



## Staff Report to the Planning Commission

Application Number: **03-0385**

---

**Applicant:** Jim Weaver - Pacific Rim  
Planning Group

**Agenda Date:** 2123105

**Owner:** Howard Ellis, trustee

**Agenda Item #:** 11

**APN:** 026-071-52. 54

**Time:** After 9:00 a.m.

**Project Description:** Proposal to transfer 11,444 sq ft from Assessor's Parcel Number 026-071-54 to 026-071-52 resulting in two parcels of 54,461 sq ft and 48,218 sq ft respectively, to rezone the transferred area from the PF (Public Facility) zone district to the R-1-5 (Single Family Residential - 5,000 square foot minimum per unit) zone district, a General Plan Amendment to change from the P (public Facility) land use designation to the R-UM (Urban Medium Density Residential) land use designation, and to construct four two-story single family dwellings on four proposed new parcels (one house exists on the remainder parcel). Requires a Lot Line Adjustment, Rezoning, General Plan Amendment, Minor Land Division (four new parcels and a remainder parcel), an amendment to Commercial Development Permit 78-673-PD (to adjust the parcel boundary of the existing approved church), a Roadway/Roadside Exception, and a Soils Report Review.

**Location:** Property located at the northwest corner of the intersection of Rodriguez Street and 17th Avenue. (1547 Rodriguez Street & 2301 17th Avenue)

**Supervisory District:** 1st District (District Supervisor: Janet Beautz)

**Permits Required:** Lot line Adjustment, Rezoning, General Plan Amendment, Minor Land Division, Commercial Development Permit, Roadway/Roadside Exception, Soils Report Review

**Staff Recommendation:**

- Adopt the attached resolution (Exhibit F), sending a recommendation to the Board of Supervisors for **Approval** of Application Number **03-0385**, based on the attached findings and conditions, and recommend certification of the Mitigated Negative Declaration per the requirements of the California Environmental Quality Act.

## Exhibits

- |    |  |    |                                |
|----|--|----|--------------------------------|
| A. | Project plans  | E. | Rezoning & General Plan        |
| B. | Findings   |    | Amendment Maps                 |
| C. | Conditions   | F. | Planning Commission Resolution |
| D. | Mitigated Negative Declaration<br>(CEQA Determination) with the<br>following attached documents: | G. | Axonometric Drawing            |
|    | (Attachment 2): Assessor's parcel map  | H. | Reduced Architectural Plans    |
|    | (Attachment 3): Zoning map   | I. | Comments & Correspondence      |
|    | (Attachment 4): General Plan map   |    |                                |

## Parcel Information

Parcel Size:	026-071-52: 36,774 sq ft (before adj.), 48,218 sq ft (after adj.) 026-071-54: 65,905 sq ft (before adj.), 54,461 sq ft (after adj.)
Existing Land Use - Parcel:	Single family dwelling (026-071-52) & Church (026-071-54)
Existing Land Use - Surrounding:	Single and multi-family residential neighborhood
Project Access:	Rodriguez Street (west of 17 <sup>th</sup> Avenue)
Planning Area:	Live Oak
Land Use Designations:	026-071-52: R-UM (Urban Medium Density Residential) 026-071-54: P (Public Facilities)
Zone Districts:	026-071-52: R-1-5 (Single Family Residential - 5,000 square foot minimum) 026-071-54: PF (Public Facilities)
Coastal Zone:	___ Inside <u>X</u> Outside

## Environmental Information

An Initial Study has been prepared (Exhibit D) that addresses the environmental concerns associated with this application.

## Services Information

Urban/Rural Services Line:	<u>X</u> Inside     ___ Outside
Water Supply:	Santa Cruz City Water District
Sewage Disposal:	Santa Cruz County Sanitation District
Fire District:	Aptos/La Selva Fire Protection District
Drainage District:	Zone 5 Flood Control District

## Project Setting

The property is located in central Live Oak on the northwest corner of the intersection of Rodriguez Street and 17th Avenue. The site is about 1,000 feet south of Highway One. The property is improved with a single story 1,155 square foot home with a small garage and shed.

Surrounding land uses include multiple-family housing to the north of the subject property, single-family residential development to the west and south, and a church, with associated parking and ancillary improvements has been developed to the east.

The project area is relatively flat with little vegetation with the exception of a specimen cork oak tree near the center of the property. A variety of fruit trees are also scattered throughout the property.

### **Lot Line Adjustment**

The proposed development requires a lot line adjustment to transfer 11,444 square feet from APN 26-071-54 to APN 26-071-52. The property to be transferred is an unused portion to the rear of the church that is located on APN 26-071-54.

### **Rezoning & General Plan Amendment**

The area of the proposed rezoning and General Plan amendment (as indicated on Exhibit E), includes the portion of APN 26-071-54 which is proposed to be transferred. This area is currently zoned PF (Public Facilities) and has a P (Public Facilities) General Plan land use designation. The rezoning of this transferred land area to R-1-5 (Single Family Residential - 5,000 square foot minimum) and General Plan amendment to R-UM (Urban Medium Density Residential) will be consistent with the current zoning and General Plan Designation of APN 026-071-52 and will be necessary to facilitate the proposed development. The surrounding neighborhood is designated for residential uses and the proposed rezoning and General Plan amendment is considered as appropriate due to the character and pattern of surrounding residential development.

### **Minor Land Division**

The proposed land division will create four new single family residential parcels and one parcel developed with an existing single family dwelling will be kept as a remainder lot. The area of Tanbark Court will be dedicated to the County after road improvements have been installed by the developer.

The four new residential parcels will range in size from 5,503 square feet to 6,336 square feet, all of which meet the minimum required size for the R-1-5 (Single Family Residential – 5,000 square feet minimum) zone district. The remainder parcel will be 6,174 square feet in area to accommodate the existing residence and associated improvements.

The subject property is designated as Urban Medium Density Residential (R-UM) in the General Plan, and the transferred portion is proposed to hold this designation as well. The Urban Medium Density Residential (R-UM) General Plan designation requires new development to be within a density range of 4,000 to 6,000 square feet. The proposed land division complies with the density range required by the General Plan.

## **Grading, Drainage & Utilities**

The proposed road and associated improvements for the land division will require site grading and preparation. A total of 1,055 cubic yards of earth will be cut from the project site and a total of 605 cubic yards of earth will be placed as fill to allow for these improvements. These grading volumes are considered as reasonable and appropriate due to the nature and scale of the required improvements. Tree protection measures will be installed to preserve the existing **41** inch diameter cork *oak* tree located between the existing church and the proposed development.

Additional improvements related to the land division include extensive landscaping in the front yards of each new parcel and along both sides of the Tanbark Court. Also included is the installation of new storm drainage facilities with detention, sanitary sewer facilities to connect the new homes to the County Sanitation sewer system, and privacy fences in the side and rear yards of the five residential parcels.

## **Roadside Exception**

The proposed access road design varies from the County Design Criteria in terms of width and improvements. All new residential parcels, including the remainder parcel, will be accessed off of a new road (Tanbark Court) that is proposed from the north side of Rodriguez Street to the last driveway of the new parcels, or about 330 feet, terminating at a cul-de-sac. The street will be located within a 51-foot right-of-way and is planned as a 32-foot road section and cul-de-sac with 2 feet of curb and gutter on both sides, a 4-foot planting strip on both sides, and a 4-foot sidewalk on the east side fronting the proposed new homes. A Roadway/Roadside Exception is required for this proposed configuration in that it does not provide a 56 foot right of way with a sidewalk on both sides of the cul-de-sac. This a Roadway/Roadside Exception is considered **as** appropriate due to the lack of residences on the opposite side of the access roadway.

The Department of Public Works, Road Engineering has required a dedication of 5 feet along ~~the~~ north side of Rodriguez Street to allow for future road widening and improvements. DPW Road Engineering has also required sidewalk improvements along the north side of Rodriguez Street from the proposed access roadway (Tanbark Court) to the intersection with **17''** Avenue. This requirement is not consistent with the approved plan line for Rodriguez Street, which includes a sidewalk on the only south side of Rodriguez Street with no sidewalk planned for the north side of the road. Although a sidewalk has been included in the project proposal, the Planning Department does not support the installation of a sidewalk on the north side of Rodriguez Street due to the fact that it does not conform with the approved plan line and it will require the removal of street trees which were recently planted in this area.

## **Building Design**

Four new single-family dwellings are proposed to be constructed on the new parcels. The new homes will be two stories in height and range in size from 2,535 to **2,728** square feet. The homes will include two car garages and front porches. Proposed building materials include shingle and hard shingle wood siding, hardi-plank lap siding, white vinyl windows, composition shingle roofs and a variety of wood and rock trim around windows, doors and on the front facade of the homes.

The existing home on the remainder parcel will not be renovated as part of this project, however an attached two-car garage will be built on the west side of the house. The two non-habitable accessory structures will be removed as a component of this project.

### **Commercial Development Permit Amendment**

The parking area of the existing church on APN 026-01-54 will be modified as a result of this project. Ten feet of the western edge of the existing church parking area will be removed and reconstructed, which will result in the relocation of 2 parking spaces. The replacement parking spaces will be located to the north side of the existing parking area. The existing parking area will also be upgraded and resurfaced as a result of these improvements. The modifications to the existing parking area of the church require a Commercial Development Permit amendment to Planned Development Permit 78-673-PD which originally approved the church. The modifications to the proposed parking area are considered appropriate and will not intensify the existing use or function of the church site.

### **Environmental Review**

Environmental review has been required for the proposed project per the requirements of the California Environmental Quality Act (CEQA). The project was reviewed by the County's Environmental Coordinator on 11/15/04. A preliminary determination to issue a Negative Declaration with Mitigations (Exhibit D) was made on 11/17/04. The mandatory public comment period ended on 12/22/04, without any comments affecting the Negative Declaration.

The environmental review process focused on the potential impacts of the project in the areas of drainage and existing trees. The environmental review process evaluated potential impacts and generated mitigation measures that will reduce potential impacts from the proposed development and adequately address the above listed issues.

### **Conclusion**

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

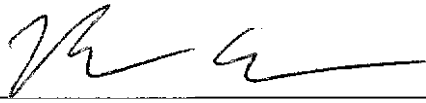
### **Staff Recommendation**

- Adopt the attached resolution (Exhibit F), sending a recommendation to the Board of Supervisors for **Approval** of Application Number **03-0385**, based on the attached findings and conditions, and recommend certification of the Mitigated Negative Declaration per the requirements of the California Environmental Quality Act.

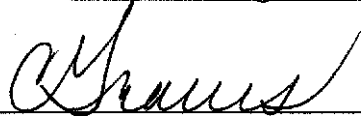
**Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.**

**The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.co.santa-cruz.ca.us](http://www.co.santa-cruz.ca.us)**

Report Prepared By: \_\_\_\_\_

  
Randall Adams  
Santa Cruz County Planning Department  
701 Ocean Street, 4th Floor  
Santa Cruz CA 95060  
Phone Number: (831) 454-3218  
E-mail: [randall.adams@co.santa-cruz.ca.us](mailto:randall.adams@co.santa-cruz.ca.us)

Report Reviewed By: \_\_\_\_\_

  
Cathy Graves  
Principal Planner  
Development Review

## **Rezoning Findings**

1. The proposed zone district will allow a density of development and types of uses which are consistent with the objectives and land-use designations of the adopted General Plan; and,

This finding can be made, in that the project site has an Urban Medium Density Residential (R-UM) General Plan land use designation. The area proposed for rezoning currently has a Public Facilities (P) land use designation, but a General Plan amendment is proposed with this application to the R-UM land use designation. The proposed R-1-5 (Single Family Residential - 5,000 square foot minimum) zone district will be appropriate to achieve consistency with the surrounding pattern of residential development.

2. The proposed zone district is appropriate of the level of utilities and community service available to the land; and,

This finding can be made, in that the project site is within the Urban Services Line (USL) and is presently served by all public utilities. Adequate capacity exists for each utility to serve the existing and proposed residential development.

3. The character of development in the area where the land is located has changed or is changing to such a degree that the public interest will be better served by a different zone district.

This finding can be made, in that the existing PF (Public Facilities) zone district was established to recognize the existing church use within a residential neighborhood. The surrounding parcels are all residentially zoned and the public interest would be better served through rezoning this vacant area for residential uses. The proposed R-1-5 (Single Family Residential - 5,000 square foot minimum) zone district will be consistent with the existing pattern of residential development.

