

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 251436

APN: 038-172-34

SITUS: 544 Seacliff Drive, Aptos, CA 95003

Proposal to construct a 498 square foot addition to an existing one-story 988 square foot single-family dwelling. Requires a Coastal Development Permit and parking exception for providing one off-street parking space on the property for a new 3-bedroom house.

Property is located on the northern side of Seacliff Drive (544 Seacliff Drive), approximately 100 feet southeastern from the intersection with Oakdale Drive.

OWNER: Dentoni Michael James & Valerie Ann

APPLICANT: Danielle Keenan

SUPERVISORIAL DISTRICT: 2

PLANNER: Alexandra Corvello, (831) 454 -3209

EMAIL: Alexandra.Corvello@santacruzcountyca.gov

Public comments must be received by 5:00 p.m. April 10, 2026.

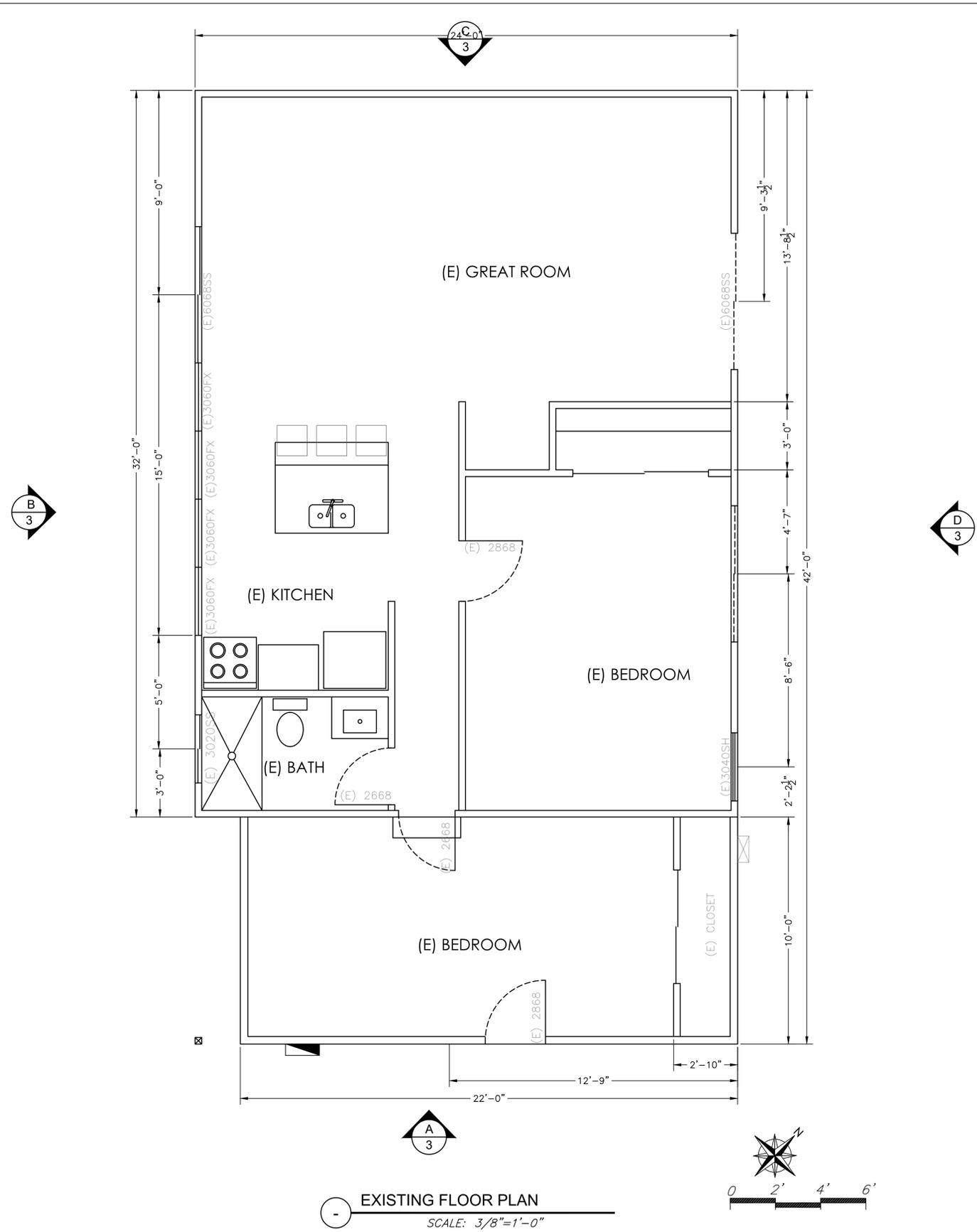
A decision will be made on or shortly after April 13, 2025.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. If you would like to request a public hearing be held for this item, please contact the project planner listed on this notice.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, contact the project planner identified above.

** This project requires a Coastal Development Permit which is appealable to the California Coastal Commission. After all local appeal periods have ended (grounds for appeal are listed in the County Code Section 13.20.110), approval of a Coastal Development Permit is appealable to the California Coastal Commission by filing an appeal. The appeal must be filed with the Coastal Commission within 10 business days of receipt by the Coastal Commission of notice of final local action. Alternately, an action by the Zoning Administrator may be appealed to the Planning Commission as described above.



EXISTING FLOOR PLAN
SCALE: 3/8"=1'-0"

WALL LEGEND	
	4" WALL

Owner: —
544 SEACLIFF DR.
APTOS, CA 95003

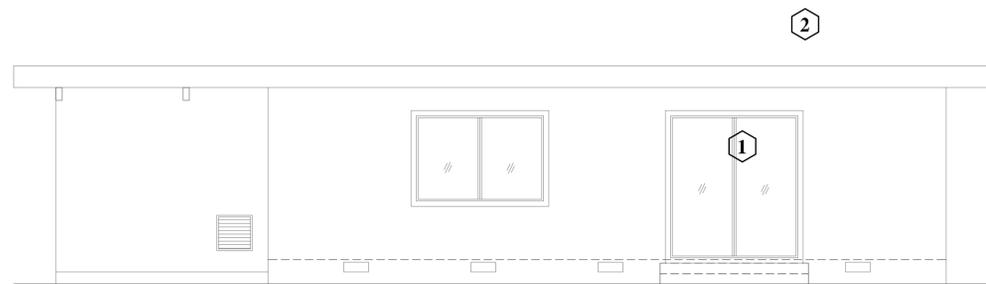
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FS				
Issue Date: 11-17-24				
Job No.: 24030				
Checked: DM				
Design By:				



ENGINEER: DAVE MENDOZA
1282 CORWIN DR.
MANTECA, CA 95337

544 SEACLIFF DR.
ADDITION
(E) FLOOR PLAN

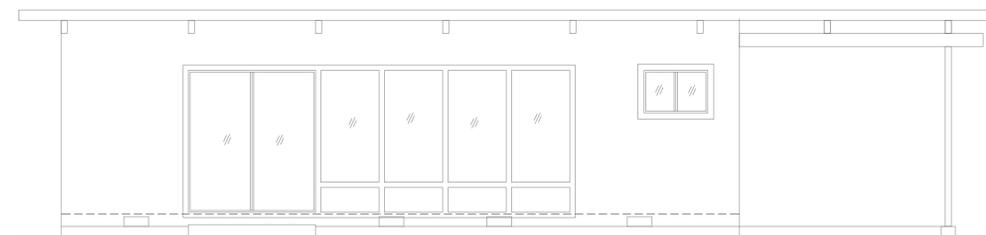
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OF	7



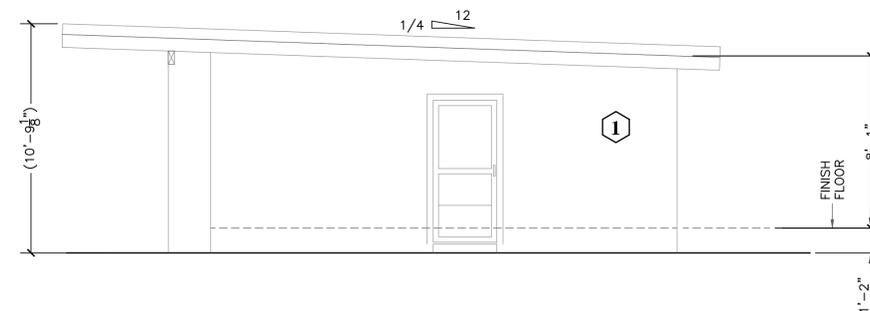
D (E) N.E. ELEVATION VIEW
SCALE: 1/4"=1'-0"



C N.W. ELEVATION VIEW
SCALE: 1/4"=1'-0"



B (E) S.W. ELEVATION VIEW
SCALE: 1/4"=1'-0"



A (E) S.E. ELEVATION VIEW
SCALE: 1/4"=1'-0"

