

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060  
(831) 454-2580

**NOTICE OF PENDING ACTION**

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

**APPLICATION NUMBER: 241361 APN: 105-443-01**

**SITUS: 1525 Valencia School Road, Aptos CA 95003**

Proposal to reconstruct an existing 810 square foot barn and 184 square foot attached storage room, convert to an Accessory Dwelling Unit and add a 149 square foot bedroom, resulting in a 959 square foot conversion Accessory Dwelling Unit with a 167 square foot attached storage room. Requires review by the Open Space Programs Committee and an administrative use permit. Property located on the west side of Valencia School Road (1525 Valencia School Road) approximately 500 feet north of the intersection with Trout Gulch Road.

**OWNER: Gary & Kathleen Welch**

**APPLICANT: Valerie Hart**

**SUPERVISORIAL DISTRICT: 2**

**PLANNER: John Hunter, (831) 454 -3170**

**EMAIL: [John.Hunter@santacruzcountyca.gov](mailto:John.Hunter@santacruzcountyca.gov)**

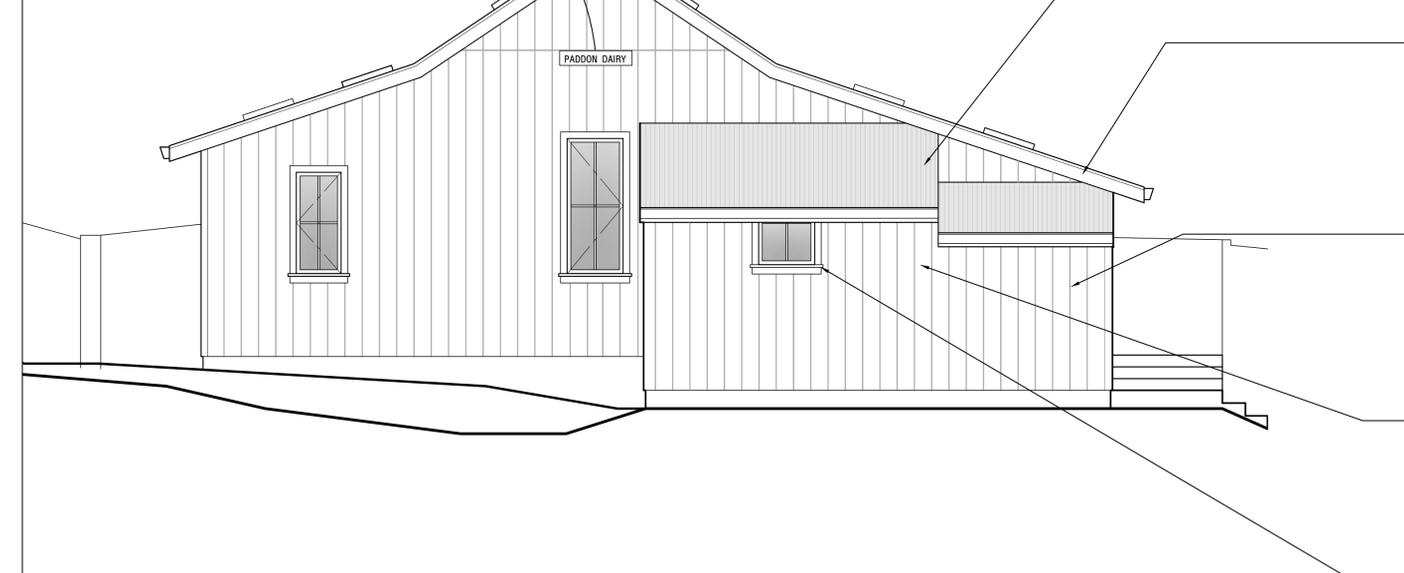
**Public comments must be received by 5:00 p.m. 04/15/2026. A decision will be made on or shortly after 04/16/2026.**

**Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. Planner will provide notification of decision to any requesting party.**

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.



THE ORIGINAL PADDON DAIRY SIGN SHALL BE RESTORED OR REPLICATED AND REPLACED IN THE SAME LOCATION.



**CORRUGATED METAL ROOF**  
GALVANIZED STEEL OR GALVALUME CLASS A

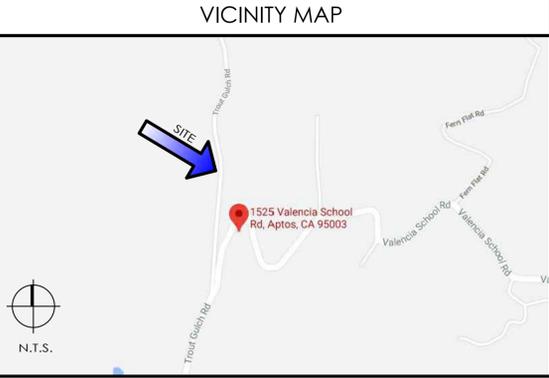
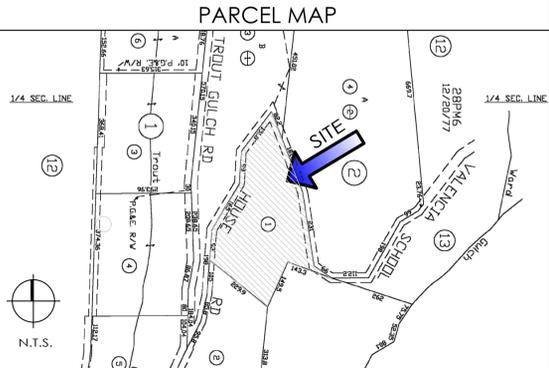
**FASCIA**  
PAINTED WOOD  
BEHR ULTRA PURE WHITE OR SIM.

**SIDING**  
PAINTED WOOD SIDING  
BEHR ULTRA PURE WHITE OR SIM.

**WINDOWS**  
MARVIN ESSENTIAL OR EQ.  
COLOR: WHITE

**WINDOWS & DOOR TRIM**  
PAINTED WOOD:  
BEHR GREEN TO MATCH EXISTING RESIDENCE TRIM

ALL CONSTRUCTION MUST CONFORM TO THE RECOMMENDATIONS OF THE FOLLOWING REPORT:  
GEOTECHNICAL INVESTIGATION:  
PROJECT No. SC11760 PREPARED BY HARO, KASUNICH AND ASSOCIATES, INC. DATED JUNE 2020



# WELCH ADU

## BUILDING INFORMATION SUMMARY

**PROJECT DESCRIPTION:** CONVERSION OF EXISTING 810 SQ.FT. NON-CONFORMING BARN INTO AN ADU WITH AN ADDITION OF 149 SQ.FT. TOTALING A 959 SQ.FT. 1 BEDROOM, 2 BATH ADU. ATTACHED 184 SQ.FT. OF EXISTING ANCILLARY STORAGE TO BE RECONSTRUCTED AS A 167 SQ.FT. NON-HABITABLE MECHANICAL ROOM. RECONSTRUCTING 100% OF THE EXISTING, NON-CONFORMING STRUCTURE. EXISTING 3 BEDROOM, 1 BATH SINGLE FAMILY RESIDENCE TO REMAIN. PROJECT REQUIRES REVIEW BY THE OPEN SPACE COMMITTEE (OSPC)

**PROJECT ADDRESS:** 1525 VALENCIA SCHOOL ROAD APTOS, CA 95003

**PARCEL NUMBER:** 105-443-01

**OCCUPANCY CLASSIFICATION:** R-3/U

**ZONING DESIGNATION:** A-O

**CONSTRUCTION TYPE:** R-UL TYPE V-B- NON-SPRINKLERED

**SRA:** MODERATE, WUI COMPLIANCE REQUIRED

**LOT AREA:** 106,556.26 SQ.FT. ( 2.4430 ACRES)

**PARKING (PROVIDED):** 2 SPACES FOR 3 BEDROOM S.F.D. AND 1 SPACE FOR 1 BEDROOM ADU

REQUIRED:	FRONT YARD	SIDE AND REAR YARDS
	* 20'-0" OR 4'-0" ADUS	* 20'-0" OR 4'-0" ADUS
PROPOSED:	(E) @ 6'-0" FROM PROP. LINE EXISTING NON-CONFORMING	41'-2.75" TO R.O.W. (L)/ 41'-6" TO PROPERTY LINE (R)

**CODE NOTE:** ALL WORK INDICATED ON THE PLANS SHALL COMPLY WITH THE FOLLOWING CODES:  
 • 2022 CALIFORNIA RESIDENTIAL CODE  
 • 2022 CALIFORNIA BUILDING CODE  
 • 2022 CALIFORNIA FIRE CODE  
 • 2022 CALIFORNIA PLUMBING CODE  
 • 2022 CALIFORNIA MECHANICAL CODE  
 • 2022 CALIFORNIA ELECTRIC CODE  
 • 2022 CALIFORNIA GREEN BUILDING STANDARDS  
 • 2022 CALIFORNIA ENERGY STANDARDS  
 • SANTA CRUZ COUNTY CODE AMENDMENTS

\* SETBACK IS FROM R.O.W. AS NOTED ON THE SITE PLAN

## DRAWING INDEX

**ARCHITECTURAL SHEETS:**  
 T1: TITLE SHEET  
 SURVEY  
 SEPTIC PLAN  
 A1: SITE PLAN- FULL  
 A2: DIMENSIONED FLOOR PLAN & ADU  
 A3: FLOOR PLAN AND JADU  
 A4: ELEVATIONS & SECTIONS  
 A5: VOLUME DIAGRAM

**CIVIL SHEETS:**  
 C-1.0: COVER SHEET/ SITE PLAN  
 C-1.1: NOTES  
 C-2.0: GRADING & DRAINAGE PLAN  
 C-2.1: PLAN & PROFILE  
 C-2.2: SECTIONS  
 C-3.0: DETAILS  
 C-4.0: EROSION CONTROL PLAN  
 C-4.1: EROSION CONTROL NOTES & DETAILS

## CONTACTS

**OWNER:** GARY & KATHLEEN WELCH  
1325 VALENCIA SCHOOL ROAD  
APTOS, CA 95003  
PH: (831) 239-6585  
lkathie.welch1@gmail.com

**CIVIL ENGINEER:** RAMSEY CIVIL ENGINEERING  
DAVID RAMSEY  
2905 KRISTIE COURT  
SANTA CRUZ, CA 95065  
PH: (831) 462-2905

## FLOOR AREA RATIO AND LOT COVERAGE

**LOT COVERAGE CALCULATION**

1. ZONE DISTRICT:	1)	RA
2. PARCEL AREA:	2)	106,556.26 sq. ft.
3. AREA OF RIGHTS-OF-WAY:	3)	15,189.63 sq. ft.
4. NET PARCEL AREA (#2-#3):	4)	91,366.63 sq. ft.
5. COVERAGE BY STRUCTURES:	5)	5,429 sq. ft.
6. PARCEL COVERAGE (#5/#4 x 100):	6)	.6%

ARCHITECTURAL FEATURE	NET FLOOR AREA	ADUS	LOT COVERAGE
EXISTING S.F.D.	1,192 SQ.FT.		1,192 SQ.FT.
PROPOSED ADU	959 SQ.FT. <800 SQ.FT.>= 159 SQ.FT.	959 SQ.FT.	959 SQ.FT.
GARAGE	0 SQ.FT.	0 SQ.FT.	0 SQ.FT.
ACCESSORY STRUCTURE	DETACHED< 120 SQ.FT. D.N.C.		DETACHED D.N.C.
MEZZANINE	N/A	N/A	NONE
HIGH CEILINGS	NONE	NONE	N/A
ATTIC	NONE	NONE	0 SQ.FT.
DECKS, ENCLOSED	D.N.C.	D.N.C.	0 SQ.FT.
DECKS, UNENCLOSED; TRELLISES	D.N.C.	D.N.C.	D.N.C.
EAVES, CHIMNEY, BAY WINDOWS	D.N.C.	D.N.C.	D.N.C.
<b>TOTALS:</b>	<b>1,351 SQ.FT.</b>	<b>959 SQ.FT.</b>	<b>2,151 SQ.FT.</b>

ARCHITECTURAL FEATURE	FLOOR AREA CALCULATION
ADU	959 SQ.FT.
MECHANICAL ROOM (UNHEATED)	167 SQ.FT.
<b>TOTAL:</b>	<b>1,126 SQ.FT.</b>

## FIRE NOTES

- ALL UNDERGROUND PIPING SYSTEMS SHALL COMPLY WITH THE COUNTY STANDARD FPO-006 AND SHALL REQUIRE PLAN SUBMITTAL AND PERMIT APPROVAL PRIOR TO INSTALLATION. THE STANDARD IS AVAILABLE AT THE SANTA CRUZ COUNTY FIRE MARSHALS OFFICE UPON REQUEST".
- A 100-FOOT CLEARANCE SHALL BE MAINTAINED AROUND AND ADJACENT TO THE BUILDING OR STRUCTURE TO PROVIDE ADDITIONAL FIRE PROTECTION OR FIRE BREAK BY REMOVING ALL BRUSH, FLAMMABLE VEGETATION, OR COMBUSTIBLE GROWTH. EXCEPTION: SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVERS, PROVIDED THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM NATIVE GROWTH TO ANY STRUCTURE.
- BUILDING NUMBERS SHALL BE PROVIDED, NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES IN HEIGHT ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET, WHERE NUMBERS ARE NOT VISIBLE FROM THE STREET, ADDITIONAL NUMBERS SHALL BE INSTALLED ON A DIRECTIONAL SIGN AT THE PROPERTY DRIVEWAY AND THE STREET
- THE JOB COPIES OF THE BUILDING PLANS AND PERMITS MUST BE ON-SITE DURING INSPECTIONS."

## OPEN SPACE EASEMENT NOTES

- THE VOLUME OF THE RECONSTRUCTED BARN AND STORAGE SHALL MATCH THE ORIGINAL BARN AND STORAGE. THE FLOOR AREA OF THE ADDITION SHALL NOT EXCEED 150 SQUARE FEET.
- WALL AND TRIM MATERIALS SHALL BE WOOD, MATCHING THE ORIGINAL SIDING AND TRIM SPECIFICATIONS. HARDIE PLANK OR SIMILAR MAY BE SUBSTITUTED ONLY IF MANDATED BY FIRE CODES.
- BODY COLOR AND TRIM COLOR SHALL MATCH THE ORIGINAL BARN - WHITE BODY WITH GREEN TRIM.
- ROOF SHALL BE UNPAINTED, GALVANIZED, CORRUGATED METAL.
- WINDOWS FACING STREET SHALL BE SQUARE, SIX-PANED WINDOWS MATCHING ORIGINAL WINDOW STYLE.
- WINDOW IN THE TALLER STORAGE ROOM FACING STREET SHALL BE CENTERED TO MATCH ORIGINAL.
- THE STAIRS EXTENDING TOWARDS THE STREET SHOULD BE ELIMINATED OR REPLACED WITH A PORCH AND / OR WALKWAY TO DRIVEWAY.
- LANDSCAPING WITH FRUIT TREES SHALL BE PROVIDED TO SCREEN ALL PORCH AREAS, RETAINING WALLS, ADDITION AND PARTS OF BARN, PRIMARILY FROM THE SOUTH AND NORTH.
- WATER TANKS SHALL PAINTED GREEN TO MATCH THE BARN TRIM AND SHALL BE SCREENED WITH FRUIT TREES IN FRONT.
- THE ORIGINAL PADDON DAIRY SIGN SHALL BE RESTORED OR REPLICATED AND REPLACED IN THE SAME LOCATION.
- SITE DISTURBANCE AND GRADING SHALL BE MINIMIZED TO THE EXTENT FEASIBLE.
- THE BARN MAY BE ROTATED AND/OR RELOCATED SEVERAL FEET TO THE SOUTH TO PRESERVE THE EXISTING WILDLIFE CORRIDOR BETWEEN THE BARN AND THE OAK GROVE BEHIND THE BARN AND TO REDUCE GRADING.
- THE PROJECT SHALL COMPLY WITH ALL MEASURES SET FORTH IN OPEN SPACE EASEMENTS 2480-417 AND 2000-0007900.
- THE PROJECT SHALL AVOID DISTURBANCE OF HISTORIC RESOURCES PREVIOUSLY IDENTIFIED ON SITE AT THE RECORD OF THE DWELLING.
- ANY FUTURE PROPOSED MODIFICATION OF THE APPROVED "EXHIBIT A" SHALL BE REVIEWED BY THE OSPC.



WEST VIEW



NORTH VIEW

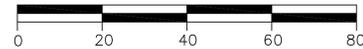


SOUTH-WEST VIEW

RENDERINGS BY ANIMATE HOUSE  
NOT TO SCALE

WELCH ADU

1"=20'



GRAPHIC SCALE

BASIS OF BEARINGS: SOUTH 4° 42' 50" WEST

ESTABLISHED BETWEEN 1" IRON PIPES WITH BRASS TAG "L.S. 2265" FOUND AS NOTED AND SHOWN HEREON AT POINTS "A" AND "B" AND AS PIPE "A" IS SHOWN ON THE MAP FILED IN VOLUME 28 OF PARCEL MAPS AT PAGE 6 AND PIPE "B" IS IS SHOWN ON THE RECORD OF SURVEY FILED IN VOLUME 56 OF MAPS AT PAGE 18 OF OFFICIAL RECORDS OF SANTA CRUZ COUNTY, AND AS THE COURSE BETWEEN THEM HAS BEEN CALCULATED BASED ON THESE TWO RECORDED MAPS.