## Subdivision Findings

1. That the proposed subdivision meets all requirements or conditions of the Subdivision Ordinance and the State Subdivision Map Act.

This finding can be made, in that the project meets all of the technical requirements of the Subdivision Ordinance and is consistent with the County General Plan and the Zoning Ordinance as set forth in the findings below.

2. That the proposed subdivision, its design, and its improvements, are consistent with the General Plan, and the area General Plan or specific plan, if any.

This finding can be made, in that the proposed division of land, its design, and its improvements, will be consistent with the General Plan as amended by this proposal. The project creates four single family residential parcels and a common area parcel and is located in the Urban Medium Density Residential (R-UM) General Plan designation which allows a density of one unit for each 4,000 to 6,000 square feet of net developable parcel area. The proposed project is consistent with the General Plan, in that the development will average a total of 5,995 square feet of net developable parcel area per residential parcel.

The project is consistent with the General Plan in that the full range of urban services is available, including public water and sewer service. All parcels will be accessed by an access roadway (Tanbark Court) driveway to Rodriguez Street, which is proposed to be built to County standards with the exception of a sidewalk on the west side of the court. This roadway provides satisfactory access to the project. The proposed subdivision is similar to the pattern and density of surrounding development, is near commercial shopping facilities and recreational opportunities, and will have adequate and safe vehicular and pedestrian access.

The subdivision, as conditioned, will be consistent with the General Plan regarding infill development, in that the proposed residential development will be consistent with the pattern of the surrounding development, and the design of the proposed structure is consistent with the character of similar developments in the surrounding neighborhood.

3. That the proposed subdivision complies with Zoning Ordinance provisions as to uses of land, lot sizes and dimensions and any other applicable regulations.

This finding can be made, with the rezoning of the subject property, in that the use of the property will be residential in nature, lot sizes meet the minimum dimensional standards for the R-1-5 (Single Family Residential - 5,000 square foot minimum) zone district where the project is located.

The remainder parcel will have a reduced street side yard setback for newly created parcels (from 20 feet to approximately 15 feet) if the 5 foot dedication along Rodriguez Street is granted. This reduction is allowed under County Code section 13.10.323(d)(3)(B) for parcels that have reduced setbacks in response to roadway dedications.



4. That the site of the proposed subdivision is physically suitable for the type and density of development.

This finding can be made, in that no challenging topography affects the building site, technical reports prepared for the property conclude that the site is suitable for residential development, and the proposed parcels are properly configured to allow development in compliance with the required site standards. No environmental resources exist which would be adversely impacted by the proposed development.

5. That the design of the proposed subdivision or type of improvements will not cause substantial environmental damage nor substantially and avoidably injure fish or wildlife or their habitat.

This finding can be made, in that no mapped or observed sensitive habitats or threatened species will be adversely impacted through the development of the site.

6. That the proposed subdivision or type of improvements will not cause serious public health problems.

This finding can be made, in that municipal water and sewer are available to serve all proposed parcels.

7. That the design of the proposed subdivision or type of improvements will not conflict with easements, acquired by the public at large, for access through, or use of property within the proposed subdivision.

This finding can be made, in that no easements are known to encumber the property.

8. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities.

This finding can be made, in that the resulting parcels are oriented to the fullest extent possible in a manner to take advantage of solar opportunities.

9. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076) and any other applicable requirements of this chapter.

**This** finding can be made, in that the structures are sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. The surrounding neighborhood contains single family and multi-family residential development, with a predominance of single family residential developments in the immediate area. The proposed residential development is compatible with the architecture in the neighborhood and the surrounding pattern of development.

## Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses and is not encumbered by physical constraints to development. Construction will comply with prevailing building technology, the Uniform Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the use of the property will be residential in nature, lot sizes meet the minimum dimensional standards for the R-1-5 (Single Family Residential - 5,000 square foot minimum) zone district where the project is located.

The remainder parcel will have a reduced street side yard setback for newly created parcels (from 20 feet to approximately 15 feet) if the 5 foot dedication along Rodriguez Street is granted. This reduction is allowed under County Code section 13.10.323(d)(3)(B) for parcels that have reduced setbacks in response to roadway dedications.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed division of land, its design, and its improvements, are consistent with the General Plan. The project creates four single family residential parcels and a common area parcel and is located in the Urban Medium Density Residential (R-UM) General Plan designation which allows a density of one unit for each 4,000 to 6,000 square feet of net developable parcel area. The proposed project is consistent with the General Plan, in that the development will average a total of 5,995 square feet of net developable parcel area per residential parcel.

The project is consistent with the General Plan in that the full range of urban services is available, including public water and sewer service. All parcels will be accessed by an access roadway (Tanbark Court) driveway to Rodriguez Street, which is proposed to be built to County standards with the exception of a sidewalk on the west side of the court. This roadway provides satisfactory access to the project. The proposed subdivision is similar to the pattern and density of surrounding development, is near commercial shopping facilities and recreational opportunities, and will have adequate and safe vehicular and pedestrian access.

The subdivision, as conditioned, will be consistent with the General Plan regarding infill

development, in that the proposed residential development will be consistent with the pattern of the surrounding development, and the design of the proposed structure is consistent with the character of similar developments in the surrounding neighborhood.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the expected level of additional traffic generated by the proposed project is anticipated to be only 4 peak trips per day (1 peak trip per new dwelling unit), such an increase will not adversely impact existing roads and intersections in the surrounding area.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the project site is located in a mixed neighborhood containing a variety of architectural styles, and the proposed residential development is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the structures are sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. The surrounding neighborhood contains single family and multi-family residential development, with a predominance of single family residential developments in the immediate area. The proposed residential development is compatible with the architecture in the neighborhood and the surrounding pattern of development.

## Lot Line Adjustment Findings

1. The lot line adjustment will not result in a greater number of parcels than originally existed.

This finding can be made, *in* that there were 2 parcels prior to the adjustment and there will be 2 parcels subsequent to the adjustment.

2. The lot line adjustment conforms with the county zoning ordinance (including, without limitation, County Code section 13.10.673), and the county building ordinance (including, without limitation, County Code section 12.01.070).

This finding can be made, *in* that no additional building sites will be created by the transfer as all parcels are currently developed, no parcel has a General Plan designation of 'Agriculture' or 'Agricultural Resource', no parcel is zoned 'TP' or has a designated Timber Resource as shown on the General Plan maps, technical studies are not necessary as all lots are already developed with existing improvements and the proposal complies with the General Plan designation of the parcels per 13.10.673(e).

3. No affected parcel may be reduced or further reduced below the minimum parcel size required by the zoning designation, absent the grant of a variance pursuant to County Code section 13.10.230.

This finding can be made, *in* that none of the parcels included in the proposal will be reduced below the minimum parcel size required by the zone district as a result of this lot line adjustment.

## **Roadway/Roadside Exception Findings**

1. The improvements are not appropriate due to the character of development in the area and the lack of such improvements on surrounding developed property.

This finding can be made, in that the character of the existing and proposed development does not require full improvements to be installed. The proposed access road design varies from the County Design Criteria in terms of width and improvements. All new residential parcels, including the remainder parcel, will be accessed off of a new road (Tanbark Court) that is proposed from the north side of Rodriguez Street to the last driveway of the new parcels, or about 330 feet, terminating at a cul-de-sac. The street will be located within a 51-foot right-of-way and is planned as a 32-foot road section and cul-de-sac with 2 feet of curb and gutter on both sides, a 4-foot planting strip on both sides, and a 4-foot sidewalk on the east side fronting the proposed new homes. This access road requires an exception to County Local Street Standards. The County standard width for local roads within the Urban Service Line is 56 feet including parking, sidewalks, and landscaping.

The applicant proposes a reduction in the access road width to 51 feet without the 4 foot sidewalk on the west side of the proposed cul-de-sac. This request is due to the configuration of the proposed parcels and is considered as appropriate due to the lack of residences on the opposite side of the access roadway.

County Code Section 15.10.050(f)(1) allows for exceptions to roadside improvements when those improvements would not be appropriate due to the character of existing development.

## Conditions of Approval

### Land Division 03-0385

Applicant: Jim Weaver – Pacific Rim Planning Group

Property Owner: Howard Ellis, trustee

Assessor's Parcel Number(s): 026-071-52, 54

Property Address and Location: 1547 Rodriguez Street & 2301 17<sup>th</sup> Avenue

Planning Area: Live Oak

---

#### Exhibits:

- A. Tentative Map prepared by Joe L. Akers, dated 5/24/04; Architectural and floor plans prepared by Windward Company, dated 7/17/03 with revisions through 6/8/04.
- 

All correspondence and maps relating to this land division shall carry the land number noted above.

- I. Prior to exercising any rights granted by this Approval, the owner shall:
- A. Sign, date and return one copy of the Approval to indicate acceptance and agreement with the conditions thereof, and
  - B. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder). The conditions shall also be recorded on the Parcel Map and are applicable to all resulting parcels.
  - C. Pay a Negative Declaration De Minimis fee of \$25 to the Clerk of the Board of the County of Santa Cruz as required by the California Department of Fish and Game mitigation fees program.
- II. A Parcel Map for this land division must be recorded prior to the expiration date of the tentative map and prior to sale, lease or financing of any new lots. The Parcel Map shall be submitted to the County Surveyor (Department of Public Works) for review and approval prior to recordation. No improvements, including, without limitation, grading and vegetation removal, shall be done prior to recording the Parcel Map unless such improvements are allowable on the parcel as a whole (prior to approval of the land division). The Parcel Map shall meet the following requirements:
- A. The Parcel Map shall be in general conformance with the approved Tentative Map

and shall conform to the conditions contained herein. All other State and County laws relating to improvement of the property, or affecting public health and safety shall remain fully applicable.

- B. This land division shall result in no more than four **(4)** single-family residential parcels and one remainder parcel.
- C. The minimum aggregate lot size shall be 5,000 square feet net developable land per unit.
- D. The following items shall be shown on the Parcel Map:
  - 1. Building envelopes, common area and/or building setback lines located according to the approved Tentative Map. The building envelopes for the perimeter of the project shall meet the minimum setbacks for the R-1-5 zone district of 20 for the front yard, **5** and 8 feet for the side yards, and 15 feet for the rear yard. Street side yards shall be a minimum of 20 feet unless otherwise reduced by a street dedication per County Code.
  - 2. Show the net area of each lot to nearest square foot.
  - 3. The owner's certificate shall include:
    - a. An offer of dedication for the road improvements (Tanbark Court). The area dedicated shall be a 51 foot wide right of way with sidewalk on one side and a cul-de-sac terminus as shown on the approved Tentative Map.
- E. The following requirements shall be noted on the Parcel Map as items to be completed prior to obtaining a building permit on lots created by this land division:
  - 1. Lots shall be connected for water service to city of Santa Cruz Water District.
  - 2. Lots shall be connected for sewer service to Santa Cruz County Sanitation District. All regulations and conditions of the Sanitation District shall be met.
  - 3. All future construction on the lots shall conform to the Architectural Floor Plans and Elevations, and the Perspective Drawing as stated or depicted in the approved Exhibit "A" and shall also meet the following additional conditions:
    - a. No changes in the placement of windows that face directly towards existing residential development as shown on the architectural

plans, shall be permitted without review and approval by the Planning Commission.

- b. Notwithstanding the approved preliminary architectural plans, all future development shall comply with the development standards for **the** R-1-5 zone district. Development on each parcel shall not exceed a 30% lot coverage, or a 50% floor area ratio, or other standard as may be established for the zone district. No fencing shall exceed three feet in height within the required front setback.
  - C For any structure proposed to be within 2 feet of the maximum height limit for the zone district, the building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site which clearly depict the total height of the proposed structure.
4. A final Landscape Plan for the entire site specifying the species, their size, and irrigation plans and meet the following criteria and must conform to all water conservation requirement of the City of Santa Cruz water conservation regulations:
- a. Turf Limitation. Turf area shall not exceed 25 percent of the total landscaped area. Turf area shall be of low to moderate water-using varieties, such as tall or dwarf fescue.
  - b. Plant Selection. At least 80 percent of the plant materials selected for non-turf areas (equivalent to **60** percent of the total landscaped area) shall be well-suited to the climate of the region and require minimal water once established (drought tolerant). Native plants **are** encouraged. Up to 20 percent of the plant materials in non-turf areas (equivalent to 15 percent of the total landscaped area), need not be drought tolerant, provided they are grouped together and can be irrigated separately.
  - C Soil Conditioning. In new planting areas, soil shall **be** tilled to a depth of **6** inches and amended with six cubic yards of organic material per 1,000 square feet to promote infiltration and water retention. **After** planting, a minimum of 2 inches of mulch shall be applied to all non-turf areas to retain moisture, reduce evaporation and inhibit weed growth.



