

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060  
(831) 454-2580

**NOTICE OF ADMINISTRATIVE AGRICULTURAL BUFFER  
SETBACK REDUCTION**

Pursuant to Santa Cruz County Code 16.50.095, this notice has been provided to the project applicant, to all members of APAC, to the Agricultural Commissioner, to owners of commercial agricultural land within 500 feet of the project location, and to members of the Board of Supervisors. The identified planner may be contacted for specific information on this application.

**APPLICATON NUMBER: 251528**

**SITUS: 4575 Paul Sweet Road, Santa Cruz CA 95065**

Proposal for a driveway realignment and establishment of an approximately 5,000 square foot pad for development of a tennis court with associated landscaping and hardscaping. Project requires an Agricultural Buffer Setback reduction from 200-feet to about 174-feet from the mapped Agricultural Resource at the south property line (APN 102-041-23, 495 Castle Drive).

Property is located about 2.3 miles north of the intersection of Paul Sweet Road and Soquel Drive (4575 Paul Sweet Road)

**APN: 102-041-27**

**OWNER: Jeanette Bahn and Paul Feng**

**APPLICANT: Arterra Landscape Architects**

**SUPERVISORIAL DISTRICT:1**

**PLANNER: Evan Ditmars, (831) 454-3227**

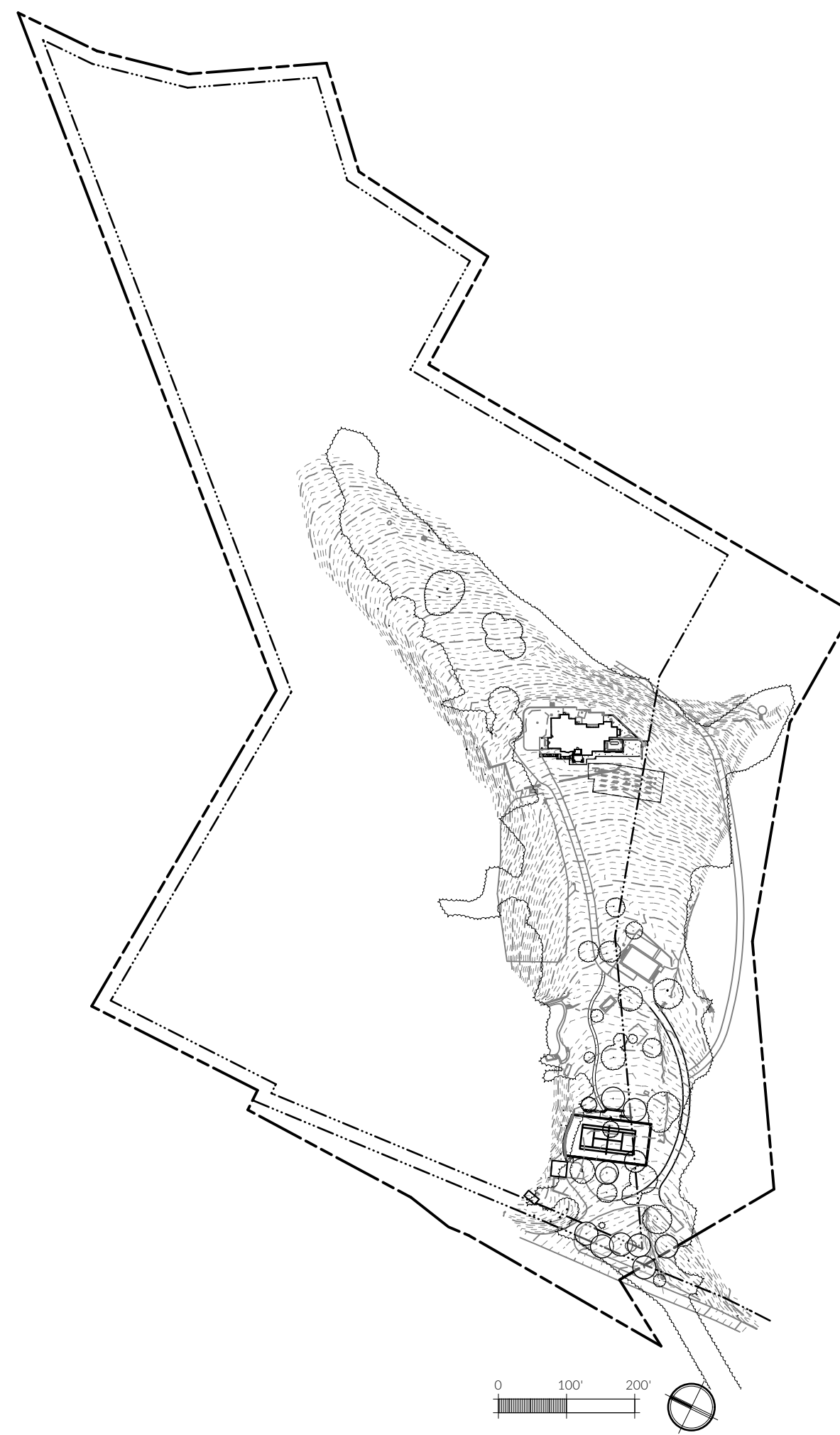
**EMAIL: [Evan.Ditmars@santacruzcountyca.gov](mailto:Evan.Ditmars@santacruzcountyca.gov)**

Questions or comments must be received by 5:00 p.m. May 6, 2026.

A decision will be made or, or shortly after, May 7 , 2026.

ABBREVIATION LEGEND	
+/-	PLUS OR MINUS
ADD	ADDENDUM, ADDITON
A.D.	AREA DRAIN
ADD'L	ADDITIONAL
AGGR	AGGREGATE
AR	ARBORIST REPORT
ARCH	ARCHITECTURAL
BLDG	BUILDING
BO	BOTTOM OF
BW	BOTTOM OF WALL
CLR	CLEAR
CJ	CONTROL JOINT
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
CTR	CENTER
DG	DECOMPOSED GRANITE
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DS	DOWNPOUT
DWGS	DRAWINGS
(E)	EXISTING
EA	EACH
EJ	EXPANSION JOINT
ENG	ENGINEER
EQ	EQUAL
EQUIP	EQUIPMENT
EXP	EXPANSION
EXT	EXTERIOR
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
FIXT	FIXTURE
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOPLY	FACE OF PLYWOOD
FOS	FACE OF STUD
FS	FINISHED SURFACE
FTG	FOOTING
FUT	FUTURE
GALV	GALVANIZED
GFI	GROUND FAULT INTERRUPT
HB	HOSE BIBB
HDR	HEADER
HT	HEIGHT
ID	INSIDE DIAMETER
JST	JOIST
JT	JOINT
LA	LANDSCAPE ARCHITECT
LOW	LIMIT OF WORK
LSK	LANDSCAPE SKETCH
MAX	MAXIMUM
MFR	MANUFACTURER

MISC		MISCELLANEOUS	
MIN	MINIMUM	MIN	MINIMUM
MTL	METAL	MTL	METAL
(N)	NEW	(N)	NEW
NA	NOT APPLICABLE	NA	NOT APPLICABLE
NOM	NOMINAL	NOM	NOMINAL
NIC	NOT IN CONTRACT	NIC	NOT IN CONTRACT
NTS	NOT TO SCALE	NTS	NOT TO SCALE
OC	ON CENTER	OC	ON CENTER
OD	OUTSIDE DIAMETER	OD	OUTSIDE DIAMETER
PA	PLANTED AREA	PA	PLANTED AREA
PIP	POURED IN PLACE	PIP	POURED IN PLACE
PL	PROPERTY LINE	PL	PROPERTY LINE
PLYWD	PLYWOOD	PLYWD	PLYWOOD
POB	POINT OF BEGINNING	POB	POINT OF BEGINNING
POC	POINT OF CONNECTION	POC	POINT OF CONNECTION
POO	POINT OF ORIGIN	POO	POINT OF ORIGIN
PP	POWER POLE	PP	POWER POLE
PSI	PER SQUARE INCH	PSI	PER SQUARE INCH
PT	PRESSURE TREATED	PT	PRESSURE TREATED
PTDF	PRESSURE TREATED DOUGLAS FIR	PTDF	PRESSURE TREATED DOUGLAS FIR
RAD	RADIUS	RAD	RADIUS
REF	REFERENCE	REF	REFERENCE
REINF	REINFORCED	REINF	REINFORCED
REV	REVISION	REV	REVISION
ROW	RIGHT OF WAY	ROW	RIGHT OF WAY
RWD	REDWOOD	RWD	REDWOOD
SAD	SEE ARCHITECTURAL DRAWINGS	SAD	SEE ARCHITECTURAL DRAWINGS
SCD	SEE CIVIL DRAWINGS	SCD	SEE CIVIL DRAWINGS
SCHED	SCHEDULE	SCHED	SCHEDULE
SECT	SECTION	SECT	SECTION
SF	SQUARE FEET	SF	SQUARE FEET
SIM	SIMILAR	SIM	SIMILAR
SMD	SEE MECHANICAL DRAWINGS	SMD	SEE MECHANICAL DRAWINGS
SPEC	SPECIFICATION	SPEC	SPECIFICATION
SPD	SEE PLUMBING DRAWINGS	SPD	SEE PLUMBING DRAWINGS
SSD	SEE STRUCTURAL DRAWINGS	SSD	SEE STRUCTURAL DRAWINGS
SS	STAINLESS STEEL	SS	STAINLESS STEEL
STD	STANDARD	STD	STANDARD
STRUCT	STRUCTURAL	STRUCT	STRUCTURAL
SQ	SQUARE	SQ	SQUARE
TBD	TO BE DETERMINED	TBD	TO BE DETERMINED
TBR	TO BE REMOVED	TBR	TO BE REMOVED
T&G	TONGUE AND GROOVE	T&G	TONGUE AND GROOVE
TC	TOP OF CURB	TC	TOP OF CURB
TME	TO MATCH EXISTING	TME	TO MATCH EXISTING
TMA	TO MATCH ARCHITECTURE	TMA	TO MATCH ARCHITECTURE
TOC	TOP OF CONCRETE	TOC	TOP OF CONCRETE
TW	TOP OF WALL	TW	TOP OF WALL
TYP	TYPICAL	TYP	TYPICAL
VIF	VERIFY IN FIELD	VIF	VERIFY IN FIELD
WL	WATER LEVEL	WL	WATER LEVEL
WM	WATER METER	WM	WATER METER
W/O	WITHOUT	W/O	WITHOUT



## BAHN-FENG RESIDENCE LANDSCAPE IMPROVEMENTS

4575 PAUL SWEET ROAD  
SANTA CRUZ, CA 95065

### PROJECT DESCRIPTION

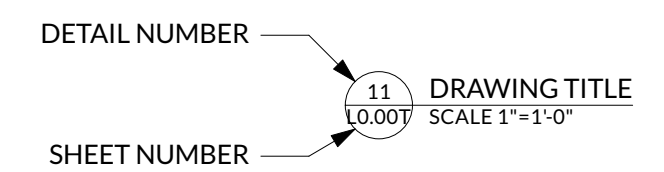
Addition of: tennis court, landscape paths, steps, paving, retaining walls, drive reconfiguration, planting, irrigation, and lighting.

