

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 251460** **APN: 027-071-09**

SITUS ADDRESS: 480 6th Avenue, Santa Cruz CA 95062

Minor Variation to Coastal Development Permit 241425, to eliminate a 2nd-floor deck above the driveway, construct a trellis on the 2nd-floor deck on the northwestern side of the dwelling, and change the exterior colors and materials. Requires a Minor Variation to Coastal Development Permit 241425.

Property is located on the southeastern corner of 6th Avenue (480 6th Avenue) and Eaton Street in Santa Cruz.

OWNER: Ashley Bothman

APPLICANT: Brian Friel, Young America Creative

SUPERVISORIAL DISTRICT: 1

PLANNER: Micheal Lam, (831) 454-3371

EMAIL: Michael.Lam@santacruzcountyca.gov

Public comments must be received by 5:00 p.m. March 30, 2031.

A decision will be made on or shortly after March 31, 2026.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. If you would like to request a public hearing be held for this item, please contact the project planner listed on this notice.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, contact the project planner identified above.

** This project requires a Coastal Zone Permit, the approval of which is appealable to the California Coastal Commission. (Grounds for appeal are listed in the County Code Section 13.20.110.) The appeal must be filed with the Coastal Commission within 10 business days of receipt by the Coastal Commission of notice of local action.

Approval or denial of the Coastal Zone Permit is appealable. The appeal must be filed within 14 calendar days of action by the decision body.

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	JB	JUNCTION BOX
AB	ANCHOR BOLT	JST.	JOIST
ABV.	ABOVE	JT	JOINT
AC	AIR CONDITIONING	K.D.	KILN DRIED
ADJ.	ADJUSTABLE	L.H.	LEFT HAND
ALUM.	ALUMINUM	LAV.	LAVATORY
ASPH.	ASPHALT	LT.	LIGHT
B.O.	BOTTOM OF	MAX.	MAXIMUM
B.U.R.	BUILT-UP ROOFING	MED.	MEDIUM
BD	BOARD	MFR.	MANUFACTURER
BLDG.	BUILDING	MIN.	MINIMUM
BLKG.	BLOCKING	MIR.	MIRROR
BLW.	BLOW	MTD.	MOUNTED
BM	BEAM	MTL.	METAL
BRZ.	BRONZE	(N)	NEW
BTW.	BETWEEN	N.T.S.	NOT TO SCALE
C.I.	CAST IRON	NIC	NOT IN CONTRACT
C.I.P.	CAST IN PIPE	O/	OVER
C.O.	CLEAN OUT	OC.	ON CENTER
CAB.	CABINET	OPG.	OPENING
CL	CENTER LINE	P.T.	PRESSURE TREATED
CLG.	CEILING	PL.	PLATE
CLO.	CLOSET	PLAM.	PLASTIC LAMINATE
CLR.	CLEAR	PLYWD.	PLYWOOD
CMU	CONCRETE MASONRY UNIT	PNL.	PANEL
COL.	COLUMN	PR.	PAIR
CONC.	CONCRETE	PTD.	PAINTED
CONT.	CONTINUOUS	R	RISER
CSK.	COUNTERSINK	R.H.	RIGHT HAND
CSMT.	CASMENT	R.O.	ROUGH OPENING
CTR.	CENTER	R.W.L.	RAIN WATER LEADER
CW	COLD WATER	RAD. / R.	RADIUS
DF	DOUGLAS FIR	REINF.	REINFORCED
DH	DOUBLE HUNG	REQ'D	REQUIRED
DIA.	DIAMETER	RESIL.	RESILIENT
DIM.	DIMENSION	RM	ROOM
DISP.	GARBAGE DISPOSAL	RWD.	REDWOOD
DN.	DOWN	S.A.D.	SEE ARCHITECTURAL DRAWINGS
DR.	DOOR	S.C.	SOLID CORE
DTL	DETAIL	S.C.D.	SEE CIVIL DRAWINGS
DW	DISHWASHER	S.L.D.	SEE LANDSCAPE DRAWINGS
DWG.	DRAWING	S.P.	SOLID PIPE
DWR.	DRAWER	S.S.	STAINLESS STEEL
(E)	EXISTING	S.S.D.	SEE STRUCTURAL DRAWINGS
EA.	EACH	S.T.	STEEL TROWEL
EL.	ELEVATION	SF	SQUARE FEET
ELEV.	ELEVATOR (OR ELEVATION)	SH.	SHelf
EQ	EQUAL	SHR.	SIMILAR
EXP.	EXPOSED	SIM.	SIMILAR
EXT.	EXTERIOR	SPK.	SPEAKER
F.C.	FINISHED GRADE/FIXED GLASS	STL.	STEEL
F.O.C.	FACE OF CONCRETE	STN.	STAIN
F.O.F.	FACE OF FINISH	T&G	TONGUE & GROOVE
F.O.S.	FACE OF STUD	T.	TREAD
FD	FLOOR DRAIN	T.O.	TOP OF
FDN.	FOUNDATION	T.O.C.	TOP OF CONCRETE
FIN	FINISH	T.O.P.	TOP OF PLATE
FLR.	FLOOR	T.O.S.	TOP OF STEEL / SLAB
FRPR.	FIREPROOFING	T.O.W.	TOP OF WALL
FTG.	FOOTING	T.P.H.	TOILET PAPER HOLDER
G.I.	GALVANIZED IRON	T.S.	TUBE STEEL
G.W.B.	GYP SUM WALLBOARD	THK.	THICKNESS
GA.	GUAGE	TYP.	TYPICAL
GL.	GLASS	U.O.N.	UNLESS OTHERWISE NOTED
H.C.	HOLLOW CORE	V.I.F.	VERIFY IN FIELD
H.W.	HOT WATER	V.T.R.	VENT THROUGH ROOF
HB	HOSE BIB	VP	VENT PIPE
HDR.	HEADER	W.O.	WHERE OCCURS
HOR.	HORIZONTAL	W.P.	WATERPROOFING
HT	HEIGHT	W.S.	WEATHER STRIPPING
HTR.	HEATER	W	WITH
I.D.	INSIDE DIAMETER	WC	WATER CLOSET
INS.	INSULATION	WD.	WOOD
INT.	INTERIOR	WDW.	WINDOW
J.H.	JOIST HANGER	WH	WATER HEATER

GENERAL NOTES

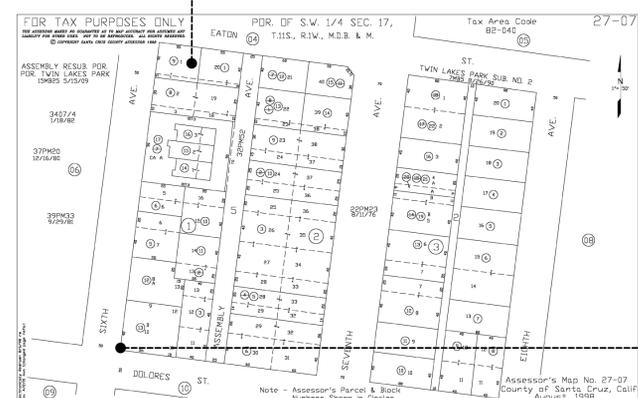
- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS, ORDINANCES AND REGULATIONS APPLICABLE AS FOLLOWS:
 - 2022 CALIFORNIA RESIDENTIAL CODE (2021 I.R.C. AS ADOPTED & AMENDED BY CALIFORNIA)
 - 2022 CALIFORNIA MECHANICAL CODE (2021 U.M.C. AS ADOPTED & AMENDED BY CALIFORNIA)
 - 2022 CALIFORNIA PLUMBING CODE (2021 U.P.C. AS ADOPTED & AMENDED BY CALIFORNIA)
 - 2022 CALIFORNIA ELECTRICAL CODE (2021 N.E.C. AS ADOPTED & AMENDED BY CALIFORNIA)
 - 2022 CALIFORNIA GREEN BUILDING STANDARDS
 - 2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS
 - 2022 CALIFORNIA FIRE CODE
 - 2022 CALIFORNIA GREEN BUILDING CODE & SANTA CRUZ CITY GREEN POINTS CHECKLIST
 - 2022 NFPA 13 INSTALLATION OF SPRINKLER SYSTEMS, 2022 NFPA 13R SPRINKLER SYSTEMS FOR RESIDENTIAL OCCUPANCIES UP TO 4 STORIES IN HEIGHT & 2022 NFPA 72 NATIONAL FIRE ALARM CODE AS APPLICABLE, AND ANY OTHER COVERING CODES AND ORDINANCES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
 - SANTA CRUZ COUNTY CODE 12.10.245 - ALL-ELECTRIC BUILDINGS AS REQUIRED
- NOTHING IN THE CONTRACT DOCUMENTS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES, LAWS, ORDINANCES AND REGULATIONS.
- ALL WORK LISTED, SHOWN, OR IMPLIED ON ANY CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE NOTED OTHERWISE THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE THE WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER'S REQUIREMENTS.
- CONTRACTOR SHALL FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCING WITH COST ESTIMATE.
- ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED ON PROJECT SITE BY THE CONTRACTOR AND EACH TRADE BEFORE WORK BEGIN. ERRORS, OMISSIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE CONSTRUCTION BEGINS.
- ALL ITEMS ARE NEW UNLESS SPECIFICALLY INDICATED OR NOTED AS EXISTING.
- COORDINATION:
 - THE CONTRACTOR SHALL COORDINATE LAYOUT DIMENSIONS INDICATED ON THE LANDSCAPE, STRUCTURAL, AND ELECTRICAL DRAWINGS WITH THOSE INDICATED ON THE ARCHITECTURAL DRAWINGS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - SEE ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS, ELEVATIONS, DEPRESSIONS IN SLAB, OPENINGS IN WALLS AND ROOF, ROOF SLOPE, CRICKETS, AND ROOF DRAINS.
 - IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE CONSTRUCTION DOCUMENTS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN.
 - THE CONTRACTOR SHALL VERIFY ALL ELECTRICAL, MECHANICAL, TELEPHONE AND SECURITY REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
 - THE CONTRACTOR SHALL COORDINATE THE LOCATIONS OF LIGHTS, HVAC OUTLET AND INLET REGISTERS, AND SMOKE DETECTORS BEFORE CONSTRUCTION BEGINS.
- ON ALL CONTINUOUS SURFACES WHERE CONSTRUCTION INVOLVES MORE THAN ONE MATERIAL, FINISH OR MATERIAL THICKNESS, ALIGN FACE OF FINISH U.O.N.
- THE CONTRACTOR SHALL REPLACE OR REPAIR, AT CONTRACTOR'S EXPENSE, ALL DAMAGED, REMOVED OR OTHERWISE DISTURBED EXISTING UTILITIES, IMPROVEMENTS OR FEATURES OF WHATEVER NATURE, TO THEIR ORIGINAL CONDITION WHETHER SHOWN ON THE DRAWINGS OR NOT.
- VERIFY MOUNTING HEIGHTS OF BACKING PLATES AND SPECIAL STRUCTURAL SUPPORT REQUIREMENTS WITH EQUIPMENT MANUFACTURERS BEFORE INSTALLING BACKING PLATES AND SUPPORT.
- THE USE OF THE WORD "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED AND CONNECTED, WHERE SO REQUIRED, U.N.O.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES, AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.
- ALL DIMENSIONS ON THE FLOOR PLAN AND SECTIONS NEED TO BE VERIFIED. MAINTAIN ACCESSIBILITY REQUIRED MINIMUM CLEARANCES.