ELEVATION REFERENCE IS THE TOP OF THE CONCRETE SLAB AROUND THE WELL CASING SHOWN FOR ASSUMED ELEVATION OF 80.0'. ALSO, THE TOP OF THE BOLT AT THE CENTER OF THIS 6" DIAMETER CASING HAS AN ELEVATION OF 80.83'.

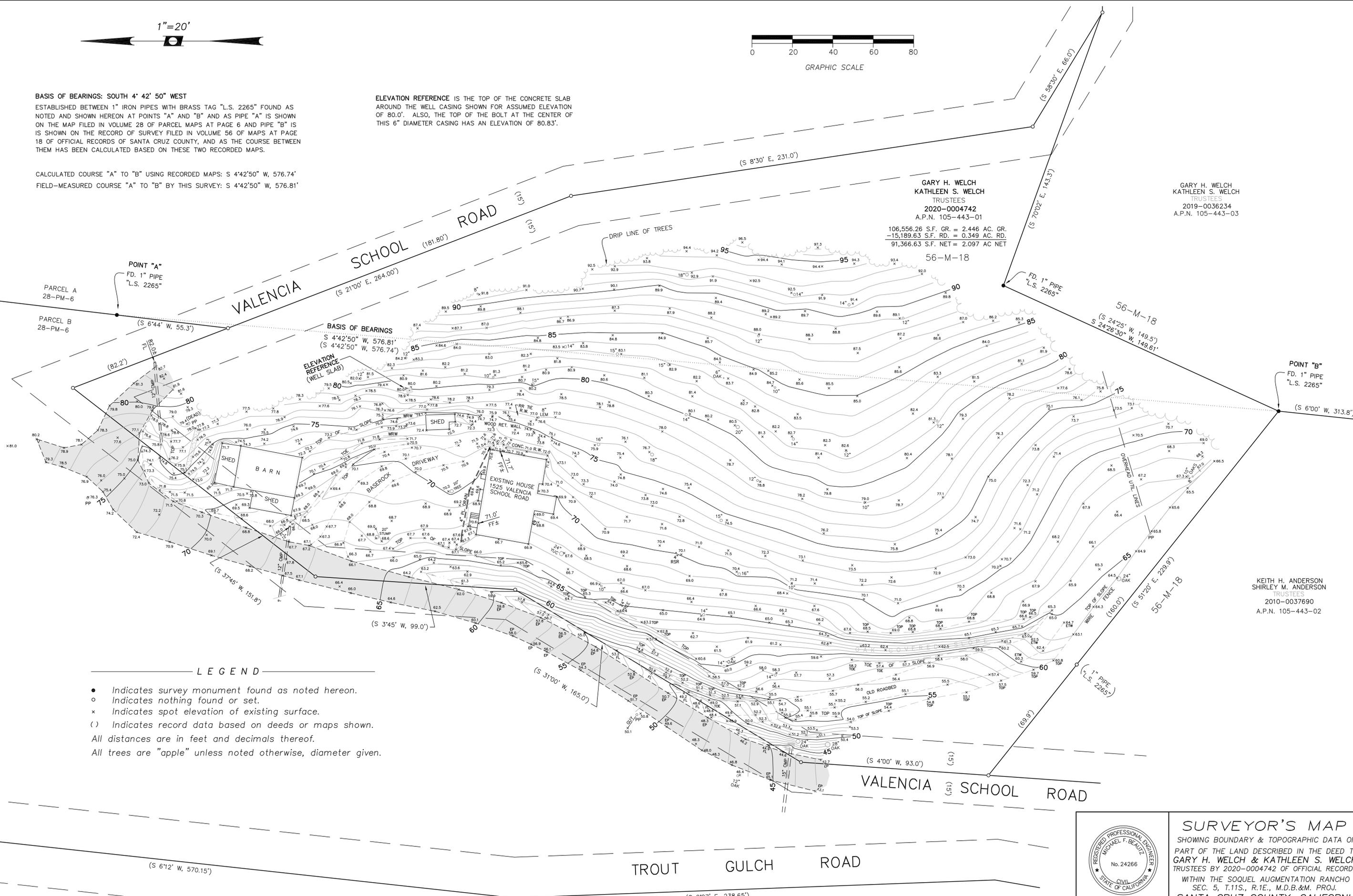
CALCULATED COURSE "A" TO "B" USING RECORDED MAPS: S 4°42'50" W, 576.74'  
FIELD-MEASURED COURSE "A" TO "B" BY THIS SURVEY: S 4°42'50" W, 576.81'

GARY H. WELCH  
KATHLEEN S. WELCH  
TRUSTEES  
2020-0004742  
A.P.N. 105-443-01

106,556.26 S.F. CR. = 2.446 AC. CR.  
-15,189.63 S.F. RD. = 0.349 AC. RD.  
91,366.63 S.F. NET = 2.097 AC NET

GARY H. WELCH  
KATHLEEN S. WELCH  
TRUSTEES  
2019-0036234  
A.P.N. 105-443-03

KEITH H. ANDERSON  
SHIRLEY M. ANDERSON  
TRUSTEES  
2010-0037690  
A.P.N. 105-443-02



LEGEND

- Indicates survey monument found as noted hereon.
  - Indicates nothing found or set.
  - × Indicates spot elevation of existing surface.
  - ( ) Indicates record data based on deeds or maps shown.
- All distances are in feet and decimals thereof.  
All trees are "apple" unless noted otherwise, diameter given.



M. F. Beautz  
7-IX-20

**SURVEYOR'S MAP**  
SHOWING BOUNDARY & TOPOGRAPHIC DATA ON PART OF THE LAND DESCRIBED IN THE DEED TO GARY H. WELCH & KATHLEEN S. WELCH TRUSTEES BY 2020-0004742 OF OFFICIAL RECORDS WITHIN THE SOQUEL AUGMENTATION RANCHO SEC. 5, T.11S., R.1E., M.D.B.&M. PROJ. SANTA CRUZ COUNTY, CALIFORNIA  
SCALE: 1"=20' MARCH 2020  
BY: MICHAEL F. BEAUTZ, C.E.  
A.P.N. 105-443-01 SHEET 1 OF 1

**PROJECT DESCRIPTION:**  
 Project to construct a NEW 2 bedroom Single family dwelling (ADU) and to add to EXISTING Existing 3 bedroom Single Family Dwelling at 1525 Valencia School Road.

**SITE NOTES:**  
 APN: 105-4443-01  
 Acres: 2.4 Acres  
 Water Source: well 100+ ft  
 Topography: 0-10% at leach field down slope from dwelling  
 Existing Septic System: 1500 gal Septic Tank 1500 + Leach field (Prior to permits).

**SITE EVALUATION:** November 2020  
 Soil Profile: Sandy loam 0-14' (uniform) no water (10/26/20)  
 Perc Test: 1-5 MPI (Fast Perc)  
 Application Rate: 1.6 application rate  
 Gallons Per Day: 3 bd (375gpd) + 2 bd (300gpd) = 675  
 System Sizing:  
 Septic Tank: 675 x 3 = 2025 gallons  
 Leach field: 675gpd / 1.6 application rate = 421.875 sqft

**WINTER WATER TESTING:**  
 - Winter water testing (WWT) required due to groundwater on neighboring parcel  
 - WWT piezometer pipes set up Feb 2021 with three at 12' depth.  
 - 2021: WWT unable to be conducted due in 2021 due to insufficient rainfall.  
 - 2022: WWT Tests conducted Jan 2022.

**Findings:**  
 WWT #1: ~10 ft  
 WWT #2: Dry (12+ft)(proposed installation area)  
 WWT #3: ~9ft

**DESIGN CRITERIA:**  
 NEW 2 BDRM ADU ±  
 EXISTING 3 BDRM SFD

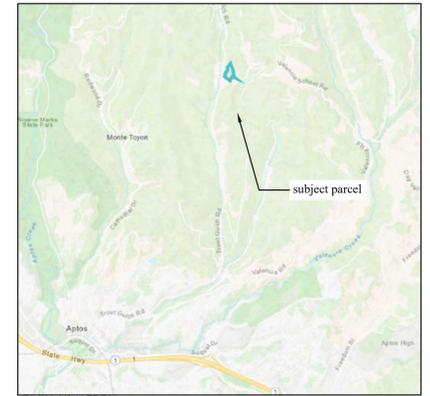
**Enhanced Treatment Septic Tank w/ Nitrogen reduction**  
 2000 gal Concrete septic tank Primary  
 1000 gal pump tank  
 All Tanks to be Watertight Concrete Pinnacles with 24" riser adapters  
 Two AX20 Pods

**Leach field:**  
 800 sqft of leachfield

- Installer Conditions and Responsibilities:**
- The installer is responsible for locating any property lines, underground utilities or piping. Any damage to these facilities is the responsibility of the installer.
  - Contractor and county responsible for as-built minor changes allowed by inspector. Any major changes to plan require approval by designer.
  - Area of leach field must not be subject to grading, compaction, filling, or deviation from natural conditions prior to installation.
  - Installation to ideally occur during dry soil conditions to increase the longevity of the system.
  - Roof and driveway runoff must be located 25 ft. away from leach field.
  - Erosion control measures shall be implemented during raining season installation as required by the county.

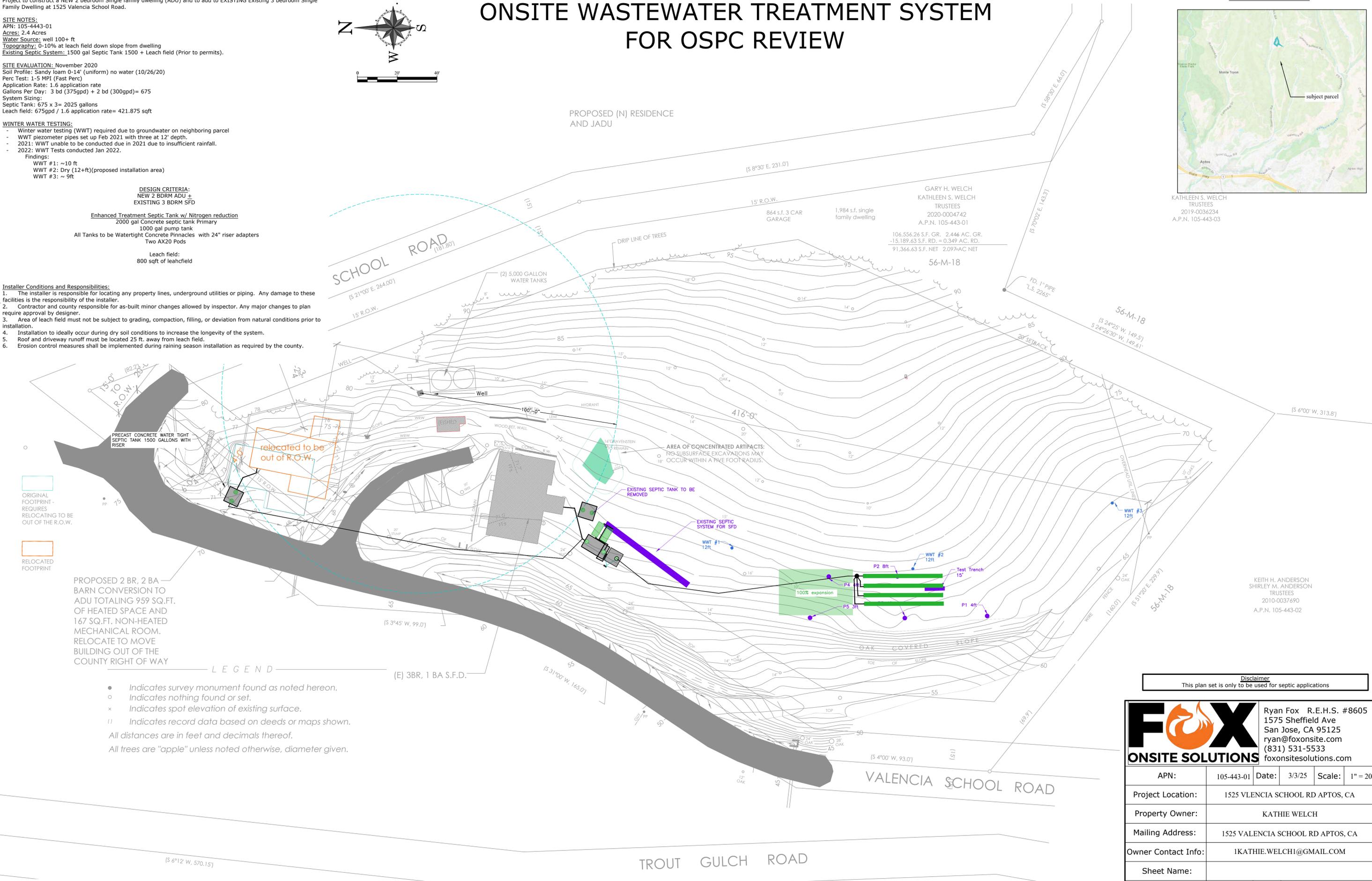
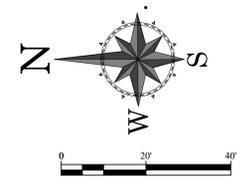
# ONSITE WASTEWATER TREATMENT SYSTEM FOR OSPC REVIEW

## VICINITY MAP



KATHLEEN S. WELCH TRUSTEES  
 2019-0036234  
 A.P.N. 105-443-03

KEITH H. ANDERSON SHIRLEY M. ANDERSON TRUSTEES  
 2010-0037690  
 A.P.N. 105-443-02



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 All trees are "apple" unless noted otherwise, diameter given.

**Disclaimer**  
 This plan set is only to be used for septic applications

Ryan Fox R.E.H.S. #8605  
 1575 Sheffield Ave  
 San Jose, CA 95125  
 ryan@foxonsite.com  
 (831) 531-5533  
 foxonsitesolutions.com

APN:	105-443-01	Date:	3/3/25	Scale:	1" = 20'
Project Location:	1525 VALENCIA SCHOOL RD APTOS, CA				
Property Owner:	KATHIE WELCH				
Mailing Address:	1525 VALENCIA SCHOOL RD APTOS, CA				
Owner Contact Info:	1KATHIE.WELCH1@GMAIL.COM				
Sheet Name:					
Revision:		Page:			

THERE WILL BE NO DISTURBANCE TO SURROUNDING OAK WOODLAND SENSITIVE HABITAT AND HIGH VISIBILITY PROTECTIVE FENCING WILL BE INSTALLED PRIOR TO CONSTRUCTION.

(2) 5,000 GALLON GREEN WATER TANKS TO MATCH ADU TRIM SHIELD WITH FRUIT TREES PER OSPC RECOMMENDATIONS

AREA OF CONCENTRATED ARTIFACTS: NO SUBSURFACE EXCAVATIONS MAY OCCUR WITHIN A FIVE FOOT RADIUS.

