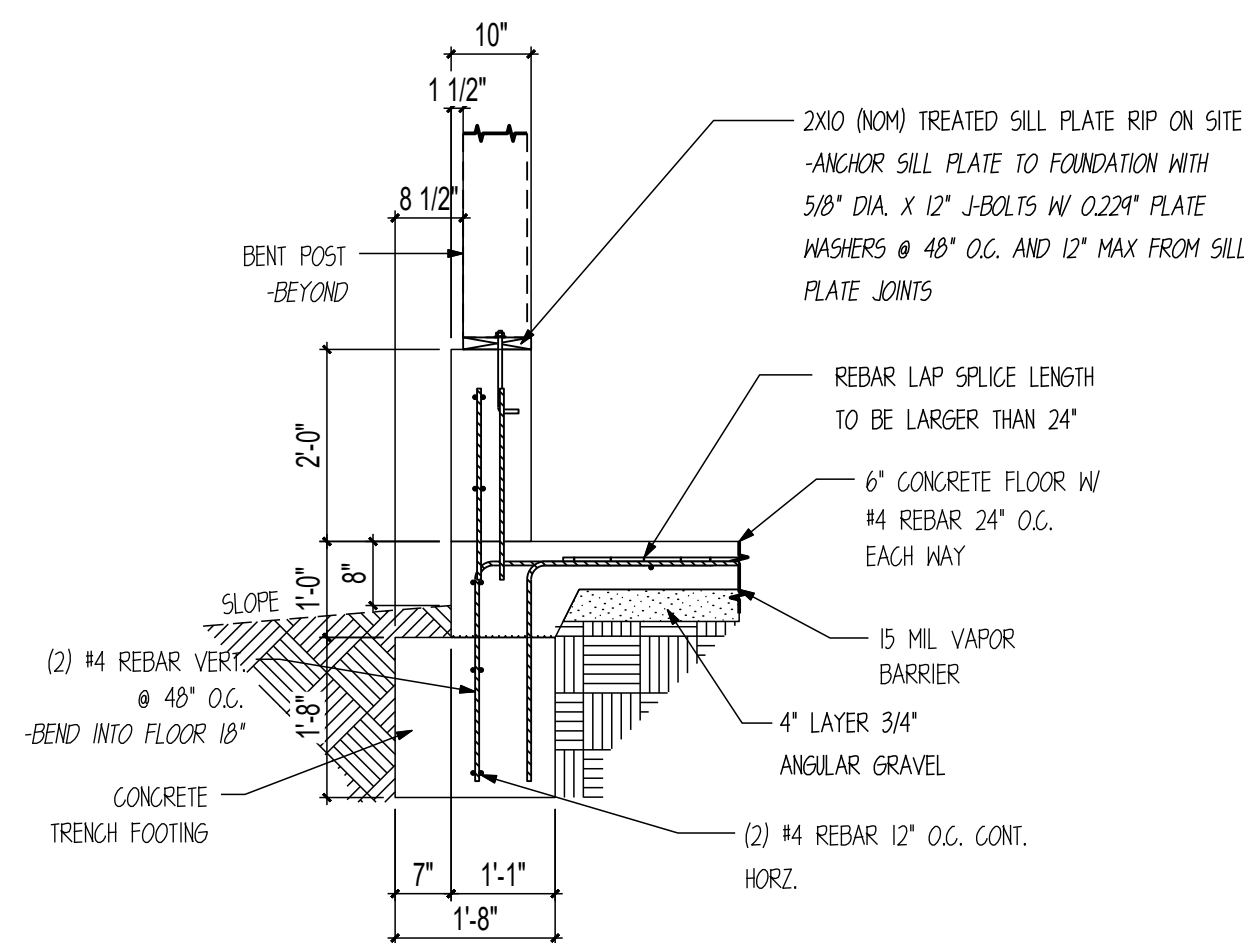
**BUILDING SECTION B-B**  
SCALE: 1/4" = 1'



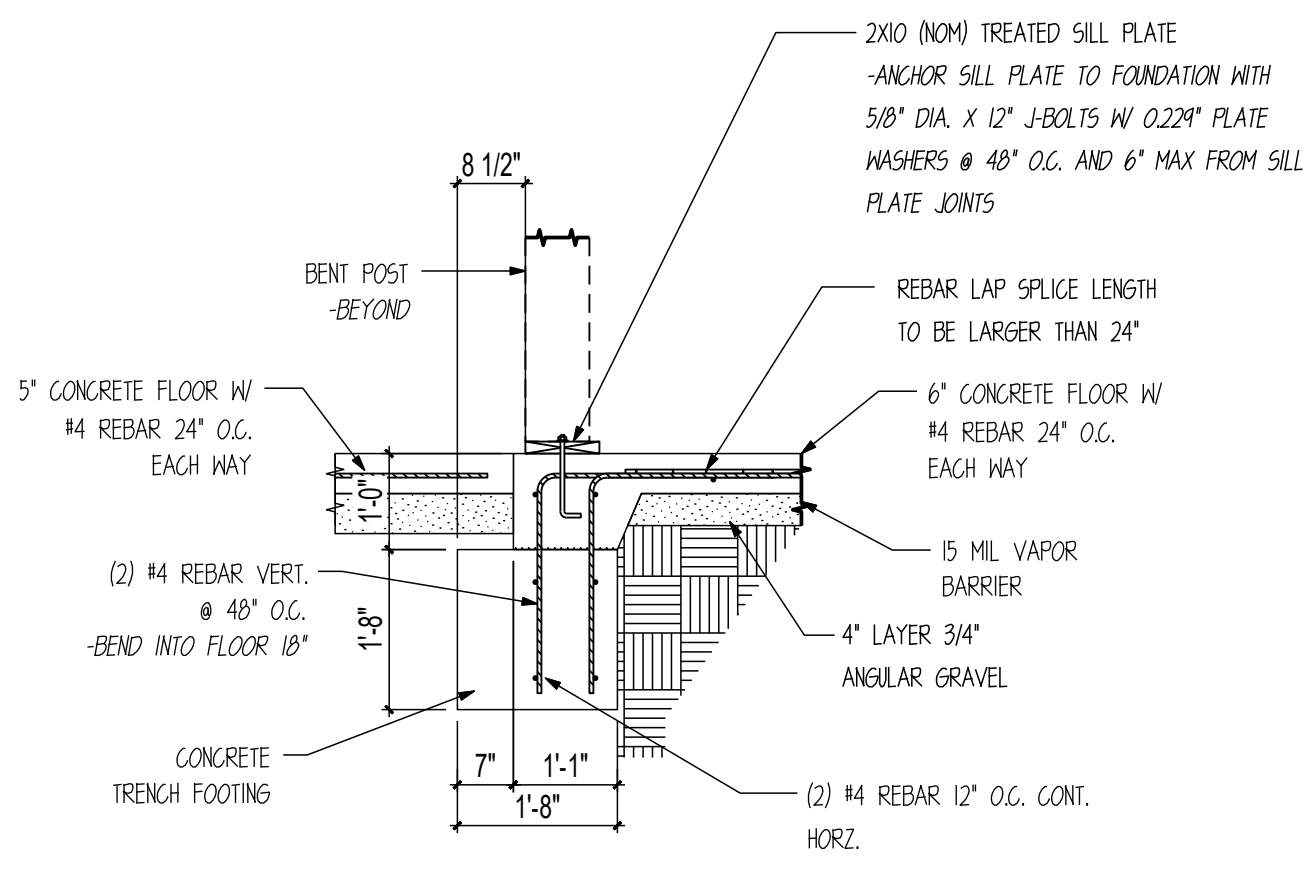
**A FOUNDATION DETAIL**  
SCALE : 1/2" = 1'-0"



