

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATION NUMBER: 241385 APN: 029-043-13

SITUS: 2100 Chanticleer Ave, Santa Cruz CA 95062

Builder's Remedy - Proposal to demolish an existing single family dwelling and construct an eight unit multifamily building with detached garage. Requires an Administrative Site Development Permit.

Project located on the northeast corner of the intersection of Chanticleer Ave and Mattison Lane in the Live Oak Planning area (2100 Chanticleer Ave).

OWNER: 2100 Chanticleer LLC

APPLICANT: 2100 Chanticleer LLC

SUPERVISORIAL DISTRICT: 1

PLANNER: Nathan MacBeth, (831) 454 -3118

EMAIL: Nathan.MacBeth@santacruzcountyca.gov

Public comments must be received by 5:00 p.m. 08/01/2025. A decision will be made on or shortly after 08/04/2025.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. Planner will provide notification of decision to any requesting party.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

FIRST WAVE APARTMENTS

APRIL 4TH, 2025



PROJECT DISCRIPTION

A NEW, 8 UNIT MODULAR HOUSING DEVELOPMENT. DESIGNED USING FACTORY OS UNITS

SITE:

- EXISTING USE: SINGLE FAMILY HOUSE
- PROPOSED USE: APARTMENTS
- SURFACE PARKING WITH TWO, TWO CAR GARAGES
- ADA ACCESS AND PARKING
- TRASH ENCLOSURE

BUILDING

- TOTAL UNITS: 8 UNITS
- 2 - STUDIO UNITS
- 4 - 1BR UNITS
- 2 - 2BR UNITS
- PROJECTED TO BE DESIGNED USING FACTORY OS CATALOG UNITS AS PROVIDED BY FACTORY OS.
- 2 STORIES

UNIT & PARKING SUMMARY

TYPE	BED COUNT	BATH COUNT	NET SF	COUNT (FLR 1)	COUNT (FLR 2)	COUNT TOTAL	UNIT MIX	REQUIRED PARKING PER UNIT	PROVIDED PARKING PER UNIT
STUDIO	1	1	360 SF	1	1	2	25%	1	1
URBAN 1 BEDROOM	1	1	430 SF	1	1	2	25%	1	1
1 BEDROOM	1	1	639 SF	1	1	2	25%	1	1
2 BEDROOM	2	1	792 SF	1	1	2	25%	2	2
TOTAL								8	100%
								GUEST PARKING: 2	GUEST PARKING: 2
								TOTAL: 12	TOTAL: 12

*LOW-INCOME UNITS
*MARKET RATE UNITS
*MARKET RATE UNITS
*MARKET RATE UNITS

DEVELOPMENT SUMMARY

ADDRESS 2100 CHANTICLEER AVE. SANTA CRUZ, CA
APN 02904313
GENERAL PLAN MIXED HOUSING TYPE RESIDENTIAL
ZONING DISTRIC R-LU

SITE AREA 12,370 SQUARE FEET
SITE AREA - NET 12,151 SQUARE FEET
EXISTING USE
PROPOSED USE RESIDENTIAL, R-2

DEVELOPMENT STANDARD

DENSITY PER ZONING (DU/AC) 8
NUMBER OF UNITS
PUBLIC OPEN SPACE 955 SF PROVIDED
BUILDING FOOTPRINT 4,078 SF
BUILDING TOTAL SF 6,798 SF(INCLUDES 1ST AND 2ND FLOORS, UNITS, HALLWAYS, STORAGE, GARAGE, & TRASH)
FAR CODE REQ MAX 50%
FAR(BUILDERS REMEDY) 55% (BUILDING TOTAL SF / SITE AREA) (6,798 / 12,370 = .55)
LOT COVERATE CODE MAX 40%
LOT COVERAGE 33% (BUILDING FOOTPRINT / SITE AREA) (4,088 / 12,151)
BUILDING HEIGHT 25'
PARKING SPACES REQ 12(6 UNITS < 750SF = 6 SPACES, 2 UNITS > 750 SF + 4 SPACES, 10(6-4)' * .2(GUEST PARKING) = 2, 10+2=12)
PARKING SPACES PROVIDED 14
BIKE PARKING 10

SETBACKS	REQ	PROVIDED
FRONT	20'	20'
SIDE	5'	5'
SIDE @ STREET	10'	11'-2"
REAR	15'	42'-9"



SYMBOL LEGEND

CENTERLINE		WALL / DTL SECTION HEAD	
CALL OUT HEAD		DTL HEAD	
GRID HEAD		SECTION TAIL DTL	
LEVEL HEAD		SECTION TAIL	
NORTH ARROW		SPOT ELEVATION	
EXT ELEVATION TAG		VIEW REFERENCE	
INT ELEVATION TAG		VIEW TITLE	
BUILDING SECTION HEAD			

APPLICABLE CODES

- 2022 CALIFORNIA BUILDING STANDARDS CODE (CBC)
- 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE - MANDATORY MEASURES FOR RESIDENTIAL
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRICAL CODE (BASED ON THE 2011 NEC)
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA FIRE CODE (CFC)
- 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS, TITLE 24
- ALL OTHER APPLICABLE STATE AND LOCAL CODES AND ORDINANCES

IN THE EVENT OF CONFLICTS IN CODE REQUIREMENTS, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. ANY CONFLICTS BETWEEN THE CONSTRUCTION DOCUMENTS AND ABOVE CODES AND ORDINANCES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.

SHEET INDEX

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A01	PROJECT DATA	A30	EXT ELEVATION
A03	NEIGHBORHOOD CONTEXT STUDY	A31	EXT ELEVATION
C1	EXISTING SITE CONDITION	A32	COLOR AND MATERIAL BOARD
C2	GRADING PLAN	A33	COLOR AND MATERIAL BOARD
C3	UTILITY PLAN	A34	COLOR AND MATERIAL BOARD
C4	STORMWATER POLLUTION CONTROL PLAN	A35	COLOR AND MATERIAL BOARD
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A10	ARCHITECTURAL SITE PLAN		
A11	ACCESSIBILITY PLAN		
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A13	SHADOW STUDY - SUMMER SOLSTICE		
A14	SHADOW STUDY - WINTER SOLSTICE		
A20	FIRST FLOOR PLAN		

PROJECT TEAM

A. OWNER:

2100 CHANTICLEER LLC
494 SALMAR AVE
CAMPELL, CA 95008
T: 408.391.6010
EMAIL: SHAUN@COBEINC.COM
CONTACT: SHAUN OLSON

B. PROJECT TEAM:

ARCHITECT:
AUSTIN SANDY ARCHITECTS
2371 HAGEN OAKS DR
ALAMO CA 94507
T: 510.847.3075
EMAIL: JOSEPH@AUSTINSANDYARCHITECTS.COM
CONTACT: JOSEPH SANDY

CIVIL ENGINEER
ROPER ENGINEERING
48 MAIN AVENUE
CORRALITOS, CA 95076
EMAIL: JEFF@ROPERENGINEERING.COM
CONTACT: JEFF ROPER

LANDSCAPE ARCHITECT
MLA
EMAIL: MEGAN@MB-LANDARCH.COM
CONTACT: MEGAN BISHOP

MODULAR BUILDER
FACTORY OS
1245 NIMITZ AVE
VALLEJO, CA 94592
EMAIL: AMEAGHER@FACTORYOS.COM
CONTACT: ANDREW MEAGHER

ENTITLEMENT CONSULTANT
SWIFT CONSULTING SERVICES, INC.
500 CHESTNUT STREET, SUITE 100
SANTA CRUZ, CA 95060
EMAIL: JOHN@SWIFTCONSULTINGSERVICE.COM
CONTACT: JOHN SWIFT

WEST SIDE OF CHANTICLEER, NORTH OF PROPOSED SITE



WEST SIDE OF CHANTICLEER, SOUTH OF PROPOSED SITE

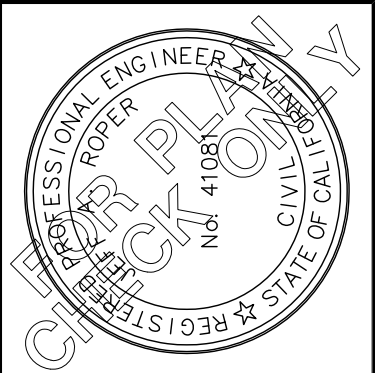
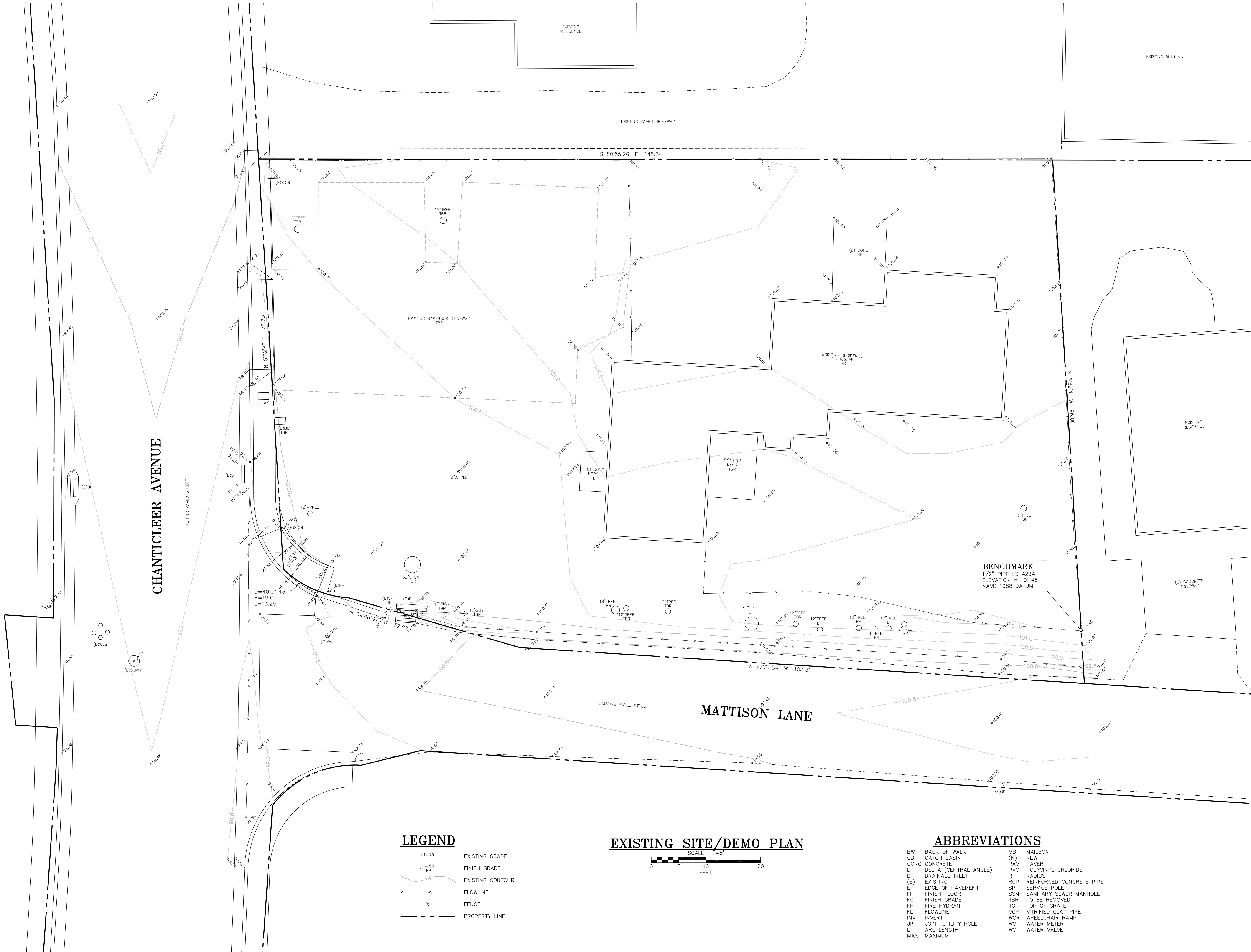


EAST SIDE OF CHANTICLEER, NORTH OF PROPOSED SITE



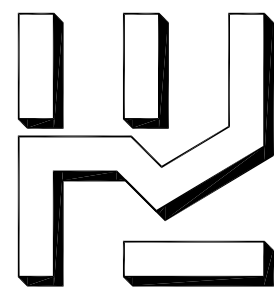
EAST SIDE OF CHANTICLEER, SOUTH OF PROPOSED SITE





UNLESS SIGNED BY THE ENGINEER, THIS PLAN IS FOR REFERENCE ONLY. THE SIGNED PLAN IS THE ONLY PLAN TO BE USED FOR CONSTRUCTION.