PREVIOUSLY APPROVED SEPTIC DESIGN: FINAL DESIGN TO BE CLEARED BY ENVIRONMENTAL HEALTH PRIOR TO BUILDING APPLICATION SUBMITTAL

LANDSCAPE WITH FRUIT TREES TO PROVIDE SCREENING AT PORCH AREAS, RETAINING WALLS, AND ADDITIONAL PARTS OF THE BARN, PRIMARILY FROM THE SOUTH AND NORTH

PROPOSED 1 BR, 2 BA BARN CONVERSION TO ADU TOTALING 959 SQ.FT. OF HEATED SPACE AND 182 SQ.FT. NON-HEATED MECHANICAL ROOM. RELOCATE TO MOVE BUILDING OUT OF THE COUNTY RIGHT OF WAY

ORIGINAL FOOTPRINT - REQUIRES RELOCATING TO BE OUT OF THE R.O.W.  
RELOCATED FOOTPRINT

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KATHLEEN S. WELCH  
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2020-0004742  
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A.P.N. 105-443-02

# PROPOSED SITE PLAN

SCALE: 1" = 20'-0"

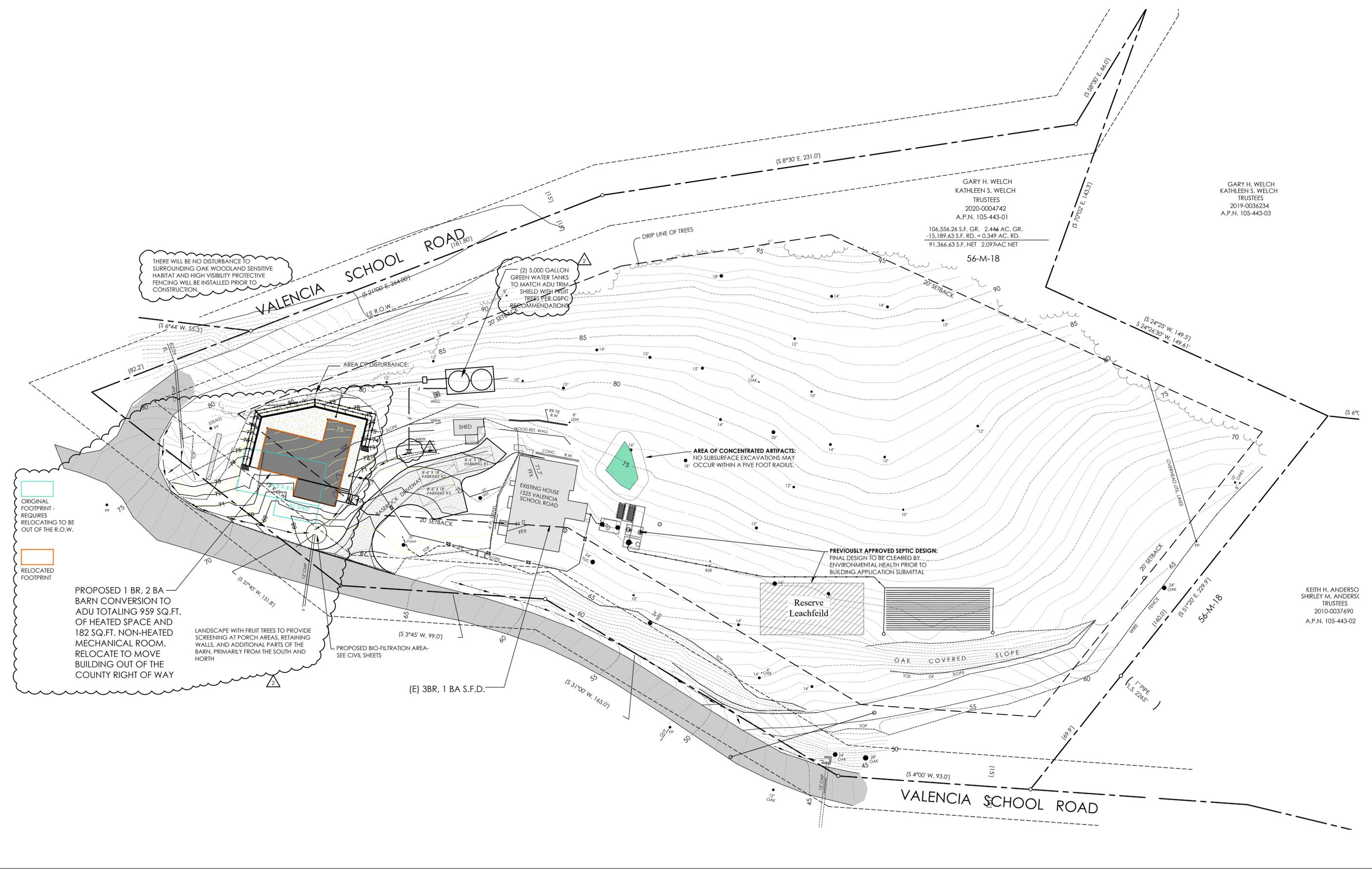


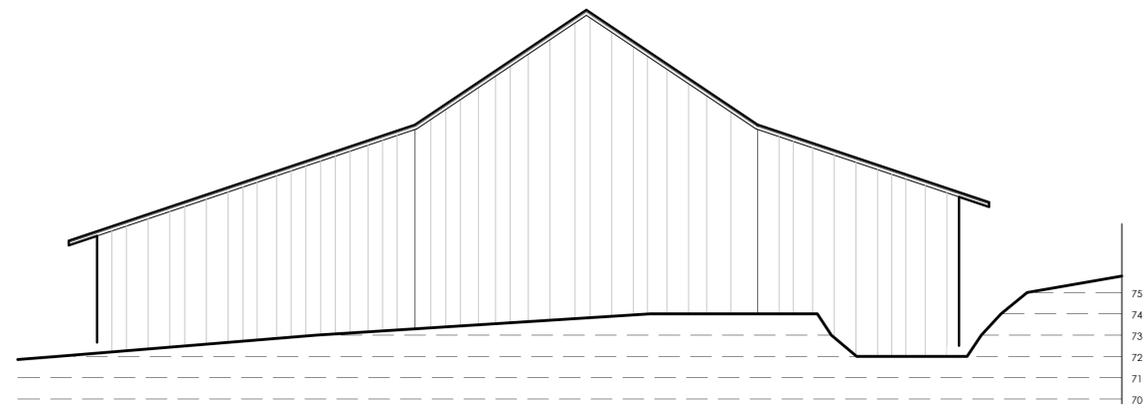
VALERIE HART RESIDENTIAL DESIGN  
3680 N. RODEO GULCH ROAD, SOQUEL, CA 95073  
(831) 239-1609 valerie95062@yahoo.com

welch adu  
1525 valencia school road, aptos, ca 95003  
apn: 105-443-01

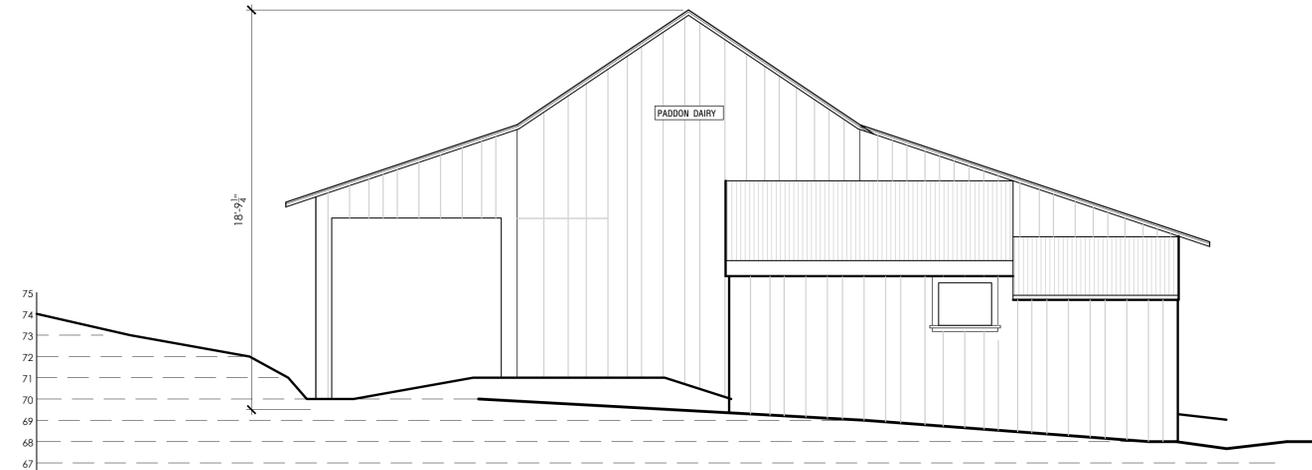
development permit: SEPTEMBER 16, 2024  
incomplete response: JULY 21, 2025  
incomplete response: FEBRUARY 03, 2026

SHEET: **A1**

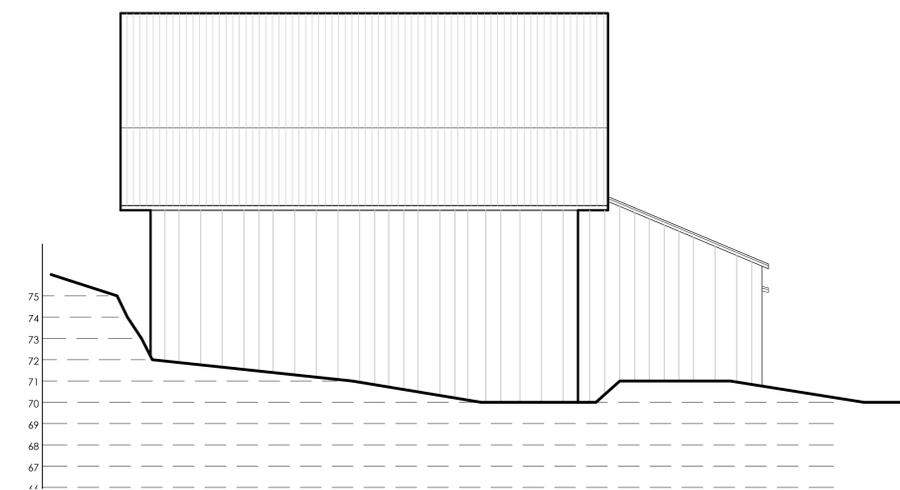




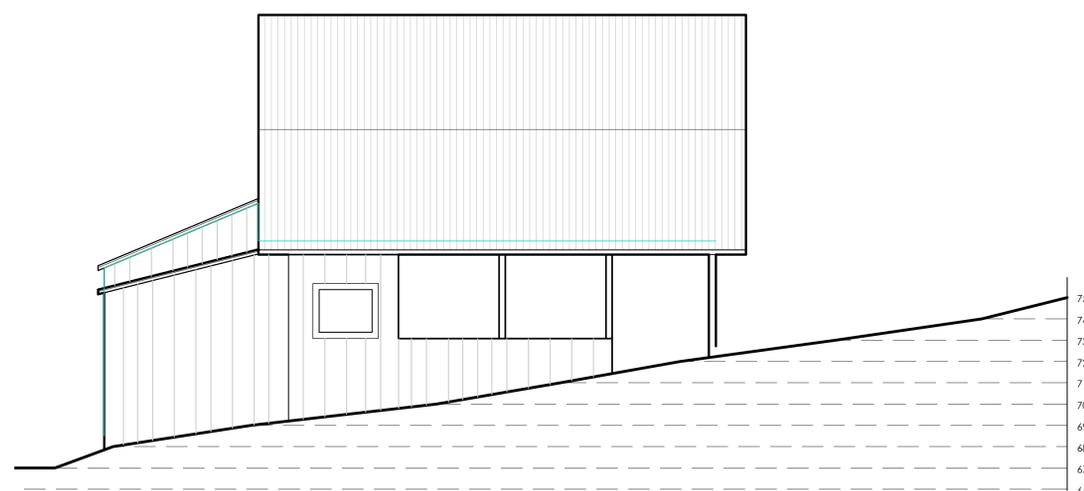
EXISTING EAST ELEVATION



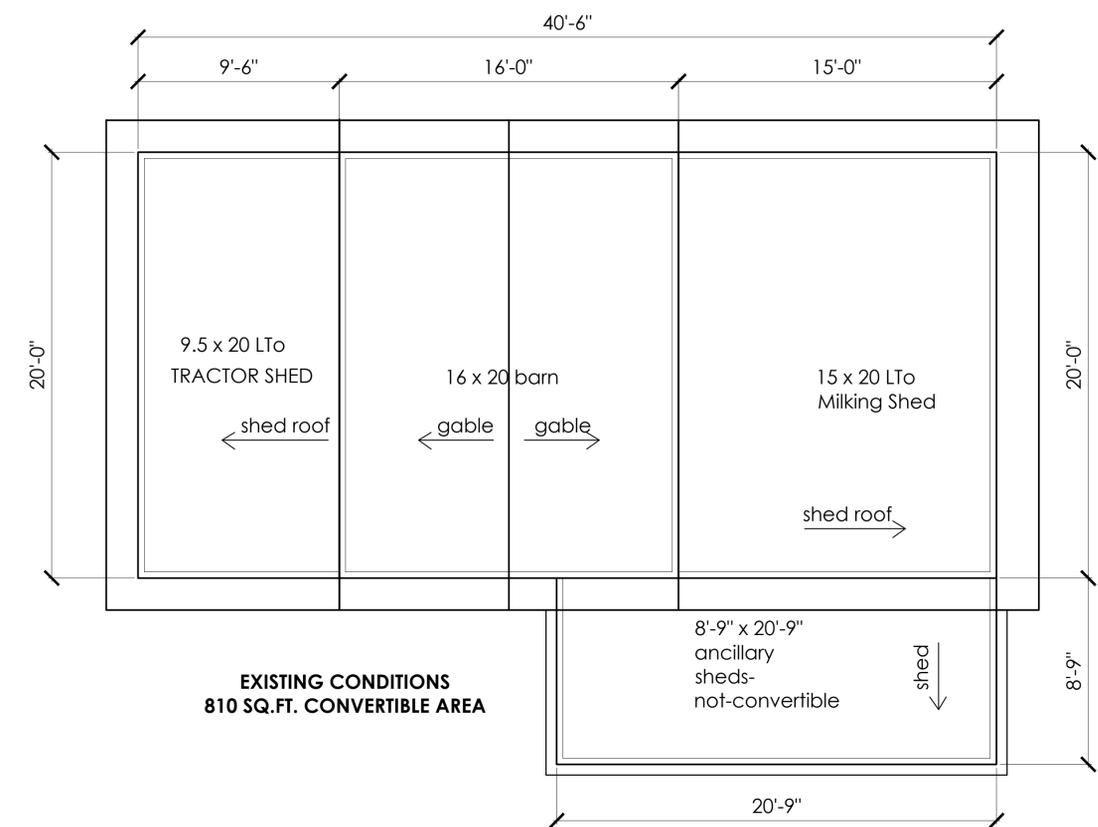
EXISTING WEST ELEVATION



EXISTING NORTH ELEVATION



EXISTING SOUTH ELEVATION



EXISTING CONDITIONS  
810 SQ.FT. CONVERTIBLE AREA

EXISTING FLOOR PLAN

WALL LEGEND	
	EXISTING STUD WALL
	NEW 2 X 4 STUD WALL
	NEW 2 X 6 STUD WALL

# EXISTING BARN FLOOR PLAN AND ELEVATIONS

SCALE: 1/4" = 1'-0"

VALERIE HART RESIDENTIAL DESIGN  
3680 N. RODEO GULCH ROAD, SOQUEL, CA 95073  
(831) 239-1609 valerie95062@yahoo.com

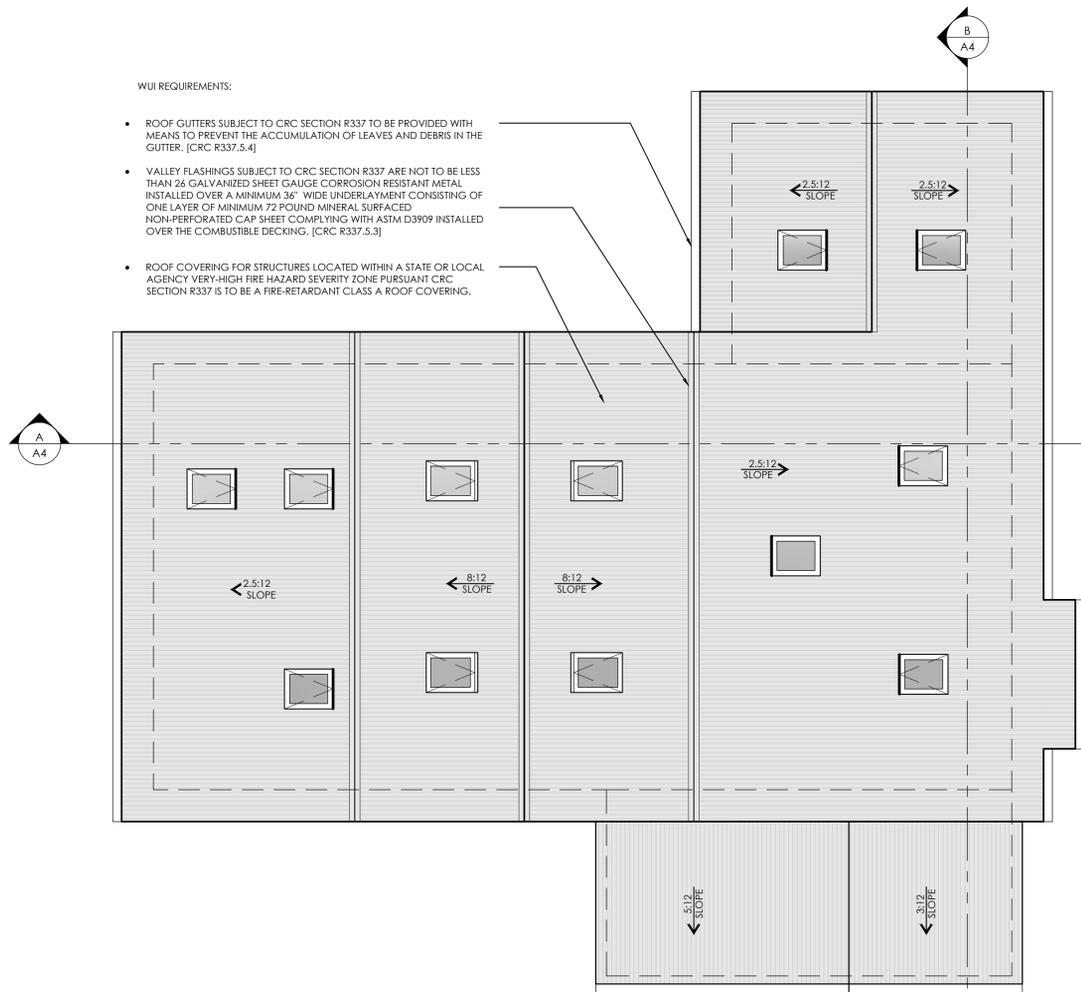
welch adu  
1525 valencia school road, aptos, ca 95003  
apn: 105-443-01