VICINITY MAP



SITE ADDRESS:
480 6TH AVE
SANTA CRUZ, CA 95062

(E) FIRE HYDRANT LOCATION:
REQUIRED FIRE FLOW: 1000 GPM
ALLOWABLE FIRE FLOW: 1404 GPM



OVERVIEW | SUBJECT PROPERTY

PROJECT DATA

PROJECT DESCRIPTION

DEMOLITION OF EXISTING ONE STORY SINGLE FAMILY HOME. CONSTRUCTION OF NEW TWO STORY SINGLE FAMILY HOME WITH ATTACHED GARAGE. 5'-0" OFFER OF DEDICATION ALONG 6TH AVE PROVIDED FOR REQUIRED FRONTAGE IMPROVEMENTS (SIDEWALK AND LANDSCAPING).

NEW HOME POSITIONING PROPOSED TO REAR OF LOT TO PROVIDE SUNLIT FRONT YARD OUTDOOR LIVING SPACE AND SEPARATION FOR REQUIRED FRONTAGE IMPROVEMENTS.

VARIANCES REQUESTED:

- FAR (MINOR EXCEPTION): 68.12%
- FRONT SETBACK (MINOR EXCEPTION): 12'-9"
- REAR SETBACK: 5'-0"
- STREET SIDE SETBACK: 6'-0"
- GARAGE REAR SETBACK (13.10.611 D.6.B EXCEPTION): 0'-6"
- GARAGE INT. SIDE SETBACK (13.10.611 D.6.B EXCEPTION): 1'-3"

LOCATION:	480 6TH AVE SANTA CRUZ, CA 95062
APN:	027-071-09
ZONING:	R-1-3.5
CONSTRUCTION TYPE:	VB
FIRE SPRINKLERS:	PROPOSED

AREA

LOT SIZE	2475 SF
EXISTING HOUSE (TO BE DEMOLISHED)	
FIRST FLOOR	740 SF
DETACHED SHED	24 SF
TOTAL	764 SF
PROPOSED MAIN HOUSE	
FIRST FLOOR	845 SF
SECOND FLOOR	841 SF
TOTAL PROPOSED MAIN HOUSE	1686 SF
ATTACHED GARAGE	225 SF
PROPOSED TOTAL	1911 SF
MAX FLOOR AREA RATIO (FAR)	60%
PROPOSED FAR	68.12% (225 SF GARAGE EXEMPT)
MAX LOT COVERAGE	45%
PROPOSED LOT COVERAGE	34.14% (225 SF GARAGE EXEMPT)

CONTACT

DESIGNER

MEGHAN DORRIAN / BRIAN FRIEL
YOUNG AMERICA CREATIVE
130 PEARL ALLEY - SUITE A
SANTA CRUZ, CA 95060
BRIAN@THISISYA.COM
831 234 2058

STRUCTURAL

ANDREW RADOVAN
2815 MISSION ST.
SANTA CRUZ, CA 95060
ANDREW@RADOVAN.US
831 459 7296

CONTRACTOR

TBD

OWNER

ANDREW & ASHLEY BOTHMAN
56 CENTRAL AVE
LOS GATOS, CA 95030



YOUNG AMERICA CREATIVE
BRIAN FRIEL
130 PEARL ALLEY
SANTA CRUZ, CA 95060
BRIAN@THISISYA.COM
831 234 2058



SYMBOLS

- Ⓐ — GRID LINE - F.O.S. UNLESS OTHERWISE NOTED
- ↔ — DIMENSION TO FACE OF STUD, U.O.N.
- ↔ — DIMENSION TO FACE OF FINISH, U.O.N.
- ② — DETAIL REFERENCE SHEET LOCATION
- ① — INTERIOR ELEVATION KEY AND SHEET LOCATION
- 101 — DOOR NUMBER, SEE DOOR SCHEDULE
- 101 — WINDOW NUMBER, SEE WINDOW SCHEDULE
- ⊕ — ELEVATION DATUM POINT
- ① — CROSS SECTION SHEET LOCATION
- ① — EXTERIOR ELEVATION
- 1 — DRAWING KEYNOTE
- ① — DRAWING REVISION

DEFERRED SUBMITTALS

- FIRE SPRINKLER DESIGN WILL BE SUBMITTED UNDER SEPARATE PERMIT



SOUTH WEST PERSPECTIVE

- TRELLIS
- PAINTED SHINGLE SIDING
- EXPOSED WOOD POST AND BEAM
- CONCRETE PAVER PATIO
- PERVIOUS PAVER DRIVEWAY

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480 6TH AVE
SANTA CRUZ, CA 95062
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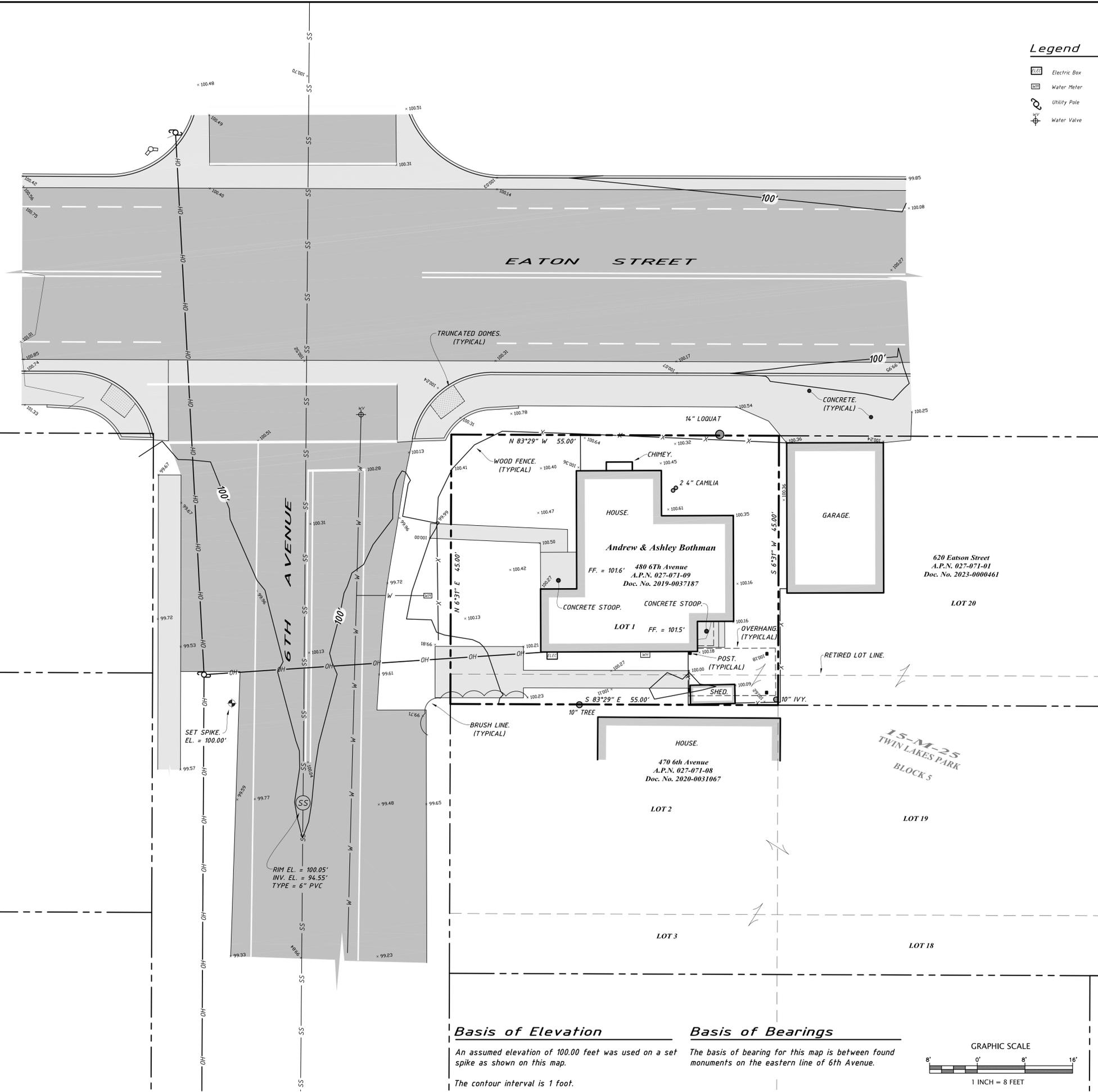
ISSUED:	01.16.2026
③	MINOR VARIATION REV 1
	11.06.2025
A1.1	PROPOSED SITE PLAN
	BUILDING PERMIT SET
	10.10.2025
A1.2	PROPOSED SITE PLAN - SETBACKS
	PLANNING MINOR VARIATION
	01.30.2025
②	PLANNING REVISION 1
	10.28.2024
①	PLANNING SUBMITTAL

TITLE
PROJECT DATA, SITE PLAN & NOTES

SCALE AS NOTED

SHEET
A0.0

Vertical curve data and profile data are shown on this sheet in the property of Hanagan Land Surveying, Inc. It is not intended for construction and is not transferable and may not be used for any other purpose. The user shall be the user responsible without liability to the surveyor.
 PROJECTS\2024\24036 480 6th Avenue.dwg, Plotted By: Josh, Plotted: Apr 19, 2024 - 11:34am



Legend

Electric Box	Sanitary Sewer Manhole
Water Meter	Gas Meter
Utility Pole	Survey Control
Water Valve	Fire Hydrant
	Water Heater



REVISION
 APPROVED
Paul Hanagan
 Paul Hanagan LS 7797

HANAGAN LAND SURVEYING
 905-C SOQUEL AVE.,
 SANTA CRUZ, CA 95062
 PHONE (831) 469-3428

Topographic Map, The Lands Of:
Andrew & Ashley Bothman
 480 6th Avenue, Santa Cruz, CA 95062

Santa Cruz County
 A.P.N. 027-071-09
 DATE 4-18-2024
 SCALE 1" = 8'

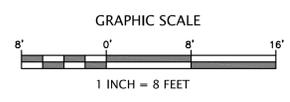
SHEET
SU-1
 OF 1 SHEETS
 24036

Basis of Elevation

An assumed elevation of 100.00 feet was used on a set spike as shown on this map.
 The contour interval is 1 foot.

