

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060
(831) 454-2580

NOTICE OF PENDING ACTION

The Planning Department has received the following application. The identified planner may be contacted for specific information on this application.

APPLICATON NUMBER: 251516 APN: 043-331-21**

SITUS: 260 Rio Del Mar Blvd, Aptos CA 95003

Proposal to remodel the existing pool, including plumbing, coping, plaster, skimmer and equalizer.

Requires a Minor Coastal Development Permit.

Property is located on the southern side of Rio del Mar (260 Rio del Mar), approximately 760 feet from the intersection with Beach Drive.

OWNER: Kylie Silverberg HOA MANAGER

APPLICANT: Armando Santiago Mancera Zuniga- Manzera Pools Inc.

SUPERVISORIAL DISTRICT: 2

PLANNER: Alexandra Corvello, (831) 454 -3209

EMAIL: Alexandra.Corvello@santacruzcountyca.gov

Public comments must be received by 5:00 p.m. 04/10/2026. A decision will be made on or shortly after 04/13/2026.

Appeals of the decision will be accepted until 5:00 p.m. two weeks after the decision date. If you would like to request a public hearing be held for this item, please contact the project planner listed on this notice.

Information regarding the appeal process, including required fees, may be obtained by phoning (831) 454-2130.

For more information, contact the project planner identified above.

** This project requires a Coastal Development Permit which is appealable to the California Coastal Commission. After all local appeal periods have ended (grounds for appeal are listed in the County Code Section 13.20.110), approval of a Coastal Development Permit is appealable to the California Coastal Commission by filing an appeal. The appeal must be filed with the Coastal Commission within 10 business days of receipt by the Coastal Commission of notice of final local action. Alternately, an action by the Zoning Administrator may be appealed to the Planning Commission as described above.

NOTES

- NOTES ON PLANS:
 - NO GROUND WATER SHALL BE ABOVE ANY PORTION OF THE POOL CONSTRUCTION.
 - ALL SURFACE WATER SHALL DRAIN AWAY FROM THE POOL.
 - ELECTRICAL INSPECTION SHALL APPROVE GROUNDING OF REINFORCING, PLUMBING AND CONDUIT PRIOR TO THE APPROVAL OF REINFORCING STEEL FOR POURING OF CONCRETE OR GUNITE.
 - THE NOISE LEVEL FROM THE POOL EQUIPMENT LOCATED LESS THAN 10 FEET FROM A PROPERTY LINE OF AN ADJOINING PROPERTY, SHALL NOT EXCEED AMBIENT NOISE LEVEL BY MORE THAN FIVE DECIBELS.
 - CONTINUOUS INSPECTION IS REQUIRED FOR SHOTCRETE/GUNITE POOLS.
- INSPECTIONS

ALL GAS, WATER, ELECTRICAL AND DRAINAGE LINES SHALL REQUIRE INSPECTIONS.
- POOL ELECTRICAL

ALL ELECTRICAL WORK TO COMPLY WITH ARTICLE 680, CEC, 2022.
- POOL LIGHTING

ALL LIGHTING SHALL BE ENCAPSUATED OR LISTED FOR UNDERWATER INSTALLATION.
EXISTING LIGHT NICHE TO REMAIN, ONLY REPLACING LIGHT BULB/S.
- OVERHEAD POWER LINES

NO OVERHEAD CONDUCTORS WITHIN 10FT. HORIZONTALLY FROM POOL & SPA.
- DOORS/ALARMS

A ACCESS DOORS WITH SELF-CLOSING SELF-LATCHING DEVICE WITH A RELEASE MECHANISM PLACED (60) INCHES ABOVE FLOOR
B ALL DOORS LEADING TO POOL AREA TO BE ALARMED PER CODE WITH APPROVED ALARM PER SECTION 3109.4.4 CALIFORNIA BUILDING CODE (CBC).
C WHERE WALL OF HOUSE SERVES AS PART OF BARRIER, DOORS IN THE WALL MUST COMPLY WITH EITHER:
BE SELF-CLOSING AND SELF-LATCHING WITH RELEASE MECHANISM LOCATED 54" MIN. ABOVE FINISHED FLOOR, OR HAVE AN ALARM THAT SOUNDS WITHIN 7 SECONDS OF DOOR OPENING. THE SOUND LEVEL MEASURED INDOORS AT 10' SHOULD BE 85 dBA. THE ALARM SHALL AUTOMATICALLY RESET AND HAVE A MANUAL MEANS FOR TEMPORARILY DEACTIVATING FOR A SINGLE OPENING. THE DEACTIVATION SHALL LAST NO MORE THAN 15 SECS. THE SWITCH SHALL BE LOCATED 54" MIN. ABOVE THE FINISHED FLOOR.
- GLASS IN WALLS MUST BE TEMPERED IF IT IS:
 - WITHIN 5' OF POOL
 - LESS THAN 60" ABOVE FINISH GRADE ON POOL SIDE
- POOL DRAINS

SPLIT DRAINS ARE CONNECTED TO AT LEAST TWO SUCTION GRATE ASSEMBLIES THAT MEET ASME/ANSI A112.19.8 PERFORMANCE STANDARD AND ARE LOCATED AT LEAST 3 FEET APART IN ANY DIMENSION BETWEEN THE DRAINS. SPLIT DRAINS ARE TO BE INSTALLED HYDRAULICALLY BALANCED AND SYMMETRICALLY PLUMBED THROUGH A "T" FITTING.
- POOL HEATER

A POOL HEATER IS INTERNALLY REGULATED WITH THERMOSTAT THAT HAS A MAXIMUM TEMPERATURE OF 104° F.
B POOL HEATER TO BE SEISMIC STRAPPED IN ACCORDANCE WITH CPC 507.2.
C HEATER VENT TO BE MINIMUM 4' AWAY FROM WINDOWS OR T' ABOVE OPENINGS
- FUTURE SOLAR

TO ALLOW FOR THE FUTURE ADDITION OF SOLAR HEATING EQUIPMENT, AT LEAST 3/4" OF PIPE IS INSTALLED BETWEEN THE FILTER AND HEATER, OR DEDICATED SUCTION AND RETURN LINES ARE INSTALLED, OR BUILT-IN, OR BUILT-UP, CONNECTIONS FOR FUTURE SOLAR HEATING ARE PROVIDED.
- WASTE DIVERSION/DRAINAGE

A COMPLY WITH SECTION 301.3.2 REGARDING WASTE DIVERSION REQUIRED FOR WORK THAT REQUIRES BUILDING PERMIT.
- BALL DECK DRAINAGE SHALL BE MAINTAINED & IN ACCORDANCE WITH THE 2019 CALIFORNIA BUILDING CODE & CITY MUNICIPAL CODE.
- POOL EQUIPMENT AREA SHALL NOT DRAIN TO THE STORM DRAIN SYSTEM AND SHALL DRAIN TO LANDSCAPE AREA OR SANITARY SEWER SYSTEM.
- BONDING

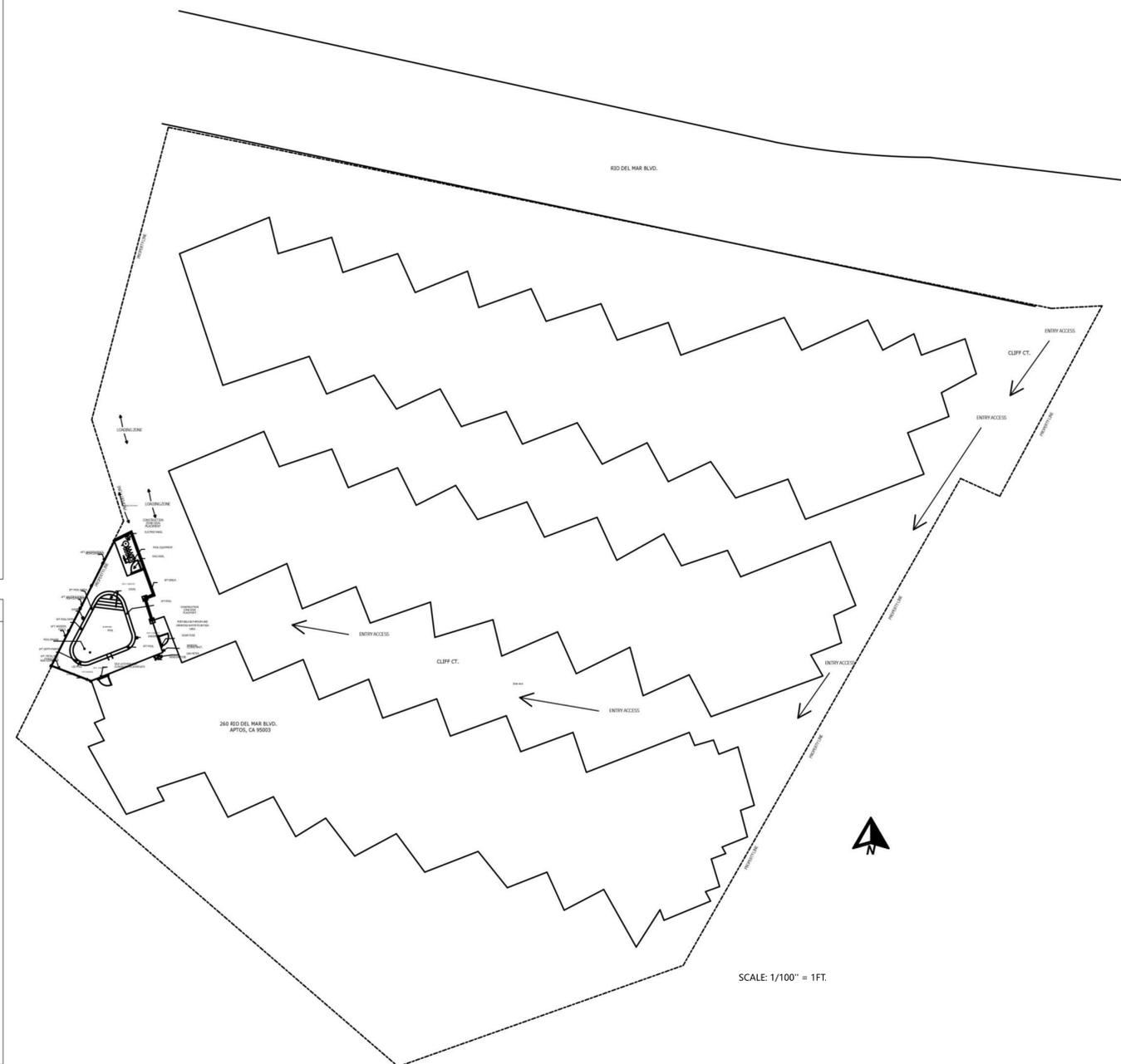
A ALL METAL WITHIN 5' OF THE WATERLINE TO BE BONDED.
B EQUIPOTENTIAL BONDING AT POOL DECK/PERIMETER SURFACES: THE EQUIPOTENTIAL BONDING OF THE PERIMETER SURFACE SHALL INCLUDE UNPAVED SURFACES AS WELL AS POURED CONCRETE AND OTHER TYPES OF PAVING SHALL BE ATTACHED TO THE POOL DECK STRUCTURAL REINFORCING STEEL RODS BONDED TOGETHER BY THE USUAL STEEL TIE WIRES AT A MINIMUM OF (4) POINTS UNIFORMLY SPACED AROUND THE PERIMETER OF THE POOL WITH A MINIMUM 8 AWG COPPER CONDUCTOR PER CEC 680.26 (B) 2.
- GLAZING NOTE