development permit: SEPTEMBER 16, 2024  
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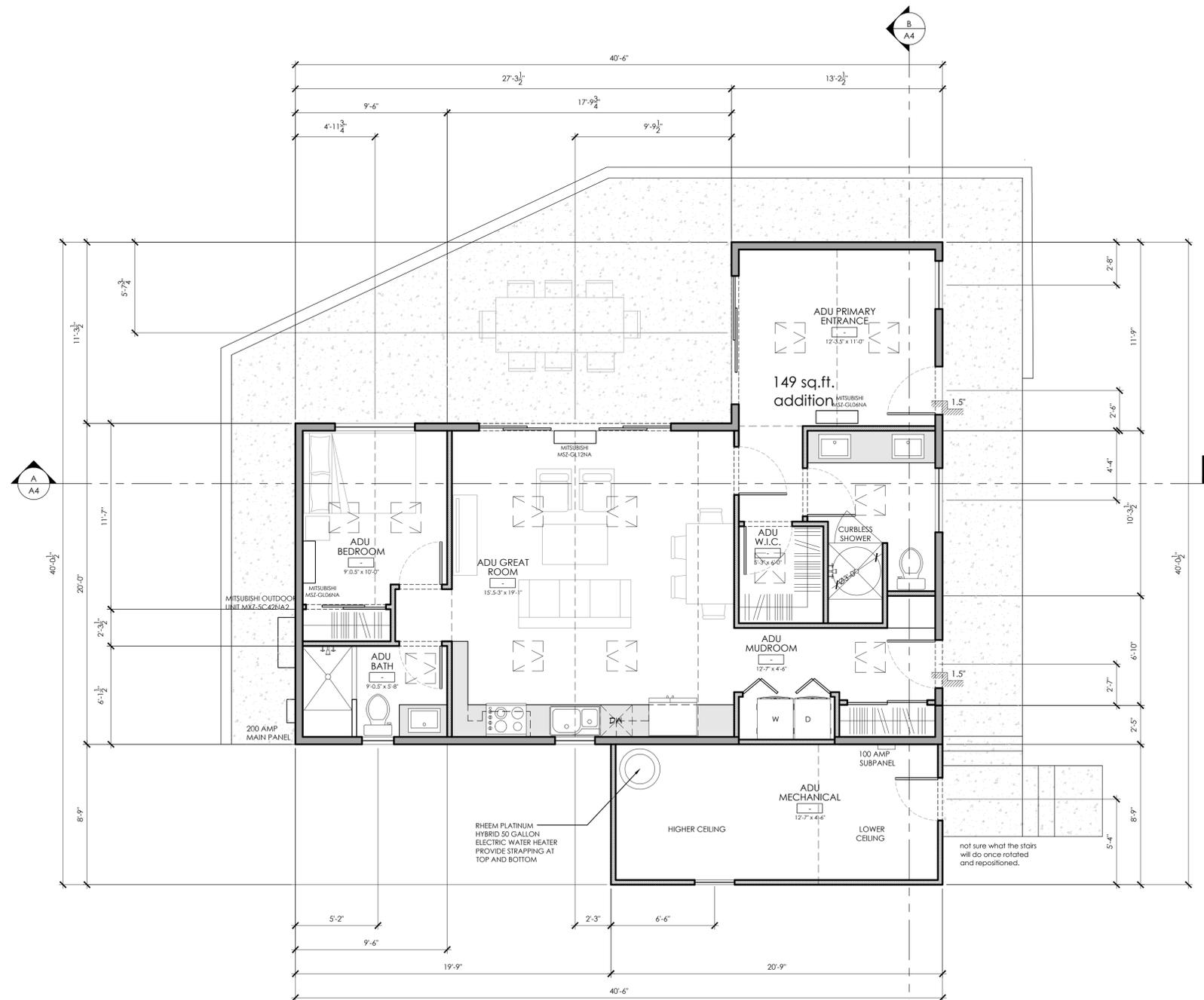
SHEET: **A2**

WUI REQUIREMENTS:

- ROOF GUTTERS SUBJECT TO CRC SECTION R337 TO BE PROVIDED WITH MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. [CRC R337.5.4]
- VALLEY FLASHINGS SUBJECT TO CRC SECTION R337 ARE NOT TO BE LESS THAN 26 GALVANIZED SHEET GAUGE CORROSION RESISTANT METAL INSTALLED OVER A MINIMUM 36" WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF MINIMUM 72 POUND MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D3909 INSTALLED OVER THE COMBUSTIBLE DECKING. [CRC R337.5.3]
- ROOF COVERING FOR STRUCTURES LOCATED WITHIN A STATE OR LOCAL AGENCY VERY-HIGH FIRE HAZARD SEVERITY ZONE PURSUANT CRC SECTION R337 IS TO BE A FIRE-RETARDANT CLASS A ROOF COVERING.



PROPOSED ROOF PLAN



PROPOSED FLOOR PLAN

WALL LEGEND	
	EXISTING STUD WALL
	NEW 2 X 4 STUD WALL
	NEW 2 X 6 STUD WALL

# PROPOSED ADU FLOOR AND ROOF PLAN

SCALE: 1/4" = 1'-0"



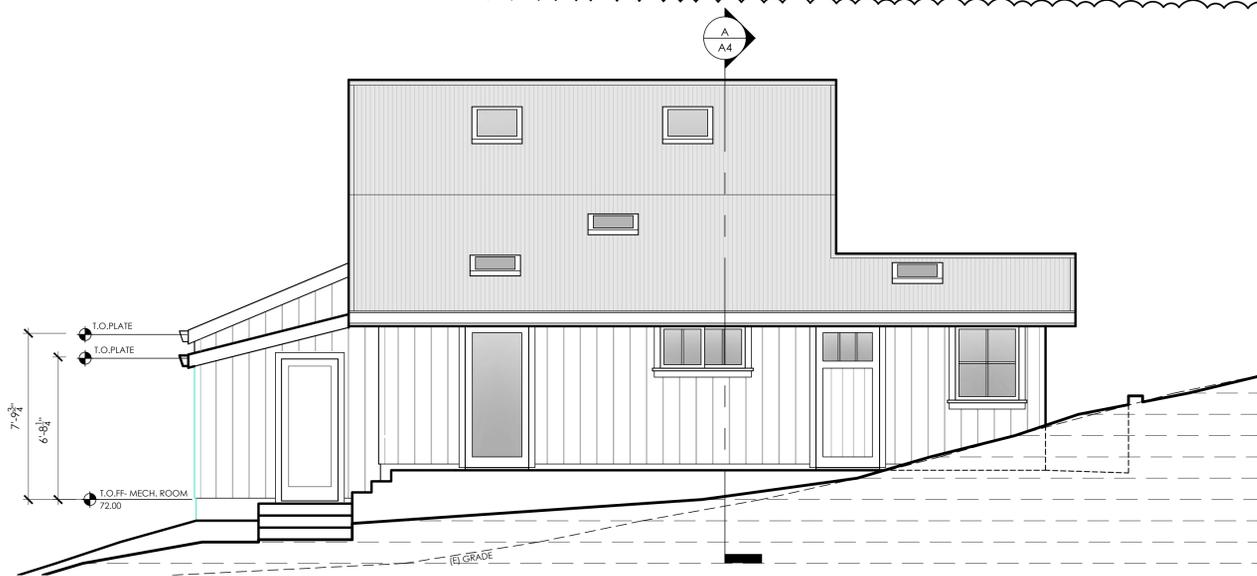
VALERIE HART RESIDENTIAL DESIGN  
 3680 N. RODEO GULCH ROAD, SOQUEL, CA 95073  
 (831) 239-1609 valerie95062@yahoo.com

## welch adu

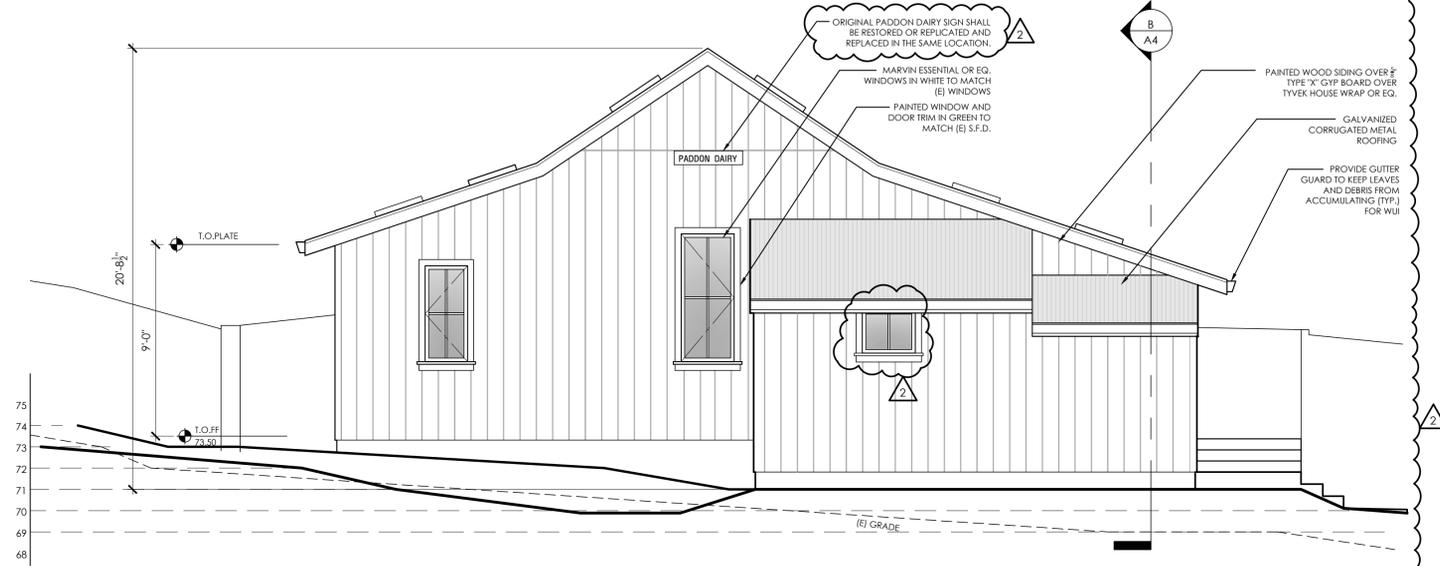
1525 valencia school road, aptos, ca 95003  
 apn: 105-443-01

development permit: SEPTEMBER 16, 2024  
 incomplete response: JULY 21, 2025  
 incomplete response: FEBRUARY 03, 2026

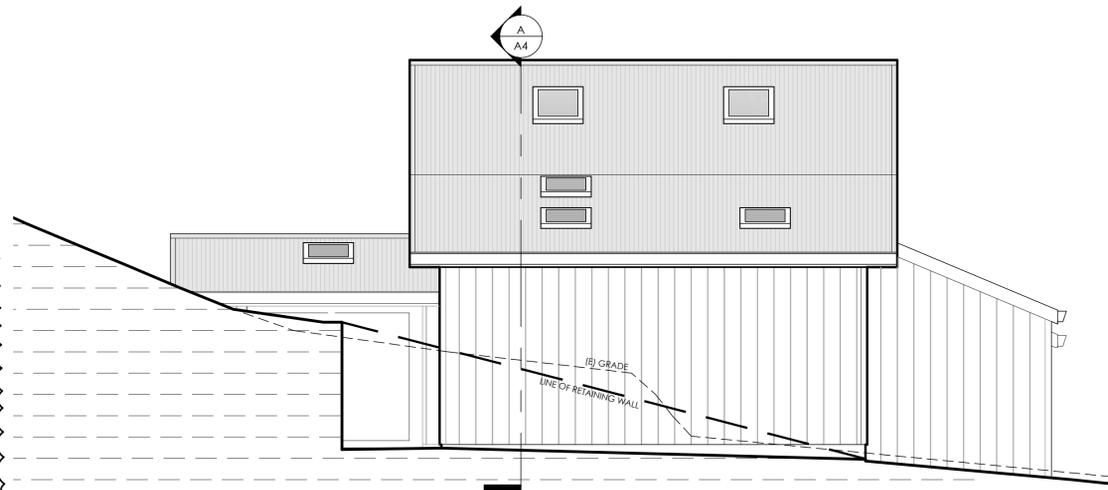
SHEET: **A3**



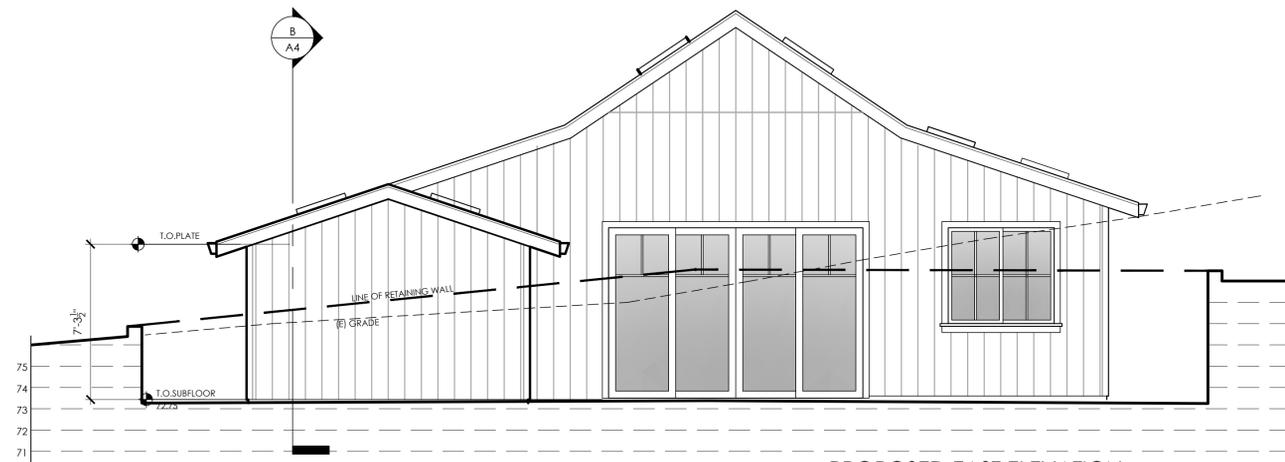
PROPOSED SOUTH ELEVATION



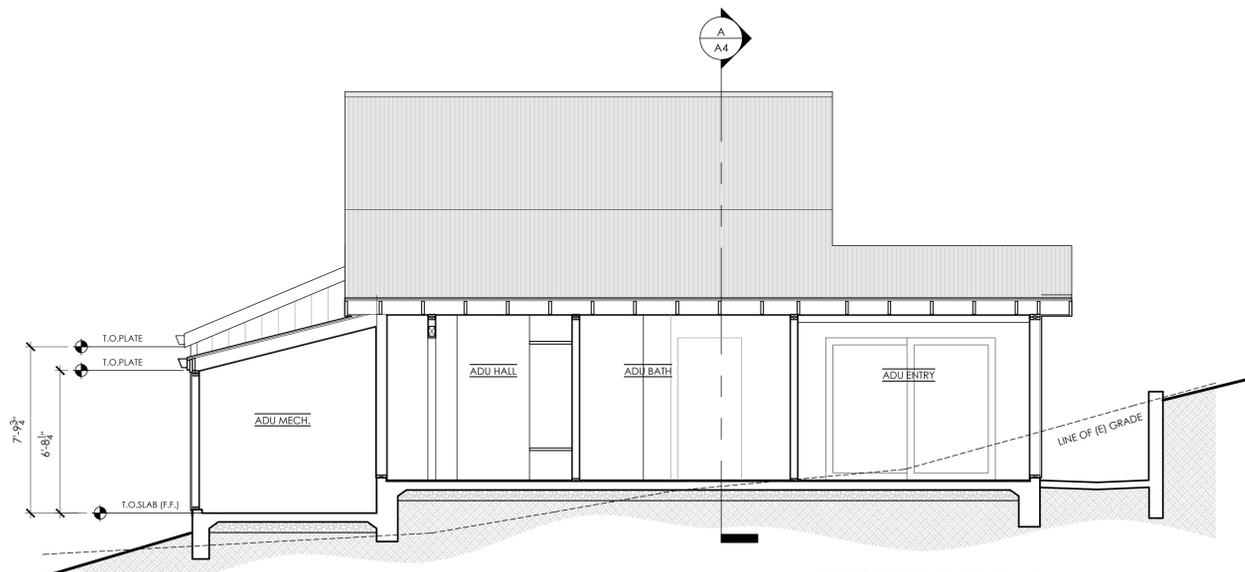
PROPOSED WEST ELEVATION



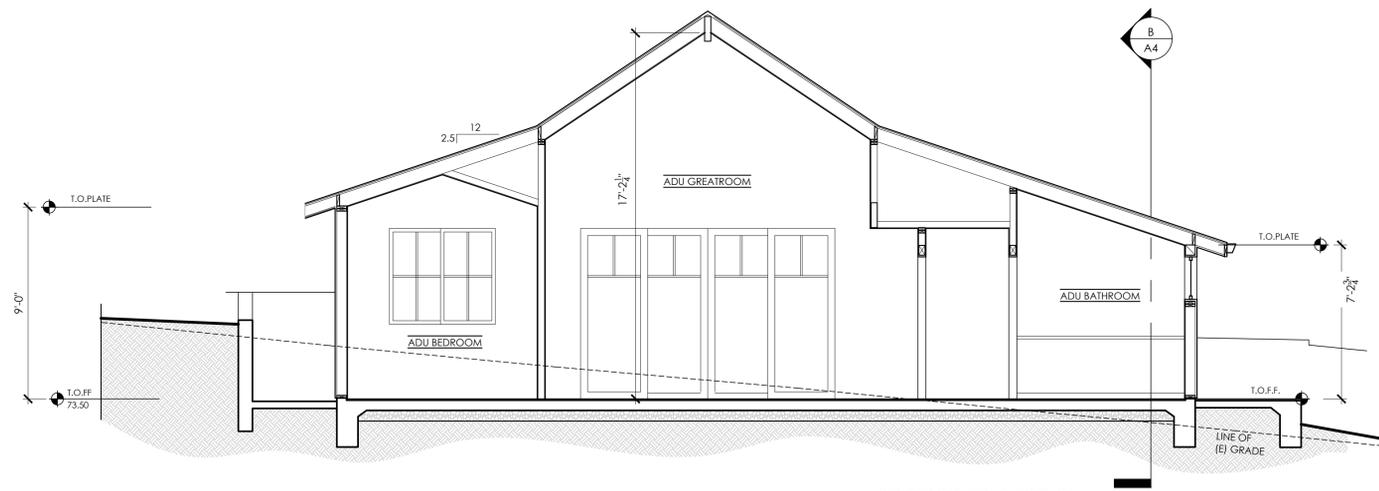
PROPOSED NORTH ELEVATION



PROPOSED EAST ELEVATION



PROPOSED SECTION B



PROPOSED SECTION A

PROPOSED ADU ELEVATIONS AND SECTIONS

SCALE: 1/4" = 1'-0"