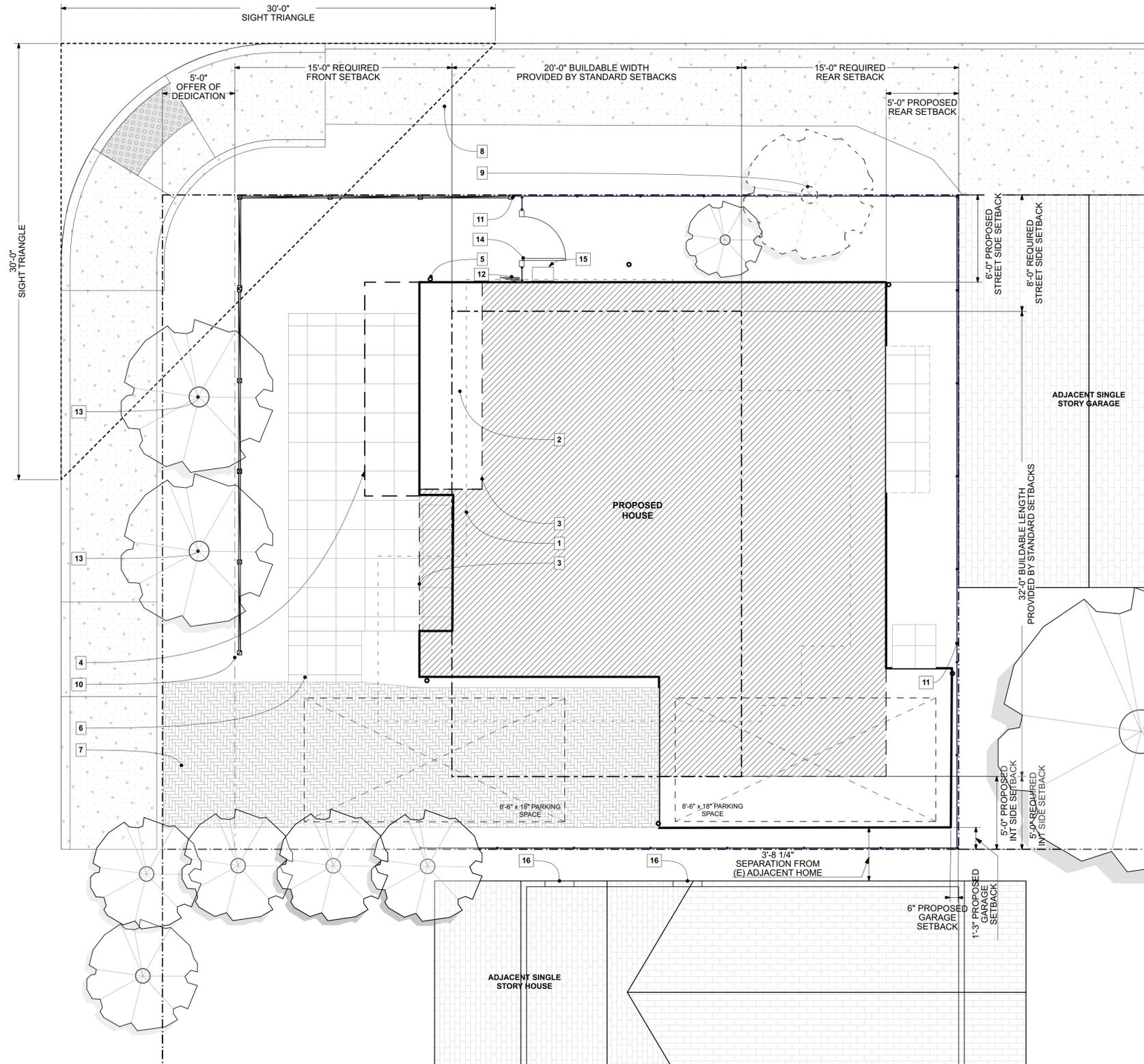
Basis of Bearings

The basis of bearing for this map is between found monuments on the eastern line of 6th Avenue.



EATON STREET

6TH AVENUE



1 PROPOSED SITE & LANDSCAPE PLAN
 AT.1 SCALE: 1/4" = 1'-0"

THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

SITE PLAN NOTES:

DRAINAGE:

- REFER TO MANDATORY MEASURE B.M1 - [DEVELOP / IMPLEMENT STORMWATER DRAINAGE & RETENTION DURING CONSTRUCTION]
- FINAL GRADED GROUND SLOPES SHOULD BE AWAY FROM THE PROPOSED HOUSE TO PREVENT PONDING OF WATER NEAR THE FOUNDATIONS.

LOCAL CODES:

- SEE CITY OF SANTA CRUZ BEST MANAGEMENT PRACTICES FOR ALL SITE WORK & EROSION CONTROL
- SEE CIVIL DRAWINGS FOR ADDITIONAL SITE INFORMATION

LANDSCAPE NOTES:

PLANT TYPE:

- CLIMATE-ADAPTED PLANTS THAT REQUIRE LITTLE OR NO SUMMER WATER FOR 75 PERCENT OF THE LANDSCAPED AREA (EXCLUDING AREA DEVOTED TO EDIBLE PLANTS) MUST BE INSTALLED

MULCHING REQUIREMENTS:

- A THREE-INCH LAYER OF MULCH MUST BE APPLIED TO ALL EXPOSED SOIL SURFACES.

TURF LIMITS:

- THE COMBINED SIZE OF TURF AND AREAS DEVOTED TO HIGH WATER USE PLANTS, DECORATIVE POOLS, FOUNTAINS, WATER FEATURES AND SWIMMING POOLS SHALL BE LIMITED TO NO MORE THAN TWENTY-FIVE PERCENT OF THE TOTAL DEVELOPED LANDSCAPE AREA.
- TURF SHALL NOT BE PLANTED ON SLOPES GREATER THAN FIVE PERCENT.
- TURF IS PROHIBITED IN AREAS LESS THAN TEN FEET WIDE IN ANY DIRECTION.

IRRIGATION:

- ALL IRRIGATION TO BE DRIP / NON-SPRAY TECHNOLOGY, TYP.

KEY NOTES - SITE PLAN:

ALL WORK NEW U.O.N.

- FOOTPRINT OF (E) HOUSE TO BE DEMOLISHED
- (N) HOUSE SLAB ON GRADE, +8" FFE ABOVE GRADE
- LEVEL 2 SHOWN DASHED AND FILLED WITH DIAGONAL HATCH
- LEVEL 2 DECK SHOWN DASHED
- DOWNSPOUT, TYP. SEE CIVIL
- CONCRETE PAVER PATIO -1" BELOW FFE
- PERVIOUS PAVER DRIVEWAY
- (E) SIDEWALK
- REMOVE (E) TREE
- PICKET FENCE 30" HIGH (ABOVE THE CURB) MAX
- FENCE
- ELECTRICAL PANEL AND METER
- STREET TREE TO BE SELECTED FROM COUNTY'S APPROVE STREET TREE LIST. TREE TO BE TRIMMED TO COMPLY WITH COUNTY REQUIREMENTS, INCLUDING REMOVING ANY LOW BRANCHES UNDER 14'-6" ABOVE THE PAVEMENT.
- GATE
- RELOCATION OF (E) GAS METER
- (E) WINDOW LOCATION OF ADJACENT HOME

LEGEND - SITE & LANDSCAPE PLAN:

- PROPERTY / SETBACK LINE
- PERVIOUS PAVER PATIO
- WOOD DECK
- GRAVEL
- NATIVE SHRUB
1 GALLON MINIMUM
- DROUGHT TOLERANT
CACTI OR SUCCULENT

- TREE

YAC

YOUNG AMERICA CREATIVE
 BRIAN FRIEL
 130 PEARL ALLEY
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 831 234 2058



PROJECT:

480 6TH AVE
 SANTA CRUZ, CA 95062

APN: 027-071-09

ISSUED:

- 03 01.16.2026 MINOR VARIATION REV 1
- 02 11.06.2025 BUILDING PERMIT SET
- 01 10.10.2025 PLANNING MINOR VARIATION
- 02 01.30.2025 PLANNING REVISION 1
- 01 10.28.2024 PLANNING SUBMITTAL