- d. Irrigation Management. All required landscaping shall be provided with an adequate, permanent and nearby source of water which shall be applied by an installed irrigation, or where feasible, a drip irrigation system. Irrigation systems shall be designed to avoid runoff, over-spray, low head drainage, or other similar conditions where water flows onto adjacent property, non-irrigated areas, walks, roadways or structures.
  - i. The irrigation plan and ~~an~~ irrigation schedule for the established landscape shall be submitted with the building permit applications. The irrigation plan shall show the location, size and type of components of the imigation system, the point of connection to the public water supply and designation of hydrozones. The irrigation schedule shall designate the timing and frequency of imigation for each station and list the amount of water, in gallons or hundred cubic feet, recommended on a monthly and annual basis.
  - ii. Appropriate imigation equipment, including the use of a separate landscape water meter, pressure regulators, automated controllers, low volume sprinkler heads, drip or bubbler irrigation systems, rain shutoff devices, and other equipment shall be used to maximize the efficiency of water applied to the landscape.
  - iii. Plants having similar water requirements shall be grouped together in distinct hydrozones and shall be irrigated separately.
  - iv. Landscape irrigation should be scheduled between 6:00 p.m. and 11:00 a.m. to reduce evaporative water loss.
- e. All planting shall conform to the landscape plan shown as part of the approved Exhibit "A".
  - i. Tree Protection: A letter from a certified arborist, detailing protection measures for the 41" Cork *Oak* during construction is required.
  - ii. Trees planted in the County right of way shall be approved by the Department of Public Works and shall be installed according to provisions of the County Design Criteria.
  - iii. Notes shall be added to the improvement plans and the building permit plans that indicate the manner in which the

trees shall be protected during construction. Include a letter from a certified arborist verifying that the protection measures recommended in the required arborist letter measures have been incorporated into the construction plans.

5. All future development on the lots shall comply with the requirements of the geotechnical report prepared by Haro, Kasunich & Associates, dated 512104.
6. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district in which the project is located. In the case of Live Oak School District, the applicant/developer is advised that the development may be subject to inclusion in a Mello-Roos Community Facilities District.
7. Prior to any building permit issuance or ground disturbance, a detailed erosion control plan shall be reviewed and approved by the Department of Public Works and the Planning Department. Earthwork between October 15 and April 15 requires a separate winter grading approval from Environmental Planning that may or may not be granted. The erosion control plans shall identify the type of erosion control practices to be used and shall include the following:
  - a. Water Quality: Silt and grease traps shall be installed according to the approved improvement plans.
  - b. An effective sediment barrier placed along the perimeter of the disturbance area and maintenance of the barrier.
  - c. Spoils management that prevents loose material from clearing, excavation, and other activities from entering any drainage channel.
8. Any changes between the approved Tentative Map, including but not limited to the attached exhibits for architectural and landscaping plans, must be submitted for review and approval by the decision-making body. Such proposed changes will be included in a report to the decision making body to consider if they are sufficiently material to warrant consideration at a public hearing noticed in accordance with Section 18.10.223 of the County Code.

III. Prior to recordation of the Parcel Map, the following requirements shall be met:

- A. Submit a letter of certification from the Tax Collector's Office that there are no outstanding tax liabilities affecting the subject parcels.
- B. Meet all requirements of the Santa Cruz County Sanitation District as stated in the District's letter dated 12/1/04 including, without limitation, the following standard conditions:
  - 1. Submit and secure approval of ~~an~~ engineered sewer improvement plan providing sanitary sewer service to each parcel.
  - 2. Pay all necessary bonding, deposits, and connections fees, and furnish a copy of the CC&R's to the district.
- C. A Homeowners Association shall be formed for maintenance of all area under common ownership including sidewalks, driveways, all landscaping, drainage structures, water lines, sewer laterals, fences, silt and grease traps and buildings. CC&R's shall be sent furnished to the Planning Department and shall include the following, which are permit conditions:
  - 1. All landscaping within the public right of way of Tanbark Court and Rodriguez Street shall be permanently maintained by the Homeowners Association.
  - 2. All drainage structures, including detention facilities shall be permanently maintained by the Homeowners Association.
  - 3. Water Quality: Annual inspection of the silt and grease traps shall be performed and reports sent to the Drainage section of the Department of Public Works on an annual basis. Inspections shall be performed prior to October 15 each year. The expense for inspections and report preparation shall be the responsibility of the Homeowners Association.
- D. Engineered improvement plans for all water line extensions required by City of Santa Cruz shall be submitted for the review and approval of the water agency.
- E. All new utilities shall ~~be~~ underground. All facility relocation, upgrades or installations required for utilities service to the project shall be noted on the construction plans. All preliminary engineering for such utility improvements is the responsibility of the owner/applicant. Pad-mounted transformers shall not be located in the front setback or in any area visible from public view unless they are completely screened by walls and/or landscaping (underground vaults may be located in the front setback). Utility equipment such as gas meters and electrical panels shall not be visible from public streets or building entries.
- F. All requirements of the Central Fire District shall be met.

- G. Park dedication in-lieu fees shall be paid for four (4) dwelling units. These fees are currently 1,000per bedroom, but are subject to change.
- H. Child Care Development fees shall be paid for four (4) dwelling units. These fees are currently \$109 per bedroom, but are subject to change.
- I. Transportation improvement fees shall be paid for four (4) dwelling units. These fees are currently \$2,000 per unit, but are subject to change.
- J. Roadside improvement fees shall be paid for four (4) dwelling units. These fees are currently \$2,000 per unit, but are subject to change.
- K. Enter into a Certification and Participation Agreement with the County of Santa Cruz to meet the Affordable Housing Requirements specified by Chapter 17.10 of the County Code. The developer shall pay in-lieu fees for two dwelling units in accordance with the regulations and formulas as specified by Chapter 17.10 of the County Code. These fees are currently \$10,000 per unit, but are subject to change.
- L. Engineered improvement plans are required for this land division, and a subdivision agreement backed by financial securities is necessary. Improvements shall occur with the issuance of building permits for the new parcels and shall comply with the following:
  - 1. All improvements shall be prepared by a registered civil engineer and shall meet the requirements of the County of Santa Cruz Design Criteria. Plans shall also comply with applicable provisions of the Americans With Disabilities Act and/or Title **24** of the State Building Code.
  - 2. Complete drainage details including existing and proposed contours, plan views and centerlineprofiles of all driveway improvements, complete drainage calculations and all volumes of excavated and fill soils.
  - 3. Water Ouality: Details for the installation of required silt and grease traps to filter runoff from the parking area. Submit a silt and grease trap maintenance agreement to the Department of Public Works.
- M. The project geotechnical engineer shall prepare a soil treatment plan that includes a description of the technique used for the mixing and spreading operations, site map indicating soils storage areas and the boundaries of the area to be over-excavated and treated, barriers at the perimeter of the work area and soils poles adequate to contain any material that contains lime or other treatment, and a schedule indicating the number of work days required to complete the treatment phase of the project.. The plan shall be submitted for review and approval by the Planning Department.

N. All future construction within the property shall meet the following conditions:

- A. All work adjacent to or within a County road shall be subject to the provisions of Chapter 9.70 of the County Code, including obtaining an encroachment permit where required. Where feasible, all improvements adjacent to or affecting a County road shall be coordinated with any planned County-sponsored construction on that road. Obtain an Encroachment Permit from the Department of Public Works for any work performed in the public right of way. All work shall be consistent with the Department of Public Works Design Criteria unless otherwise specifically excepted by these conditions of approval.
- B. No land clearing, grading or excavating shall take place between October 15 and April 15 unless the Planning Director approves a separate winter erosion-control plan that may or may not be granted.
- C. No land disturbance shall take place prior to issuance of building permits (except the minimum required to install required improvements, provide access for County required tests or to carry out work required by another of these conditions).
- D. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.
- E. To minimize noise, dust and nuisance impacts of surrounding properties to insignificant levels during construction, the owner/applicant shall or shall have the project contractor, comply with the following measures during all construction work:
  - 1. Limit all construction to the time between 8:00 am and 5:00 pm weekdays unless a temporary exception to this time restriction is approved in advance by County Planning to address an emergency situation; and
  - 2. Each day it does not rain, wet all exposed soil frequently enough to prevent significant amounts of dust from leaving the site.
  - 3. The applicant shall designate a disturbance coordinator and a 24-hour contact number shall be conspicuously posted on the job site. The disturbance coordinator shall record the name, phone number, and nature of all complaints received regarding the construction site. The disturbance

coordinator shall investigate complaints and take remedial action, if necessary, within **24** hours of receipt of the complaint or inquiry.

- F. Construction of improvements shall comply with the requirements of the geotechnical report (Haro, Kasunich & Associates, dated **5/2/04**). The geotechnical engineer shall inspect the completed project and certify in writing that the improvements have been constructed in conformance with the geotechnical report.
- G. All required land division improvements shall be installed and inspected prior to final inspection clearance for any new structure on the new lots.
- V. In the event that future County inspections of the subject property disclose non-compliance with any Conditions of this Approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including Approval revocation.
- VI. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
  - A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
  - B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
    - 1. COUNTY bears its own attorney's fees and costs; and
    - 2. COUNTY defends the action in good faith.
  - C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the

interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.

- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.
- E. Within 30 days of the issuance of this development approval, the Development Approval Holder shall record in the office of the Santa Cruz County Recorder an agreement, which incorporates the provisions of this condition, or this development approval shall become null and void.

## VII. Mitigation Monitoring Program

The mitigation measures listed under this heading have been incorporated in the conditions of approval for this project in order to mitigate or avoid significant effects on the environment. As required by Section 21081.6 of the California Public Resources Code, a monitoring and reporting program for the above mitigation is hereby adopted as a condition of approval for this project. This program is specifically described following each mitigation measure listed below. The purpose of this monitoring is to ensure compliance with the environmental mitigations during project implementation and operation. Failure to comply with the conditions of approval, including the terms of the adopted monitoring program, may result in permit revocation pursuant to section 18.10.462 of the Santa Cruz County Code.

- A. Mitigation Measure: Water Quality (Conditions II.E.7.a, III.C.3, IIIM.4)
  - 1. Monitoring Program: To prevent project drainage discharges from carrying silt, grease, and other contaminants, the applicant shall install silt and grease trap(s) according to the approved plans. The traps shall be maintained according to the following monitoring and maintenance schedule:
    - a. The traps shall be inspected to determine if they need cleaning or repair prior to October 15 each year, at a minimum interval of once per year.
    - b. A brief annual report shall be prepared by the trap inspector at the conclusion of each October inspection and submitted to the Drainage section of the Department of Public Works within 5 days of the inspection. This monitoring report shall specify any repairs that have been done or that are needed to allow the trap to function adequately.
- B. Mitigation Measure: Tree Protection (Condition II.E.4.e.i)
  - 1. Monitoring Program: To ensure that the 41 inch Cork Oak tree is not

compromised by the grading at the drip line on the west side of the trunk, a licensed arborist must evaluate the tree in advance of site disturbance and be onsite during the grading to cut roots and provide any other treatments necessary to ensure preservation of the tree for the long term.

**AMENDMENTS TO THIS LAND DIVISION APPROVAL SHALL BE  
PROCESSED IN ACCORDANCE WITH CHAPTER 18.10 OF THE COUNTY CODE.**

This Tentative Map is approved subject to the above conditions and the attached map, and expires 24 months after the 14-day appeal period. The Parcel Map for this division, including improvement plans if required, should be submitted to the County Surveyor for checking at least 90 days prior to the expiration date and in no event later than **3** weeks prior to the expiration date.

**cc: County Surveyor**

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

\_\_\_\_\_  
Cathy Graves  
Principal Planner

\_\_\_\_\_  
Randall Adams  
Project Planner

\_\_\_\_\_  
Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Planning Commission, **may** appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.