### SITE LOCATION



Directions from CA-1 Santa Cruz, CA 95065:  
Head west on CA-1 N  
Take exit 439 toward Soquel Dr  
Continue straight onto Paul Sweet Rd for 2.5 mi  
Arrive at 4575 Paul Sweet Rd Santa Cruz, CA 95065

SYMBOL LEGEND	
	ALIGN
DN	STAIR RISERS
	HOSE BIBB
	GAS
	ELECTRICAL OUTLET
+ 150.50	SPOT ELEVATION
	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	CENTER LINE
	MATERIALS CALLOUT
	REVISION CLOUD & NUMBER
	SETBACK LINE
	TREE TO BE REMOVED



EXISTING PROJECT SQUARE FOOTAGE:  
11138 square feet (paving, retaining walls, driveway, parking areas, utility pads, Residence, barn, sheds, decking, steps, and garage)

PROPOSED PROJECT SCOPE:  
14540 square feet (Tennis court, landscape paths, steps, paving, retaining walls, drive reconfiguration)

TOTAL LOT SIZE:  
1188830 square feet

NET LOT SIZE: 310934 square feet

### PROJECT DIRECTORY

OWNER:  
JEANETTE BAHN AND PAUL FENG  
432 RUTHVEN AVE  
PALO ALTO, CA 94301  
650.488.4804

LANDSCAPE ARCHITECT:  
ARTERRA LANDSCAPE ARCHITECTS  
88 MISSOURI ST.  
SAN FRANCISCO, CA 94107  
CONTACT:  
415-861-3100

SURVEYOR:  
ALPHA LAND SURVEYORS  
4444 SCOTT'S VALLEY DRIVE #7  
SCOTT'S VALLEY, CA 95066  
831.438.4453

STRUCTURAL ENGINEER:  
ZFA STRUCTURAL ENGINEERS  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
415.243.4091

CIVIL ENGINEER:  
SUMMIT ENGINEERING, INC.  
575 W COLLEGE AVE, STE 201  
SANTA ROSA, CA 95401  
707.978.5749

GEOTECH:  
HARO, KASUNICH AND ASSOCIATES, INC.  
116 EAST LAKE AVENUE  
WATSONVILLE, CA 95076  
831.722.4175

NOTE: THE FOLLOWING CODES APPLY:  
- 2022 California Building Code  
- 2022 California Residential Code  
- 2022 California Electrical Code  
- 2022 California Plumbing Code  
- 2022 California Energy Code  
- Santa Cruz County Amendments

### SHEET INDEX

L5.10T	COVER SHEET
L1.00T	EXISTING SITE PLAN FULL SITE
L1.01T	PROPOSED SITE PLAN FULL SITE
L1.02T	ENLARGED SITE PLAN - TENNIS COURT
L1.03T	ENLARGED SITE PLAN - ROAD ENTRY
L1.05T	DEMOLITION PLAN - TENNIS COURT
L1.06T	DEMOLITION PLAN - ROAD ENTRY
L1.07T	IMPERVIOUS SURFACES DIAGRAM
L1.13T	ENLARGED LAYOUT PLAN - TENNIS COURT
L1.31T	MATERIALS DIAGRAM - TENNIS COURT
L2.00T	MATERIALS LIST AND GENERAL NOTES
L2.10T	PAVING DETAILS
L2.20T	STAIRS AND WALLS DETAILS
L2.30T	TENNIS COURT DETAILS
L3.00T	PLANTING NOTES
L3.12T	PLANTING PLAN
L3.20T	PLANTING DETAILS
L5.02T	LIGHTING PLAN
L5.10T	LIGHTING CUT SHEETS

ARTERRA  
LANDSCAPE ARCHITECTS  
88 MISSOURI SAN FRANCISCO 94107  
415.861.3100  
arterrasf.com



BAHN-FENG RESIDENCE  
4575 PAUL SWEET ROAD  
SANTA CRUZ, CALIFORNIA  
APN: 10204127

DATE:	ISSUE:
12.17.2025	AG BFR RDCTN PERMIT

SCALE: AS NOTED

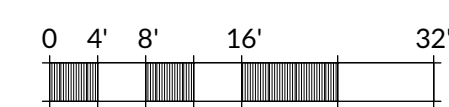
COVER SHEET

L0.00T









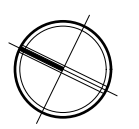
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 415.861.3100  
 arterrasf.com



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SCALE: 1/16"=1'-0"



ENLARGED SITE  
 PLAN - ROAD ENTRY

**L1.03T**

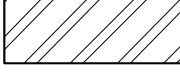








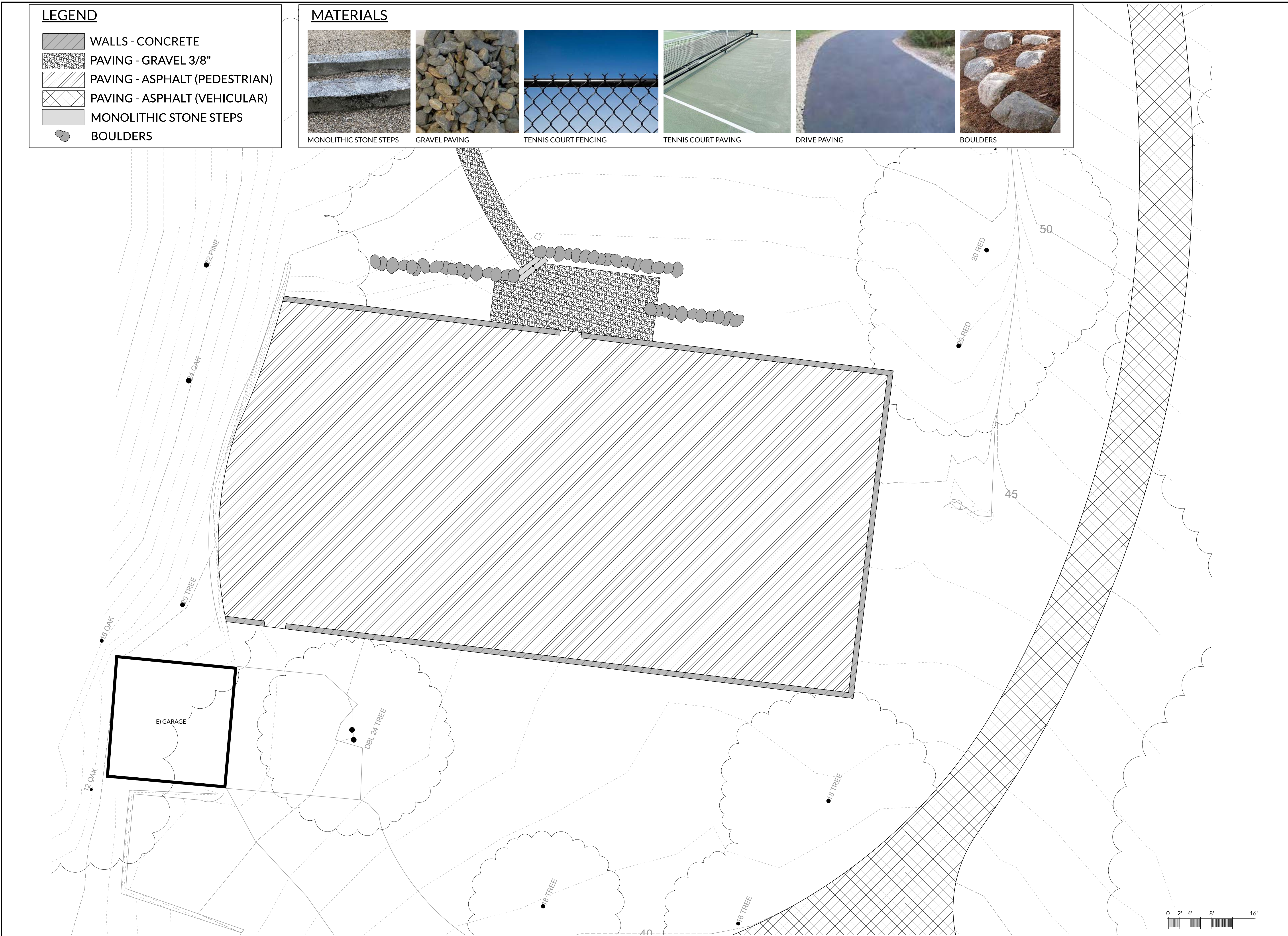
**LEGEND**

-  WALLS - CONCRETE
-  PAVING - GRAVEL 3/8"
-  PAVING - ASPHALT (PEDESTRIAN)
-  PAVING - ASPHALT (VEHICULAR)
-  MONOLITHIC STONE STEPS
-  BOULDERS

**MATERIALS**



MONOLITHIC STONE STEPS    GRAVEL PAVING    TENNIS COURT FENCING    TENNIS COURT PAVING    DRIVE PAVING    BOULDERS



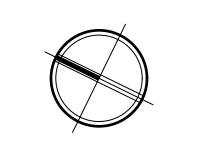
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SCALE: 1/8"=1'-0"



MATERIALS  
 DIAGRAM - TENNIS  
 COURT

**L1.31T**

MATERIALS LIST					
KEY	ITEM/LOCATION	SPECIFICATION	FINISH	VENDOR	NOTES
<b>A - PAVING</b>					
A-1	GRAVEL	3/8" CRUSHED, COLOR TBD		TBD	
A-2	DRIVE	ASPHALT			
<b>B-STAIRS</b>					
B-1	STAIRS	MONOLITHIC STONE	TBD	TBD	
<b>C-WALLS</b>					
	CONCRETE	PIP	TBD	TBD	
<b>D - TENNIS COURT</b>					
	- SEE SHEET L2.30T				
<b>Z-MISC</b>					
Z-1	EDGER	STEEL 3/16"	PAINT TO MATCH STEELWORK AT KITCHEN	TBD	
Z-2	BOULDERS	TBD		TBD	

**GENERAL LANDSCAPE NOTES**

These drawings indicate the expectation of best practice, first class work. If, in the opinion of the contractor, there is any doubt about the quality of work expected, s/he shall refer to the landscape architect for interpretation before proceeding with the work.

These drawings and the design they represent are the exclusive property of Arterra Landscape Architects.

Contractor is responsible for securely maintaining a current drawing set with complete LSK's on site during construction.

Contractor is responsible for ensuring all sub contractors receive complete set of plans/details and notes pertaining to their work.

Contractor shall be solely responsible for compliance with all Contract Documents, including, but not limited to drawings, specifications, manufacturer's instructions, Owner's directions, Codes, and Building official directions.

Contractor is solely responsible for correlating and confirming dimensions at the job site, choice of fabrication processes and techniques of construction, coordination of construction, coordination of his work with that of other trades, and performing the work in a safe and satisfactory manner.

All work is to be performed within the property. No underground structures or footings shall extend off the property. Confirm any adjustments in layout with LA prior to construction.

General Landscape Notes and specifications apply to all drawings. Individual notes and specific details take precedence over drawings.

Review Architectural, Civil and Structural Documents. Review Geotechnical Report.

All building information is based on drawings prepared by:  
Streeter Group and Alpha Land Surveys Inc.