GLASS IN WALLS MUST BE TEMPERED IF IT IS:

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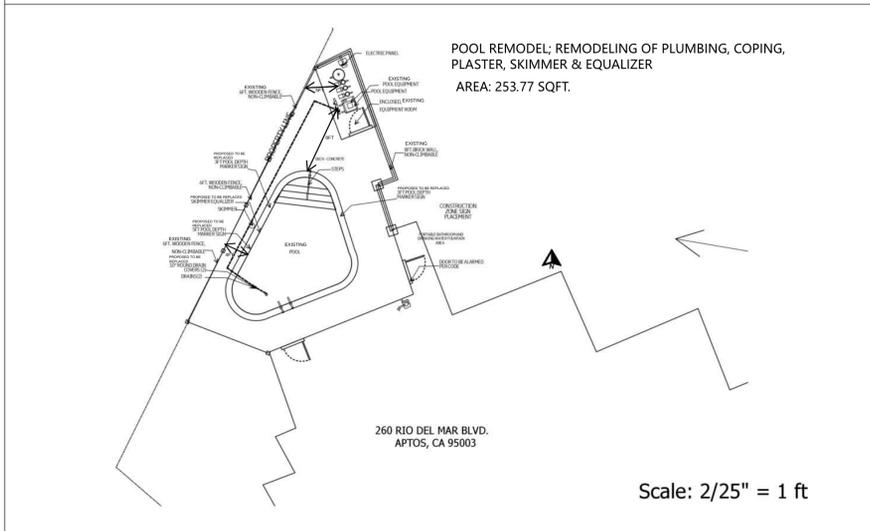
RIO DEL MAR HOME OWNER ASSOCIATION
260 RIO DEL MAR BLVD.
APTOS, CA 95003

PROPERTY VIEW

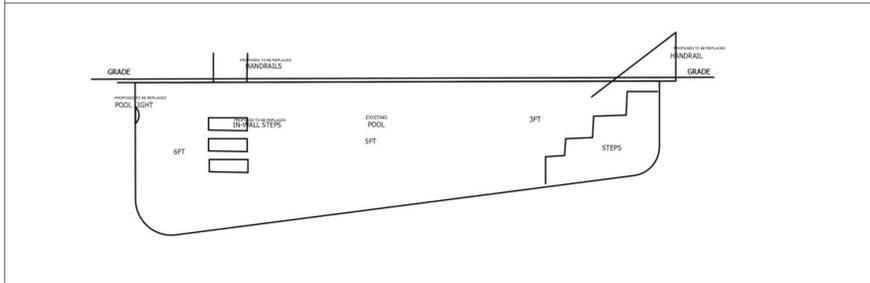


APPLICABLE CODES			
2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE 2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS			
SCOPE OF WORK			
POOL REMODEL 62FT. PLUMBING REMODEL PLASTER APPLICATION			
PROPERTY INFORMATION			
SITUS ADDRESS	260 RIO DEL MAR BLVD.		
USE TYPE	COMMERCIAL		
APN	04333121		
CONSTRUCTION TYPE			
SPRINKLERED	NO		
PROPERTY OWNER/ AGENT AUTHORIZED: KYLE SILVERBURG HOA MANGER			
SPECIFICATIONS			
AREA	SQUARE FEET	DEPTHS	
POOL	253.77 SQFT.	POOL: 3FT SHALLOW, 6FT DEEP	
SHEET INDEX			
P-1	SITE PLAN & NOTES		
P-2 - P-4	PLUMBING & UTILITIES		
P-6	DECKING AND DRAINAGE		
P-5	ELECTRICAL LINE		
P-7	GAS LINE		
P-8	SAFETY PREVENTION FEATURES		
LEGEND			
	ELECTRIC METER		DRAIN COVERS
	GAS MAIN		SKIMMER
	P-TRAP		LIGHT
	PUMP		BONDING POINT
	FILTER		
	HEATER		
	CONCRETE DECKING		

POOL DIMENSIONS & SCOPE OF WORK DETAIL



POOL CROSS SECTION



Pools	
COUNT:	1
ENVELOPE:	20' 1" x 17' 9"
PERIMETER:	62' 1"
AREA:	253.77 ft ²
INT SURFACE AREA:	538.37 ft ²
DEPTH:	3' 5" to 6'
HEIGHT:	0"
VOLUME:	7,659 gallons
DRAINS:	2
LIGHTS:	1
SPILLOVER LENGTH(S):	
SPILLOVER MTRL:	
INTERIOR FINISH:	Concrete, Plaster, Off White
TILE LINE:	+6" 62' 1"
TILE MATERIAL:	Tile, Steel Blue
EXTERIOR FACING:	0 ft ²
COPING AREA:	65.24 ft ²
COPING INTERIOR:	62' 1"
COPING MATERIAL:	Artistic Pavers, Coping 12x12"
RAISED BEAMS:	
RAISED BEAM MTRL:	
STEPS/BENCHES:	4
STEP LINEAR FT:	33'
STEP PERIMETER:	70' 6"
STEP AREA:	31.7 ft ²
TRIM TILE:	
TRIM TILE MATERIAL:	
CONCRETE:	12.8 yards ³
REBAR:	1922' 3"

LEAD DESIGNER:
DIANA CAMARILLO
MANZERA POOLS INC.



CONTRACTOR
MANZERA POOLS INC. - LIC NO. 1132951
4750-124 ALMADEN EXPWY #121
SAN JOSE, CA 95118
(209) 737-5458



PROJECT ADDRESS:
260 RIO DEL MAR BLVD.
APTOS, CA 95003

SITE PLAN
NOTES & DETAILS

DRAWN / CHECKED
BY: DIANA C.

SCALE:
AS SHOWN

DATE: 10/31/2025

SHEET NUMBER

P-1

POOL EQUIPMENT SCHEDULE				
PENTAIR FILTER 2805QFT.	FILTER	PENTAIR		CCP420
VARIABLE SPEED PUMP	INTELLIFLO PENTAIR			EC-342001
LED LIGHTS	POOL LIGHT	PENTAIR		
CONTROL PANEL	POOL CONTROL SYSTEM	PENTAIR INTELLICENTER		ETI125C
PRESSURE CLEANER	PRESSURE CLEANER	POLARIS	280	F5
HEATER	ULTRA-TEMP	PENTAIR	400k BTU	460738

DBA: N/A
 DBA: 45
 DBA: N/A
 DBA: N/A
 DBA: N/A
 DBA: N/A

RIO DEL MAR HOME OWNER ASSOCIATION
 260 RIO DEL MAR BLVD.
 APTOS, CA 95003

FOOTNOTES:
 * ALL LISTED DRAIN COVERS ARE VGBA-2017, NSF/ANSI/CAN 50 ANSI/APSP/ICC 16 - 2017 COMPLIANT. **
 SKIMMERS ARE NSF/ANSI 50-2012 PERFORMANCE STANDARD COMPLIANT.

BONDING NOTE:
 ALL METAL WITHIN 5' OF THE WATERLINE TO BE BONDED.

EQUIPOTENTIAL BONDING AT POOL DECK/PERIMETER SURFACES: THE EQUIPOTENTIAL BONDING OF THE PERIMETER SURFACE SHALL INCLUDE UNPAVED SURFACES AS WELL AS POURED CONCRETE AND OTHER TYPES OF PAVING SHALL BE ATTACHED TO THE POOL DECK STRUCTURAL REINFORCING STEEL RODS BONDED TOGETHER BY THE USUAL STEEL TIE WIRES AT A MINIMUM OF (4) POINTS UNIFORMLY SPACED AROUND THE PERIMETER OF THE POOL WITH A MINIMUM 8 AWG COPPER CONDUCTOR PER CEC 680.26 (B) 2.

GLAZING NOTE:
 GLASS IN WALLS MUST BE TEMPERED IF IT IS:
 1. WITHIN 5' OF POOL
 2. LESS THAN 60" ABOVE FINISH GRADE ON POOL SIDE

EQUIPMENT PAD, ANCHORAGE & DRAINAGE NOTES

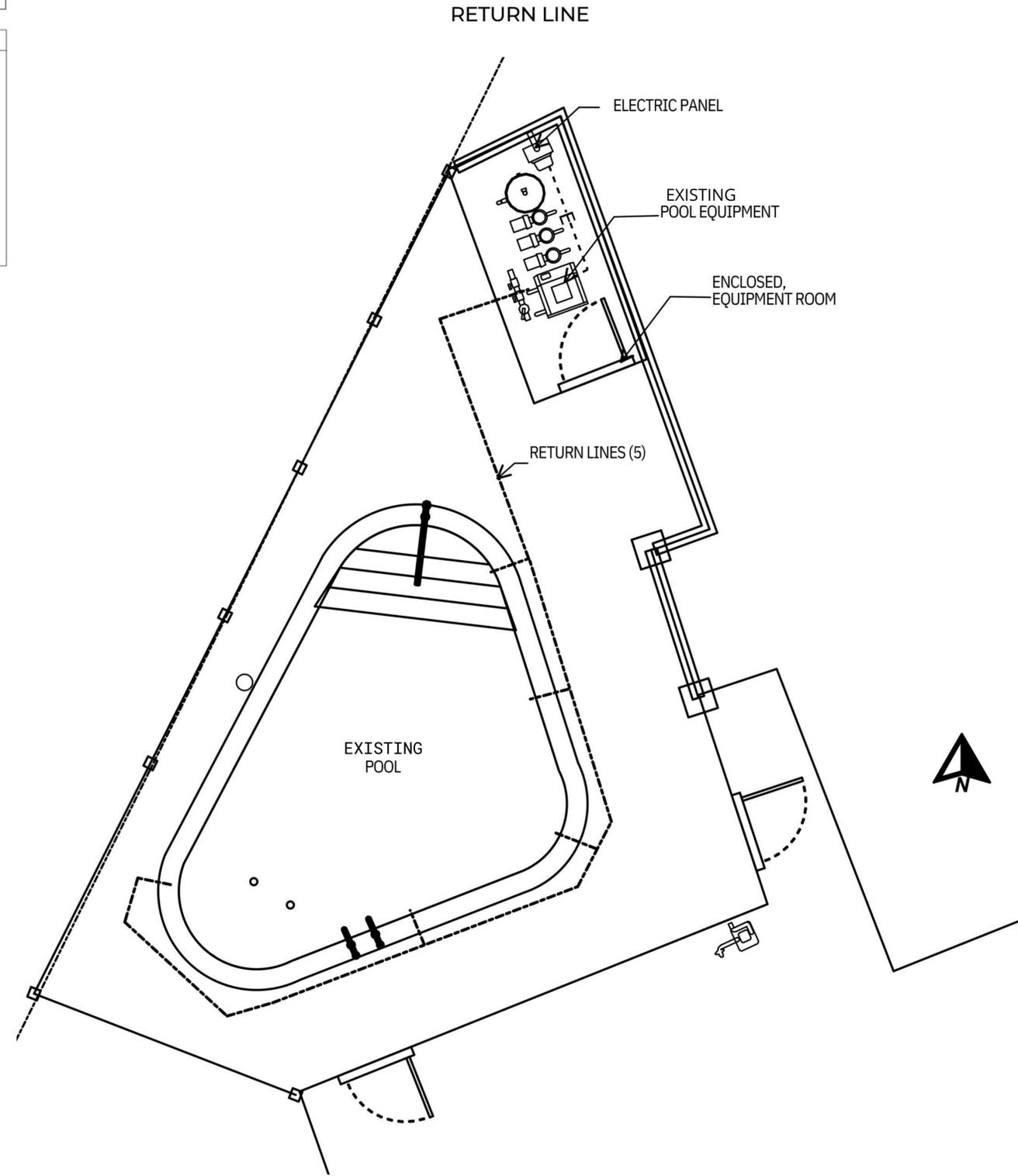
EQUIPMENT PAD
 4" THICK CONCRETE PAD, #3 REBAR @ 18" O.C.