TITLE

PROPOSED SITE PLAN

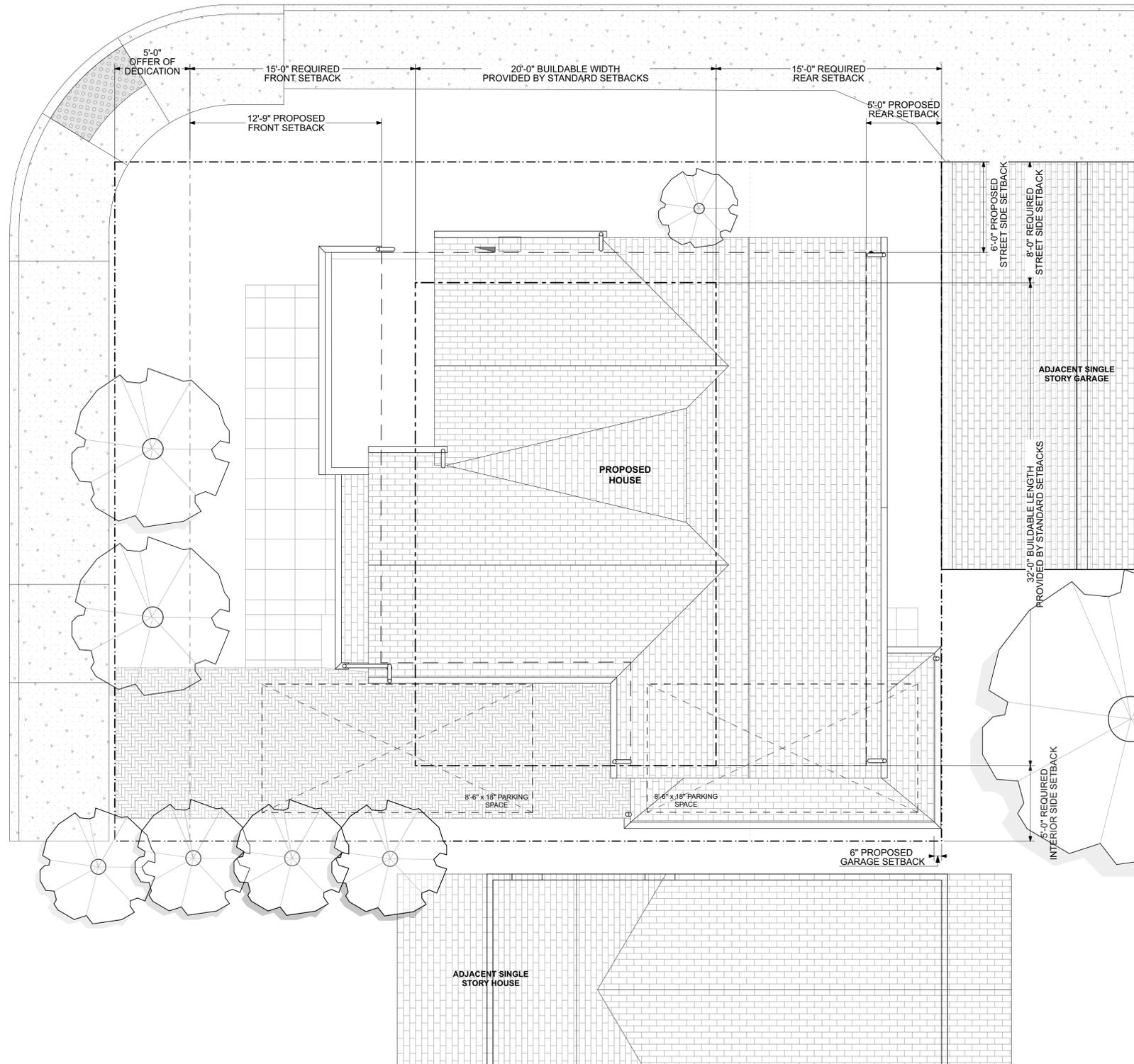
SCALE AS NOTED

SHEET

A1.1

EATON STREET

6TH AVENUE



1 PROPOSED SITE & LANDSCAPE PLAN
 AT.2 SCALE: 1/4" = 1'-0"

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YAC

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 01 PLANNING SUBMITTAL

TITLE

**PROPOSED SITE PLAN -
 SETBACKS**

SCALE AS NOTED

SHEET

A1.2



YOUNG AMERICA CREATIVE
 BRIAN FRIEL
 130 PEARL ALLEY
 SANTA CRUZ, CA 95060
 BRIAN@THISISYA.COM
 831 234 2058



LEGEND - DEMOLITION PLAN:

- EXISTING STRUCTURE TO BE DEMOLISHED
- PROPOSED FOOTPRINT OF NEW HOUSE
- PROPERTY / SETBACK LINE

KEY NOTES - DEMOLITION PLAN:

- 1 DEMO ALL (E) STRUCTURES INCLUDING (E) HOME, (E) FENCE, AND (E) DRIVE AND PATHS. DEMO PERMIT INCLUDED AS PART OF PERMIT DRAWINGS.
- 2 FOOTPRINT OF PROPOSED HOME

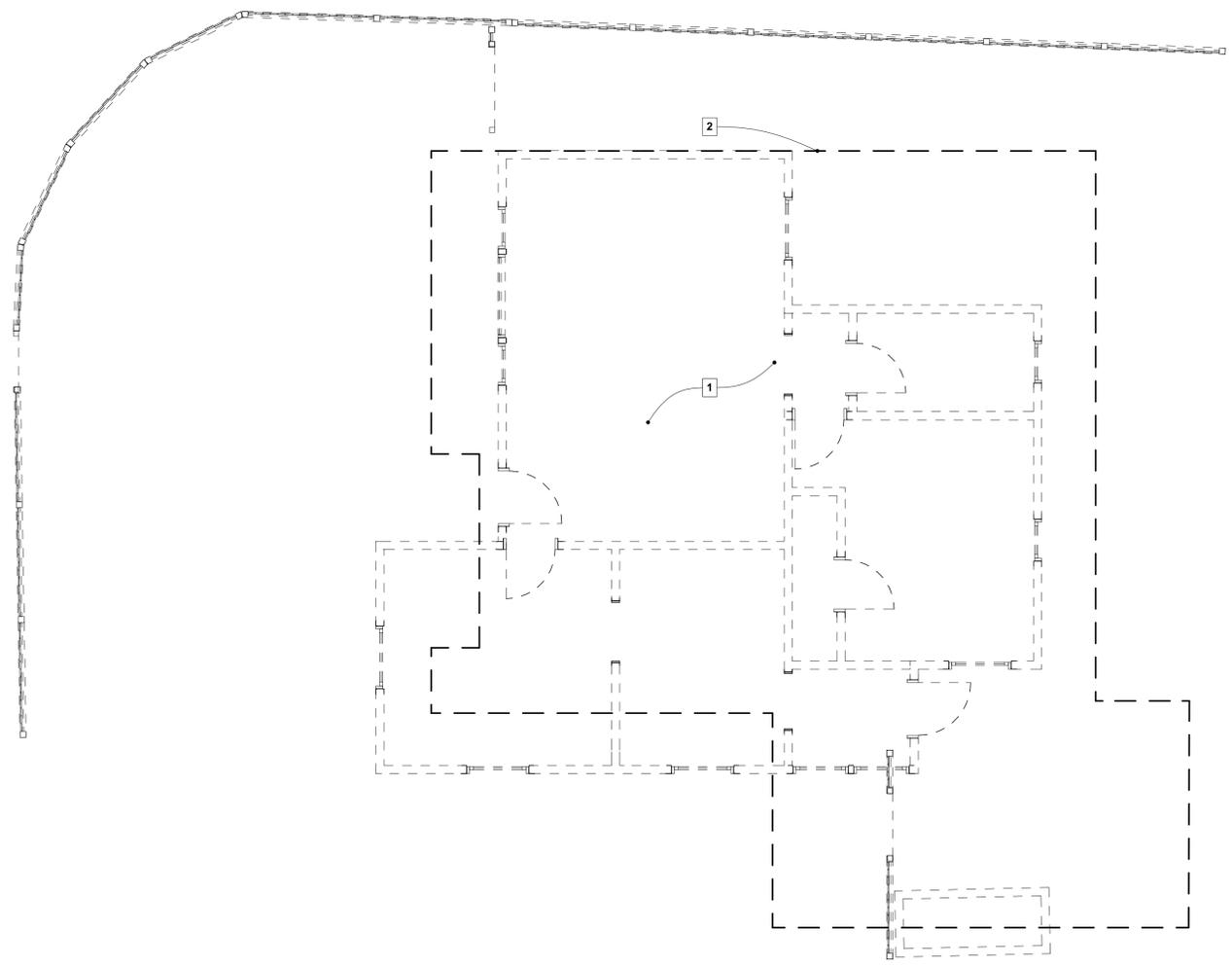


(E) HOME WEST ELEVATION

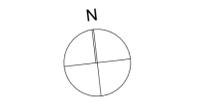


(E) HOME NORTH-EAST PERSPECTIVE

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1
A2.0
DEMOLITION PLAN | LEVEL 1
 SCALE: 1/4" = 1'-0"



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 SANTA CRUZ, CA 95062
 APN: 027-071-09