VALERIE HART RESIDENTIAL DESIGN

3680 N. RODEO GULCH ROAD, SOQUEL, CA 95073  
(831) 239-1609 valerie95062@yahoo.com

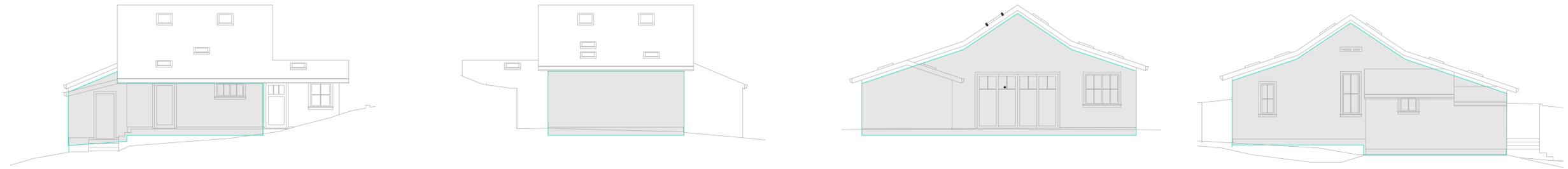
welch adu

1525 valencia school road, aptos, ca 95003  
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development permit: SEPTEMBER 16, 2024  
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incomplete response: FEBRUARY 03, 2026

SHEET: A4

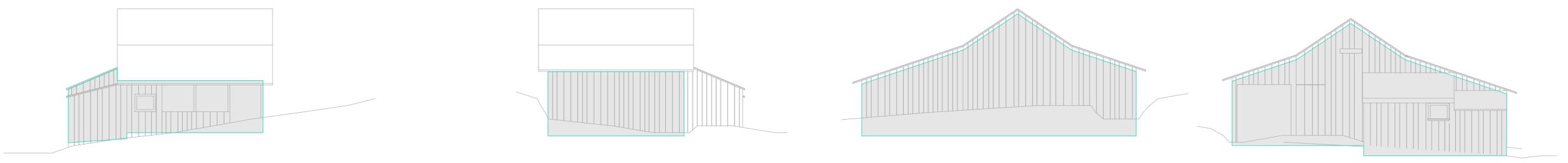
WELCH ADU



PROPOSED ELEVATIONS-VOLUME DIAGRAM



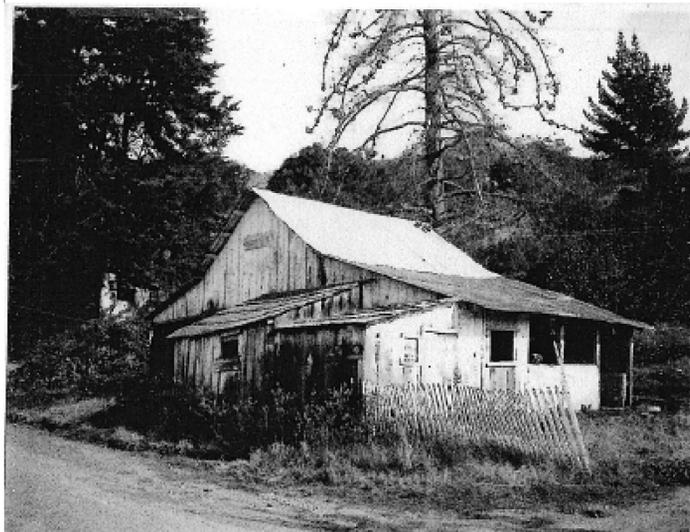
(E) VOLUME



EXISTING ELEVATIONS-VOLUME DIAGRAM



(E) VOLUME



# VOLUME DIAGRAMS

SCALE: 1/8" = 1'-0"

VALERIE HART RESIDENTIAL DESIGN

3680 N. RODEO GULCH ROAD, SOQUEL, CA 95073  
(831) 239-1609 valerie95062@yahoo.com

welch adu

1525 valencia school road, aptos, ca 95003  
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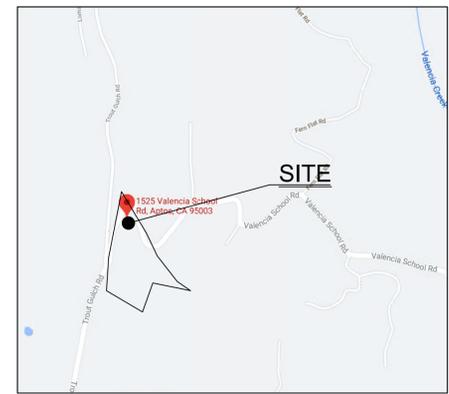
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# IMPROVEMENT PLANS

FOR

## WELCH RESIDENCE

1525 VALENCIA SCHOOL ROAD  
APTOS, SANTA CRUZ COUNTY, CALIFORNIA, 95003



MAP DATA © GOOGLE  
VICINITY MAP  
N.T.S.

**RAMSEY**  
CIVIL ENGINEERING INC.  
CIVIL ENGINEERING  
LAND PLANNING  
PROJECT MANAGEMENT  
CONSTRUCTION SUPPORT  
QSD AND QSP SERVICES

2905 KRISTIE COURT  
SANTA CRUZ, CA 95065  
TEL (831) 462-2905  
www.ramsycivilengineering.com

REGISTERED PROFESSIONAL ENGINEER  
DAVID RAMSEY  
NO. C73735  
CIVIL  
STATE OF CALIFORNIA  
10/2026  
DATE  
DAVID RAMSEY  
RCE# 73735

APN# 105-443-01  
PLAN TYPE  
RESIDENTIAL

COVER SHEET  
**WELCH RESIDENCE**  
1525 VALENCIA SCHOOL ROAD, APTOS, CA, 95003

REVISIONS PER COUNTY COMMENTS	DESCRIPTION	DATE
1	DMR	02/10/2026

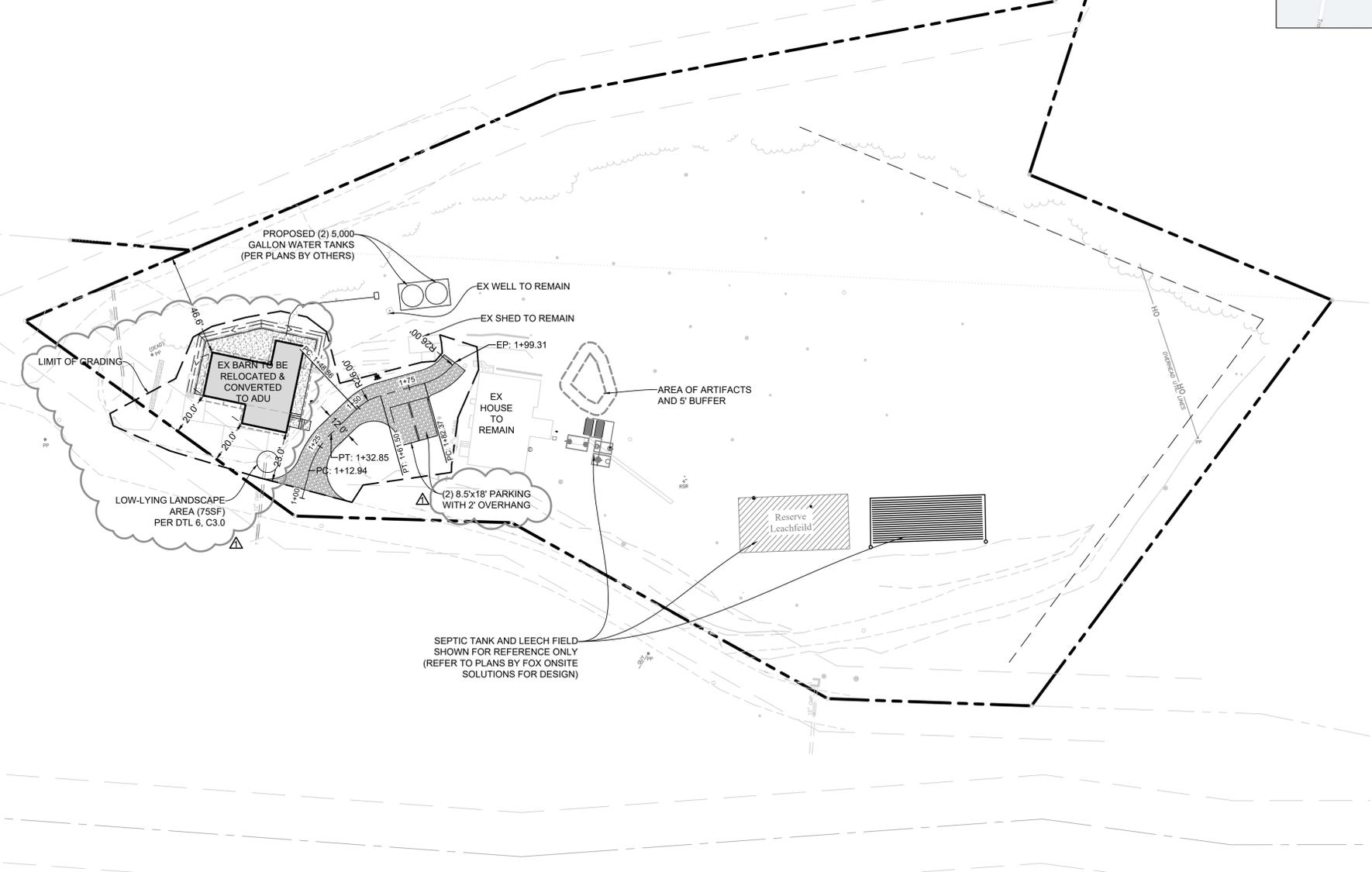
DRAWN BY: GS  
DESIGNED BY: DMR  
DATE: 09/24/24  
SCALE: AS NOTED  
PROJECT NO: 21-013  
SHEET:  
**C1.0**

### LEGEND

	PROPERTY LINE		AIR RELEASE VALVE
	PROPERTY LINE - ADJACENT		BLOW-OFF VALVE
	PROPOSED EASEMENT		CATCH BASIN
	FENCE		CURB INLET
	ELECTRICAL LINE		CLEANOUT STRUCTURE
	FIBER OPTIC LINE		FIRE HYDRANT
	FIRE WATER LINE		GUY ANCHOR
	GAS LINE		MANHOLE STRUCTURE
	IRRIGATION LINE		WATER METER
	JOINT TRENCH LINE		WATER VALVE
	OVERHEAD LINE		WATER THRUST BLOCK
	RECYCLED WATER LINE		FLOW DIRECTION
	STORM DRAIN LINE		
	SANITARY SEWER LINE		
	TELEPHONE LINE		
	CABLE TV LINE		
	WATER LINE		
	SWALE		

### ABBREVIATIONS

AB	AGGREGATE BASE	JT	JOINT TRENCH
AC	AIR CONDITIONER UNIT	L	LANDING
APN	ASSESSORS PARCEL NUMBER	LF	LINEAR FOOT
ARV	AIR-RELEASE VALVE	LIP	LIP OF GUTTER
BF	BASEMENT FLOOR	LOG	LIMIT OF GRADING
BFP	BACKFLOW PREVENTER	LP	LOW POINT
BO	BLOW-OFF VALVE	MH	MANHOLE
BRW	BOTTOM OF RETAINING WALL	MIN	MINIMUM
BSW	BACK OF SIDEWALK	N	NORTH
BVC	BEGIN VERTICAL CURVE	NE	NORTHEAST
BW	BOTTOM OF WALL	NTS	NOT TO SCALE
CATV	CABLE TELEVISION	NW	NORTHWEST
CB	CATCH BASIN	OC	ON CENTER
CBC	CALIFORNIA BUILDING CODE	OCEW	ON CENTER, EACH WAY
CI	CURB INLET	OH	OVERHEAD
CIP	CAST IRON PIPE	PCC	PORTLAND CEMENT CONCRETE
CL	CENTERLINE	POC	POINT OF CONNECTION
CMP	CORRUGATED METAL PIPE	PP	POWER POLE
CMU	CONCRETE MASONRY UNIT	PL	PROPERTY LINE
CO	CLEANOUT	PRC	POINT OF REVERSE CURVE
CONC	CONCRETE	PS	PLANTING STRIP
COTG	CLEANOUT TO GRADE	PSE	PUBLIC SERVICE EASEMENT
DIP	DUCTILE IRON PIPE	PIV	POST-INDICATOR VALVE
DS	DOWNSPOUT	PV	PAVEMENT
DTL	DETAIL	PVC	POLYVINYL CHLORIDE PIPE
DWG	DRAWING	R	RADIUS
DWY	DRIVEWAY	RC	RELATIVE COMPACTION
E	EAST, ELECTRICAL	RCP	REINFORCED CONCRETE PIPE
EG	EXISTING GROUND	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	RRSB	REAR SETBACK
(E)	EXISTING	RW	RECYCLED WATER
EQ	EQUAL	S	SOUTH, SLOPE
EX	EXISTING	SD	STORM DRAIN
FC	FACE OF CURB	SE	SOUTHEAST
FDC	FIRE DEPARTMENT CONNECTION	SDMH	STORM DRAIN MANHOLE
FG	FINISH GRADE	SHT	SHEET
FF	FINISH FLOOR	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSB	SIDE SETBACK
FL	FLOWLINE	SSMH	SANITARY SEWER MANHOLE
FNC	FENCE	STA	STATION
FO	FIBER OPTIC	STD	STANDARD
FS	FINISHED SURFACE	SW	SIDEWALK, SOUTHWEST
FSB	FRONT SETBACK	SWE	SIDEWALK EASEMENT
FT	FOOT/FEET	T	TELEPHONE
FW	FIRE WATER	TC	TOP OF CURB
G	GAS	TH	THRESHOLD
GB	GRADE BREAK	TRAN	TRANSFORMER
GF	GARAGE FLOOR	TRW	TOP OF RETAINING WALL
HT	HEIGHT	TW	TOP OF WALL
HDPE	HIGH-DENSITY POLYETHYLENE	USA	UNDERGROUND SERVICE ALERT
HP	HIGH POINT	W	WEST, WATER
INT	INTERSECTION	WM	WATER METER
INV	INVERT	WV	WATER VALVE
IRR	IRRIGATION		
JB	JUNCTION BOX		



### SURVEY

SURVEY FOR THIS PROJECT PROVIDED BY MICHAEL F. BEAUTZ, C.E., DATED MARCH 2020.

### BENCHMARK

ELEVATIONS REFERENCE IS THE TOP OF THE CONCRETE SLAB AROUND THE WELL CASING SHOWN FOR ASSUMED ELEVATION OF 80.0'. ALSO, THE TOP BOLT AT THE CENTER OF THIS 6" DIAMETER CASING HAS AN ELEVATION OF 80.83'.

### BASIS OF BEARINGS

THE BASIS OF BEARINGS IS ESTABLISHED BETWEEN 1" IRON PIPES WITH BRASS TAG "L.S. 2265" FOUND AS NOTES AND SHOWN HEREON AT POINTS "A" AND "B" AND AS PIPE "A" IS SHOWN ON THE MAP FILED IN VOLUME 28 OF PARCEL MAPS AT PAGE 6 AND PIPE "B" IS SHOWN IN THE RECORD OF SURVEY FILED IN VOLUME 56 OF MAPS AT PAGE 18 OF OFFICIAL RECORDS OF SANTA CRUZ COUNTY, AND AS THE COURSE BETWEEN THEM HAS BEEN CALCULATED BASED ON THESE TWO RECORDED MAPS.