ROPER ENGINEERING
CIVIL ENGINEERING & LAND SURVEYING
48 MANN AVENUE CORRALITOS, CA 95076
(831) 724-5300 jeff@roperengineering.com



NEW APARTMENTS FOR
2100 CHANTICLEER LLC
2100 CHANTICLEER AVENUE SANTA CRUZ APN 029-043-13
EXISTING SITE/DEMO PLAN

SCALE: AS NOTED

DESIGNED BY: JR

DRAWN BY: JR

DATE: OCT. 10, 2024

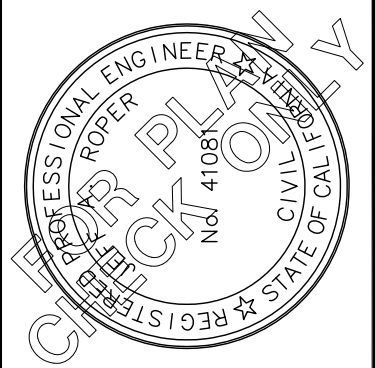
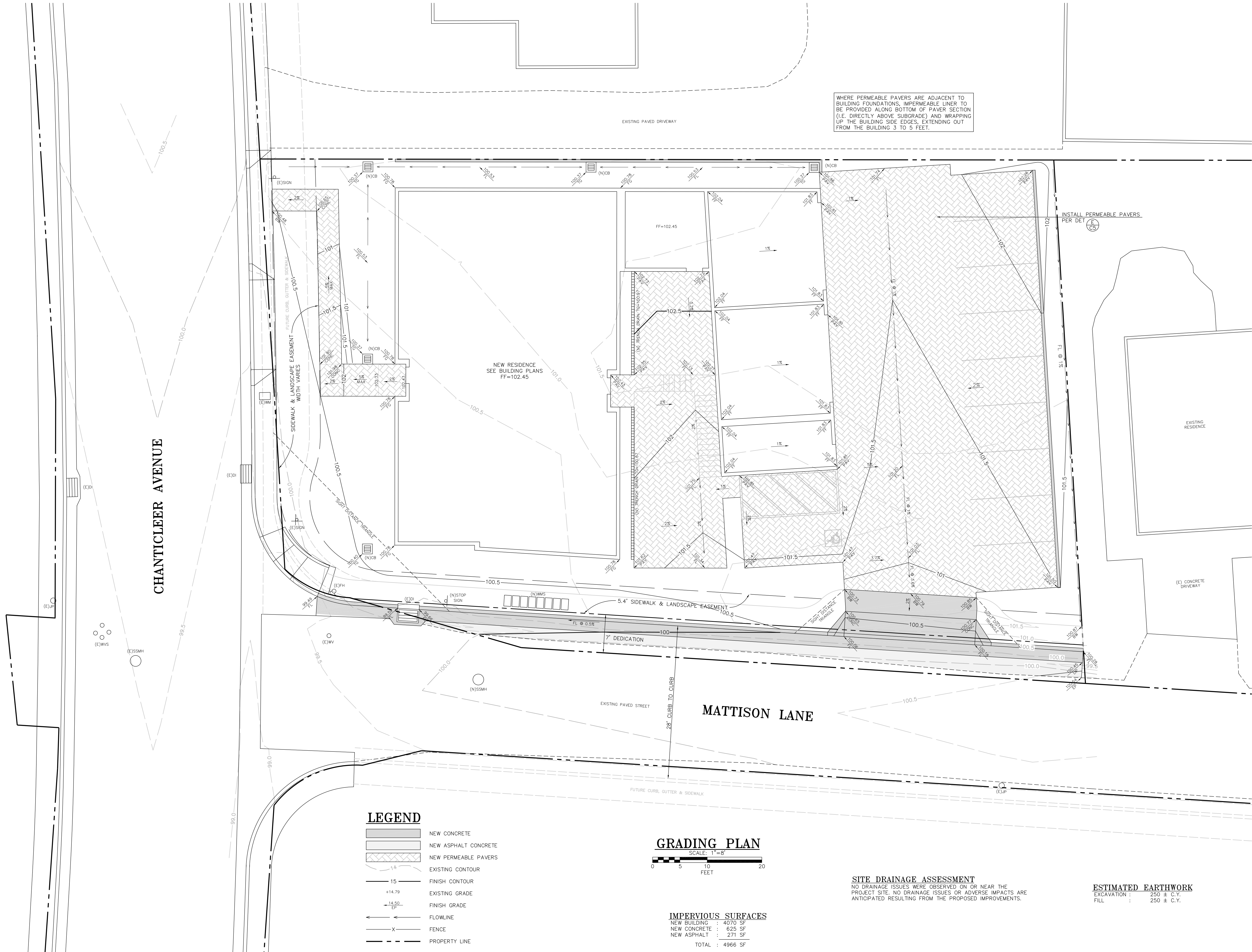
REVISED: MAY 7, 2025

JOB NO.: 24038

SHEET

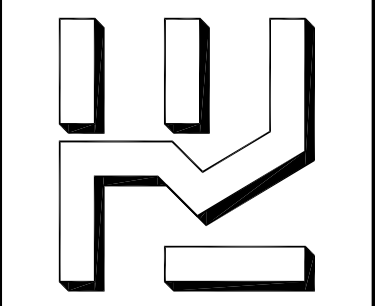
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OF 5 SHEETS



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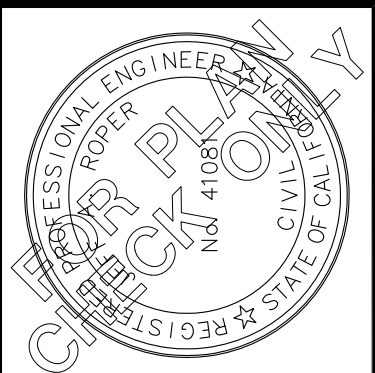
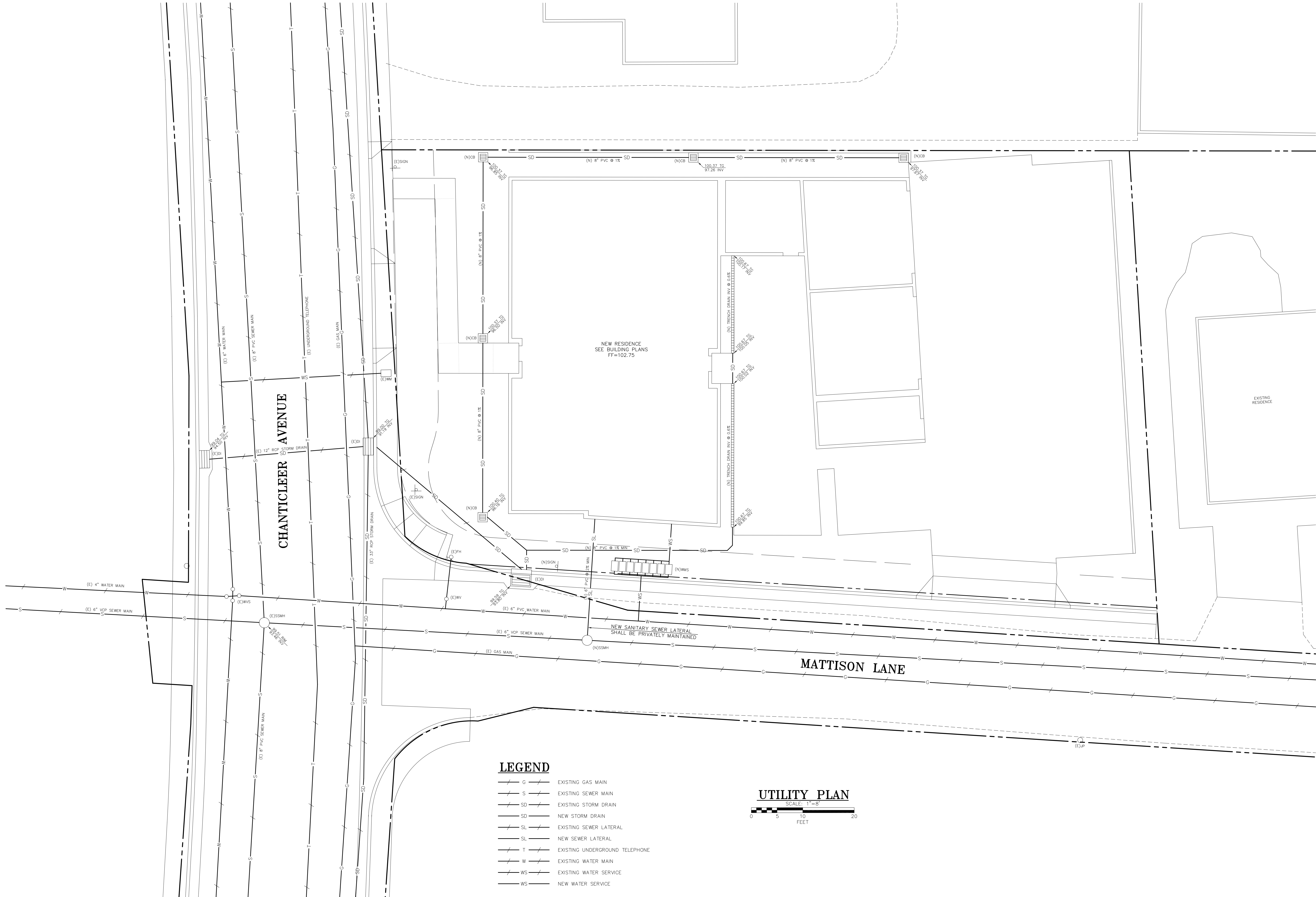
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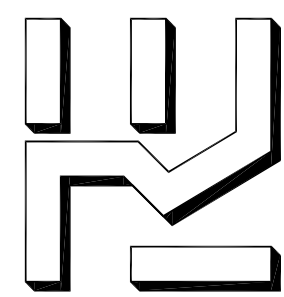
SCALE: AS NOTED
DESIGNED BY: JR
DRAWN BY: JR
DATE: OCT. 10, 2024
REVISED: MAY 7, 2025
JOB NO.: 24038
SHEET

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NEW APARTMENTS FOR
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2100 CHANTICLEER AVENUE SANTA CRUZ APN 029-043-13

UTILITY PLAN

SCALE: AS NOTED

DESIGNED BY: JR

DRAWN BY: JR

DATE: OCT. 10, 2024

REVISED: MAY 7, 2025

JOB NO.: 24038

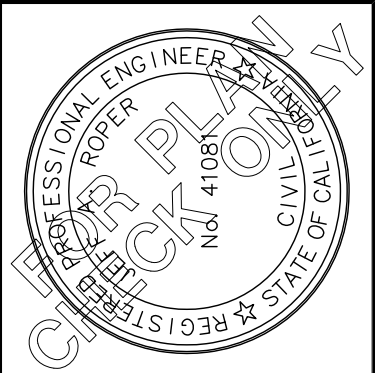
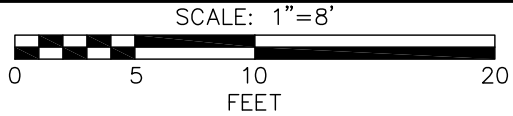
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OF 5 SHEETS

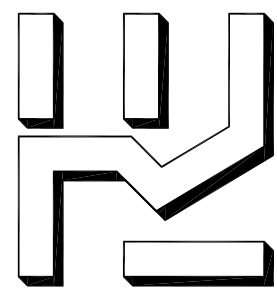


STORMWATER POLLUTION CONTROL PLAN



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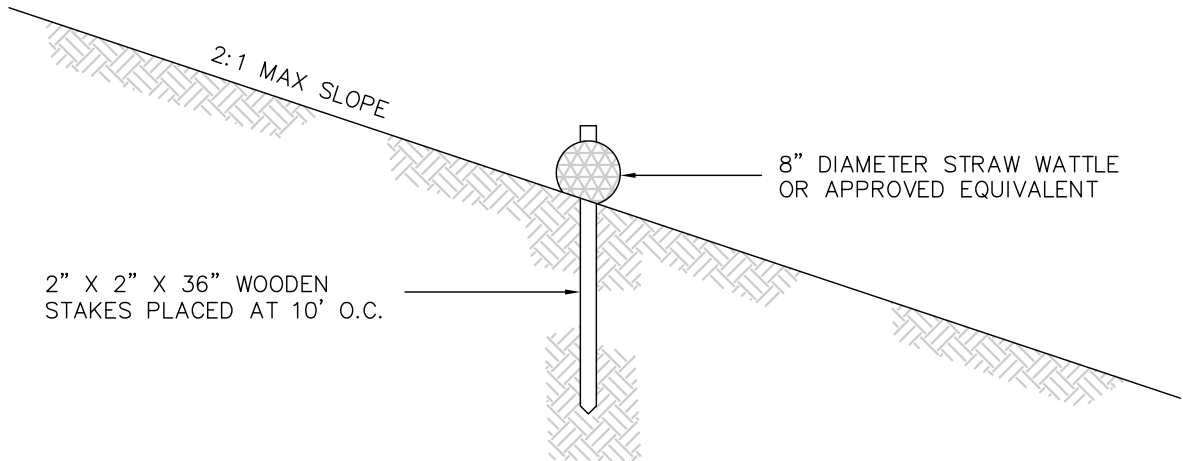
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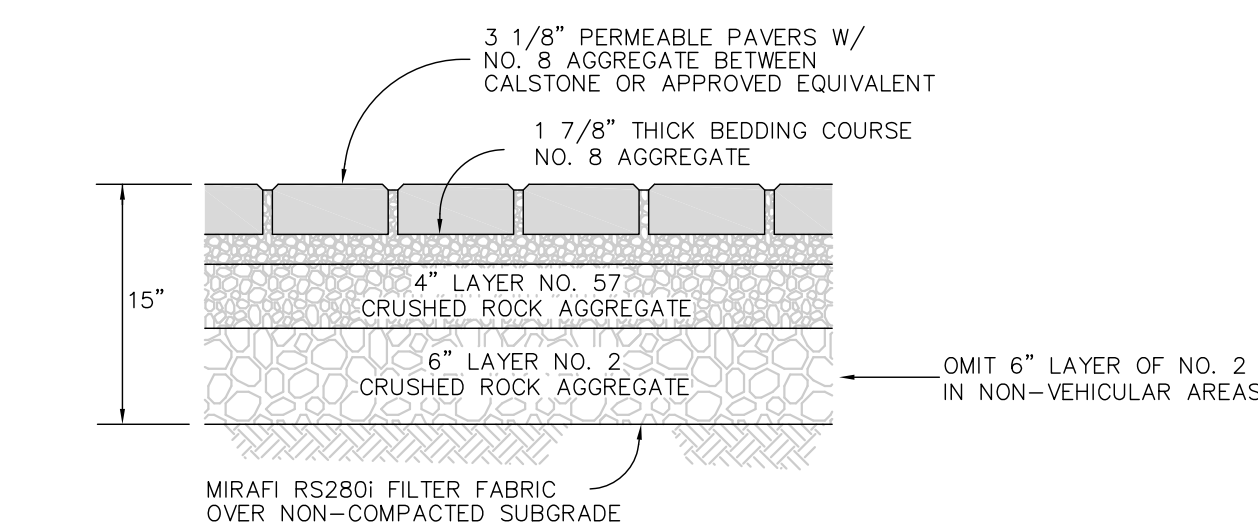
NEW APARTMENTS FOR
2100 CHANTICLEER LLC
2100 CHANTICLEER AVENUE SANTA CRUZ APN 029-043-13
STORMWATER POLLUTION CONTROL PLAN

SCALE:	AS NOTED
DESIGNED BY:	JR
DRAWN BY:	JR
DATE:	OCT. 10, 2024
REVISED:	MAY 7, 2025
JOB NO.:	24038

SHEET
C4
OF 5 SHEETS



STRAW WATTLE DETAIL
SCALE: 1"=2'
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C5