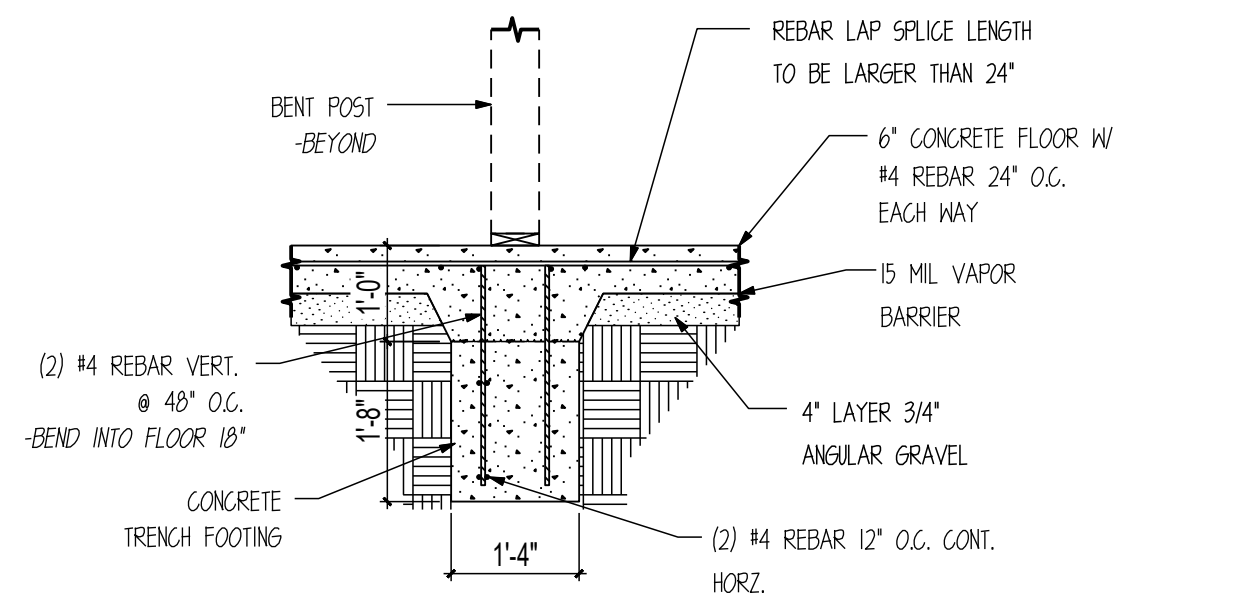
**B FOUNDATION DETAIL**  
SCALE : 1/2" = 1'-0"



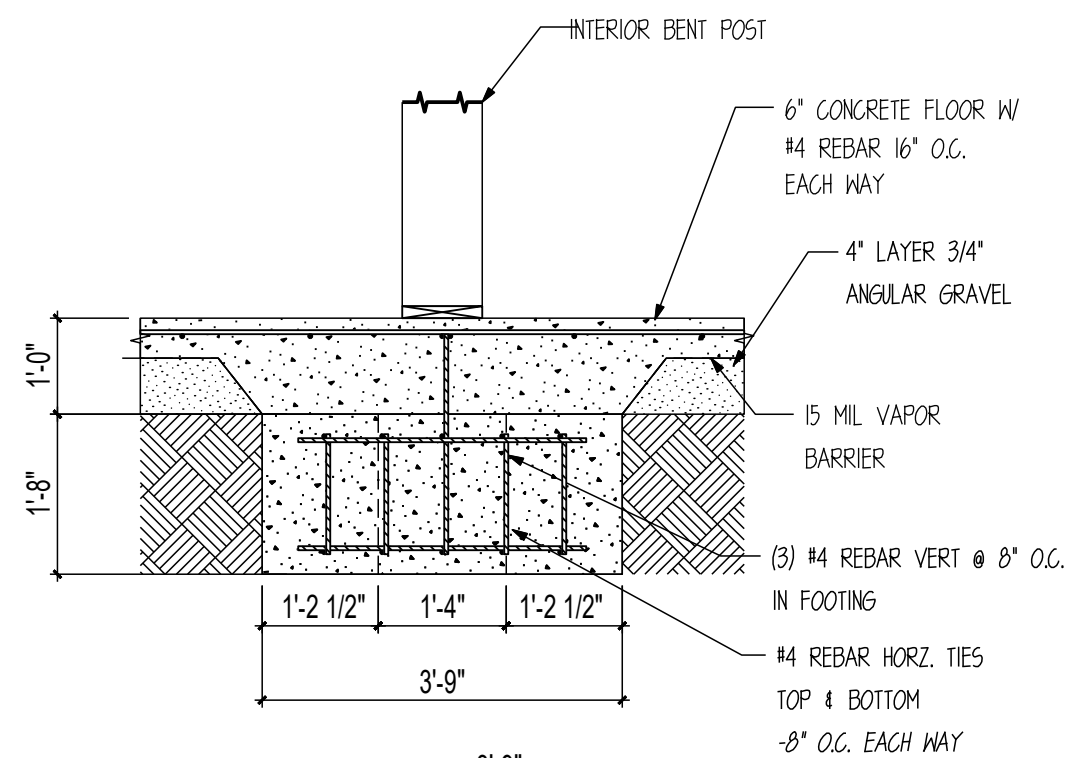
**C FOUNDATION DETAIL**  
SCALE : 1/2" = 1'-0"