# COUNTY OF SANTA CRUZ

## PLANNING DEPARTMENT

701 OCEAN STREET, 4<sup>TH</sup> FLOOR, SANTA CRUZ, CA 95060  
(831) 454-2580 FAX: (831) 454-2131 Too: (831) 454-2123  
**TOM BURNS, PLANNING DIRECTOR**

### NEGATIVE DECLARATION AND NOTICE OF DETERMINATION

2. - Application Number: **03-0385** Pacific Rim Planning Group, for Howard Ellis  
Proposal to transfer **11,444** square feet from parcel 26-071-54 to parcel 026-071-52 to result in parcel 026-071-52 being **48,215** square feet and parcel 026-071-54 being **54,461** square feet, to rezone a transferred portion from the PF (Public Facility) zone district to the R-1-5 (Single-Family Residential-5,000 square foot minimum) zone district, to amend the General Plan for the same portion to change from the PF designation to the R-UM (Urban Medium Residential) designation, to subdivide the resultant parcel 52 into four new single-family lots with a remainder lot that contains an existing home, to construct four new single-family dwellings, and to construct a new street to access the new homes. The project is located in central Live Oak on the northwest corner of the intersection of Rodriguez Street and 17<sup>th</sup> Avenue, about 1,000 feet south the Highway One.

APN: 026-071-52, & -54  
Zone District: R-1-5

John Schlagheck, Staff Planner

**ACTION:** Negative Declaration with Mitigations  
**REVIEW PERIOD ENDS:** December 22, 2004

This project **will** be considered at a public hearing by the Planning Commission. The time, date and location have **not** been **set**. When scheduling does occur, these items will be included in **all** public hearing notices **for** the project.

#### Findings:

This project, if conditioned to comply with required mitigation measures or conditions shown below, will not have significant effect on the environment. The expected environmental impacts of the project are documented in the Initial Study on this project attached to the original of this notice on file with the Planning Department, County of Santa Cruz, 701 Ocean Street, Santa Cruz, California.

#### Required Mitigation Measures or Conditions:

None  
XX Are Attached

Review Period Ends December 22, 2004

Date Approved By Environmental Coordinator December 28, 2004

  
KEN HART  
Environmental Coordinator  
(831) 454-3127

If this project is approved, complete and file this notice with the Clerk of the Board:

#### NOTICE OF DETERMINATION

The Final Approval of This Project was Granted by \_\_\_\_\_

on \_\_\_\_\_. No EIR was prepared under CEQA.

THE PROJECT WAS DETERMINED TO NOT HAVE SIGNIFICANT EFFECT ON THE ENVIRONMENT

Date completed notice filed with Clerk of the Board \_\_\_\_\_

CALIFORNIA DEPARTMENT OF FISH AND GAME

CERTIFICATE OF FEE EXEMPTION

De minimis Impact Finding

Project **Title/Location** (Santa Cruz County):

**2. - Application Number: 03-0385**

**Pacific Rim Planning Group, for Howard Ellis**

Proposal to transfer 11,444 square feet from parcel 26-071-54 to parcel 026-071-52 to result in parcel 026-071-52 being 48,218 square feet and parcel 026-071-54 being 54,461 square feet, to rezone a transferred portion from the PF (Public Facility) zone district to the R-1-5 (Single-Family Residential-5,000 square foot minimum) zone district, to amend the General Plan for the same portion to change from the PF designation to the R-UM (Urban Medium Residential) designation, to subdivide the resultant parcel 52 into four new single-family lots with a remainder lot that contains an existing home, to construct four new single-family dwellings, and to construct a new street to access the new homes. The project is located in central Live Oak on the northwest corner of the intersection of Rodriguez Street and 17<sup>th</sup> Avenue, about 1,000 feet south the Highway One.

**APN: 026-071-52, & -54**

**John Schlagheck, Staff Planner**

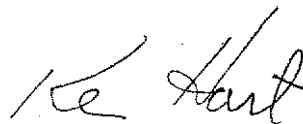
**Zone District: R-1-5**

Findings of Exemption (**attach** as necessary):

An Initial Study has been prepared for this project by the County Planning Department according to the provisions of CEQA. This analysis shows that the project will not create any potential for adverse environmental effects on wildlife resources.

Certification:

*I hereby* certify that the public agency has made the above finding and that the project will not individually or cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the Fish and Game Code.



KEN HART  
Environmental Coordinator for  
Tom Burns, Planning Director  
County of Santa Cruz

Date: 1/4/05

NAME: Pacific Rim Planning for Howard Ellis  
APPLICATION: 03-0385  
A.P.N: 26-071-52, 26-071-54

**NEGATIVE DECLARATION MITIGATIONS**

1. To prevent project drainage discharges from carrying silt, grease, and other contaminants, the applicant shall install silt and grease trap(s) according to the approved plans. The traps shall be maintained according to the following monitoring and maintenance schedule:

A. The traps shall be inspected to determine if they need cleaning or repair prior to October 15 each year, at a minimum interval of once per year;

B. A brief annual report shall be prepared by the trap inspector at the conclusion of each October inspection and submitted to the Drainage Section of the Department of Public Works within 5 days of inspection. This monitoring report shall specify any repairs that have been done or that are needed to allow the trap to function adequately.

2. To ensure that the 41 inch Cork oak tree is not compromised by the grading at the dripline on the west side of the trunk, a licensed arborist must evaluate the tree in advance of any site disturbance and be onsite during the grading to cut roots and provide any other treatments necessary to ensure preservation of the tree for the long term.

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT

Date: November 15, 2004  
Staff Planner: John Schlagheck

ENVIRONMENTAL REVIEW  
INITIAL STUDY

APPLICANT: Pacific Rim Planning Group APN: 026-071-52, 54  
SUPERVISORAL DISTRICT: 1st  
OWNER: Howard Ellis  
APPLICATION NO: 03-0385  
LOCATION: Live Oak

EXISTING SITE CONDITIONS

Parcel Size: 026-071-52 (36,489 square feet), 54 (1.5 acres)  
Existing Land Use: Residential  
Vegetation: grasses, shrubs with some mature trees  
**Slope:** 0 to 15 percent  
Nearby Watercourse: none  
Distance To: N/A  
**Rock/Soil Type:** 177,178

ENVIRONMENTAL RESOURCES AND CONSTRAINTS

Groundwater Supply: None Mapped	Liquefaction: Negligible Potential
Water Supply Watershed: None Mapped	Fault Zone: None Mapped
Groundwater Recharge: None Mapped	Scenic Corridor: None Mapped
Timber or Mineral: None Mapped	Historic: None Mapped
Agricultural Resource: None Mapped	Archaeology: None Mapped
Biologically Sensitive Habitat: None Mapped	Noise Constraint: None Mapped
Fire Hazard: None Mapped	Electric Power Lines: None
Floodplain: None Mapped	Solar Access: Adequate
Erosion: Negligible Potential	Solar Orientation: Level
Landslide: None Mapped	Hazardous Materials: None

SERVICES

Fire Protection: Central Fire District	Drainage <b>District:</b> Zone 5
School District: Live Oak	Project Access: Rodriguez
Sewage Disposal: County Sanitation	Water Supply: City of Santa Cruz

PLANNING POLICIES

Zone District: R-1-5	Special Designation: No
General Plan: R-UM	
Urban Services Line: <u>  X  </u> Inside	<u>      </u> Outside
Coastal Zone: <u>      </u> Inside	<u>  X  </u> Outside

## **PROJECT SUMMARY DESCRIPTION:**

Proposal to transfer 11,444 square feet from parcel 26-071-54 to Parcel 26-071-52 to result in Parcel 26-071-52 being 48,218 square feet and Parcel 26-071-54 being 54,461 square feet, to rezone a transferred portion from the PF (Public Facility) zone district to the R-1-5 (Single-Family Residential-5,000 square foot minimum) zone district, to amend the General Plan for the same portion to change from the PF designation to the R-UM (Urban Medium Residential) designation, to subdivide the resultant parcel 52 into four new single-family lots with a remainder lot that contains an existing home, to construct four new single-family dwellings, and to construct a new street to access the new homes.

## **PROJECT SETTING AND BACKGROUND:**

The property is located in central Live Oak on the northwest corner of the intersection of Rodriguez Street and 17<sup>th</sup> Avenue. The site is about 1,000 feet south the Highway One. The property is improved with a single story 1,155 square foot home with a small garage and shed.

Surrounding land uses include multiple-family housing to the north of the subject property, single-family residential development to the west and south, and a church, with associated parking and ancillary improvements has been developed to the east.

The project area is relatively flat with little vegetation with the exception of a specimen cork oak tree near the center of the property. A variety of fruit trees are also scattered throughout the property

## **DETAILED PROJECT DESCRIPTION:**

To facilitate the project, the applicant requires a lot line adjustment to transfer 11,444 square feet from Parcel 26-071-54 to Parcel 26-071-52. The property to be transferred is an unused portion to the rear of the church that is located on Parcel 54. Portions of the church parking area are to be reconstructed, with the removal of about 10 feet of the west end of the lot.

The rezoning and General Plan amendment components of the proposed project are required so that the total area of the resultant Parcel 52 has the same land use designations (R-1-5 zone district and R-um Genera Plan designation). The resultant church property will continue to be planned and zoned PF.

The proposed land division of the resultant Parcel 52 will create four new single-family residential lots with a remainder lot that will contain the existing home. The new lots will range in size from 5,503 to 6,174 square feet.

All new lots, including the remainder lot, will be accessed off of a new road (Tanbark Court) that is proposed from Rodriguez Street north to the last driveway of the new lots, or about 330 feet. The street will be located within a 51-foot right-of-way and is planned as a 32-foot road section and cul-de-sac with 2 feet of curb and gutter on both sides, a 4-foot planting strip on both sides, and a 4-foot sidewalk on the east side fronting the proposed new homes. A Roadway/Roadside Exception is required for this proposed configuration. The sidewalk will wrap around the remainder lot on Rodriguez Street and run along the north side of Rodriguez Street on the frontage of Parcel 54 to the intersection at 17th Street.

Additional improvements related to the land division include extensive landscaping in the front yards of each new lot and along both sides of the Tanbark Court. Also included is the installation of new storm drainage facilities with detention, sanitary sewer facilities to connect the new homes to the County Sanitation sewer system, and privacy fences in the side and rear yards of the five lots of the project.

Four new single-family dwellings are to be constructed on the new lots. The new homes will be two stories and range in size from 2,535 to 2,728 square feet. The homes will include two car garages and front porches. Proposed building materials include shingle and hard shingle wood siding, hard plank 7" lap siding, white vinyl windows, 25 year composition shingle roofs and a variety of wood and rock trim around windows, doors and on the front facade of the homes.

The existing home on the remainder lot will not be renovated as part of this project, however an attached two-car garage will be built on the west side of the house. The two non-habitable accessory structures will be removed.

## **ENVIRONMENTAL REVIEW CHECKLIST**

### **A. Geology and Soils**

Does the project have the potential to:

1. Expose people or structures to potential adverse effects, including the risk of material loss, injury, or death involving:

- A. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or as identified by other substantial evidence?

X

A Geotechnical Investigation was prepared by Haro, Kasunich and Associated dated May 2003 (Attachment 8). The report concluded that seismic shaking could be managed by constructing with conventional spread footings by following the recommendations in the geotechnical report and by following the recommendations in the County geotechnical report review letter dated September 25, 2003 (Attachment 7).

- B. Seismic ground shaking?

X

See comment A-1-a

- C. Seismic-related ground failure, including liquefaction?

X

Not described as a potential hazard in the geotechnical investigation (referred to in comment A-1-a).

- D. Landslides?

X

Not described as a potential hazard in the geotechnical investigation (referred to in comment A-1-a).

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
---	---	------------------------------------	-----------

2. Subject people or improvements to damage from soil instability as a result of on- or off-site landslide, lateral spreading, to subsidence, liquefaction, or structural collapse? \_\_\_\_\_ X

Not described as a potential hazard in the geotechnical Investigation (referred to in comment A-I-a).

3. Develop land with a slope exceeding 30%? \_\_\_\_\_ X

The proposed development will not be located in areas exceeding 30% slope.