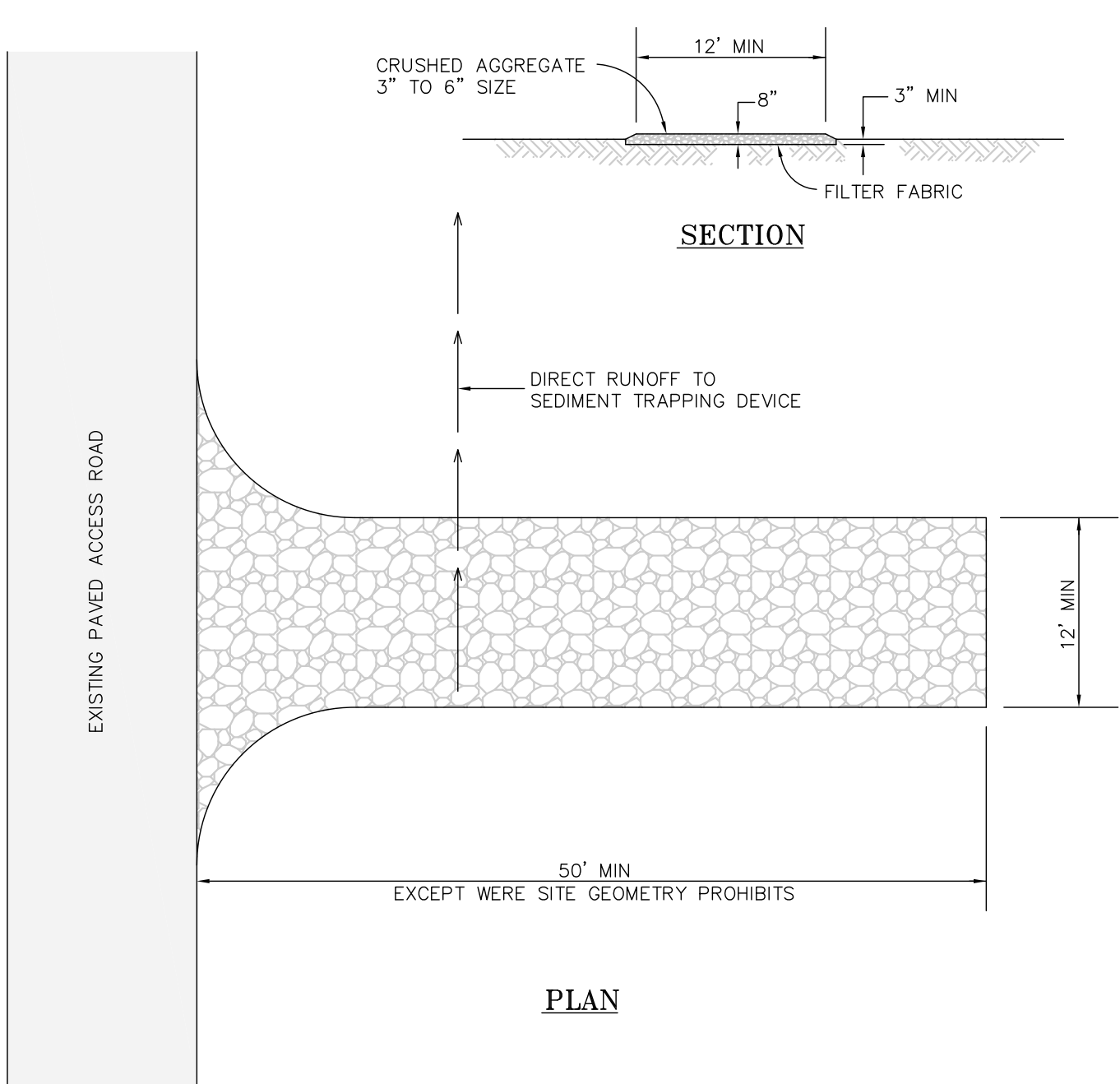


PERMEABLE PAVER DETAIL
SCALE: 1"=1'
E
C5

NOTE
MINIMUM PERMEABLE PAVER INFILTRATION RATE SHALL BE 100 INCHES/HOUR WHEN TESTED AFTER CONSTRUCTION USING ASTM C-1701 OR APPROVED EQUIVALENT TEST. IF PERMEABLE PAVER INFILTRATION RATE FALLS BELOW 10 INCHES/HOUR DURING FUTURE TESTING, MAINTENANCE IS REQUIRED.

GRADING NOTES

- UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE, VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR. PRIOR TO EXCAVATION, CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES. CALL 811 TO HAVE UTILITIES LOCATED AND MARKED.
- VEGETATION, ROOTS AND DELETERIOUS MATERIALS SHALL BE REMOVED FROM AREA TO BE GRADED PRIOR TO GRADING.
- CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL IN NATIVE MATERIAL AS DETERMINED BY THE ENGINEER.
- FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
- FILL SHALL BE COMPACTED TO 90% RELATIVE COMPACTION UNLESS OTHERWISE NOTED. SEE GEOTECHNICAL INVESTIGATION FOR FURTHER SPECIFICATIONS.
- AFTER GRADING, SPREAD TOPSOIL FROM STRIPPINGS ON SLOPES AND LANDSCAPED AREAS 3" TO 6" DEEP.
- BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
- CUT AND FILL SLOPES SHALL BE PLANTED WITH ANNUAL RYE GRASS (40 LBS/ACRE) AND MULCHED WITH COMPOST.
- CONCRETE IN DRIVEWAYS SHALL HAVE A COMPRESSIVE STRENGTH OF 3500 PSI @ 28 DAYS.
- THE UPPER 8 INCHES OF SUBGRADE IN DRIVEWAY AREAS SHALL BE COMPACTED TO 95% RELATIVE COMPACTION. SEE GEOTECHNICAL INVESTIGATION FOR FURTHER SPECIFICATIONS.
- AGGREGATE BASE SHALL BE CLASS 2 IN CONFORMANCE WITH SECTION 26 OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS.
- ASPHALT CONCRETE SHALL BE TYPE B AND SHALL CONFORM TO THE PROVISIONS IN SECTION 39 OF CALTRANS STANDARD SPECIFICATIONS. THE AGGREGATE SHALL CONFORM TO THE GRADING SPECIFIED IN SECTION 39-2.02 OF CALTRANS STANDARD SPECIFICATIONS FOR THE 1/2" MAXIMUM MEDIUM GRADATION.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- ALL DEMOLITION, SITE CLEARING AND PREPARATION, SUBGRADE PREPARATION AND GRADING, ETC. SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OUTLINE IN THE GEOTECHNICAL REPORT FOR THIS PROJECT BY CORNERSTONE EARTH GROUP, DATED AUGUST 27, 2024.



STABILIZED CONSTRUCTION ENTRANCE
SCALE: 1"=10'
D
C5

STORM WATER POLLUTION CONTROL NOTES

- CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN EROSION CONTROL MEASURES BETWEEN OCTOBER 15 AND APRIL 15. DURING AND AFTER MAJOR STORMS, EROSION CONTROL DEVICES SHALL BE INSPECTED AND MODIFIED AS REQUIRED TO PREVENT EROSION ON PROJECT SITE AND SILT FROM FLOWING INTO THE ROAD OR DRAINAGE COURSE.
- BETWEEN OCTOBER 15TH AND APRIL 15TH EXPOSED SOIL SHALL BE PROTECTED FORM EROSION AT ALL TIMES. HAY BALES, FILTER BERM, SILT FENCES OR OTHER MEANS HALL BE EMPLOYED TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING ANY WATERCOURSE.
- DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO ENTER A DRAINAGE CHANNEL OR STORM DRAIN SYSTEM. USE OF SILT AND GREASE TRAPS, FILTER BERMS, HAY BALES OR SILT FENCES SHALL BE USED TP PREVENT SUCH DISCHARGE.
- ALL AREAS ON AND OFF SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR PLANTING OF ANNUAL RYE GRASS AT A RATE OF 40 LBS PER ACRE.
- ANY MATERIAL STOCKPILED ON-SITE SHALL BE COVERED WITH PLASTIC, ESPECIALLY DURING THE WINTER MONTHS OR DURING PERIODS OF RAIN.
- EXPOSED SOIL ON SLOPES GREATER THAN 20% SHALL BE SEEDED, COVERED WITH 2 INCHES OF STRAW, AND AN EROSION CONTROL BLANKET. THE EROSION CONTROL BLANKET SHALL BE STAKED IN PLACE.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES, NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
- EROSION AND SEDIMENT CONTROL MEASURES MUST REMAIN FUNCTIONAL AND BE MAINTAINED THROUGHOUT THE WINTER SEASON. FAILURE TO ADEQUATELY MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES CONSTITUTE A VIOLATION OF THE ISSUED BUILDING OR OTHER PERMIT. MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. COVER ALL DISTURBED SOIL AS NOTED ABOVE.

CONSTRUCTION MATERIALS

- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
- ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
- EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
- BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

WASTE MANAGEMENT

- DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
- SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
- SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
- COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
- DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
- STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.

SITE HOUSEKEEPING REQUIREMENTS

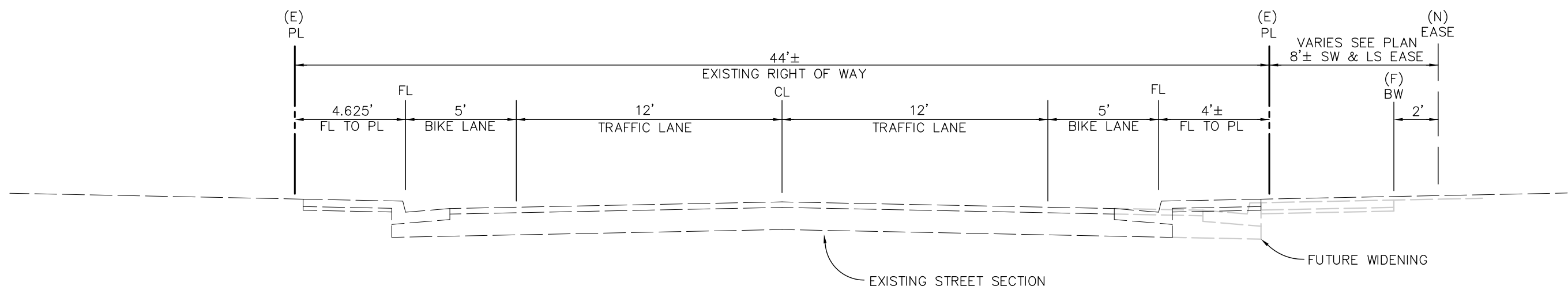
- PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
- EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY.
- CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

VEHICLE STORAGE AND MAINTENANCE

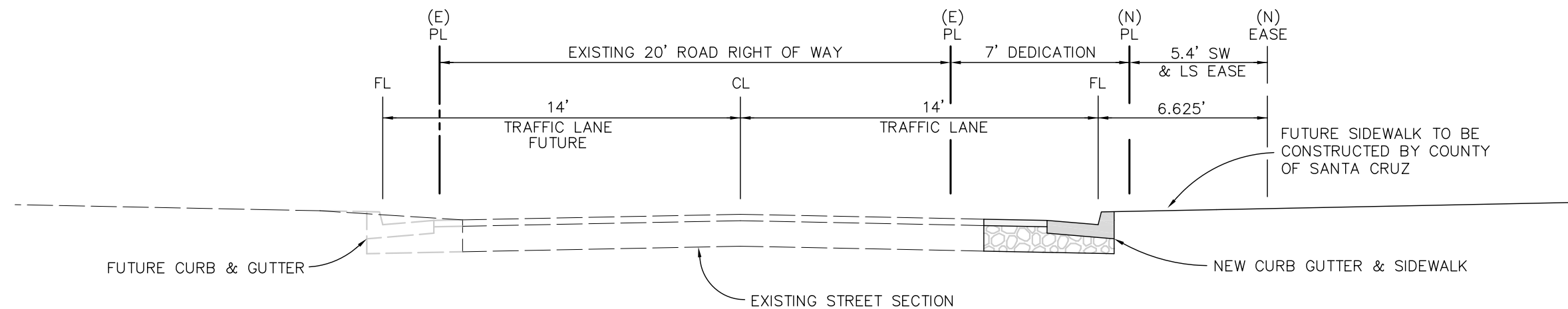
- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FIE1 TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.
- ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPS.
- LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

LANDSCAPE MATERIALS

- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
- CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
- DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
- APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
- STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.