EQUIPMENT ANCHORS
 EQUIPMENT TO BE ANCHORED TO EQUIPMENT PAD USING THE FOLLOWING FASTENERS:
 RED HEAD TRUBOLT ANCHORS - 3/75" BOLT WITH UP TO 3/75" EMBEDMENT PER MANUFACTURER SPECIFICATIONS

COMPLY WITH SECTION 301.3.2 REGARDING WASTE DIVERSION REQUIRED FOR WORK THAT REQUIRES BUILDING PERMIT.

ALL DECK DRAINAGE SHALL BE MAINTAINED & IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE.

POOL EQUIPMENT AREA SHALL NOT DRAIN TO THE STORM DRAIN SYSTEM & SHALL DRAIN TO LANDSCAPE AREA OR SANITARY SEWER SYSTEM.



APPLICABLE CODES			
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SCOPE OF WORK			
POOL REMODEL PLUMBING REMODEL PLASTER APPLICATION			
PROPERTY INFORMATION			
SITUS ADDRESS	260 RIO DEL MAR BLVD.		
USE TYPE	COMMERCIAL		
APN	04333121		
CONSTRUCTION TYPE			
SPRINKLERED	NO		
PROPERTY OWNER/ AGENT AUTHORIZED; KYLE SILVERBURG HOA MANGER			
SPECIFICATIONS			
AREA	SQUARE FEET	DEPTHS	
POOL		POOL: 3FT SHALLOW, 6FT DEEP	
SHEET INDEX			
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P-5	ELECTRICAL LINE		
P-7	GAS LINE		
P-8	SAFETY PREVENTION FEATURES		
LEGEND			
[E]	ELECTRIC METER	[O]	DRAIN COVERS
[G]	GAS MAIN	[S]	SKIMMER
[P]	P-TRAP	[L]	LIGHT
[PUMP]	PUMP	[B]	BONDING POINT
[F]	FILTER		
[H]	HEATER		
[C]	CONCRETE DECKING		

LEAD DESIGNER:
 DIANA CAMARILLO
 MANZERA POOLS INC.



CONTRACTOR
 MANZERA POOLS INC. - LIC NO. 1132951
 4750-124 ALMADEN EXPWY #121
 SAN JOSE, CA 95118
 (209) 737-5458



PROJECT ADDRESS:
 260 RIO DEL MAR BLVD.
 APTOS, CA 95003

PLUMBING

DRAWN / CHECKED BY: DIANA C.
 SCALE: AS SHOWN
 DATE: 10/31/2025

SHEET NUMBER
P-2

POOL EQUIPMENT SCHEDULE				
PENTAIR FILTER 2805QFT.	FILTER	PENTAIR		CCP420
VARIABLE SPEED PUMP	INTELLIFLO PENTAIR			EC-342001
LED LIGHTS	POOL LIGHT	PENTAIR		
CONTROL PANEL	POOL CONTROL SYSTEM	PENTAIR INTELLICENTER		ET1125C
PRESSURE CLEANER	PRESSURE CLEANER	POLARIS	280	F5
HEATER	ULTRA-TEMP	PENTAIR	400k BTU	460738

DBA: N/A
DBA: 45
DBA: N/A
DBA: N/A
DBA: N/A
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RIO DEL MAR HOME OWNER ASSOCIATION
260 RIO DEL MAR BLVD.
APTOS, CA 95003

FOOTNOTES:
* ALL LISTED DRAIN COVERS ARE VGBA-2017, NSF/ANSI/CAN 50 ANSI/APSP/ICC 16 - 2017 COMPLIANT. ** SKIMMERS ARE NSF/ANSI 50-2012 PERFORMANCE STANDARD COMPLIANT.

BONDING NOTE:
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EQUIPMENT PAD, ANCHORAGE & DRAINAGE NOTES

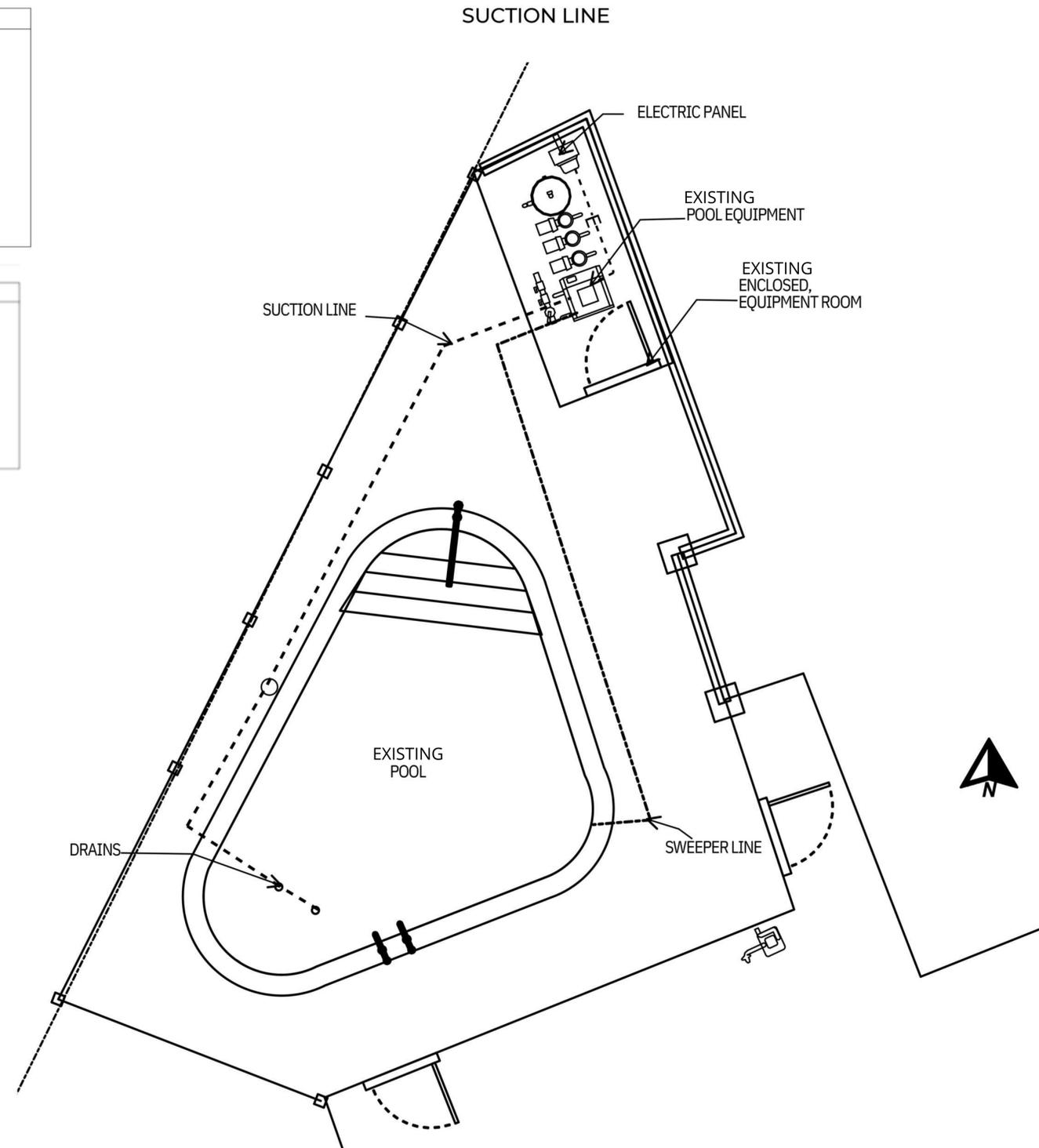
EQUIPMENT PAD
4" THICK CONCRETE PAD, #3 REBAR @ 18" O.C.

EQUIPMENT ANCHORS
EQUIPMENT TO BE ANCHORED TO EQUIPMENT PAD USING THE FOLLOWING FASTENERS:
RED HEAD TRUBOLT ANCHORS - 3/75" BOLT WITH UP TO 3/75" EMBEDMENT PER MANUFACTURER SPECIFICATIONS

COMPLY WITH SECTION 301.3.2 REGARDING WASTE DIVERSION REQUIRED FOR WORK THAT REQUIRES BUILDING PERMIT.

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POOL EQUIPMENT AREA SHALL NOT DRAIN TO THE STORM DRAIN SYSTEM & SHALL DRAIN TO LANDSCAPE AREA OR SANITARY SEWER SYSTEM.



APPLICABLE CODES			
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SCOPE OF WORK			
POOL REMODEL PLUMBING REMODEL PLASTER APPLICATION			
PROPERTY INFORMATION			
SITUS ADDRESS	260 RIO DEL MAR BLVD.		
USE TYPE	COMMERCIAL		
CONSTRUCTION TYPE			
SPRINKLERED	NO		
PROPERTY OWNER/ AGENT AUTHORIZED; KYLE SILVERBURG HOA MANGER			
SPECIFICATIONS			
AREA	SQUARE FEET	DEPTHS	
POOL		POOL: 3FT SHALLOW, 6FT DEEP	
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[PUMP]	PUMP	[B]	BONDING POINT
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CONTRACTOR
MANZERA POOLS INC. - LIC NO. 1132951
4750-124 ALMADEN EXPWY #121
SAN JOSE, CA 95118
(209) 737-5458



PROJECT ADDRESS:
260 RIO DEL MAR BLVD.
APTOS, CA 95003

PLUMBING

DRAWN / CHECKED BY: DIANA C.