4. Result in soil erosion or the substantial loss of topsoil? \_\_\_\_\_ X

Any ground disturbance has the potential to create erosion. The location of the proposed building site, the recommendations of the geotechnical Investigation (referred to in comment A-I-a), and the erosion control plan (Sheet 10 of Attachment 5), will adequately control erosion in the proposed development.

5. Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code(1994), creating substantial risks to property? \_\_\_\_\_ X

Not described as a potential hazard in the geotechnical Investigation (referred to in comment A-I-a).

6. Place sewage disposal systems in areas dependent upon soils incapable of adequately supporting the use of septic tanks, leach fields, or alternative waste water disposal systems? \_\_\_\_\_ X

The project does not include the use of septic waster disposal systems.

7. Result in coastal cliff erosion? \_\_\_\_\_ X

Project site is not located adjacent to, or otherwise near, a coastal cliff.



Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
---	---	------------------------------------	-----------

**B. Hydrology, Water Supply and Water Quality**

Does the project have the potential to:

- |    |  |       |   |
|----|--|-------|---|
| 1. | Place development within a 100-year flood hazard area? | _____ | X |
|----|--|-------|---|

Project site is not located within a floodway or floodplain.

- |    |   |       |   |
|----|---|-------|---|
| 2. | Place development within the floodway resulting in impedance or redirection of flood flows? | _____ | X |
|----|---|-------|---|

See comment B-1

- |    |                                      |       |   |
|----|--------------------------------------|-------|---|
| 3. | Be inundated by a seiche or tsunami? | _____ | X |
|----|--------------------------------------|-------|---|

NA

- |    |   |       |   |
|----|---|-------|---|
| 4. | Deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit, or a significant contribution to an existing net deficit in available supply, or a significant lowering of the local groundwater table? | _____ | X |
|----|---|-------|---|

The subject property is not in a mapped ground-water resource area. The proposed development will comply with the Uniform Building Code and local ordinances regarding the conservation and use of water for domestic water use and irrigation for landscaping.

- |    |  |       |   |
|----|--|-------|---|
| 5. | Degrade a public or private water supply? (Including the contribution of urban contaminants, nutrient enrichments, or other agricultural chemicals or seawater intrusion). | _____ | X |
|----|--|-------|---|

See comment B-4. Runoff from this project may contain small amounts of chemicals and other household contaminants. No commercial or industrial activities are proposed that would generate a significant amount of contaminants to a public or private water supply. Potential siltation from the proposed project and erosion control mitigation measures are discussed in comment A-4. Silt and grease tapes are required to reduce the impact of the development to less than significant.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
---	---	------------------------------------	-----------

6. Degrade septic system functioning? X

See comment A-6.

7. Alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner which could result in flooding, erosion, or siltation on or off-site? X

The existing drainage pattern will not be significantly altered by the proposed project. All runoff will be collected and discharged into the same drainage area that the project site has drained to prior to the proposed development. The project drainage concept is designed to minimize the amount of water leaving the site, and post development runoff rates will not exceed the pre development runoff rates. The Department of Public Works Storm Water Management Section has reviewed and accepted the proposed drainage plan. No off-site drainage improvements are required.

8. Create or contribute runoff which would exceed the capacity of existing or planned storm water drainage systems, or create additional source(s) of polluted runoff? X

See comment B-7.

9. Contribute to flood levels or erosion in natural water courses by discharges of newly collected runoff? X

See comment B-7.

10. Otherwise substantially degrade water supply or quality? X

Significant Or Potentially Significant Impact	Less than Significant With Mitigation Incorporation	Less than Significant impact	No Impact
---	---	------------------------------------	-----------

### C. Biological Resources

Does the project have the potential to:

1. Have an adverse effect on any species identified as a candidate, sensitive, or special status species, in local or regional plans, policies, or regulations, or by the California Department of Fish and Game, or U.S. Fish and Wildlife Service?

X

No special status biotic resources are known to exist on the subject property.

2. Have an adverse effect on a sensitive biotic community (riparian corridor, wetland, native grassland, special forests, inter-tidal zone, etc.)?

X

No sensitive biotic resources are known to exist on the subject property.

3. Interfere with the movement of any native resident or migratory fish or wildlife species, or with established native resident or migratory wildlife corridors, or impede the use of native or migratory wildlife nursery sites?

X

The project does not propose any activity that will otherwise restrict or interfere with movement of migratory fish or wildlife species.

4. Produce nighttime lighting that will illuminate animal habitats?

X

Exterior lighting on the proposed project will not result in a significant impact to any animal habitat.

5. Make a significant contribution to the reduction of the number of species of plants or animals?

X

As discussed above (see comments C-1 & C-2), the project would not be likely to adversely affect or cause a reduction in any species of wildlife.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
---	---	------------------------------------	-----------

6. Conflict with any local policies or ordinances protecting biological resources (such as the Significant Tree Protection Ordinance, Sensitive Habitat Ordinance, provisions of the Design Review ordinance protecting trees with trunk sizes of 6 inch diameters or greater)?

X

See comments C-1 & C-2. Additionally, 11 trees (9 fruit, 1 pine and 1 fir) are proposed to be removed as a part of this project. All the trees are greater than 6 inches in diameter. Twenty-nine new trees will be planted on site and adjacent to the public right of way at Rodriguez Street. Tree species include flowering plum, Chinese pistache, and strawberry. As requested by the County Redevelopment Agency (RDA), all trees planted adjacent to the public right of way will be 24-inch box in size, and trees displaced by the installation of improvements will be replaced.

A specimen 40" cork oak tree exists on the property. The tree has been incorporated into the proposed site plan and will be retained although there will be some grading adjacent to the dripline. Per comments by the Environmental Planning Section of the Planning Department, the applicant has amended the plan to show protective fencing at the dripline of the tree and noted that the fencing will remain throughout the construction period. Due to the grading near the tree, an arborist is required to be on site to oversee the treatment of any roots that are exposed during this work.

7. Conflict with the provisions of an adopted Habitat Conservation Plan, Biotic Conservation Easement, or other approved local, regional, or state habitat conservation plan?

X

There are no conservation plans or biotic conservation easements in effect or planned in the project vicinity.

#### **D. Energy and Natural Resources**

Does the project have the potential to:

1. Affect or be affected by land designated as "Timber Resources" by the General Plan?

X

The project site does not contain any designated timber resources.

Significant Or Potentially significant Impact	Less than Significant with Mitigation incorporation	Less than Significant Impact	No impact
---	---	------------------------------------	-----------

2. Affect or be affected by lands currently utilized for agriculture, or designated in the General Plan for agricultural use? X

The project site does not contain any designated agricultural resources.

3. Encourage activities that result in the use of large amounts of fuel, water, or energy, or use of these in a wasteful manner? X

The project will not involve the use of large amounts of fuel, water, and energy, or the use of these resources in a wasteful manner.

4. Have a substantial effect on the potential use, extraction, or depletion of a natural resource (i.e., minerals or energy resources)? X

The project will not include or require the substantial extraction or consumption of minerals, energy resources, or other natural resources.

#### **E. Visual Resources and Aesthetics**

Does the project have the potential to:

1. Have an adverse effect on a scenic resource, including visual obstruction of that resource? X

There is no mapped scenic road or public view that will be obstructed or otherwise adversely impacted by the proposed project.

2. Substantially damage scenic resources, within a designated scenic corridor or public view shed area including, but not limited to, trees, rock outcroppings, and historic buildings? X

See comment E-I.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
---	---	------------------------------------	-----------

3. Degrade the existing visual character or quality of the site and its surroundings, including substantial change in topography or ground surface relief features, and/or development on a ridge line?

X

The proposed development will not create a substantial change in topography or otherwise alter any significant natural features.

4. Create a new source of light or glare which would adversely affect day or nighttime views in the area?

X

The amount of light associated with the development will not significantly degrade nighttime views.

5. Destroy, cover, or modify any unique geologic or physical feature?

X

There are no unique geological features on or adjacent to the site that would be destroyed, modified or covered by the project.

### **F. Cultural Resources**

Does the project have the potential to:

1. Cause an adverse change in the significance of a historical resource as defined in CEQA Guidelines 15064.5?

X

No designated historical resources are present on the project site.

2. Cause an adverse change in the significance of an archaeological resource pursuant to CEQA Guidelines 15064.5?

X

No archaeological resources have been identified on the project site.

3. Disturb any human remains, including those interred outside of formal cemeteries?

X

The presence of human remains has not been identified on the project site

significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
---	---	------------------------------------	-----------

4. Directly or indirectly destroy a unique paleontological resource or site? \_\_\_\_\_ X \_\_\_\_\_

No paleontological resources have been identified on the project site

5. Hazards and Hazardous Materials

Does the project have the potential to:

1. Create a significant hazard to the public or the environment as a result of the routine transport, use, or storage of hazardous materials, including gasoline and other motor fuels? \_\_\_\_\_

The proposed project will not involve handling or storage of hazardous materials.

2. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5, as a result, would it create a significant hazard to the public or the environment? \_\_\_\_\_

The project site is not listed as a known hazardous materials site

3. Create a significant hazard for people residing or working in the project area as a result of dangers from fire or explosion using a public or private facility located within one-half mile of the project site? \_\_\_\_\_ X \_\_\_\_\_

The parcel and the project are not located within the Airport Land Use Zones and safety hazards for people residing in the project area are low.

4. Expose people to electromagnetic fields associated with electric power lines? \_\_\_\_\_ X \_\_\_\_\_

There are no high-voltage transmission lines on the project site.

Significant Or Potentially Significant impact	Less than significant with Mitigation Incorporation	Less than Significant Impact	Na Impact
---	---	------------------------------------	-----------

5. Create a potential fire hazard?

X

The project design will incorporate all applicable fire safety code requirements and will Include fire protection devices as required by the local fire agency.

6. Release bio-engineered organisms or chemicals into the air outside of project buildings?

X

The project will not involve processes that could result in the release of bio-engineered organisms or chemical agents.

#### H. Transportation/Traffic

Does the project have the potential to:

1. Cause an increase in traffic that is substantial in relation to the existing traffic load and capacity of the street system (i.e., substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?

X

Traffic from the proposed project will not substantially affect the existing traffic load and capacity of streets and intersections in the project vicinity. Each new home will generate only 1 peak pm trip, and such an increase is not considered significant.

2. Cause an increase in parking demand which cannot be accommodated by existing parking facilities?

X

Adequate parking exists on the project site for the proposed project.

3. Increase hazards to motorists, bicyclists, or pedestrians?

X

The proposed project will require a **Roadway/Roadside** Exception, as the proposed new cul-de-sac street (Tanbark Court) will not meet minimum County standards of 56-foot right of way and sidewalk on both sides of the street. The new street will instead be located within a 51-foot right-of-way and have a 4-foot sidewalk only on the east side of the street fronting the proposed new homes. Because there will be sidewalk to Serve each lot on the east side the lack of a sidewalk on the west side of Tanbark Court will not create potential hazards to motorists, bicyclists, and/or pedestrians.



Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
---	---	------------------------------------	-----------

The submitted plan shows a sidewalk to connect the new sidewalk on Tanbark Court to the intersection of 17<sup>th</sup> Ave and Rodriguez along the north side of Rodriguez. This improvement is not consistent with the approved plan line for Rodriguez that was approved by the Board of Supervisors on 3/15/94. The plan line established that Rodriguez would have sidewalk on the south side of the street but not on the north side. While the Planning Department supports only improvements that are consistent with the approved plan line, the Department of Public Works Road Engineering Section recommends that this portion of sidewalk be required despite the plan line in recognition of the subject project. Alternatively, pedestrian traffic generated by the new homes would use the crosswalk that will be established at the intersection of Rodriguez and Tanbark Court to access the sidewalk on the south side of Rodriguez. In either case conflicts between motorist and pedestrians are not significant.

4. Exceed, either individually (the project alone) or cumulatively (the project combined with other development), a level of service standard established by the county congestion management agency for designated intersections, roads or highways?

\_\_\_\_\_ X \_\_\_\_\_

The proposed project will generate 4 additional peak trips per day (1 peak trip per dwelling unit), which is not anticipated to adversely effect intersections, roads, or highways in the project area.

#### I. Noise

Does the project have the potential to:

1. Generate a permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

\_\_\_\_\_ X \_\_\_\_\_

The proposed project is not anticipated to create any permanent increase in the project vicinity.