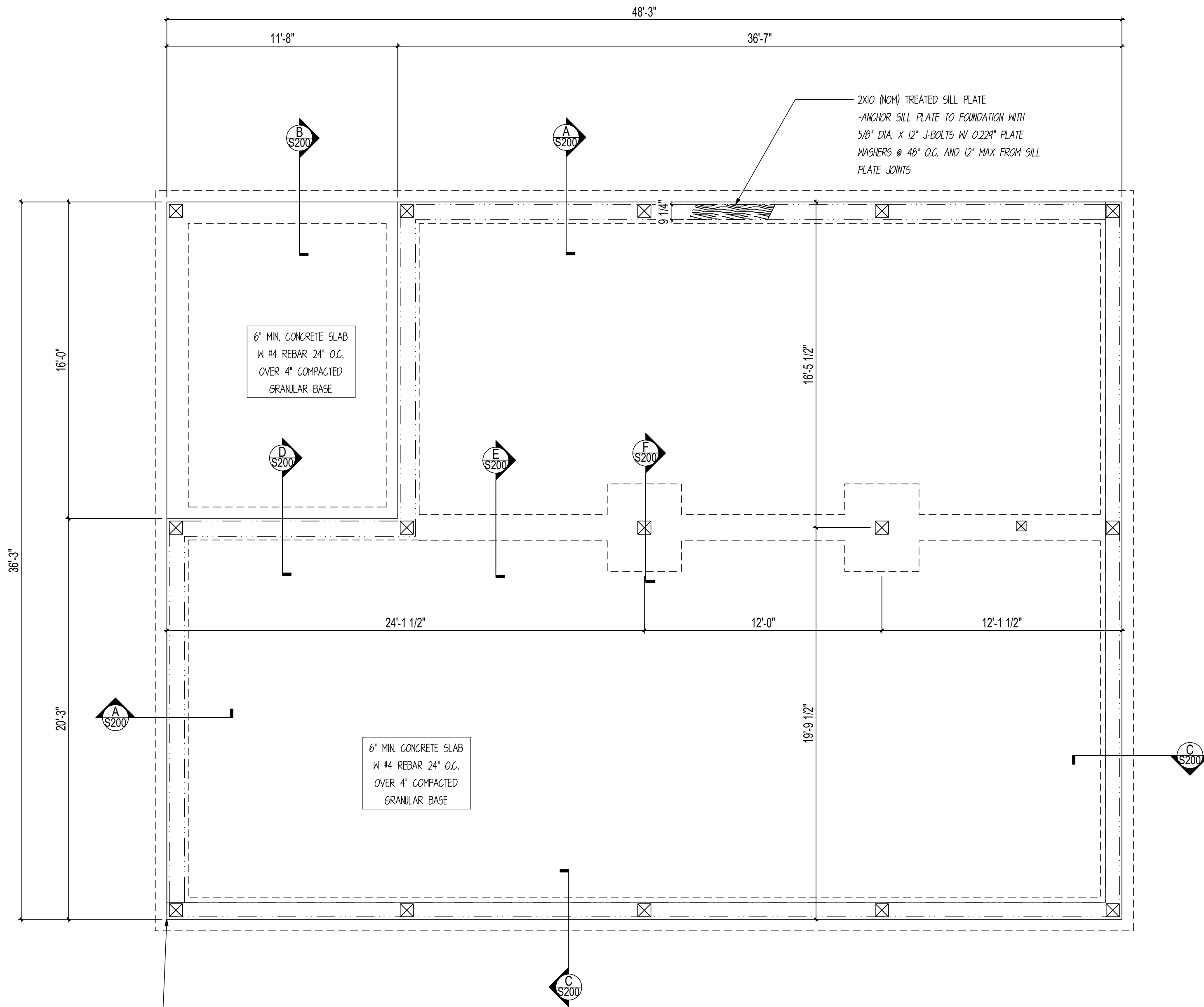
**D FOUNDATION DETAIL**  
SCALE : 1/2" = 1'-0"



**E FOUNDATION DETAIL**  
SCALE : 1/2" = 1'-0"



**F FOUNDATION DETAIL**  
SCALE : 1/2" = 1'-0"



**FOUNDATION PLAN**

SCALE: 1/4" = 1'

CUSTOMER INFORMATION:  
**NATHAN LEWIS**

PROJECT INFORMATION:  
**LEWIS**  
RESIDENTIAL GARAGE  
711 LARKIN VALLEY RD  
WATSONVILLE, CA 95076  
NUMBER: NLE0324-1  
CATEGORY: RESIDENTIAL  
STYLE: PONDEROSA  
OTHER: --  
OTHER: --  
PM: LB

DRAWING INFORMATION:  
DRAWN BY: AM  
DATE: 01/17/2025  
STATUS: STRUCTURAL SET  
OTHER: --  
OTHER: --

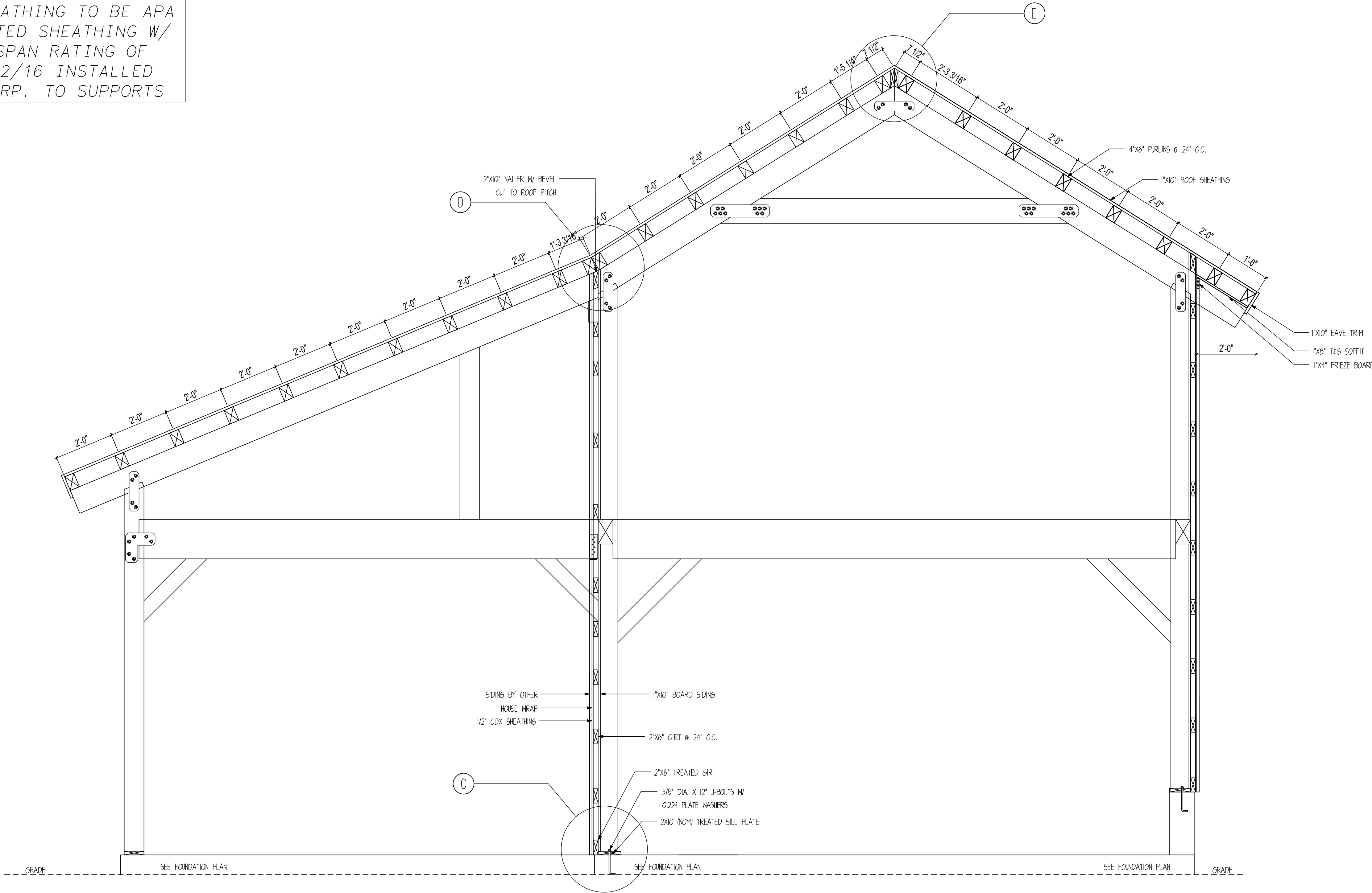
SHEET NOTES  
1. FOUNDATION DIMENSIONS TO BE VERIFIED BY GENERAL CONTRACTOR BEFORE ERECTION OF FRAME.  
2. CHECK LOCAL CODE FOR MINIMUM FOOTING DEPTH.  
3. REFER TO COVER SHEET FOR FURTHER INFORMATION ON FOUNDATION AND REBAR.  
4. REBAR SIZES MAY APPEAR NOT TO SCALE FOR VIEWING EASE. FOLLOW REBAR CALLOUTS FOR SIZE AND SPACING.