SCALE: AS SHOWN

DATE: 10/31/2025

SHEET NUMBER

P-3

POOL EQUIPMENT SCHEDULE				
PENTAIR FILTER 280SQFT.	FILTER	PENTAIR		CCP420
VARIABLE SPEED PUMP	INTELLIFLO PENTAIR			EC-342001
LED LIGHTS	POOL LIGHT	PENTAIR		
CONTROL PANEL	POOL CONTROL SYSTEM	PENTAIR INTELLICENTER		ET1125C
PRESSURE CLEANER	PRESSURE CLEANER	POLARIS	280	F5
HEATER	ULTRA-TEMP	PENTAIR	400k BTU	460738

DBA: N/A
DBA: 45
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RIO DEL MAR HOME OWNER ASSOCIATION
260 RIO DEL MAR BLVD.
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DRAIN COVERS & SKIMMER EQUALIZER

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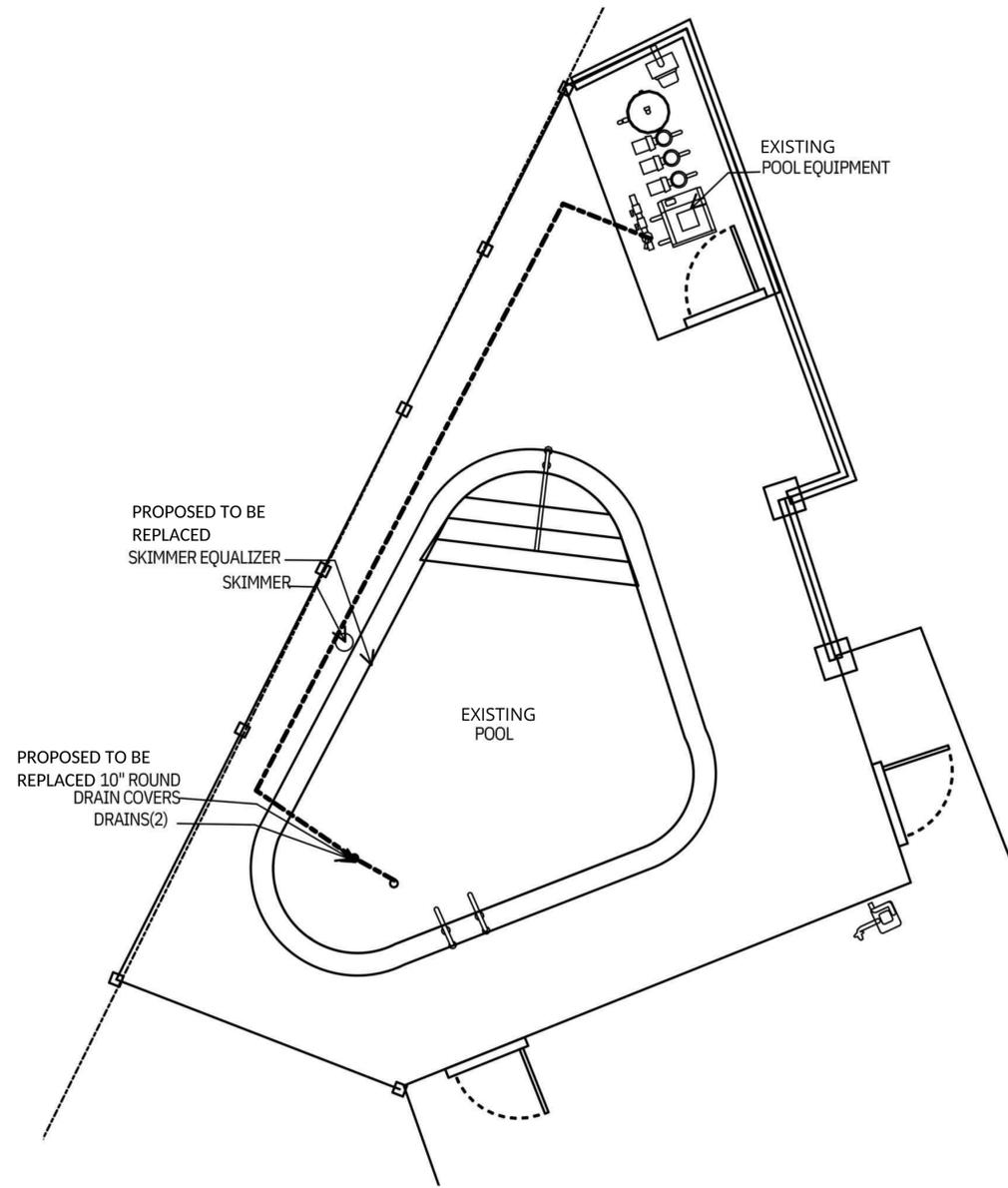
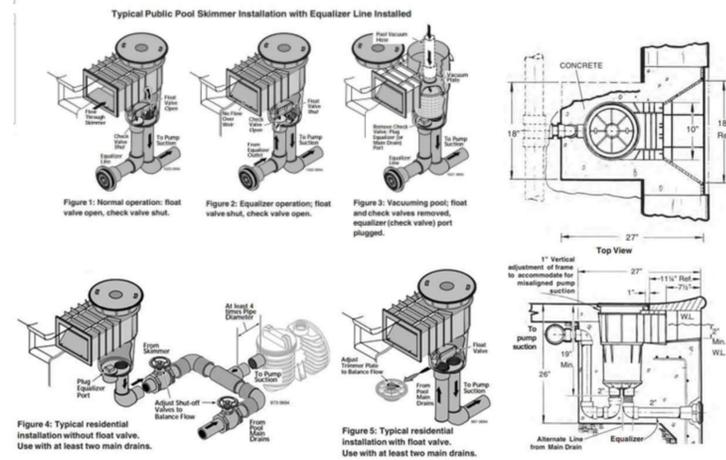
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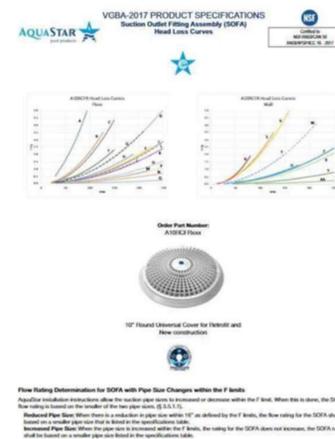


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	GAS MAIN		SKIMMER
	P-TRAP		LIGHT
	PUMP		BONDING POINT
	FILTER		
	HEATER		
	CONCRETE DECKING		

AQUASTAR VGBA-2017 PRODUCT SPECIFICATIONS
Section Outlet Fitting Assembly (SOFA),
VGBA-2017 Flow Rating, Sump Dimensions,
and Sump Filter Lift Curve

COVER NUMBER

COVER NUMBER	SOFA Model Number	Flow Rating (GPM)							
AS100	AS100	100	100	100	100	100	100	100	100
AS150	AS150	150	150	150	150	150	150	150	150
AS200	AS200	200	200	200	200	200	200	200	200
AS250	AS250	250	250	250	250	250	250	250	250
AS300	AS300	300	300	300	300	300	300	300	300
AS350	AS350	350	350	350	350	350	350	350	350
AS400	AS400	400	400	400	400	400	400	400	400
AS450	AS450	450	450	450	450	450	450	450	450
AS500	AS500	500	500	500	500	500	500	500	500
AS550	AS550	550	550	550	550	550	550	550	550
AS600	AS600	600	600	600	600	600	600	600	600
AS650	AS650	650	650	650	650	650	650	650	650
AS700	AS700	700	700	700	700	700	700	700	700
AS750	AS750	750	750	750	750	750	750	750	750
AS800	AS800	800	800	800	800	800	800	800	800
AS850	AS850	850	850	850	850	850	850	850	850
AS900	AS900	900	900	900	900	900	900	900	900
AS950	AS950	950	950	950	950	950	950	950	950
AS1000	AS1000	1000	1000	1000	1000	1000	1000	1000	1000



LEAD DESIGNER:
DIANA CAMARILLO
MANZERA POOLS INC.



CONTRACTOR
MANZERA POOLS INC. - LIC NO. 1132951
4750-124 ALMADEN EXPWY #121
SAN JOSE, CA 95118
(209) 737-5458



PROJECT ADDRESS:
260 RIO DEL MAR BLVD.
APTOS, CA 95003

PLUMBING

DRAWN / CHECKED BY: DIANA C.
SCALE: AS SHOWN

DATE: 10/31/2025

SHEET NUMBER

P-4

POOL EQUIPMENT SCHEDULE				
PENTAIR FILTER 2805QFT.	FILTER	PENTAIR		CCP420
VARIABLE SPEED PUMP	INTELLIFLO PENTAIR			EC-342001
LED LIGHTS	POOL LIGHT	PENTAIR		
CONTROL PANEL	POOL CONTROL SYSTEM	PENTAIR INTELLICENTER		ETI125C
PRESSURE CLEANER	PRESSURE CLEANER	POLARIS	280	F5
HEATER	ULTRA-TEMP	PENTAIR	400k BTU	460738

DBA: N/A
DBA: 45
DBA: N/A
DBA: N/A
DBA: N/A
DBA: N/A

RIO DEL MAR HOME OWNER ASSOCIATION
260 RIO DEL MAR BLVD.
APTOS, CA 95003

APPLICABLE CODES			
2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE 2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS			
SCOPE OF WORK			
POOL REMODEL PLUMBING REMODEL PLASTER APPLICATION			
PROPERTY INFORMATION			
SITUS ADDRESS	260 RIO DEL MAR BLVD.		
USE TYPE	COMMERCIAL		
CONSTRUCTION TYPE			
SPRINKLERED	NO		
PROPERTY OWNER/ AGENT AUTHORIZED; KYLE SILVERBURG HOA MANAGER			
SPECIFICATIONS			
AREA	SQUARE FEET	DEPTHS	
POOL		POOL: 3FT SHALLOW, 6FT DEEP	
SHEET INDEX			
P-1	SITE PLAN & NOTES		
P-2 - P4	PLUMBING & UTILITIES		
P-5	DECKING AND DRAINAGE		
P-6	ELECTRICAL LINE		
P-7	GAS LINE		
P-8	SAFETY PREVENTION FEATURES		
LEGEND			
	ELECTRIC METER		DRAIN COVERS
	GAS MAIN		SKIMMER
	P-TRAP		LIGHT
	PUMP		BONDING POINT
	FILTER		
	HEATER		
	CONCRETE DECKING		

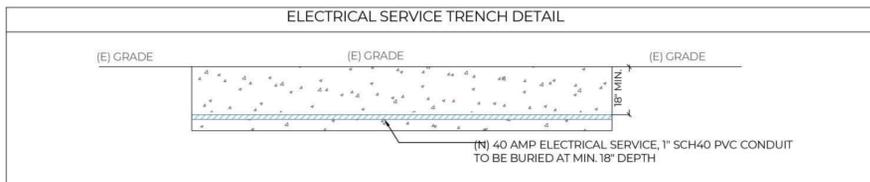
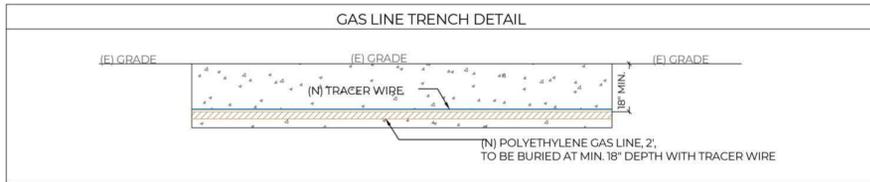
FOOTNOTES & BONDING NOTE

FOOTNOTES:
* ALL LISTED DRAIN COVERS ARE VGBA-2017, NSF/ANSI/CAN 50 ANSI/APSP/ICC 16 - 2017 COMPLIANT. ** SKIMMERS ARE NSF/ANSI 50-2012 PERFORMANCE STANDARD COMPLIANT.

BONDING NOTE:
ALL METAL WITHIN 5' OF THE WATERLINE TO BE BONDED.

EQUIPOTENTIAL BONDING AT POOL DECK/PERIMETER SURFACES: THE EQUIPOTENTIAL BONDING OF THE PERIMETER SURFACE SHALL INCLUDE UNPAVED SURFACES AS WELL AS POURED CONCRETE AND OTHER TYPES OF PAVING SHALL BE ATTACHED TO THE POOL DECK STRUCTURAL REINFORCING STEEL RODS BONDED TOGETHER BY THE USUAL STEEL TIE WIRES AT A MINIMUM OF (4) POINTS UNIFORMLY SPACED AROUND THE PERIMETER OF THE POOL WITH A MINIMUM 8 AWG COPPER CONDUCTOR PER CEC 680.26 (B) 2.