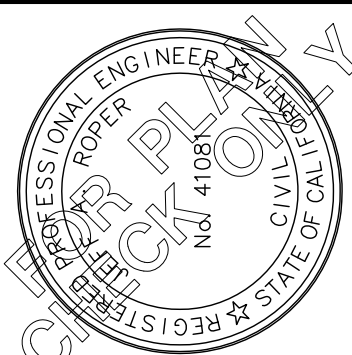
CHANTICLEER AVENUE TYPICAL SECTION
SCALE: 1"=5'
A
C6



MATTISON LANE TYPICAL SECTION
SCALE: 1"=5'
B
C6

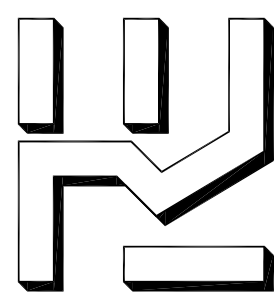
RECOMMENDED BMP MAINTENANCE

INSPECTION	MAINTENANCE ACTIVITY	SUGGESTED FREQUENCY
INSPECT DOWNSPOUTS & SWALES TO ENSURE STORMWATER IS PROPERLY CONVEYED.	REPAIR BLOCKED OR DIVERTED CONVEYANCES.	DURING MAJOR STORMS
INSPECT DOWNSPOUTS, CATCH BASINS & SWALES FOR ACCUMULATED SEDIMENT AND DEBRIS.	REMOVE SEDIMENT AND DEBRIS.	ANNUALLY IN SPRING AND AFTER MAJOR STORMS
INSPECT FOR EROSION ESPECIALLY AT SWALES & DOWNSPOUT OUTLETS.	IDENTIFY CAUSES FOR EROSION AND STABILIZE.	ANNUALLY IN SPRING AND AFTER MAJOR STORMS
INSPECT SITE FOR UNUSUAL OR UNSAFE CONDITIONS OR DAMAGE.	REPAIR STRUCTURAL COMPONENTS AS NECESSARY.	ANNUALLY IN SPRING AND AFTER MAJOR STORMS



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CIVIL ENGINEERING & LAND SURVEYING
48 MANN AVENUE CORRALITOS, CA 95076
(831) 724-5300 jeff@operengineering.com

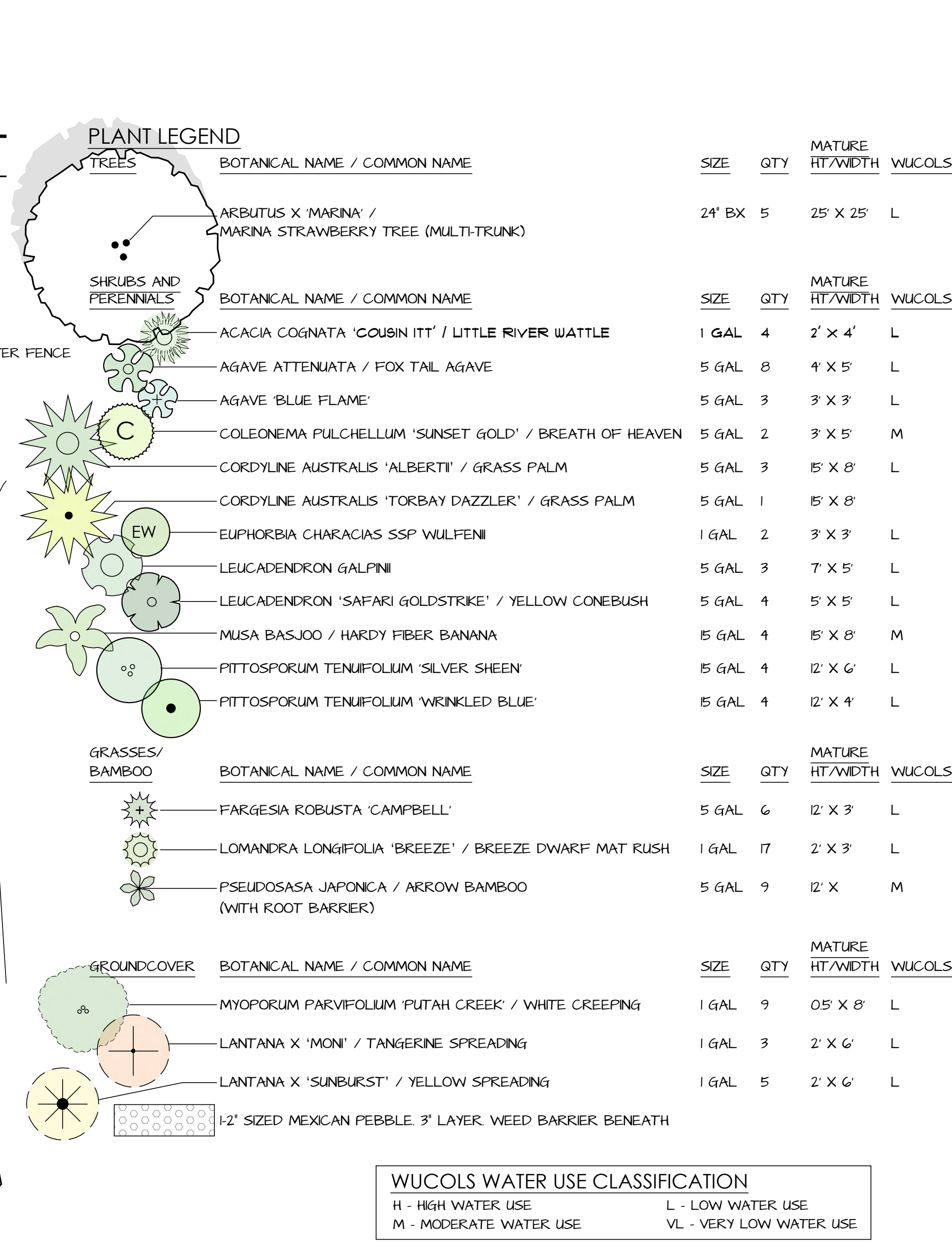


NEW APARTMENTS FOR
2100 CHANTICLEER LLC
2100 CHANTICLEER AVENUE SANTA CRUZ APN 029-043-13

DETAILS & NOTES

SCALE:	AS NOTED
DESIGNED BY:	JR
DRAWN BY:	JR
DATE:	OCT. 10, 2024
REVISED:	MAY 7, 2025
JOB NO.:	24038
SHEET	

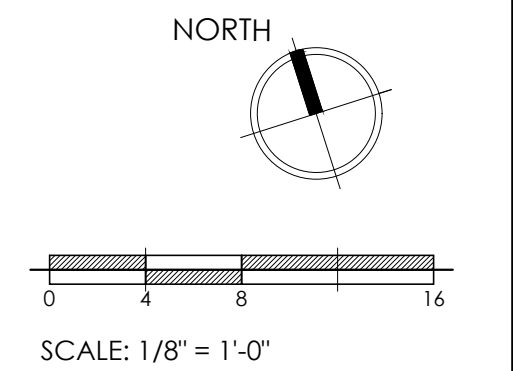
C5



1. TOTAL LANDSCAPE AREA TO BE 2,350 SF
2. ALL SOIL IN PLANTING AREAS SHALL BE CLEAR OF DEBRIS AND CONSTRUCTION SPOILS. COMPACTED SOILS SHALL BE TRANSFORMED INTO A FRIABLE CONDITION. SOIL SHALL BE PREPARED FOR PLANTING BY RIFFING AND INCORPORATING AN ORGANIC AMENDMENT AT THE RATE OF 6 CY PER 1,000 SF INTO THE TOP 6" OR AMENDED WITH ORGANIC MATERIAL AS RECOMMENDED BY A SOIL LABORATORY REPORT.
3. ALL PLANTING AREAS TO RECEIVE A 3" THICK LAYER OF BARK MULCH EQUAL TO REDWOOD, FIR, CEDAR, OR A COMBINATION OF THESE. THE COMPOSITION OF THE MULCH SHALL BE A MIX OF SHREDDED BARK, WOOD AND SAWDUST, 0-4". NO GORILLA HAIR SHALL BE USED.
4. ALL PLANTERS TO BE FILLED WITH CLEAN TOPSOIL
5. THE INSTALLED LANDSCAPE SHALL BE MAINTAINED FREE OF INVASIVE PLANTS.

3. FULL IRRIGATION PLAN AND PRODUCT LIST WILL BE PROVIDED UPON BUILDING SUBMITTAL.
4. THE INTENT OF THE IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
5. ALL NEW TREES TO RECEIVE TWO (2) TREE BUBBLERS TO BE EQUAL TO: HUNTER KZWS-10-50-CV (0.5 GPM) TREE ROOT BUBBLERS 18" DEEP
6. ALL NEW PERENNIALS, SHRUBS AND PLANTER POTS TO RECEIVE DRIP (POINT-SOURCE) EMITTERS EQUAL TO: HUNTER HE-B SINGLE OUTLET WITH SCREEN
7. DRIP VALVES SHALL BE EQUAL TO HUNTER ICZ-101 - BELOW GRADE IN VALVE BOXES FOUR IN ONE VALVE BOX).
8. NO POTABLE WATER SHALL BE APPLIED DURING AND WITHIN 48 HOURS FOLLOWING MEASURABLE RAINFALL.
9. IRRIGATION SYSTEM SHALL BE INSPECTED REGULARLY FOR LEAKS, MISALIGNED HEADS AND BAD VALVES. BROKEN EQUIPMENT SHALL BE REPAIRED PROMPTLY WITH IDENTICAL OR EQUIVALENT EQUIPMENT AND WATER PRESSURE REGULATIONS SHALL BE ADJUSTED TO REFLECT VARIATIONS IN WATER NEED BASED ON SEASON OR PLANT MATURITY.
10. LOCATE EQUIPMENT IN NEAREST ADJACENT PLANTERS AS FEASIBLE AND INDICATE EXACT LOCATION ON RECORD DRAWINGS.

2100
CHANTICLEER
2100 CHANTICLEER AVE
SANTA CRUZ, CA
APN#029-043-13



PLAN REVISIONS		
4/4/2025	RESPONSE TO COMMENTS	
DATE	*	10/11/2024
JOB	*	2416

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L1.0

CHANTICLEER AVE.

ENTRY WALKWAY

GREEN BUFFER

STORAGE
(1 STORY)

GARAGE
(1 STORY)

TRASH ENCLOSURE
(1 STORY)

APARTMENT
(2 STORIES)

OUTDOOR
COMMON SPACE

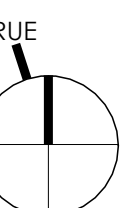
PARKING LOT ENTRY

(9) OUTDOOR PARKING SPACES
(1) VAN ACCESSIBLE SPACE
(2) 2 CAR GARAGES
(14) TOTAL PARKING SPACES

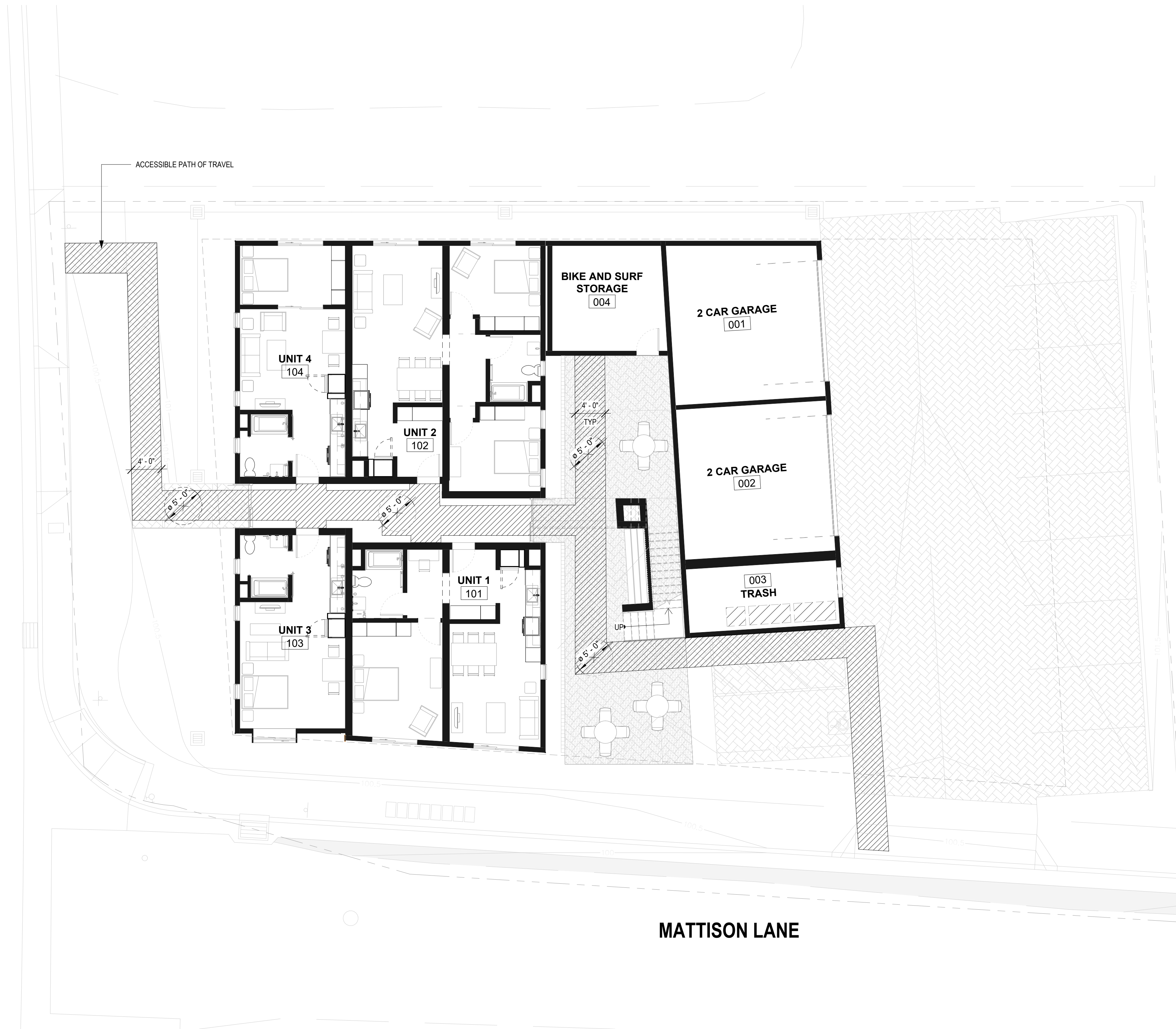
MATTISON LANE

SCALE: 1/8" = 1'-0"

0 2 4 8 16



CHANTICLEER AVE.