SHEET

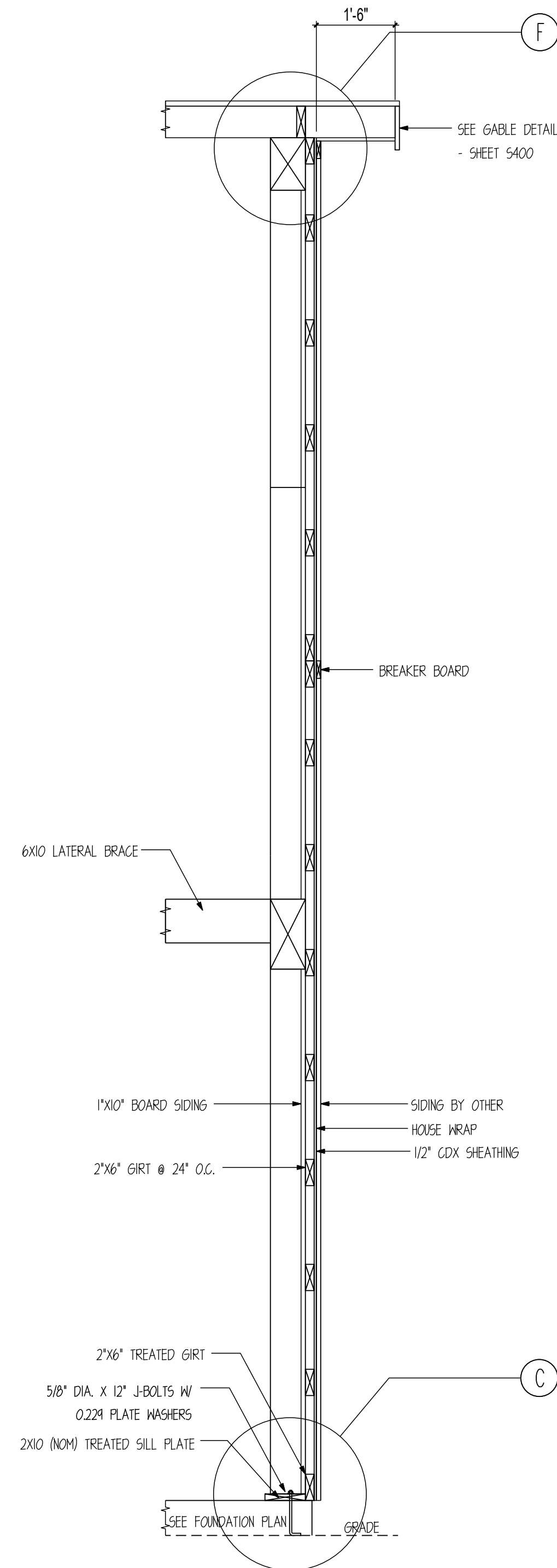
**S200**

NOTE: EXTERIOR FLASHING TO BE  
INSTALLED AT ALL CONNECTIONS  
BETWEEN ROOFS, WALLS, AND  
PROJECTIONS OR PENETRATIONS  
AS REQUIRED BY GOOD  
CONSTRUCTION PRACTICES.  
FLASHING MATERIALS AND  
DETAILS TO BE PROVIDED BY  
CUSTOMER OR GENERAL  
CONTRACTOR.

NOTE: ALL CDX  
SHEATHING TO BE APA  
RATED SHEATHING W/  
SPAN RATING OF  
32/16 INSTALLED  
PERP. TO SUPPORTS



**A** FULL BUILDING SECTION  
SCALE : 1/2" = 1'



**B** EXTERIOR WALL SECTION  
SCALE : 1/2" = 1'



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**NATHAN  
LEWIS**

PROJECT INFORMATION:

**LEWIS**

RESIDENTIAL GARAGE

711 LARKIN VALLEY RD  
WATSONVILLE, CA 95076

NUMBER: NLE0324-1

CATEGORY: RESIDENTIAL

STYLE: PONDEROSA

OTHER: --

OTHER: --

PM: LB

DRAWING INFORMATION:

DRAWN BY: AM

DATE: 01/17/2025

STATUS: STRUCTURAL SET

OTHER: --

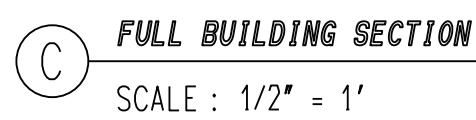
OTHER: --

SHEET NOTES

SHEET

**S300**

NOTE: ALL CDX  
SHEATHING TO BE APA  
RATED SHEATHING W/  
SPAN RATING OF  
32/16 INSTALLED  
PERP. TO SUPPORTS



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PROJECT INFORMATION:

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STYLE: PONDEROSA

OTHER: --

OTHER: --

PM: LB

DRAWING INFORMATION:

DRAWN BY: AM

DATE: 01/17/2025

STATUS: STRUCTURAL SET

OTHER: --

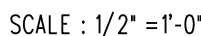
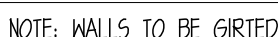
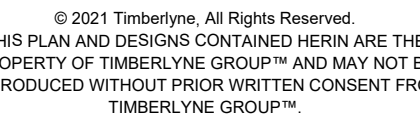
OTHER: --