2. Expose people to noise levels in excess of standards established in the General Plan, or applicable standards of other agencies?

\_\_\_\_\_ X \_\_\_\_\_

Noise associated with the proposed project is not anticipated to exceed established standards.

Significant Or Potentially Significant Impact	Less than significant with Mitigation Incorporation	Less than Significant Impact	No impact
---	---	------------------------------------	-----------

3. Generate a temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?

X

Noise generated during construction for the proposed project will increase the ambient noise levels for adjoining areas, Given the limited duration of this construction related impact, it is considered to be less than significant.

#### **J. Air Quality**

Does the project have the potential to:  
(Where available, the significance criteria established by the MBUAPCD may be relied upon to make the following determinations).

1. Violate any air quality standard or contribute substantially to an existing or projected air quality violation?

X

The proposed project does not include activities that could violate air quality standards, and no known air quality violations are known to exist in the project area.

2. Conflict with or obstruct implementation of an adopted air quality plan?

X

The proposed project does not include activities that could conflict with or obstruct any adopted air quality plan.

3. Expose sensitive receptors to substantial pollutant concentrations?

X

The proposed project does not include activities that could generate a substantial concentration of pollutants.

4. Create objectionable odors affecting a substantial number of people?

X

The proposed project does not include activities that could emit potentially objectionable odors,

significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
---	---	------------------------------------	-----------

### **K. Public Services and Utilities**

Does the project have the potential to:

1. Result in the need for new or physically altered public facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for any of the public services:

a. Fire protection?

X

While the project represents an incremental contribution to the need for services, this project meets the standards and requirements of the local fire agency. The project will include all fire safety features required by the local fire agency.

b. Police protection?

X

While the project represents an incremental contribution to the need for services, the project will not create a significant demand for new services, nor will it require additional personnel.

c. Schools?

X

While the project represents an incremental contribution to the need for school services, the proposed development will be subject to the payment of school impact fees to help offset the impacts of the increase in services.

d. Parks or other recreational activities?

X

While the project represents an incremental contribution to the need for services, the project will not create a significant demand for new services. Additionally, parks capital improvement fees for the proposed development help offset the impacts of the incremental increase in public parks usage and needs generated by the project.

Significant Or Potentially Significant impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
---	---	------------------------------------	-----------

- e. Other public facilities; including the maintenance of roads? X

While the project represents an incremental contribution to the need for services, the project will not create a significant demand for new services. Additionally, capital improvement fees for the proposed development help offset the impacts of the incremental increase in public facilities usage and needs generated by the project.

2. Result in the need for construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? X

The project will drain to existing drainage facilities, which are adequate to accommodate the volume of runoff generated by the proposed development.

3. Result in the need for construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? X

The project will connect to existing public water and sanitary sewer infrastructure that exists within the public right of way at Rodriguez Street. The supply of water and capacity of the sanitary sewer are adequate to accommodate the relatively light demands of this project. The project will not necessitate expansion of wastewater facilities.

4. Cause a violation of wastewater treatment standards of the Regional Water Quality Control Board? X

The project's wastewater flows will be very light and will not cause a violation of wastewater treatment standards.

5. Create a situation in which water supplies are inadequate to serve the project or provide fire protection? X

The water mains serving the project site provide adequate fire flows and pressure for fire suppression at the site. Additionally, the local fire agency has reviewed and approved the plans, assuring conformity with fire protection standards.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Impact	No Impact
---	---	------------------------------------	-----------

6. Result in inadequate access for fire protection? \_\_\_\_\_ X

The project access has been approved by the local fire agency

7. Make a significant contribution to a cumulative reduction of landfill capacity or ability to properly dispose of refuse? \_\_\_\_\_ X

The small volume of waste generated by the proposed development will not significantly reduce landfill capacity.

8. Result in a breach of federal, state, and local statutes and regulations related to solid waste management? \_\_\_\_\_ X

The project will not include any activity that would result in a breach of statutes or regulations related to solid waste management.

**L. Land Use, Population, and Housing**

Does the project have the potential to:

1. Conflict with any policy of the County adopted for the purpose of avoiding or mitigating an environmental effect? \_\_\_\_\_ X

The proposed project does not conflict with any policies adopted for the purpose of avoiding or mitigating an environmental effect.

2. Conflict with any County Code regulation adopted for the purpose of avoiding or mitigating an environmental effect? \_\_\_\_\_ X

The proposed project does not conflict with any regulations adopted for the purpose of avoiding or mitigating an environmental effect.

3. Physically divide an established community? \_\_\_\_\_ X

The project will not include any element that will physically divide an established community.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation. Incorporation	Less than Significant Impact	No Impact
---	--	------------------------------------	-----------

4. Have a potentially significant growth inducing effect, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?

X

Other than the 11,444 square feet of property to be rezoned and that is the subject of the General Plan amendment, the proposed project is designed at the density and intensity of the development indicated by the General Plan and Zoning designations of the parcel. If the designation of the 11,444 square feet is changed from **PF** to R-UM, the inventory of property available for residential development will increase above what was planned in the most recent update to the General Plan (1994), as PF designated land would not be developed with residential land uses. The relatively small area of the change however corresponds to only an increase of 2.8 lots under the R-UM designation (11,444 sf/4,000 sf minimum lot size for R-UM designation = 2.8 lots). The magnitude of this change is less than significant provided the development of the property is consistent with all County residential development standards.

The proposed project does not involve extensions of utilities such as water, sewer, or new road systems into areas not designated for such services and is, other than as stated above, consistent with the County General Plan. The project will not include any substantial growth that is not consistent with County planning goals.

5. Displace substantial numbers of people, or amount of existing housing, necessitating the construction of replacement housing elsewhere?

X

The proposed project will entail a gain in housing units and will not involve demolition of any existing housing units. The one exiting home on the property has been incorporated into the site plan and will remain substantially unchanged.

### **M. Non-Local Approvals**

Does the project require approval of federal, state, or regional agencies?

Yes                      No      X

### **N. Mandatory Findings of Significance**

1. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant, animal, or natural community, or eliminate important examples of the major periods of California history or prehistory?

Yes                      No        X  

2. Does the project have the potential to achieve short term, to the disadvantage of long term environmental goals? (A short term impact on the environment is one which occurs in a relatively brief, definitive period of time while long term impacts endure well into the future)

Yes                      No      X

3. Does the project have impacts that are individually limited, but cumulatively considerable ("cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, and the effects of reasonably foreseeable future projects which have entered the Environmental Review stage)?

Yes                      No      X

4. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

Yes                      No      X

**TECHNICAL REVIEW CHECKLIST**

	<b><u>REQUIRED</u></b>	<b><u>COMPLETED*</u></b>	<b><u>N/A</u></b>
Agricultural Policy Advisory Commission (APAC) Review	_____	_____	X
Archaeological Review	_____	_____	<u>X</u>
Biotic Report/Assessment	_____	_____	<u>X</u>
Geologic Hazards Assessment (GHA)	_____	_____	X
Geologic Report	_____	_____	X
Geotechnical (Soils) Report	<u>X</u>	<u>9/25/03</u>	
Riparian Pre-Site	_____	_____	<u>X</u>
Septic Lot Check	_____	_____	<u>X</u>
Other:	_____	_____	
	_____	_____	
	_____	_____	

\*Attach summary and recommendation from completed reviews

List *my other* technical reports or ~~information~~ sources **used** in preparation of this initial study:

- Geotechnical Investigation prepared by Haro, Kasunich, & Associates, dated 5/2/03.
- Drainage Calculations prepared by Joe Akers, dated January 2004.



## ENVIRONMENTAL REVIEW ACTION

On the basis of this initial evaluation:

☐ I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.

☒ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described below have been added to the project. A MITIGATED NEGATIVE DECLARATION will be prepared.

☐ I find the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

11/17/04

Date



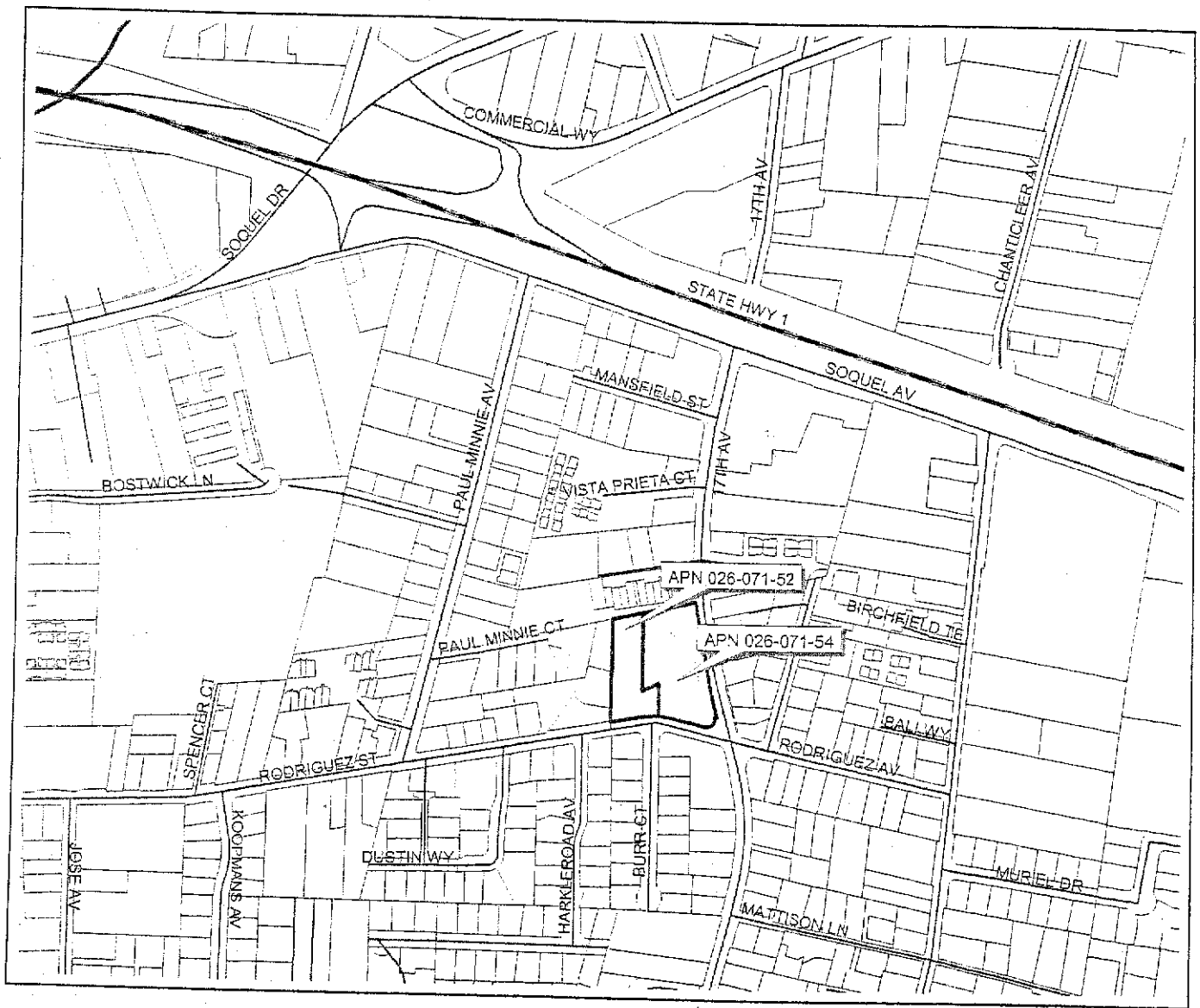
Signature

For: Ken Hart  
Environmental Coordinator

### Attachments:

1. Vicinity Map
2. Assessor's Parcel Map
3. Map of Zoning Districts
4. Map of General Plan Designations
5. Tentative Map & Preliminary Improvement Plans prepared by Joe Akers, dated 9/4/04
6. Omitted
7. County Geotechnical Report Review Letter prepared by Kent Edler, dated 9/25/04
8. Geotechnical Investigation (Conclusions & Recommendations) prepared by Haro, Kasunich, and Associates, dated 5/2/04
9. New Water Service Information Form from City of Santa Cruz Water Department, dated 9/15/03
10. Memo from County Sanitation District, dated 9/29/03
11. Letter from RDA, dated 7/27/04