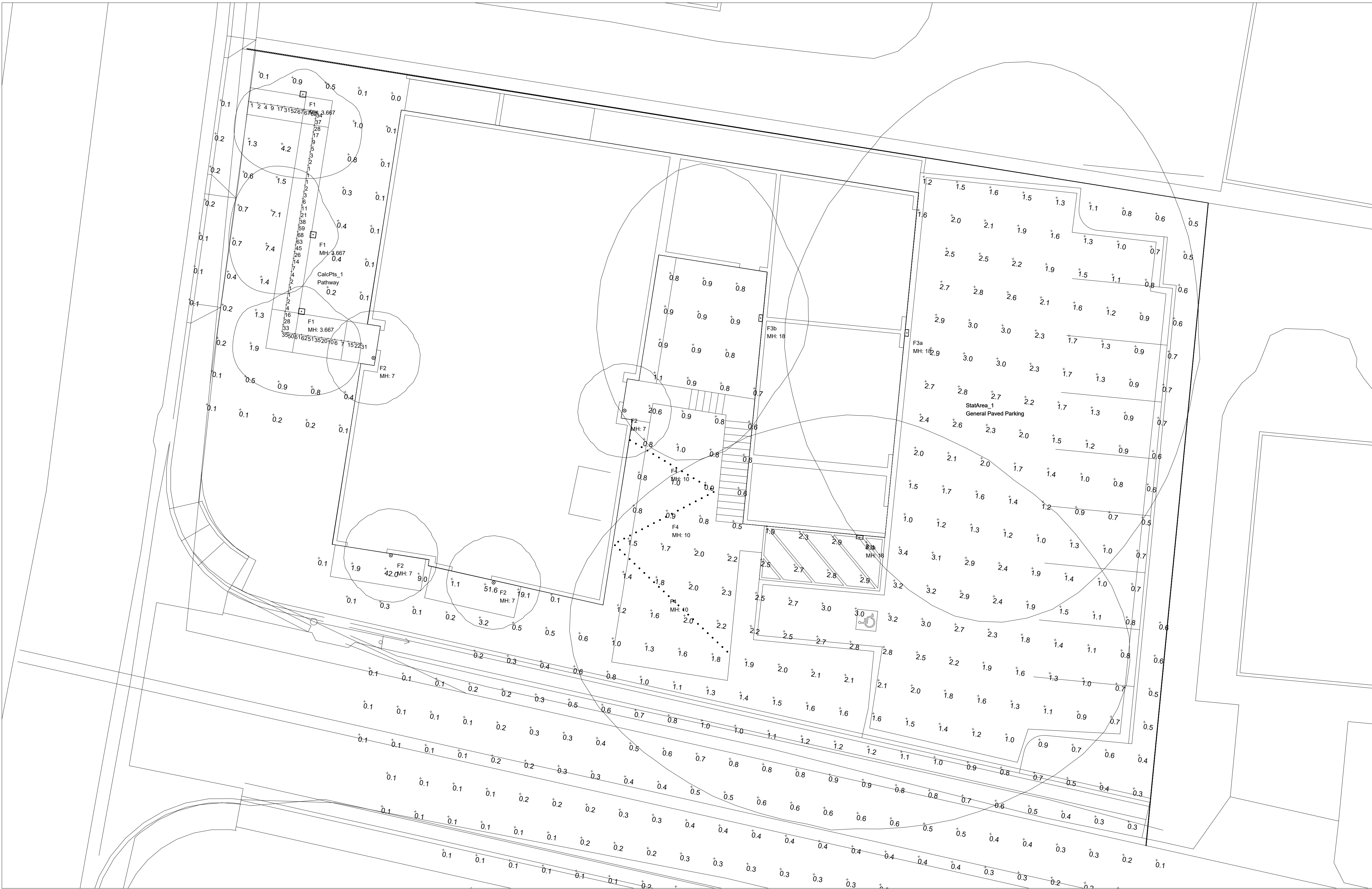


1 ACCESSIBILITY PLAN
1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

0 2 4 8 16

TRUE



SCALE: 1" = 8'-0"

PLAN VIEW

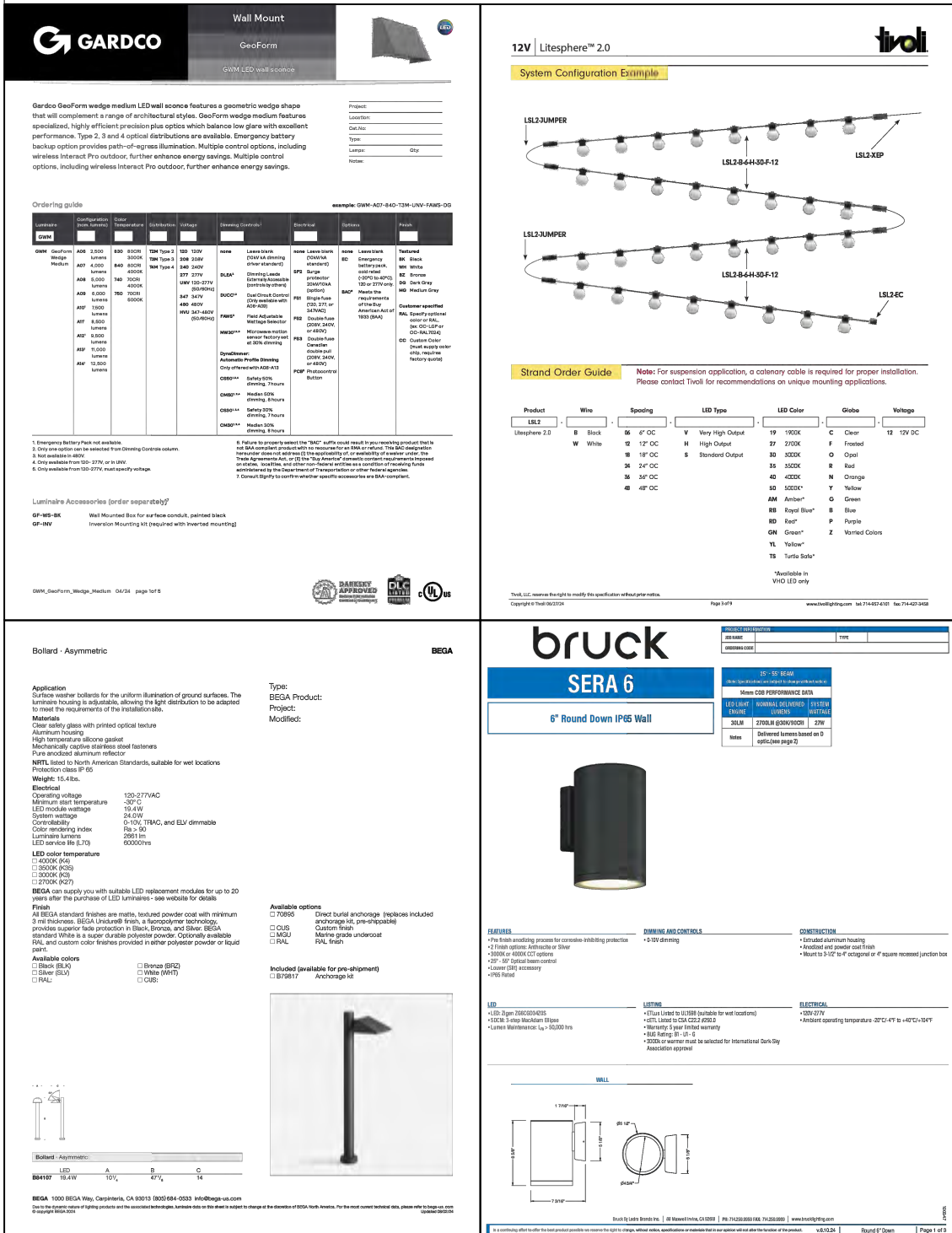
Luminaire Schedule												
Symbol	Qty	Tag	Arrangement	Luminaire Lumens	LLF	LLD	LDD	UDF	Description	Optical Height	Luminaire Watts	Data Source Filename
	56	F4	Single	13	0.850	0.944	0.900	1.000	Tivoli LSL2-B-12-H-30-F	10	0.4	7828-LSL2-B-12-H-30-F.ies
	1	F3b	Single	2480	0.850	0.944	0.900	1.000	Gardco GWM-A06-830-T4M	18	16.3	GWM-A06-830-T4M.ies
	2	F3a	Single	8417	0.850	0.944	0.900	1.000	Gardco GWM-A12-830-T4M	18	59.3	GWM-A12-830-T4M.ies
	4	F2	Single	2657	0.850	0.944	0.900	1.000	Bruck SERA EXT-6D-SW-30LM-30K-90-55D	7	26.7	EXT-6QD-SW-30LM-30K-90-55D.ies
	3	F1	Single	2528	0.850	0.944	0.900	1.000	Bega Bollard 84107-K30	3.667	22	84107K3_BEGA_IES.ies

Calculation Summary											
Label	Description	Calculation Type	Units	Grid (Z) Elevation	Avg	Max	Min	Avg/Min	Max/Min	# Pts	
CalcPts_1	Pathway	Illuminance	Fc	0	23.20	68.00	1.00	23.20	68.00	56	
StatArea_1	General Paved Parking	Illuminance	Fc	0	1.80	3.40	0.50	3.60	6.80	127	

Note: Unless otherwise specified - the lamp lumen depreciation (LLD) for legacy sources used in these calculations is based on published mean lumen ratings by major lamp manufacturers; 0.80 LLD for pulse start metal halide; 0.90 LLD for high pressure sodium; 0.95 LLD for linear T8 and T5 fluorescent; 0.86 LLD for compact fluorescent and induction; 0.88 LLD for Cosmo and Elite lamps. 0.94 LLD for all LED sources. Unless otherwise noted - 0.90 luminaire dirt depreciation (LDD) is commonly applied. In cases where appropriate - ballast factor (BF) is applied. Additional user defined factors (UDF) may be applied if necessary to represent luminaire performance to a higher degree of accuracy. Total light loss factor (LLF) is the product of all multiplied loss factors.

LIGHTING PLAN - PHOTOMETRIC ANALYSIS - LAYOUT VERIFICATION

(ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT FINISHED GRADE, U.O.N.)



PRELIMINARY - NOT FOR CONSTRUCTION
NOT FOR QUOTING PURPOSES



1 SUMMER SOLSTICE 10AM
1/16" = 1'-0"



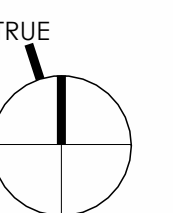
2 SUMMER SOLSTICE NOON
1/16" = 1'-0"



3 SUMMER SOLSTICE 2PM
1/16" = 1'-0"

SCALE: 1/16" = 1'-0"

0 4 8 16 32





1 WINTER SOLSTICE 10 AM
1/16" = 1'-0"

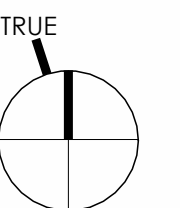


2 WINTER SOLSTICE NOON
1/16" = 1'-0"



3 WINTER SOLSTICE 2 PM
1/16" = 1'-0"

SCALE: 1/16" = 1'-0"
0 4 8 16 32

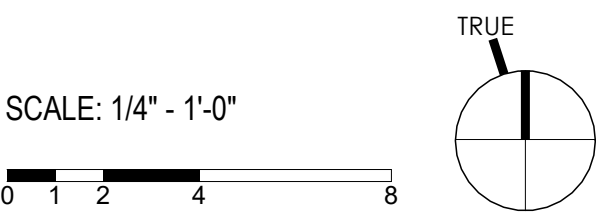
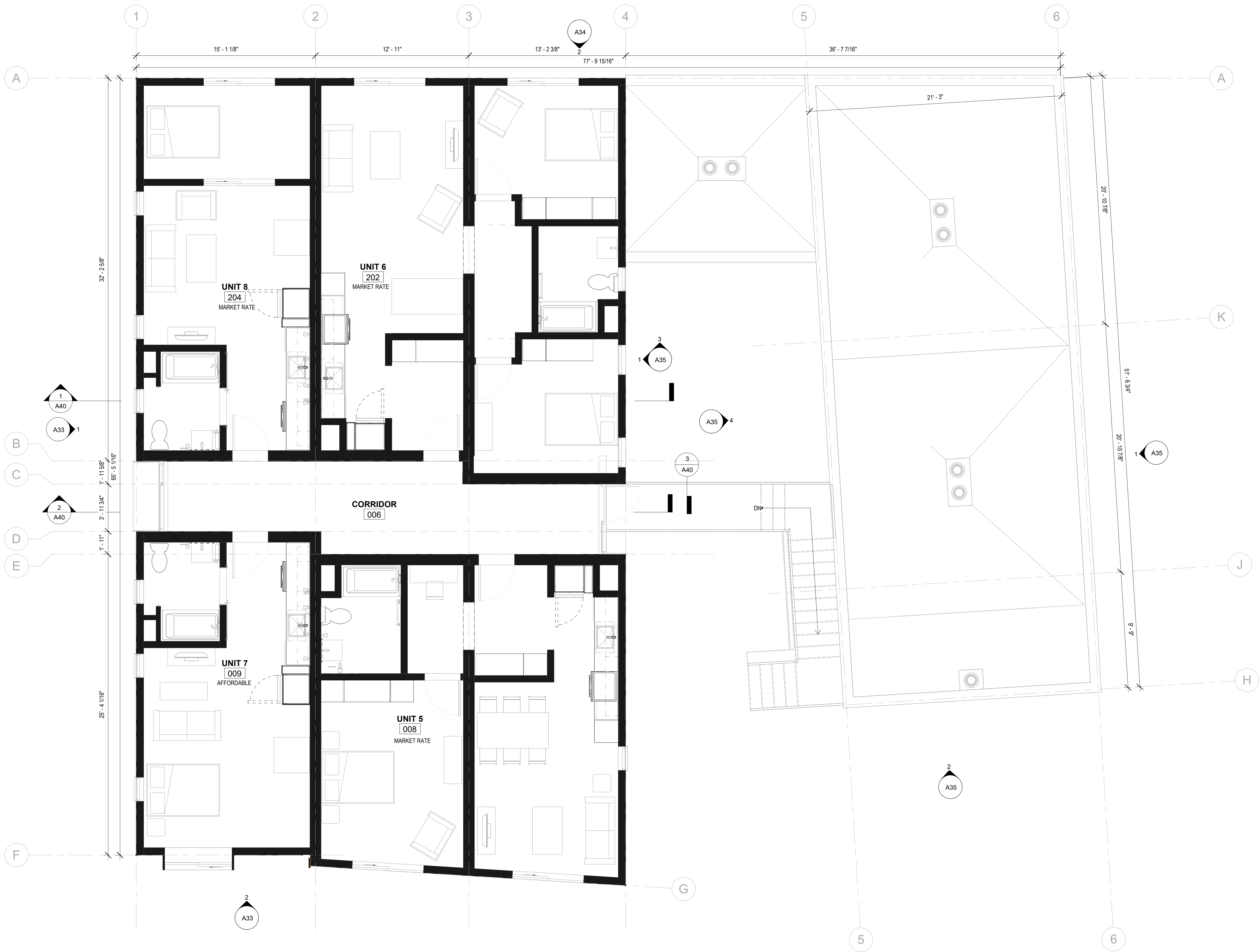


