

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATION NUMBER: 241435 APN: 025-054-06
SITUS: Intersection of Soquel Drive and Paul Sweet Road

Proposal to extend the expiration date of Commercial Development Permit and Master Site Plan 211088 (Construct a 4,815 square foot administrative office building for the Santa Cruz Metropolitan Transit District) from 11/24/24 to 11/24/25. Requires a Time Extension.

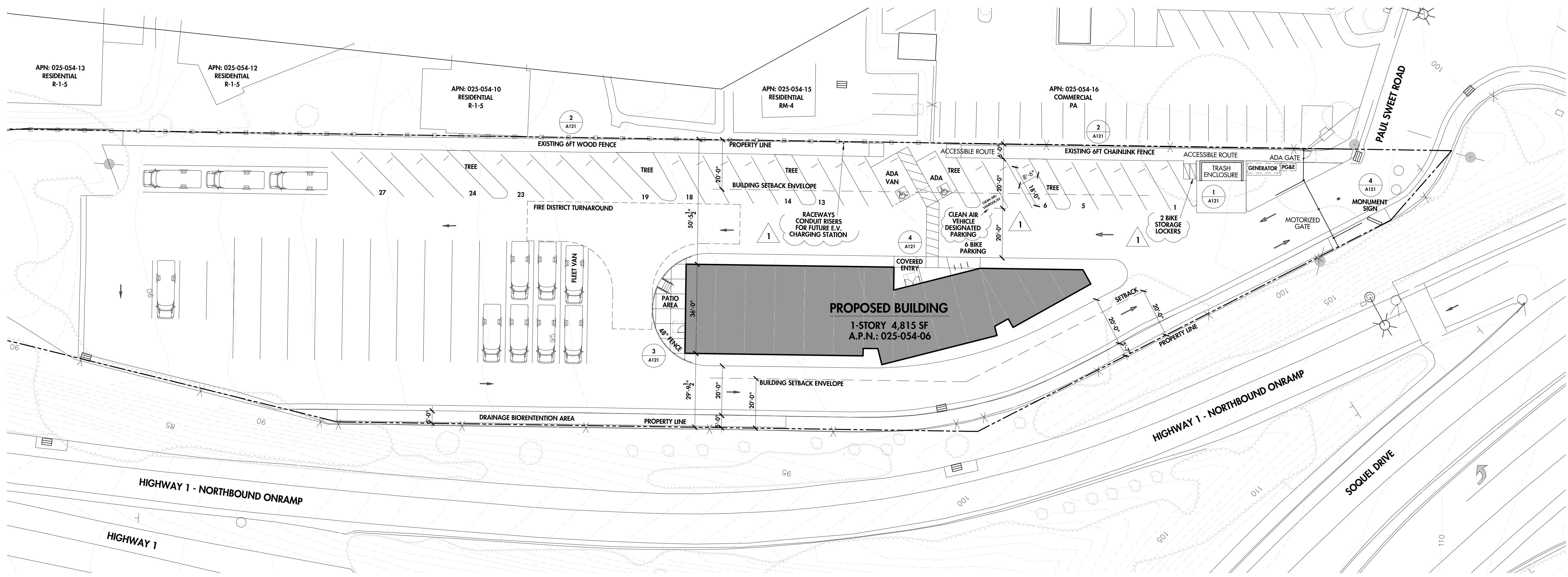
Property is located at the intersection of Soquel Drive and Paul Sweet Road (former Park and Ride lot).

OWNER: Santa Cruz Metro Transit District
APPLICANT: Swift Consulting Services – Ken Hart
SUPERVISORIAL DISTRICT: 1
PLANNER: Randall Adams, (831) 454-3218
EMAIL: Randall.Adams@santacruzcountycalifornia.gov

Public comments must be received by 5:00 p.m. 1/27/2025. A decision will be made on or shortly after 1/28/2025.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. Planner will provide notification of decision to any requesting party.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.



1 OVERALL PROPOSED SITE PLAN
SCALE: 1" = 20'-0"
0 10' 20' 40'
GRAPHIC SCALE: 1"=20'-0" N

1

CALGREEN PARKING CALCULATIONS

(PER NONRESIDENTIAL MANDATORY MEASURES)

CALGREEN BICYCLE PARKING REQUIREMENTS (CALGREEN 5.106.4)

SHORT-TERM BICYCLE PARKING (PER 5.106.4.1.1):
[PERMANENTLY ANCHORED BICYCLE RACKS WITHIN 200 FT OF ENTRANCE]
FOR 5% OF VEHICLE PARKING SPACES (MIN OF ONE TWO-BIKE CAPACITY RACK).
TOTAL VEHICLE PARKING SPACES: 27 SPACES @ 5% = 1.35 REQUIRED.
6 PROVIDED (3 TWO-BIKE CAPACITY RACKS).

LONG-TERM BICYCLE PARKING (PER 5.106.4.1.2):
[BIKE LOCKER, LOCKABLE ENCLOSURE, OR A BIKE ROOM]
FOR 5% OF VEHICULAR PARKING SPACES (MIN OF ONE BICYCLE PARKING FACILITY).
TOTAL VEHICLE PARKING SPACES: 27 SPACES @ 5% = 1.35 REQUIRED.
2 BIKE LOCKERS PROVIDED.

CALGREEN DESIGNATED PARKING FOR CLEAN AIR VEHICLES (CALGREEN 5.106.5.2)

TOTAL VEHICLE PARKING SPACES: 27 SPACES (BETWEEN 10-25) = 1 REQUIRED.
SPACE SHALL BE STRIPE PAINTED WITH "CLEAN AIR/VANPOOL/EV".
1 DEDICATED CLEAN AIR VEHICLE PARKING SPACE PROVIDED.

CALGREEN ELECTRIC VEHICLE (EV) CHARGING (CALGREEN 5.106.5.3)

REQUIREMENT: TO FACILITATE FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE).
TOTAL VEHICLE PARKING SPACES: 27 SPACES = 2 REQ'D EV CHARGING SPACES

5.106.5.3.2 MULTIPLE CHARGING SPACE REQUIREMENTS.
WHEN MULTIPLE CHARGING SPACES ARE REQUIRED ... RACEWAY(S) IS/ARE REQUIRED TO BE INSTALLED AT THE TIME OF CONSTRUCTION ...

1. THE TYPE AND LOCATION OF THE EVSE.
2. THE RACEWAY(S) SHALL ORIGINATE AT A SERVICE PANEL OR A SUBPANEL(S) SERVING THE AREA, AND SHALL TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING EQUIPMENT AND INTO LISTED SUITABLE CABINET(S), BOX(ES), ENCLOSURE(S) OR EQUIVALENT.
3. PLAN DESIGN SHALL BE BASED UPON 40-AMPERE MINIMUM BRANCH CIRCUITS.
4. ELECTRICAL CALCULATIONS SHALL SUBSTANTIATE THE DESIGN OF THE ELECTRICAL SYSTEM, TO INCLUDE THE RATING OF EQUIPMENT AND ANY ON-SITE DISTRIBUTION TRANSFORMERS AND HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL REQUIRED EVS AT ITS FULL RATED AMPERAGE.
5. THE SERVICE PANEL OR SUBPANEL(S) SHALL HAVE SUFFICIENT CAPACITY TO ACCOMMODATE THE REQUIRED NUMBER OF DEDICATED BRANCH CIRCUIT(S) FOR THE FUTURE INSTALLATION OF THE EVSE.

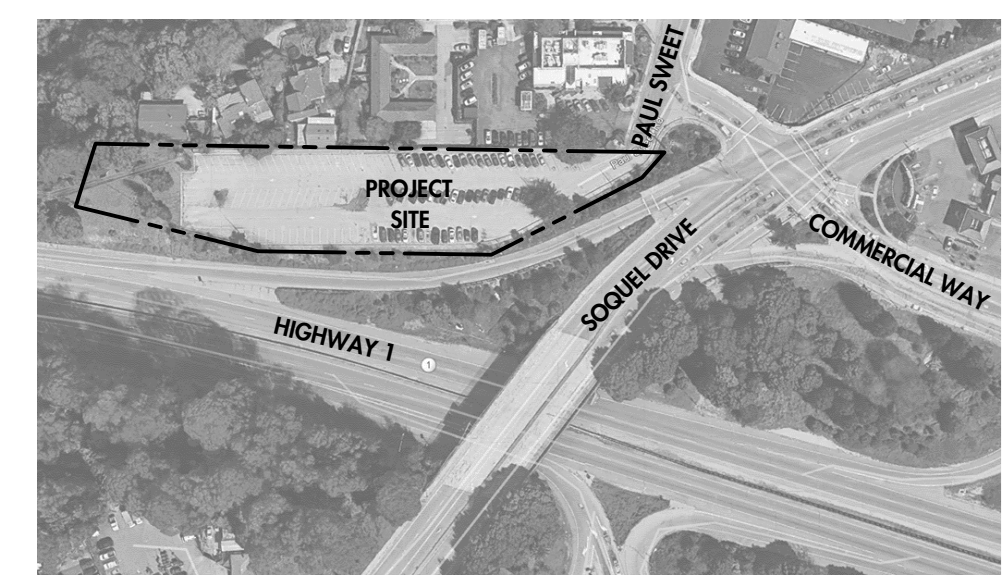
PARKING CALCULATIONS	
BUILDING AREA:	4,815 SF
DESCRIPTION OF USE:	ADMINISTRATIVE OFFICE BUILDING
REQUIRED PARKING:	1 PARKING SPACE PER 300 SF 4,815 SF / 300 = 16 PARKING SPACES
REQUIRED BIKE PARKING:	1 BIKE PARKING PER 1,000 SF 4,815 SF / 1,000 = 4.8 = 5 BIKE PARKING
EXISTING PARKING COUNT:	117 PARKING SPACES
PROPOSED PARKING:	25 PASSENGER VEHICLE PARKING 1 ADA VAN ACCESSIBLE PARKING SPACE 1 ADA STANDARD ACCESSIBLE PARKING SPACE 27 TOTAL PARKING SPACES (PER EMPLOYEE COUNT)
PROPOSED BIKE PARKING:	6 BIKE PARKING
PROPOSED FLEET VEHICLE PARKING:	32 SHUTTLE VAN PARKING SPACES

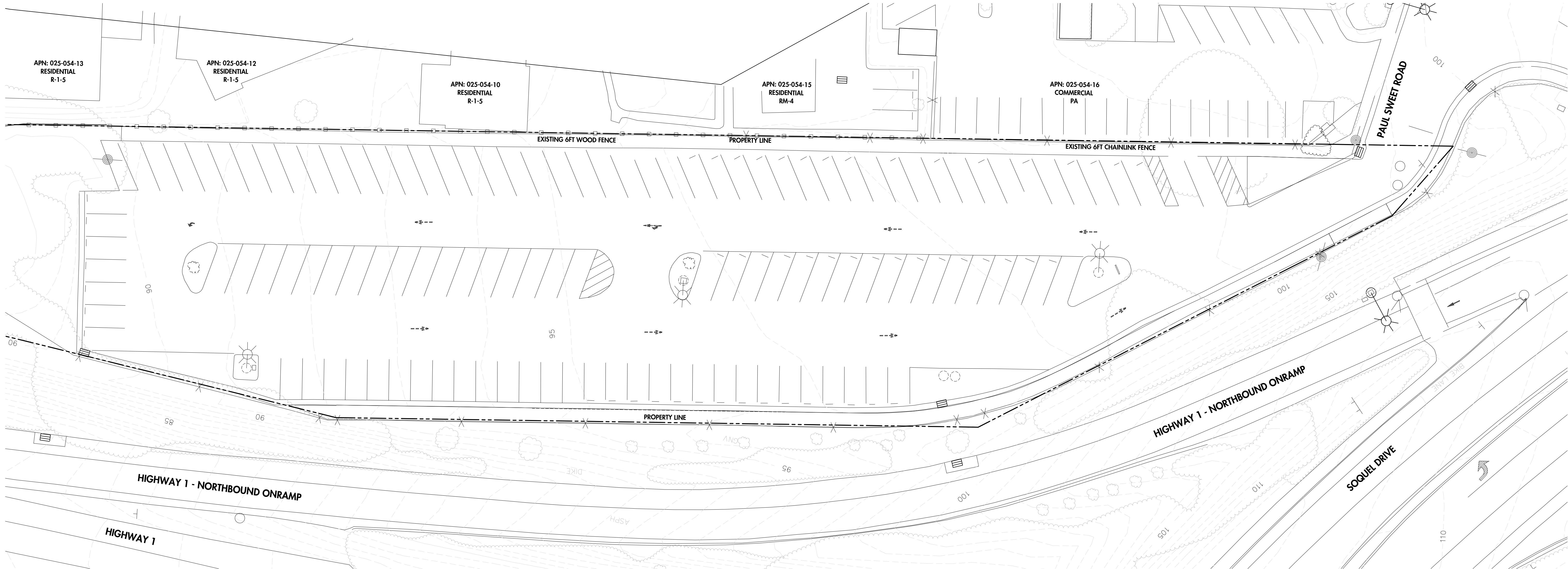
ZONING REGULATIONS	
ZONING:	PF (PUBLIC AND COMMUNITY FACILITIES)
MAXIMUM HEIGHT:	35 FT, 3-STORIES
FRONT SETBACK:	20FT (ABUTS RESIDENTIAL USE)
SIDE SETBACK:	20FT (ABUTS RESIDENTIAL USE)
REAR SETBACK:	20FT (ABUTS RESIDENTIAL USE)
PROPOSED BUILDING	
BUILDING AREA:	4,815 SF
STORIES:	1-STORY
BUILDING HEIGHT:	24 FT MAX (FROM EXISTING AND FINISH GRADE)
DESCRIPTION OF USE:	ADMINISTRATIVE OFFICE BUILDING
OCCUPANCY GROUP:	B
CONSTRUCTION TYPE:	V-B
SPRINKLERS:	BUILDING SHALL BE FULLY SPRINKLERED

SHEET INDEX	
A101	PROPOSED SITE PLAN
A102	EXISTING SITE PLAN
A121	SITE DETAILS
A201	FLOOR PLAN AND ROOF PLAN
A301	EXTERIOR ELEVATIONS & BLDG SECTIONS
A302	3D MODEL VISUALIZATIONS
C1	TITLE SHEET
C2	SITE DIMENSION PLAN
C3	EXISTING DRAINAGE PLAN
C4	GRADING PLAN
C5	STORMWATER CONTROL PLAN
C6	UTILITY PLAN
C7	DETENTION BASIN DETAIL
C8	SIGNING AND STRIPING PLAN
L1.0	PRELIMINARY LANDSCAPE
L1.1	PLANT IMAGES
E1	LIGHTING PLAN
P1	LIGHTING ANALYSIS