The Contractor agrees, by proceeding with construction and using these Construction Documents, that they have reviewed the documents, notes and specifications in detail, understands them and agrees that the drawing conventions employed, the amount of detailing and level of detailing are appropriate and adequate to allow his/her satisfactory construction of the Project.

It is the responsibility of the contractor to bring to the attention of the Landscape Architect any conditions, which will not permit the construction indicated in these documents, prior to proceeding with the work.

All work to be performed in accordance with all state and local building codes in effect for Santa Cruz, California.

All landscape elements are indicated in approximate locations. Field-verify all dimensions. Written dimensions supersede scaled dimensions. Conditions not shown or foreseen may alter new work shown and may require additional work.

Contractor is responsible for coordinating final layout on site. Prepare paint out and string lines for review and approval by LA/Owners prior to commencement of construction.

All materials, finishes, colors, fixtures, fittings, etc. specified in these drawings are to be verified with the LA/Owners, prior to ordering.

In the event of a conflict between the plans, specifications, and/or manufacturers' literature, the more stringent requirement shall govern.

Coordinate schedule of work with other contractors as is required to complete this scope of work, in a timely manner and make best use of equipment and materials.

Verify all utility data and locations prior to commencing any work with the local power companies and coordinate work as necessary according to actual and verified

With reasonable promptness consistent with the stage of the Project, LA shall respond to the contractor's reasonable requests for clarification or interpretation in a timely manner.

Conduct construction operations to prevent windblown dust and dirt from interfering with the progress of the work and from causing a nuisance to the existing residence and neighboring property owners. Keep work sprinkled to prevent dust.

**SUBMITTALS**

A. Submit all material, finish, color, fixtures, fittings, etc. specified in these drawings for final approval by the Landscape Architect and Owners, prior to ordering.

B. Contractor to provide a project binder and a digital copy file, to be delivered to the owners at the completion of construction. The binders should be tabbed and organized by category (lighting, irrigation, drainage, etc.). It should include manufacturer operating instructions, replacement part information, warranties, and any other pertinent information. **Binders are due prior to date of final project acceptance.**

C. Contractor to provide as built drawings for lighting and drainage mechanical, prior to final project acceptance.

**AT COMPLETION**

Final Acceptance shall commence when all work is complete, including all submittals required above.

All work, materials and equipment to have a one-year warranty, commencing on the date of the final project acceptance. Replace work due to faulty workmanship or materials at no additional cost to the Owner. Coordinate work with the Owner or representative and perform at such time and manner to cause minimal interruption and inconvenience to the Owner.

Contractor to meet with Owner, their representative for landscape maintenance and the LA to coordinate plant maintenance and instruct in the operation and upkeep of equipment and systems.

**ARTERRA**  
LANDSCAPE ARCHITECTS  
88 MISSOURI SAN FRANCISCO 94107  
415.861.3100  
arterrasf.com



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4575 PAUL SWEET ROAD  
SANTA CRUZ CALIFORNIA  
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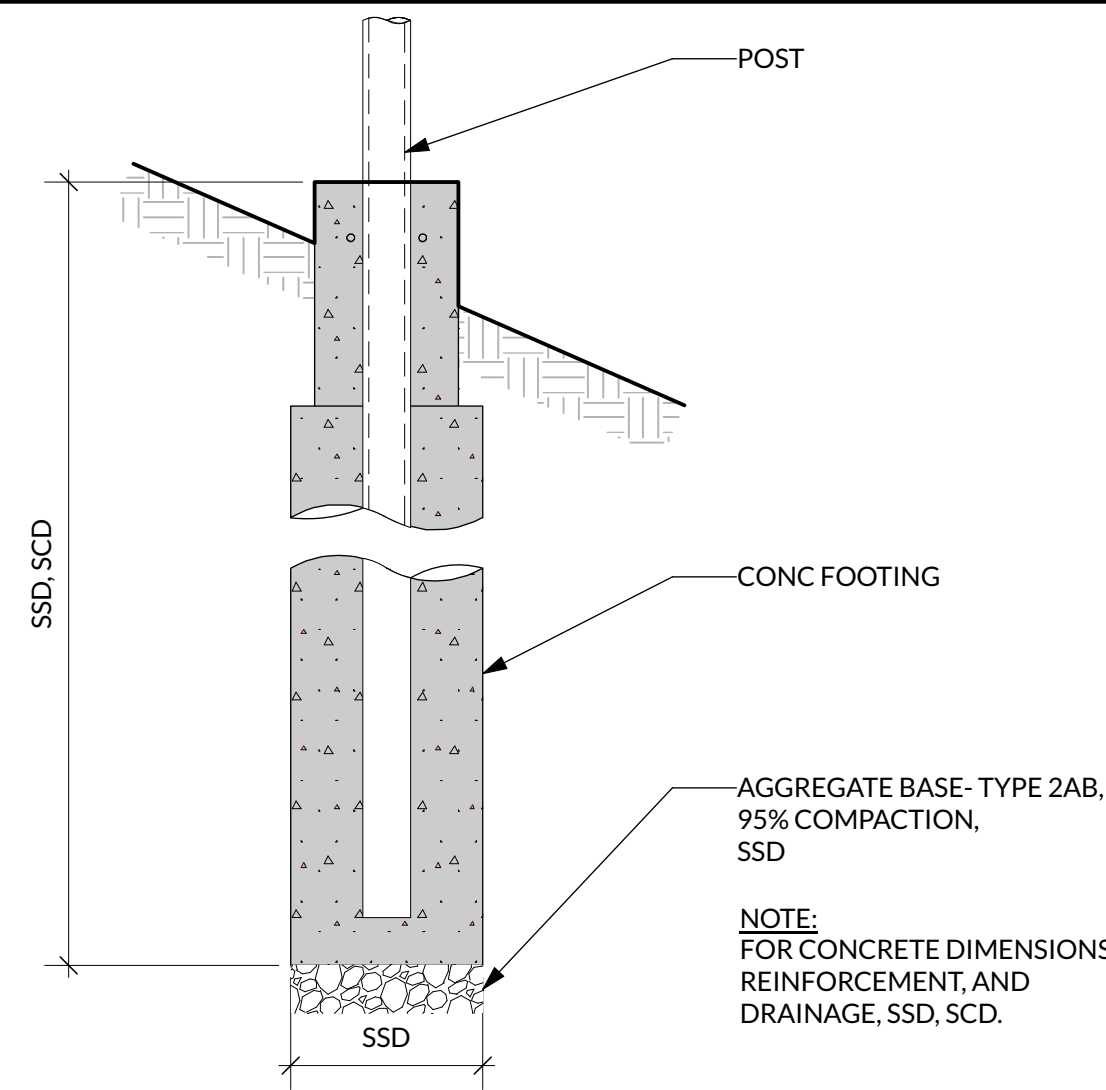
SCALE: NTS