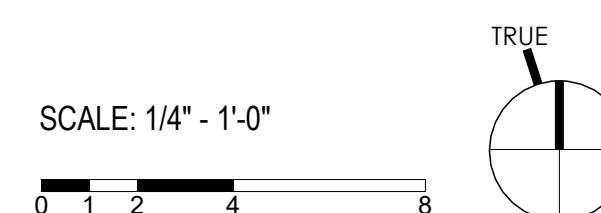


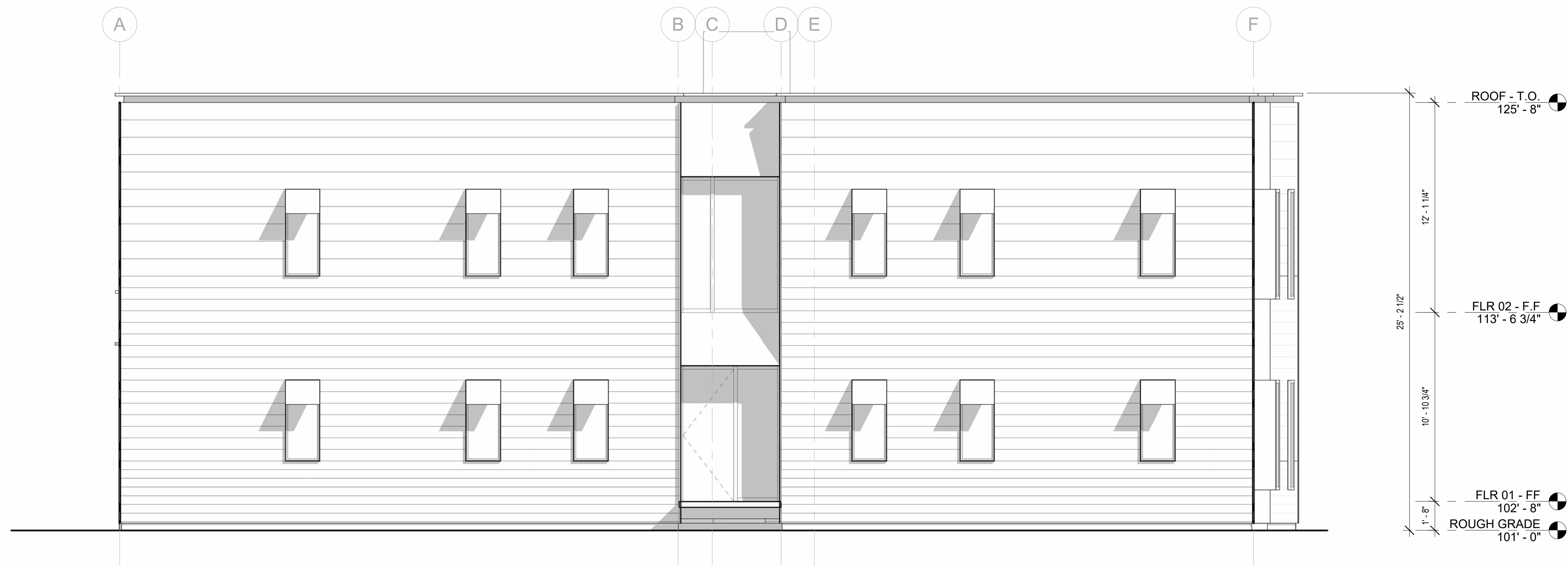
A20 - FIRST FLOOR PLAN

AUSTIN SANDY ARCHITECTS

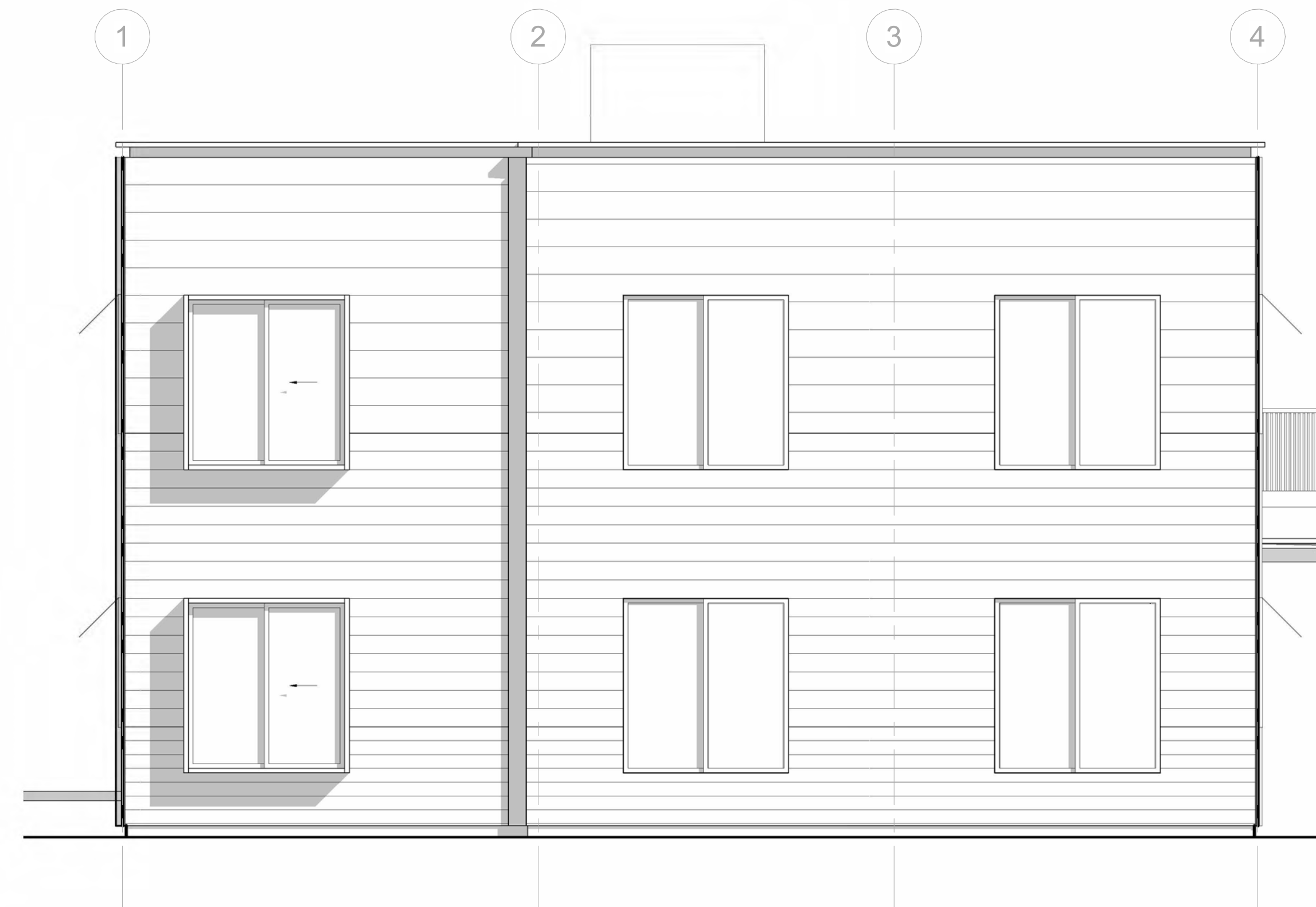
FIRST WAVE APARTMENTS





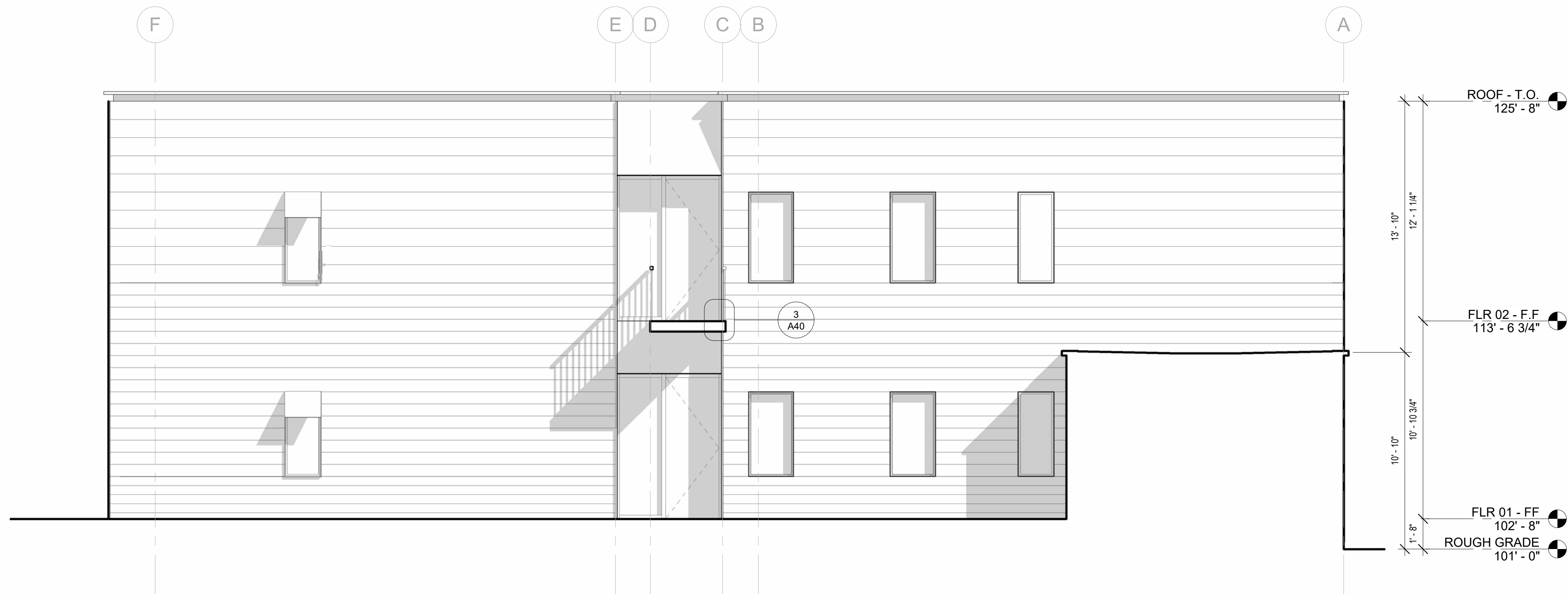


1 WEST ELEVATION
1/4" = 1'-0"

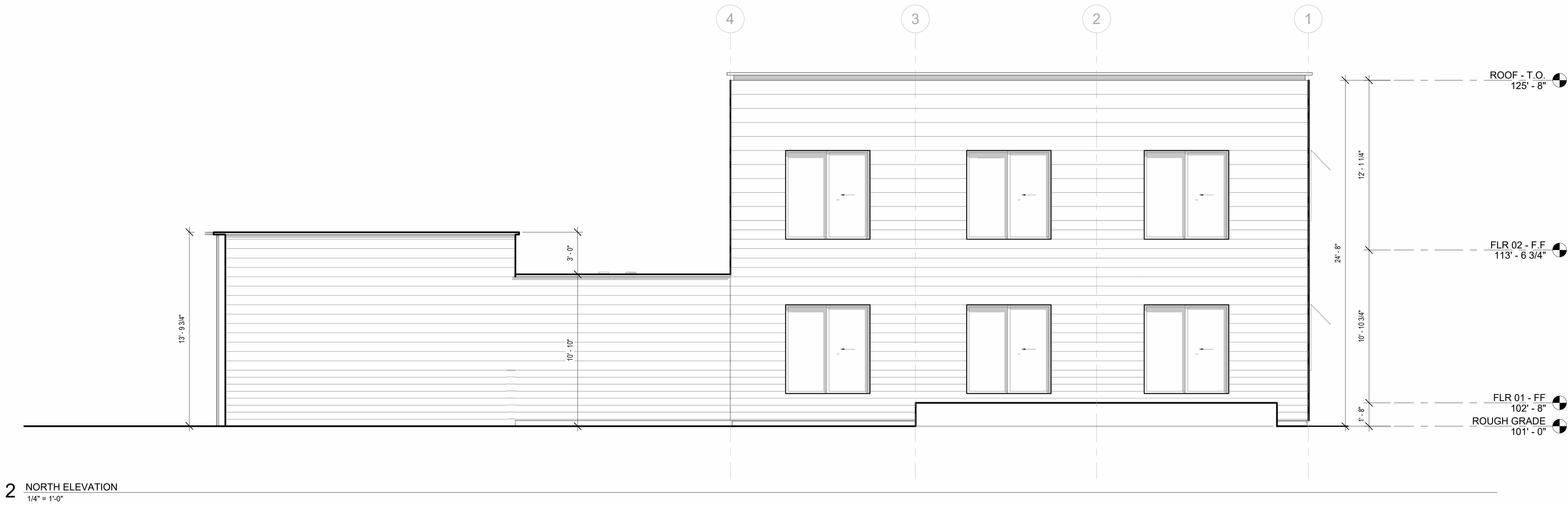


2 SOUTH ELEVATION
1/4" = 1'-0"

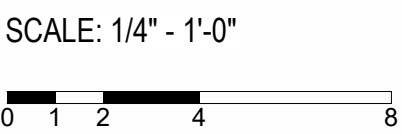
SCALE: 1/4" = 1'-0"
0 1 2 4 8

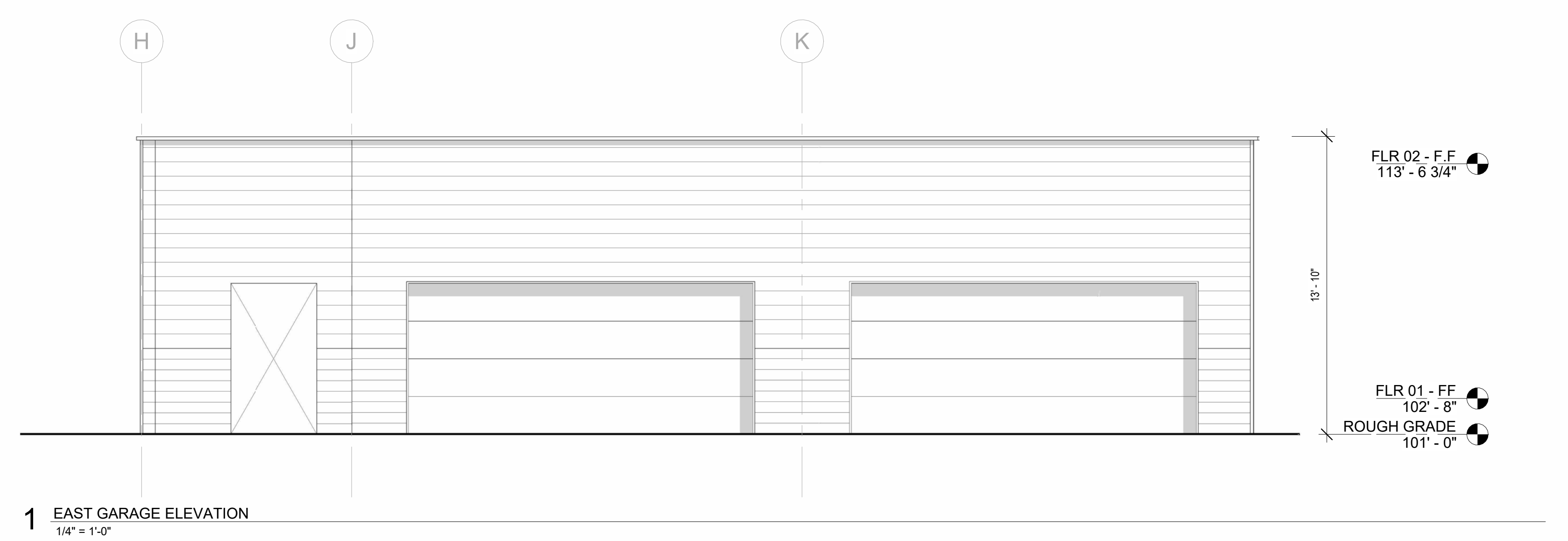