SHEET NOTES

SHEET

S301





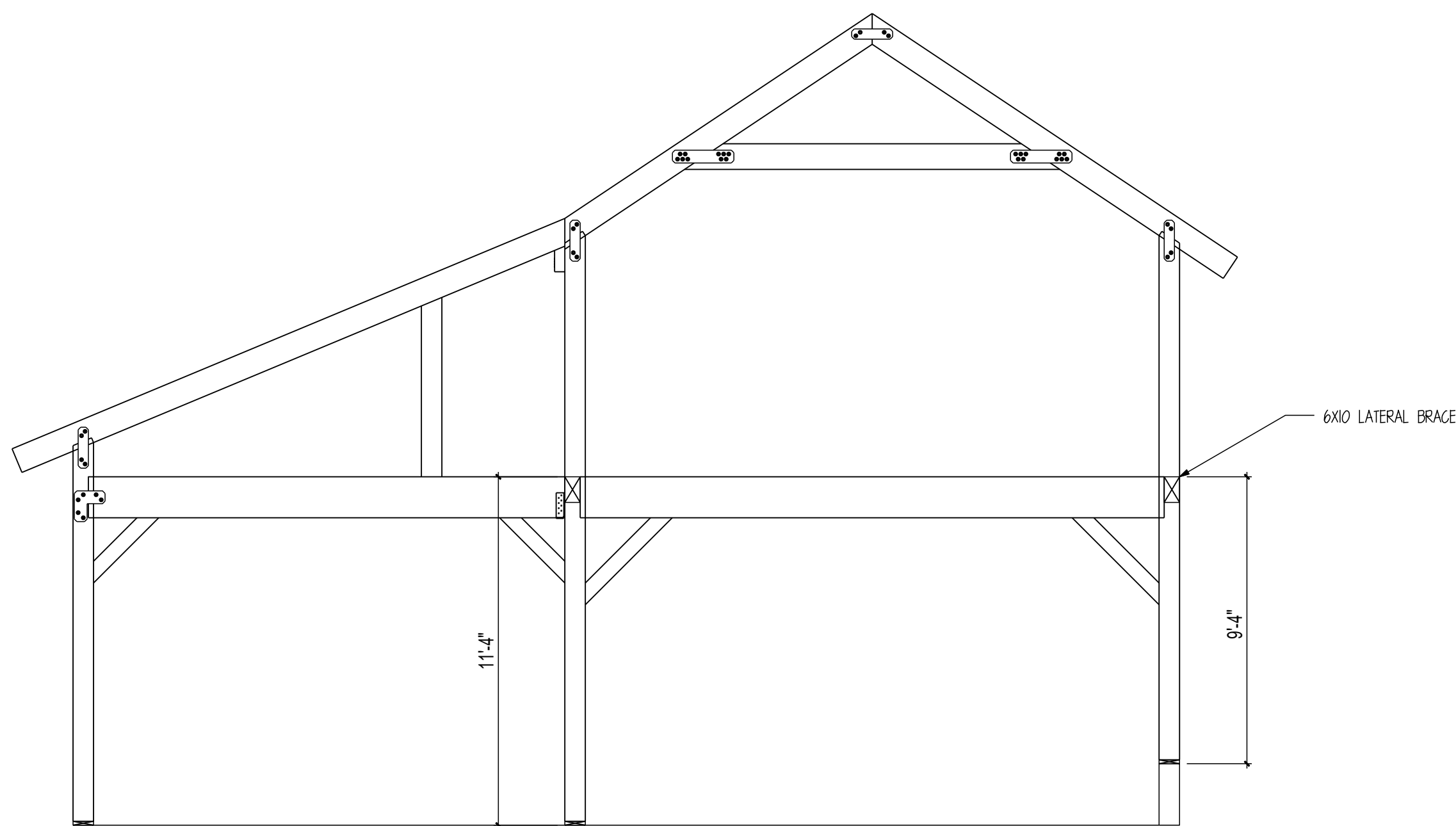
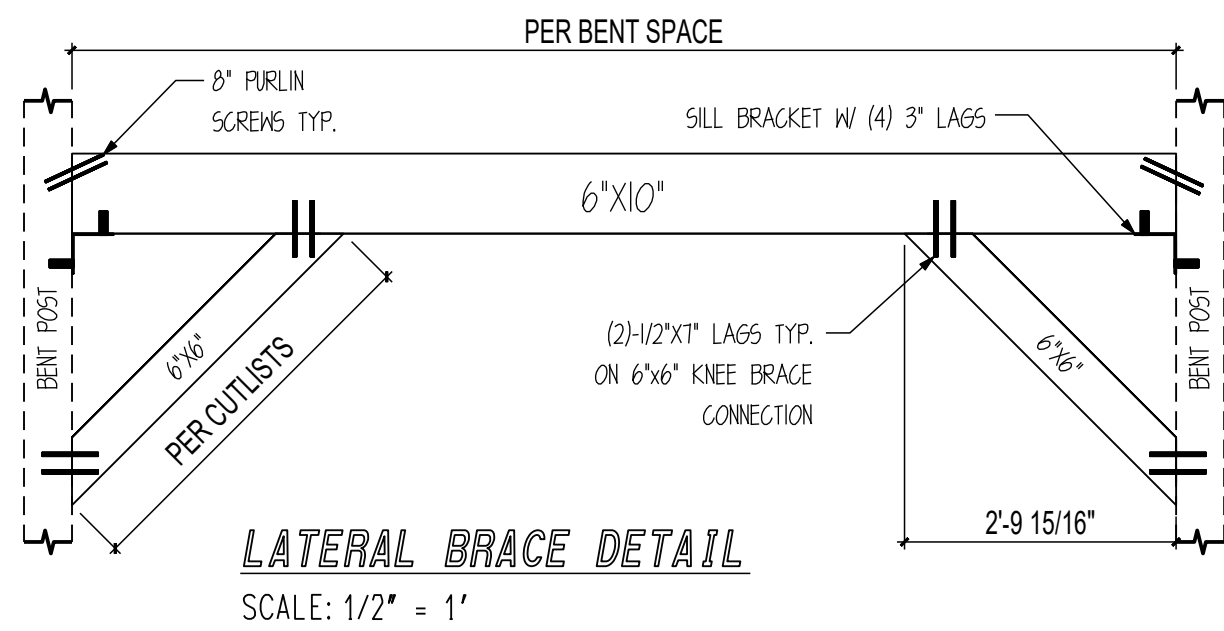
- ALL GIRT AND PURLIN SCREWS ARE TRIPLE CERAMIC COATED (EXTERIOR GRADE USE)