MATERIAL LIST  
AND GENERAL  
NOTES

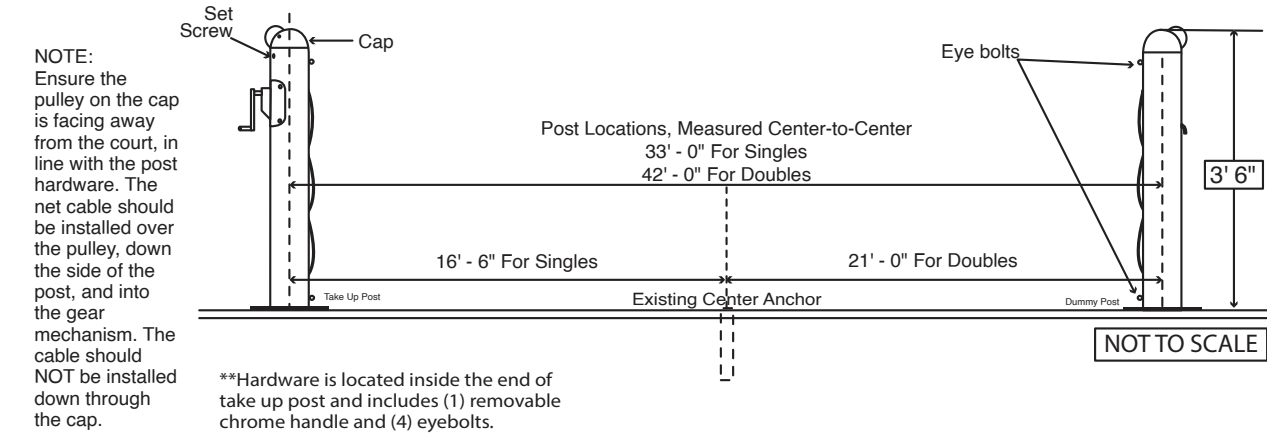
**L2.00T**



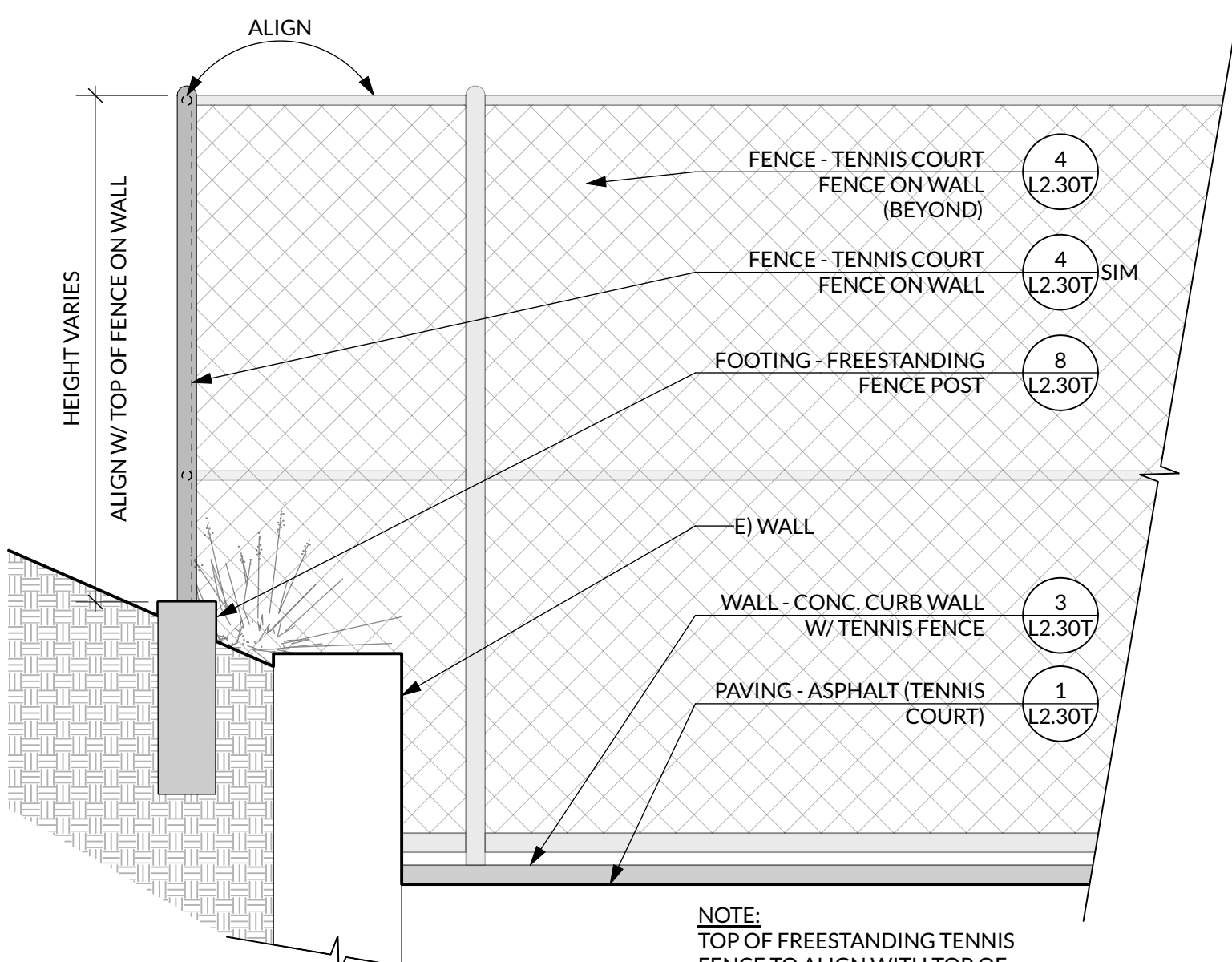
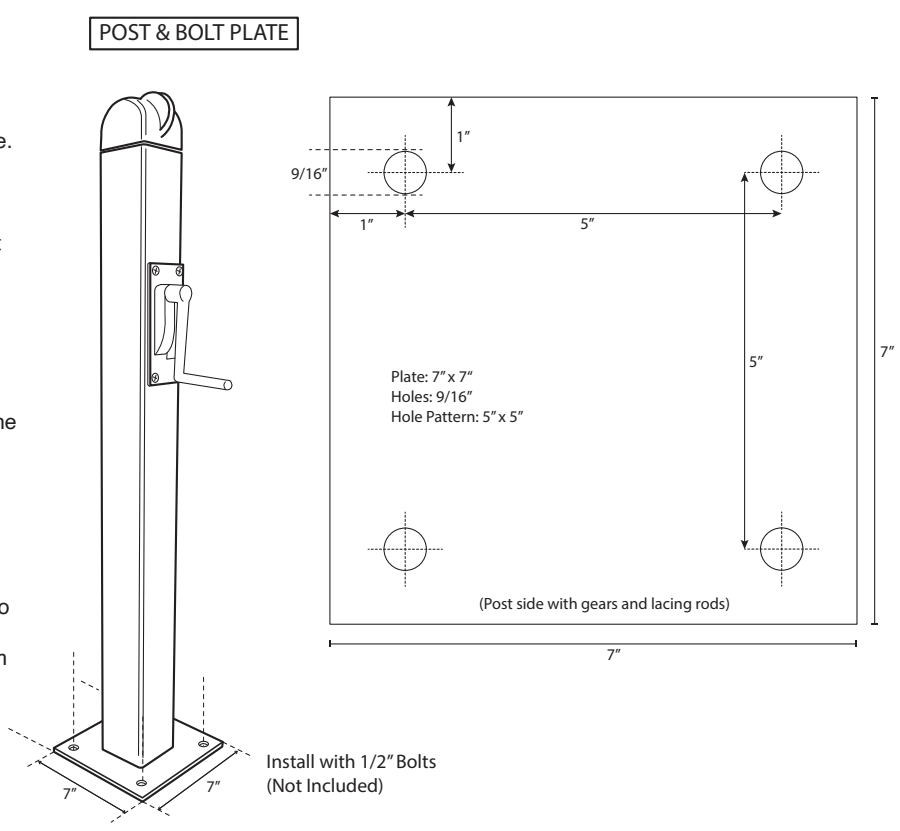




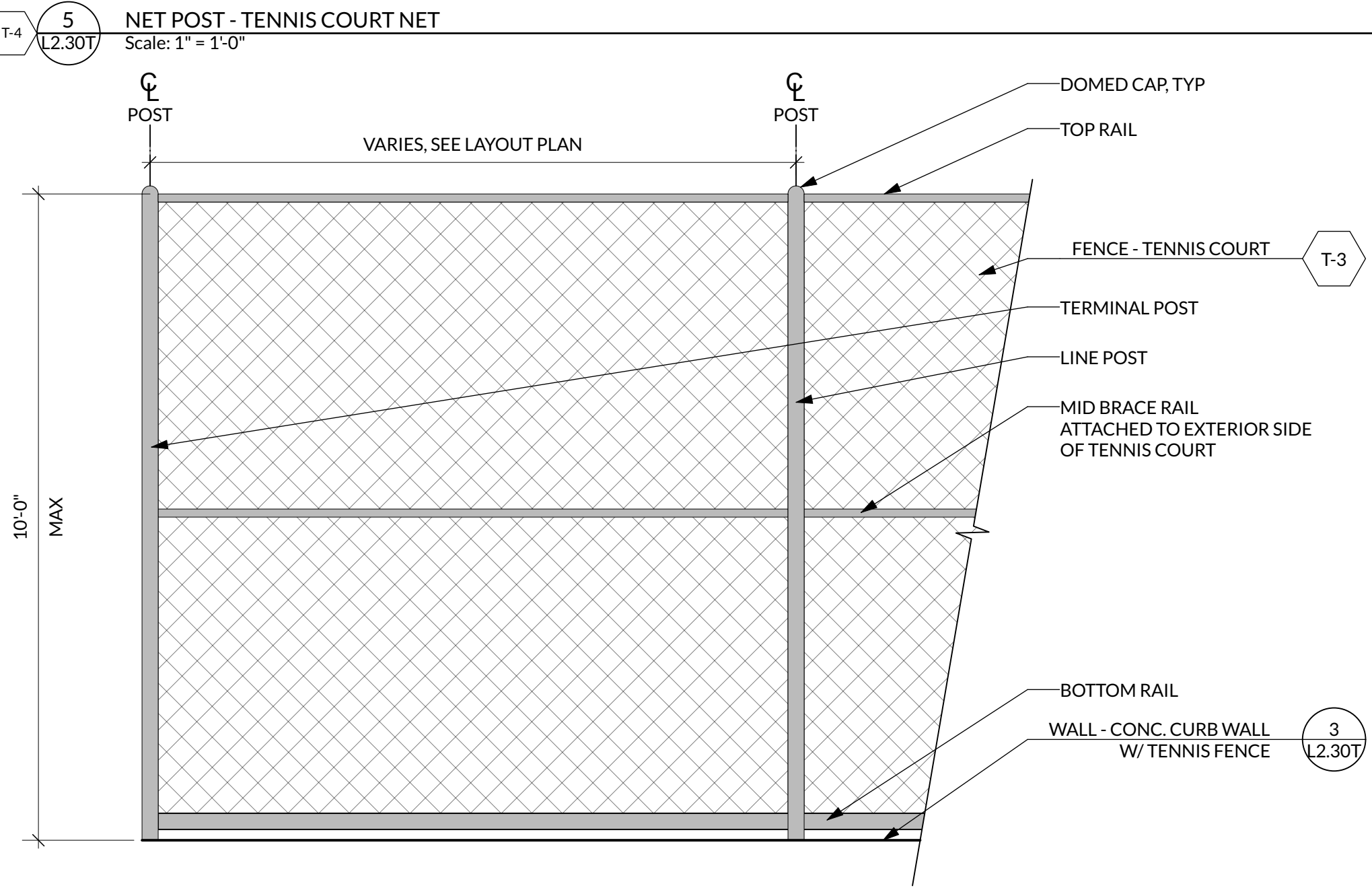
8 FOOTING - FREESTANDING FENCE POST  
Scale: 1" = 1'-0"



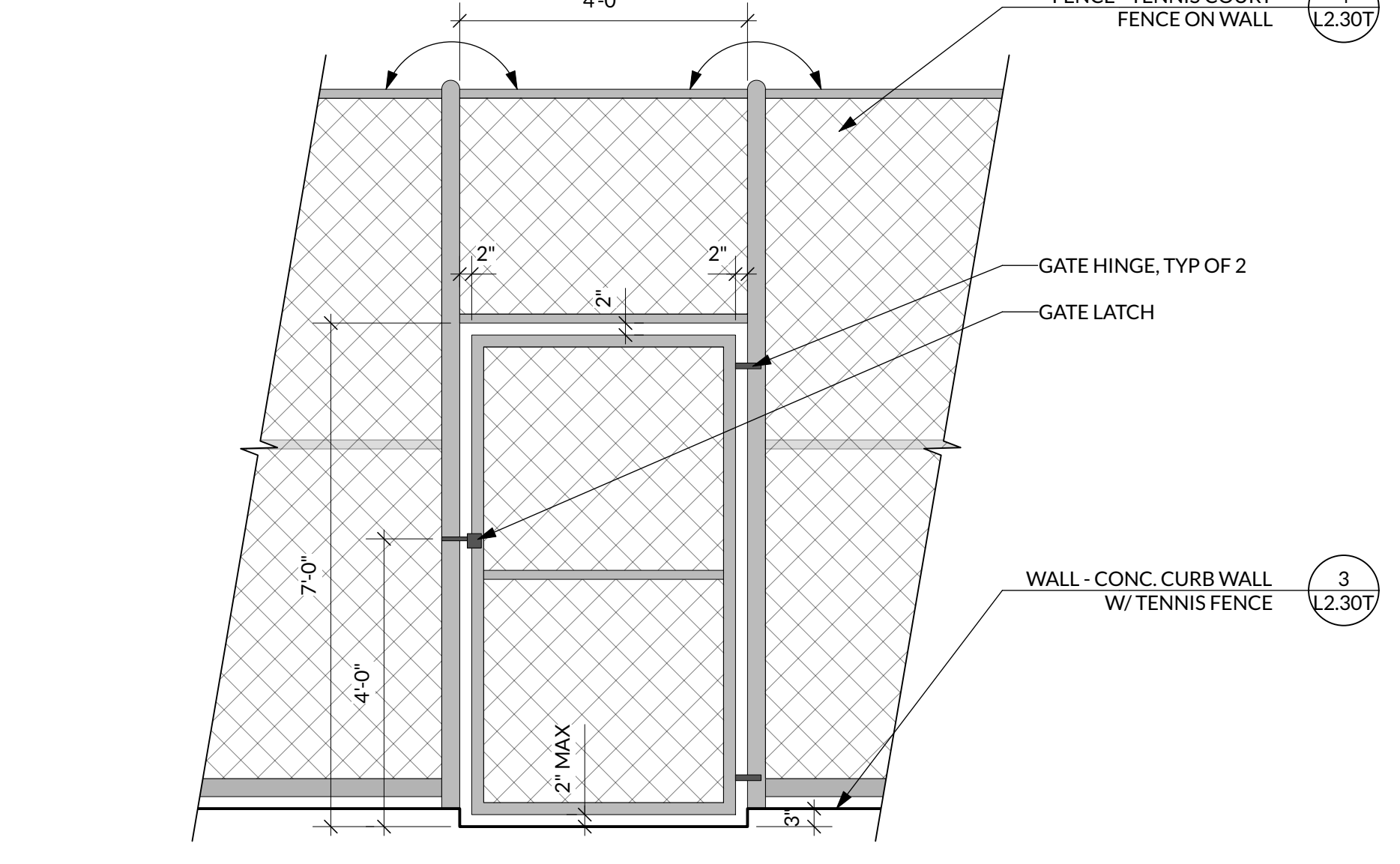
- POST INSTALLATION:**
- Use 1/2" Bolts (not included) to secure posts to the court surface. Bolts should be a minimum of 2-3/4" long. The tennis posts should be square to the playing surface and be spaced 42" apart (measured center-to-center) for doubles courts or 33" apart for singles courts.
  - Install hardware on the post.
  - Adjust the set screw to tighten the tennis post caps.
  - Screw on the top and bottom eyebolts to each post.
- CARE & MAINTENANCE**
- During the off-season, it is best to winterize your court by removing the tennis posts and storing them indoors.