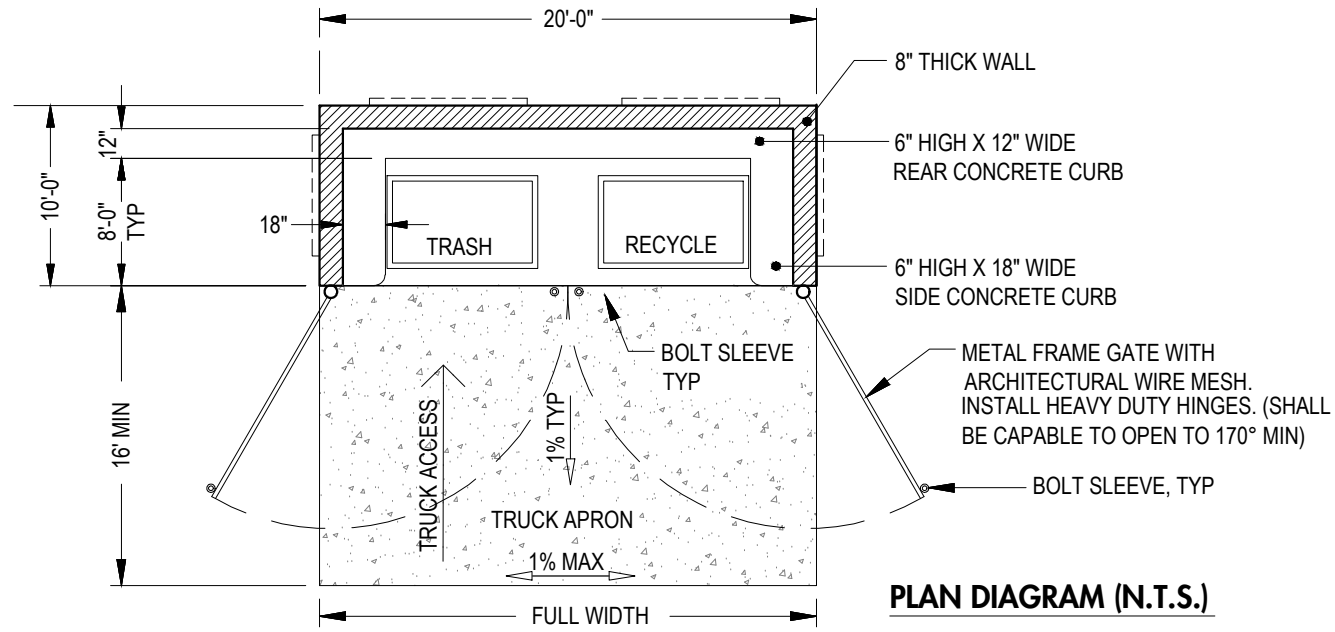
PROJECT INFORMATION	
PROJECT NAME:	SC METRO PARATRANSIT FACILITY
ADDRESS:	XX PAUL SWEET ROAD, SANTA CRUZ, CA 95065
A.P.N.:	025-054-06
PROJECT DESCRIPTION:	PROPOSED NEW CONSTRUCTION OF A 4,815 SF ADMINISTRATIVE OFFICE BUILDING AND ASSOCIATED SITE IMPROVEMENTS FOR THE SANTA CRUZ METROPOLITAN TRANSIT DISTRICT. THE FACILITY WILL HOUSE THE DISTRICT'S PARCRUZ PROGRAM AND DISPATCH SHUTTLE VANS.
ZONING:	PF (PUBLIC AND COMMUNITY FACILITIES)
GENERAL PLAN:	O-U; P
PARCEL AREA:	2.92 ACRES (ASSESSOR'S ACREAGE)
EXISTING USE:	PARK AND RIDE FACILITY
PROPOSED USE:	PARACRUZ ADMIN OFFICES AND SHUTTLE VANS

VICINITY MAP





1 OVERALL EXISTING SITE PLAN
SCALE: 1" = 20'-0"
GRAPHIC SCALE: 1"=20'-0"



SIDE ELEVATION (REAR SIM)

REINFORCED CMU WALL
MOTTLED PATTERN
WELDED STEEL FRAME TRASH
ENCLOSURE DOORS
METAL CORRUGATED SIDING
ON ENCLOSURE DOORS
HEAVY-DUTY WELDED GATE
HINGES, ANCHOR JAMB FRAME
TO CMU WALL

NOTE: EACH DOOR OF PAIR TO BE
LOCKABLE W/ CANE-BOLT, AND
OPENABLE TO 180° BACK-SWING
FOR ACCESS CLEARANCE

FRONT ELEVATION

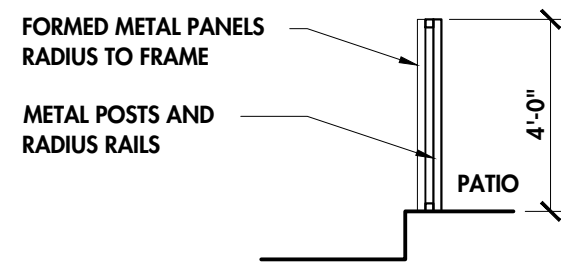
1 REFUSE ENCLOSURE DESIGN

SCALE: 1/4" = 1'-0"



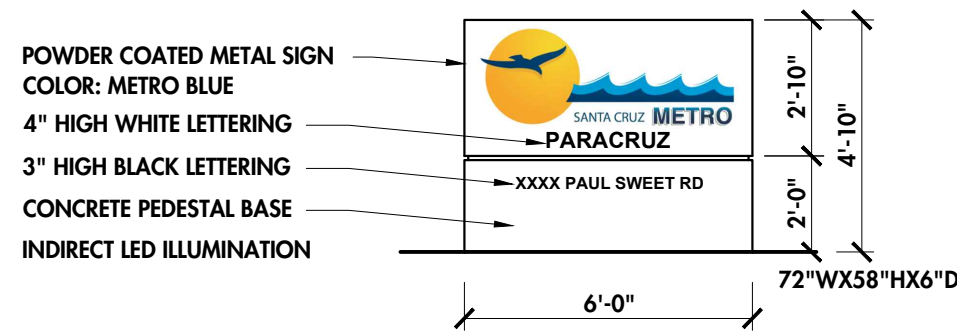
2 SITE FENCE ELEVATIONS

SCALE: N.T.S.

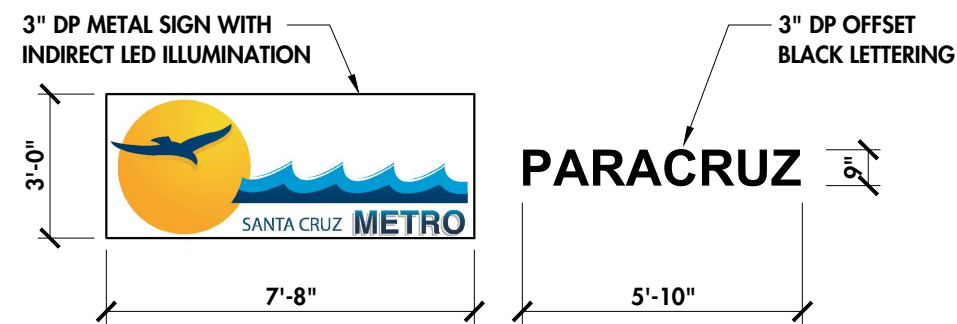


3 PATIO FENCE (NOISE SCREEN)

SCALE: 1/4" = 1'-0"



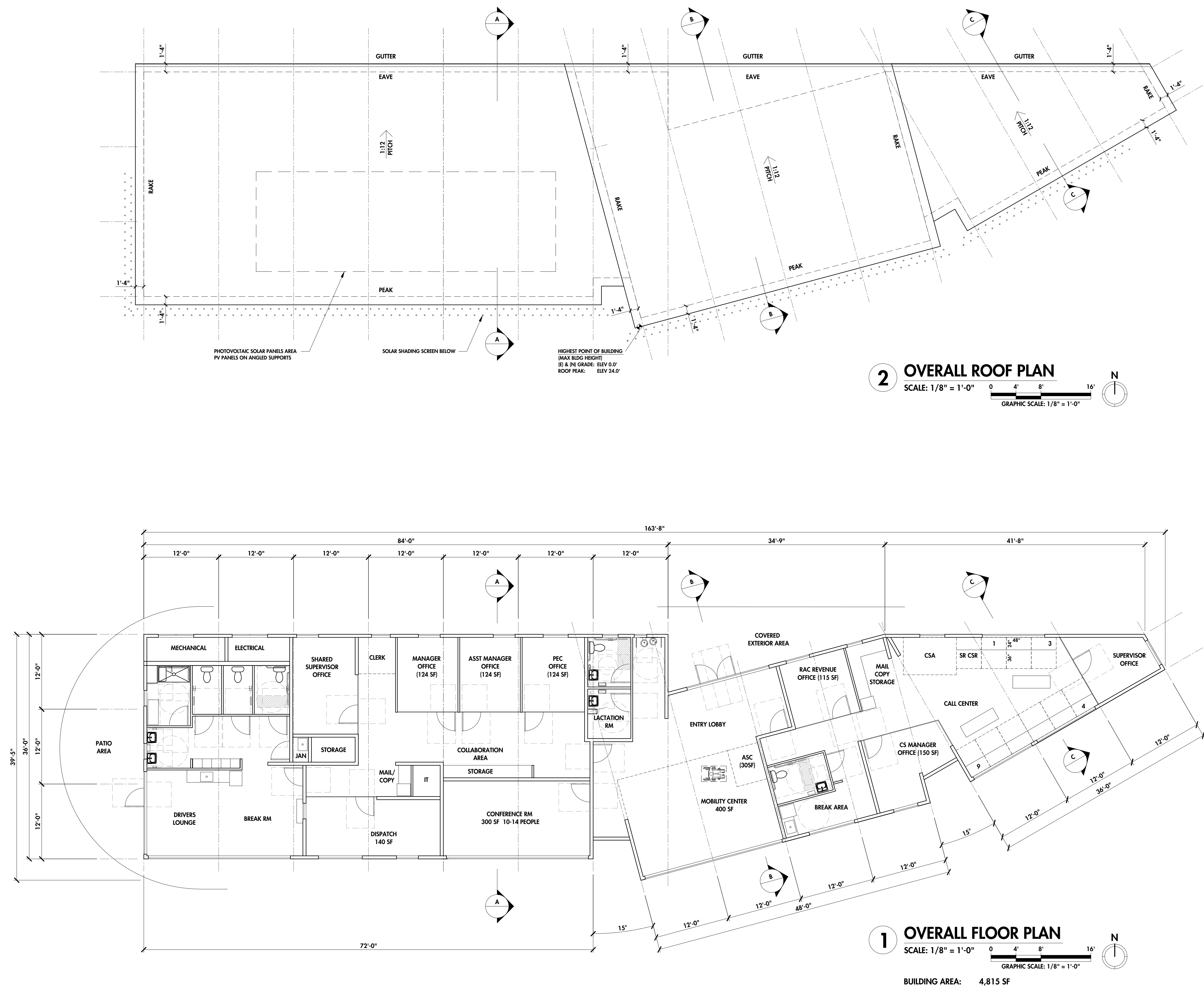
MONUMENT SIGN AT SITE ENTRY

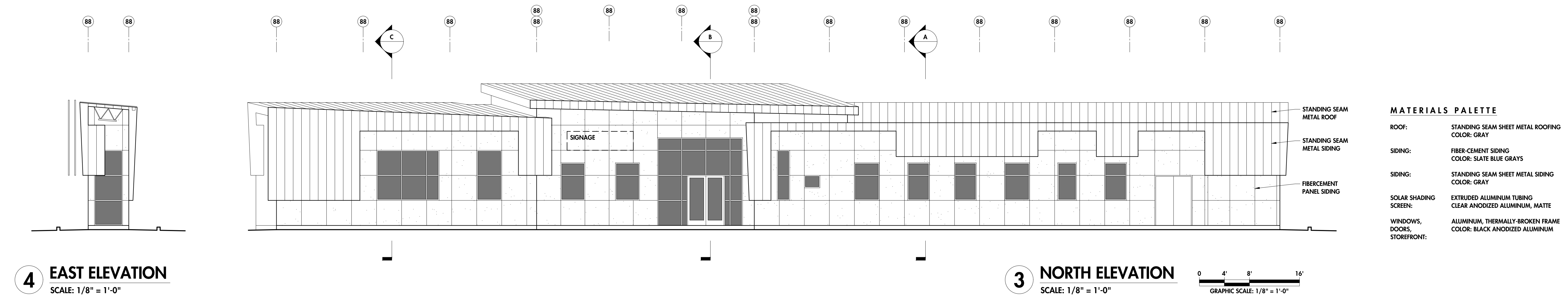
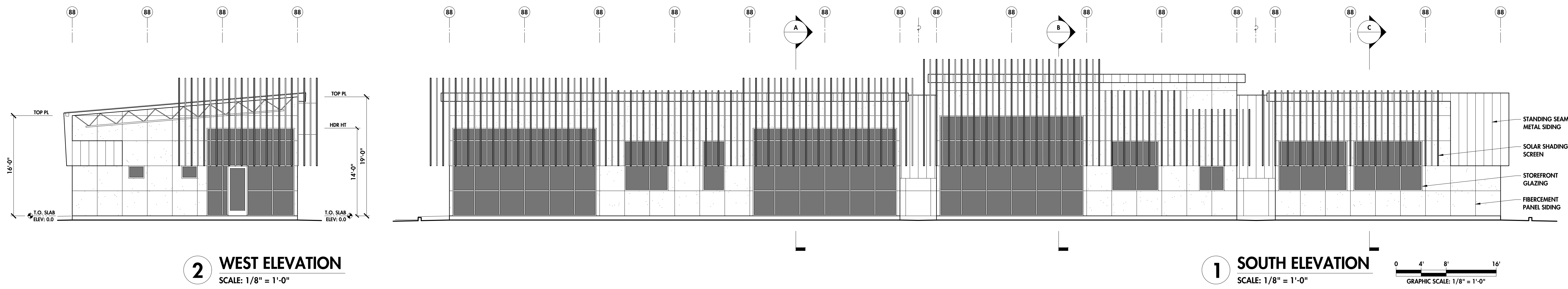


BUILDING MOUNTED SIGN AT ENTRY

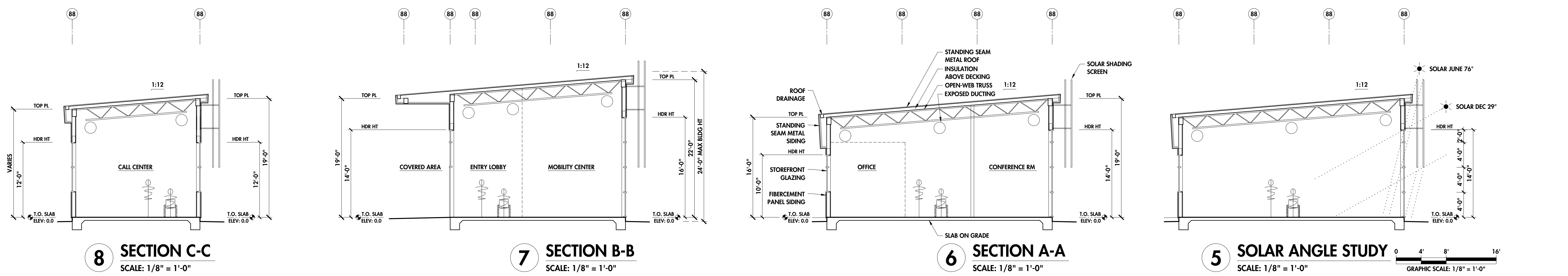
4 PROJECT SIGNAGE PLAN

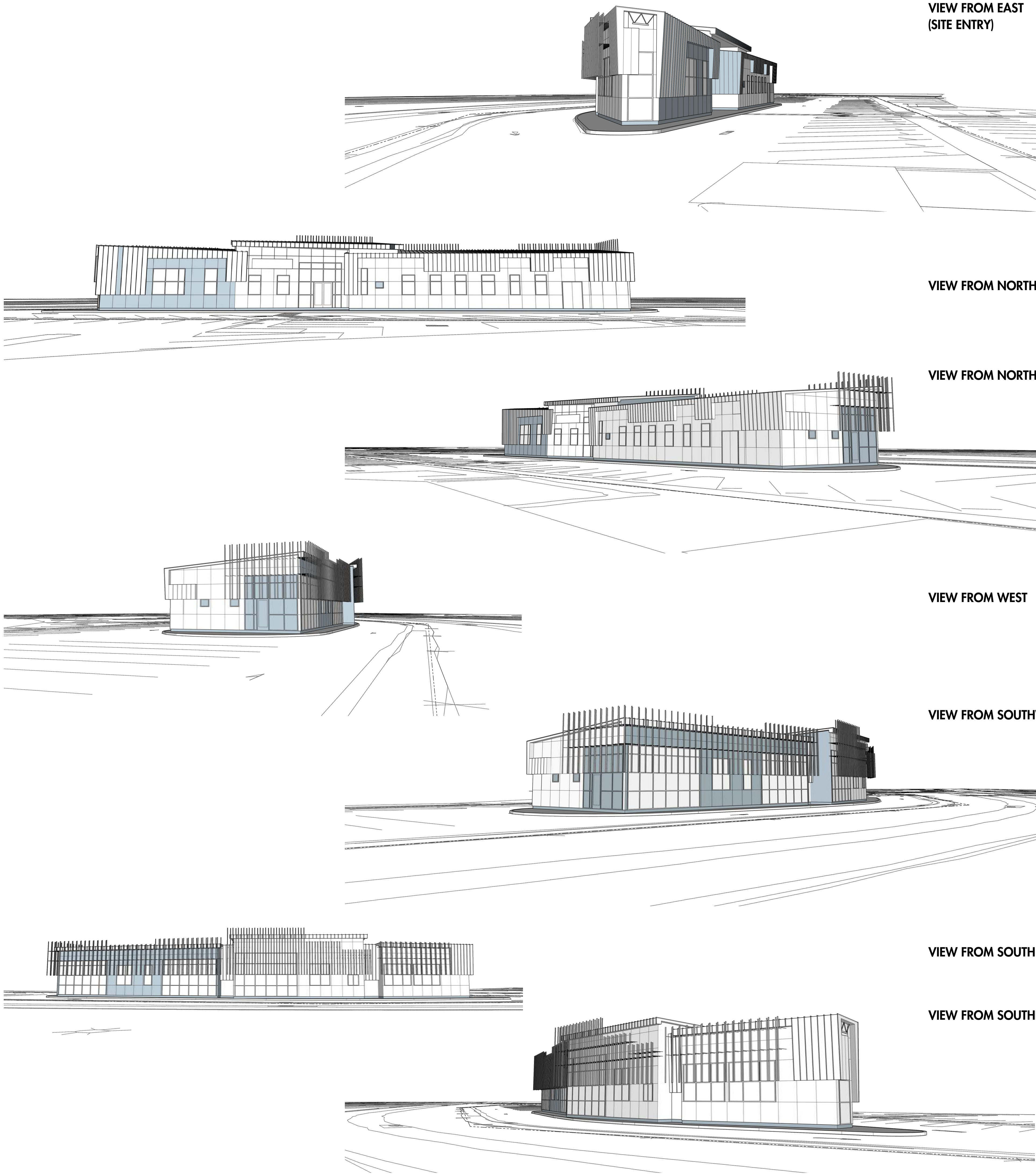
SCALE: 1/4" = 1'-0"