# Location Map



1000 0 1000 Feet

Environmental Review Initial Study

ATTACHMENT 1  
APPLICATION 03-0385

Map created by Santa Cruz County/  
Planning Department:  
September 2003



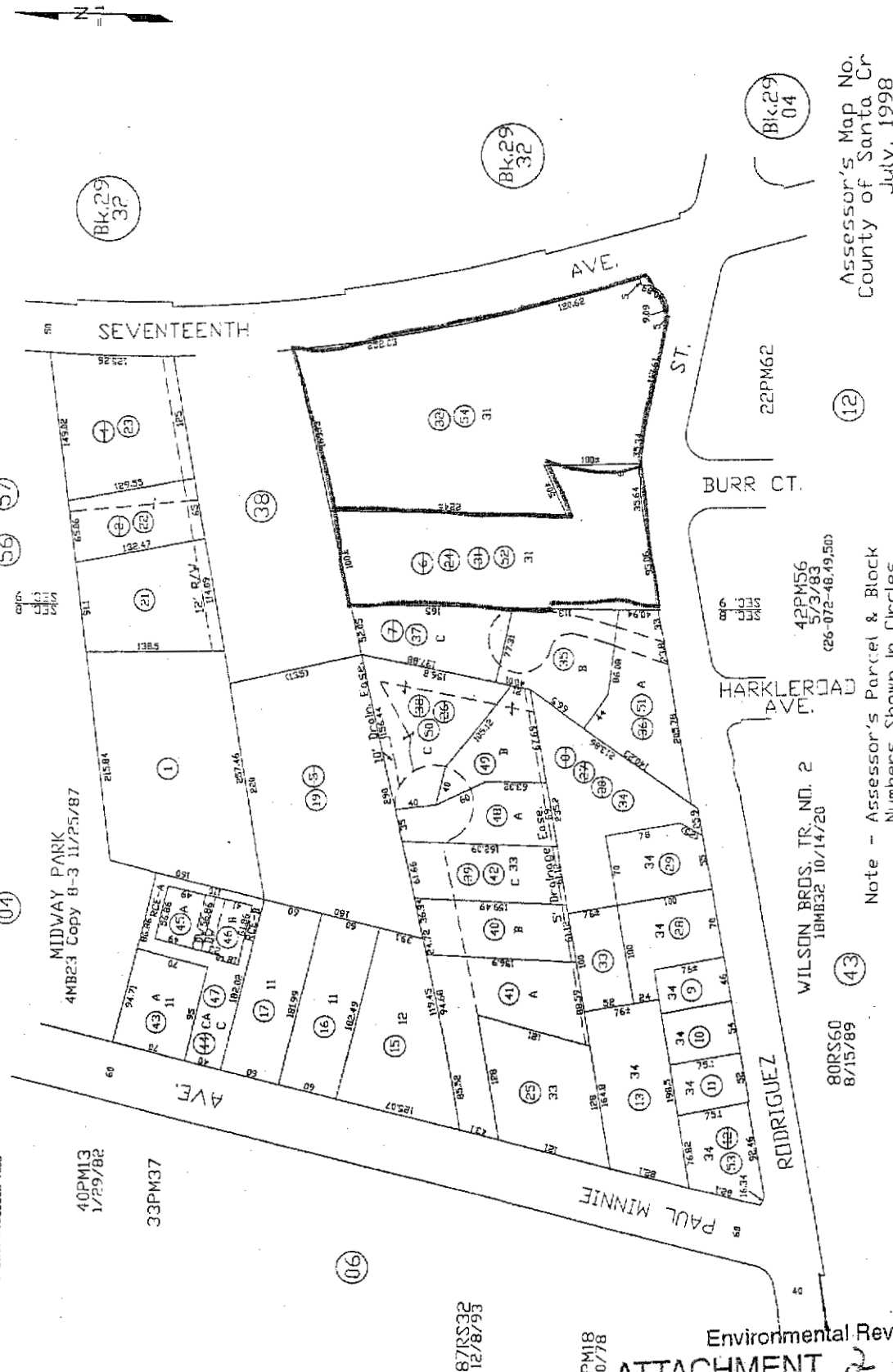
EXHIBIT D

# FOR TAX PURPOSES ONLY

THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.  
© COPYRIGHT SANTA CRITE COUNTY ASSESSOR 1998

POR. SECS. 8 & 9, T.11S., R.1W., M.D.B. & M.

Tax Area Code  
82-040



Assessor's Map No.  
County of Santa Cr  
July, 1998

Note - Assessor's Parcel & Block  
Numbers Shown in Circles.

28PM18  
1/10/78

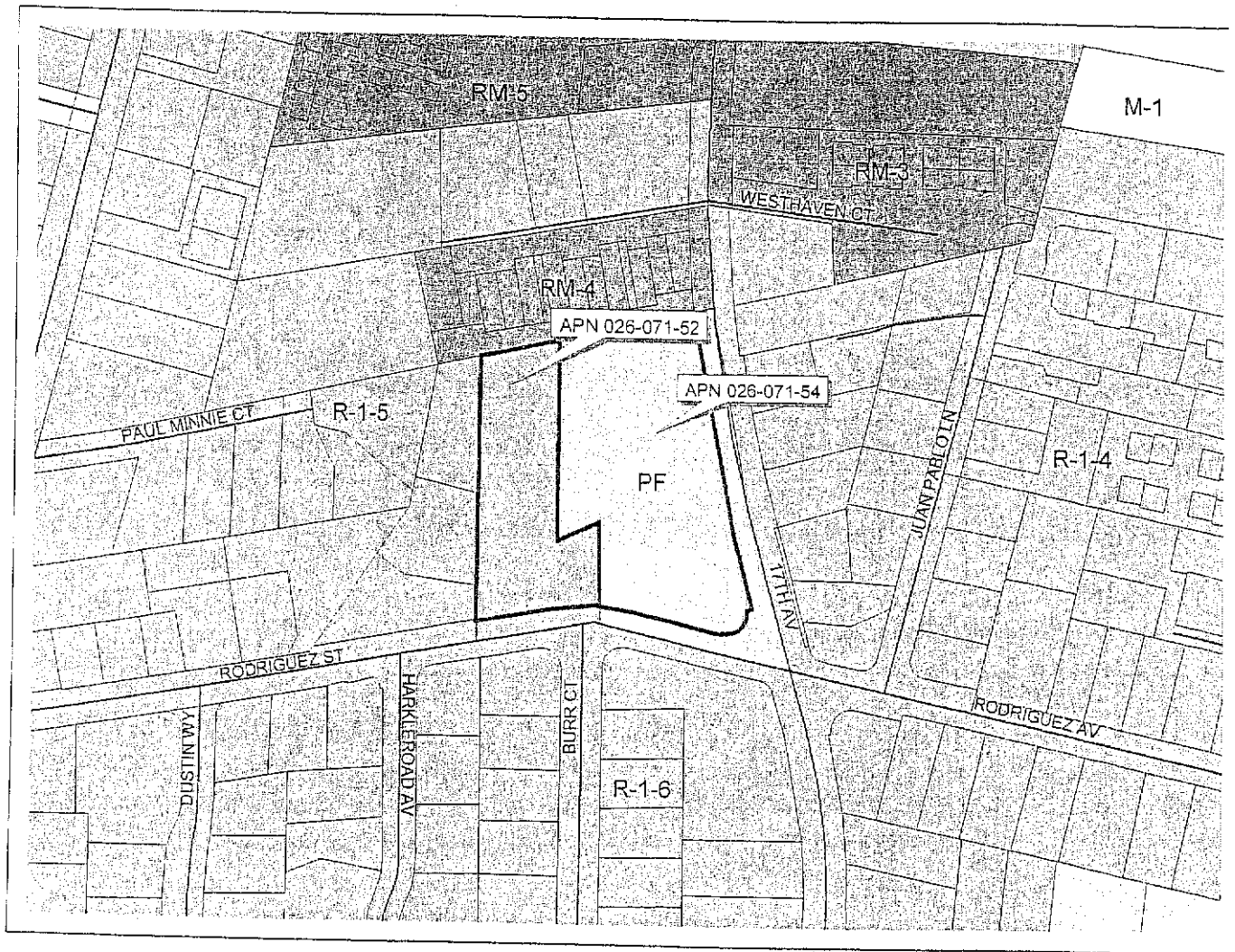
ATTACHMENT  
APPLICATION

Environmental Review Initial Study

03-0385

EXHIBIT D

# Zoning Map



500 500 Feet

Environmental Review Initial Study  
**ATTACHMENT 3**  
**APPLICATION 03-0385**

## Legend

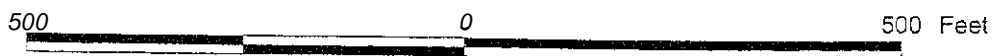
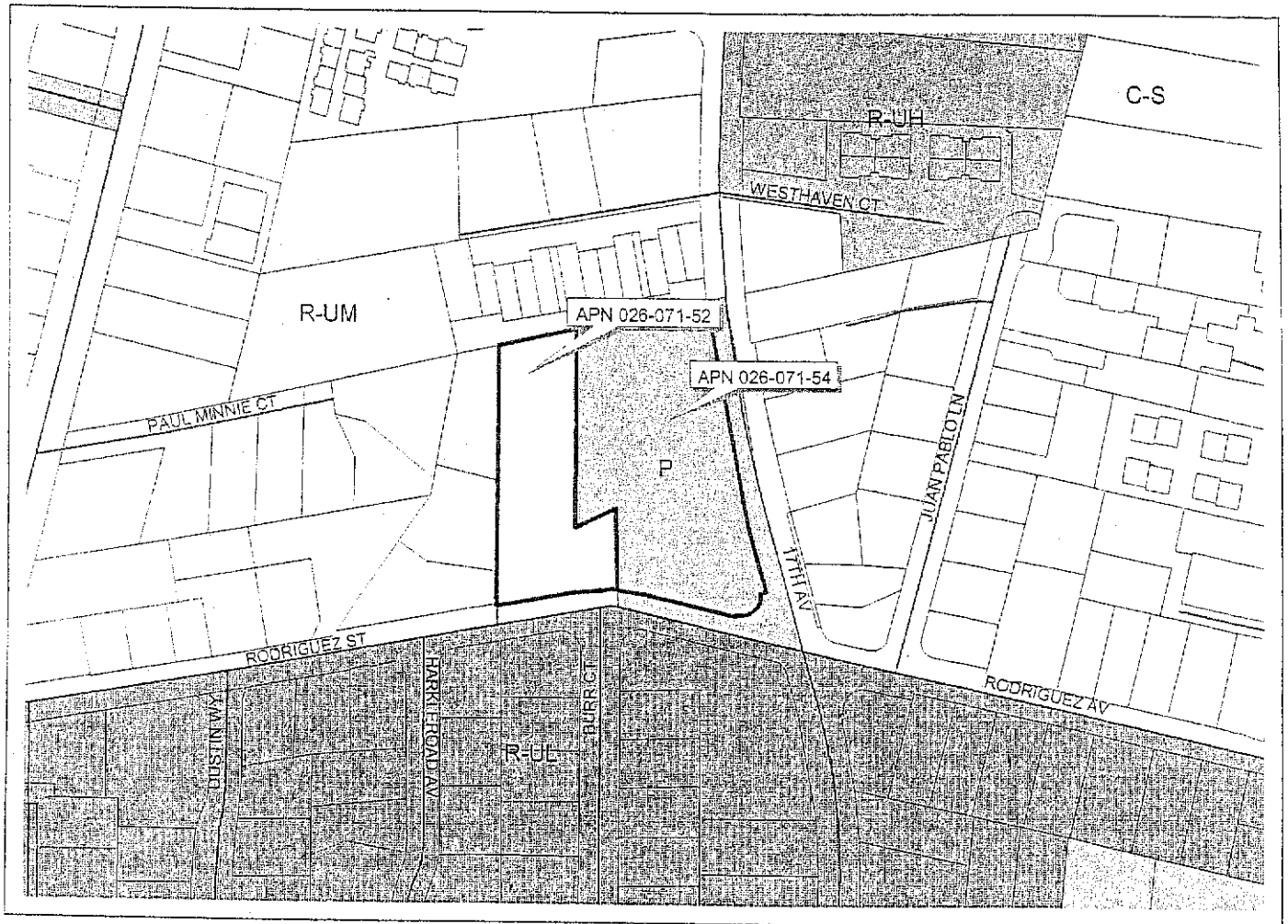
	APN 026-071-52,54
	Parcel boundaries
	Streets
	R-1-X
	RM
	PF
	M-1