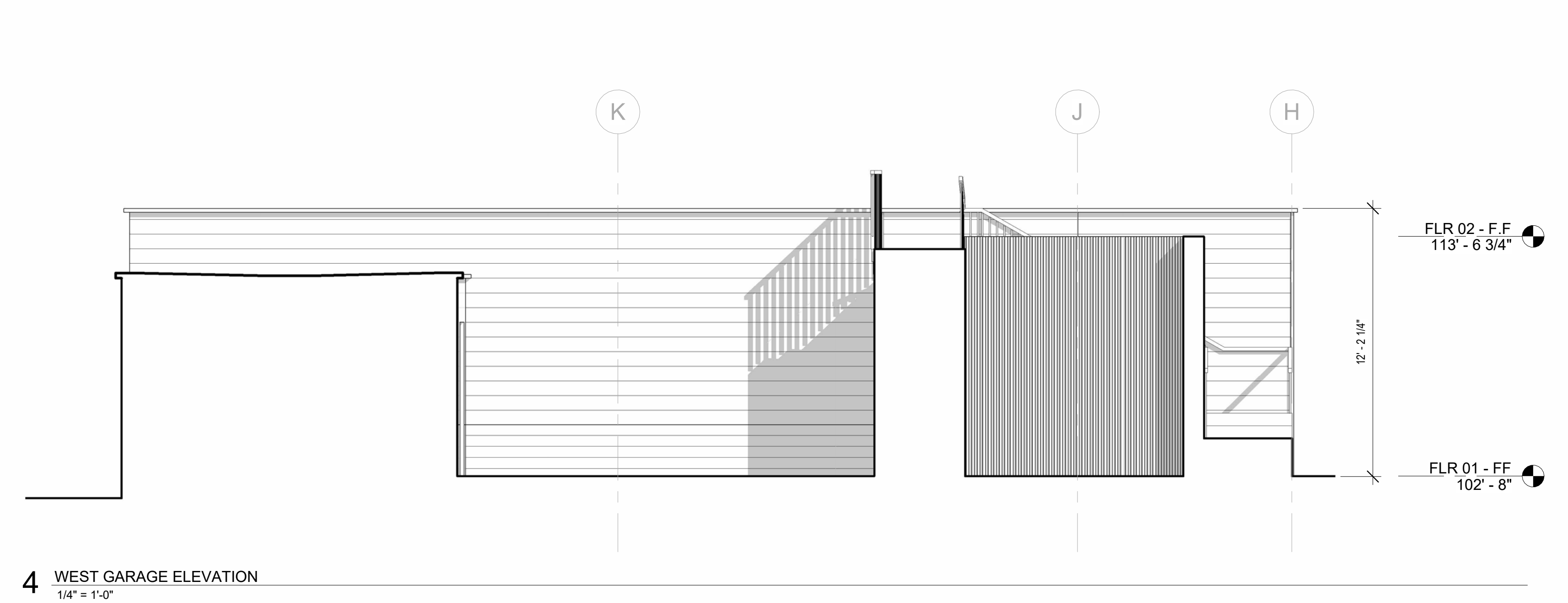
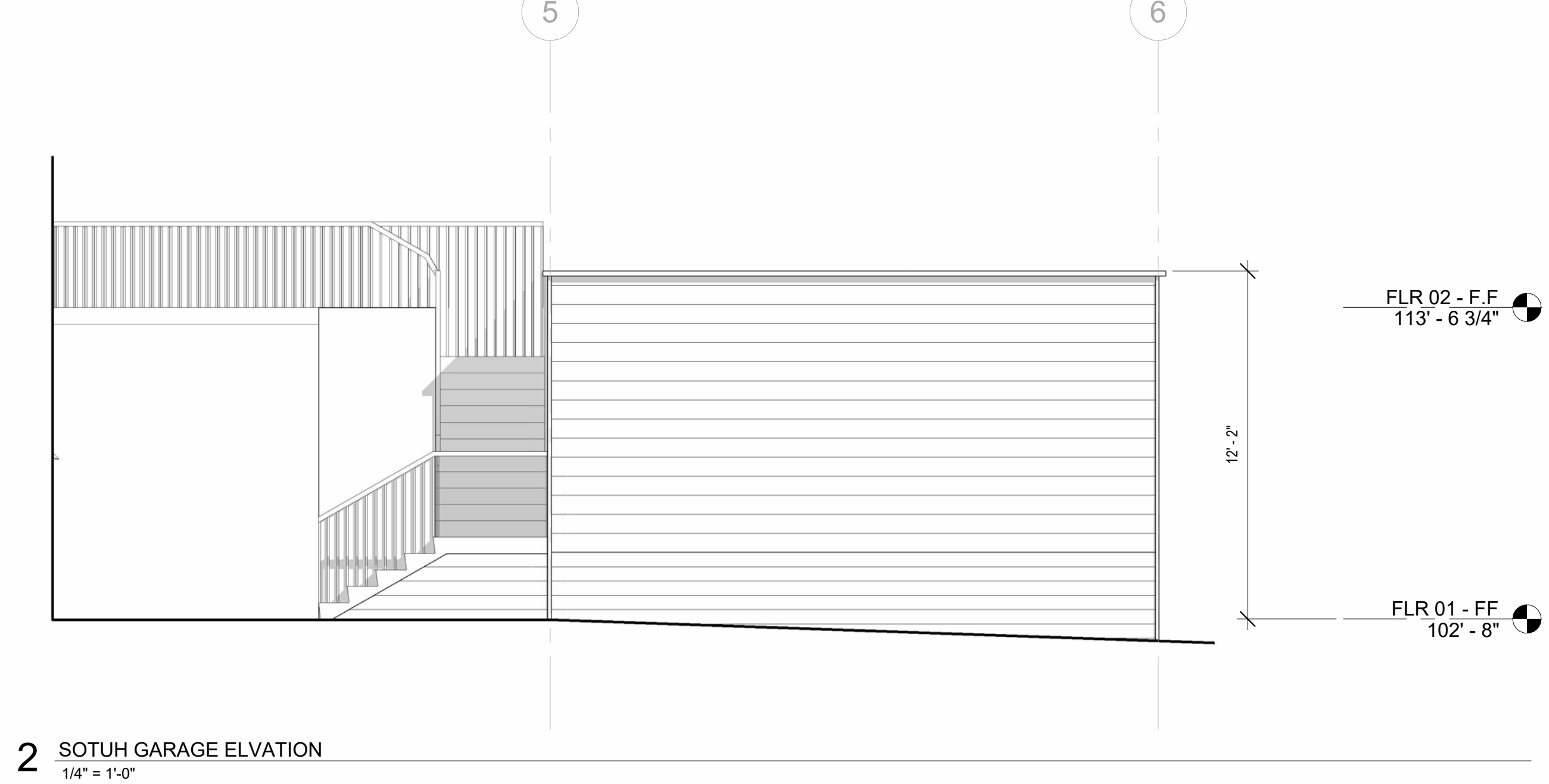


1 EAST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"

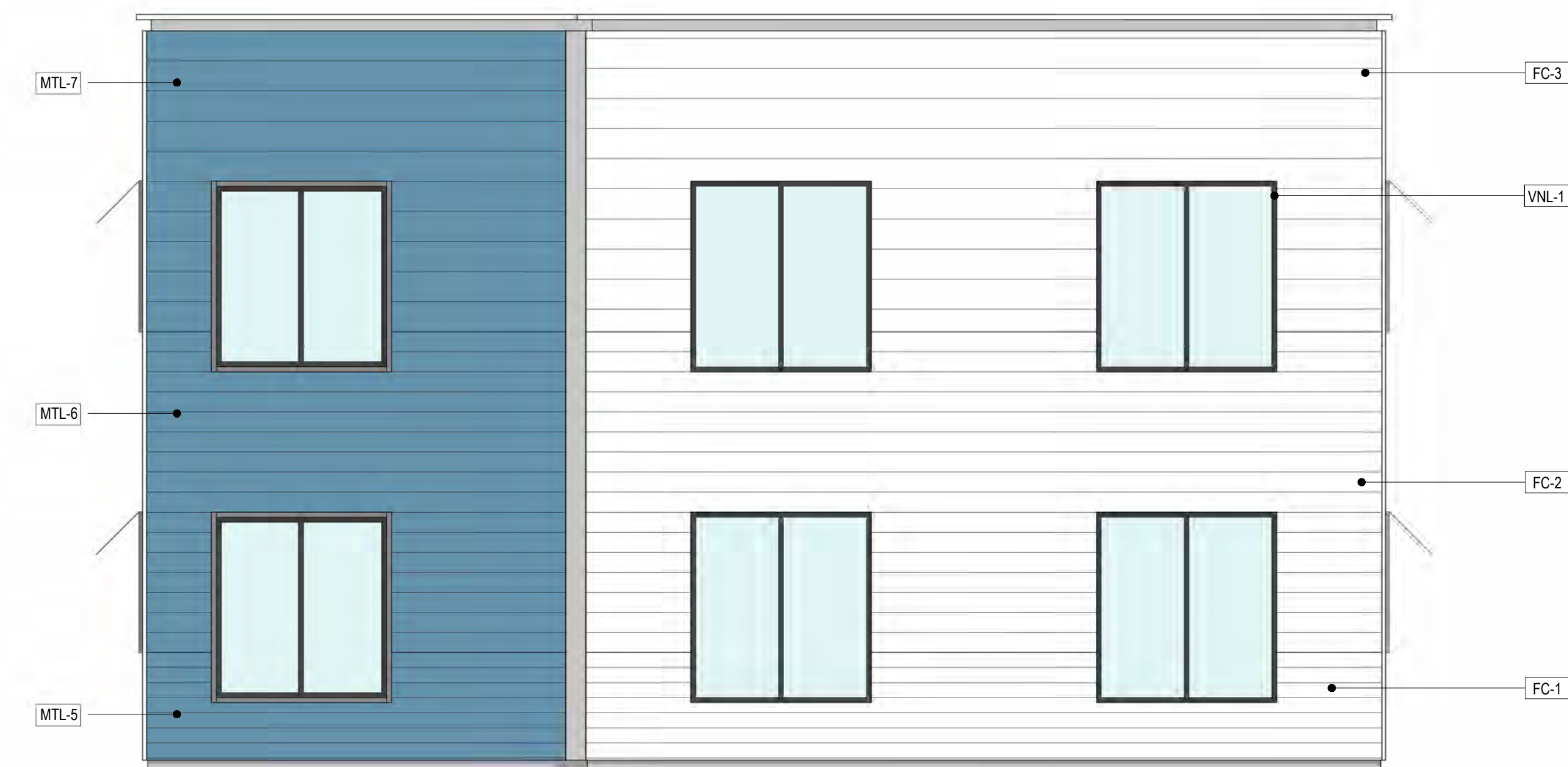




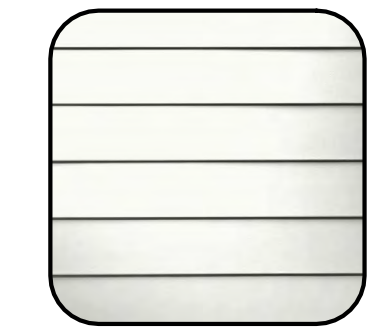
SCALE: 1/4" = 1'-0"



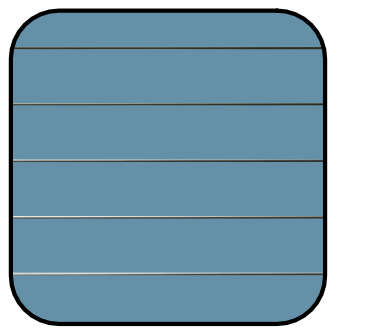
1 WEST COLOR ELEVATION
1/4" = 1'-0"



2 SOUTH COLOR ELEVATION
1/4" = 1'-0"



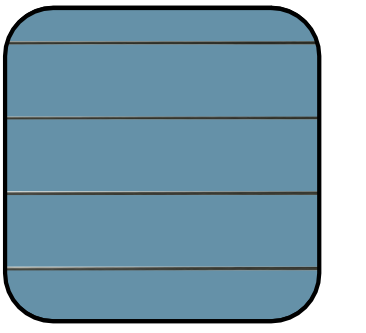
FC-1
FIBER CEMENT LAP SIDING - 6"
PAINTED - SW / PURE WHITE