MATERIALS PALETTE	
ROOF:	STANDING SEAM SHEET METAL ROOFING COLOR: GRAY
SIDING:	FIBER-CEMENT SIDING COLOR: SLATE BLUE GRAYS
SIDING:	STANDING SEAM SHEET METAL SIDING COLOR: GRAY
SOLAR SHADING SCREEN:	EXTRUDED ALUMINUM TUBING CLEAR ANODIZED ALUMINUM, MATTE
WINDOWS, DOORS, STOREFRONT:	ALUMINUM, THERMALLY-BROKEN FRAME COLOR: BLACK ANODIZED ALUMINUM





VIEW FROM EAST
(SITE ENTRY)

VIEW FROM NORTH

VIEW FROM NORTHWEST

VIEW FROM WEST

VIEW FROM SOUTHWEST

VIEW FROM SOUTH

VIEW FROM SOUTHEAST

VISUALIZATIONS OF GRAYSCALE 3D MODEL

STREET VIEWS OF SITE



INTERSECTION AT SOQUEL DRIVE AND PAUL SWEET ROAD



NORTHBOUND ONRAMP TO CA HIGHWAY 1



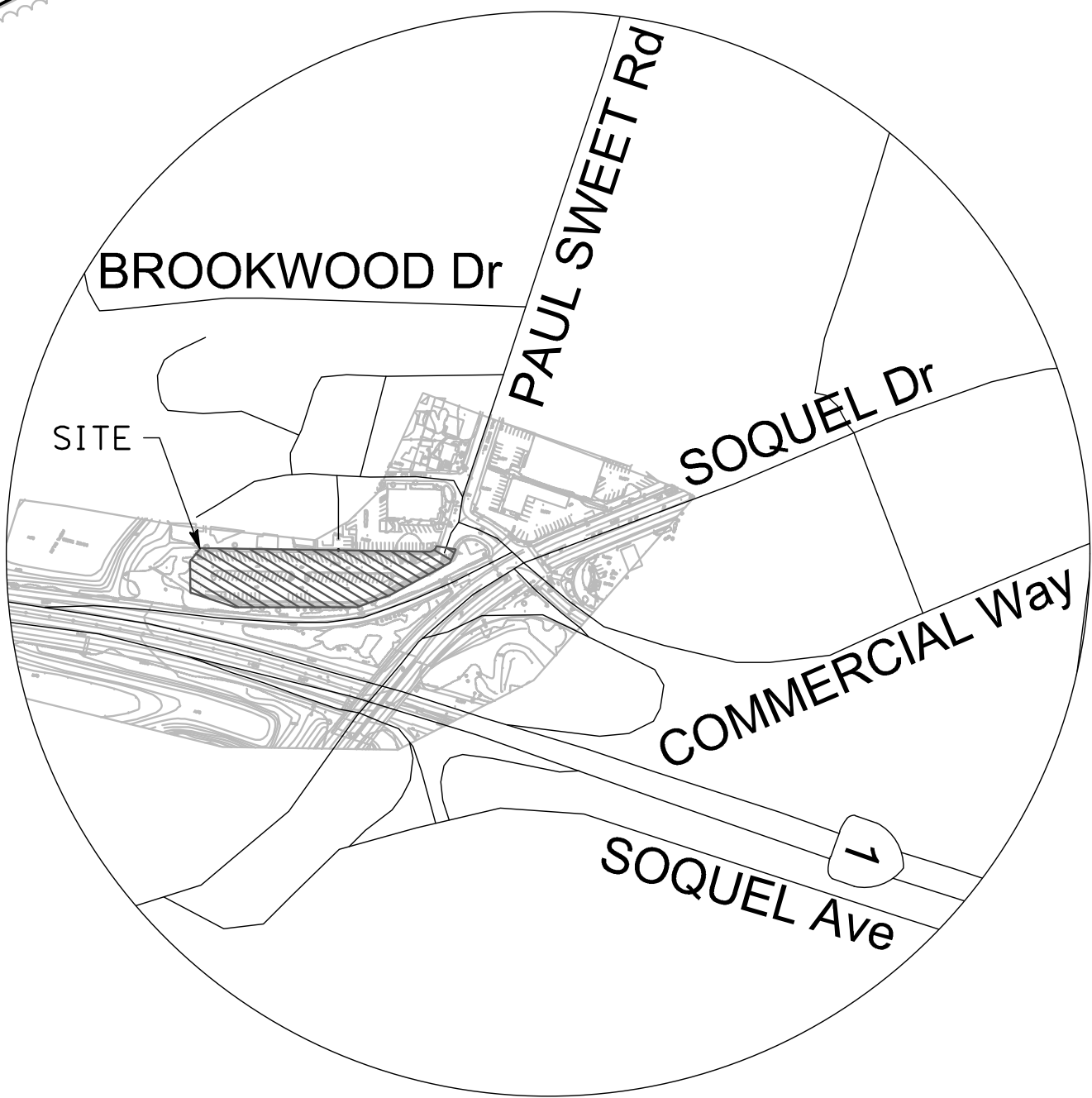
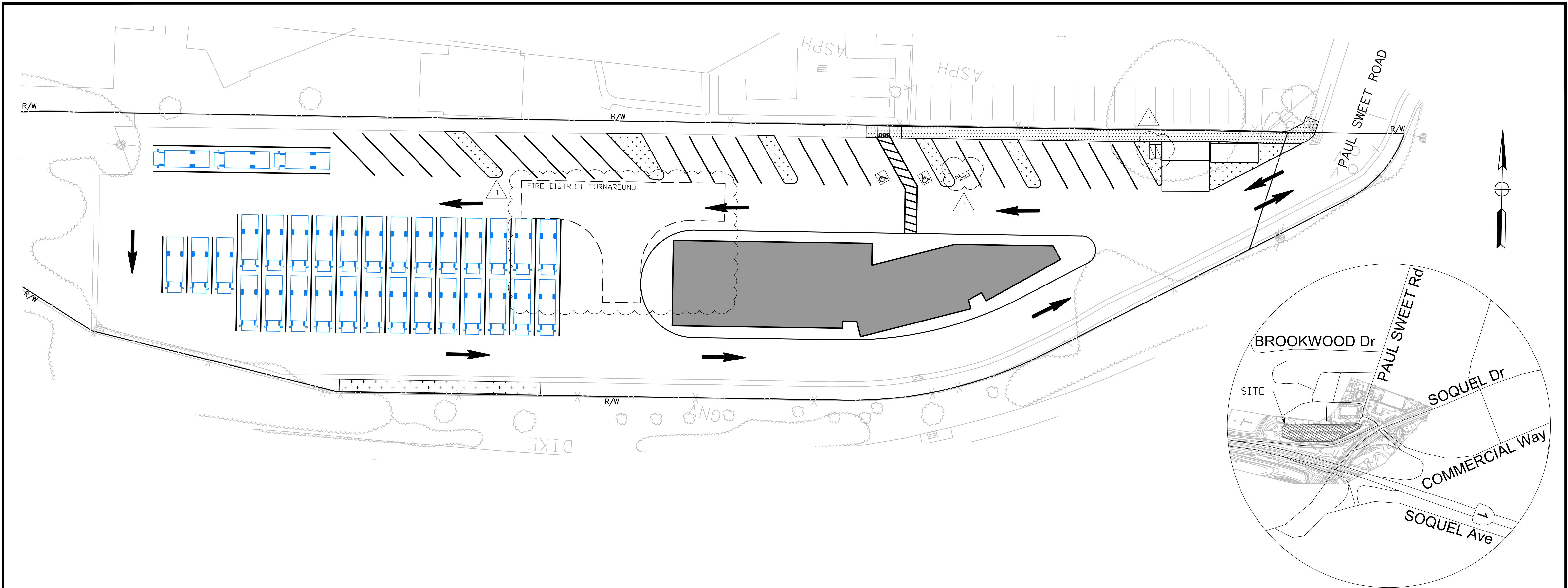
SOQUEL DRIVE OVERPASS BRIDGE



SOQUEL DRIVE APPROACHING PAUL SWEET ROAD INTERSECTION

CA HIGHWAY 1 - NORTHBOUND





GENERAL NOTES:





- OWNER: SANTA CRUZ METROPOLITAN TRANSIT DISTRICT
110 VERNON STREET
SANTA CRUZ, CA 95060
- ENGINEER: MARK THOMAS & COMPANY, INC.
360 22ND STREET, SUITE 501
OAKLAND, CA 94612
- SOILS ENGINEER: DEES & ASSOCIATES, INC.
501 MISSION STREET, SUITE 8A
SANTA CRUZ, CA 95060
- ARCHITECT: SPECTOR CORBETT ARCHITECTS, INC.
877 CEDAR STREET, SUITE 248
SANTA CRUZ, CA 95060
- EXISTING USE: PARKING LOT
- PROJECT AREA: 1.23± AC
- OWNERSHIP AND MAINTENANCE: OWNED AND MAINTAINED BY SANTA CRUZ METROPOLITAN TRANSIT DISTRICT
- THIS PROPERTY LIES IN THE JURISDICTION OF:
 - FIRE PROTECTION: CENTRAL FIRE PROTECTION DISTRICT
 - DOMESTIC WATER: CITY OF SANTA CRUZ
 - SANITARY SEWER: SANTA CRUZ SANITATION DISTRICT
 - STORM DRAIN WITHIN PUBLIC STREET/EASEMENT: CITY OF SANTA CRUZ
- ASSESSOR PARCEL NUMBERS: 02505406

- BENCHMARK: ELEVATIONS SHOWN ARE NAVD88 BASED ON SANTA CRUZ COUNTY AND CALTRANS DISTRICT 5 BENCHMARKS. THE FOLLOWING BENCHMARKS WERE TIED TO VERTICALLY TO CONTROL THE NETWORK OF ADJUSTMENTS:
POINT: PM1486 SCR1 DN323 ELEVATION: 112.06 DESCRIPTION: CT LEAD & TACK
POINT: BM-44A ELEVATION: 99.79 DESCRIPTION: SCC BM
- BASIS OF BEARINGS: THE COORDINATES AND BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCS83, ZONE 3, (2017.50) IN ACCORDANCE WITH THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819; SAID COORDINATES (US SURVEY FEET) AND BEARINGS ARE BASED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING CALIFORNIA SPATIAL REFERENCE NETWORK:
P212 (N)1811539.974 (E)6163514.713 (Elev.)230.96
P213 (N)1899375.801 (E)6127479.738 (Elev.)656.51
P534 (N)1849474.814 (E)6054667.384 (Elev.)782.18
SODB (N)1886225.298 (E)6146305.297 (Elev.)3341.36
- TOPOGRAPHY: PREPARED BY MARK THOMAS & COMPANY, INC., DATED DECEMBER 15, 2020
- FLOOD ZONE: ZONED AE
SANTA CRUZ COUNTY PARCEL INFORMATION DETAIL REPORT
MAP NUMBER: 06087C0351E
EFFECTIVE DATE: FEBRUARY 2, 2021

VICINITY MAP
NO SCALE

RESUBMITTAL 07 / 30 / 2021

A 1x3 grid. The middle cell contains a pattern of small circles arranged in a 2x2 grid.

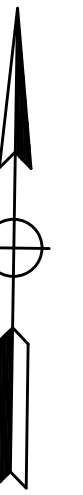
	PARATRANSIT BUS SPACES	32
	PASSENGER CAR SPACES	24
	ACCESSIBLE PARKING SPACES	2
	CLEAN AIR VEHICLE SPACES	1

32

24

2

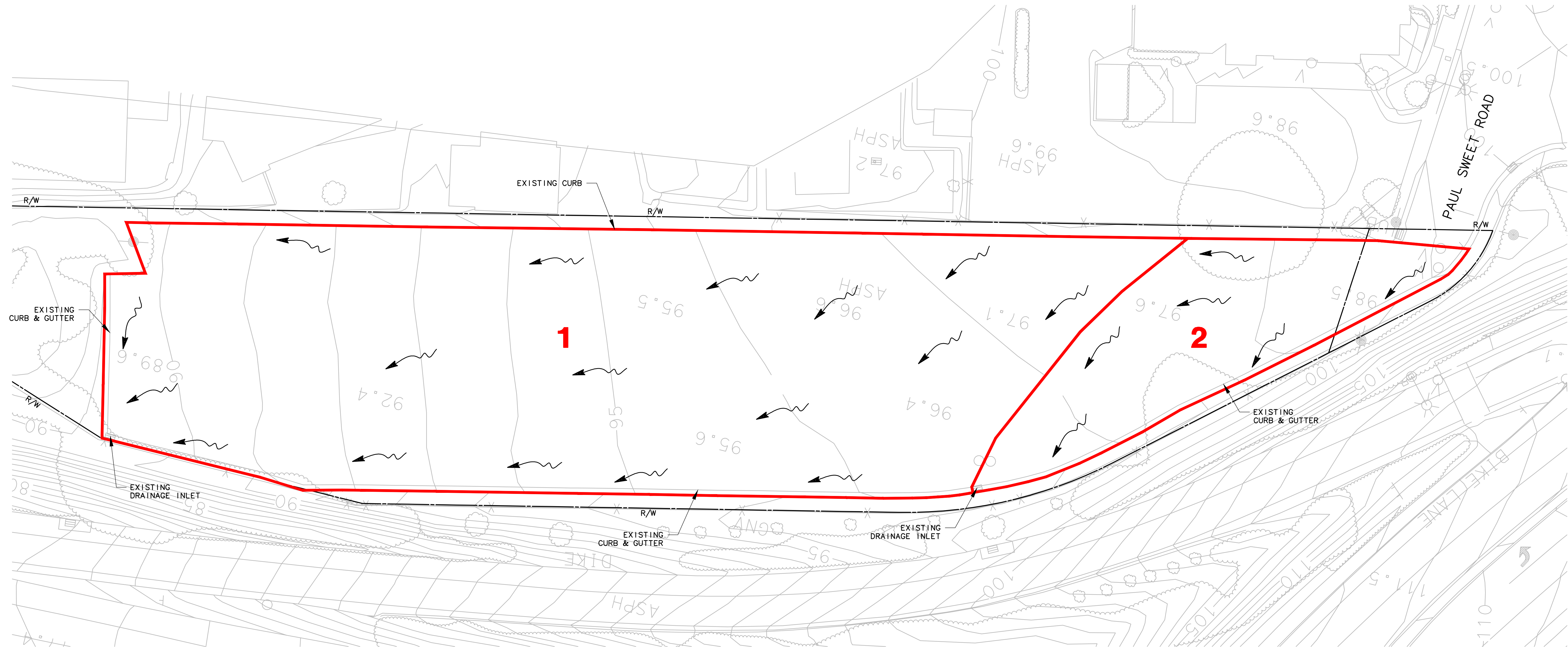
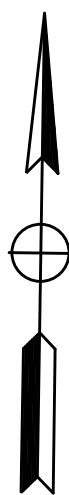
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PROJECT No.	SJ-20107
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LEGEND:

- # DRAINAGE MANAGEMENT AREA NUMBER
- DRAINAGE BOUNDARY
- - - RIGHT-OF-WAY
- ~ DIRECTION OF FLOW

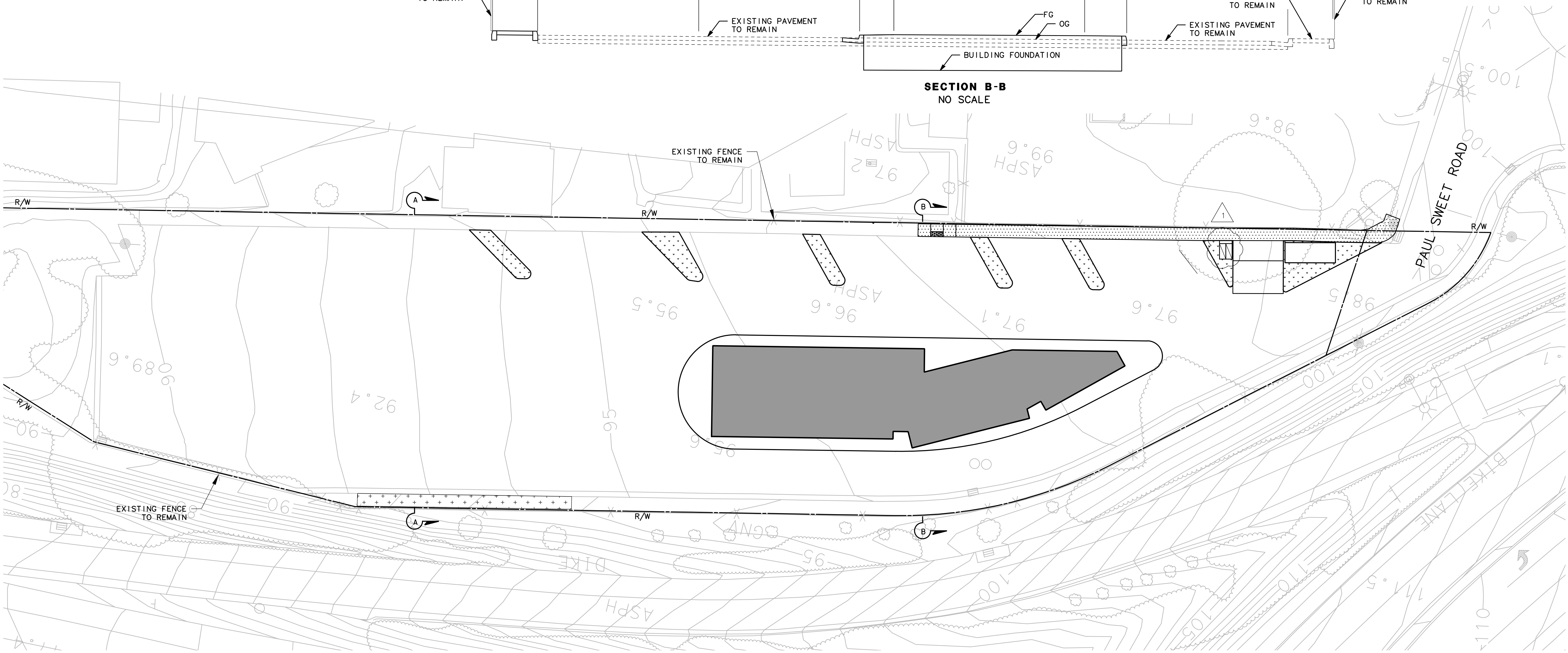
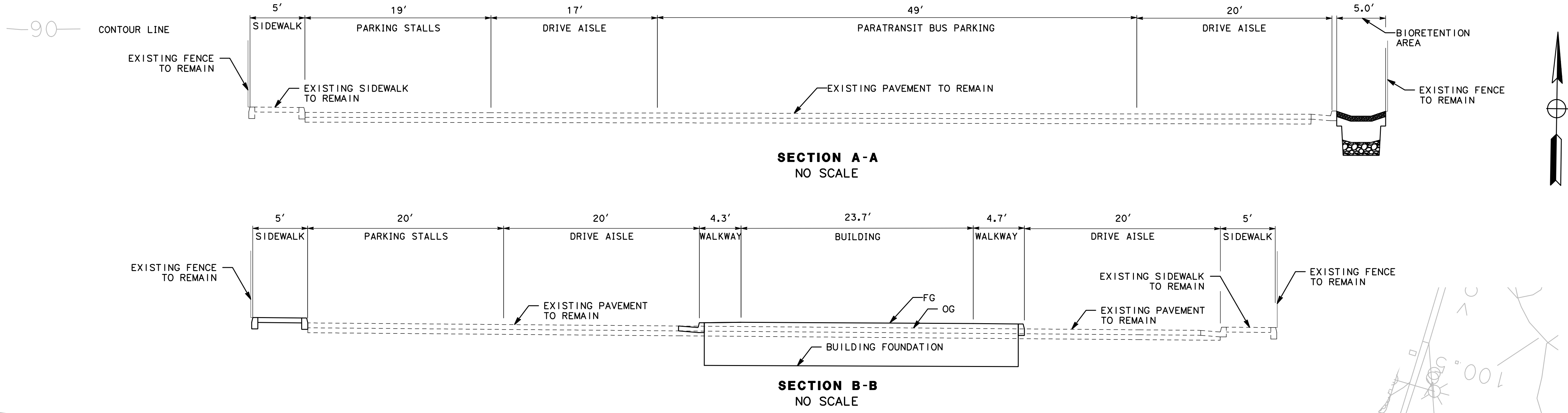


RESUBMITTAL 07 / 30 / 2021

DRAWN BY: <u>CK</u>	<div>PARATRANSIT FACILITY</div> <div>SANTA CRUZ METROPOLITAN TRANSIT DISTRICT</div> <div>EXISTING DRAINAGE PLAN</div> <div>C3</div>	<div><div> MARK THOMAS</div><div>360 22nd STREET, SUITE 501 OAKLAND, CA 94612 (510) 844-5600 WWW.MARKTHOMAS.COM</div></div>	<div><div>SANTA CRUZ METRO</div><div>110 VERNON STREET SANTA CRUZ, CA 95060</div></div>	<u>07/30/2021</u>
DESIGNED BY: <u>AL</u>				SHEET
CHECKED BY: <u>AL</u>				<u>9 of 18</u>
SCALE: <u>1" = 20'</u>				PROJECT No.
				<u>SJ-20107</u>

LEGEND:

- CONCRETE SIDEWALK
- LANDSCAPE AREA
- PROPOSED BUILDING FOOTPRINT
- STORMWATER TREATMENT FACILITIES
- CASE C ADA RAMP
- RIGHT-OF-WAY



RESUBMITTAL 07/30/2021

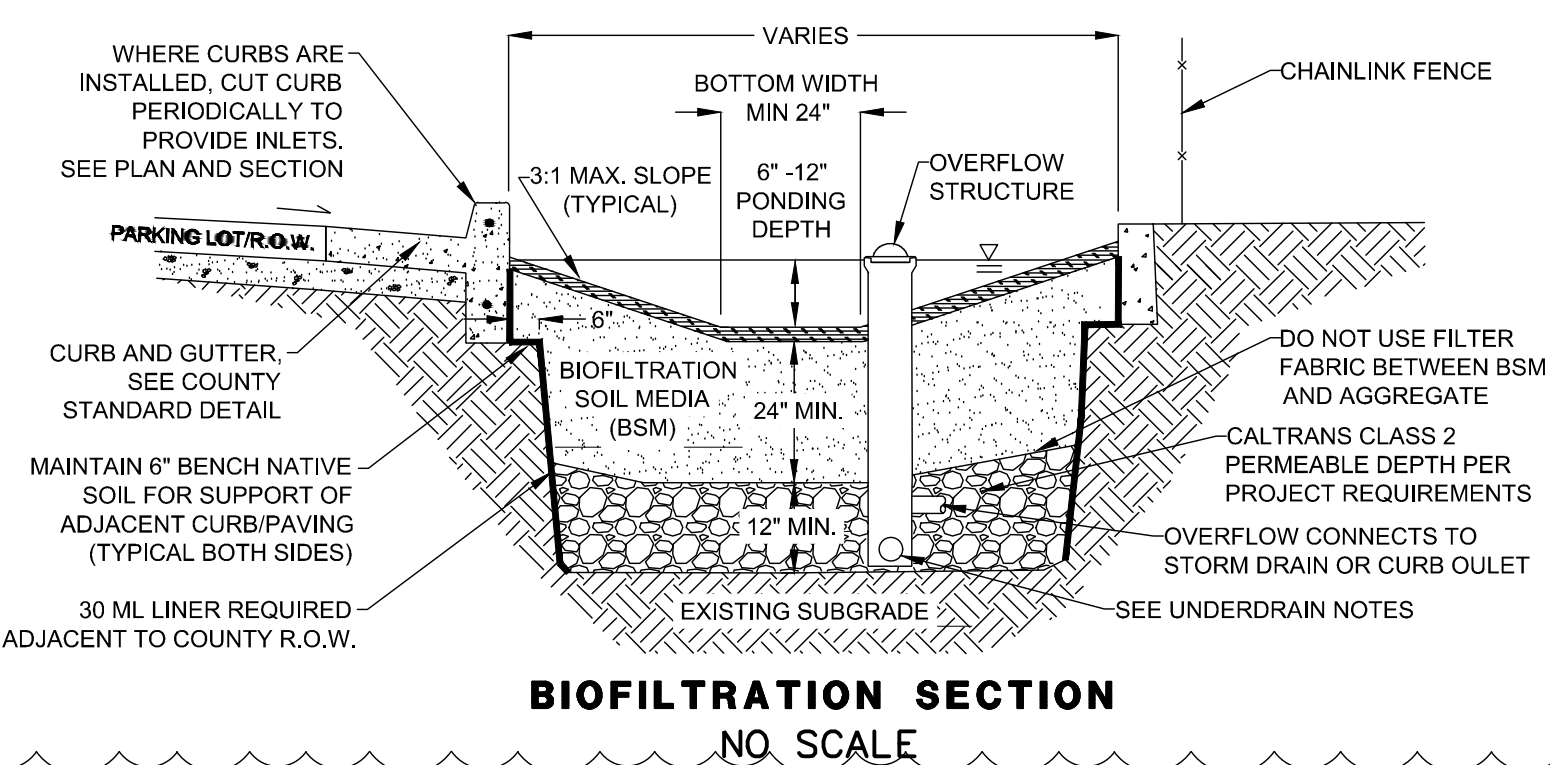
LEGEND:

- # DRAINAGE MANAGEMENT AREA NUMBER
- DRAINAGE BOUNDARY
- NEW IMPERVIOUS SURFACE
- BIORETENTION AREA
- DETENTION AREA (SEE DETAIL SHEET C7)
- LANDSCAPE AREA

BIOFILTRATION NOTES:

- DESIGN NOTES:**
- FACILITY DESIGN AND SIZING SHALL MEET REQUIREMENTS IN PART 3, STORM WATER MANAGEMENT OF THE COUNTY'S DESIGN CRITERIA
 - MULCH DEPTH 2-3". USE OF MULCH BELOW PONDING HIGH WATER MARK IS OPTIONAL. PREFERRED MULCH TYPE: AGED, STABILIZED, NON-FLOATING.
 - MINIMIZE LONGITUDINAL SLOPE. MAXIMUM SLOPE OF BOTTOM: 6% WITH CHECK DAMS AND/OR STAIR STEPPING.
 - BIOFILTRATION SOIL MEDIA (BSM): MINIMUM INFILTRATION RATE 5 IHR. USE CONCRETE SAND (60-70%) MEETING ASTM C33 SPECIFICATIONS AND STABLE, WEED-FREE COMPOST (30-40%) MIXTURE.
 - MINIMUM CURB DEPTH ALONG COUNTY RIGHT-OF-WAY SHALL BE 24". STEEL REINFORCEMENT IS REQUIRED FOR PLANTER WALLS INSTALLED ALONG COUNTY RIGHT-OF-WAY.

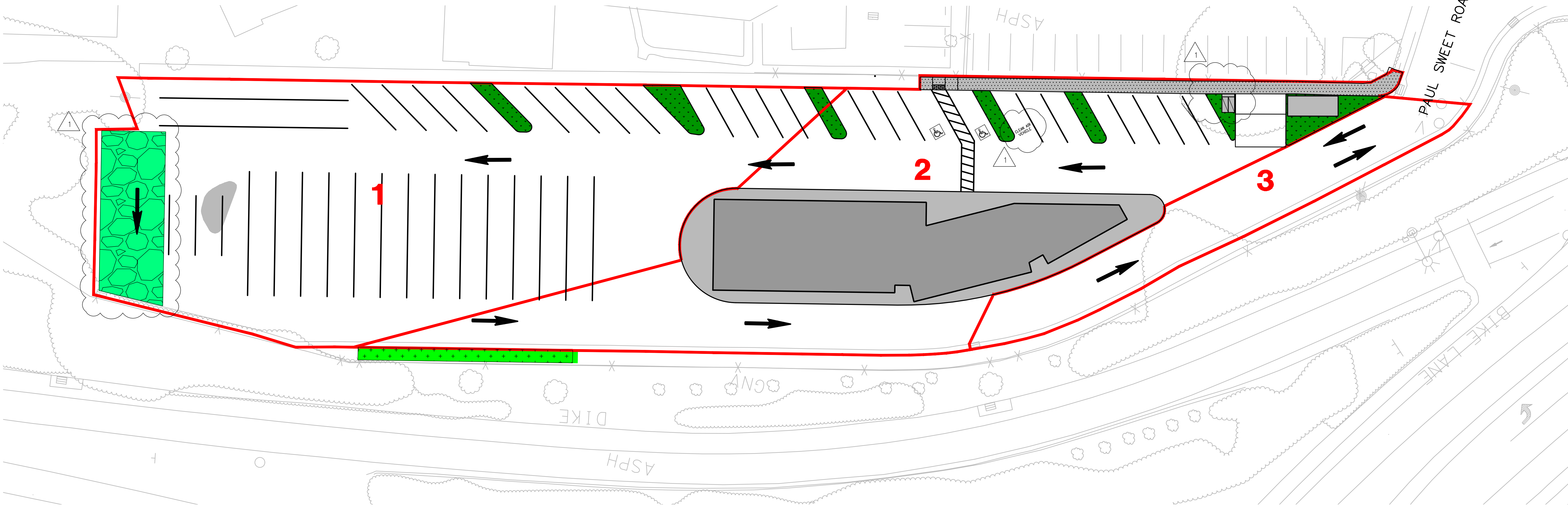
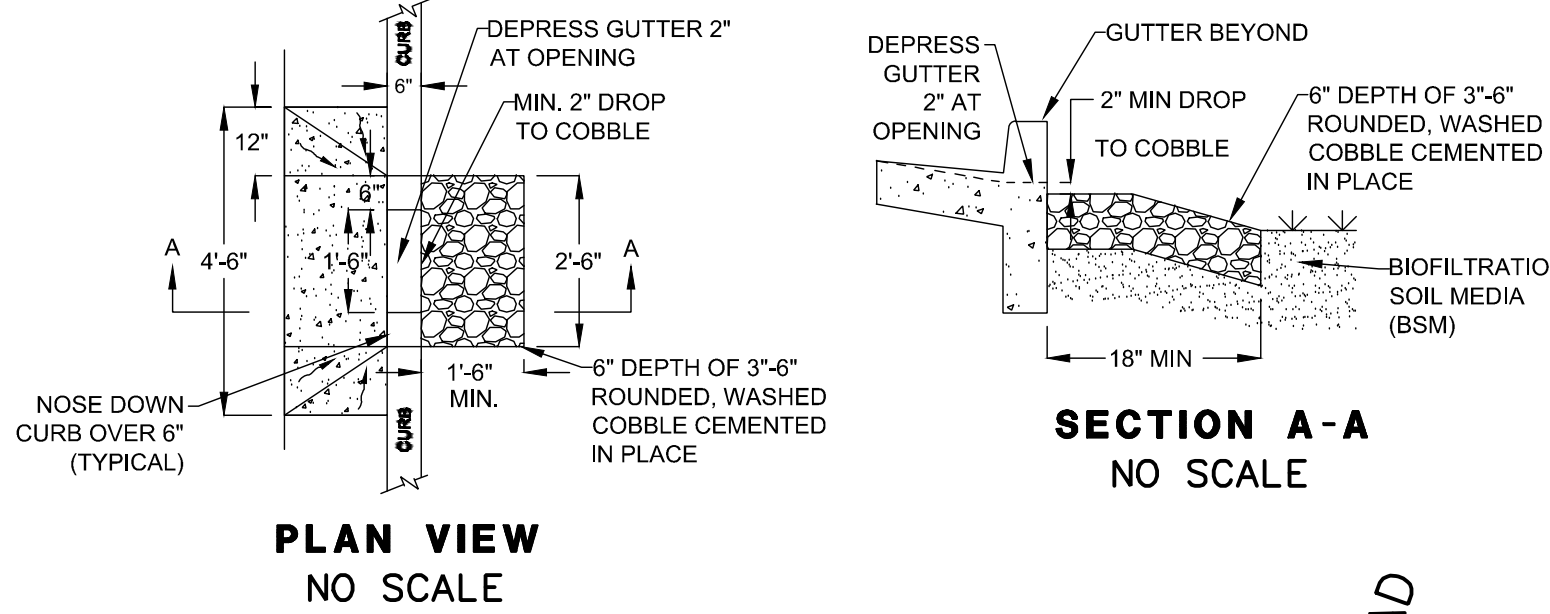
- CONSTRUCTION NOTES:**
- SCARIFY SUBGRADE BEFORE INSTALLING BIOFILTRATION AREA AGGREGATE AND BSM.
 - COMPACT EACH 6" LIFT OF BSM WITH LANDSCAPE ROLLER OR BY LIGHTLY WETTING. IF WETTING, ALLOW TO DRY OVERNIGHT BEFORE PLANTING.
 - DO NOT WORK WITHIN BIOFILTRATION AREA DURING RAIN UNDER WET CONDITIONS.
 - KEEP HEAVY MACHINERY OUTSIDE BIOFILTRATION AREA LIMITS.
- UNDERDRAIN NOTES:**
- USE MIN. 4" DIA. PVC SDR36 PERFORATED PIPE. INSTALL NEAR THE TOP OF AGGREGATE LAYER WITH HOLES FACED DOWN.
 - UNDERDRAIN DISCHARGE SHALL BE NO LOWER THAN THE TOP OF THE AGGREGATE LAYER. UNDERDRAIN SLOPE MUST BE FLAT.
 - PROVIDE 4" MIN. DIAMETER CAPPED AND THREADED PVC CLEANOUT FOR UNDERDRAIN, WITH SWEEP BEND.