GLAZING NOTE:
GLASS IN WALLS MUST BE TEMPERED IF IT IS:
1. WITHIN 5' OF POOL
2. LESS THAN 60" ABOVE FINISH GRADE ON POOL SIDE

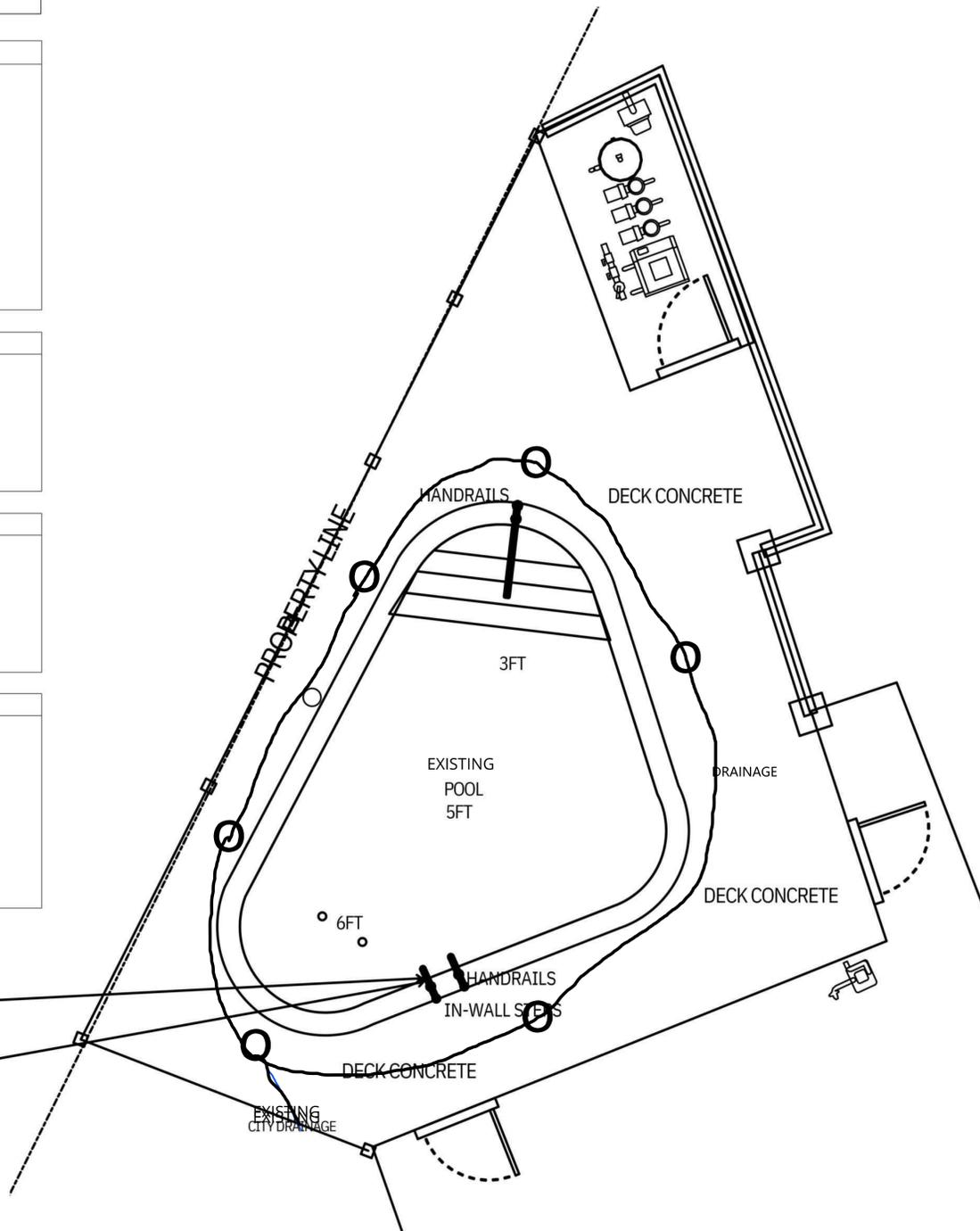
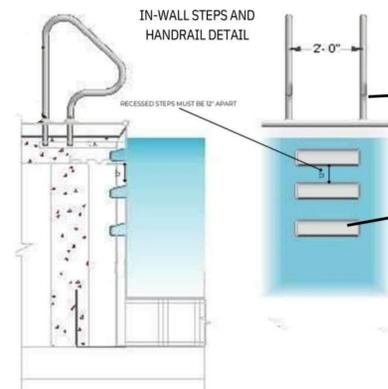


EQUIPMENT PAD, ANCHOR & DRAINAGE NOTES

EQUIPMENT PAD
4" THICK CONCRETE PAD, #3 REBAR @ 18" O.C.

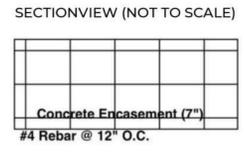
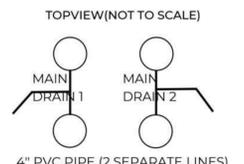
EQUIPMENT ANCHORS
EQUIPMENT TO BE ANCHORED TO EQUIPMENT PAD USING THE FOLLOWING FASTENERS:
RED HEAD TRUBOLT ANCHORS - 3/75" BOLT WITH UP TO 3.75" EMBEDMENT PER MANUFACTURER SPECIFICATIONS
COMPLY WITH SECTION 301.3.2 REGARDING WASTE DIVERSION REQUIRED FOR WORK THAT REQUIRES BUILDING PERMIT.

ALL DECK DRAINAGE SHALL BE MAINTAINED & IN ACCORDANCE WITH THE 2019 CALIFORNIA BUILDING CODE.
POOL EQUIPMENT AREA SHALL NOT DRAIN TO THE STORM DRAIN SYSTEM & SHALL DRAIN TO LANDSCAPE AREA OR SANITARY SEWER SYSTEM.



AS BUILT - DRAWINGS

DESCRIPTION: -TWO(2) SEPARATE SPLIT MAIN DRAINS. -MAIN DRAINS ARE CONSTRUCTED WITH 4-INCH SCHEDULE 40 PVC PIPE. -DRAINS ARE SET 36 INCHES (3 FT) APART CENTER-TO-CENTER. -REINFORCED WITH #4 (1/2") REBAR GRID AT 12" O.C. SPACING. -7-INCH THICK CONCRETE ENCASUREMENT POURED AROUND DRAIN BOX.



EROSION CONTROL PLAN - SWIMMING POOL REMODEL

1. Project Overview:
This erosion control plan describes the procedures and methods that will be implemented during the remodel of the existing swimming pool and surrounding deck area. The purpose of this plan is to prevent soil erosion, sediment displacement, and improper drainage during the remodel work.

2. Site Preparation and Grading:
The existing work area will be evaluated and lightly re-graded as needed to maintain proper drainage flow away from the pool and deck. All grading adjustments will be minimal and will follow the existing layout, since this is a remodel.

3. Drainage System Installation:
A new drainage system will be installed around the swimming pool to improve water management during and after the remodel.

- The drainage will consist of perimeter drains / French drains or approved equivalent piping.
- All drain piping will be connected to the existing city drain located at the entry steps within the property.
- All work will comply with city building and plumbing code requirements.



CONTRACTOR
MANZERA POOLS INC. - LIC NO. 1132951
4750-124 ALMADEN EXPWY #121
SAN JOSE, CA 95118
(209) 737-5458



PROJECT ADDRESS:
260 RIO DEL MAR BLVD.
APTOS, CA 95003

DECKING & DRAINAGE

DRAWN / CHECKED BY: DIANA C.
SCALE: AS SHOWN
DATE: 10/31/2025
SHEET NUMBER

P-5

POOL EQUIPMENT SCHEDULE				
PENTAIR FILTER 280SQFT.	FILTER	PENTAIR		CCP420
VARIABLE SPEED PUMP	INTELLIFLO PENTAIR			EC-342001
LED LIGHTS	POOL LIGHT	PENTAIR		
CONTROL PANEL	POOL CONTROL SYSTEM	PENTAIR INTELLICENTER		ETI125C
PRESSURE CLEANER	PRESSURE CLEANER	POLARIS	280	F5
HEATER	ULTRA-TEMP	PENTAIR	400k BTU	460738

DBA: N/A
 DBA: 45
 DBA: N/A
 DBA: N/A
 DBA: N/A
 DBA: N/A

RIO DEL MAR HOME OWNER ASSOCIATION
 260 RIO DEL MAR BLVD.
 APTOS, CA 95003

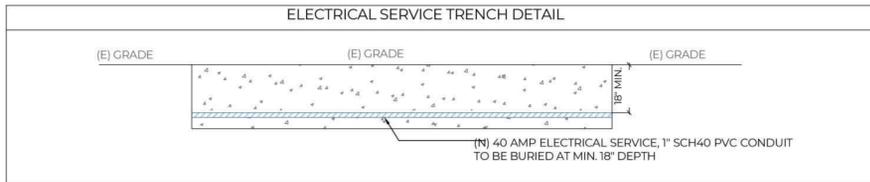
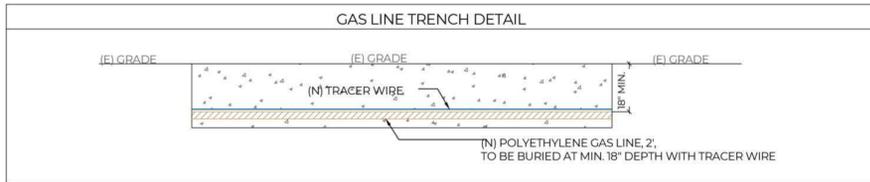
FOOTNOTES & BONDING NOTE

FOOTNOTES:
 * ALL LISTED DRAIN COVERS ARE VGBA-2017, NSF/ANSI/CAN 50 ANSI/APSP/ICC 16 - 2017 COMPLIANT. ** SKIMMERS ARE NSF/ANSI 50-2012 PERFORMANCE STANDARD COMPLIANT.

BONDING NOTE:
 ALL METAL WITHIN 5' OF THE WATERLINE TO BE BONDED.

EQUIPOTENTIAL BONDING AT POOL DECK/PERIMETER SURFACES: THE EQUIPOTENTIAL BONDING OF THE PERIMETER SURFACE SHALL INCLUDE UNPAVED SURFACES AS WELL AS POURED CONCRETE AND OTHER TYPES OF PAVING SHALL BE ATTACHED TO THE POOL DECK STRUCTURAL REINFORCING STEEL RODS BONDED TOGETHER BY THE USUAL STEEL TIE WIRES AT A MINIMUM OF (4) POINTS UNIFORMLY SPACED AROUND THE PERIMETER OF THE POOL WITH A MINIMUM 8 AWG COPPER CONDUCTOR PER CEC 680.26 (B) 2.