KEY NOTE	
1	SIDING: T1-11 WOOD SIDING OVER TYVEK HOMEWRAP OVER 3/8" CDX x D.F. PLYWOOD OR OSB W/ 8d @ 6" PANEL EDGES & 8d @ 12" O.C. FIELD. W/ 0.19" GALVANIZED WEEP SCREED 6" FROM FINISH GRADE
2	ROOF: CARLISLE SURE-WELD TPO SINGLE PLY 60 MIL REINFORCED MEMBRANE (WHITE) ROOF DECKING SYSTEM OVER CARLISLE DENSDECK ROOF BOARD OVER SHEATHING. FLASH ALL SEAMS AND CORNERS PER MANUFACTURER'S RECOMMENDATIONS. (SEE FOR SPECIFICATION SHEETS ON DWG. A5)

Owner: —
544 SEACLIFF DR.
APTOS, CA 95003

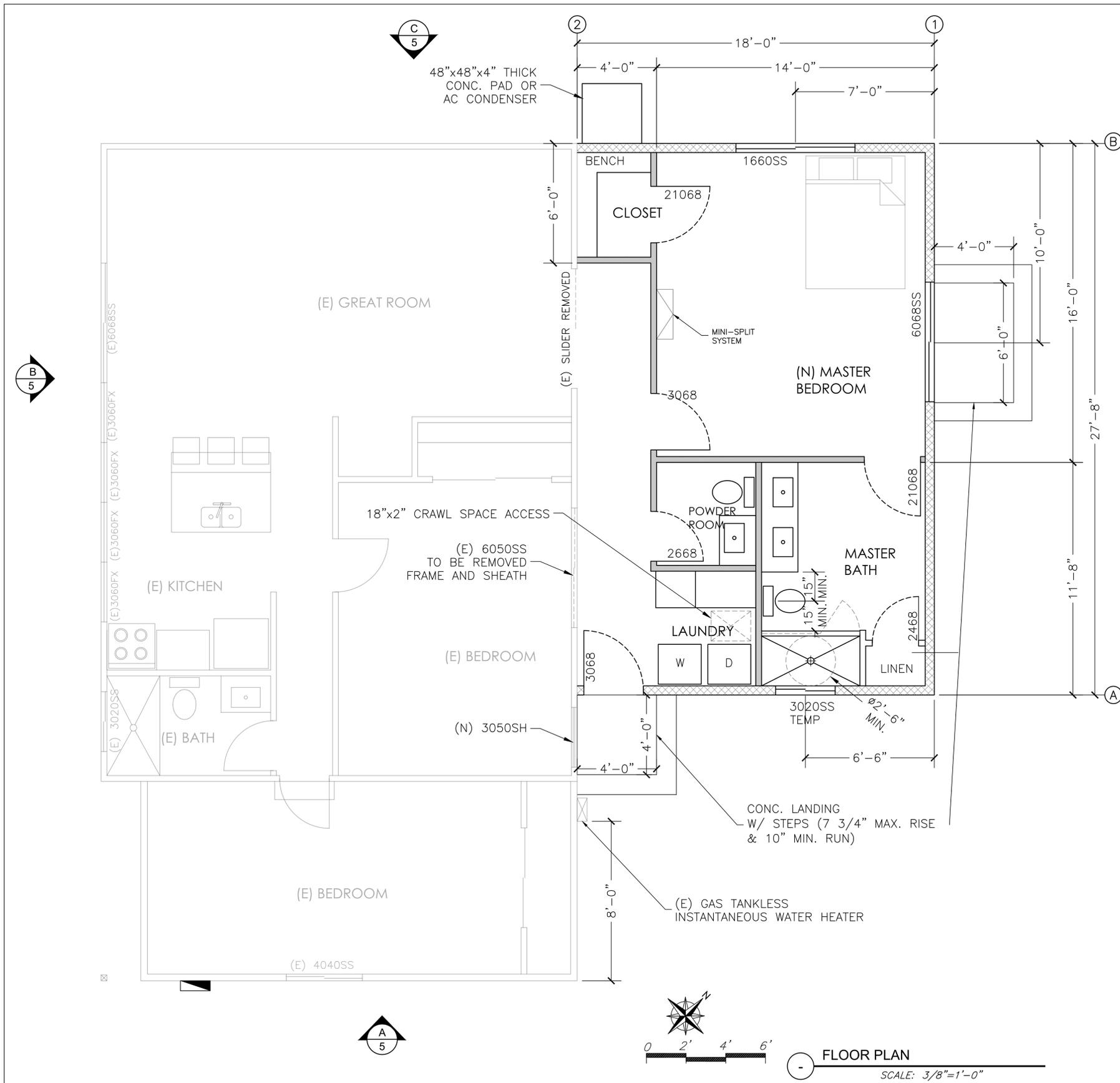
REVISIONS				
NO.	DATE	ISSUED FOR	BY	



ENGINEER: DAVE MENDOZA
1282 CORWIN DR.
MANTECA, CA 95337

544 SEACLIFF DR.
ADDITION
(E) ELEVATIONS VIEWS

DWG.
EL1
SHEET
3
OF 7



GENERAL NOTES

BATHROOM:

1. ALL SHOWER ENCLOSURES, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR AREA OF NOT LESS THAN 1024 SQUARE INCHES (0.66 m²) AND SHALL BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER (0.76 m) CIRCLE. THE MINIMUM AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT 70 INCHES (1.8 m) ABOVE THE SHOWER DRAIN OUTLET. (PLUMBING CODE SECTION 410.4)
2. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

LAUNDRY ROOM:

1. A 4" CLOTHES DRYER MOISTURE EXHAUST DUCT IS LIMITED TO A 14 FEET LENGTH WITH TWO ELBOWS FROM THE CLOTHES DRYER TO THE POINT OF TERMINATION. REDUCE THIS LENGTH BY 2 FEET FOR EVERY ELBOW IN EXCESS OF 2.

SPECIAL HAZARDS:

1. GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED.
2. EACH LIGHT OF SAFETY GLAZING MATERIAL INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A PERMANENT LABEL THAT SPECIFIES THE LABELER, AND STATES THAT SAFETY GLAZING MATERIAL HAS BEEN UTILIZED IN SUCH INSTALLATIONS.

GRADING AND FOUNDATION:

1. PROVIDE CORROSION RESISTANT WEEP SCREED BELOW THE STUCCO A MINIMUM OF 6" ABOVE EARTH OR 2" ABOVE PAVED AREA.
2. PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER AWAY FROM STRUCTURE.
3. SOIL BEARING CAPACITIES GIVEN IN THE 2022 EDITION OF THE U.B.C. AS 1500 POUNDS PER SQUARE FOOT (DL+LL) SHALL BE THE BASIS FOR DESIGN. ALL SPREAD AND CONTINUOUS FOOTINGS SHALL BEAR ON UNDISTURBED OR ENGINEERED SOIL.
4. PRIOR TO PLACING FILL MATERIAL, THE SUB-GRADE SHALL BE COMPACTED TO 90% RELATIVE COMPACTION FOR A DEPTH OF 6 INCHES.
5. CONCRETE COMPRESSIVE STRENGTH OF SLAB AND FOOTINGS SHALL BE NOT LESS THAN 2500 P.S.I. AT 28 DAYS. REINFORCEMENTS, ANCHOR BOLTS, AND HOLD-DOWN ANCHORS SHALL BE SECURED IN PLACE PRIOR TO CONCRETE POUR.
6. REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 40 FOR #4 AND SMALLER, GRADE 60 FOR #5 AND LARGER.

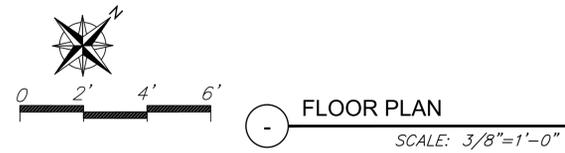
STRUCTURAL REQUIREMENTS:

1. ALL BOLT HOLES, OTHER LAG BOLT HOLES, SHALL BE DRILLED $\frac{1}{8}$ " TO $\frac{1}{16}$ " OVERSIZED.
2. ALL HORIZONTAL JOINTS OCCURRING IN BRACED WALL PANELS SHALL OCCUR OVER BLOCKING EQUAL IN SIZE TO THE STUDDING.
3. STRUCTURAL WOOD SHEAR WALLS SHALL BE COVERED WITH MINIMUM TWO LAYERS #15 FELT UNDERLAY PRIOR TO PLACING FINISH MATERIALS.
4. PLATE WASHERS ARE REQUIRED FOR ALL HOLD-DOWNS.
5. HOLD-DOWN CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE APPROVED PLATE WASHERS; AND HOLD-DOWNS SHALL BE TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.