TOTAL NEW AND REWORKED IMPERVIOUS SURFACE 8544 SF

BIORETENTION AREAS SUMMARY

DMA NUMBER	TOTAL AREA	EXISTING IMPERVIOUS AREA TO REMAIN	NEW IMPERVIOUS AREA	NEW PERVIOUS AREA	CALCULATED BIORETENTION AREA (FT ²)	DESIGNED BIORETENTION AREA (FT ²)	CALCULATED BIORETENTION SURFACE VOLUME (FT ³)	DESIGNED BIORETENTION SURFACE VOLUME (FT ³)	CALCULATED BIORETENTION STORAGE VOLUME (FT ³)	DESIGNED BIORETENTION STORAGE VOLUME (FT ³)	TREATED IMPERVIOUS SURFACE
1	22924	22321	182	421	10	-	17.5	-	50	-	-
2	20848	11760	8362	726	419	435	733.25	761.25	2095	2175	8700
3	4573	4573	-	-	-	-	-	-	-	-	-



RESUBMITTAL 07/30/2021

DRAWN BY: CK
DESIGNED BY: AL
CHECKED BY: AL
SCALE: 1" = 20'

C5

PARATRANSIT FACILITY
SANTA CRUZ METROPOLITAN TRANSIT DISTRICT
STORMWATER CONTROL PLAN

MARK THOMAS
360 22nd STREET, SUITE 501
OAKLAND, CA 94612
(510) 844-5600
WWW.MARKTHOMAS.COM



110 VERNON STREET
SANTA CRUZ, CA 95060

DATE
07/30/2021
SHEET
11 of 18
PROJECT No.
SJ-20107

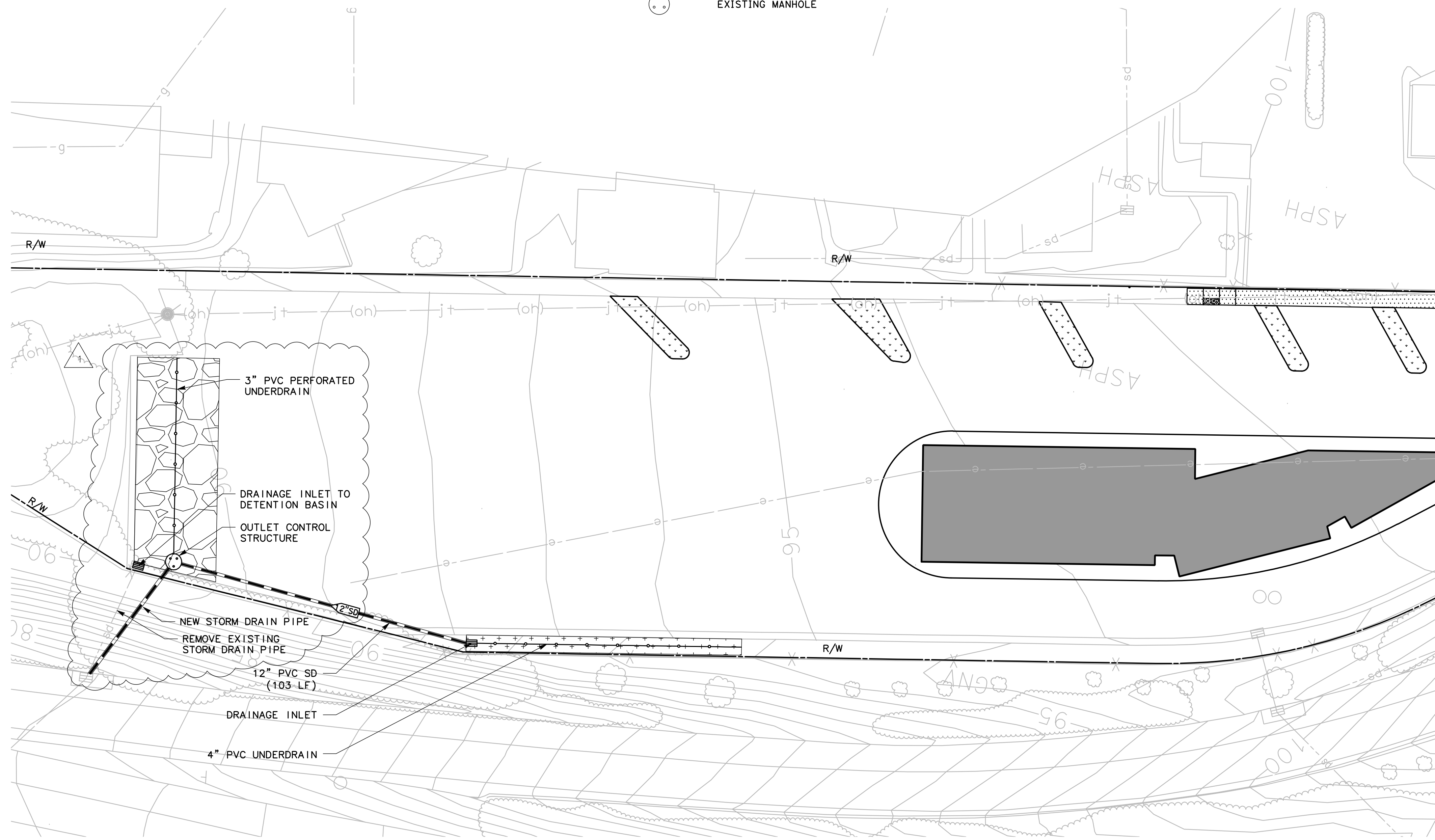
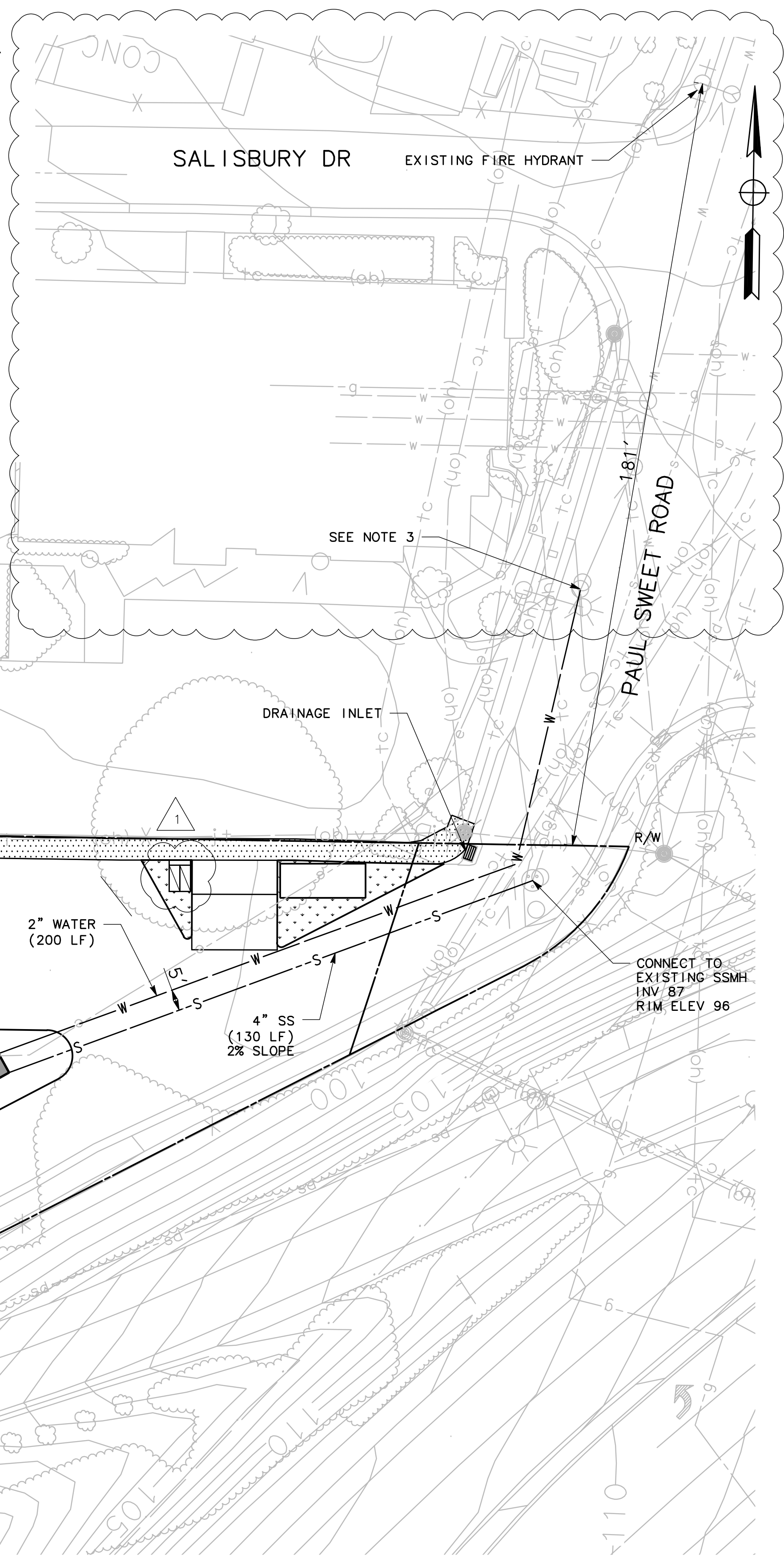
NOTES:

- 1) FIVE FEET CLEAR HORIZONTAL DISTANCE SHALL BE MAINTAINED BETWEEN WATER SERVICE LATERALS AND SANITARY SEWER LATERALS. THREE FEET CLEAR DISTANCE SHALL BE MAINTAINED BETWEEN WATER SERVICE LATERALS AND OTHER UTILITY LINES. IF THERE IS NO ALTERNATIVE BUT TO INSTALL A SANITARY SEWER LATERAL WITHIN THE MINIMUM CLEAR DISTANCE, THE ENGINEER MAY ALLOW THE INSTALLATION IF THE SANITARY SEWER LATERAL IS ENCASED IN CONCRETE.
- 2) FOR BIORETENTION DETAIL, SEE STORMWATER CONTROL PLAN.
- 3) THE REPORTED WATERLINE (PER SANTA CRUZ CITY WATER DEPARTMENT) FLOW RATE IS APPROXIMATELY 2,500 GPM @ 20 PSI.

LEGEND:

- CONCRETE SIDEWALK
- LANDSCAPE AREA
- PROPOSED BUILDING FOOTPRINT
- STORMWATER DETENTION FACILITIES
- STORMWATER TREATMENT FACILITIES
- CASE C ADA RAMP
- PROPOSED DRAINAGE INLET TYPE G0
- EXISTING MANHOLE

- EXISTING GAS
- EXISTING SANITARY SEWER
- EXISTING STORM DRAIN
- EXISTING TELECOM
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UTILITY WATER
- EXISTING JOINT UTILITIES
- STORM DRAIN PIPE
- PROPOSED SANITARY SEWER
- PROPOSED WATER
- PROPOSED UNDERDRAIN
- RIGHT-OF-WAY



RESUBMITTAL 07/30/2021

DRAWN BY:	CK
DESIGNED BY:	AL
CHECKED BY:	AL
SCALE:	1" = 20'