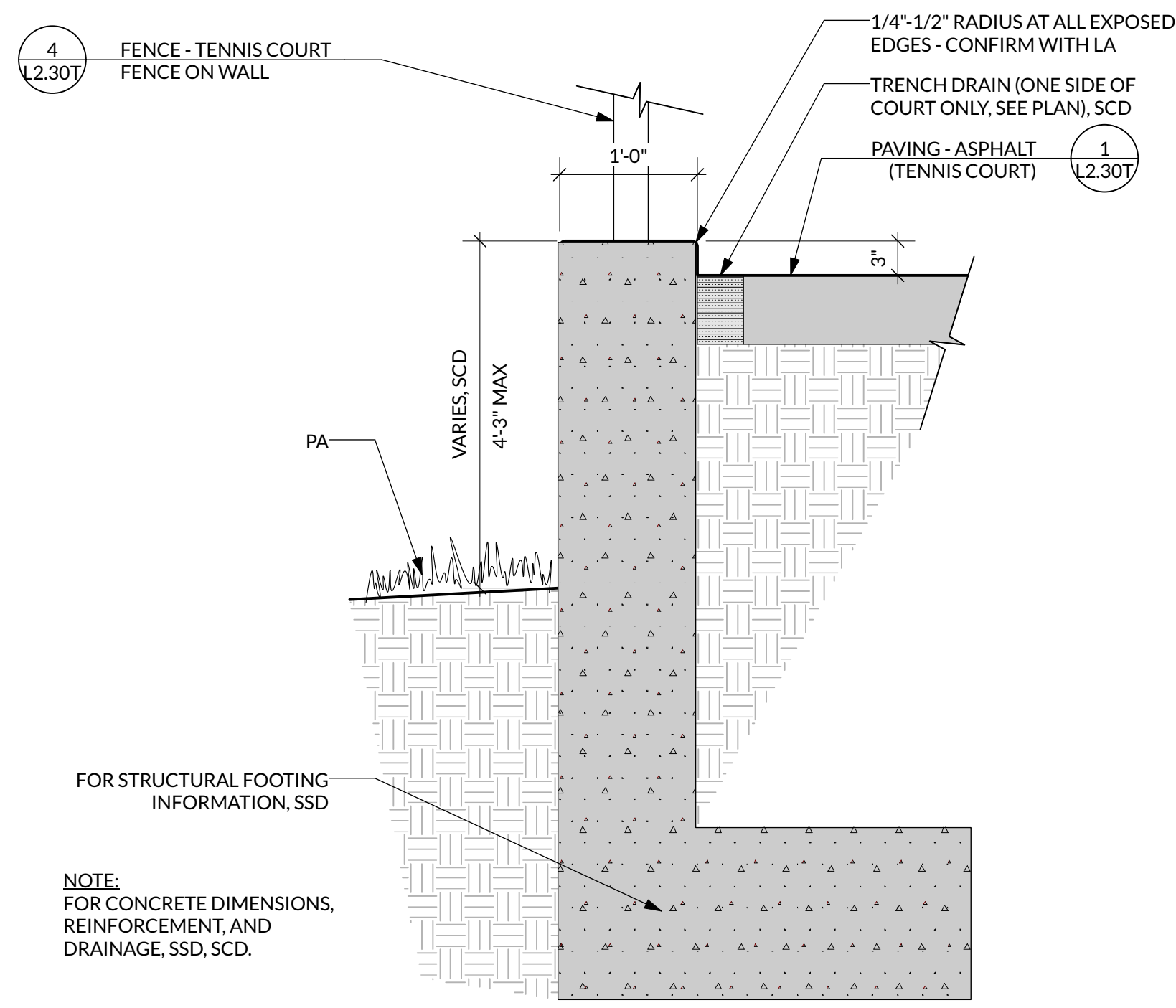
7 FENCE - TENNIS COURT FENCE, FREESTANDING  
Scale: 1/2" = 1'-0"



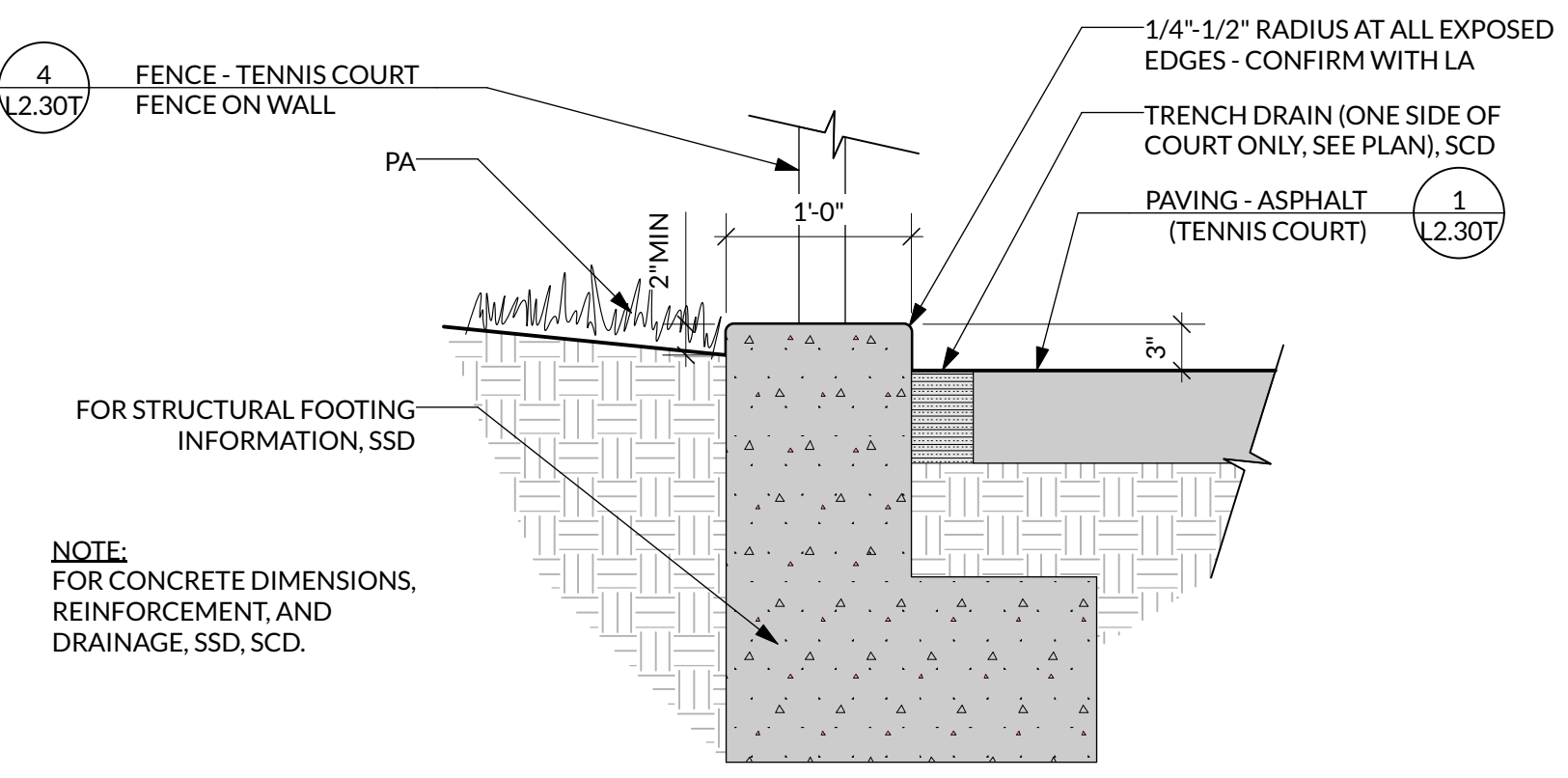
5 NET POST - TENNIS COURT NET  
Scale: 1" = 1'-0"



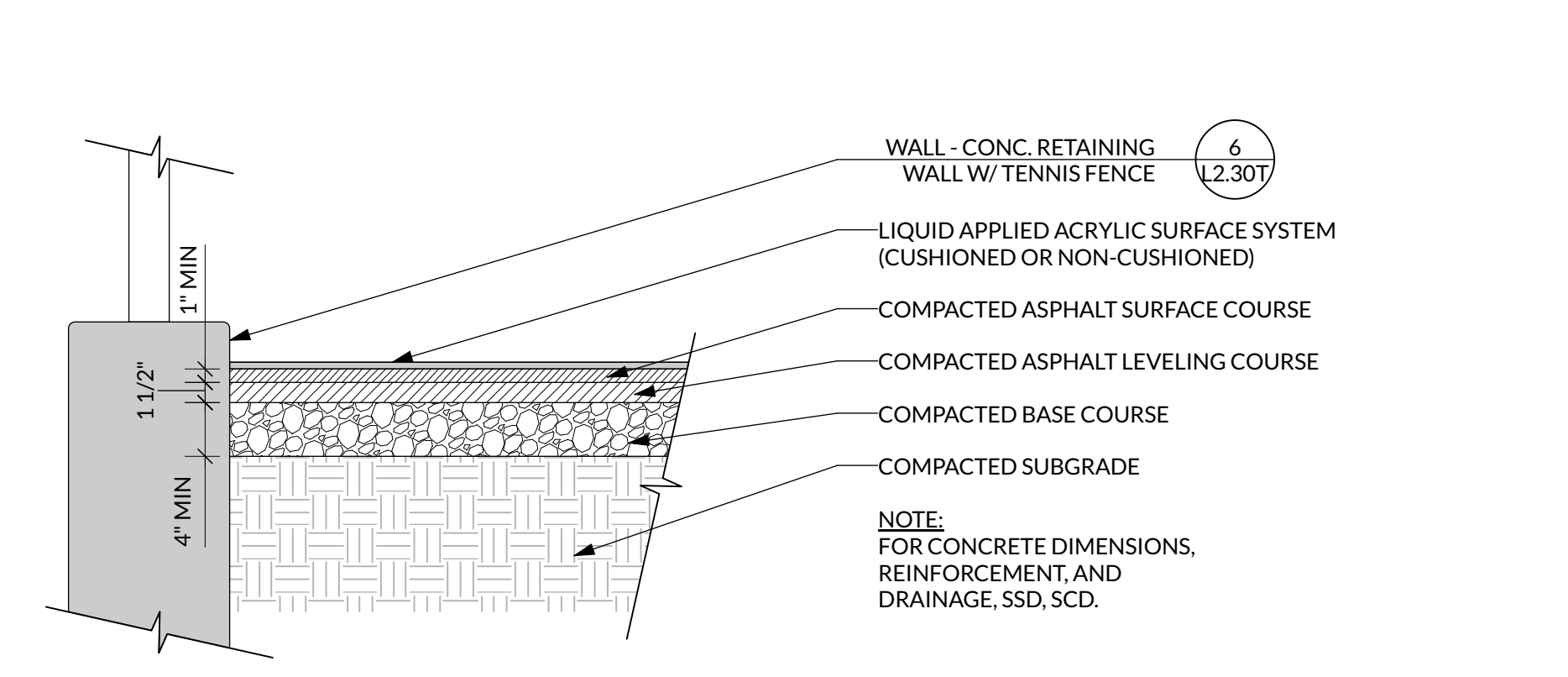
2 GATE - TENNIS COURT (PEDESTRIAN)  
Scale: 1/2" = 1'-0"