WINDOWS	
SS	SINGLE SLIDER
SH	SINGLE HUNG
FX	FIXED WINDOW

WALL LEGEND	
	6" WALL
	4" WALL

PLUMBING FIXTURE REQUIREMENTS	
SHOWER HEADS	MAX. 1.8 GPM
LAVATORY FAUCETS	1.2 GPM
KITCHEN FAUCETS	MAX. 1.8 GPM
WATER CLOSETS	MAX. 1.28 GAL/FLUSH



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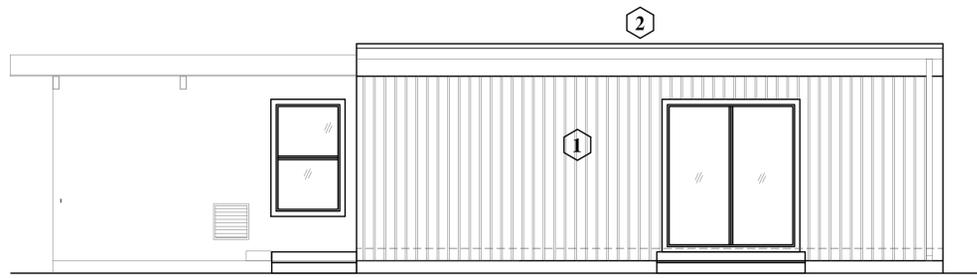
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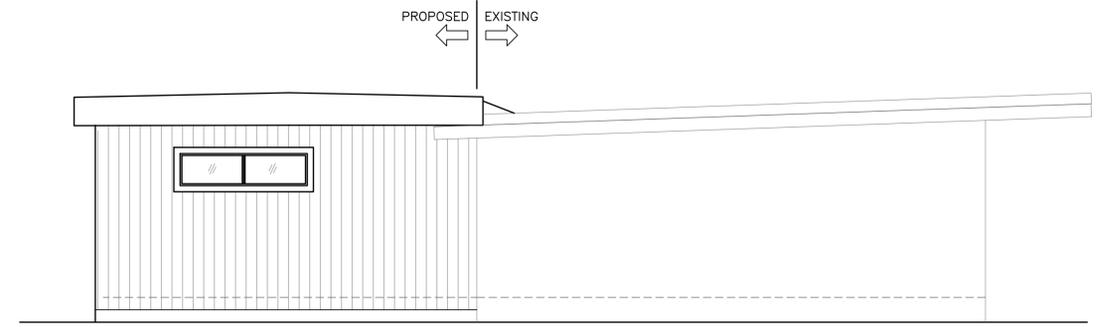
ENGINEER: DAVE MENDOZA
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MANTECA, CA 95337

544 SEACLIFF DR.
ADDITION
(P) FLOOR PLAN

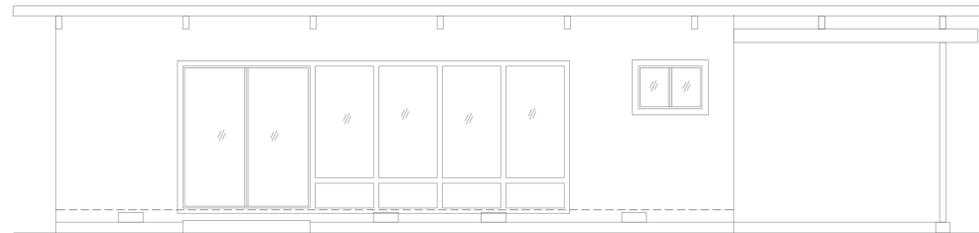
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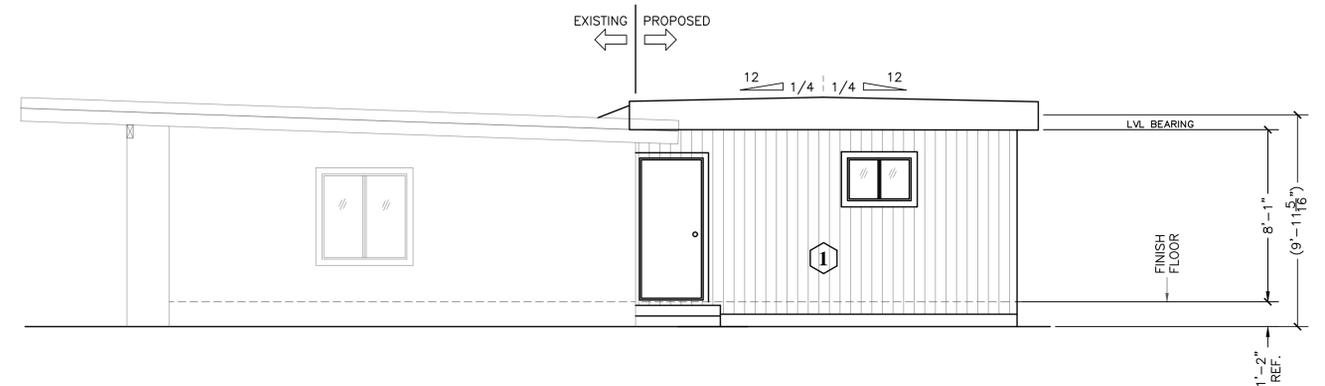
D N.E. ELEVATION VIEW
SCALE: 1/4"=1'-0"



C N.W. ELEVATION VIEW
SCALE: 1/4"=1'-0"



B S.W. ELEVATION VIEW
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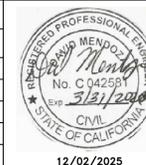


A S.E. ELEVATION VIEW
SCALE: 1/4"=1'-0"

KEY NOTE	
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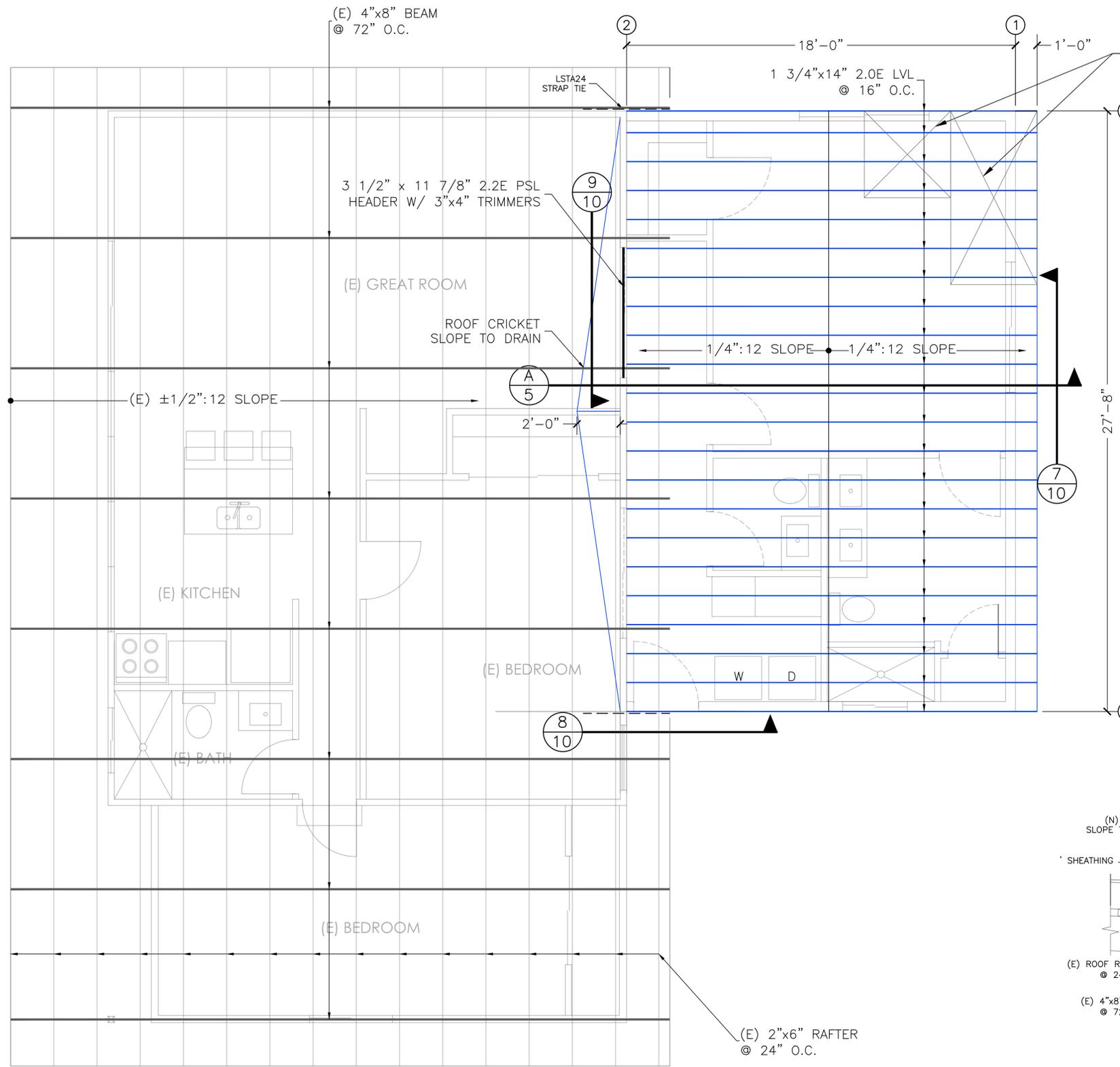
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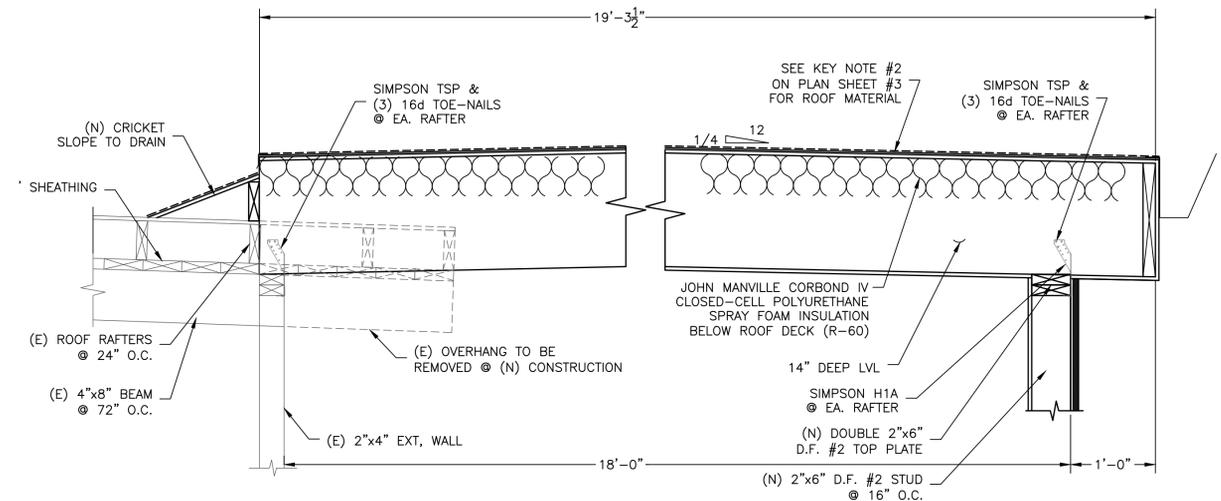
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ADDITION
(N) ELEVATIONS VIEWS