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TITLE

DEMOLITION PLAN
 SCALE AS NOTED

SHEET

A2.0

KEYNOTES: FLOOR PLAN

GENERAL

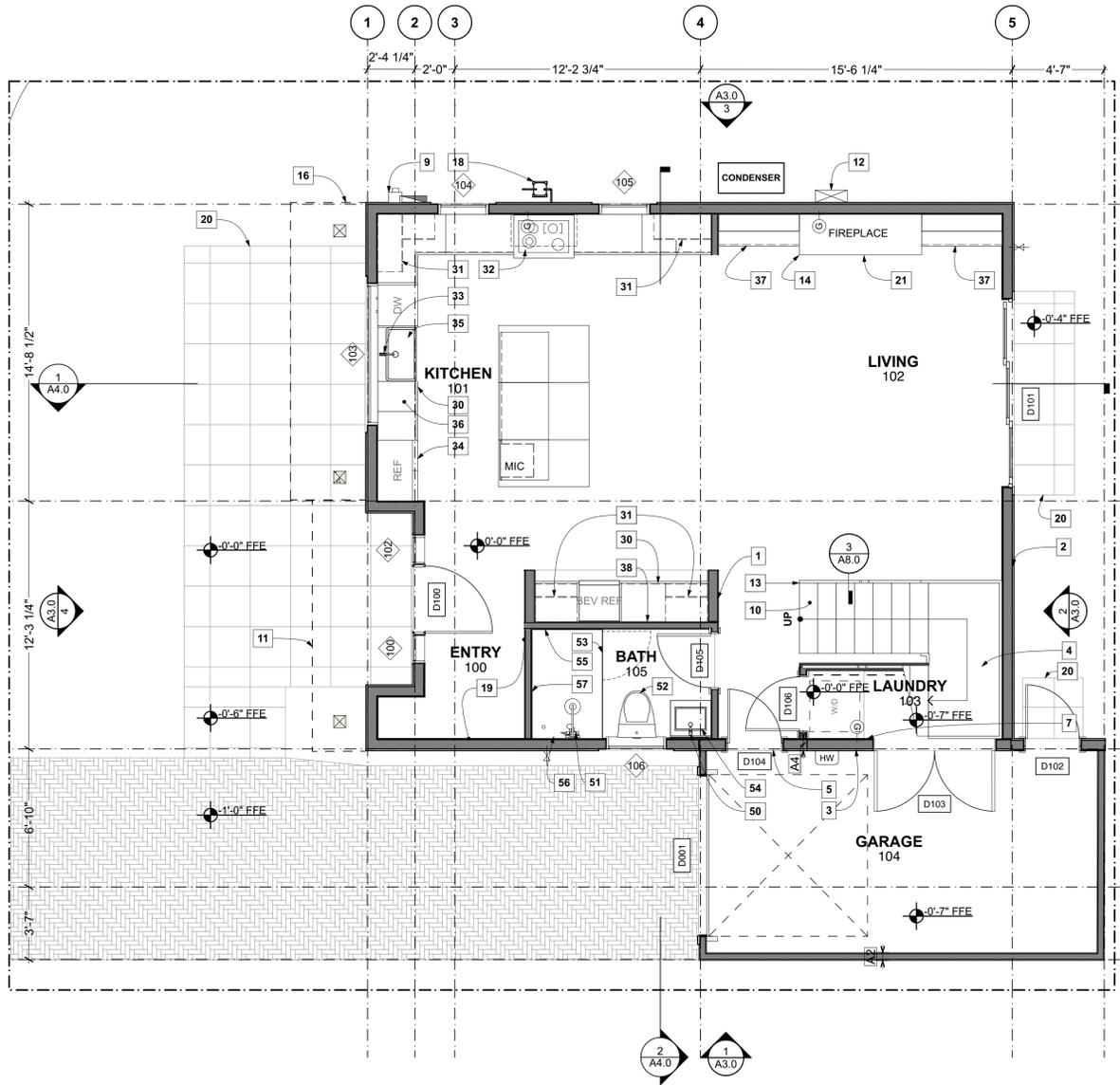
- 1 5/8" GYP. BD. ON 2x4 STUDS @ 16" O.C., TYP. INTERIOR WALL
- 2 5/8" GYP. BD. ON 2x6 STUDS @ 16" O.C., TYP. EXTERIOR WALLS & PLUMBING WALLS, U.O.N., S.S.D.
- 3 5/8" GYP. BD. TYPE X BETWEEN GARAGE AND LIVING SPACES, TYP. PER CRC R302.5 & R302.6
- 4 5/8" GYP. BD. TYPE X IN USABLE SPACE BENEATH STAIRS, PER R302.7
- 5 ONE HOUR DOOR PER R302.5.1, SEE DOOR SCHEDULE
- 6 KEYNOTE NOT USED
- 7 WASHER / DRYER HOOKUPS, SEE MEP
- 8 GUARDRAIL - PER R312
- 9 LOCATION OF ELECTRICAL METER
- 10 STAIR - PER R311.7.5
- 11 EAVE / ROOF ABOVE, TYP.
- 12 FIREPLACE VENT
- 13 GUARDRAIL / HANDRAIL - PER R311.7.8
- 14 GAS FIRE INSERT - SEE MEP
- 15 KEYNOTE NOT USED
- 16 LINE OF DECK ABOVE
- 17 WATER PROOF DECK
- 18 RELOCATION OF (E) GAS METER
- 19 BLOCK FOR ART/MIRROR
- 20 CONCRETE PAVER LANDING
- 21 BLOCK FOR TV

KITCHEN / CASEWORK

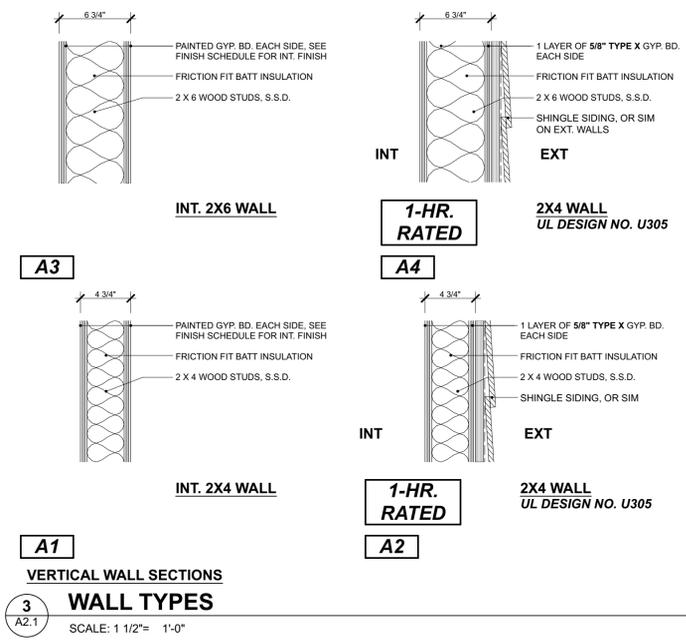
- 30 FLOOR MOUNTED BASE CABINET W/ STONE COUNTERTOP, TYP.
- 31 UPPER CABINETS
- 32 GAS RANGE W/ EXHAUST HOOD ABOVE, SEE MEP
- 33 FAUCET TO BE 1.8 GPM @ 60PSI
- 34 ENERGY STAR APPLIANCES, TYP.
- 35 SINK WITH GARBAGE DISPOSAL, SEE ELEC. NOTES MEP
- 36 PULL-OUT RECYCLING, COMPOST & TRASH
- 37 BUILT-IN BOOKSHELVES
- 38 OPEN UPPER SHELVES

BATHROOMS

- 50 FAUCET SHALL HAVE A MAXIMUM FLOW RATE OF 1.2GPM @ 60PSI, AND MIN FLOW RATE OF 0.8GPM @ 20PSI
- 51 SHOWERHEAD TO BE 1.8GPM @ 80PSI MAX
- 52 DUAL-FLUSH TOILET, 1.28 GPF MAX.
- 53 ALL GLASS SHOWER DOORS TO BE TEMPERED
- 54 VANITY W/ BASE CABINET, PROVIDE BLOCKING FOR MIRRORS ABOVE, TYP.
- 55 FOR GYPSUM BOARD USED AS THE BACKER OR BASE FOR CERAMIC TILES OR OTHER NON-ABSORBENT FINISH MATERIALS IN TUB OR SHOWER AREAS, PROVIDE FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM OR FIBER-REINFORCED GYPSUM BACKERS SUCH AS WONDER-BOARD, HARDI-BACKER, DENS SHIELD OR SIM. CRC R702.4.2
- 56 LINEAR DRAIN, SLOPE 1/4" PER FOOT, MIN.
- 57 SHOWER NICHE
- 58 SHOWER STORAGE LEDGE



1 PROPOSED FLOOR PLAN - 1ST FLOOR
SCALE: 1/4" = 1'-0"



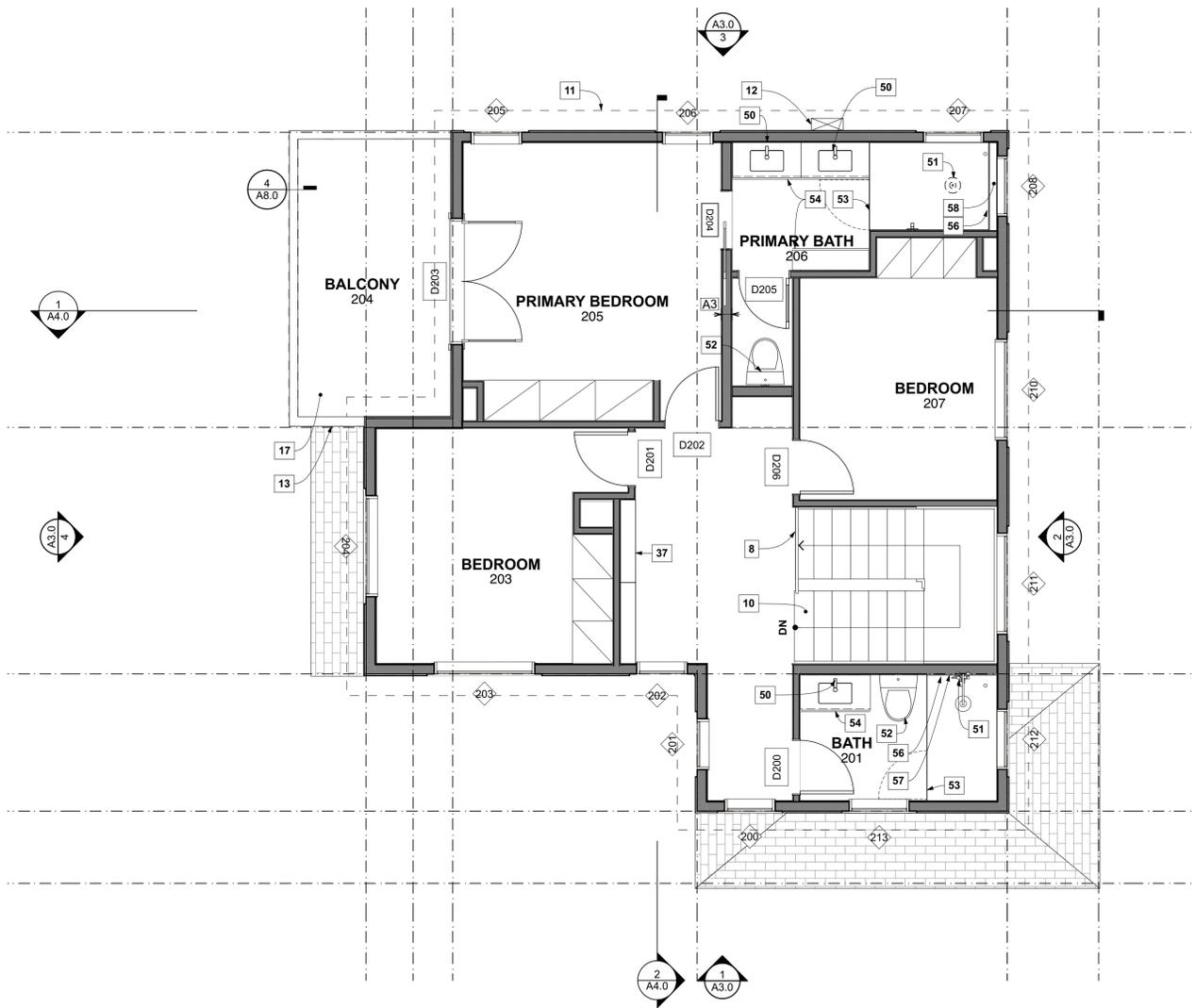
3 VERTICAL WALL SECTIONS WALL TYPES
SCALE: 1 1/2" = 1'-0"