6 WALL - CONC. RETAINING WALL W/ TENNIS FENCE  
Scale: 1" = 1'-0"



3 WALL - CONC. CURB WALL W/ TENNIS FENCE  
Scale: 1" = 1'-0"



1 PAVING - ASPHALT (TENNIS COURT)  
Scale: 1" = 1'-0"

MATERIALS LIST - TENNIS COURT					
KEY	ITEM/LOCATION	SPECIFICATION	FINISH	VENDOR	NOTES
T-TENNIS					
T-1	PAVING - ASPHALT TENNIS COURT (PEDESTRIAN)	TBD		TBD	
T-2	WALL - RETAINING, CONCRETE			TBD	
T-3	FENCE - TENNIS COURT FENCE		BLACK	TBD	
T-4	GATE - TENNIS COURT PEDESTRIAN GATE			TBD	
T-5	POST - TENNIS COURT NET POST			TBD	



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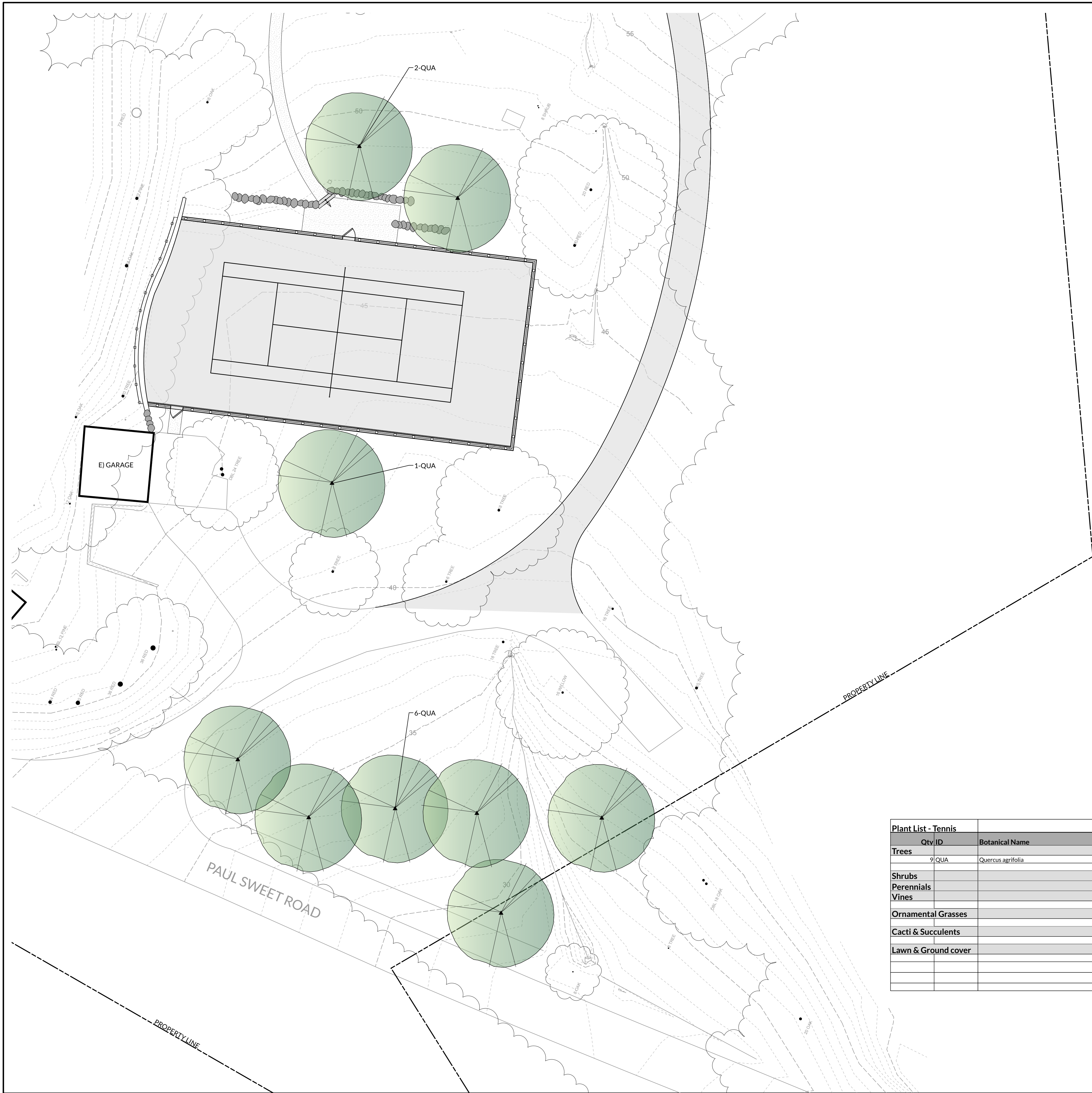
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SCALE: AS NOTED

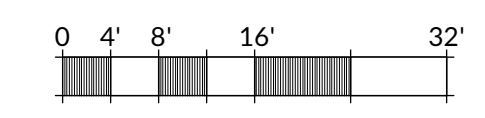
TENNIS COURT  
DETAILS

L2.30T





Plant List - Tennis						
Qty	ID	Botanical Name	Common Name	Scheduled Size	WUCOLS	Remarks
<b>Trees</b>						
9	QUA	Quercus agrifolia	Coast Live Oak	24" Box	VL	
<b>Shrubs</b>						
<b>Perennials</b>						
<b>Vines</b>						
<b>Ornamental Grasses</b>						
<b>Cacti &amp; Succulents</b>						
<b>Lawn &amp; Ground cover</b>						



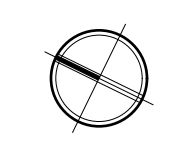
**ARTERRA**  
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 88 MISSOURI SAN FRANCISCO 94107  
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PLANTING PLAN

**L3.12T**



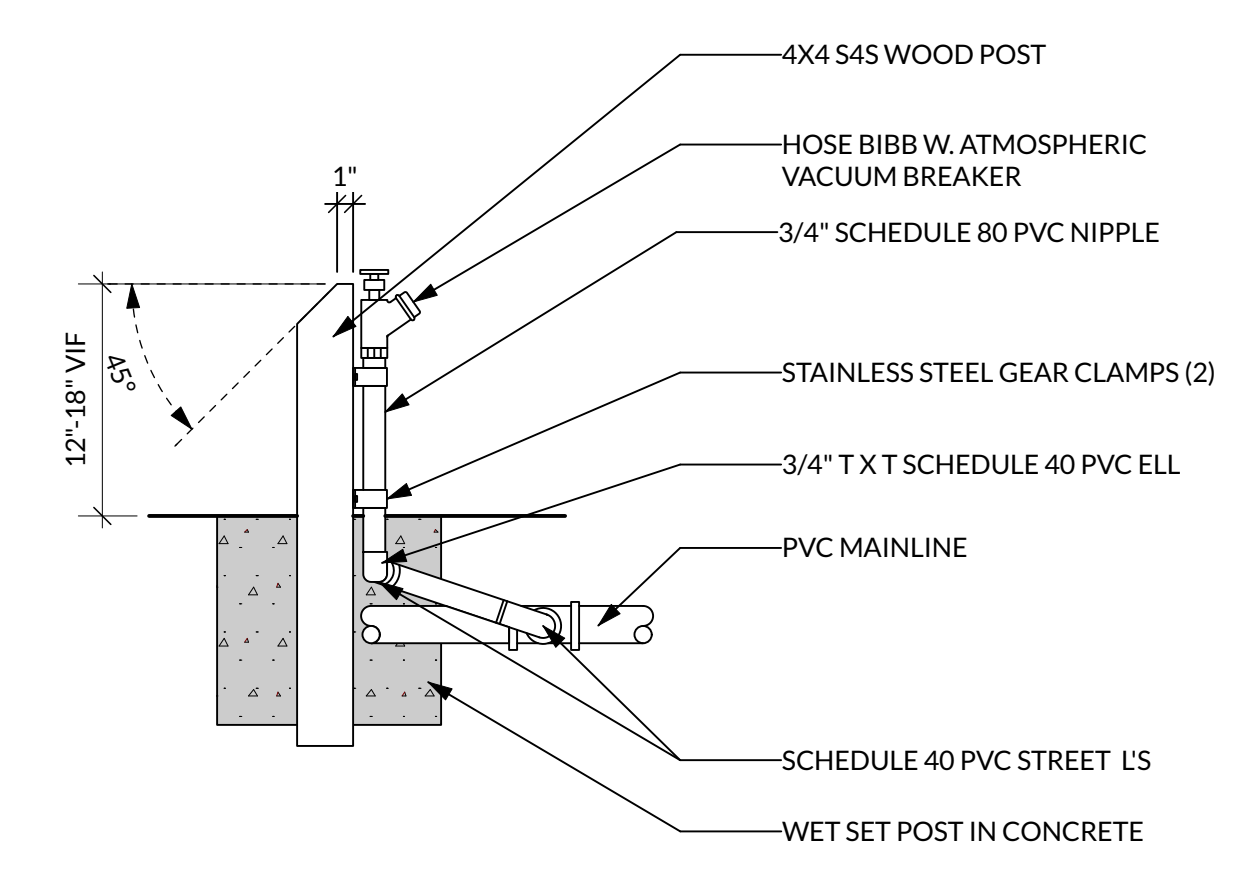
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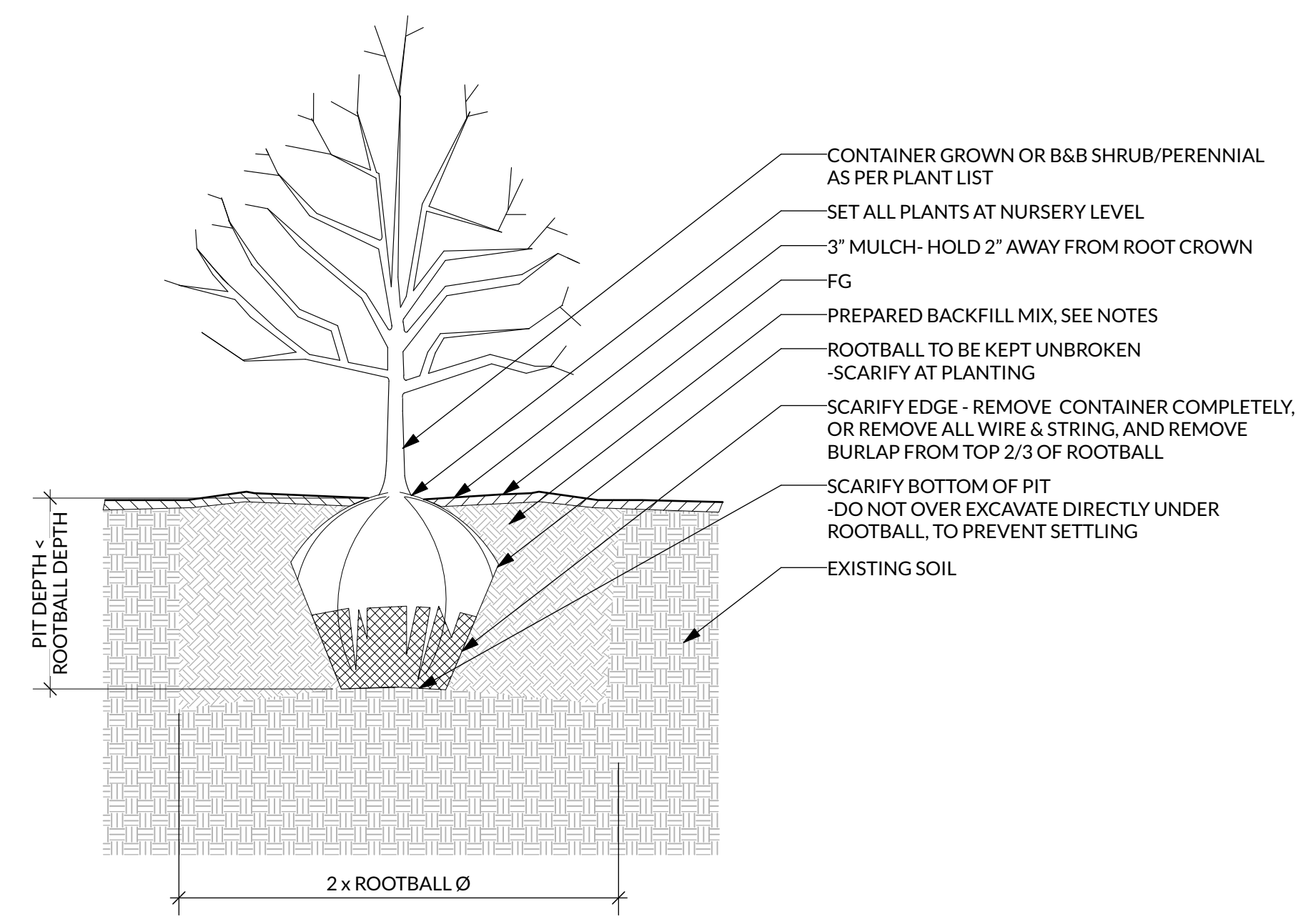
SCALE: AS NOTED