DWG.
EL1
SHEET
5
OF 7



- ALL WINDOW AND DOOR HEADERS ARE 6"x10" DOUGLAS FIR #1 UNLESS OTHERWISE NOTED.



A TYP. SECTION VIEW
SCALE: 1"=1'-0"

1 ROOF FRAMING PLAN
SCALE: 3/8"=1'-0"

Owner: —
544 SEACLIFF DR.
APTOS, CA 95003

REVISIONS				
NO.	DATE	ISSUED FOR	BY	
1	12/2/25	SANTA CRUZ COUNTY	DM	

Drawn By: FS
Issue Date: 11-17-24
Job No.: 24030
Checked: DM
Design By: FS



ENGINEER: DAVE MENDOZA
1282 CORWIN DR.
MANTECA, CA 95337

544 SEACLIFF DR.
ADDITION
ROOF FRAMING PLAN

DWG. RP1
SHEET 6 OF 7

Plot December 2, 2025 at 2:11 PM G:\MENDOZA\2025\Seacliff Dr-Santa Cruz\544 Seacliff Dr-Coastal Planning.dwg

544 Seacliff Drive, Aptos – Exterior Paint Color: Sherwin Williams “SW 9152 Let it Rain”

SW 9152
Let it Rain

544 Seacliff Drive, Aptos – Exterior Trim Color: Sherwin Williams “SW 6252 Ice Cube”

SW 6252
Ice Cube

Designer
Color
Collection

544 Seacliff Drive, Aptos - Roof Color: White

EXPERIENCE THE CARLISLE DIFFERENCE



Carlisle's Sure-Weld™ HS TPO Special Color Program



Turn your roof into a canvas with Carlisle's TPO Special Color Program. The leader in single-ply technology offers more pre-formulated colors than any other manufacturer in the marketplace with reinforced membrane available in 10' x 100' sheets, non-reinforced flashing available in 24" x 50' rolls, Contour Ribs, custom accessories and flashings, and TPO coated metal available in 4' x 10' sheets.



*Color sample printed here are approximations. For actual colors, request a sample of TPO Special Color membrane.
**Special Color membranes will "fade" over time mainly due to the ultraviolet portion of sunlight. Since most roof surfaces are exposed to variable sunlight, some areas will be more susceptible to color changes caused by UV fading. Warranties for Special Color membranes do not cover fading of colors.

04.08.20 © 2020 Carlisle. MPP/MSD CODE: 602225 - Sure-Weld TPO Color Palettes Set Sheet

544 Seacliff Drive, Aptos - Roof Material

EXPERIENCE THE CARLISLE DIFFERENCE

Sure-Weld TPO
Reinforced Membrane

Wider is Better

Carlisle's 16-foot Sure-Weld TPO delivers a leap in productivity on adhered and induction welded roofs by cutting down on the number of rolls needed and dramatically reducing the number of seams on the roof.

With fewer rolls to load, stage, and kick out, and fewer seams to weld, contractors can save significant time on each project, moving on to the next one sooner.

16-Foot TPO Benefits

- Fewer rolls to load and stage on a job saves crane time and labor at the beginning of each project
- Fewer rolls to position, kick-out, and align during installation saves labor
- Up to 60% fewer seams vs. 10-foot TPO
- Fewer seams to weld, probe, and inspect, saving considerable time during installation
- Fewer T-joint patches to install on each roof
- Less waste and trash from packaging
- Less time spent on each project, allowing contractors to complete more roofs and grow their business

Fully-Adhered – membrane is adhered to a suitable substrate utilizing an appropriate bonding adhesive

Mechanically Fastened – membrane is attached to the roof deck over a suitable substrate utilizing plates and fasteners which are overlapped with membrane

Induction-Welded – membrane is attached over a suitable substrate via an induction welding tool being placed over the membrane where a fastened TPO induction welding plate is located to weld the two components together

Review Carlisle specifications and details for complete installation information.

Precautions

- Sunglasses that filter out ultraviolet light are strongly recommended, as tan and white surfaces are highly reflective. Roofing technicians should dress appropriately and wear sunscreen.
- Surfaces may become slippery due to frost and ice buildup. Exercise caution during cold conditions to prevent falls. Exercise caution when walking on wet membrane. Membranes may be slippery when wet.
- Care must be exercised when working close to a roof edge when the surrounding area is snow-covered, as the roof edge may not be clearly visible.
- Use proper stacking procedures to ensure sufficient stability of the rolls.
- Store membrane in the original undisturbed plastic wrap in a cool, shaded area and cover with light-colored, breathable, waterproof tarps. Membrane that has been exposed to the weather must be prepared with Weathered Membrane Cleaner prior to hot-air welding.
- Take care not to stand or place heavy objects on the edge of folded-over membrane, as this could cause a hard crease in the membrane.
- Maximum sustained temperature not to exceed 160°F (71°C) for TPO membrane.
- Do not use razor blades or other sharp tools to cut the APEEL Protective Film while it is still adhered to the TPO membrane as damage to the underlying membrane may occur. Pull the protective film away from the membrane prior to cutting.
- Remove APEEL Protective Film by pulling towards the center of the roof. Do not remove the film by pulling towards the roof edge.
- A static electric charge may develop when removing APEEL Protective Film from the surface of the membrane sheet. To avoid the possibility of ignition, lids must be closed on any flammable products and a fire extinguisher should be readily available.
- Color membranes will "fade" over time mainly due to the ultraviolet portion of sunlight. Since most roof surfaces are exposed to variable sunlight, some areas will be more susceptible to color changes caused by UV fading. Warranties for color membranes do not cover fading of colors.

Extreme Testing for Severe Climates

ASTM Standard D6787 is the material specification for Thermoplastic Polyolefin-Based Sheet Roofing. It covers material property requirements for TPO roof sheeting and includes initial and aged properties after heat and xenon-arc exposure. As stated in the scope of the standard, "the tests and property limits used to characterize the sheet are values intended to ensure minimum quality for the intended purpose." Carlisle's goal is to produce TPO that delivers maximum performance for the intended purpose of roofing membranes. Maximum performance requires the membrane to far exceed the requirements of ASTM D6787.