GLAZING NOTE:
 GLASS IN WALLS MUST BE TEMPERED IF IT IS:
 1. WITHIN 5' OF POOL
 2. LESS THAN 60" ABOVE FINISH GRADE ON POOL SIDE

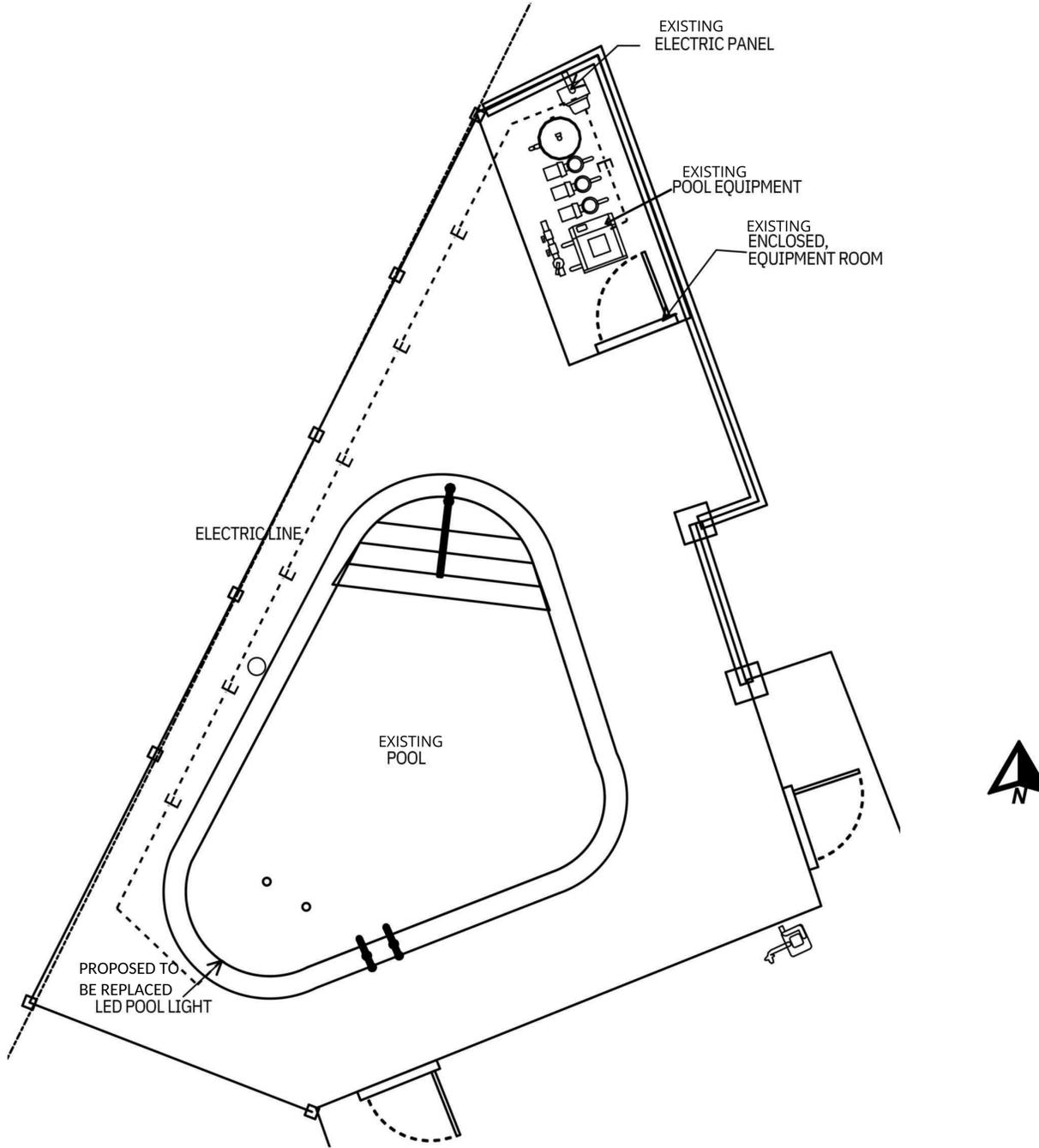


EQUIPMENT PAD, ANCHOR & DRAINAGE NOTES

EQUIPMENT PAD
 4" THICK CONCRETE PAD, #3 REBAR @ 18" O.C.

EQUIPMENT ANCHORS
 EQUIPMENT TO BE ANCHORED TO EQUIPMENT PAD USING THE FOLLOWING FASTENERS:
 RED HEAD TRUBOLT ANCHORS - 3/75" BOLT WITH UP TO 3.75" EMBEDMENT PER MANUFACTURER SPECIFICATIONS
 COMPLY WITH SECTION 301.3.2 REGARDING WASTE DIVERSION REQUIRED FOR WORK THAT REQUIRES BUILDING PERMIT.

ALL DECK DRAINAGE SHALL BE MAINTAINED & IN ACCORDANCE WITH THE 2019 CALIFORNIA BUILDING CODE.
 POOL EQUIPMENT AREA SHALL NOT DRAIN TO THE STORM DRAIN SYSTEM & SHALL DRAIN TO LANDSCAPE AREA OR SANITARY SEWER SYSTEM.



APPLICABLE CODES			
2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE 2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS			
SCOPE OF WORK			
POOL REMODEL PLUMBING REMODEL PLASTER APPLICATION			
PROPERTY INFORMATION			
SITUS ADDRESS	260 RIO DEL MAR BLVD.		
USE TYPE	COMMERCIAL		
CONSTRUCTION TYPE			
SPRINKLERED	NO		
PROPERTY OWNER/ AGENT AUTHORIZED; KYLE SILVERBURG HOA MANGER			
SPECIFICATIONS			
AREA	SQUARE FEET	DEPTHS	
POOL		POOL: 3FT SHALLOW, 6FT DEEP	
SHEET INDEX			
P-1	SITE PLAN & NOTES		
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P-6	ELECTRICAL LINE		
P-7	GAS LINE		
P-8	SAFETY PREVENTION FEATURES		
LEGEND			
[Symbol]	ELECTRIC METER	[Symbol]	DRAIN COVERS
[Symbol]	GAS MAIN	[Symbol]	SKIMMER
[Symbol]	P-TRAP	[Symbol]	LIGHT
[Symbol]	PUMP	[Symbol]	BONDING POINT
[Symbol]	FILTER		
[Symbol]	HEATER		
[Symbol]	CONCRETE DECKING		



CONTRACTOR
 MANZERA POOLS INC. - LIC NO. 1132951
 4750-124 ALMADEN EXPWY #121
 SAN JOSE, CA 95118
 (209) 737-5458



PROJECT ADDRESS:
 260 RIO DEL MAR BLVD.
 APTOS, CA 95003

ELECTRIC LINE

DRAWN / CHECKED BY: DIANA C.
 SCALE: AS SHOWN
 DATE: 10/31/2025
 SHEET NUMBER

P-6

POOL EQUIPMENT SCHEDULE				
PENTAIR FILTER 280SQFT.	FILTER	PENTAIR		CCP420
VARIABLE SPEED PUMP	INTELLIFLO PENTAIR			EC-342001
LED LIGHTS	POOL LIGHT	PENTAIR		
CONTROL PANEL	POOL CONTROL SYSTEM	PENTAIR INTELLICENTER		ETI125C
PRESSURE CLEANER	PRESSURE CLEANER	POLARIS	280	F5
HEATER	ULTRA-TEMP	PENTAIR	400k BTU	460738

DBA: N/A
 DBA: 45
 DBA: N/A
 DBA: N/A
 DBA: N/A
 DBA: N/A

RIO DEL MAR HOME OWNER ASSOCIATION
 260 RIO DEL MAR BLVD.
 APTOS, CA 95003

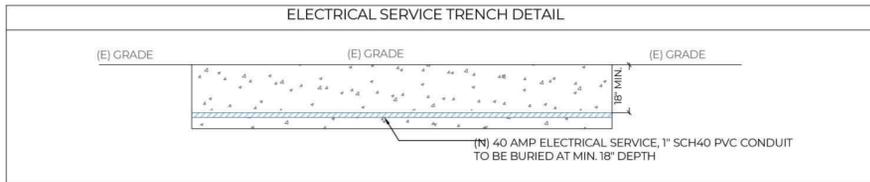
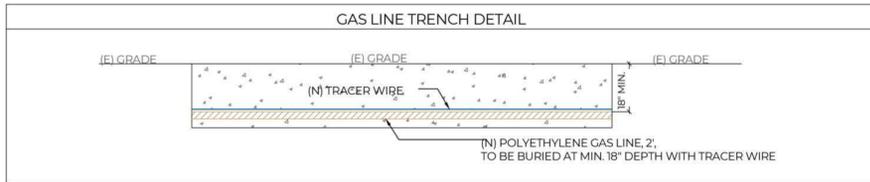
FOOTNOTES & BONDING NOTE

FOOTNOTES:
 * ALL LISTED DRAIN COVERS ARE VGBA-2017, NSF/ANSI/CAN 50 ANSI/APSP/ICC 16 - 2017 COMPLIANT. ** SKIMMERS ARE NSF/ANSI 50-2012 PERFORMANCE STANDARD COMPLIANT.

BONDING NOTE:
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EQUIPOTENTIAL BONDING AT POOL DECK/PERIMETER SURFACES: THE EQUIPOTENTIAL BONDING OF THE PERIMETER SURFACE SHALL INCLUDE UNPAVED SURFACES AS WELL AS POURED CONCRETE AND OTHER TYPES OF PAVING SHALL BE ATTACHED TO THE POOL DECK STRUCTURAL REINFORCING STEEL RODS BONDED TOGETHER BY THE USUAL STEEL TIE WIRES AT A MINIMUM OF (4) POINTS UNIFORMLY SPACED AROUND THE PERIMETER OF THE POOL WITH A MINIMUM 8 AWG COPPER CONDUCTOR PER CEC 680.26 (B) 2.

GLAZING NOTE:
 GLASS IN WALLS MUST BE TEMPERED IF IT IS:
 1. WITHIN 5' OF POOL
 2. LESS THAN 60" ABOVE FINISH GRADE ON POOL SIDE