**PLANTING DETAILS**

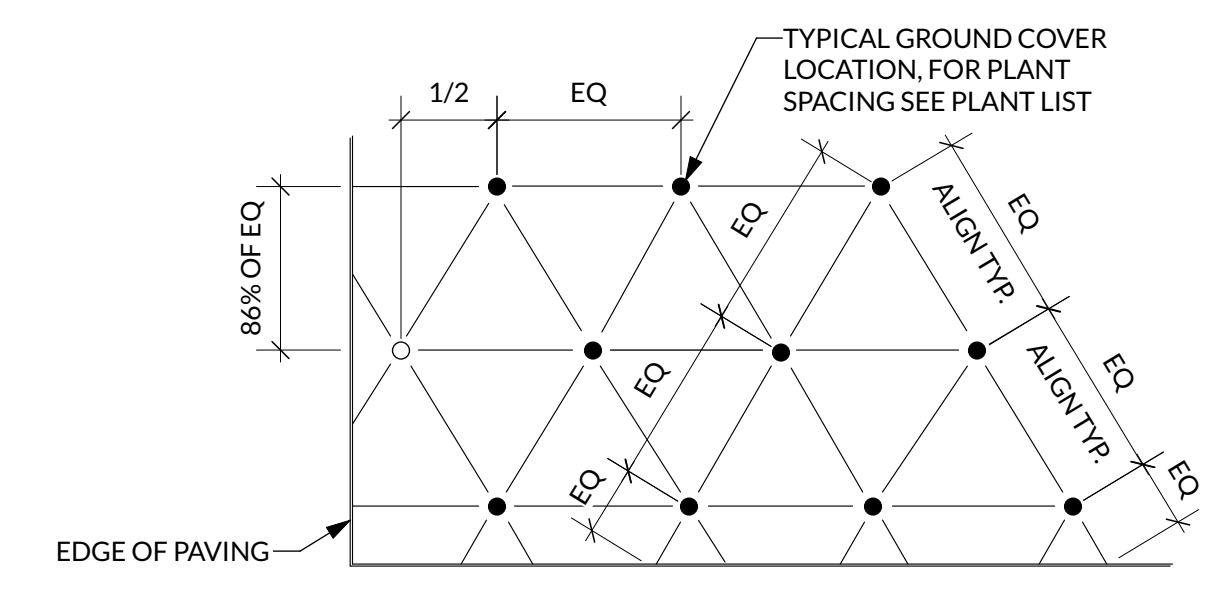
**L3.20T**



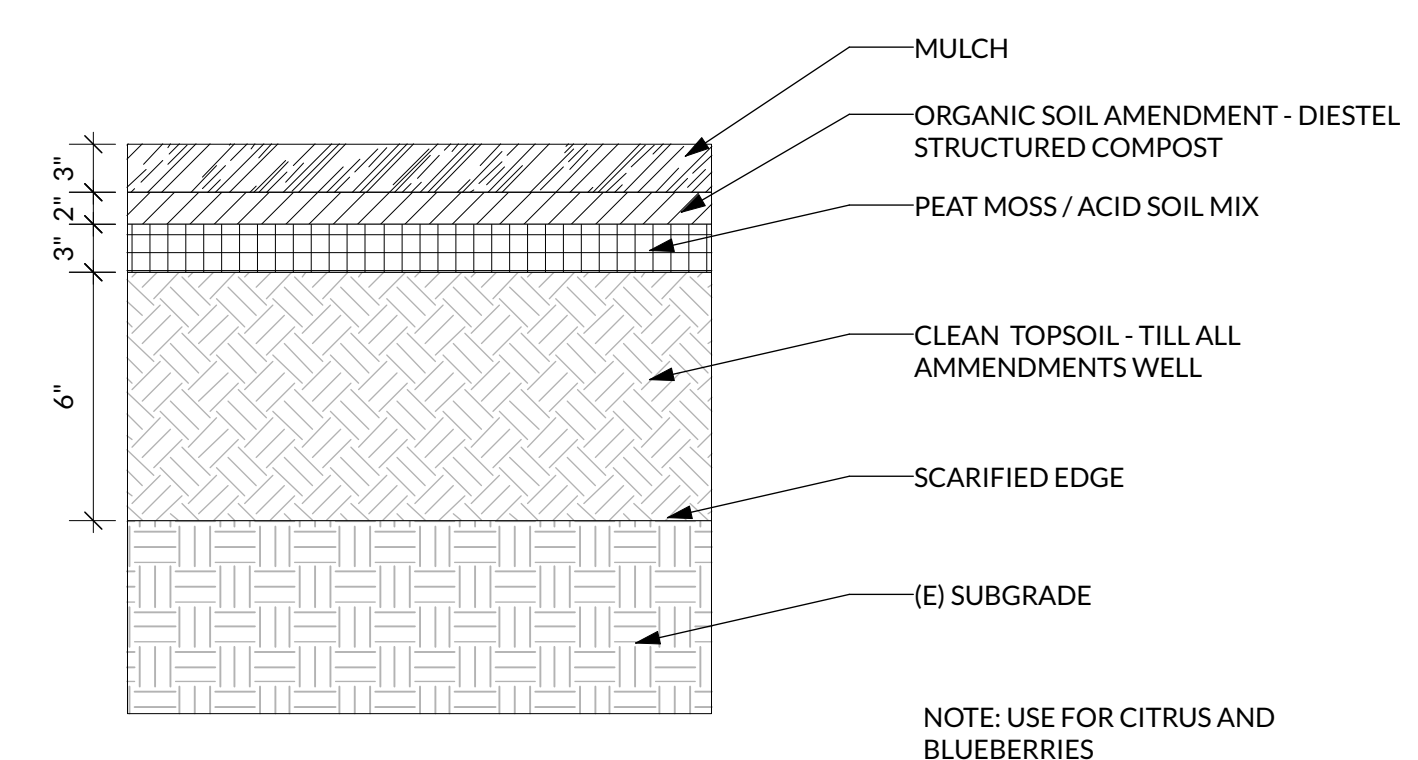
**10**  
L3.20T  
**HOSE BIB ON WOOD POST**  
Scale: 1" = 1'-0"



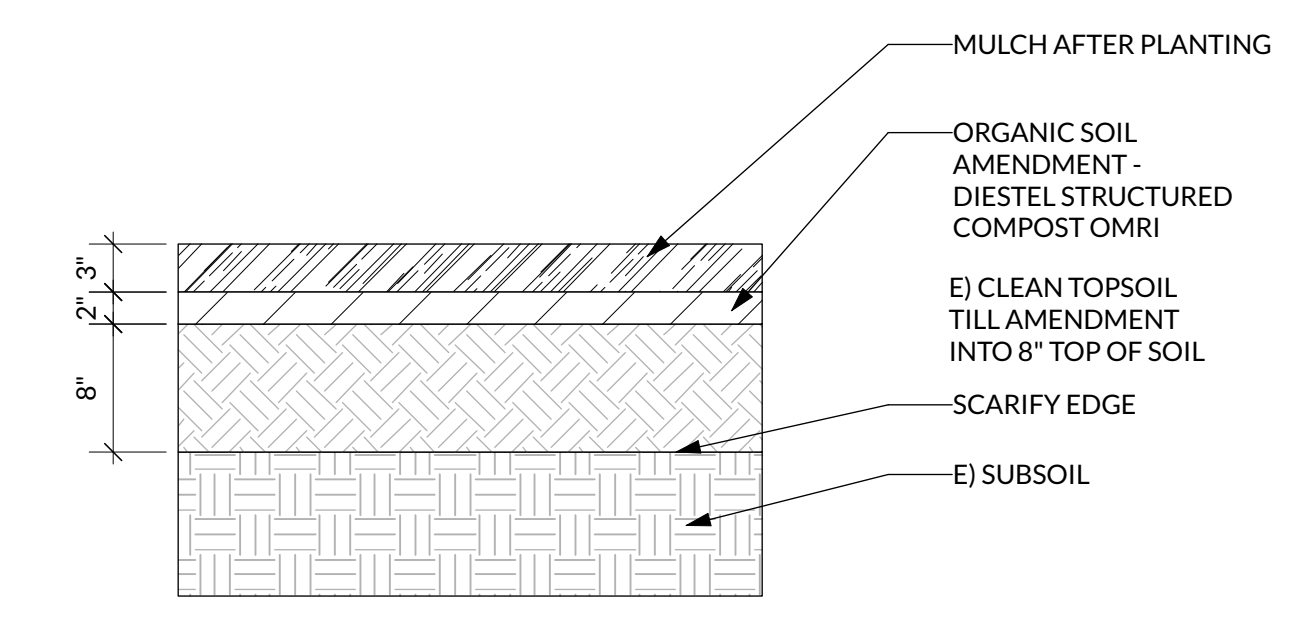
**11**  
L3.20T  
**PLANTING - SHRUB DETAIL**  
Scale: 1/2" = 1'-0"