C6

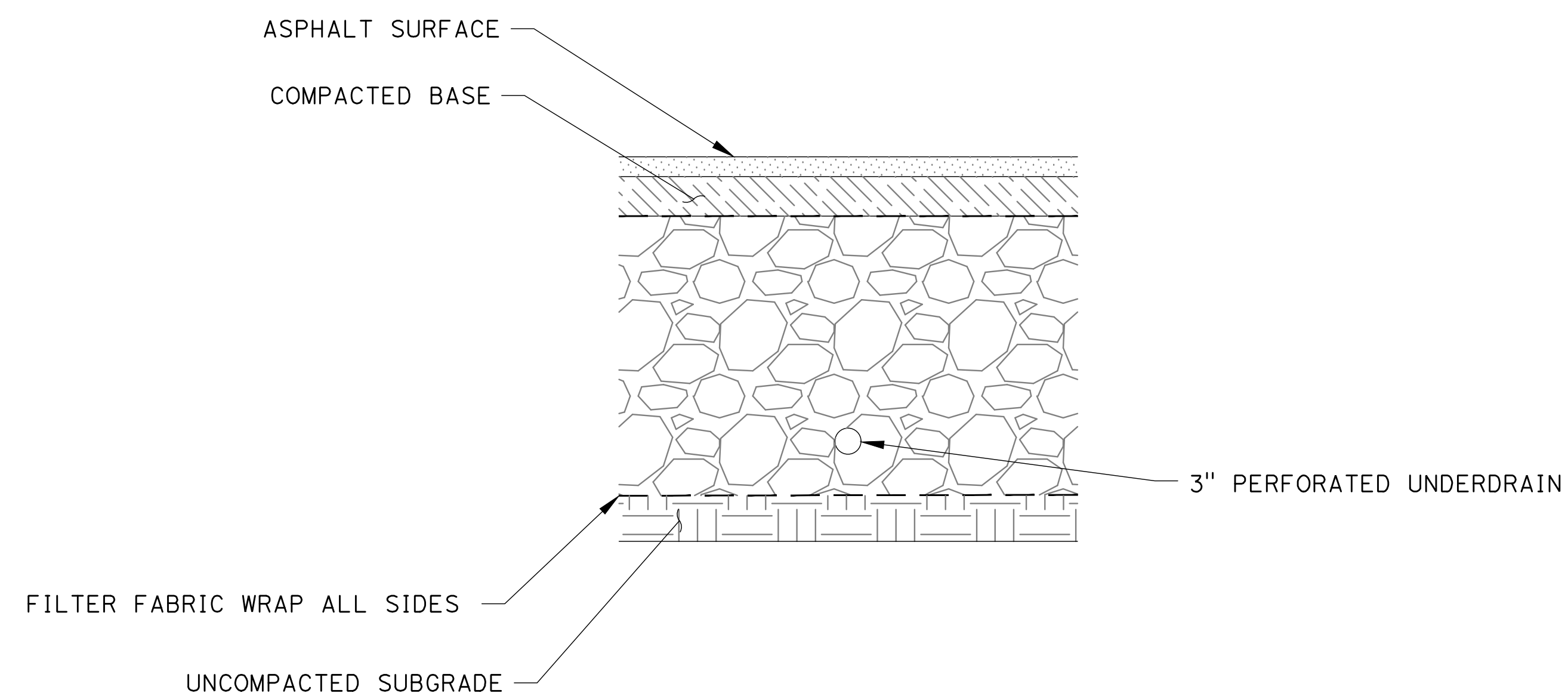
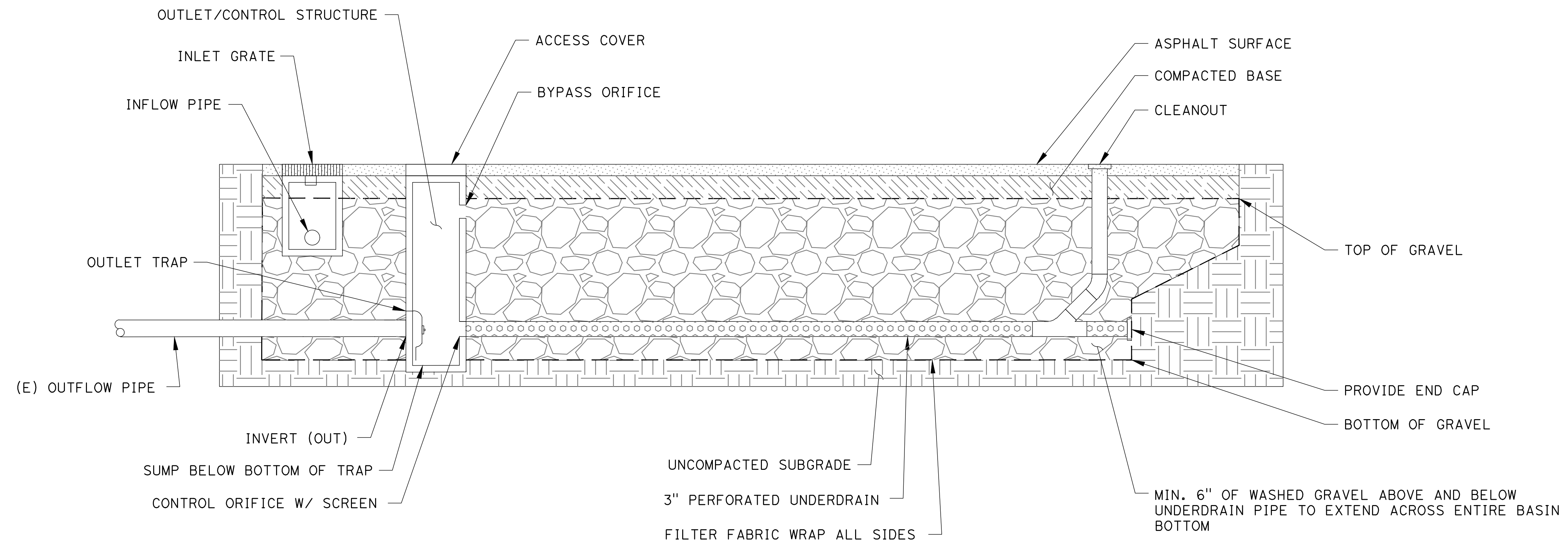
PARATRANSIT FACILITY
SANTA CRUZ METROPOLITAN TRANSIT DISTRICT
UTILITY PLAN

MARK THOMAS
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OAKLAND, CA 94612
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WWW.MARKTHOMAS.COM




110 VERNON STREET
SANTA CRUZ, CA 95060

DATE	07/30/2021
SHEET	12 of 18
PROJECT No.	SJ-20107



RESUBMITTAL 07 / 30 / 2021

DRAWN BY: CK	PARATRANSIT FACILITY SANTA CRUZ METROPOLITAN TRANSIT DISTRICT DETENTION BASIN DETAIL	 MARK THOMAS <small>360 22nd STREET, SUITE 501 OAKLAND, CA 94612 (510) 844-5600 WWW.MARKTHOMAS.COM</small>	 <small>110 VERNON STREET SANTA CRUZ, CA 95060</small>	DATE 07/30/2021
DESIGNED BY: AL				SHEET 13 of 18
CHECKED BY: AL				PROJECT No. SJ-20107
SCALE: 1" = 20'				

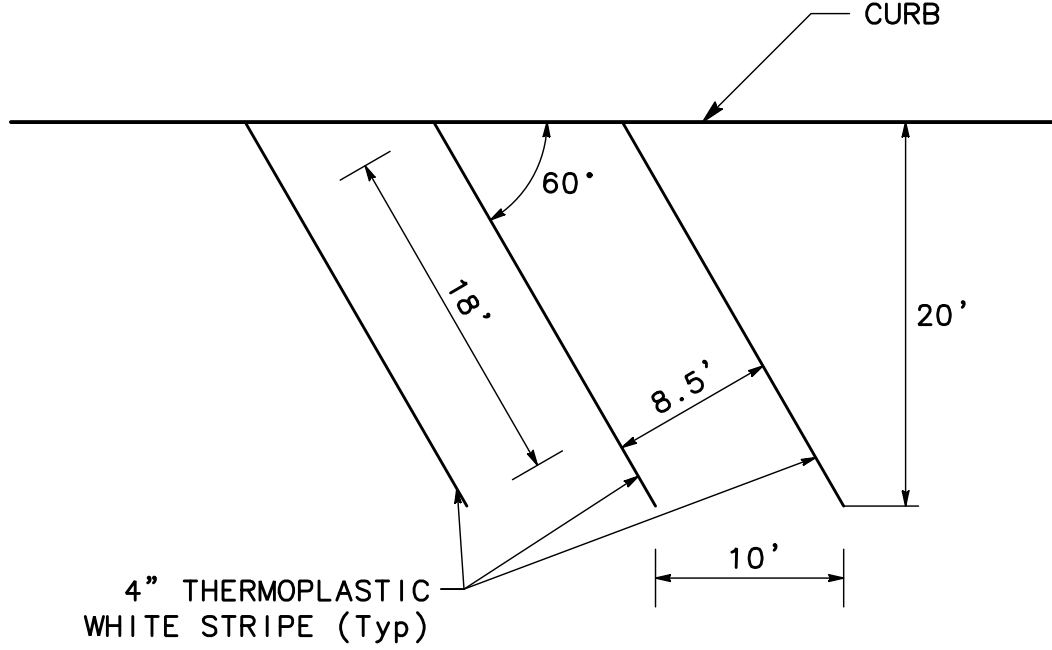
C7

GENERAL NOTES:

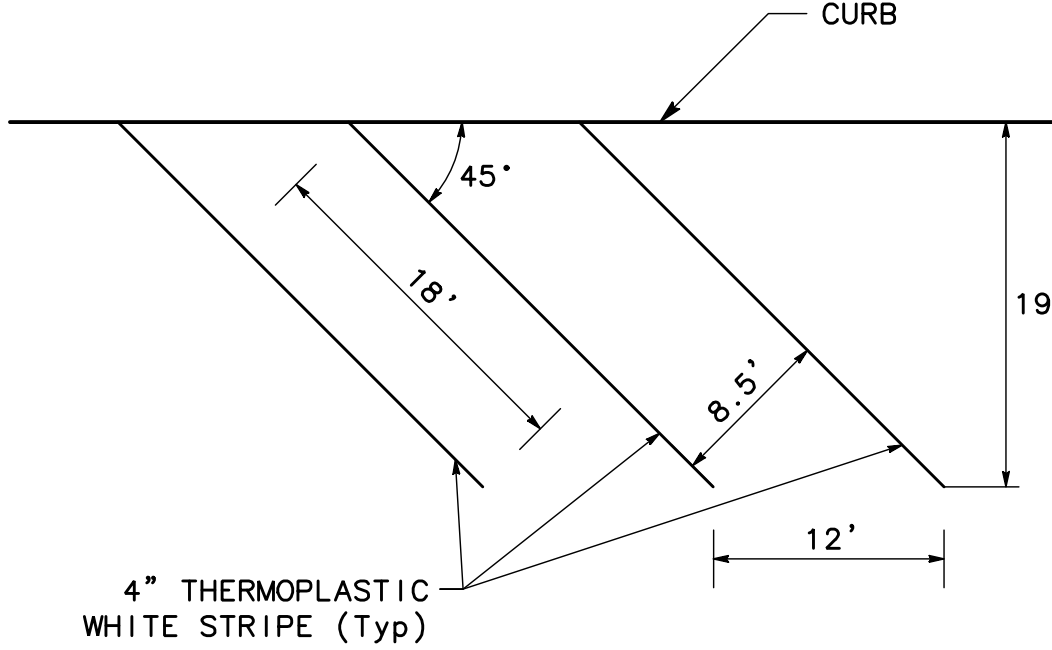
1. REMOVE CONFLICTING EXISTING STRIPING AND MARKING.
2. ALL PERMANENT STRIPING AND PAVEMENT MARKING SHALL BE THERMOPLASTIC.
3. FOR DETAILS NOT SHOWN, SEE CALTRANS Std. PLANS AND CA MUTCD, PART 2 AND PART 3.
4. FOR SIGNING AND STRIPING SEE CALTRANS Std. PLANS, UNLESS OTHERWISE NOTED.

LEGEND:

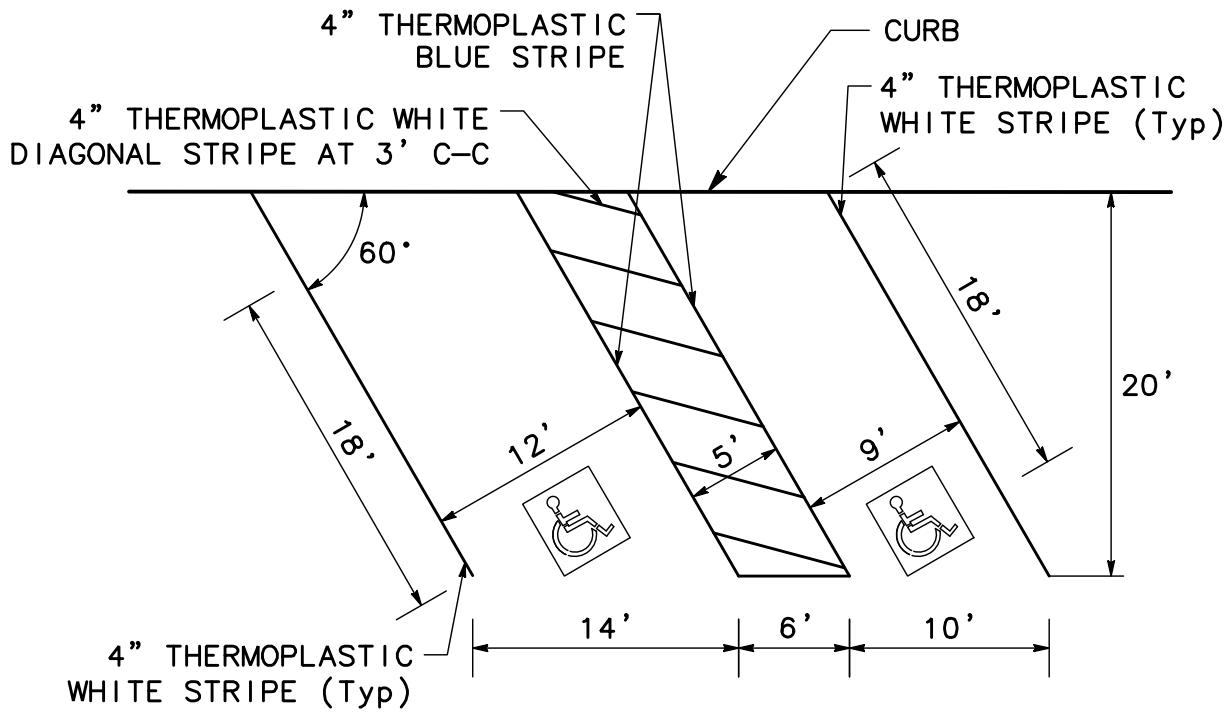
- TYPE I 10'-0" ARROW, SEE Std PLAN A24A
- NEW SIGN
- EXIST SIGN
- REMOVE SIGN
- EXISTING SIGN TO REMAIN
- NEW SIGN
- ISA SYMBOL, SEE Std PLAN A24C



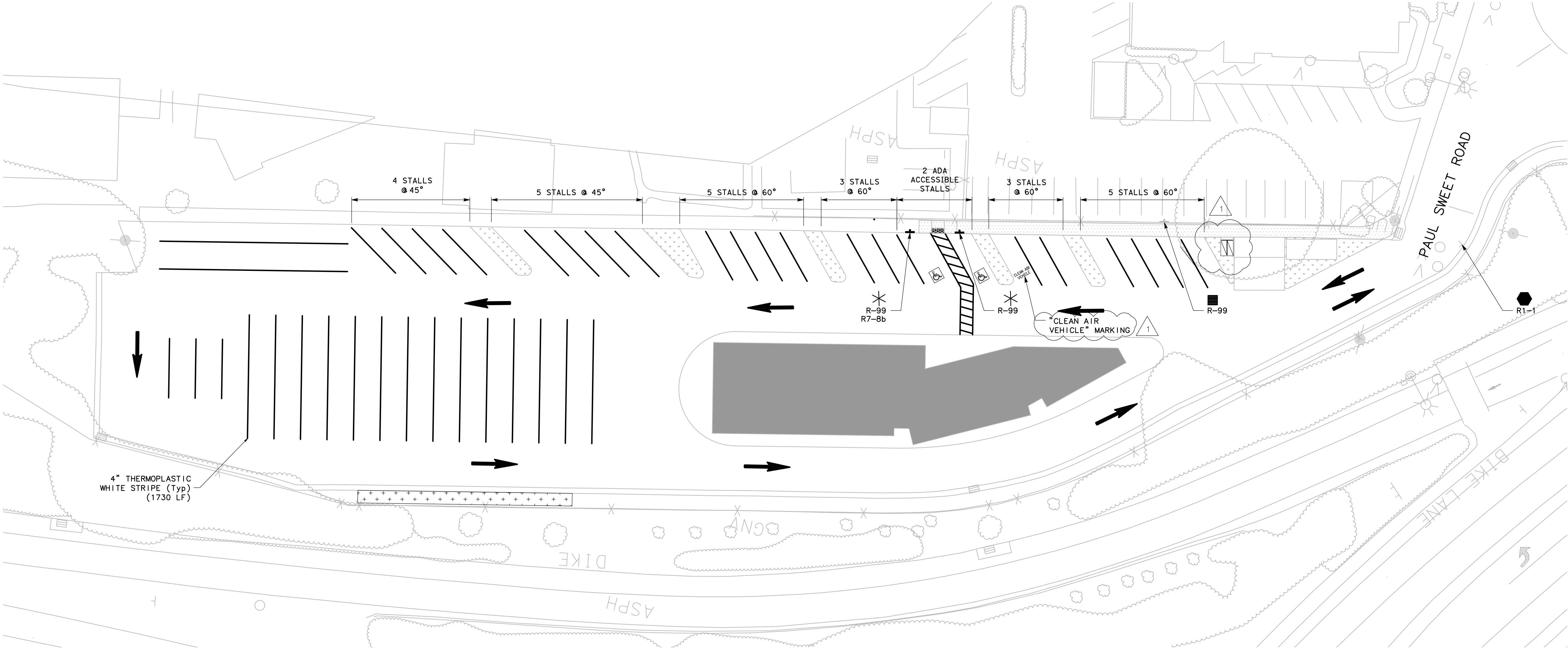
60° PARKING STALL DETAIL
NO SCALE



45° PARKING STALL DETAIL
NO SCALE



ADA ACCESSIBLE PARKING STALL DETAIL
NO SCALE



RESUBMITTAL 07/30/2021

DRAWN BY:	CK
DESIGNED BY:	AL
CHECKED BY:	AL
SCALE:	1" = 20'

C8

PARATRANSIT FACILITY
SANTA CRUZ METROPOLITAN TRANSIT DISTRICT
SIGNING AND STRIPING PLAN

MARK THOMAS
360 22nd STREET, SUITE 501
OAKLAND, CA 94612
(510) 844-5600
WWW.MARKTHOMAS.COM



110 VERNON STREET
SANTA CRUZ, CA 95060

DATE	07/30/2021
SHEET	14 of 18
PROJECT No.	SJ-20107

Landscape design for:
CD Metro Para Transit Facility
Paul Sweet Road
Santa Cruz, CA 95065
A.P.N.: 025-054-06

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Landscape Architect - 2021
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REQUIREMENTS AND PROPERTY LINES. OWNER
SHALL ACQUIRE ALL NECESSARY PERMITS
REQUIRED TO PERFORM WORK SHOWN ON PLANS.
BASE INFORMATION HAS BEEN PROVIDED BY THE
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ACCURACY OF SAID PROPERTY LINE BOUNDARIES,
FENCE LINES OR PROPERTY CORNERS.