S500





BENT #1

BENT #2

BENT #2

BENT #2

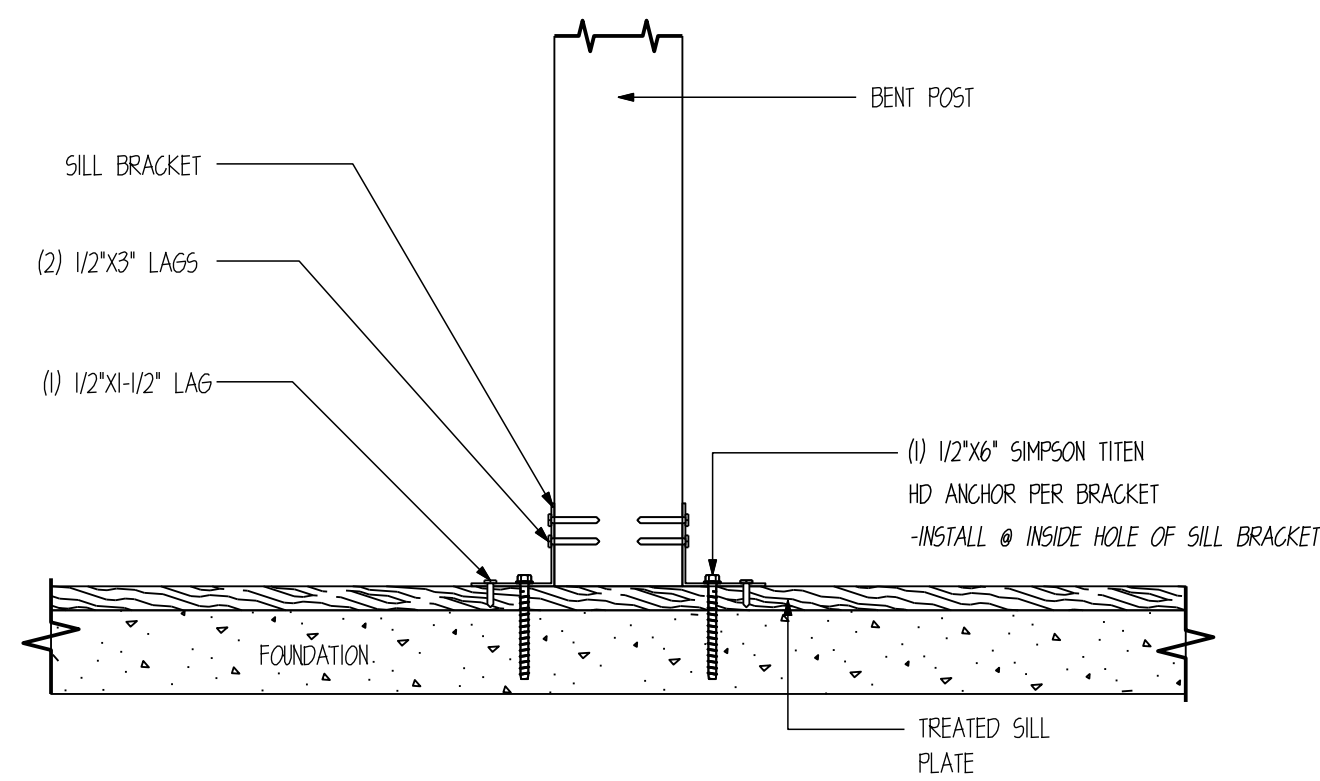
BENT #3

2"x10" (NOM) TREATED SILL PLATE

FOUNDATION SHOWN AS REFERENCE ONLY

6"x10" LATERAL BRACE  
-(8) TOTAL BRACES  
-SEE DETAIL SHEET S501

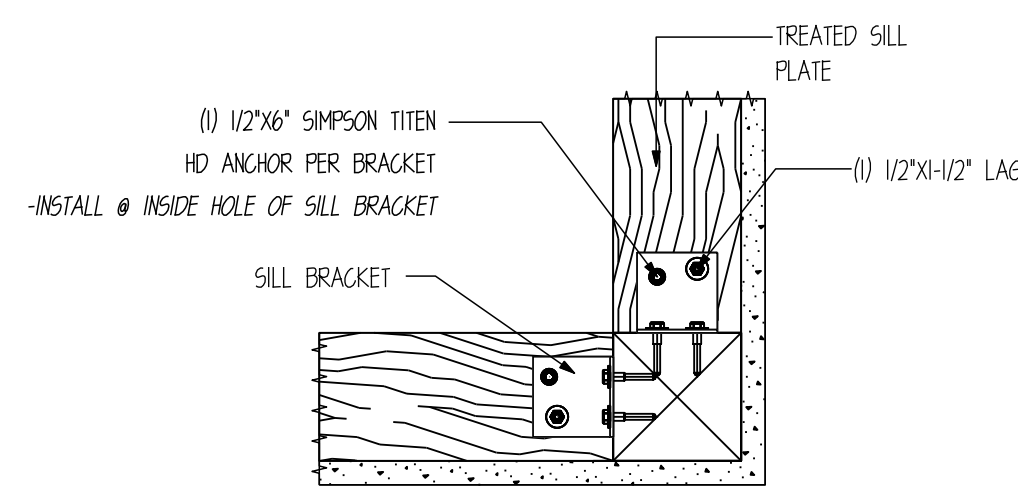
**FRAME ISO**  
SCALE: N.T.S.



### 1 POST CONNECTION DETAIL

SCALE : 1" = 1'-0"

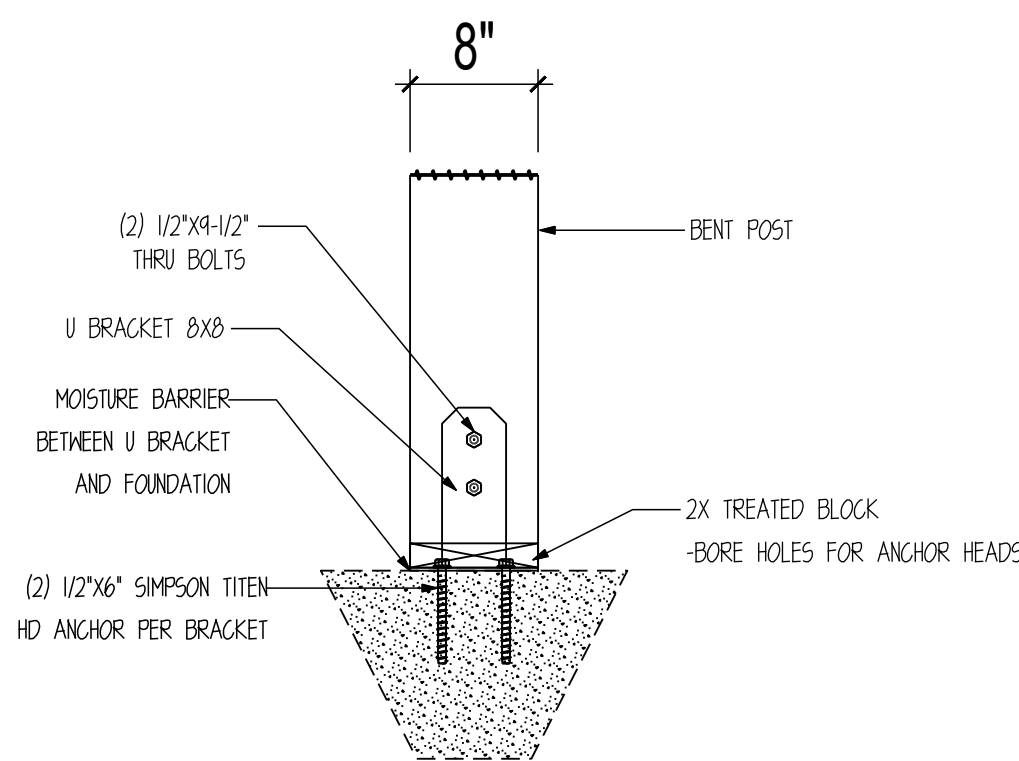
POST CONNECTION NOTES:  
1. INSTALL SIMPSON TITEN ANCHOR ON INSIDE HOLE OF SILL BRACKET.



### 2 POST CONNECTION DETAIL

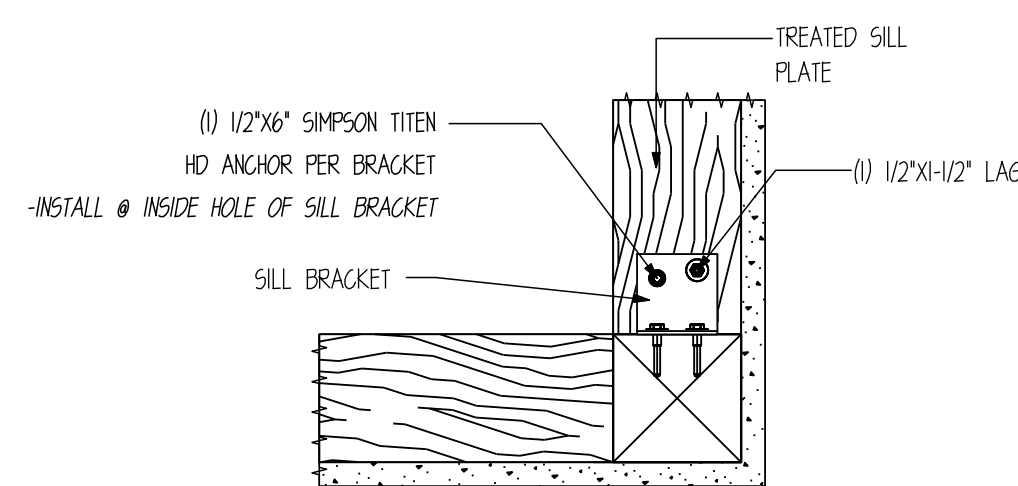
SCALE : 1" = 1'-0"

POST CONNECTION NOTES:  
1. INSTALL SIMPSON TITEN ANCHOR ON INSIDE HOLE OF SILL BRACKET.