BASIS OF BEARINGS: S04°42'50"W

### HATCH LEGEND

	PROPOSED HOUSE (SEE ARCH PLANS)
	SELF-TREATING GRAVEL DRIVEWAY 3" PEA GRAVEL SET ATOP 9" MIN OF 3/4" 1" CLEAN CRUSHED ANGULAR DRAIN ROCK
	PEDESTRIAN CONCRETE 4" PCC OVER 6" CLASS II AB @95% R.C.

### IMPERVIOUS AREA BREAKDOWN

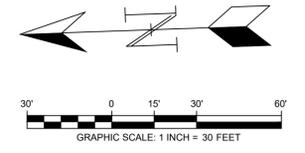
ONSITE	EXISTING (SF)	NEW/ REPLACED (SF)
ROOF AREA	2,354	1,013 (REPLACED BARN ROOF) 149 NEW ADDITION
CONCRETE	82	789
ASPHALT	0	0
PERMEABLE PAVERS	0	0
GRAVEL	849	1,540**
TOTAL	3,285	1,951

PER PART 3, SECTION C.1.a OF THE SANTA CRUZ COUNTY DESIGN CRITERIA THIS PROJECT IS CONSIDERED A MEDIUM PROJECT (500SF-5,000SF) AND REQUIRES IMPLEMENTATION OF BMP'S

- NOTES:  
1. \* PERMEABLE PAVERS ARE SELF TREATING AND COUNT AS 100% PERVIOUS.  
2. \*\*PROPOSED GRAVEL DRIVEWAY IS SELF-TREATING AND COUNTS AS 100% PERVIOUS.  
3. DOWNSPOUTS DRAIN TO FLOW SPREADER OR ADJACENT LANDSCAPE PRIOR TO LEAVING SUBJECT PARCEL

### INDEX OF SHEETS

SHEET NO.	DESCRIPTION
C1.0	COVER SHEET/ SITE PLAN
C1.1	NOTES
C2.0	GRADING AND DRAINAGE PLAN
C2.1	PLAN & PROFILE & SITE SECTIONS
C3.0	DETAILS
C4.0	EROSION CONTROL PLAN
C4.1	EROSION CONTROL NOTES & DETAILS

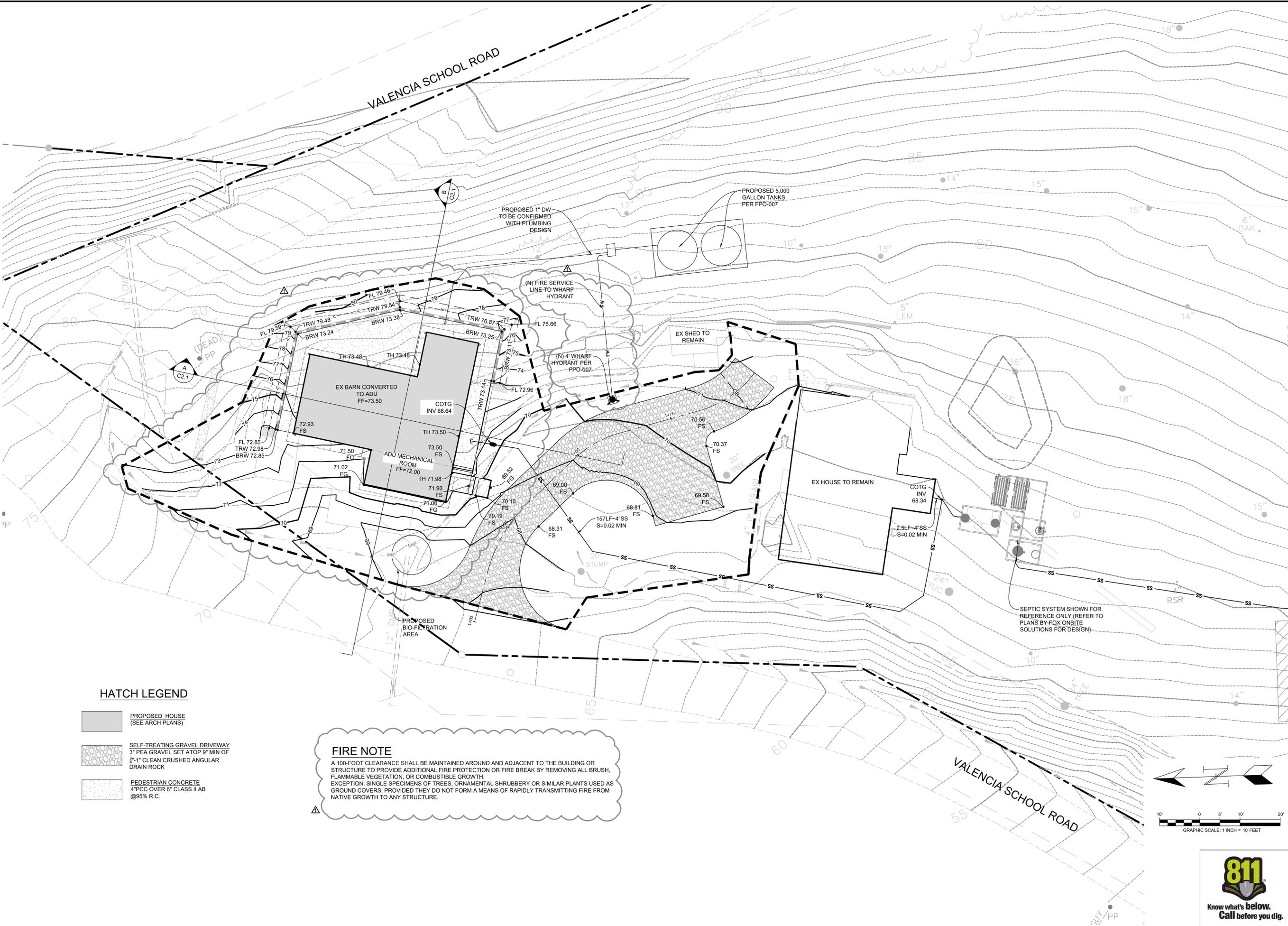




REVISIONS PER COUNTY COMMENTS	DATE
1	02/10/2026

DMR NUMBER	BY	DESCRIPTION	REVISION BLOCK
1	DMR		

DRAWN BY:	GS
DESIGNED BY:	DMR
DATE:	09/24/24
SCALE:	AS NOTED
PROJECT NO.:	21-013
SHEET:	C2.0

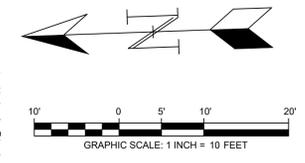


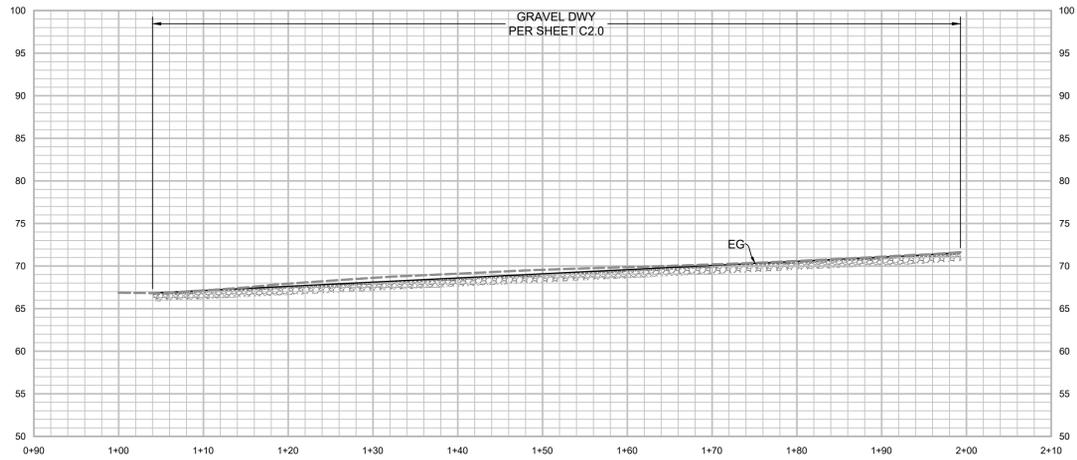
**HATCH LEGEND**

-  PROPOSED HOUSE (SEE ARCH PLANS)
-  SELF-TREATING GRAVEL DRIVEWAY  
3" PEA GRAVEL SET ATOP 9" MIN OF  
¾"-1" CLEAN CRUSHED ANGULAR  
DRAIN ROCK
-  PEDESTRIAN CONCRETE  
4" PCC OVER 6" CLASS II AB  
@95% R.C.

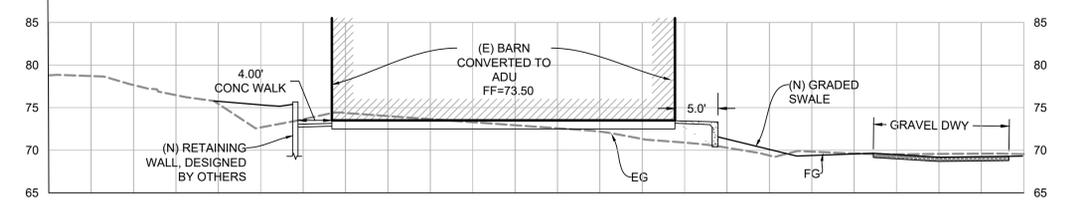
**FIRE NOTE**

A 100-FOOT CLEARANCE SHALL BE MAINTAINED AROUND AND ADJACENT TO THE BUILDING OR STRUCTURE TO PROVIDE ADDITIONAL FIRE PROTECTION OR FIRE BREAK BY REMOVING ALL BRUSH, FLAMMABLE VEGETATION, OR COMBUSTIBLE GROWTH.  
EXCEPTION: SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVERS, PROVIDED THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM NATIVE GROWTH TO ANY STRUCTURE.

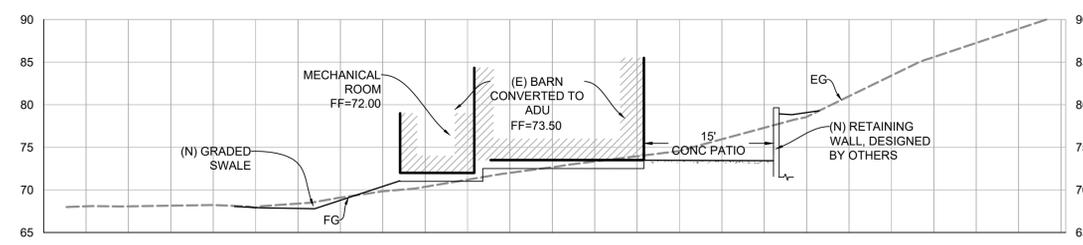




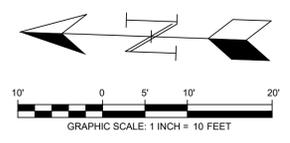
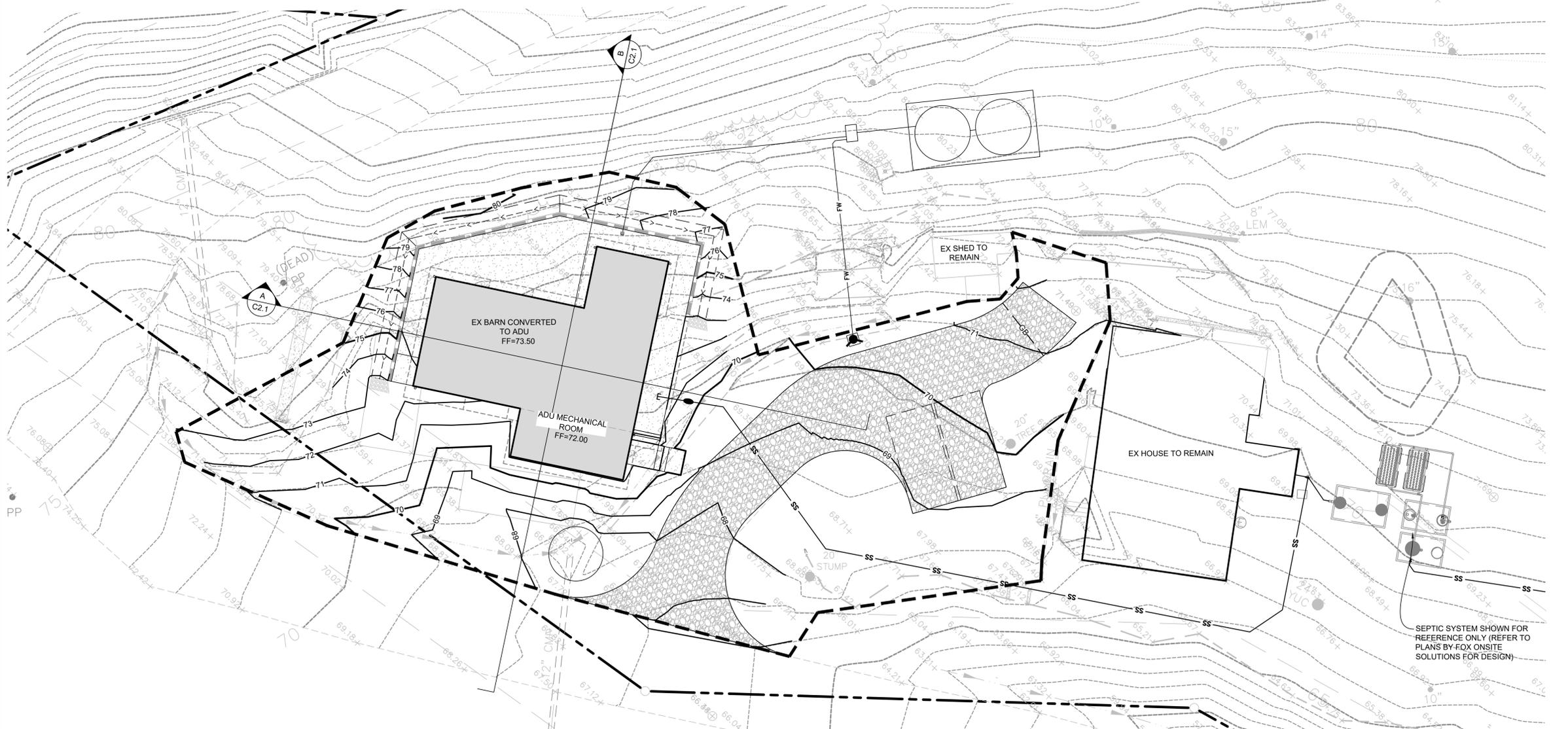
DRIVEWAY  
H: 1"=10'  
V: 1"=10'



SECTION A4  
1"=10' (H)  
1"=10' (V)



SECTION B5  
1"=10' (H)  
1"=10' (V)



SEPTIC SYSTEM SHOWN FOR REFERENCE ONLY (REFER TO PLANS BY FOX ONSITE SOLUTIONS FOR DESIGN)

**RAMSEY**  
CIVIL ENGINEERING INC.  
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PROJECT MANAGEMENT  
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2905 KRISTIE COURT  
SANTA CRUZ, CA 95065  
TEL (831) 462-2905  
www.ramseycivilengineering.com

REGISTERED PROFESSIONAL ENGINEER  
DAVID RAMSEY  
NO. C73735  
CIVIL  
STATE OF CALIFORNIA  
DATE 10/2026  
DAVID RAMSEY  
RCE# 73735

APN# 105-443-01  
PLAN TYPE  
RESIDENTIAL

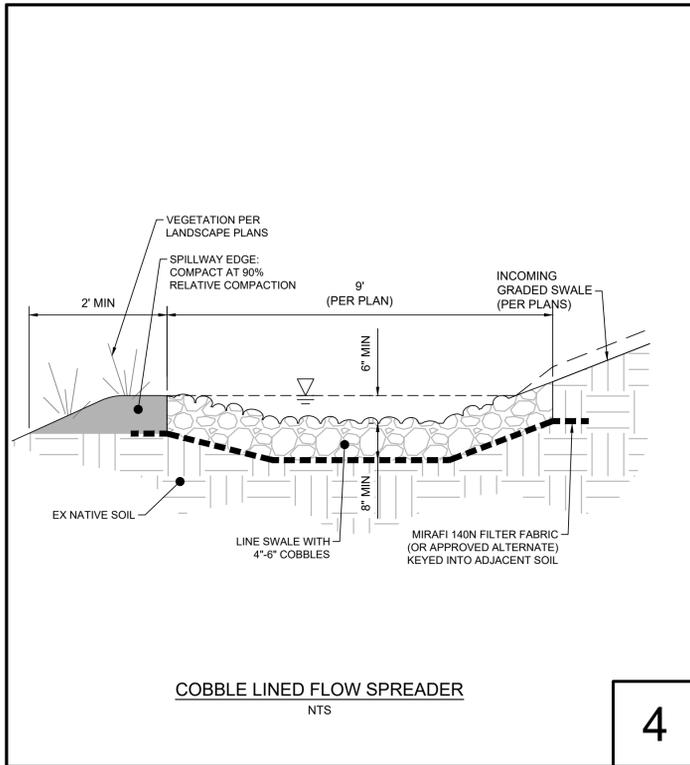
PLAN & PROFILE & SITE SECTIONS  
**WELCH RESIDENCE**  
1525 VALENCIA SCHOOL ROAD, APTOS, CA, 95003