REVISIONS

PRELIMINARY
LANDSCAPE

JOB NO. 202105

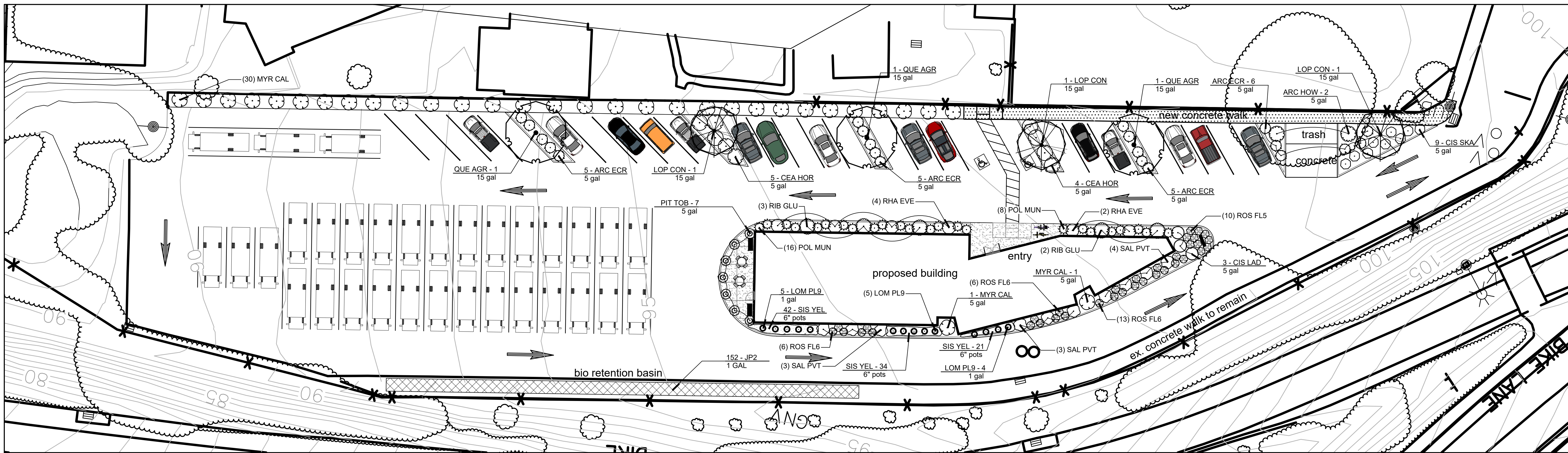
SCALE as noted

DRAWN MA
















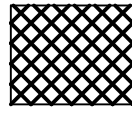

CHECK JC/MA

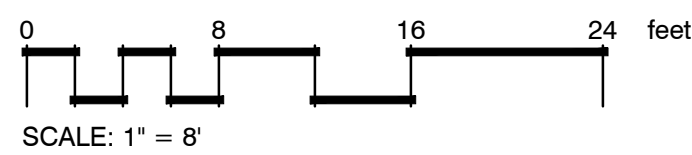
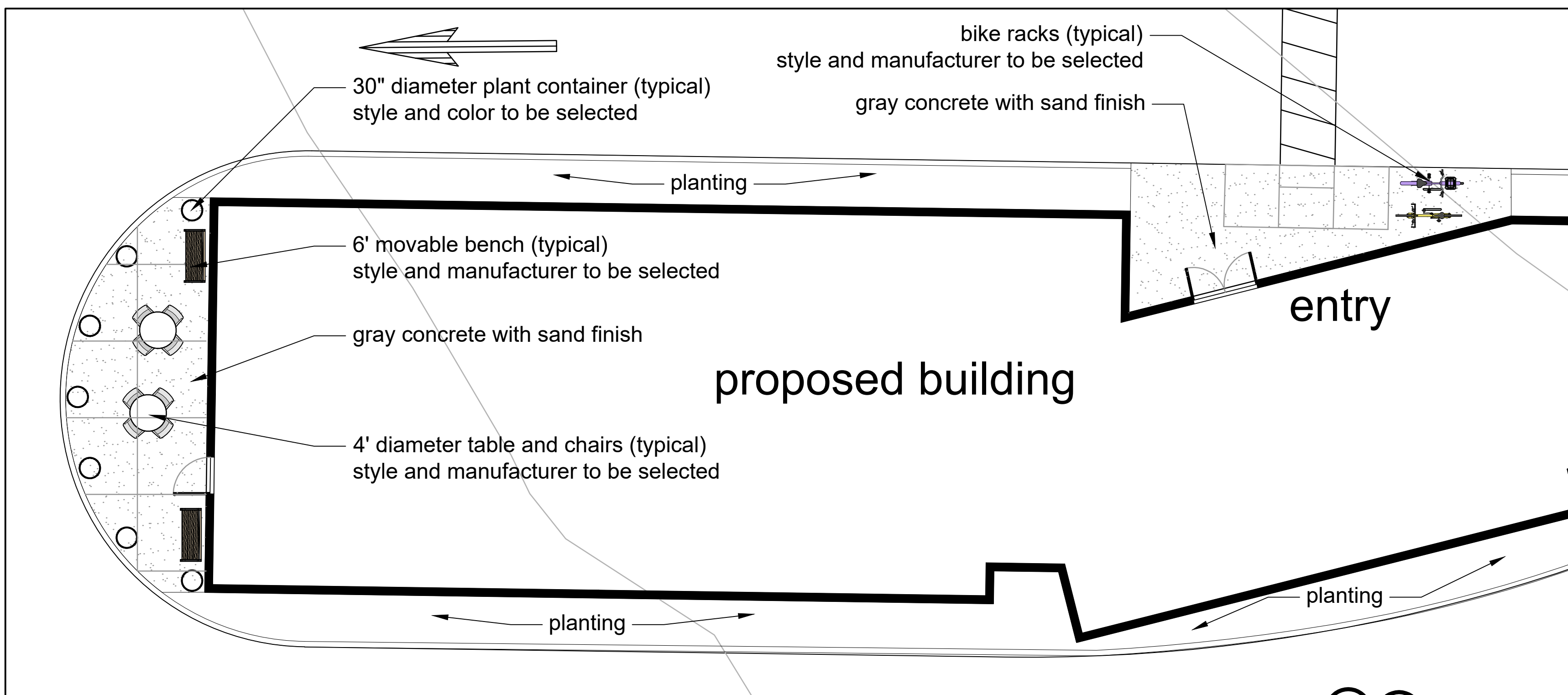
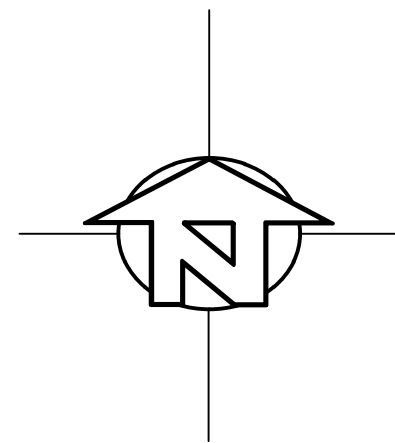
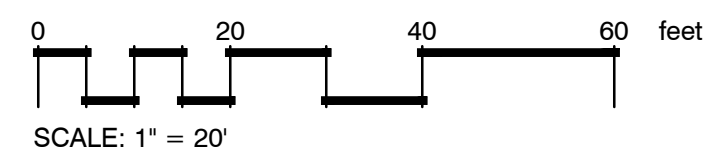
DATE 3.1.2021

SHEET **L-1.0**



PLANT SCHEDULE

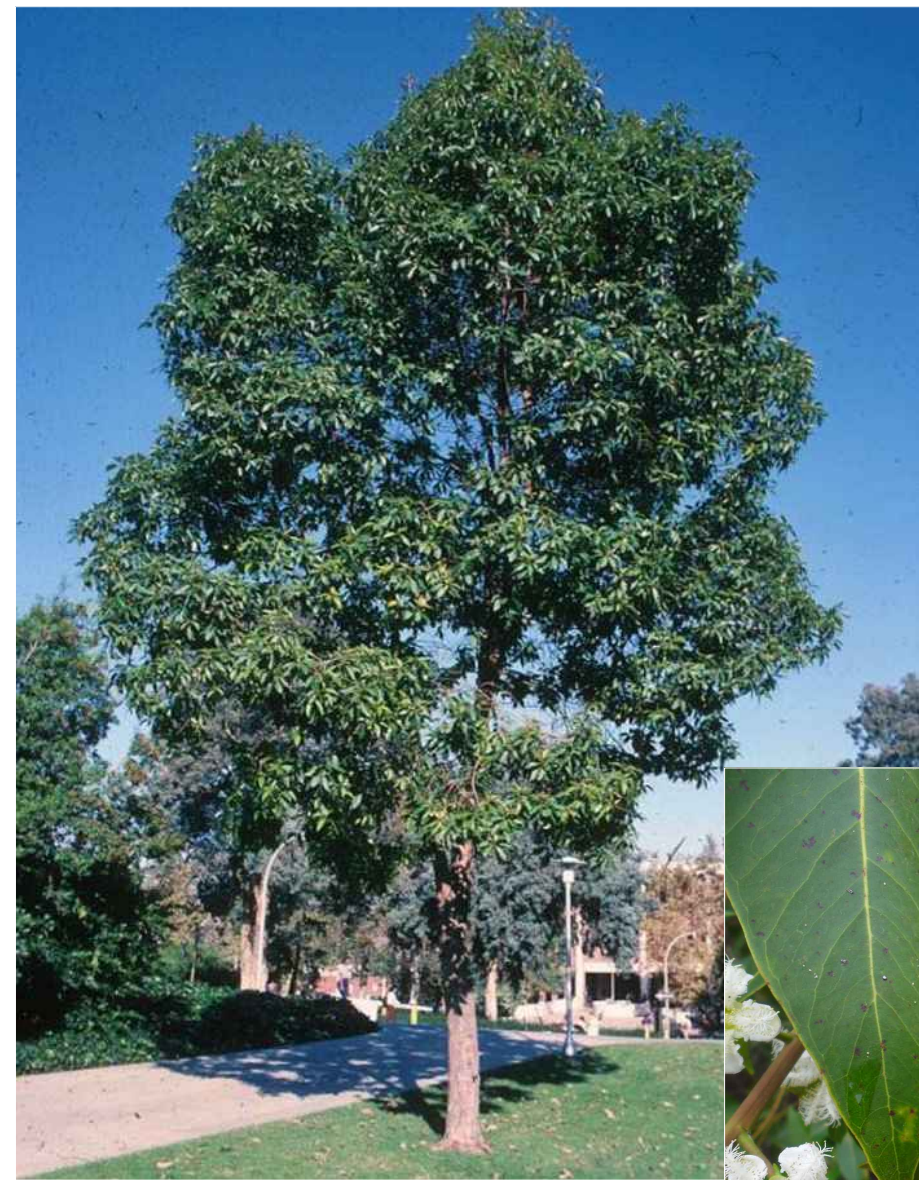
TREES	CODE	BOTANICAL / COMMON NAME	CONT	QTY	CAL NATIVE	
	LOP CON	Lophostemon confertus / Brisbane Box	15 gal	3	NO	
	QUE AGR	Quercus agrifolia / Coast Live Oak	15 gal	3	YES	
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	QTY	CAL NATIVE	
	ARC HOW	Arctostaphylos densiflora `Howard McMinn` / Howard McMinn Vine Hill Manzanita	5 gal	2	YES	
	ARC ECR	Arctostaphylos edmundsii `Carmel Sur` / Carmel Sur Little Sur Manzanita	5 gal	21	YES	
	CEA HOR	Ceanothus griseus horizontalis / Carmel Creeper	5 gal	9	YES	
	CIS LAD	Cistus ladanifer / Crimson Spot Rockrose	5 gal	3	YES	
	CIS SKA	Cistus x skanbergii / Coral Rockrose	5 gal	9	YES	
	MYR CAL	Myrica californica / Pacific Wax Myrtle	5 gal	32	YES	
	PIT TOB	Pittosporum tobira / Mock Orange	5 gal	7	NO	
	POL MUN	Polystichum munitum / Western Sword Fern	5 gal	24	YES	
	RHA EVE	Rhamnus californica `Eve Case` / California Coffeeberry	5 gal	6	YES	
	RIB GLU	Ribes sanguineum glutinosum / Red Flowering Currant	5 gal	5	YES	
	ROS FL5	Rosa x `Flower Carpet Red` / Rose	5 gal	10	NO	
	ROS FL6	Rosa x `Flower Carpet White` / Rose	5 gal	25	NO	
	SAL PVT	Salvia leucantha `Purple Velvet` / Purple Velvet Mexican Bush Sage	5 gal	10	NO	
GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	QTY	CAL NATIVE	
	LOM PL9	Lomandra longifolia Platinum Beauty / Variegated Mat Rush	1 gal	14	NO	
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	SPACING	QTY	CAL NATIVE
	JP2	Juncus patens / California Gray Rush	1 GAL	30" o.c.	152	NO
	SIS YEL	Sisyrinchium californicum / Yellow Eyed Grass	6" pots	18" o.c.	97	YES