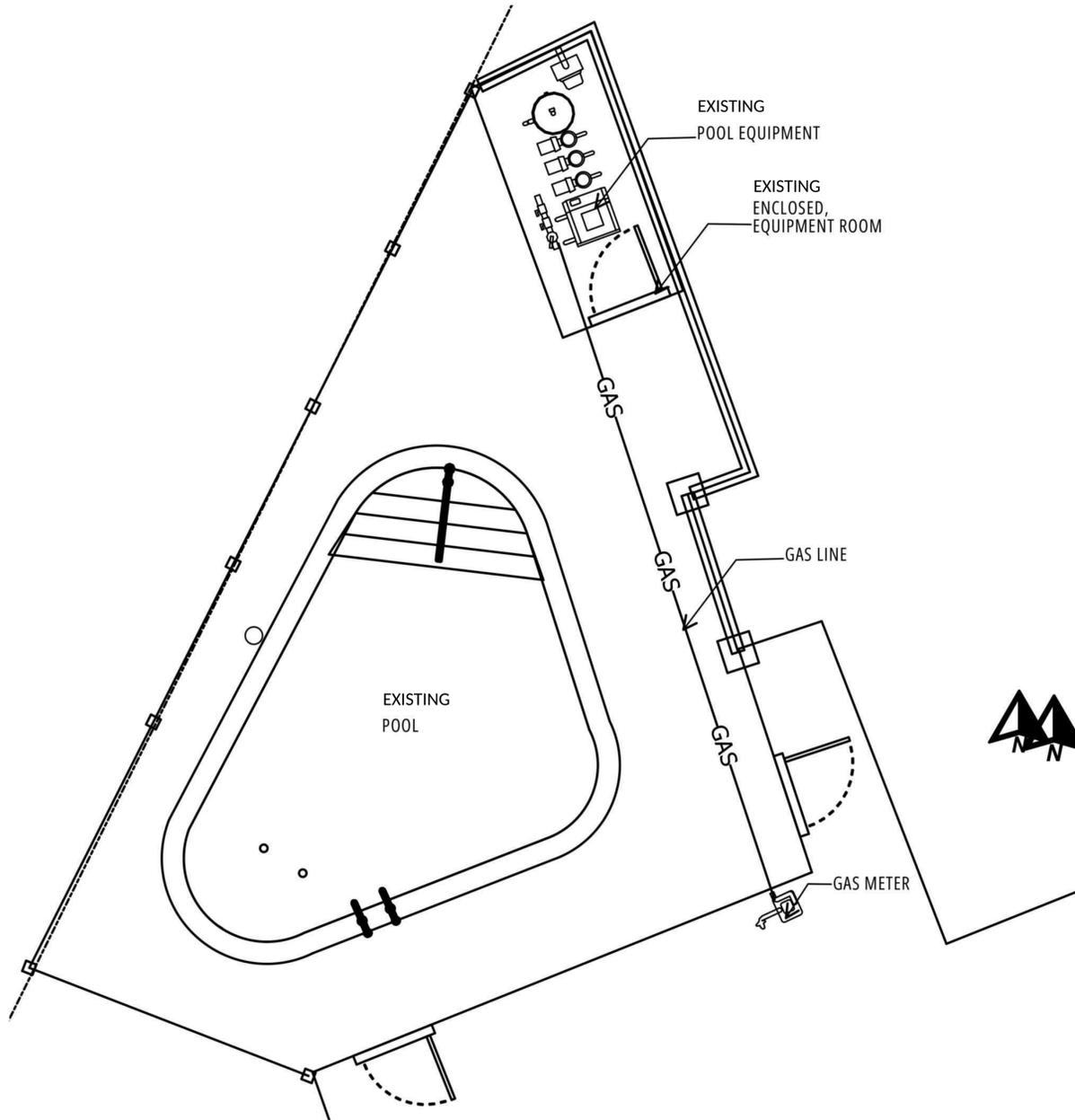


EQUIPMENT PAD, ANCHOR & DRAINAGE NOTES

EQUIPMENT PAD
 4" THICK CONCRETE PAD, #3 REBAR @ 18" O.C.

EQUIPMENT ANCHORS
 EQUIPMENT TO BE ANCHORED TO EQUIPMENT PAD USING THE FOLLOWING FASTENERS:
 RED HEAD TRUBOLT ANCHORS - 3/75" BOLT WITH UP TO 3.75" EMBEDMENT PER MANUFACTURER SPECIFICATIONS
 COMPLY WITH SECTION 301.3.2 REGARDING WASTE DIVERSION REQUIRED FOR WORK THAT REQUIRES BUILDING PERMIT.

ALL DECK DRAINAGE SHALL BE MAINTAINED & IN ACCORDANCE WITH THE 2019 CALIFORNIA BUILDING CODE.
 POOL EQUIPMENT AREA SHALL NOT DRAIN TO THE STORM DRAIN SYSTEM & SHALL DRAIN TO LANDSCAPE AREA OR SANITARY SEWER SYSTEM.



APPLICABLE CODES			
2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE 2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS			
SCOPE OF WORK			
POOL REMODEL PLUMBING REMODEL PLASTER APPLICATION			
PROPERTY INFORMATION			
SITUS ADDRESS	260 RIO DEL MAR BLVD.		
USE TYPE	COMMERCIAL		
CONSTRUCTION TYPE			
SPRINKLERED	NO		
PROPERTY OWNER/ AGENT AUTHORIZED; KYLE SILVERBURG HOA MANGER			
SPECIFICATIONS			
AREA	SQUARE FEET	DEPTHS	
POOL		POOL: 3FT SHALLOW, 6FT DEEP	
SHEET INDEX			
P-1	SITE PLAN & NOTES		
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P-8	SAFETY PREVENTION FEATURES		
LEGEND			
	ELECTRIC METER		DRAIN COVERS
	GAS MAIN		SKIMMER
	P-TRAP		LIGHT
	PUMP		BONDING POINT
	FILTER		
	HEATER		
	CONCRETE DECKING		



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 SAN JOSE, CA 95118
 (209) 737-5458



PROJECT ADDRESS:
 260 RIO DEL MAR BLVD.
 APTOS, CA 95003

GAS LINE

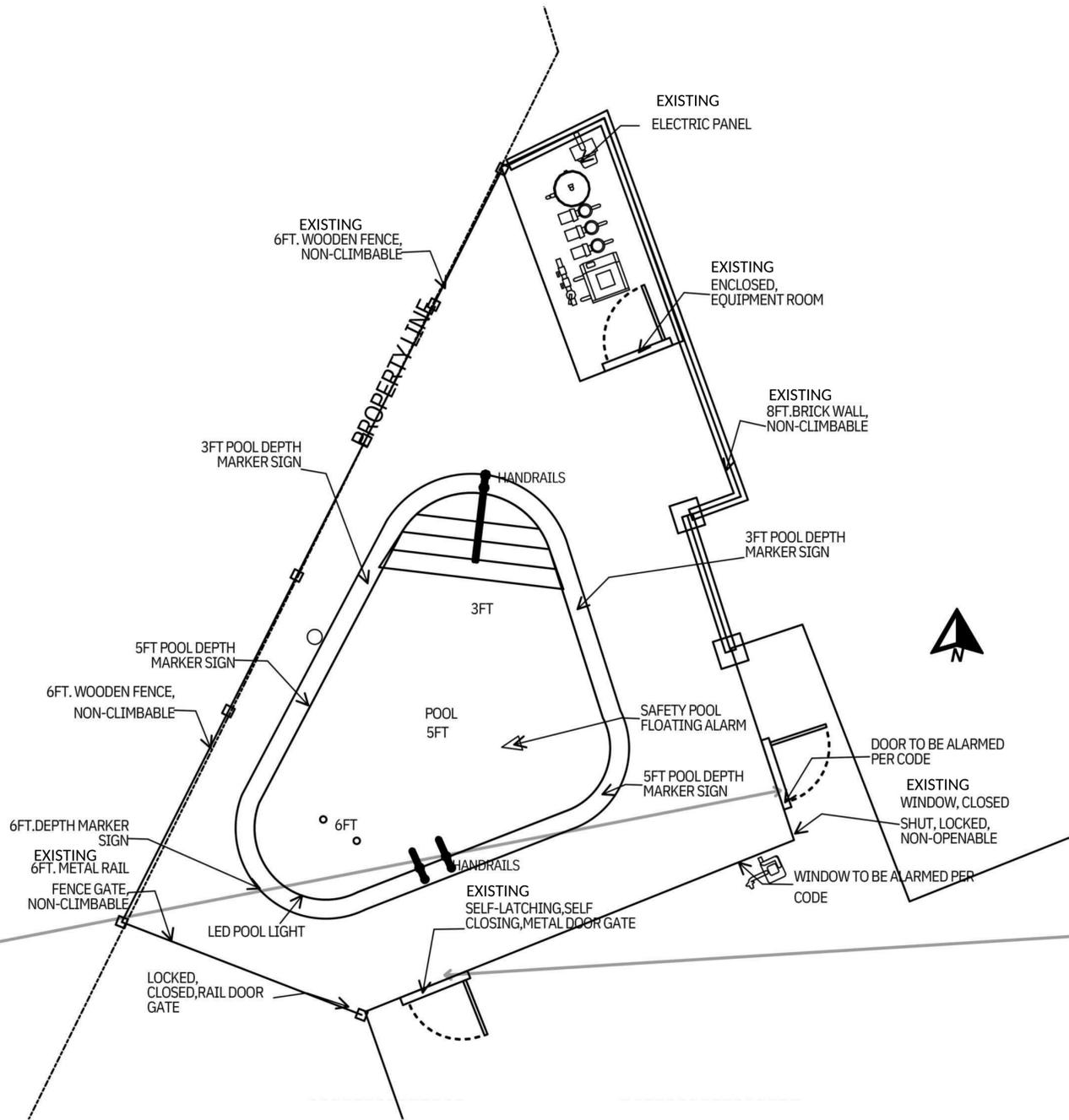
DRAWN / CHECKED BY: DIANA C.
 SCALE: AS SHOWN
 DATE: 10/31/2025
 SHEET NUMBER