544 Seacliff Drive, Aptos - Siding: T1-11

Product Guide: Performance Rated Siding

Rough Sawn

Manufactured with a slight rough-sawn texture running across panel. Available without grooves, or with grooves of various styles in lap or panel form. Generally available in 1 1/32-inch, 3/8-inch, 1 5/32-inch, 1/2-inch, 1 9/32-inch and 5/8-inch thicknesses. Rough sawn also available in Texture 1-11, reverse board-and-batten, channel groove and V-groove. Available in Douglas-fir, cedar, southern pine and other species.



APA Texture 1-11

APA 303 Siding panel with shiplapped edges and parallel grooves 1/4-inch deep, 3/8-inch wide; grooves 4-inch or 8-inch o.c. are standard. Other spacing sometimes available are 2-inch, 6-inch, and 12-inch o.c., check local availability. T1-11 is available in 1 9/32-inch and 5/8-inch thicknesses. Also available with scratch-sanded, unsanded, overlaid, rough sawn, brushed and other surfaces. Available in Douglas-fir, cedar, southern pine and other species.



Kerfed Rough Sawn

Rough-sawn surface with narrow grooves, providing a distinctive effect. Long edges shiplapped for continuous pattern. Grooves are typically 4-inch o.c. Also available with grooves in multiples of 2-inch o.c. Generally available in 1 1/32-inch, 3/8-inch, 1 5/32-inch, 1/2-inch, 1 9/32-inch and 5/8-inch thicknesses. Depth of kerf grooves varies with panel thickness.



Reverse Board-and-Batten

Deep, wide grooves cut into brushed, rough sawn, scratch-sanded or other textured surfaces. Grooves about 1/4-inch deep, 1-inch to 1-1/2-inch wide, spaced 8-inch or 12-inch o.c. with panel thickness of 1 9/32-inch and 5/8-inch. Provides deep, sharp shadow lines. Long edges shiplapped for continuous pattern. Available in cedar, Douglas-fir, southern pine and other species.



Form No. E3001 • © 2009 APA – The Engineered Wood Association • www.apawood.org

544 Seacliff Drive, Aptos - Windows and Door Color: White

TRINISIC™ SERIES | V300
OFFERS A NARROW FRAME
FOR A MODERN LOOK

- Contemporary look with maximum viewable glass
- Even sightlines top to bottom and across all operating styles
- A variety of color options, including Black
- Redesigned SmartTouch® window lock with a flush, squared off profile
- A Full Lifetime Warranty* with Glass Breakage Coverage as an optional upgrade

Performance Data & Specifications	DP Rating	Minimum	Maximum
Horizontal Sliding	25	2115	6063
Double Hung	15	3810	10050
Single Hung	30	1920	4965
Casement	30	1616	3563
Awing	45	1616	4033
Picture	40	1616	8063
Bow Window	30	1616	6063
SSD 2 panel	30	5968	8063
SSD 3 panel	30	5968	12063
SSD 4 panel	30	10864	16063

Chart does not reflect full size and weight range. (DP) Ratings and available. For complete chart of DP ratings by size.

*See window details at CARLISLE.COM/WARRANTY



Operating Styles



Standard Colors



Premium Exterior Vinyl Finishes



Capstock Finish



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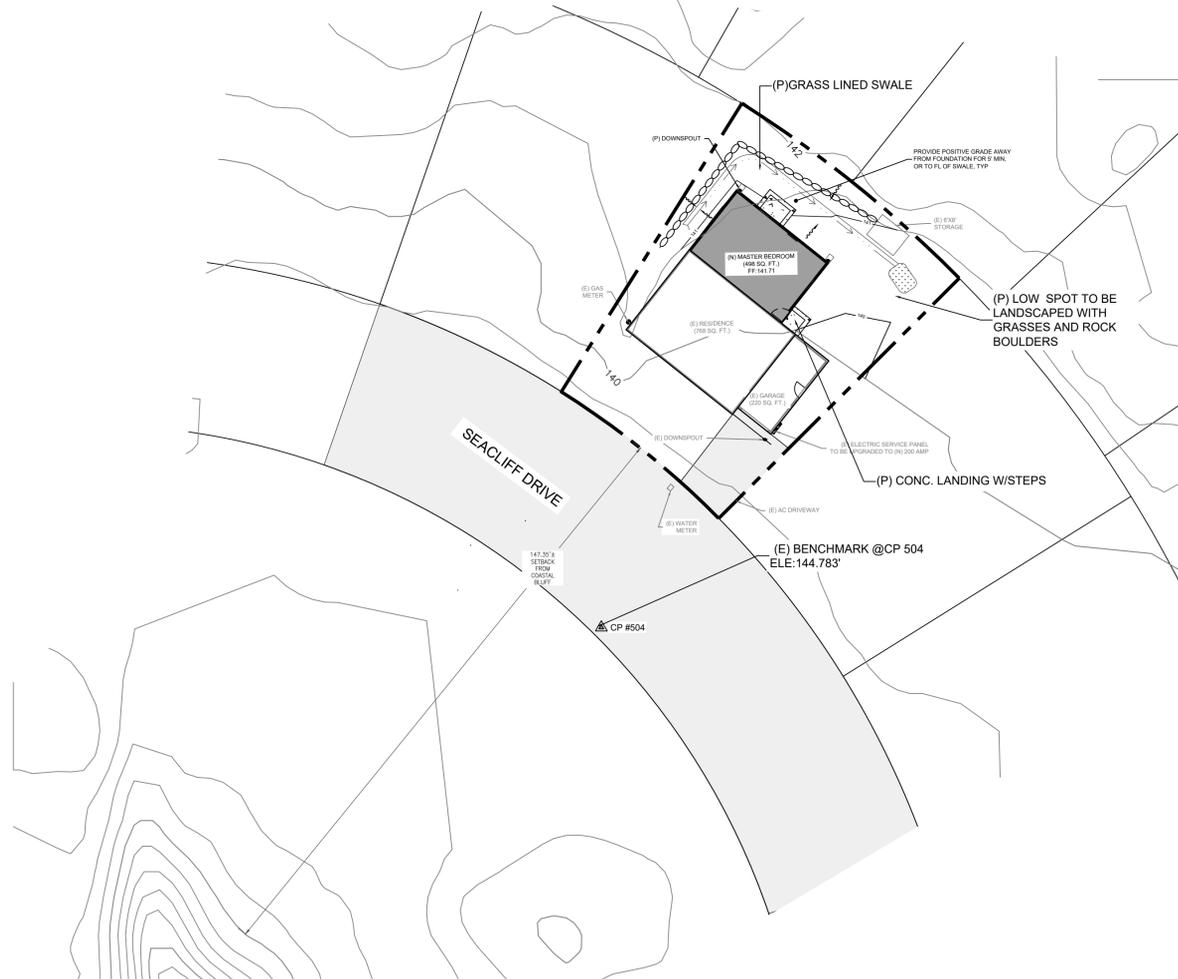
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544 SEACLIFF DR.
ADDITION
MATERIAL & COLOR DETAILS

DWG.
MC1
SHEET
7
OF 7

LANDS OF DENTONI BEDROOM & BATH ADDITION

544 SEACLIFF DRIVE, APTOS
APN: 038-172-34

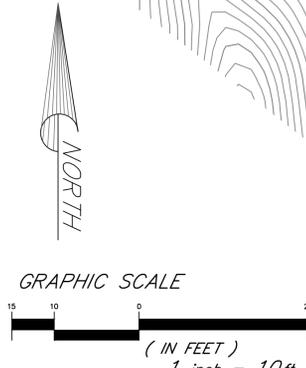


LEGEND

- RECORD BOUNDARY LINE
- (P) FLOWLINE
- (P) SHALLOW SWALE
- WOOD FENCE
- WIRE FENCE
- LIMITS OF DISTURBANCE UNDER THIS PERMIT
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- (P) AC SURFACE SAD
- (E) AC SURFACE
- (P) CONCRETE SURFACE SAD
- (E) CONCRETE SURFACE
- (P) GRAVEL SURFACE SAD
- (E) GRAVEL SURFACE
- RAISED FLOOR SAD
- SLAB ON GRADE SAD
- WALL
- △ 3 RANDOM CONTROL POINT W/ #
- PROPOSED STORM DRAIN DROP INLET
- DS PROPOSED DOWNSPOUT LOCATION
- X 143.2 SPOT ELEVATION
- 100.00 FINISH ELEVATION