### 3 POST CONNECTION DETAIL

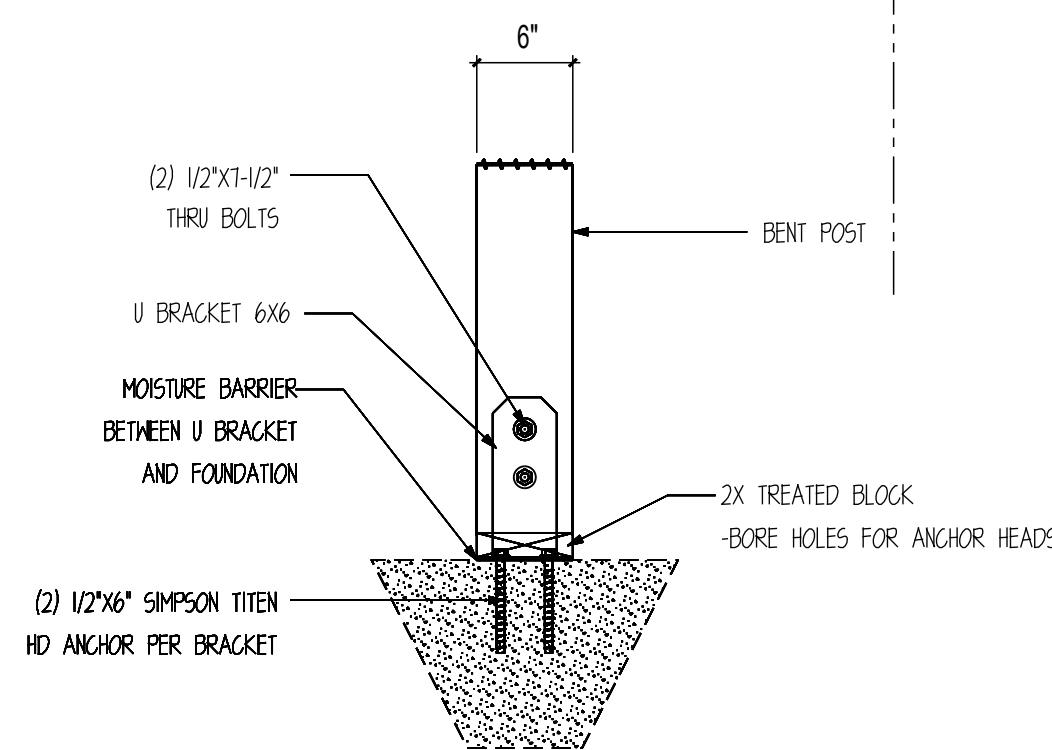
SCALE : 1" = 1'-0"



### 4 POST CONNECTION DETAIL

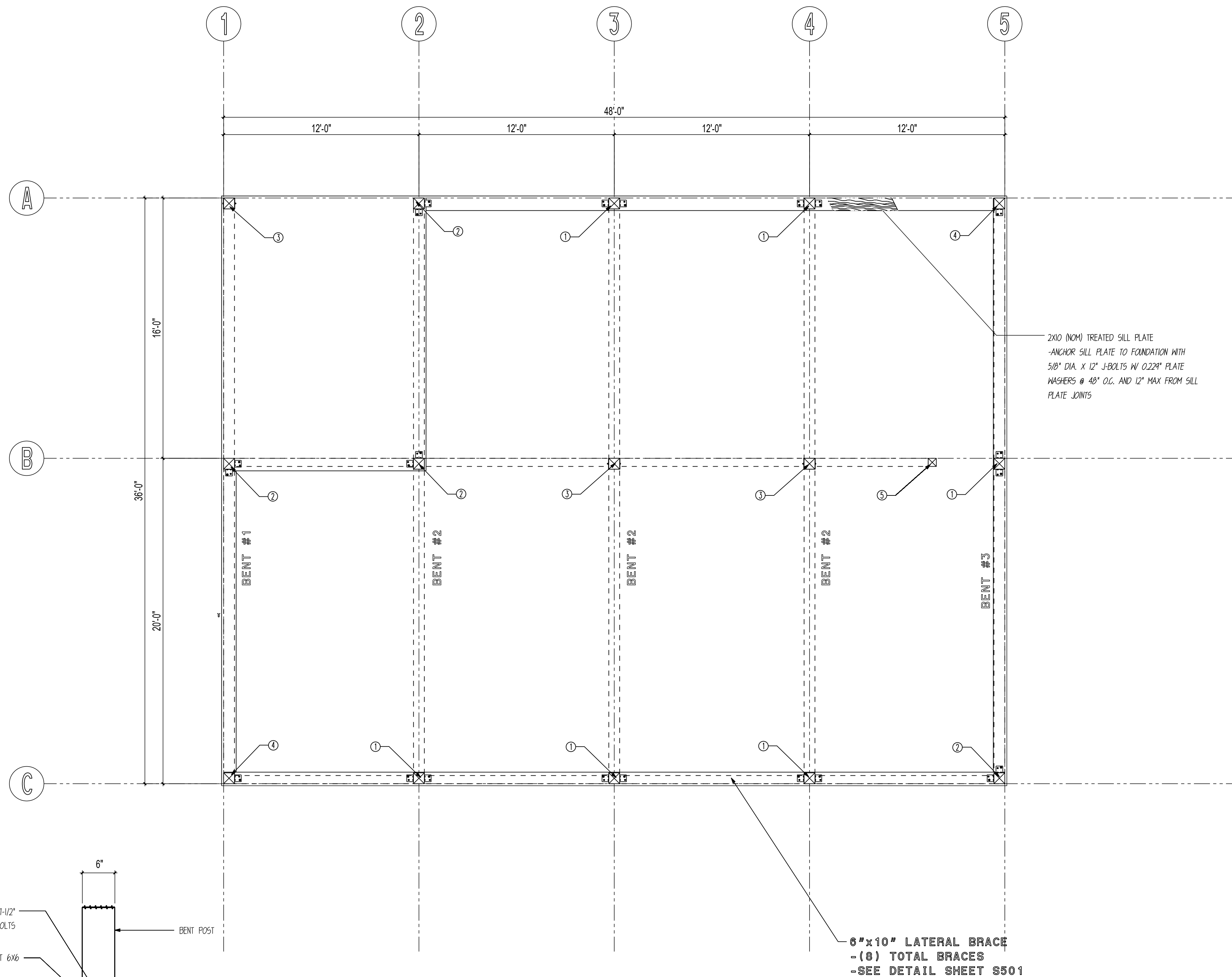
SCALE : 1" = 1'-0"

POST CONNECTION NOTES:  
1. INSTALL SIMPSON TITEN ANCHOR ON INSIDE HOLE OF SILL BRACKET.