P-7

NOTES

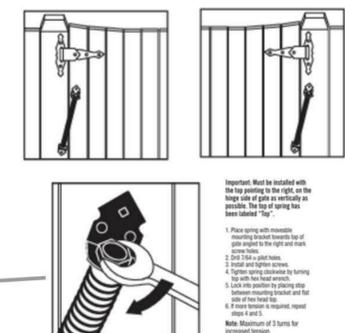
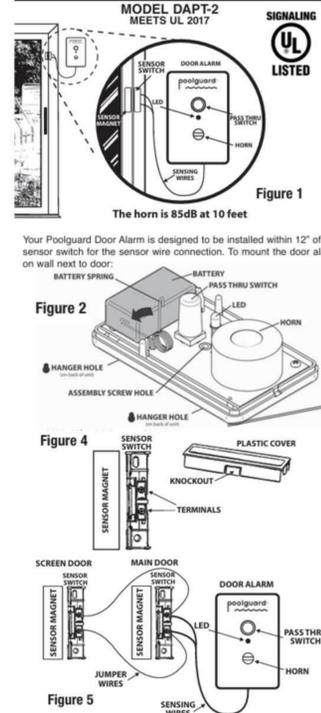
- NOTES ON PLANS:
 - NO GROUND WATER SHALL BE ABOVE ANY PORTION OF THE POOL CONSTRUCTION.
 - ALL SURFACE WATER SHALL DRAIN AWAY FROM THE POOL.
 - ELECTRICAL INSPECTION SHALL APPROVE GROUNDING OF REINFORCING, PLUMBING AND CONDUIT PRIOR TO THE APPROVAL OF REINFORCING STEEL FOR POURING OF CONCRETE OR GUNITE.
 - THE NOISE LEVEL FROM THE POOL EQUIPMENT LOCATED LESS THAN 10 FEET FROM A PROPERTY LINE OF AN ADJOINING PROPERTY, SHALL NOT EXCEED AMBIENT NOISE LEVEL BY MORE THAN FIVE DECIBELS.
 - CONTINUOUS INSPECTION IS REQUIRED FOR SHOTCRETE/GUNITE POOLS.
- INSPECTIONS:
 - ALL GAS, WATER, ELECTRICAL AND DRAINAGE LINES SHALL REQUIRE INSPECTIONS.
- POOL ELECTRICAL:
 - ALL ELECTRICAL WORK TO COMPLY WITH ARTICLE 680, CEC, 2022.
- POOL LIGHTING:
 - ALL LIGHTING SHALL BE ENCAPSULATED OR LISTED FOR UNDERWATER INSTALLATION.
 - EXISTING LIGHT NICHE TO REMAIN, ONLY REPLACING LIGHT BULB/S.
- OVERHEAD POWER LINES:
 - NO OVERHEAD CONDUCTORS WITHIN 10FT. HORIZONTALLY FROM POOL & SPA.
- DOORS/ALARMS:
 - ACCESS DOORS WITH SELF-CLOSING SELF-LATCHING DEVICE WITH A RELEASE MECHANISM PLACED (60) INCHES ABOVE FLOOR.
 - ALL DOORS LEADING TO POOL AREA TO BE ALARMED PER CODE WITH APPROVED ALARM PER SECTION 3109.4.4 CALIFORNIA BUILDING CODE (CBC).
 - WHERE WALL OF HOUSE SERVES AS PART OF BARRIER, DOORS IN THE WALL MUST COMPLY WITH EITHER:
 - BE SELF-CLOSING AND SELF-LATCHING WITH RELEASE MECHANISM LOCATED 54" MIN. ABOVE FINISHED FLOOR, OR HAVE AN ALARM THAT SOUNDS WITHIN 7 SECONDS OF DOOR OPENING. THE SOUND LEVEL MEASURED IN DOORS AT 10' SHOULD BE 85 dBA. THE ALARM SHALL AUTOMATICALLY RESET AND HAVE A MANUAL MEANS FOR TEMPORARILY DEACTIVATING FOR A SINGLE OPENING. THE DEACTIVATION SHALL LAST NO MORE THAN 15 SECS. THE SWITCH SHALL BE LOCATED 54" MIN. ABOVE THE FINISHED FLOOR.
- GLASS IN WALLS MUST BE TEMPERED IF IT IS:
 - WITHIN 5' OF POOL
 - LESS THAN 60" ABOVE FINISH GRADE ON POOL SIDE
- POOL DRAINS:
 - SPLIT DRAINS ARE CONNECTED TO AT LEAST TWO SUCTION CRATE ASSEMBLIES THAT MEET ASME/ANSI A112.19.8 PERFORMANCE STANDARD AND ARE LOCATED AT LEAST 3 FEET APART IN ANY DIMENSION BETWEEN THE DRAINS. SPLIT DRAINS ARE TO BE INSTALLED HYDRAULICALLY BALANCED AND SYMMETRICALLY PLUMBED THROUGH A "T" FITTING.
- POOL HEATER:
 - POOL HEATER IS INTERNALLY REGULATED WITH THERMOSTAT THAT HAS A MAXIMUM TEMPERATURE OF 104° F.
 - POOL HEATER TO BE SEISMIC STRAPPED IN ACCORDANCE WITH CPC 507.2.
 - HEATER VENT TO BE MINIMUM 4' AWAY FROM WINDOWS OR 1' ABOVE OPENINGS
- POOL/SPA COVER:
 - COVERED MUST BE INSTALLED AND MAINTAINED ACCORDING TO THE REQUIREMENTS BEYOND SECTION 115921. COVER TO BE INSTALLED FREE FORM SHAPE HOT COVER MASTER SPA HOT TUB COVER COVER SIZE: 6.5' X 5.5' - 78" X 66" X 6"
- WASTE DIVERSION/DRAINAGE:
 - COMPLY WITH SECTION 301.3.2 REGARDING WASTE DIVERSION REQUIRED FOR WORK THAT REQUIRES BUILDING PERMIT.
 - ALL DECK DRAINAGE SHALL BE MAINTAINED & IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE & CITY MUNICIPAL CODE.
 - POOL EQUIPMENT AREA SHALL NOT DRAIN TO THE STORM DRAIN SYSTEM AND SHALL DRAIN TO LANDSCAPE AREA OR SANITARY SEWER SYSTEM.
- BONDING:
 - ALL METAL WITHIN 5' OF THE WATERLINE TO BE BONDED.
 - EQUIPOTENTIAL BONDING AT POOL DECK/PERIMETER SURFACES: THE EQUIPOTENTIAL BONDING OF THE PERIMETER SURFACE SHALL INCLUDE UNPAVED SURFACES AS WELL AS POURED CONCRETE AND OTHER TYPES OF PAVING SHALL BE ATTACHED TO THE POOL DECK STRUCTURAL REINFORCING STEEL RODS BONDED TOGETHER BY THE USUAL STEEL TIE WIRES AT A MINIMUM OF (4) POINTS UNIFORMLY SPACED AROUND THE PERIMETER OF THE POOL WITH A MINIMUM 8 AWG COPPER CONDUCTOR PER CEC 680.26 (B) 2.
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 - LESS THAN 60" ABOVE FINISH GRADE ON POOL SIDE

RIO DEL MAR HOME OWNER ASSOCIATION
260 RIO DEL MAR BLVD.
APTOS, CA 95003



APPLICABLE CODES			
2022 CALIFORNIA RESIDENTIAL CODE			
2022 CALIFORNIA BUILDING CODE			
2022 CALIFORNIA MECHANICAL CODE			
2022 CALIFORNIA ELECTRICAL CODE			
2022 CALIFORNIA PLUMBING CODE			
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE			
2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS			
SCOPE OF WORK			
POOL REMODEL			
PLUMBING REMODEL			
PLASTER APPLICATION			
PROPERTY INFORMATION			
SITUS ADDRESS	260 RIO DEL MAR BLVD.		
USE TYPE	COMMERCIAL		
CONSTRUCTION TYPE			
SPRINKLERED	NO		
PROPERTY OWNER/ AGENT AUTHORIZED; KYLE SILVERBURG HOA MANGER			
SPECIFICATIONS			
AREA	SQUARE FEET	DEPTHS	
POOL		POOL: 3FT SHALLOW, 6FT DEEP	
SHEET INDEX			
P-1	SITE PLAN & NOTES		
P-2 - P-4	PLUMBING & UTILITIES		
P-5	DECKING AND DRAINAGE		
P-6	ELECTRICAL LINE		
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P-8	SAFETY PREVENTION FEATURES		
LEGEND			
	ELECTRIC METER		DRAIN COVERS
	GAS MAIN		SKIMMER
	P-TRAP		LIGHT
	PUMP		BONDING POINT
	FILTER		
	HEATER		
	CONCRETE DECKING		

DOOR ALARM
Installation Instructions



LEAD DESIGNER:
DIANA CAMARILLO
MANZERA POOLS INC.



CONTRACTOR
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SAN JOSE, CA 95118
(209) 737-5458



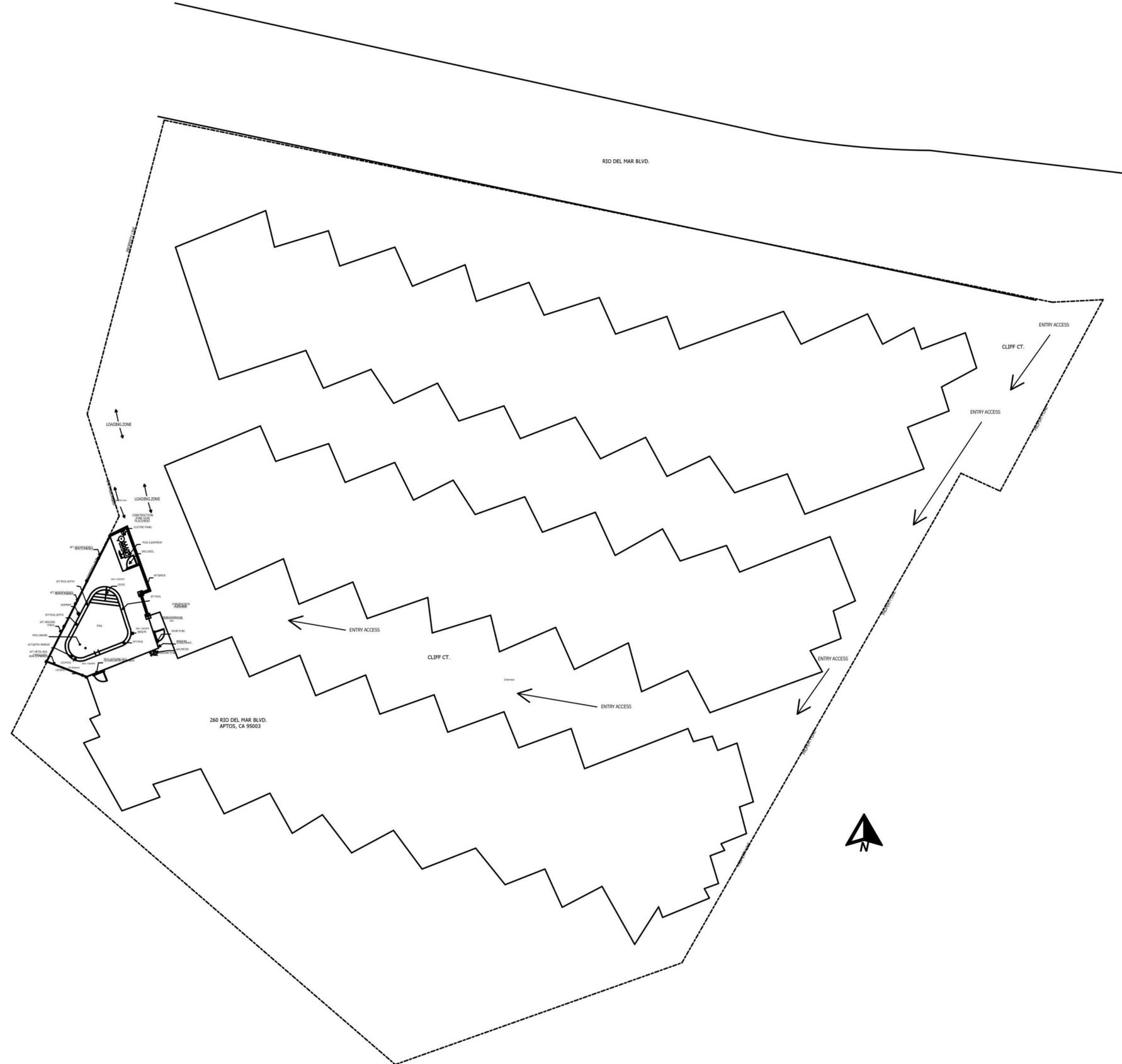
PROJECT ADDRESS:
260 RIO DEL MAR BLVD.
APTOS, CA 95003

SAFETY PREVENTION FEATURES

DRAWN / CHECKED BY: DIANA C
SCALE: AS SHOWN
DATE: 10/31/2025

SHEET NUMBER
P-8

RIO DEL MAR HOME OWNER ASSOCIATION
 260 RIO DEL MAR BLVD.
 APTOS, CA 95003



APPLICABLE CODES			
2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE 2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS			
SCOPE OF WORK			
POOL REMODEL PLUMBING REMODEL PLASTER APPLICATION			
PROPERTY INFORMATION			
SITUS ADDRESS	260 RIO DEL MAR BLVD.		
USE TYPE	COMMERCIAL		
CONSTRUCTION TYPE			
SPRINKLERED	NO		
PROPERTY OWNER/ AGENT AUTHORIZED; KYLE SILVERBURG HOA MANAGER			
SPECIFICATIONS			
AREA	SQUARE FEET	DEPTHS	
POOL		POOL: 3FT SHALLOW, 6FT DEEP	
SHEET INDEX			
P-1	SITE PLAN & NOTES		
P-2 - P-4	PLUMBING & UTILITIES		
P-5	DECKING AND DRAINAGE		
P-6	ELECTRICAL LINE		
P-7	GAS LINE		
P-8	SAFETY PREVENTION FEATURES		
LEGEND			
	ELECTRIC METER		DRAIN COVERS
	GAS MAIN		SKIMMER
	P-TRAP		LIGHT
	PUMP		BONDING POINT
	FILTER		
	HEATER		
	CONCRETE DECKING		

Diana Camarillo
LEAD DESIGNER:
 DIANA CAMARILLO
 MANZERA POOLS INC.



CONTRACTOR
 MANZERA POOLS INC. - LIC NO. 1132951
 4750-124-ALMADEN EXPWY #121
 SAN JOSE, CA 95118
 (209) 737-5458



PROJECT ADDRESS:
 260 RIO DEL MAR BLVD.
 APTOS, CA 95003

**PORTABLE UNIT
 ACCESS AND
 LOADING ROUTE**

DRAWN / CHECKED
 BY: DIANA C.

SCALE: AS SHOWN

DATE: 10/31/2025

SHEET NUMBER

P-9