NUMBER	DESCRIPTION	DATE
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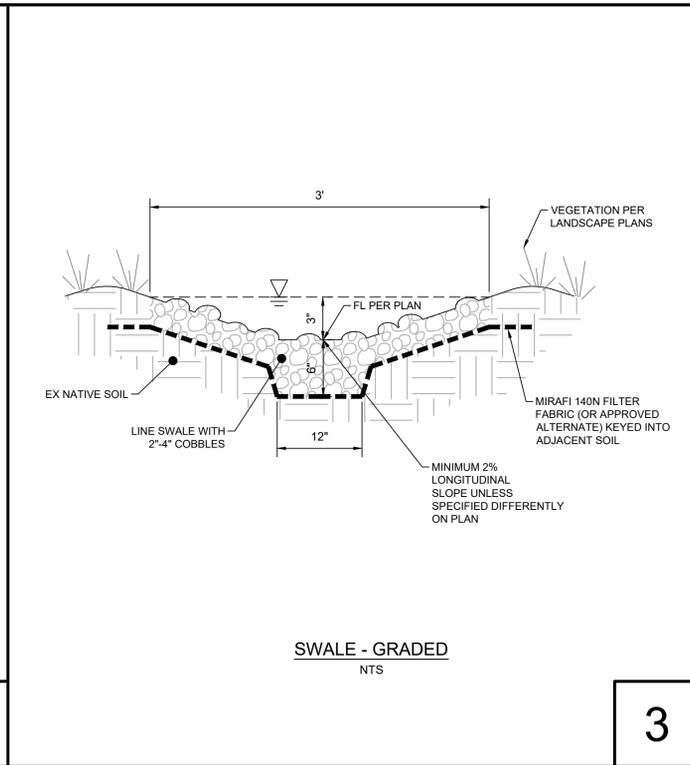
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DESIGNED BY: DMR  
DATE: 09/24/24  
SCALE: AS NOTED  
PROJECT NO: 21-013  
SHEET:

**C2.1**

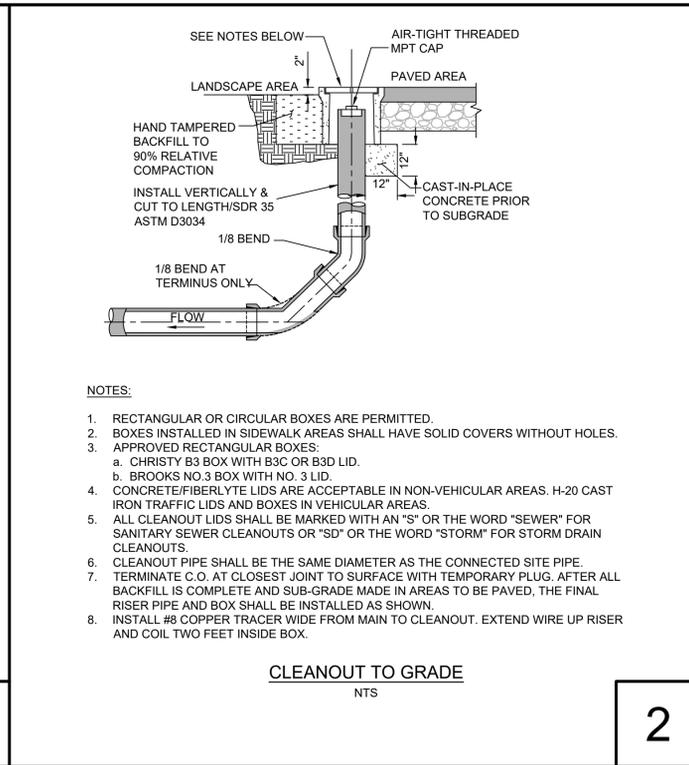




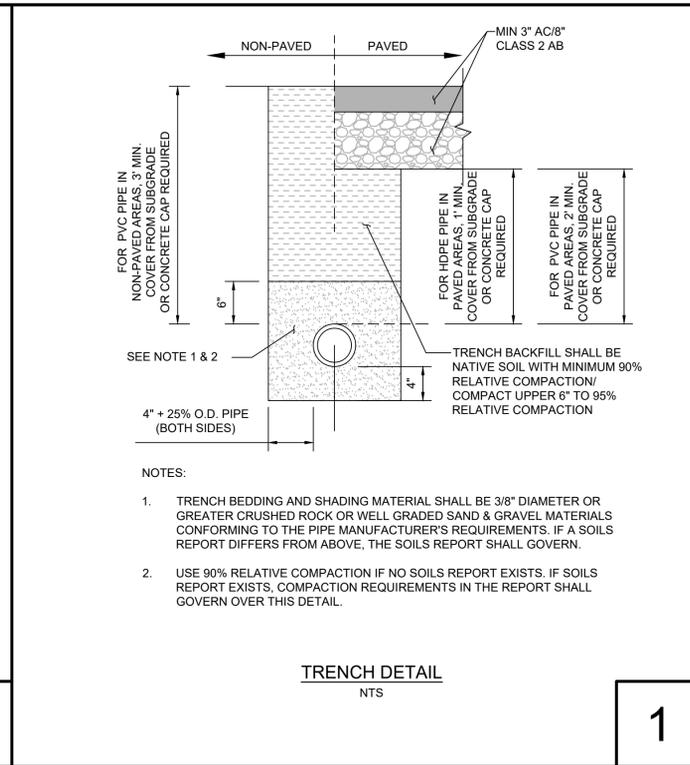
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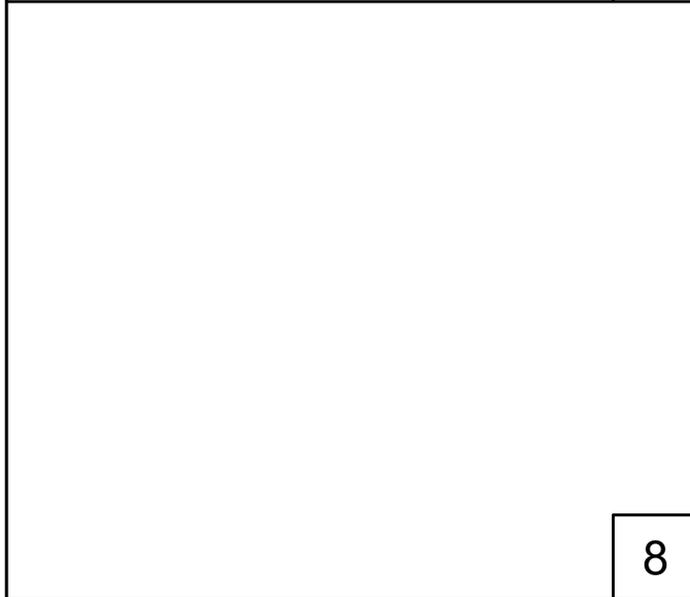
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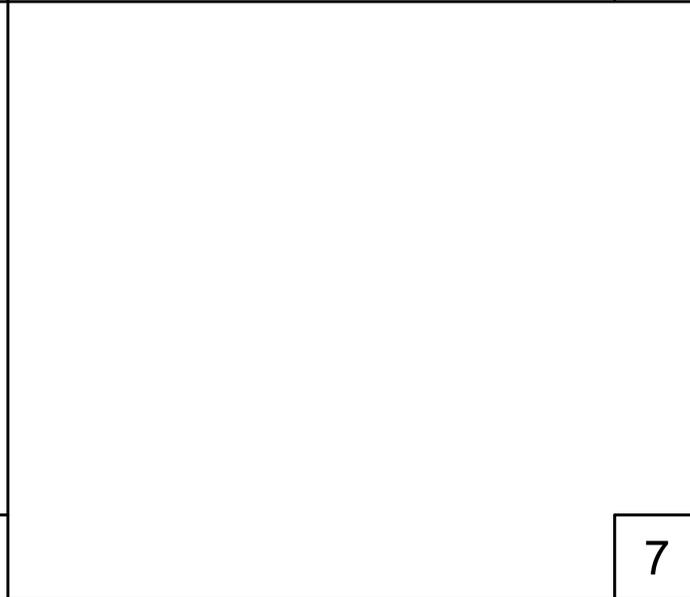
2



1



8



7

**BIORETENTION NOTES**

- SURFACE OF THE PLANTING BED SHALL BE RELATIVELY LEVEL BUT MAY HAVE A SLIGHT SLOPE TO DISTRIBUTE WATER THROUGHOUT SURFACE AREA.

**GENERAL**

- IF MULCH IS USED, USE NON-FLOATING MULCH SUCH AS INORGANIC MULCH (PEA GRAVEL, RIVER PEBBLES OR SIMILAR PRODUCTS) OR AGED NON-FLOATING MULCH IN THESE AREAS. THE MULCH LAYER SHALL BE NO MORE THAN 3 INCHES DEEP. DO NOT USE WOOD MULCH IN THE PONDING AREA.
- FERTILIZERS: DO NOT ADD FERTILIZERS IN BIO-RETENTION, BIO-SWALE OR RAIN GARDEN AREAS.

**SOIL REQUIREMENTS (SOIL MIX):**

- THE SOIL IN BIO-RETENTION, BIO-SWALE AND RAIN GARDEN AREAS SHALL BE A HOMOGENEOUS MIX OF 60-70% FINE SAND (MEETING ASTM D422 OR CALTRANS TEST METHOD C202) AND 30-40% WEED-FREE, MANURE-FREE, STABLE COMPOST. NOTE: ALL SANDS COMPLYING WITH ASTM C33 FOR FINE AGGREGATE COMPLY WITH SIEVE SIZE/GRADATION REQUIREMENTS. THE SOIL MIX/MEDIA TO BE USED IN BIO-RETENTION/RAIN GARDEN AREAS SHALL HAVE A MINIMUM INFILTRATION RATE OF 5 IN/HR. (PREVIOUSLY: ASTM C33 STANDARDS)

**VEGETATION**

- PLANT SPECIES SELECTED SHALL BE SUITABLE FOR BIORETENTION AREA LOCATION, BIOTREATMENT SOILS AND OCCASIONAL INUNDATION. FOR A LIST OF RECOMMENDED BIO-RETENTION PLANTS, PLEASE SEE THE WEBSITE OF THE CENTRAL COAST LOW-IMPACT DEVELOPMENT INITIATIVE AT [HTTP://CENTRALCOASTLIDI.ORG/LANDSCAPE.PHP](http://centralcoastlidi.org/landscape.php)
- VEGETATION SHOULD NOT BLOCK INFLOW, CREATE SAFETY ISSUES OR OBSTRUCT FACILITIES.
- PLANTING SELECTIONS ARE SUBJECT TO THE LANDSCAPING REQUIREMENTS OF THE LOCAL JURISDICTION AND SHALL BE SELECTED BY A LICENSED LANDSCAPE ARCHITECT OR ARCHITECT.

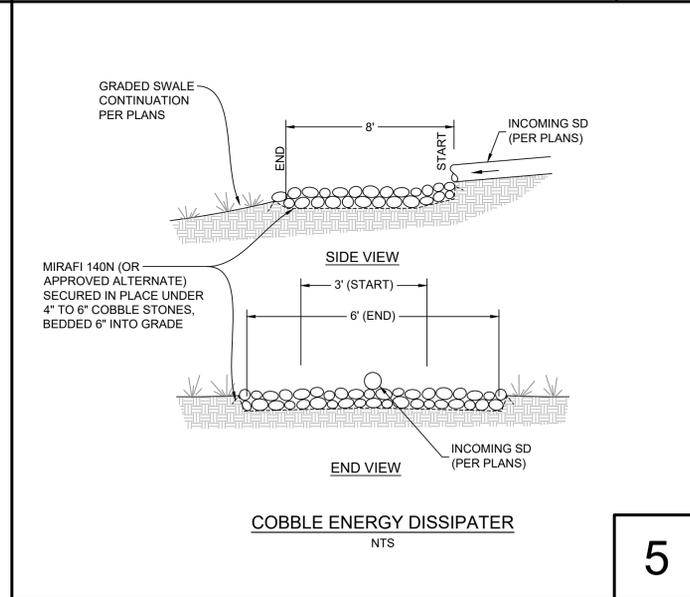
**CONSTRUCTION REQUIREMENTS**

- BIORETENTION AREAS ARE NOT INTENDED TO WORK AS CONSTRUCTION PHASE BMP'S. PROTECT THE AREA FROM CONSTRUCTION SITE RUNOFF; DIVERT RUNOFF FROM UNSTABILIZED AREAS AWAY FROM COMPLETED BIORETENTION AREAS.

**MAINTENANCE**

- CONDUCT BIENNIAL EVALUATION OF THE HEALTH OF THE VEGETATION AND REMOVE AND REPLACE DEAD OR DYING PLANTS.
- MAINTAIN VEGETATION AND THE IRRIGATION SYSTEM.
- AVOID THE USE OF PESTICIDES AND QUICK RELEASE SYNTHETIC FERTILIZERS.
- BEFORE THE WET SEASON BEGINS, VERIFY THAT THERE IS SUFFICIENT BIOTREATMENT SOIL MEDIA TO EFFECTIVELY FILTER STORMWATER. REMOVE ACCUMULATIONS OF SEDIMENT, LITTER AND DEBRIS AS NECESSARY.
- PERIODICALLY CHECK DOWNSPOUTS, INLETS AND OVERFLOW PIPING. REMOVE DEBRIS AND REPAIR/REPLACE DAMAGED OR DISCONNECTED PIPES.

5

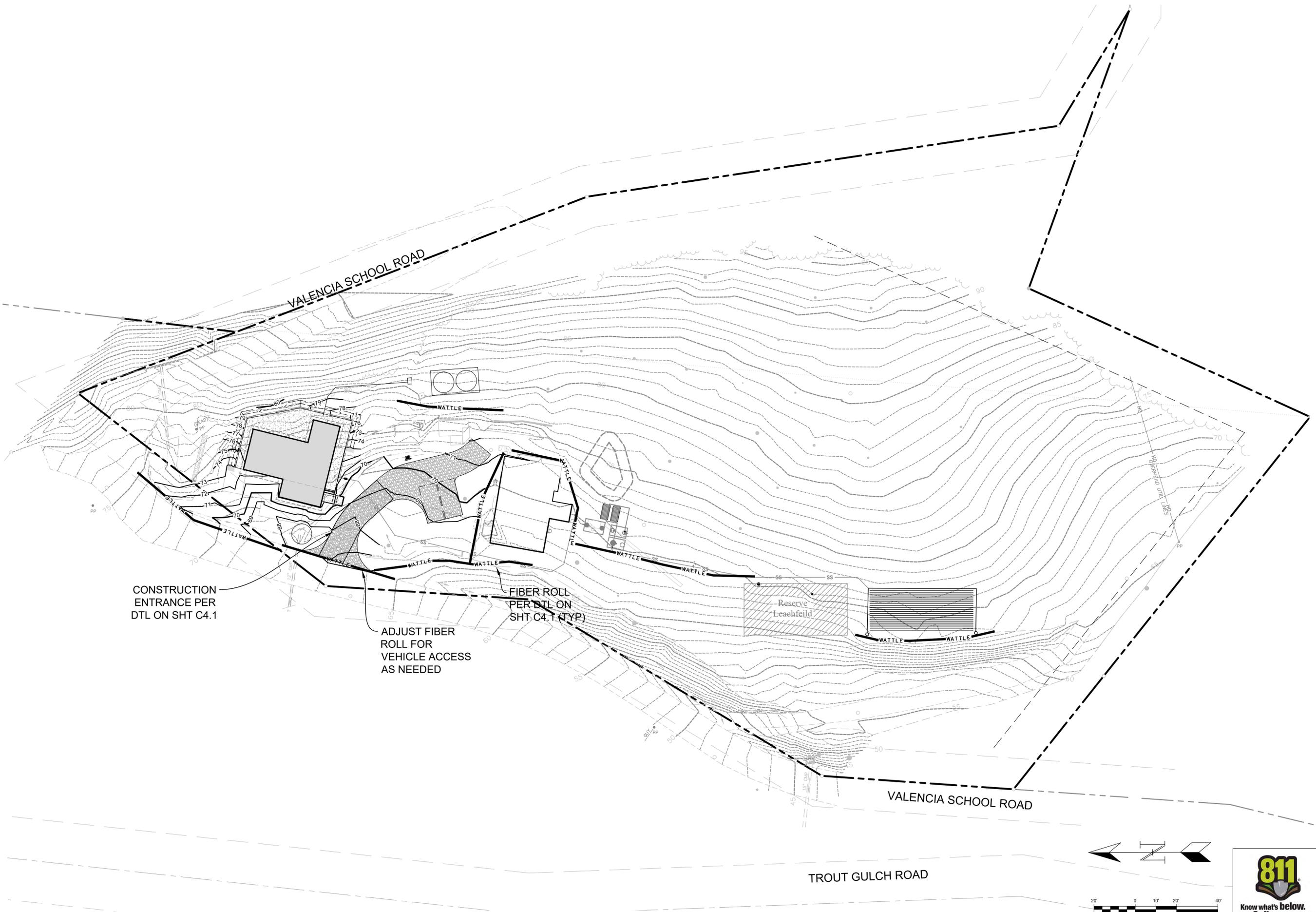


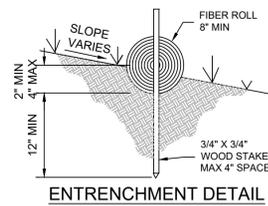
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REVISIONS PER COUNTY COMMENTS	DATE
1	02/10/2026
DMR	BY
NUMBER	DESCRIPTION
1	REVISION BLOCK