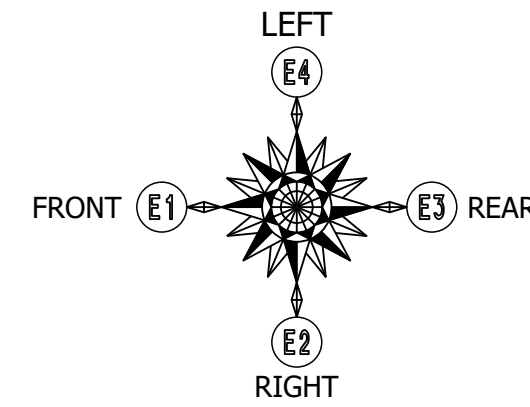
### 5 POST CONNECTION DETAIL

SCALE : 1" = 1'-0"



### BENT LAYOUT

SCALE: 1/4" = 1'



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OTHER: --

PM: LB

DRAWING INFORMATION:

DRAWN BY: AM

DATE: 01/17/2025

STATUS: STRUCTURAL SET

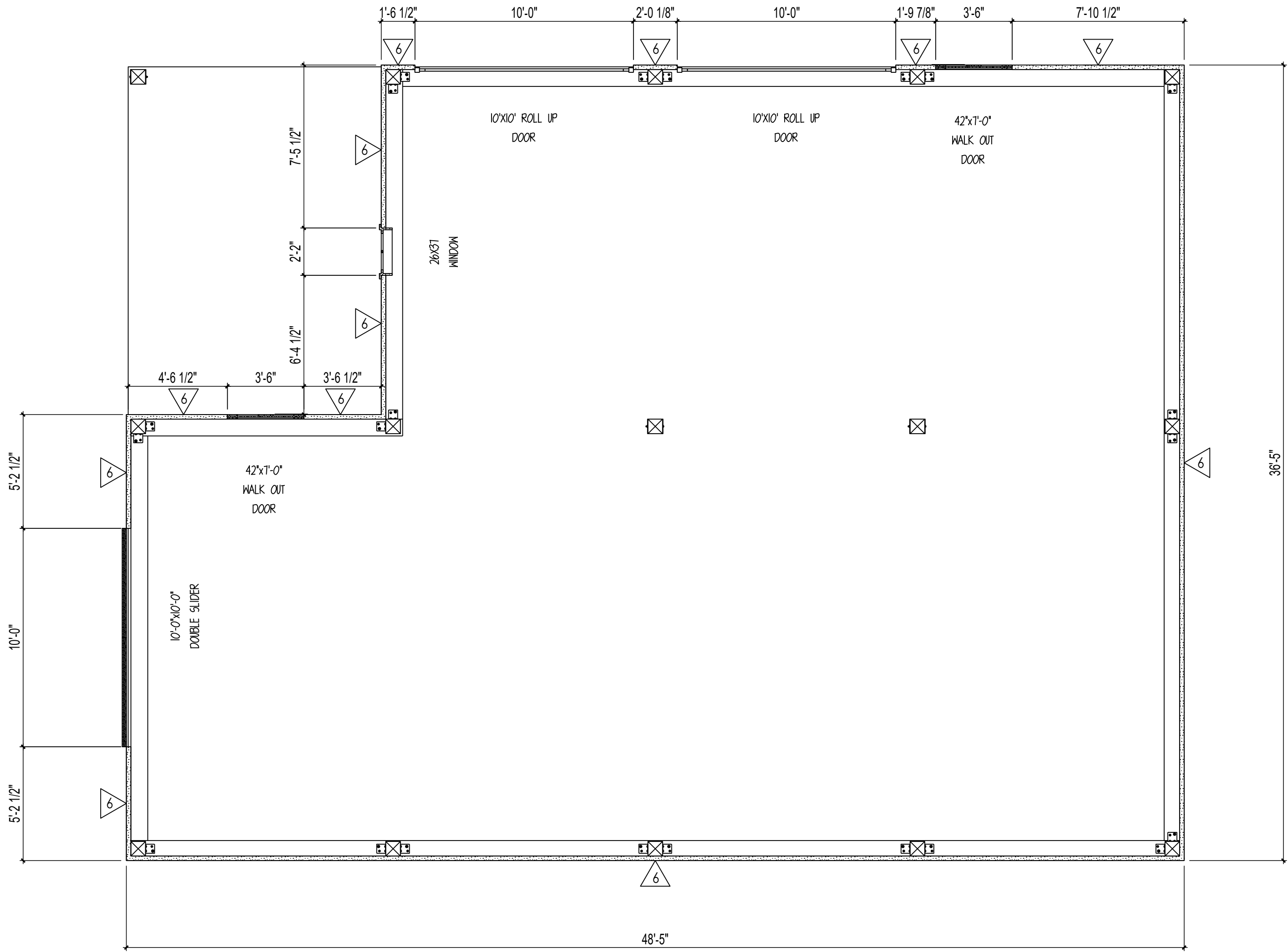
OTHER: --

OTHER: --

SHEET NOTES

1. BASE OF MAIN FRAME POST CUT TO FIT IN  
FIELD BY GENERAL CONTRACTOR ACCORDING  
TO SPECS ON CUT LISTS. CUT BOTTOM OF  
POST ONLY.

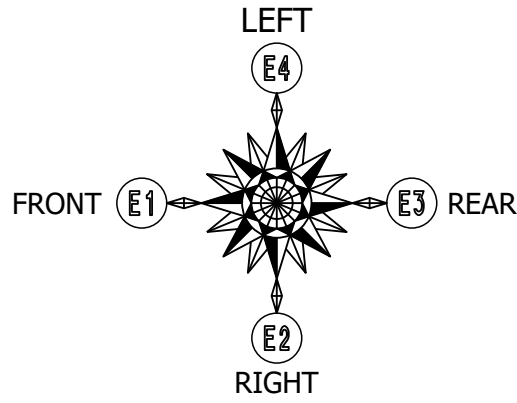
SHEAR WALL SCHEDULE				
MARK	WALL SHEATHING	NAIL SIZE	EDGE NAIL SPACING	FIELD NAIL SPACING
	1/2" CDX SHEATHING	8D NAILS	6" O.C.	12" O.C.
SHEARWALL NOTES:				
1. HORZ. 2"x6" WALL GIRTS @ 24" O.C. MAX.				
2. ALL FIELD NAILING TO BE 12" O.C. AND ALL UNSUPPORTED PANEL EDGS ARE TO BE BLOCKED.				
3. ALL SHEAR WALLS HAVE 2x10 TREATED SILL PLATE.				
4. ALL SILL PLATE ANCHORED TO FOUNDATION W/ 5/8" DIA. ANCHOR BOLTS W/ 3"x3"x0.229" PLATE WASHERS.				
5. ANCHOR BOLTS SHALL BE PLACED @ ALL JAMBS, CORNERS, AND INTERSECTIONS.				
6. FIELD VERIFY ALL DOOR AND WINDOW OPENINGS ON SITE PRIOR TO FRAMING OPENINGS.				



MAIN FLOOR SHEAR WALL LAYOUT

SCALE: 1/4" = 1'

NOTE: CONTRACTOR TO FIELD VERIFY OPENING SIZES  
PRIOR TO FRAMING.



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OTHER: --

SHEET NOTES

SHEET

S601