ABBREVIATIONS

AC	ASPHALT CONCRETE	LA	LANDSCAPE AREA
AD	AREA DRAIN	LO	LIVE OAK TREE
BAY	BAY TREE	MAX	MAXIMUM
BVCE	BEGIN VERTICAL CURVE ELEV	MIN	MINIMUM
BVCS	BEGIN VERTICAL CURVE STA	MNZ	MANZANITA TREE
BW	BOTTOM OF WALL	NTS	NOT TO SCALE
CL	CENTERLINE	O/	OVER
CMP	CORRUGATED METAL PIPE	OAK	OAK TREE
CO	CLEAN OUT	OC	ON CENTER
DI	DRAIN INLET	(P)	PROPOSED
DS	DOWNSPOUTS	PERF	PERFORATED
(E)	EXISTING	PN	PINE TREE
EG	EXISTING GRADE	PT	POINT
EL	EASEMENT LINE	RCP	REINFORCED CONCRETE PIPE
EVCE	END VERTICAL CURVE ELEV	ROW	RIGHT OF WAY
EVCS	END VERTICAL CURVE STA	RD	REDWOOD TREE
ELEV	ELEVATION	SAD	SEE ARCHITECTURAL DRAWINGS
FF	FINISHED FLOOR	SS	SANITARY SEWER
FG	FINISHED GRADE	SSD	SEE STRUCTURAL DRAWINGS
FIR	FIR TREE	TBR	TO BE REMOVED
FL	FLOW LINE	TG	TOP OF GRATE
FS	FINISHED SURFACE	TW	TOP OF WALL
FSS	FIRE SAFE STANDARDS	UON	UNLESS OTHERWISE NOTED
GB	GRADE BREAK	USP	UNDER SEPARATE PERMIT
GEO	GEOTECHNICAL	VIF	VERIFY IN FIELD
HP	HIGH POINT	VC	VERTICAL CURVE
INV	INVERT	WL	WATER LEVEL



SURFACING SUMMARY

TYPE	AREA SF
NEW ADDITION	498

EARTHWORK QUANTITIES TOTAL

CUT = 11.55 C.Y.
FILL = 0 C.Y.
DISTURBED AREA = 0.013 ACRES
EXCESS MATERIAL TO BE OFF HAULED TO APPROVED LOCATION OFFSITE

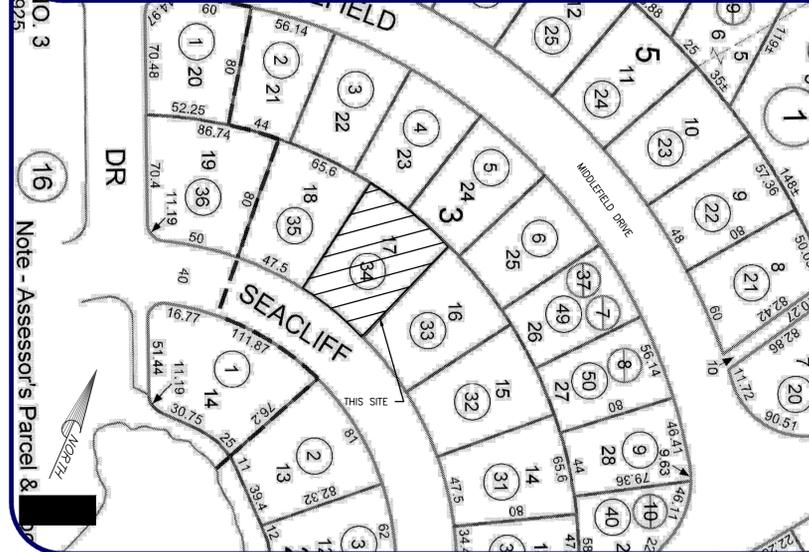
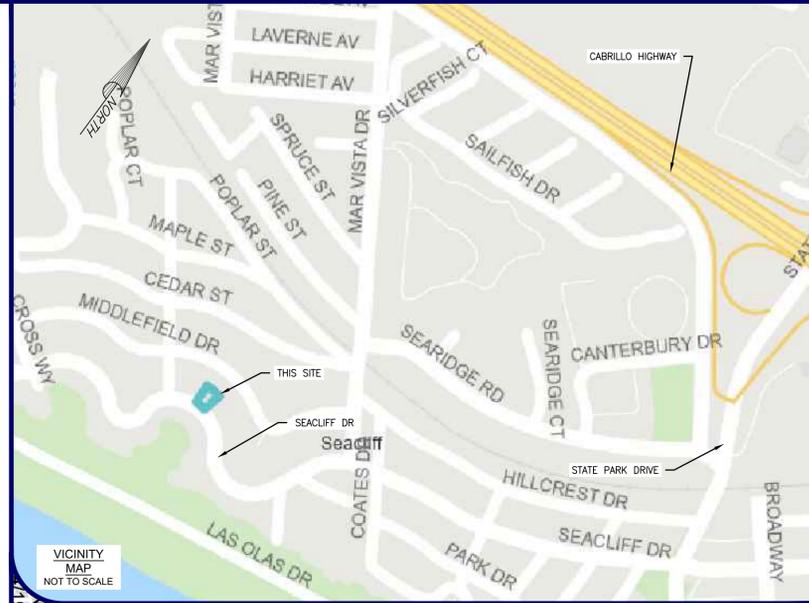
NOTE: APPROXIMATE EARTH QUANTITY PROVIDED FOR PERMIT VALUATION. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL MATERIAL TAKEOFFS.

SHEET INDEX

C1	TITLE SHEET
C4	GRADING AND DRAINAGE PLAN
C5	EROSION CONTROL PLAN

ZONING INFORMATION

ASSESSOR'S PARCEL NUMBER	038-172-34
LOT SIZE	0.11 AC
ZONING	R-1-4
GENERAL PLAN LAND USE	R-UM
STATE RESPONSE AREA	LRA
TYPE OF CONSTRUCTION	V-B
OCCUPANCY GROUP	R-RESIDENTIAL
FIRE SPRINKLERS	NO
FRONT YARD SETBACK	15'
SIDE YARD SETBACKS	8'
REAR YARD SETBACK	15'
NUMBER OF STORIES	2
LOT COVERAGE	45% MAXIMUM
BUILDING HEIGHT	28' MAXIMUM



PROJECT INFORMATION

PROJECT STATEMENT:
THESE PLANS WERE PREPARED TO FACILITATE THE GRADING AND DRAINAGE ACTIVITIES ASSOCIATED WITH THE PROPOSED BED AND BATHROOM ADDITION. THE SITE IS LOCATED WITHIN COASTAL COMMISSION JURISDICTION AND THE DOCUMENTS WILL NEED TO BE SUBMITTED FOR A MINOR CDP.

PROPERTY OWNERS:
MIKE DENTONI
544 SEACLIFF DRIVE
APTOS, CA 95003
(209) 351-7669

DESIGNER INFORMATION-ADDITION:
DAVE MENDOZA
1282 CORWIN DR
MANTECA, CA 95337
PROJECT NUMBER: 24030
DATE: 11/17/24

DESIGNER INFORMATION-CIVIL:
HOGAN LAND SERVICES
2601 41ST AVENUE, SUITE B
SOQUEL, CA 95073
(831) 425-1617

PERMITTING AGENCIES:
LEAD AGENCY:
SANTA CRUZ COUNTY
COASTAL COMMISSION

TOPOGRAPHIC INFORMATION PROVIDED BY:
HOGAN LAND SERVICES - 2024

BASIS OF COORDINATES:
ASSUMED COORDINATES.

THE BASIS OF COORDINATES FOR THIS SURVEY WAS ESTABLISHED AT PROJECT POINT 500, BEING A 60 D NAIL.

N. 1817051.27 USFT
E. 6147236.04 USFT

ALL PROJECT DISTANCES ARE GROUND DISTANCE.

BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS SURVEY BEING SOUTH 44°52'19" EAST, BETWEEN FOUND MONUMENTS AS SHOWN ON THAT CERTAIN SUBDIVISION MAP RECORDED IN VOLUME 18 OF MAPS, AT PAGE 59 IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CRUZ, SAID BEARING BETWEEN POINT MONUMENTS BEING PROJECT POINTS 610 AND 612. PROJECT POINT 610 BEING A 1/2" IRON PIPE TAGGED "LS 1225". PROJECT POINT 612 BEING A 1/2" IRON PIPE, NO TAG, 0.7' BELOW GRADE.

THE BEARING BETWEEN SAID POINTS BEING:
SOUTH 44°52'19" EAST
AZIMUTH 135°07'41"

DISTANCE BETWEEN SAID POINTS BEING:
183.63 USFT (GROUND)

(ALL PROJECT DISTANCES ARE GROUND DISTANCES)

BASIS OF ELEVATIONS:
THE BASIS OF ELEVATION FOR THIS SURVEY IS AN ASSUMED ELEVATION AT PROJECT POINT 500, ELEVATION = 151.40 FEET.



THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF CLIENT, MONTH, YEAR

DATE: 06/03/2025
JOB #: 6636

SAVANTHA VROOMEN P.E./Q.S.D. 85584

DRN: FL
CHK: SHV
PM: SHV

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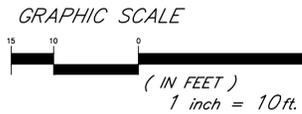
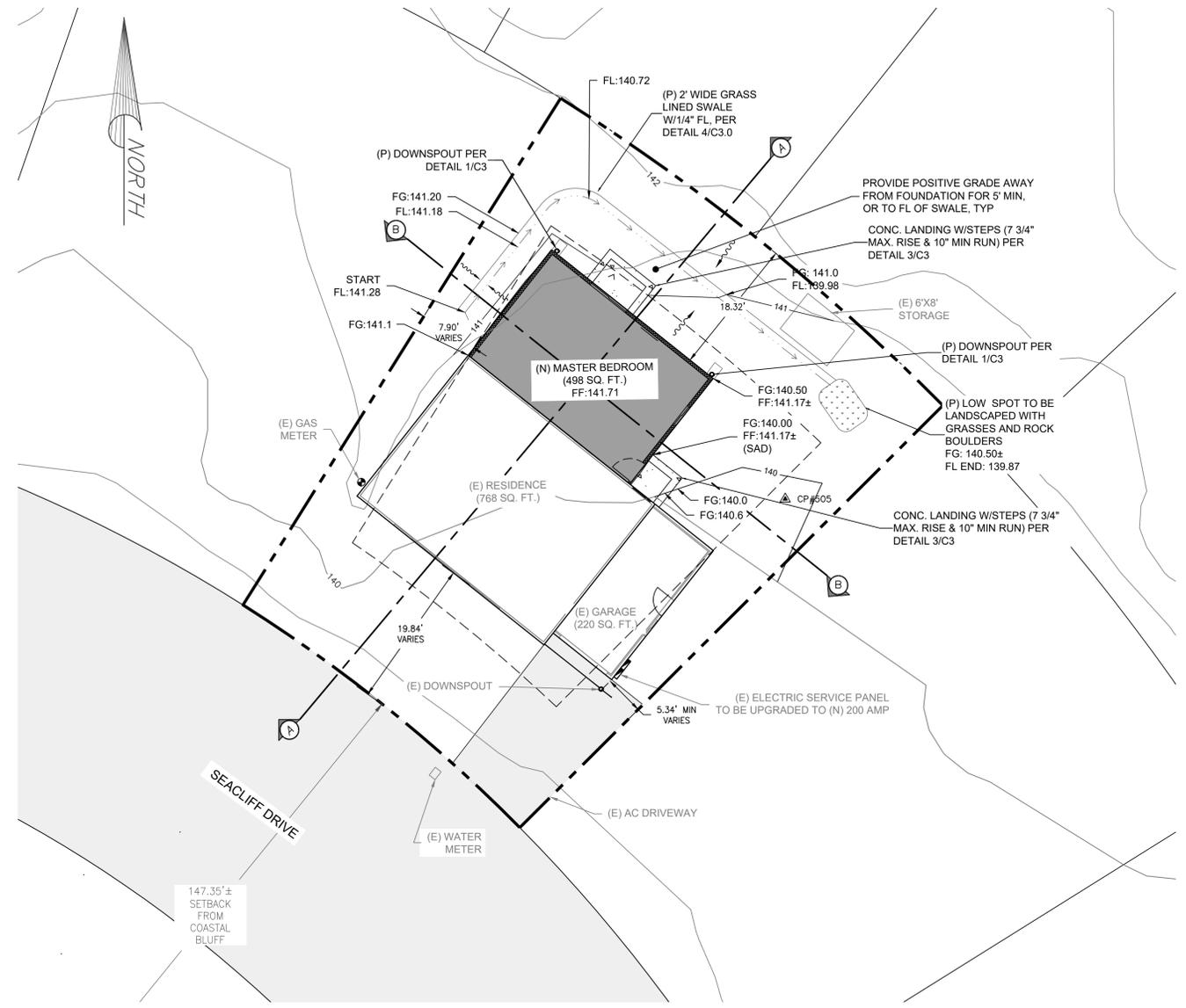
APN: 038-172-34

LANDS OF DENTONI
TITLE SHEET

544 SEACLIFF DRIVE
APTOS, CA 95003

C1 OF 3

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GRADING AND DRAINAGE PLAN

LEGEND

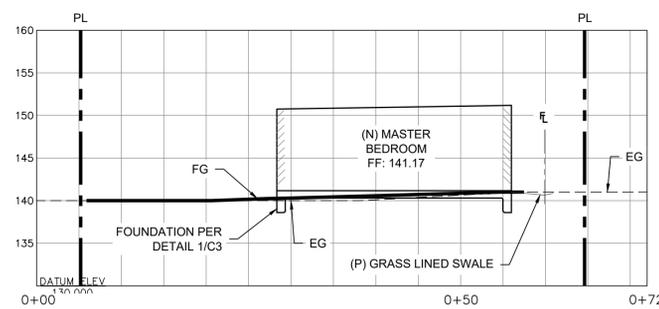
- RECORD BOUNDARY LINE
- (E) FLOWLINE
- (P) FLOWLINE
- (P) SHALLOW SWALE
- WOOD FENCE
- WIRE FENCE
- LIMITS OF DISTURBANCE UNDER THIS PERMIT
- WORK IN THE IN ROW USP
- FIBER ROLL BARRIER
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- SETBACKS

SURFACE LEGEND

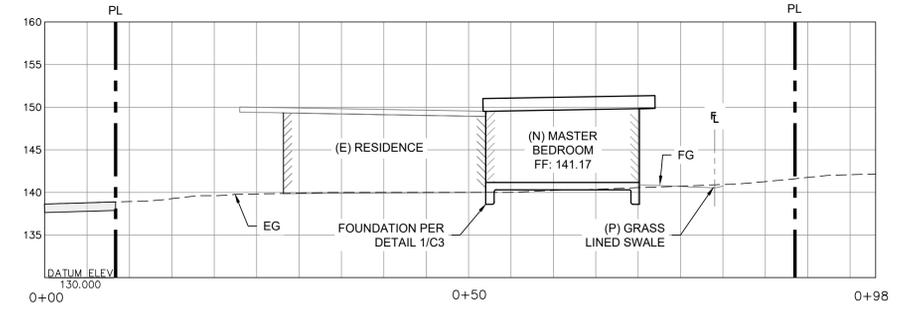
- (E) BUILDING
- (P) GRAVEL SURFACE
- (E) GRAVEL SURFACE
- (P) AC SURFACE
- (E) AC SURFACE
- (P) CONCRETE SURFACE SAD/SBD/SSD
- (E) CONCRETE SURFACE

NOTES TO CONTRACTOR:

1. ALL CUTS AND FILL SLOPES SHALL BE PLANTED WITH EROSION RESISTANT VEGETATION UPON COMPLETION OF GRADING OR NO LATER THAN OCTOBER 1ST (SEE NOTES ON SHEET C2).
2. SEE SHEETS 2 FOR COMPLETE EROSION PREVENTION & SEDIMENT CONTROL NOTES.
3. CONSTRUCTION MUST ALSO COMPLY WITH THE STATE ISSUED CONSTRUCTION GENERAL PERMIT (WID) AND ASSOCIATED SWPPP (IF APPLICABLE).
4. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND MARKING EXISTING UNDERGROUND UTILITIES. LOCATIONS OF EXISTING UTILITIES HAVE NOT BEEN SURVEYED. RELOCATE EXISTING UTILITIES AS NECESSARY FOR PROPOSED ALIGNMENT.
5. ALL EARTHWORK SHALL BE IN COMPLIANCE WITH THE PROJECT GEOTECHNICAL REPORT AND APPROVED IN THE FIELD BY THE PROJECT GEOTECHNICAL ENGINEER.
6. SEE LANDSCAPE & ARCHITECTURAL PLAN FOR CONFIRMATION OF ALL TW/BW/ LANDSCAPE AREA SPECIFICATION.