TREES



Quercus agrifolia / Coast Live Oak



Lophostemon confertus / Brisbane Box



SHRUBS



Arctostaphylos x 'Emerald Carpet'
/Emerald Carpet Manzanita



Arctostaphylos densiflora 'Howard McMinn'
Howard McMinn Vine Hill Manzanita



Ceanothus griseus horizontalis / Carmel Creeper



Cistus ladanifer
Crimson Spot Rockrose



Cistus x skanbergii / Coral Rockrose



Myrica californica / Pacific Wax Myrtle



Pittosporum tobira / Mock Orange



Polystichum munitum
Western Sword Fern



Rhamnus californica 'Eve Case'
California Coffeeberry



Ribes sanguineum glutinosum
Red Flowering Currant



Rosa x 'Flower Carpet Red'
Red Flower Carpet Rose



Rosa x 'Flower Carpet White'
White Flower Carpet Rose



Salvia leucantha 'Purple Velvet'
Purple Velvet Mexican Bush Sage

RETENTION BASIN PLANTS



Juncus patens / California Gray Rush

GROUND COVERS



Sisyrinchium californicum / Yellow Eyed Grass

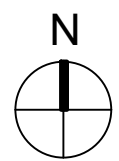
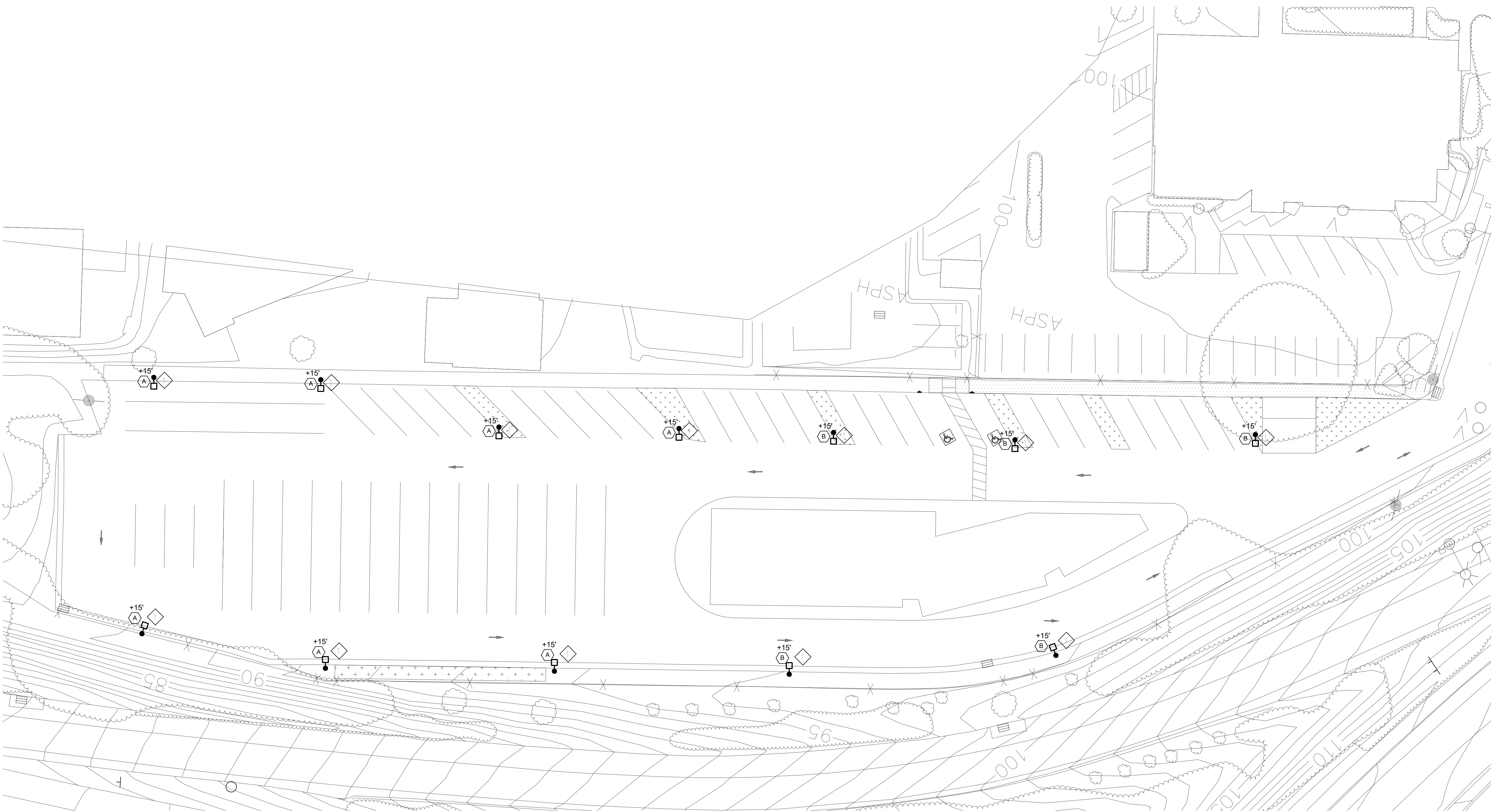
ORNAMENTAL GRASSES



Lomandra longifolia Platinum Beauty
Variegated Mat Rush

REVISIONS

PLANT IMAGES



1 LIGHTING SITE PLAN

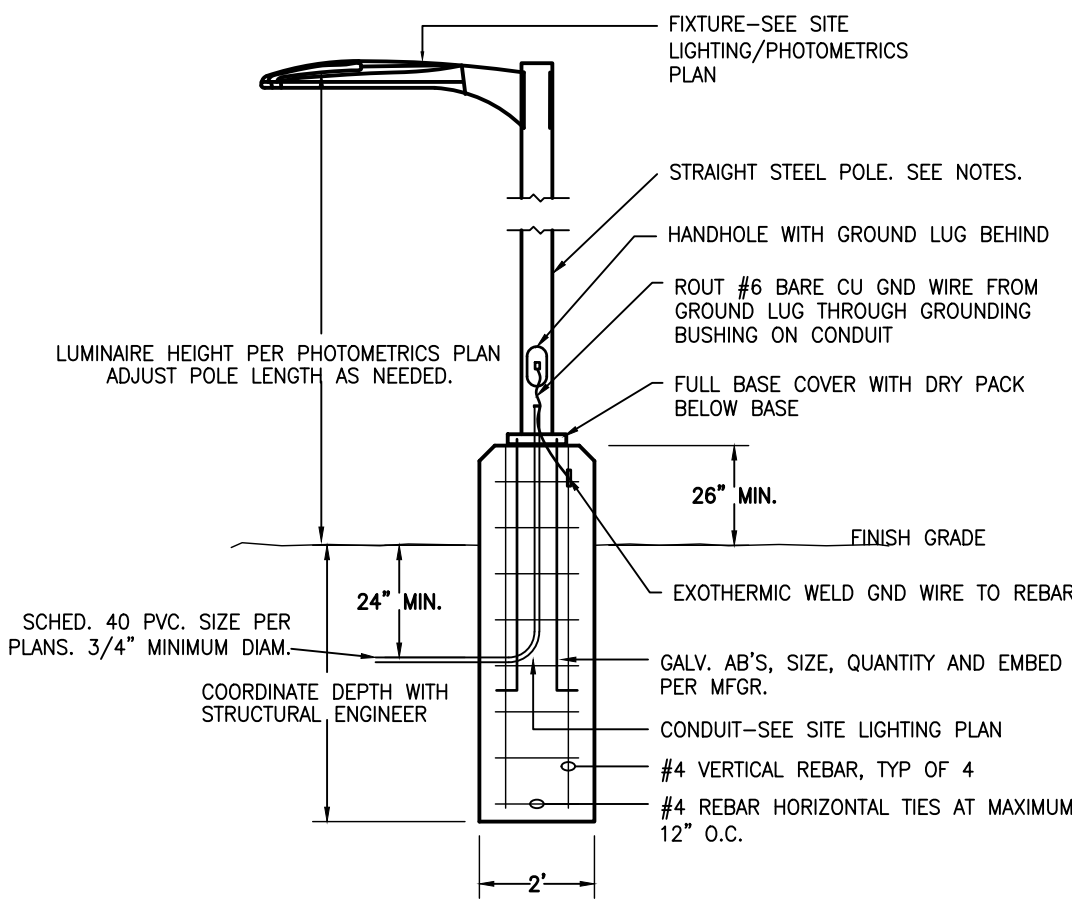
SCALE: 1" = 20' - 0"

SHEET NOTES



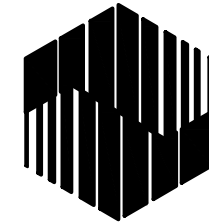
NEW POLE MOUNTED LIGHTING FIXTURE. SEE FIXTURE SCHEDULE AND MOUNTING DETAIL.

Approx. Qty.	Type	Fixture			Electrical				Notes
		Description	Manufacturer / Part #	BUG Rating	Control Method	Driver	Volt.	Watt.	
7	A	Wet-listed pole-mounted area light with Type 4 distribution - Parking Lot	Fixture: Cree OSQ-A-NM-4ME-B-40K-UL-BZ-OSQBLSMF Mount: Cree OSQ-DA-BZ Accessory: Cree OSQ-DA-BZ, XA-SENSRM, OSQ-BLSMF Pole: LytePole 401-3011-13	B1 U0 G2	PC/TC	Integral	120	86	*Contractor shall provide pole metal parts in matching finish.
5	B	Wet-listed pole-mounted area light with Type 3 distribution - Parking Lot	Fixture: Cree OSQ-A-NM-3ME-B-40K-UL-BZ-OSQBLSMF Mount: Cree OSQ-DA-BZ Accessory: Cree OSQ-DA-BZ, XA-SENSRM, OSQ-BLSMF Pole: LytePole 401-3011-13	B1 U0 G2	PC/TC	Integral	120	86	*Contractor shall provide pole metal parts in matching finish.
General Notes:									
1. Contractor shall provide all parts necessary for a complete, functioning, and finished system. Provide all lighting fixtures as shown complete with all lamps, completely wired, controlled and securely attached to supports. 2. Where both written and pictorial fixture descriptions are provided, the written description shall take precedence and prevail. 3. Contractor shall provide and install fixtures to meet the standards and regulations of Underwriters Laboratories, state building codes, and local Building and Life Safety code agencies, and according to manufacturer recommendations. 4. All fixtures and workmanship shall be guaranteed free of defects and fully operational for a minimum of one year after the acceptance of the project by the Owner. Any fixtures or workmanship (excluding lamps) found to be defective during the warranty period will be either fixed or replaced by the Contractor at no cost to the Owner. 5. Fixtures are shown diagrammatically and do not indicate means and methods of installation. Verify exact location and spacing with Architect at the site during installation. Notify Architect about field conditions at variance with Contract Documents before commencing installation. 6. Provide adequate and sturdy support for each lighting fixture. Contractor shall be responsible for verifying weight and mounting method of all fixtures and furnish and install suitable supports. Fixture mounting assemblies shall comply with all local seismic codes and regulations. 7. At the completion of construction, Contractor shall clean lenses and reflectors of all lighting fixtures so as to render them free of any material, substance or film foreign to the fixture. Blemished, damaged, or unsatisfactory fixtures shall be replaced at no cost to Owner. 8. Contractor shall replace all burned-out or inoperative lamps, and inoperative ballasts in all fixtures before the building is accepted by the Owner so that all lighting fixtures will be in as-new operating condition. 9. Contractor shall review existing circuiting and verify new loads and panel capacity. Contractor shall notify Architect if a conflict between design documents and field conditions occur. 10. Where dimming control is noted, Contractor shall provide dimming control per manufacturer recommendations, control intent diagrams, and Engineer's direction. 11. Unless otherwise noted, all electrical fittings are to be concealed. Contractor shall notify Architect in writing if any electrical fittings are to be exposed due to field conditions.									



2 PARKING LOT POLE LIGHT DETAIL

SCALE: NOT TO SCALE



PRIME DESIGN GROUP
ELECTRICAL ENGINEERING SINCE 1990
303 POTRERO ST. SUITE 42-304
SANTA CRUZ, CA 95060
PHONE: (831) 430-3800
PDC PROJECT NO.: 20136.00
WWW.PRIMDSGN.COM

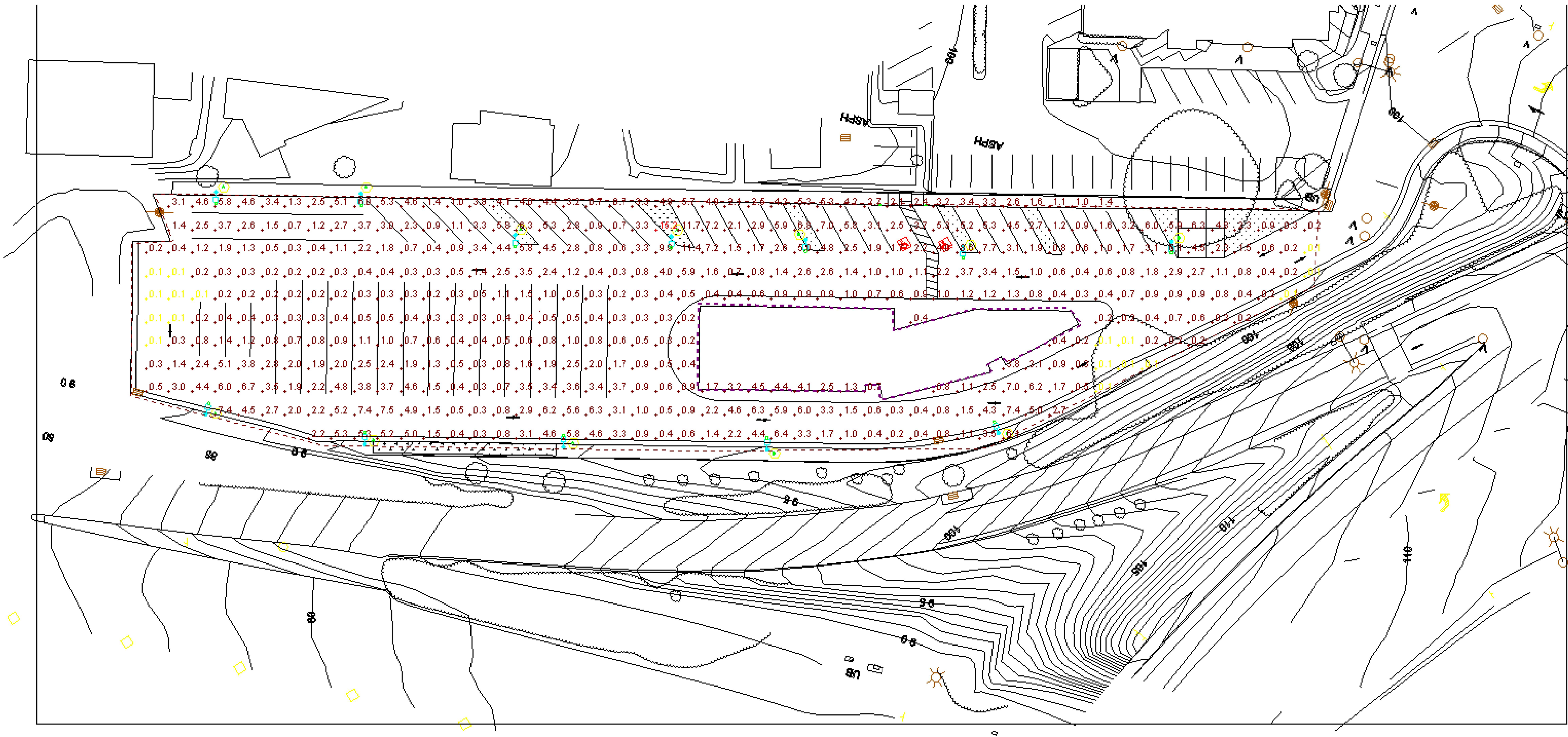
Revisions

Planning Application 03/01/2021

**SANTA CRUZ METRO
PARKING LOT**
PAUL'S SWEET ROAD
SANTA CRUZ, CA

Date: 02/11/2021
Scale: As Noted

E1



Schedule															
Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiplier	LLF	Wattage	Efficiency	Distribution
	A		7	Cree Inc	OSQ-A-xx-4ME-B-40K-ULxxxxx CONFIGURED FROM OSQ-A-xx-4ME-B-30K-ULxxxxx	Cree OSQ Series Area Luminaire, Type IV Medium Distribution, B Input Power Designator, 4000K CONFIGURED FROM Cree OSQ Series Area Luminaire, Type IV Medium Distribution, B Input Power Designator, 3000K	CONFIGURED FROM Eight Cree MDA LEDs	1	OSQ-A-XX-4ME-B-40K-ULXXXXX_CONFIGURED.ies	11425	1	1	86	100%	
	B		5	Cree Inc	OSQ-A-xx-3ME-B-40K-ULxxxxx CONFIGURED FROM OSQ-A-xx-3ME-B-30K-ULxxxxx	Cree OSQ Series Area Luminaire, Type III Medium Distribution, B Input Power Designator, 4000K CONFIGURED FROM Cree OSQ Series Area Luminaire, Type III Medium Distribution, B Input Power Designator, 3000K	CONFIGURED FROM Eight Cree MDA LEDs	1	OSQ-A-XX-3ME-B-40K-ULXXXXX_CONFIGURED.ies	11425	1	1	86	100%	

Statistics						
Description	Symbol	Avg	Min	Max/Min	Avg/Min	Max
Calc Zone #3	+	2.1 fc	0.1 fc	152.0:1	21.0:1	15.2 fc

Revisions
Planning Application 03/01/2021

SANTA CRUZ METRO
PARKING LOT
PAULS SWEET ROAD
SANTA CRUZ, CA