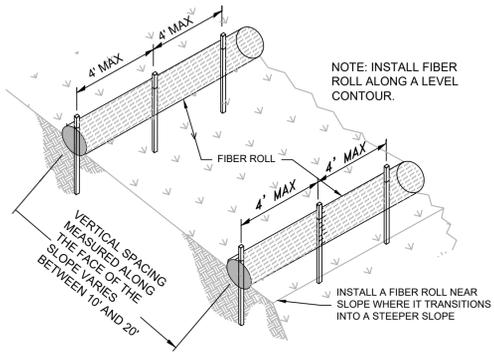
REVISIONS PER COUNTY COMMENTS	DATE
1	02/10/2026
DMR	BY
NUMBER	DESCRIPTION
	REVISION BLOCK

DRAWN BY:	GS
DESIGNED BY:	DMR
DATE:	09/24/24
SCALE:	AS NOTED
PROJECT NO.:	21-013
SHEET:	C4.0





ENTRENCHMENT DETAIL



TYPICAL INSTALLATION

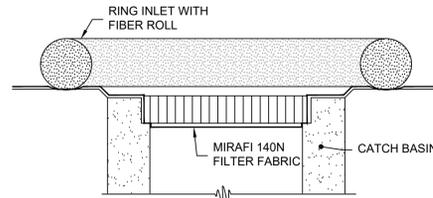
**FIBER ROLLS**

NTS

1. PREPARE SLOPE BEFORE THE FIBER ROLL PROCEDURE IS STARTED. SHALLOW GULLIES SHOULD BE SMOOTHED AS WORK PROGRESSES.
2. DIG SMALL TRENCHES ACROSS SLOPE ON CONTOUR, TO PLACE FIBER ROLLS IN. THE TRENCH SHOULD BE DEEP ENOUGH TO ACCOMMODATE HALF THE THICKNESS OF THE FIBER ROLL. WHEN THE SOIL IS LOOSE AND UNCOMPACTED, THE TRENCH SHOULD BE DEEP ENOUGH TO BURY THE FIBER ROLL 2/3 OF ITS THICKNESS BECAUSE THE GROUND WILL SETTLE. IT IS CRITICAL THAT FIBER ROLLS ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, PARALLEL TO THE SLOPE CONTOUR.
3. START BUILDING TRENCHES AND INSTALL FIBER ROLLS FROM THE BOTTOM OF THE SLOPE AND WORK UP.
4. CONSTRUCT TRENCHES AT CONTOUR INTERVALS OF THREE TO EIGHT FEET APART DEPENDING ON STEEPNESS OF SLOPE. THE STEEPER THE SLOPE, THE CLOSER TOGETHER THE TRENCHES.
5. LAY THE FIBER ROLL ALONG THE TRENCHES FITTING IT SNUGLY AGAINST THE SOIL. MAKE SURE NO GAPS EXIST BETWEEN THE SOIL AND THE FIBER ROLL. USE A STRAIGHT BAR TO DRIVE HOLES THROUGH THE FIBER ROLL AND INTO THE SOIL FOR THE WOODEN STAKES.
6. DRIVE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOIL. LEAVE ONLY ONE OR TWO INCHES OF STAKE EXPOSED ABOVE FIBER ROLL. IF USING WILLOW STAKES REFER TO USDA SOIL CONSERVATION SERVICE TECHNICAL GUIDE, BIOENGINEERING, FOR GUIDELINES TO PREPARING LIVE WILLOW MATERIAL.
7. INSTALL STAKES AT LEAST EVERY FOUR FEET APART THROUGH FIBER ROLL. ADDITIONAL STAKES MAY BE DRIVEN ON THE DOWNSLOPE SIDE OF THE TRENCHES ON HIGHLY EROSION OR VERY STEEP SLOPES.

**INSTALLATION AND MAINTENANCE**

8. INSPECT THE FIBER ROLL AND THE SLOPES AFTER SIGNIFICANT STORMS. MAKE SURE THE FIBER ROLLS ARE IN CONTACT WITH THE SOIL.
9. REPAIR ANY RILLS OR GULLIES PROMPTLY.
10. RESEED OR REPLANT VEGETATION IF NECESSARY UNTIL THE SLOPE IS STABILIZED.

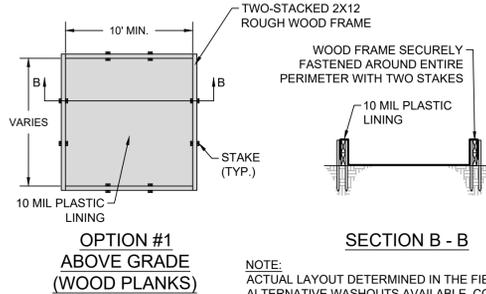


**INSPECTION AND MAINTENANCE:**

1. FILTER FABRIC BARRIERS SHALL BE INSPECTED WEEKLY AFTER EACH SIGNIFICANT STORM - 1 INCH RAINFALL (25.4 MM) IN 24 HOUR PERIOD. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
2. SEDIMENT SHOULD BE REMOVED WHEN IT REACHES 3" MAXIMUM HEIGHT. AT THAT TIME INSPECT THE FILTER MATERIAL FOR TEARS AND CLEAN OR REPLACE AS REQUIRED.
3. THE REMOVED SEDIMENT SHALL BE DISTRIBUTED EVENLY ACROSS AREAS ON-SITE, CONFORM WITH THE EXISTING GRADE AND BE REVEGETATED OR OTHERWISE STABILIZED PER EROSION CONTROL NOTES.

**CATCH BASIN PROTECTION**

NTS



**INSPECTION AND MAINTENANCE**

1. THE CONTRACTORS WATER POLLUTION CONTROL (WPCM) MANAGER SHALL MONITOR ON SITE CONCRETE WASTE STORAGE AND DISPOSAL PROCEDURES AT LEAST WEEKLY.
2. THE WPCM SHALL MONITOR CONCRETE WORKING TASKS, SUCH AS SAW CUTTING, CORING, GRINDING AND GROOVING DAILY TO ENSURE PROPER METHODS ARE EMPLOYED AS DIRECTED BY THE ENGINEER.
3. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 4 INCHES FOR ABOVE GRADE FACILITIES AND 12 INCHES FOR BELOW GRADE FACILITIES. MAINTAINING TEMPORARY CONCRETE WASHOUT FACILITIES SHALL INCLUDE REMOVING AND DISPOSING OF HARDENED CONCRETE AND RETURNING THE FACILITIES TO A FUNCTIONAL CONDITION. HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
4. EXISTING FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
5. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED FOR DAMAGE (I.E. TEARS IN POLYETHYLENE LINER, MISSING SANDBAGS, ETC.). DAMAGED FACILITIES SHALL BE REPAIRED.

**CONCRETE WASHOUT**

NTS

**EROSION CONTROL NOTES**

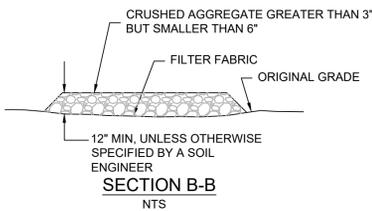
1. THE EROSION CONTROL PLANS IN THIS SET SHALL BE REVIEWED AND IMPLEMENTED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
2. THE CONTRACTOR SHALL ENSURE ALL MONITORING AND INSPECTIONS ARE PERFORMED AS REQUIRED ON-SITE THROUGHOUT CONSTRUCTION.
3. NO LAND CLEARING, GRADING OR EXCAVATION SHALL BE DONE BETWEEN OCTOBER 15TH AND APRIL 15TH. ANY DEVIATION FROM THIS CONDITION REQUIRES REVIEW AND APPROVAL OF A SEPARATE WINTER EROSION CONTROL PLAN BY ENVIRONMENTAL PLANNING PRIOR TO BEGINNING CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
4. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM ANY ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED BY THE PLANNING DIRECTOR AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.
5. PRIOR TO ANY FORECAST RAIN AND ANYTIME BETWEEN OCTOBER 15 AND APRIL 15, AT THE END OF EACH WORKDAY, AT THE END OF EACH WORKWEEK, THE DEVELOPER SHALL IMPLEMENT ALL TEMPORARY MEASURES NECESSARY TO PREVENT EROSION AND SILTATION, UNTIL THE PROJECT HAS BEEN FINALIZED. THESE MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, DIRECT SEEDING OF THE AFFECTED AREAS, STRAW MULCHING, AND/OR INSTALLATION OF STRAW BALES DAMS/SILT FENCES.
6. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO LEAVE THE SITE. USE OF SILT AND GREASE TRAPS, FILTER BERMS, HAY BALES OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE.
7. ALL AREAS ON- AND OFF-SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR SEEDING WITH ANNUAL WINTER BARLEY.
8. ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
9. ANY MATERIAL STOCKPILED, FOR LONGER THAN 14 DAYS, DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
10. UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED SOILS SHALL BE PERMANENTLY REVEGETATED PER LANDSCAPING PLAN. THE PROTECTION SHALL BE INSTALLED PRIOR TO CALLING FOR FINAL APPROVAL OF THE PROJECT AND AT ALL TIMES BETWEEN OCTOBER 15 AND APRIL 15. SUCH PROTECTION SHALL BE MAINTAINED FOR AT LEAST ONE WINTER UNTIL PERMANENT PROTECTION IS ESTABLISHED.
11. EXPOSED SOIL ON SLOPES GREATER THAN 20% SHALL BE SEEDED, COVERED WITH 2 INCHES OF STRAW, AND AN EROSION CONTROL BLANKET. THE EROSION CONTROL BLANKET SHALL BE STAKED IN PLACE.
12. IT IS THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES, NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
13. ALL SPILLS AND/OR LEAKS SHALL BE IMMEDIATELY CLEANED UP AND MITIGATED PER THE CONTRACTORS O&M STANDARDS.

**STORMWATER O&M PLAN**

1. REFER TO THE RECORDED STORMWATER MAINTENANCE AGREEMENT FOR ADDITIONAL SITE/PROJECT INFORMATION AND REQUIREMENTS, AS WELL AS RESPONSIBLE PARTY AGREEMENT.
2. STORMWATER MAINTENANCE AGREEMENT SHALL TRANSFER WITH OWNERSHIP.
3. BELOW MAINTENANCE SPECIFICATIONS REFER TO POST-CONSTRUCTION REQUIREMENTS. REFER TO THE PROJECT EROSION CONTROL PLAN (SHEET C4.0) FOR MAINTENANCE REQUIREMENTS DURING THE CONSTRUCTION PHASE OF THE PROJECT.
4. MAINTENANCE AGREEMENT REFERS TO ALL PRIVATELY OWNED STORMWATER FACILITIES.
5. SUMMARIZED MAINTENANCE REQUIREMENTS FOR DRAINAGE FACILITIES:
  - 5.1. ROOF DOWNSPOUTS:
    - 5.1.1. ALL DOWNSPOUTS AND ROOF GUTTERS SHALL BE INSPECTED YEARLY FOR SEDIMENT AND/OR TRASH BUILD-UP. ALL SEDIMENT AND TRASH SHALL BE REMOVED AND PROPERLY DISPOSED OF.
  - 5.2. GRADED SWALES & PERVIOUS DRIVEWAY/PEDESTRIAN SLAB AREAS:
    - 5.2.1. ROUTINE MAINTENANCE ON AN ANNUAL BASIS SHALL INCLUDE TRASH AND DEBRIS REMOVAL, AND REMOVAL OF LEAVES DURING AND AFTER FALL LEAF DROP.
    - 5.2.2. RECOMMENDED INSPECTIONS ON AN ANNUAL BASIS INCLUDE:
      - 5.2.2.1. ENSURE INFLOW AND OUTFLOW AREAS ARE SECURE AND NO EROSION HAS OCCURRED. ADD ROCK DISSIPATION PADS OR CHECK DAMS AS NECESSARY TO REDUCE FLOWS AND ELIMINATE EROSION.
      - 5.2.2.2. IF VISIBLE SEDIMENT EXIST AT BOTTOM OF FACILITY OR WITHIN GAPS OF SLABS, SEDIMENT SHALL BE REMOVED TO ENSURE PROPER FLOW THROUGH.
      - 5.2.2.3. IF EXCESSIVE PONDING OF WATER IS OCCURRING (2-3 DAYS AFTER THE END OF A STORM) CONFIRM LEAF, DEBRIS OR SEDIMENT BUILD-UP IS NOT IMPEDING FLOW. REMOVE AS NECESSARY.
      - 5.2.2.4. IF VEGETATED ENSURE ALL VEGETATION IS HEALTHY. REMOVE AND REPLACE ALL DEAD OR DYING VEGETATION.

**SOURCE CONTROL MEASURES**

- BELOW ARE THE MEANS AND METHODS TO CONTROLLING POLLUTING ACTIVITIES:
- INDOOR & STRUCTURAL PEST CONTROL - ALL PEST CONTROL MEASURES SHALL BE PERFORMED TO PREVENT ANY DISCHARGES INTO THE STORM DRAIN SYSTEM.
  - LANDSCAPE/OUTDOOR PESTICIDE USE - PESTICIDES SHALL BE USED ONLY IF NECESSARY AND SHALL BE LIMITED TO REQUIRED TREATMENT AREA. SPOT TREATMENT WITH HANDHELD SPRAYER SHALL BE USED IN LOW QUANTITIES.
  - OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS - ALL MATERIALS, CONSTRUCTION OR OTHER, SHALL BE STORED INDOORS OR WITHIN A COVERED (PROTECTED) AREA.
  - UNAUTHORIZED NON-STORMWATER DISCHARGES - ALL UNAUTHORIZED NON-STORMWATER DISCHARGES, DURING AND AFTER CONSTRUCTION, SHALL BE REPORTED TO THE COUNTY OF SANTA CRUZ. DISCHARGES SHALL BE MITIGATED PER COUNTY GUIDANCE.
  - BUILDING & GROUND MAINTENANCE - ANY ROUTINE MAINTENANCE PERFORMED SHALL BE COMPLETED TO REDUCE OR ELIMINATE ANY NON-STORMWATER DISCHARGES FROM THE SITE.



SECTION B-B

NTS

**NOTES:**

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

**CONSTRUCTION SPECIFICATIONS:**

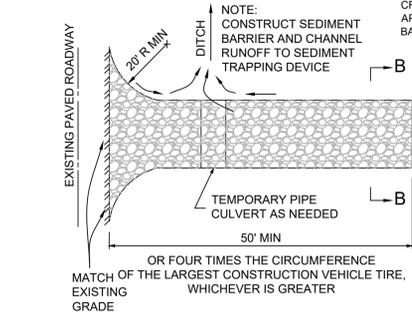
1. THE AGGREGATE SIZE FOR CONSTRUCTION OF THE PAD SHALL BE 3-3 INCH (50-75 MM) STONE, PLACE THE GRAVEL TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON THE PLANS, AND SMOOTH IT.
2. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 6 INCHES (152 MM), USE GEOTEXTILE FABRICS, IF NECESSARY, TO IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.
3. THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS AND IN ANY CASE SHALL NOT BE LESS THAN 12 FEET (3.6 M) WIDE.
4. THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50 FEET (15.2 M).
5. LOCATE CONSTRUCTION ENTRANCES AND EXITS TO LIMIT SEDIMENT LEAVING THE SITE AND TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES. AVOID ENTRANCES WHICH HAVE STEEP GRADES AND ENTRANCES AT CURVES IN PUBLIC ROADS.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR MAINTENANCE OF ANY MEASURES USED TO TRAP SEDIMENT.
7. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.
8. PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.
9. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. SEE SEDIMENT BASIN BMP.
10. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, STRAW BALES, OR OTHER APPROVED METHODS.

**INSPECTION AND MAINTENANCE:**

11. MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE.
12. REPLACE GRAVEL MATERIAL WHEN SURFACE VOIDS ARE VISIBLE.
13. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY.
14. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS. REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS WITHIN 24 HOURS.

**STABILIZED CONSTRUCTION ENTRANCE PART 2**

NTS



STABILIZED CONSTRUCTION ENTRANCE PART 1

NTS

**RAMSEY**  
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REGISTERED PROFESSIONAL ENGINEER  
DAVID RAMSEY  
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CIVIL  
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10/2026  
DATE  
DAVID RAMSEY  
RCE# 73735

APN# 105-443-01  
PLAN TYPE  
RESIDENTIAL

EROSION CONTROL NOTES AND DETAILS  
**WELCH RESIDENCE**  
1525 VALENCIA SCHOOL ROAD, APTOS, CA, 95003

REVISIONS PER COUNTY COMMENTS	DATE
1	02/10/2026
DMR	BY
NUMBER	DESCRIPTION
	REVISION BLOCK

DRAWN BY: GS  
DESIGNED BY: DMR  
DATE: 09/24/24  
SCALE: AS NOTED  
PROJECT NO: 21-013  
SHEET:



C4.1