SECTION B-B EAST WEST
SCALE: 1"=10' (1H:1V)



SECTION A-A NORTH SOUTH
SCALE: 1"=10' (1H:1V)



THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF CLIENT, MONTH, YEAR

Samantha Vroomen

SAVANTHA VROOMEN P.E./Q.S.D. 855584

DRN:	FL	SMX	SHV	DATE:	06/02/2025
CHK:	SMX	SHV	DATE:	06/02/2025	JOB #:
PM:	SMX	SHV	DATE:	06/02/2025	6636

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LANDS OF DENTONI
GRADING AND DRAINAGE PLAN

544 SEA CLIFF DRIVE
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APN: 038-172-34

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EROSION CONTROL NOTES

- BETWEEN OCTOBER 15, AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. HAY BALES, FILTER BERMS, OR OTHER MEANS SHALL BE EMPLOYED TO PREVENT TURBID RUNOFF TO ADJOINING PROPERTIES.
- UNNECESSARY GRADING AND DISTURBING OF SOIL SHALL BE AVOIDED.
- ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF-SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF ONTO ADJOINING PROPERTIES.
- UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED AREAS SHALL BE PERMANENTLY REVEGETATED WITH GRASS.
- ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
- DURING CONSTRUCTION, NO TURBID SITE WATER SHALL BE PERMITTED TO ENTER THE CHANNEL OR STORM DRAIN SYSTEM. USE OF SILT AND GREASE TRAPS, FILTER BERMS, OR HAY BALES MAY BE USED TO PREVENT SUCH DISCHARGE.
- CONTRACTOR SHALL NOTIFY THE COUNTY OF SANTA CRUZ AT LEAST 48 HOURS BEFORE ANY EARTHWORK IS BEGUN.
- ALL CONSTRUCTION SHALL CONFORM TO REQUIREMENTS OF THE COUNTY OF SANTA CRUZ. NO CLEARING, GRADING, OR EXCAVATION SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS THERE IS AN APPROVED WINTER EROSION CONTROL PLAN. ALL DISTURBED SOIL SHALL BE SEEDED, MULCHED, OR OTHERWISE PROTECTED BY OCTOBER 15.
- CONTRACTOR SHALL INSTALL UNDERGROUND STORM DRAIN SYSTEM AND STRAW BALE DIKE BARRIERS PRIOR TO OCTOBER 15.
- BARE SOIL SHALL BE COVERED WITH SEED AND STRAW MULCH AT AN APPLICATION RATE OF 5 LB./1000 S.F. AND COVERED WITH A LAYER OF STRAW AT AN APPLICATION RATE OF 2-3 BALES/1000 S.F.

SITE HOUSEKEEPING REQUIREMENTS

CONSTRUCTION MATERIALS

- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
- ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
- EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNATED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
- BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

WASTE MANAGEMENT

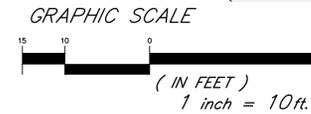
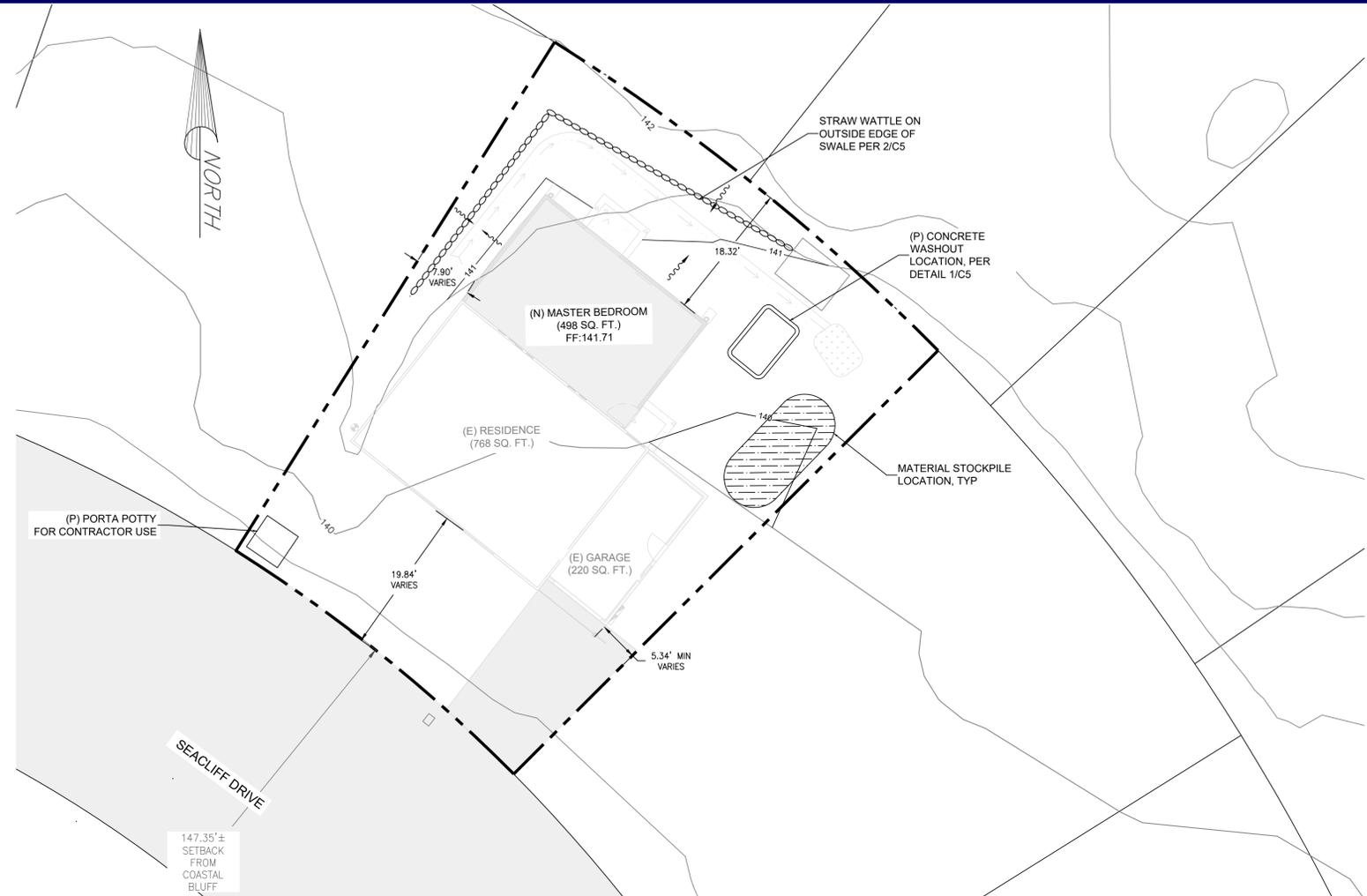
- DISPOSAL OF AND RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
- SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
- SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
- COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
- DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATERS SHALL BE PREVENTED.
- STOCKPILED WASTE MATERIALS SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
- PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
- EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY; AND
- CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

VEHICLE STORAGE AND MAINTENANCE

- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.
- ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
- LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

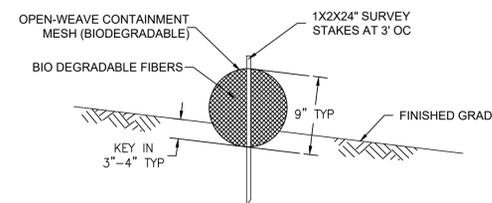
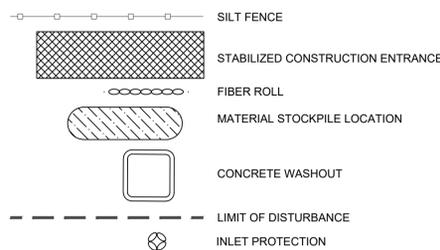
LANDSCAPE MATERIALS

- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
- CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
- DISCONTINUE THE APPLICATION OF AND ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTER RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
- APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
- STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

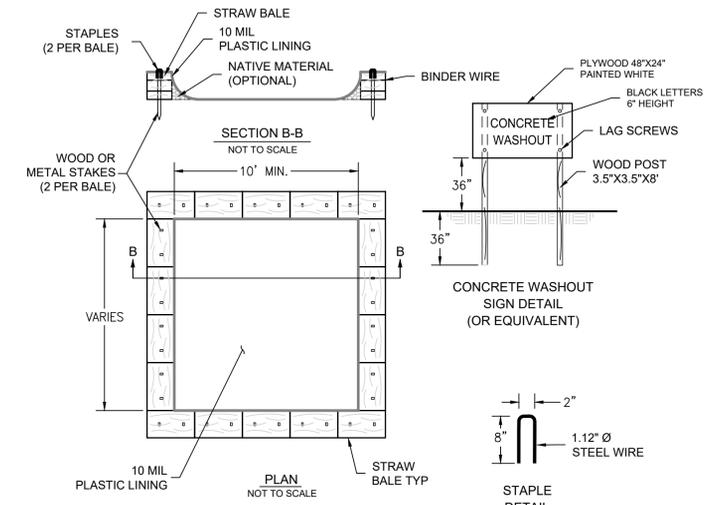


EROSION CONTROL PLAN

EROSION CONTROL LEGEND



2 FIBER ROLL BARRIER
NOTE: INSTALL FIBER ROLL ON CONTOUR.



- NOTES**
- ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
 - A CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 - MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.
 - HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.
 - PLASTIC TUB WITH SIMILAR DIMENSIONS CAN BE USED INSTEAD OF THIS DETAIL.
- 1 CONCRETE WASHOUT**
ONSITE WASHOUT SHALL BE USED AS A LAST RESOURCE ONLY.
INSTRUCT TRUCKS TO RETURN TO PLANT W/ SPOILS



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