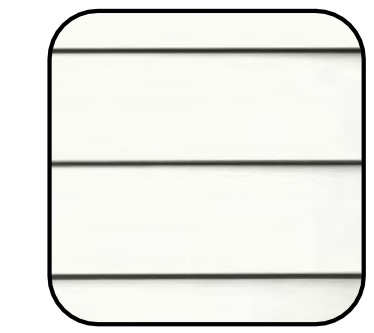
FC-5
FIBER CEMENT LAP SIDING - 6"
PAINTED - SW / BLUE CRUISE



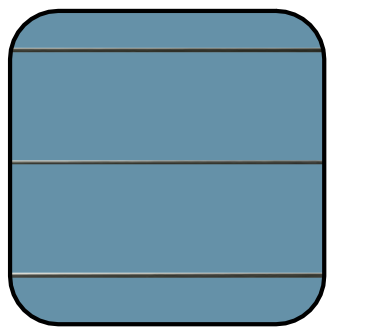
FC-2
FIBER CEMENT LAP SIDING - 8"
PAINTED - SW / PURE WHITE



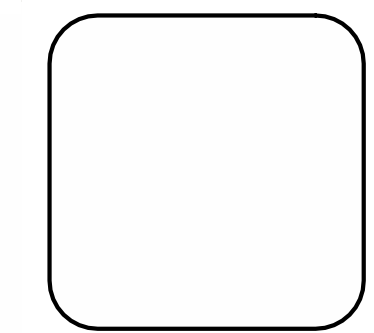
FC-6
FIBER CEMENT LAP SIDING - 8"
PAINTED - SW / BLUE CRUISE



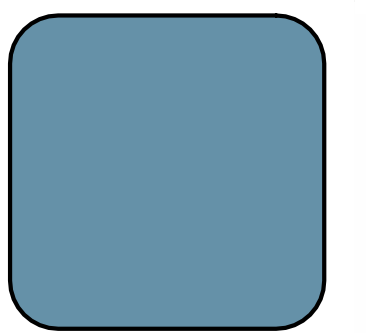
FC-3
FIBER CEMENT LAP SIDING - 12"
PAINTED - SW / PURE WHITE



FC-7
FIBER CEMENT LAP SIDING - 12"
PAINTED - SW / BLUE CRUISE



FC-4 FIBER CEMENT PANEL
PAINTED - SW / PURE WHITE



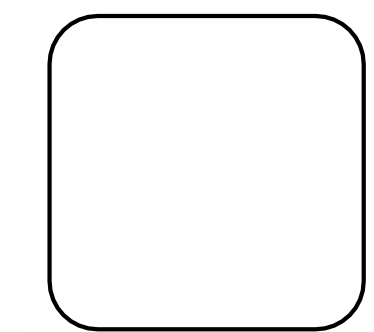
FC-8 FIBER CEMENT PANEL
PAINTED - SW / BLUE CRUISE



VNL-1
VINYL WINDOW FRAME - BLACK



WD-1
CEDAR PLANK



MTL-1
PAINTED - SW / PURE WHITE



MTL-2
PAINTED - SW / BLACK

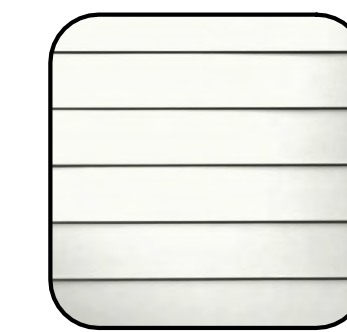
SCALE: 1/4" = 1'-0"
0 1 2 4 8



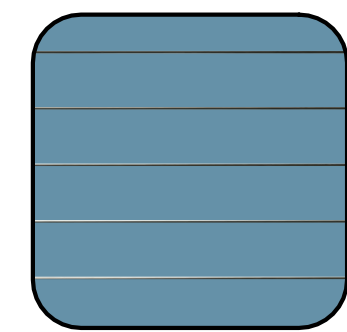
1 EAST ELEVATION Copy 1
1/4" = 1'-0"



2 NORTH ELEVATION Copy 1
1/4" = 1'-0"



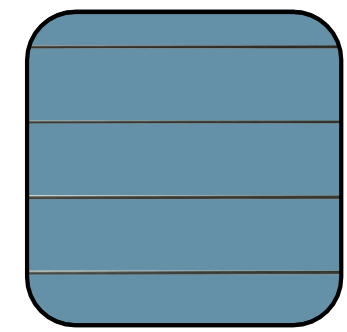
FC-1
FIBER CEMENT LAP SIDING - 6"
PAINTED - SW / PURE WHITE



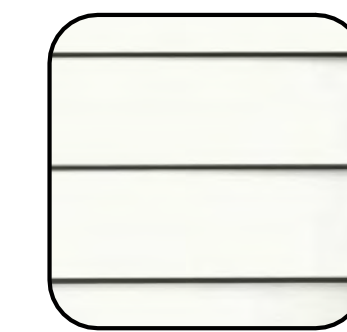
FC-5
FIBER CEMENT LAP SIDING - 6"
PAINTED - SW / BLUE CRUISE



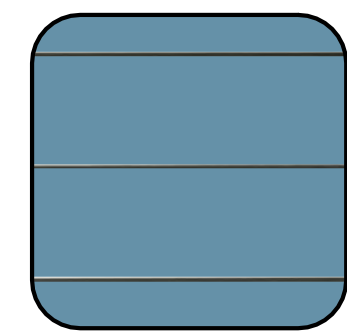
FC-2
FIBER CEMENT LAP SIDING - 8"
PAINTED - SW / PURE WHITE



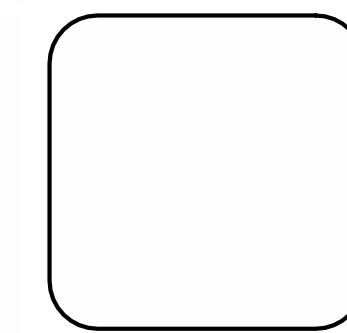
FC-6
FIBER CEMENT LAP SIDING - 8"
PAINTED - SW / BLUE CRUISE



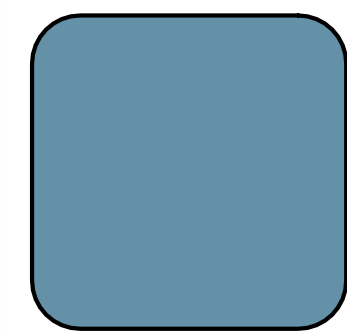
FC-3
FIBER CEMENT LAP SIDING - 12"
PAINTED - SW / PURE WHITE



FC-7
FIBER CEMENT LAP SIDING - 12"
PAINTED - SW / BLUE CRUISE



FC-4 FIBER CEMENT PANEL
PAINTED - SW / PURE WHITE



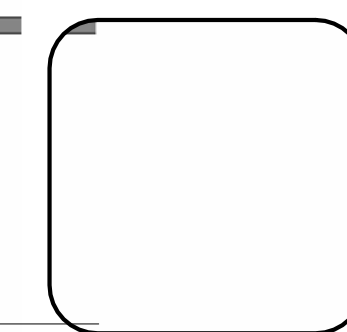
FC-8 FIBER CEMENT PANEL
PAINTED - SW / BLUE CRUISE



VNL-1
VINYL WINDOW FRAME - BLACK



WD-1
CEDAR PLANK

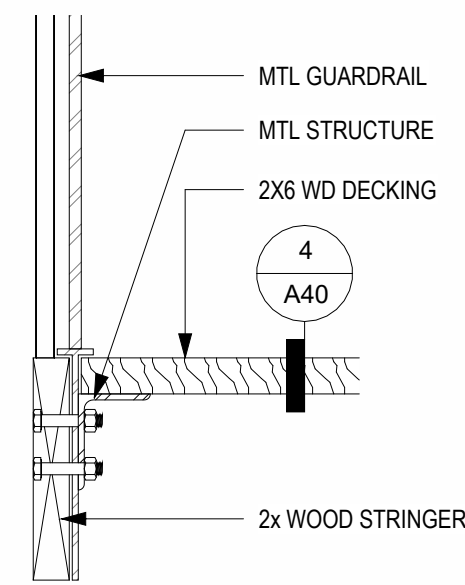
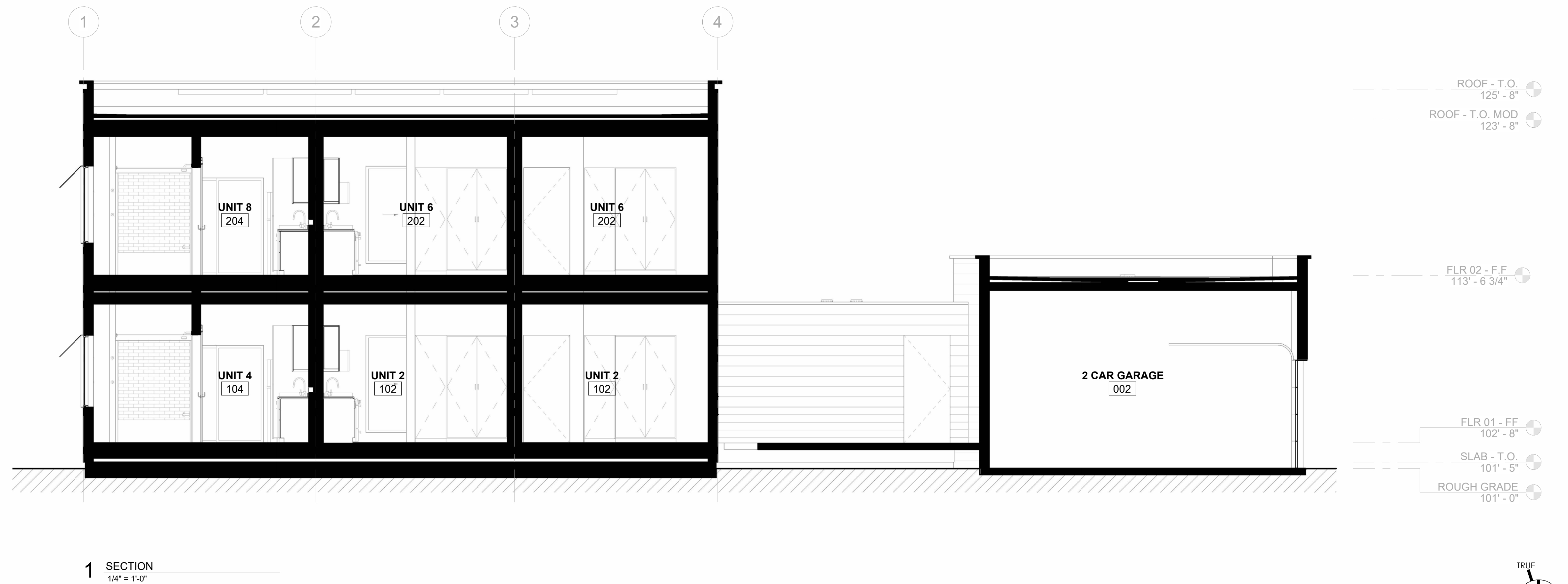
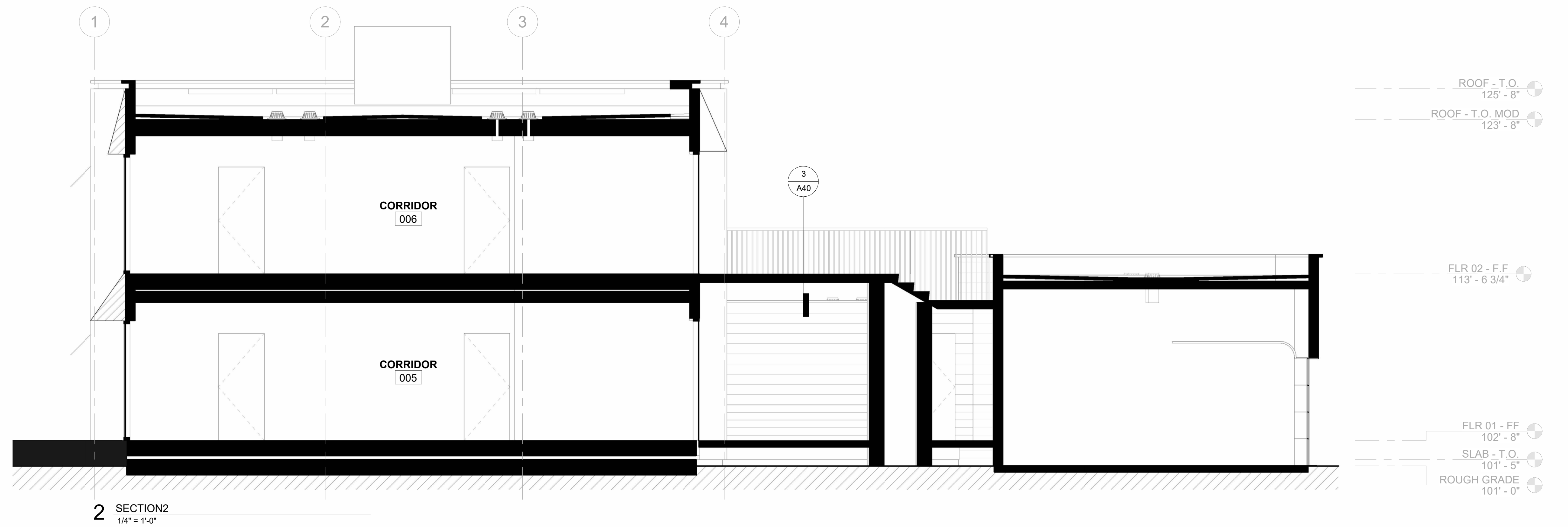


MTL-1
PAINTED - SW / PURE WHITE

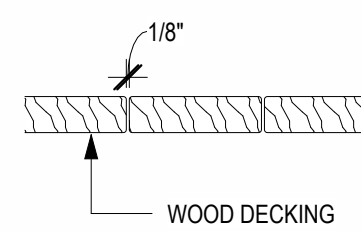


MTL-2
PAINTED - SW / BLACK

SCALE: 1/4" = 1'-0"



3 BRIDGE DETAIL
1 1/2" = 1'-0"



4 BRIDGE DECK
1 1/2" = 1'-0"