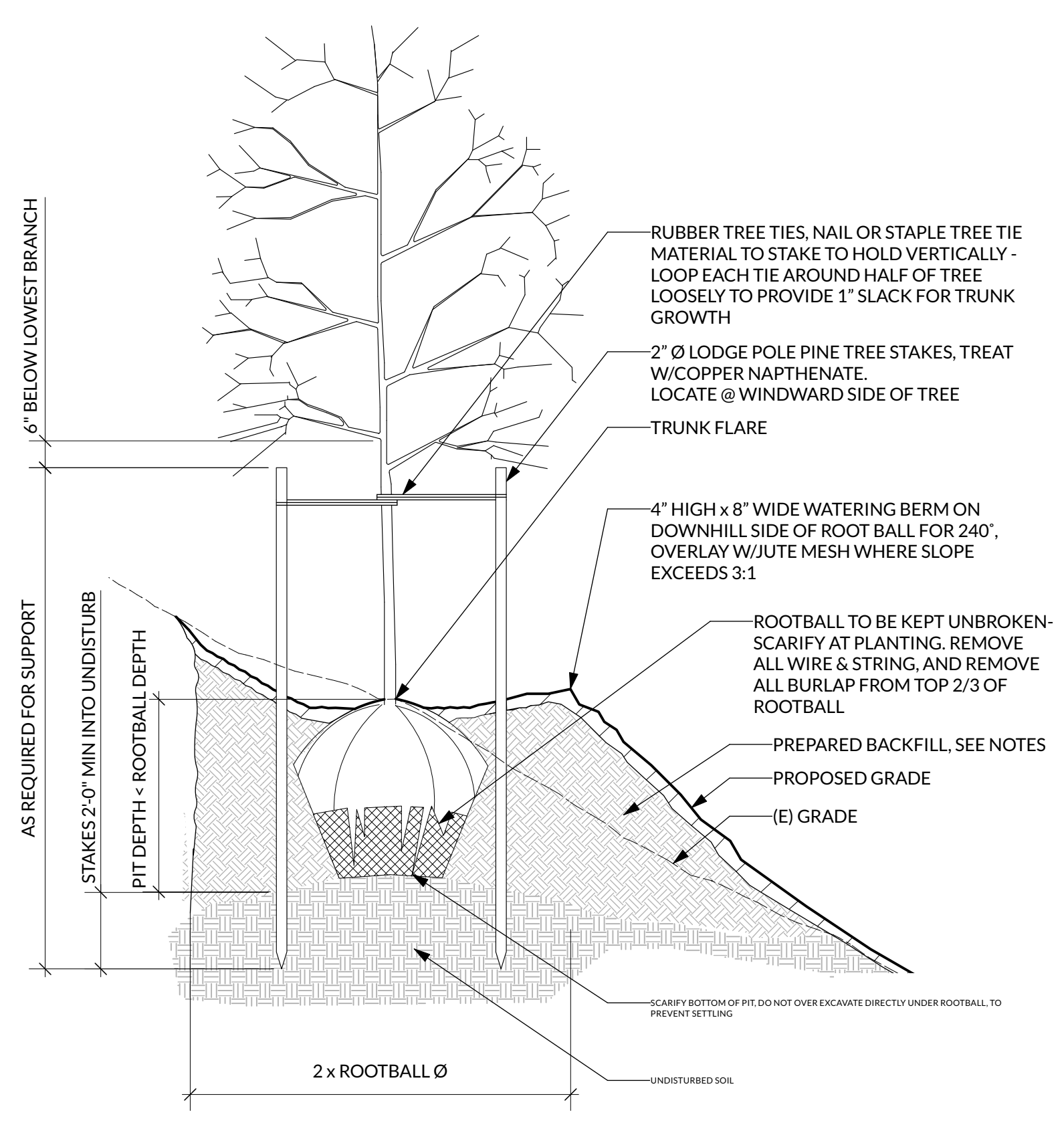
**8**  
L3.20T  
**TYPICAL GROUND COVER SPACING**  
Scale: 1" = 1'-0"



**9**  
L3.20T  
**PLANTING - TYP ACID SOIL DETAIL**  
Scale: 1" = 1'-0"

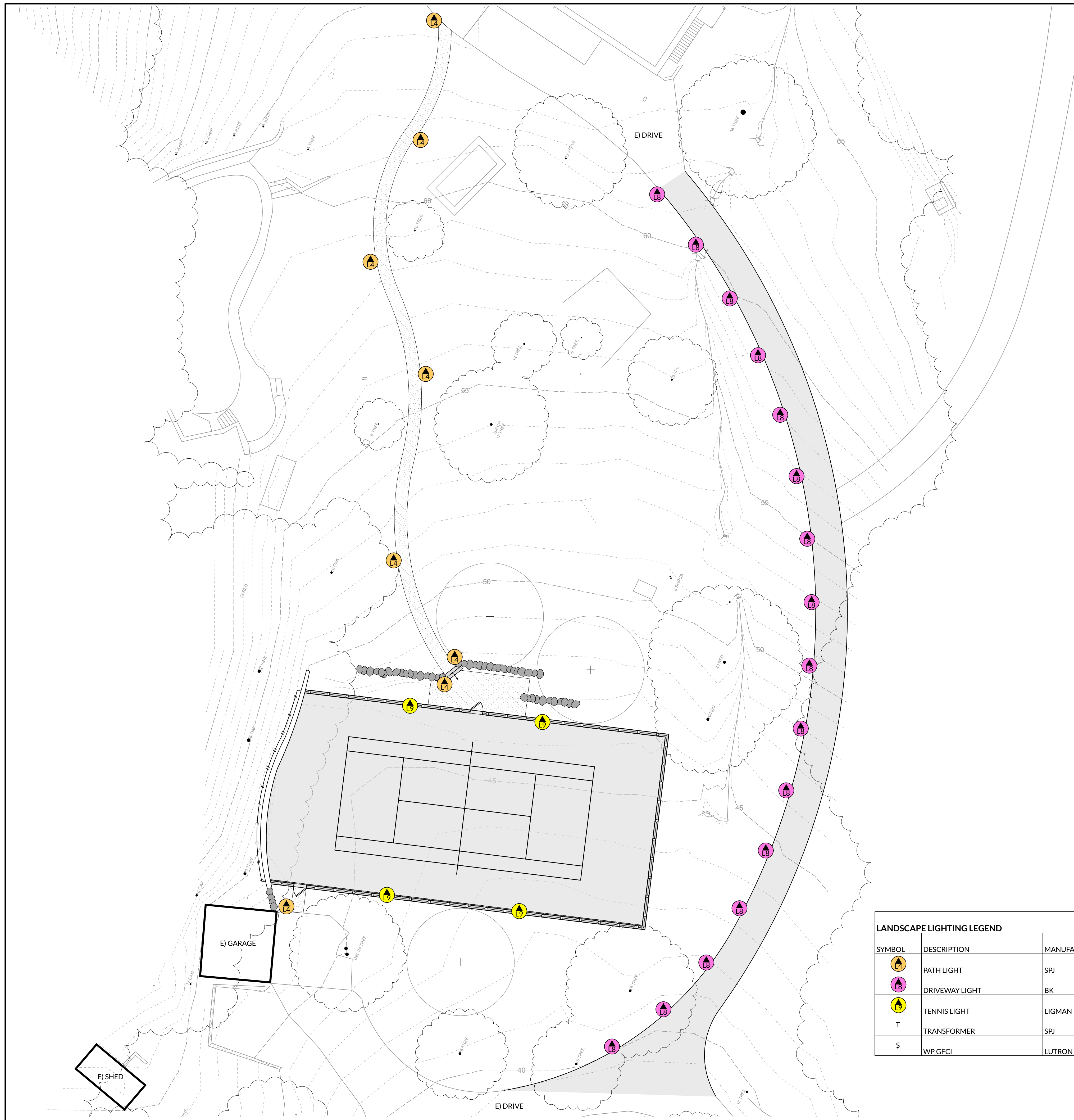


**7**  
L3.20T  
**TYP SOIL DETAIL**  
Scale: 1" = 1'-0"



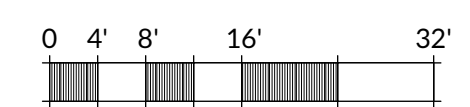
**12**  
L3.20T  
**PLANTING - TREE ON SLOPE DETAIL**  
Scale: 1/2" = 1'-0"

NOTE:  
PLACE CROWN OF TREE HIGH AT PLANTING, TO ALLOW FOR SETTLING.



**LANDSCAPE LIGHTING LEGEND**

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL SPEC	FINISH	NOTES
	PATH LIGHT	SPJ	SPJ-MPLA-1	BLACK	
	DRIVEWAY LIGHT	BK	DRIVE STAR	BLACK	
	TENNIS LIGHT	LIGMAN	UBIU-90001	BLACK	
T	TRANSFORMER	SPJ	SPJ MAGNETIC DIMMABLE TRANSFORMER - 150 or 300		
S	WP GFCI	LUTRON	WP GFCI RECEPTACAL	TBD	



**PROJECT DIRECTORY**

**OWNER:**  
 JEANETTE BAHN AND PAUL FENG  
 432 RUTHVEN AVE  
 PALO ALTO, CA 94301  
 650.488.4804

**LANDSCAPE ARCHITECT:**  
 ARTERRA LANDSCAPE ARCHITECTS  
 88 MISSOURI ST.  
 SAN FRANCISCO, CA 94107  
 CONTACT:  
 415-861-3100

**SURVEYOR:**  
 ALPHA LAND SURVEYROS  
 4444 SCOTTS VALLEY DRIVE #7  
 SCOTTS VALLEY, CA 95066  
 831.438.4453

**STRUCTURAL ENGINEER:**  
 ZFA STRUCTURAL ENGINEERS  
 601 MONTGOMERY STREET SUITE 1450  
 SAN FRANCISCO, CA 94111  
 415.243.4091

**CIVIL ENGINEER:**  
 SUMMIT ENGINEERING, INC.  
 575 W COLLEGE AVE, STE 201  
 SANTA ROSA, CA 95401  
 707.978.5749

**GEOTECH:**  
 HARO, KASUNICH AND ASSOCIATES, INC.  
 116 EAST LAKE AVENUE  
 WATSONVILLE, CA 95076  
 831.722.4175

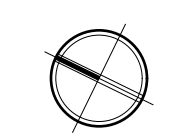
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**BAHN-FENG RESIDENCE**  
 4575 PAUL SWEET ROAD  
 SANTA CRUZ, CALIFORNIA  
 APN: 10204127

DATE:	ISSUE:
12.17.2025	AG BFR RDCTN PERMIT

SCALE: 1/16"=1'-0"



LIGHTING PLAN

**L5.02T**