LEGEND: FLOOR PLAN

NEW WALL, SEE WALL TYPES

FLOOR PLAN NOTES:

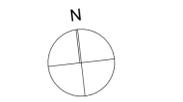
- 1. ALL GRIDLINES ARE TO FACE OF STUD U.O.N. SEE DIMENSION SYMBOLS ON COVER SHEET



2 PROPOSED FLOOR PLAN - 2ND FLOOR
SCALE: 1/4" = 1'-0"



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PROJECT:
480 6TH AVE
SANTA CRUZ, CA 95062
APN: 027-071-09

- ISSUED:
- 03 01.16.2026 MINOR VARIATION REV 1
 - 11.06.2025 BUILDING PERMIT SET
 - 10.10.2025 PLANNING MINOR VARIATION
 - 02 01.30.2025 PLANNING REVISION 1
 - 01 10.28.2024 PLANNING SUBMITTAL

TITLE
PROPOSED FLOOR PLANS

SCALE AS NOTED

SHEET

A2.1

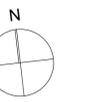
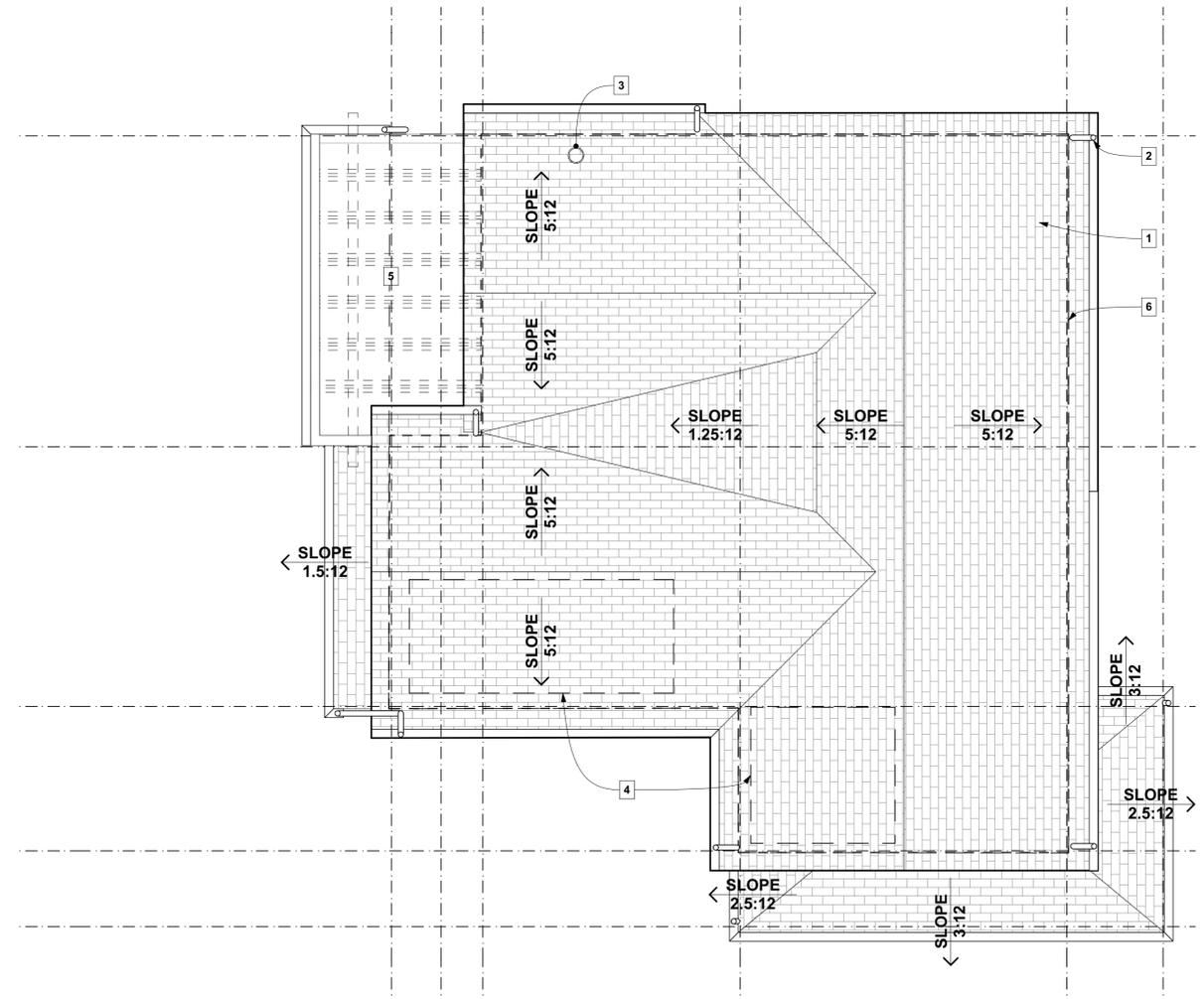
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KEYNOTES: ROOF PLAN

- 1 COMPOSITE SHINGLE ROOF
- 2 METAL GUTTER AND DOWNSPOUT, TYP
- 3 RANGE HOOD EXHAUST VENT
- 4 LOCATION OF SOLAR PANELS
- 5 WATER PROOF DECK
- 6 WALL BELOW SHOWN DASHED



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ROOF PLAN

SCALE AS NOTED

SHEET

A2.2

1 **PROPOSED ROOF PLAN**
 SCALE: 1/4" = 1'-0"

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SOUTH WEST PERSPECTIVE

SIDING



PAINTED SIDING - NATURAL WOOD CEDAR SHAKE SIDING WITH STAGGERED BUTT AND TIGHT KEYWAY



SIDING PAINT: BENJAMIN MOORE SERENATA AF-535

ROOFING



ROOF: CERTAINTEE ASPHALT SHINGLE - LANDMARK STYLE IN GEORGETOWN GREY

CASING / TRIM



WINDOW TRIM: TRU EXTERIOR TRIM
WINDOW TRIM PAINT: BENJAMIN MOORE CHANTILLY LACE

KEY NOTES - ELEVATIONS:

- 1 PAINTED SHINGLE SIDING, TYP. PAINT COLOR TO BE BLUE-GREY.
- 2 ADDRESS NUMBERS SHALL BE A MIN. OF 4" IN HEIGHT, 1/2" IN WIDTH, AND COLOR CONTRASTING TO THEIR BACKGROUND. NUMBERS TO BE POSTED AND MAINTAINED.
- 3 GUARDRAIL
- 4 EXPOSED STAINED/PAINTED WOOD COLUMN AND BEAM

YAC

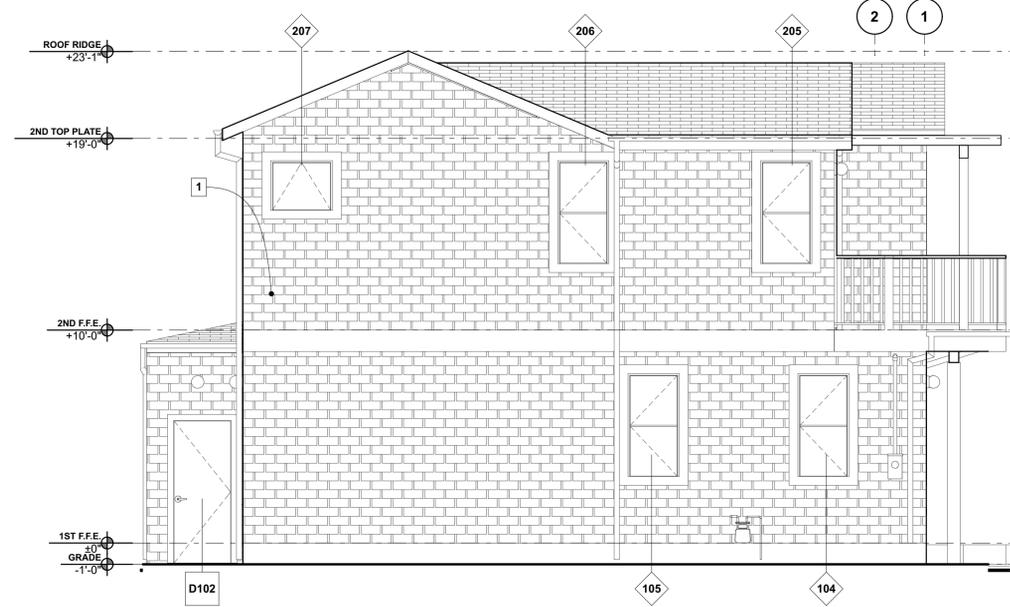
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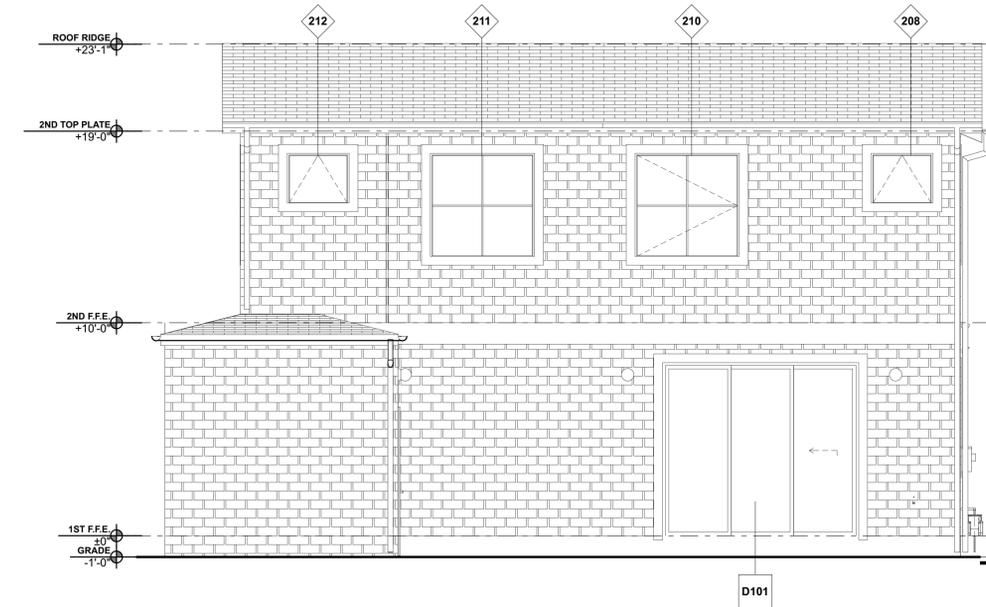
4 WEST ELEVATION PROPOSED

A3.0 SCALE: 1/4" = 1'-0"



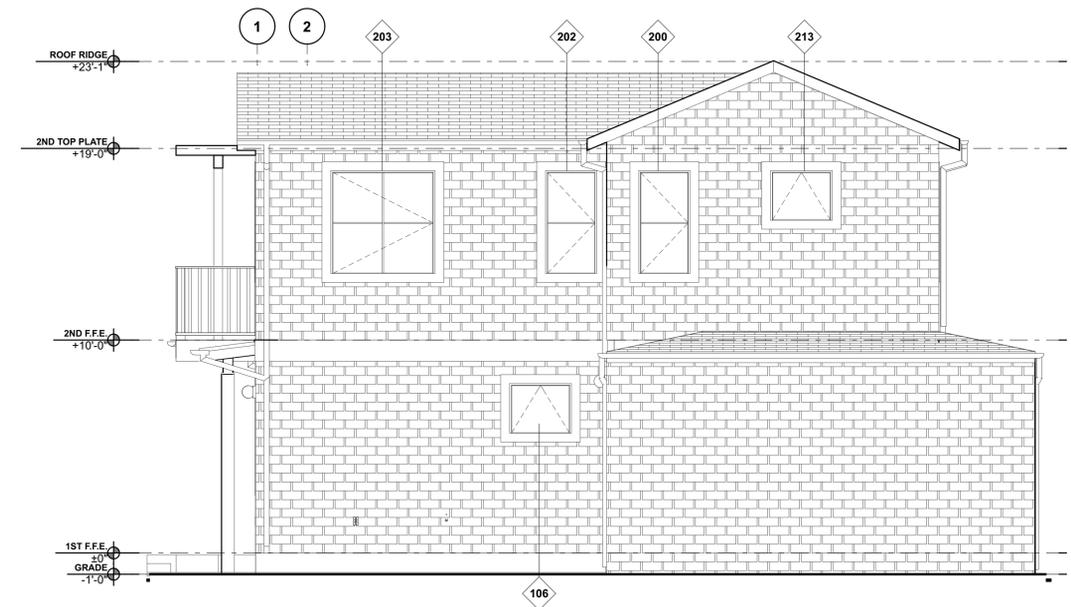
3 NORTH ELEVATION PROPOSED

A3.0 SCALE: 1/4" = 1'-0"



2 EAST ELEVATION PROPOSED

A3.0 SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION PROPOSED

A3.0 SCALE: 1/4" = 1'-0"

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01 10.28.2024
PLANNING SUBMITTAL

TITLE

EXTERIOR ELEVATIONS

SCALE AS NOTED

SHEET

A3.0

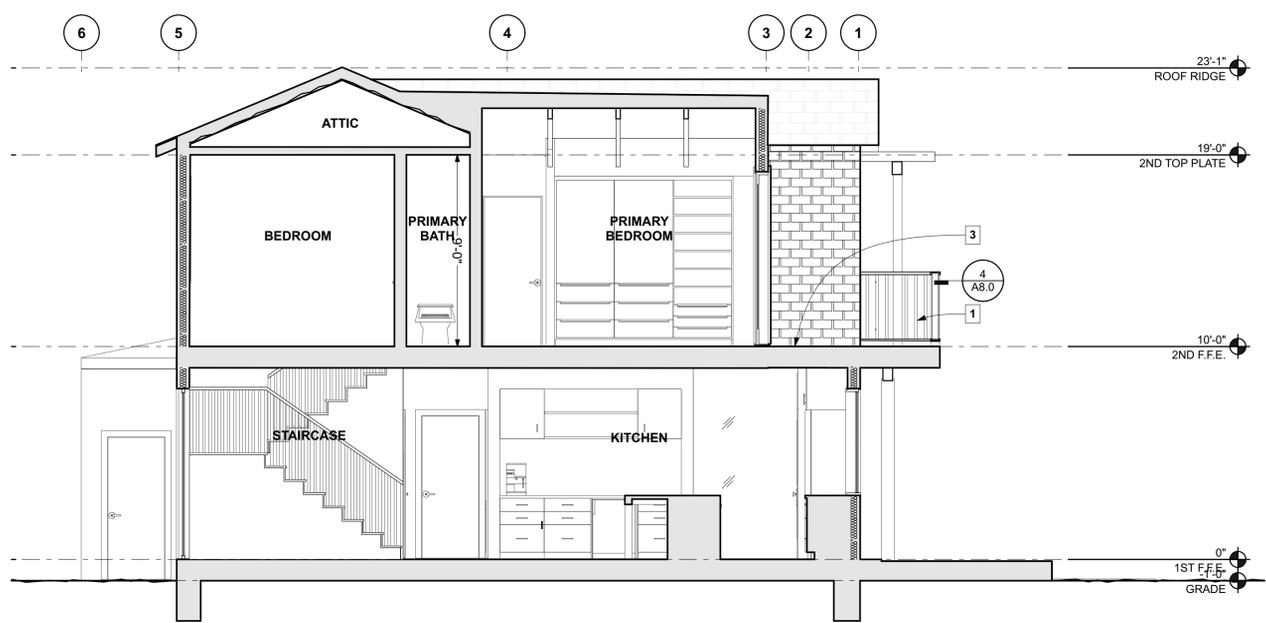


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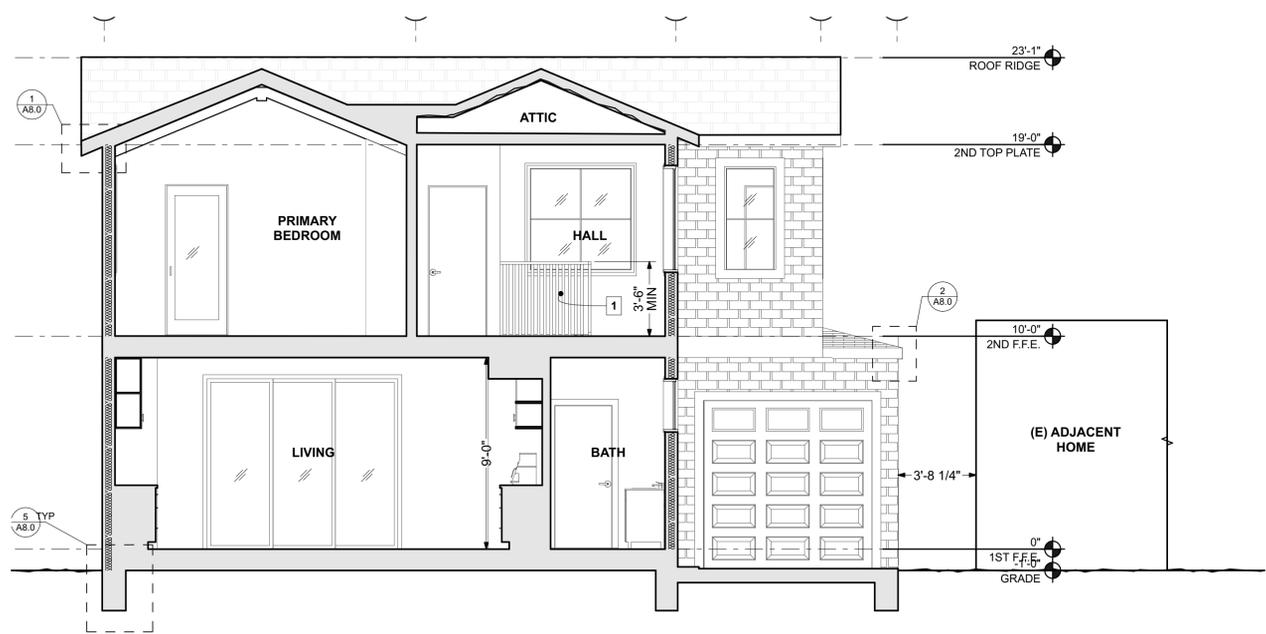


KEY NOTES - BLDG. SECTIONS:

- 1 GUARDRAIL
- 2 KEYNOTE NOT USED
- 3 WATER PROOF DECK

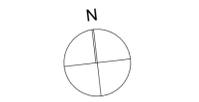


1 SECTION - EAST / WEST
 SCALE: 1/4" = 1'-0"



2 SECTION - NORTH / SOUTH
 SCALE: 1/4" = 1'-0"

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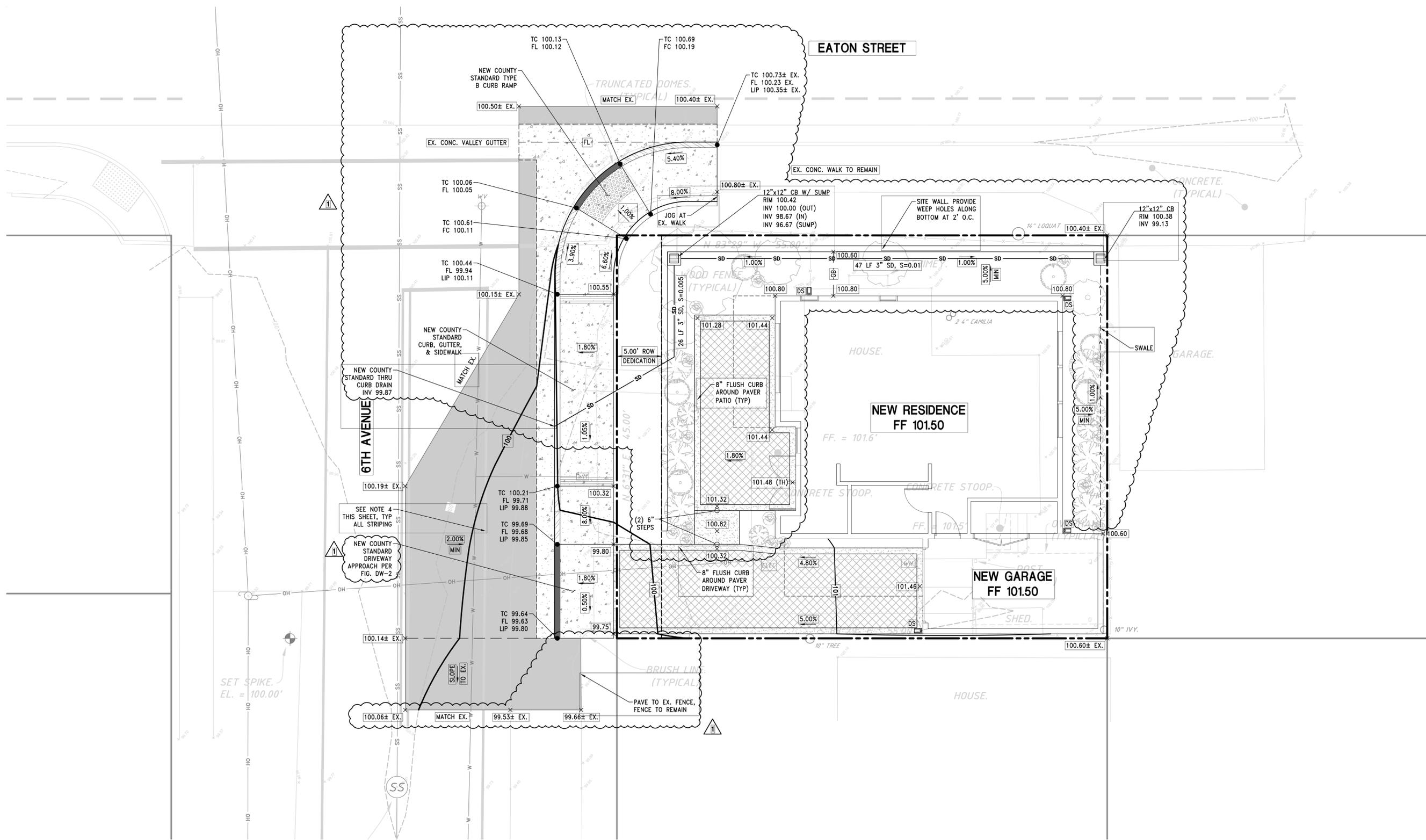
TITLE

SECTIONS
 SCALE AS NOTED

SHEET

A4.0

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ESTIMATED EARTHWORK QUANTITIES	
50	CUBIC YARDS CUT
15	CUBIC YARDS FILL
35	CUBIC YARDS EXPORT

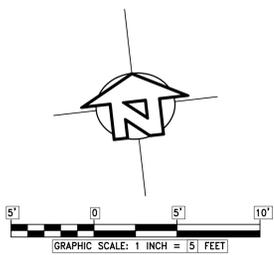
NOTES:

- ESTIMATE DOES NOT INCLUDE BUILDING OR RETAINING WALL FOUNDATIONS, UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION, IF REQUIRED BY SITE CONDITIONS.
- ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% EXPANSION FACTOR ON ALL CUT MATERIAL.
- PRIOR TO COMMENCEMENT OF WORK CONTRACTOR SHALL CONFIRM THAT ESTIMATES ARE CORRECT.

- NOTES:**
- ALL COMPACTION AND GRADING SHALL BE PERFORMED UNDER THE STRICT SUPERVISION OF THE GEOTECHNICAL ENGINEER.
 - CONTRACTOR TO VERIFY WITH THE GEOTECHNICAL REPORT AND ANY SUBSEQUENT ADDENDUM LETTERS FOR FINAL THICKNESS AND COMPACTION OF THE BUILDING PAD PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO VERIFY THE STRUCTURAL SECTION FOR SLAB ON GRADE FLOORS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION.
 - ALL EXISTING TRAFFIC STRIPING IMPACTED BY NEW IMPROVEMENTS SHALL BE REPLACED IN KIND.

LEGEND

	3" AC/9" CLASS 2 AB MATCH EX. PAVEMENT GRADES AT SAWCUT
	CONC. CURB, GUTTER, & SIDEWALK PER COUNTY STANDARD DETAILS
	ON-SITE CONCRETE PAVING
	PERVIOUS PAVERS PER DETAIL ON C2.0



NOT FOR CONSTRUCTION

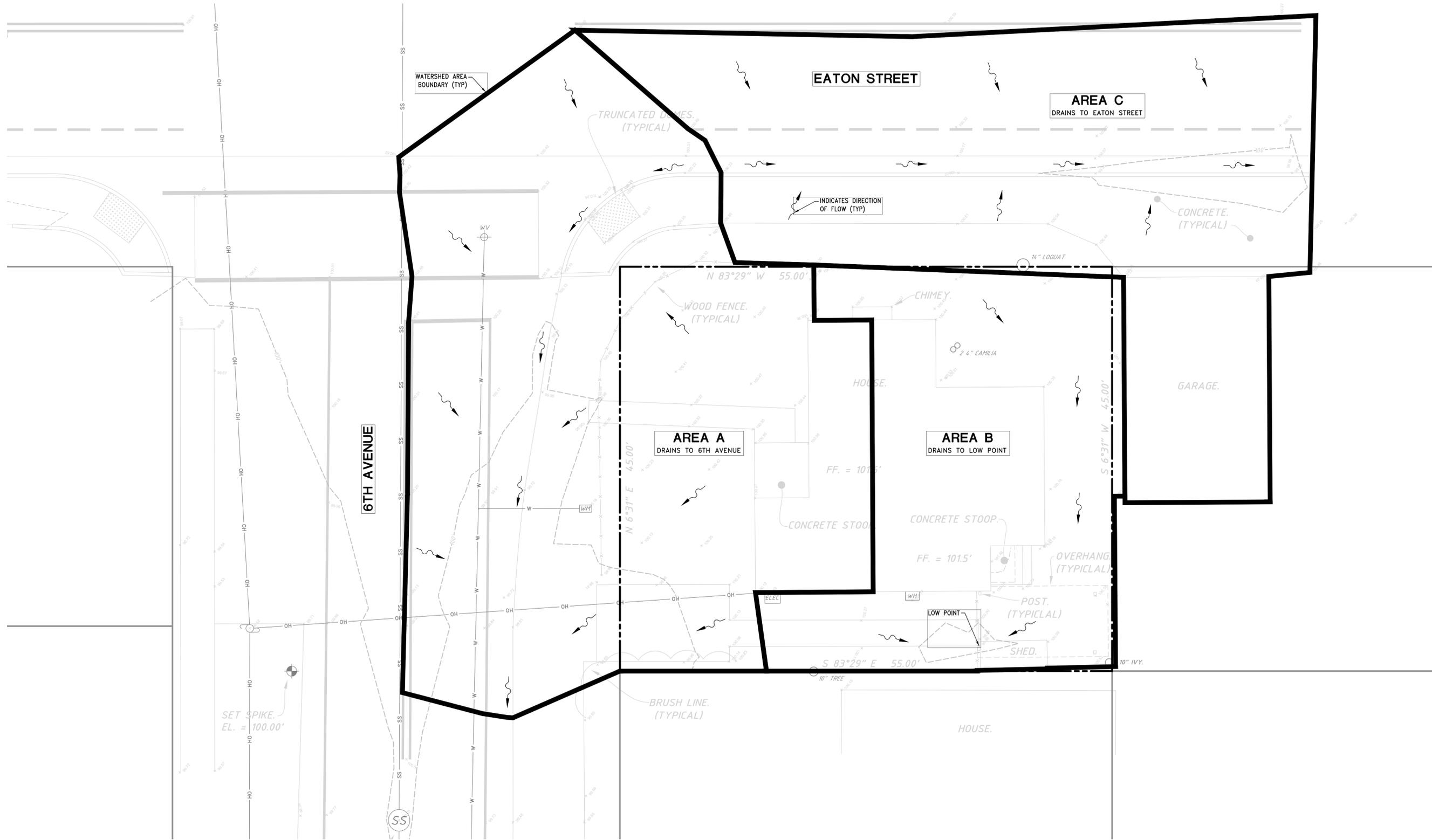
PRELIMINARY
GRADING AND DRAINAGE PLAN
480 6TH AVENUE
SANTA CRUZ, CALIFORNIA

APN 027-071-09	DESIGN DEVELOPMENT	DATE	DESIGN	DATE	DESIGN	DATE	DESIGN
		10/28/2024	JDS	10/28/2024	JDS	10/28/2024	JDS
			STAFF		STAFF		STAFF
SHEET		C1.0		JOB NO.		24023	

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 TEL (831) 428-5913
 FAX (831) 428-1793
 www.iflandengineers.com

BY	DATE
JDS	07/25/25
REVISION	

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PRELIMINARY

WATERSHED AREAS MAP
480 6TH AVENUE
SANTA CRUZ, CALIFORNIA

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APN 027-071-09	DESIGN DEVELOPMENT	DATE	DESIGN	DRAWN	STAFF
		10/28/2024	JDS	JDS	
SHEET		C3.0			
JOB NO.		24023			

DATE	REVISION
07/20/25	
BY	
JDS	(ROUND ONE COMMENTS)

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