Map created by Santa Cruz County  
 Planning Department:  
 September 2003

**EXHIBIT D**

# General Plan Map



## Legend

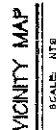
- APN 026-071-52,54
- Parcel boundaries
- Streets
- Perennial Stream
- Service Commercial
- Public Facilities
- Residential - Urban High Density
- Residential - Urban Low Density
- Residential - Urban Medium Density

N  
  
 Environmental Review Initial Study  
**ATTACHMENT 4**  
**APPLICATION 03-0385**

Map created by Santa Cruz County  
 Planning Department  
 September 2003

**EXHIBIT D**

## FOR



2004. 4. 1. 日. 第 401 号

**SHEET INDEX**

SHEET 1	TITLE SHEET
SHEET 2	PHOTO SITE PLAN
SHEET 3	SITE PLAN
SHEET 4	EXISTING TOPO AND LOT LINE ADJ. PLAN
SHEET 5	PLAN AND PROFILE TAMPARK COURT
SHEET 6	PROPOSED GRADING AND DRAINAGE PLAN
SHEET 7	DETENTION SYSTEM PLAN AND PROFILE
SHEET 8	CHURCH PARKING LOT MODIFICATION
SHEET 9	CHURCH SIDEWALK ADDITION
SHEET 10	FLOOD CONTROL PLAN

## BENCHMARK

COUNTY BENCHMARK #428 16 FEET EAST FROM  
CENTERLINE OF 17TH AND 13.5 FEET SOUTH OF  
CENTERLINE MATTISON LANE. SET IN TUX  
SOUTHERLY EDGE OF APPROACH TO MATTISON  
LANE. ELEV. 102

Environmental Review Initial Study  
ATTACHMENT 5, 1 of 10  
APPLICATION 03-0385

EXHIBIT D

DATE	REVISION	BY

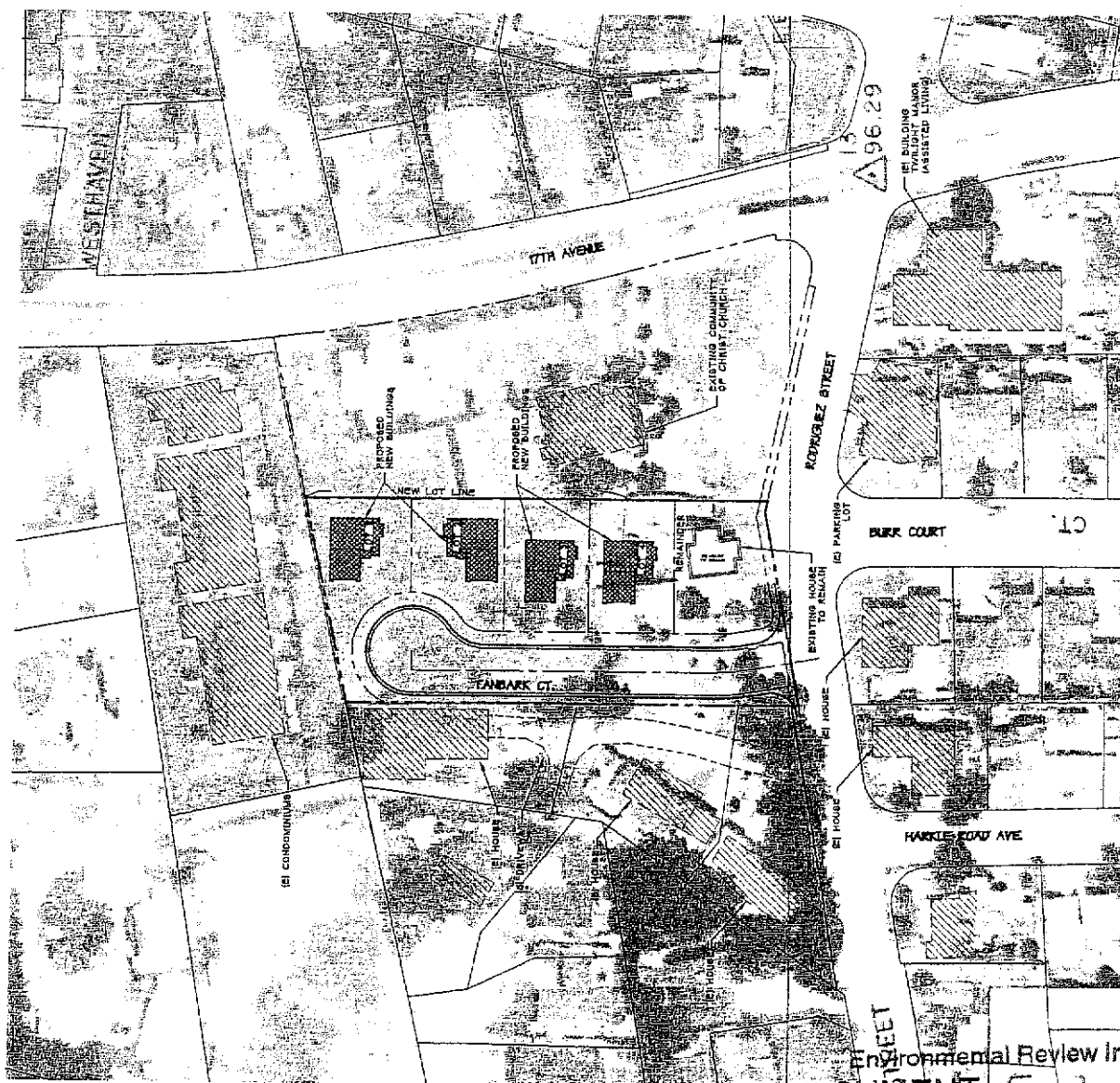


JOE L. AKERS  
CIVIL ENGINEER  
12540  
12540

SITE PLAN  
MINOR LAND DIVISION  
RODRIGUEZ ROAD  
ADJ. 96-071-53 & 54

DATE: 07/04/01  
DRAWN: ALN  
SCALE: 1"=20'

SHEET  
C2 OF C1



**CHURCH PARKING**  
EXISTING  
REMARKS  
NO  
TOTAL 20

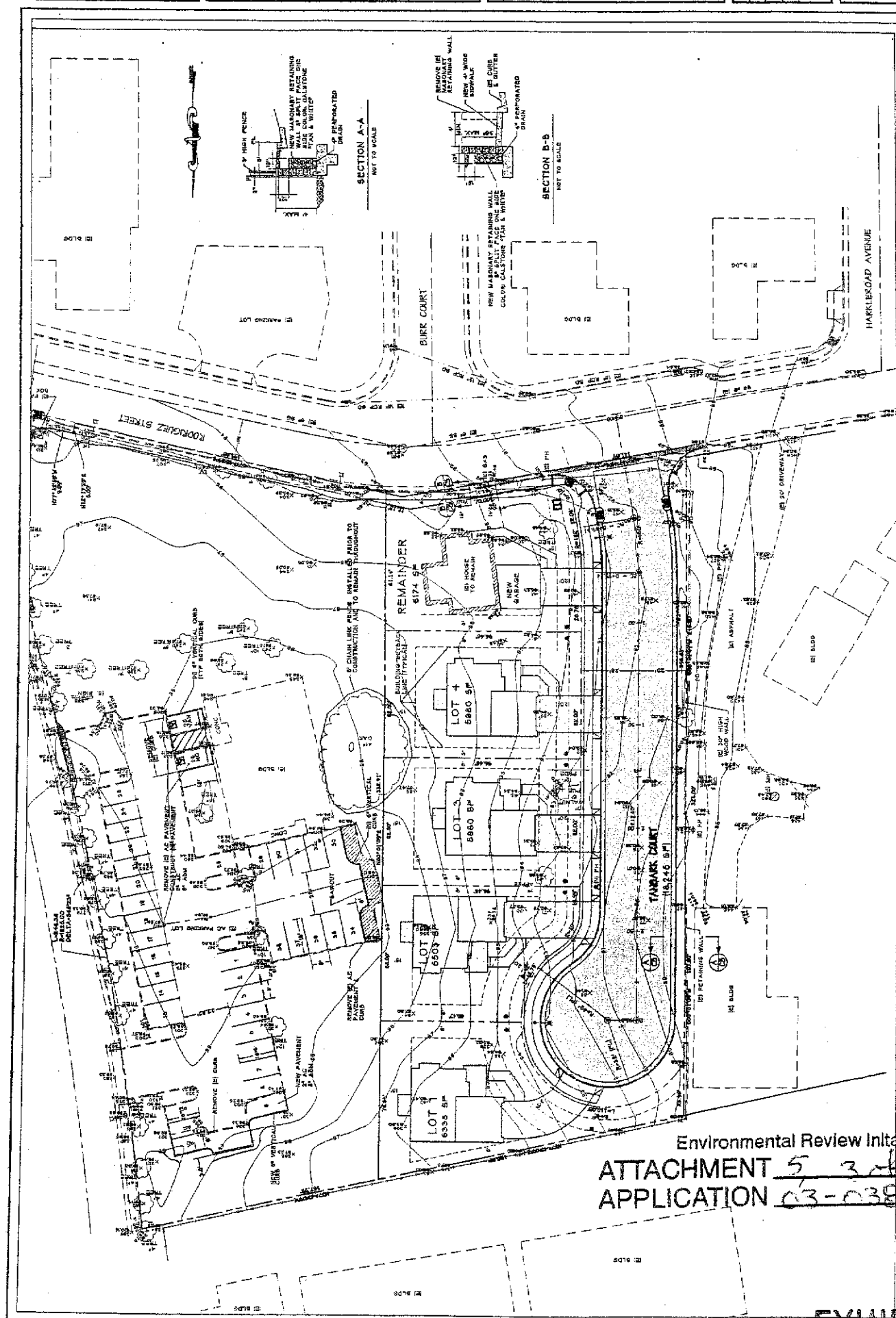
**AREA**

1A AREA: 10,298 sq ft (23,847 sq ft)  
1B AREA: 10,298 sq ft (23,847 sq ft)  
1C AREA: 10,298 sq ft (23,847 sq ft)  
1D AREA: 10,298 sq ft (23,847 sq ft)  
1E AREA: 10,298 sq ft (23,847 sq ft)  
1F AREA: 10,298 sq ft (23,847 sq ft)  
1G AREA: 10,298 sq ft (23,847 sq ft)  
1H AREA: 10,298 sq ft (23,847 sq ft)  
1I AREA: 10,298 sq ft (23,847 sq ft)  
1J AREA: 10,298 sq ft (23,847 sq ft)  
1K AREA: 10,298 sq ft (23,847 sq ft)  
1L AREA: 10,298 sq ft (23,847 sq ft)  
1M AREA: 10,298 sq ft (23,847 sq ft)  
1N AREA: 10,298 sq ft (23,847 sq ft)  
1O AREA: 10,298 sq ft (23,847 sq ft)  
1P AREA: 10,298 sq ft (23,847 sq ft)  
1Q AREA: 10,298 sq ft (23,847 sq ft)  
1R AREA: 10,298 sq ft (23,847 sq ft)  
1S AREA: 10,298 sq ft (23,847 sq ft)  
1T AREA: 10,298 sq ft (23,847 sq ft)  
1U AREA: 10,298 sq ft (23,847 sq ft)  
1V AREA: 10,298 sq ft (23,847 sq ft)  
1W AREA: 10,298 sq ft (23,847 sq ft)  
1X AREA: 10,298 sq ft (23,847 sq ft)  
1Y AREA: 10,298 sq ft (23,847 sq ft)  
1Z AREA: 10,298 sq ft (23,847 sq ft)

LOT DENSITY: 0.2189-0.4096-0.880 AT/AC

SCALE: 1" = 50'

Environmental Review Initial Study  
ATTACHMENT 5, 2 of 10  
APPLICATION 03-0385



Environmental Review Initial Study  
ATTACHMENT 5 3-1-10  
APPLICATION 03-0385

**EXHIBIT**



DATE	REVISION	BY



JOE L. AKERS  
CIVIL ENGINEER

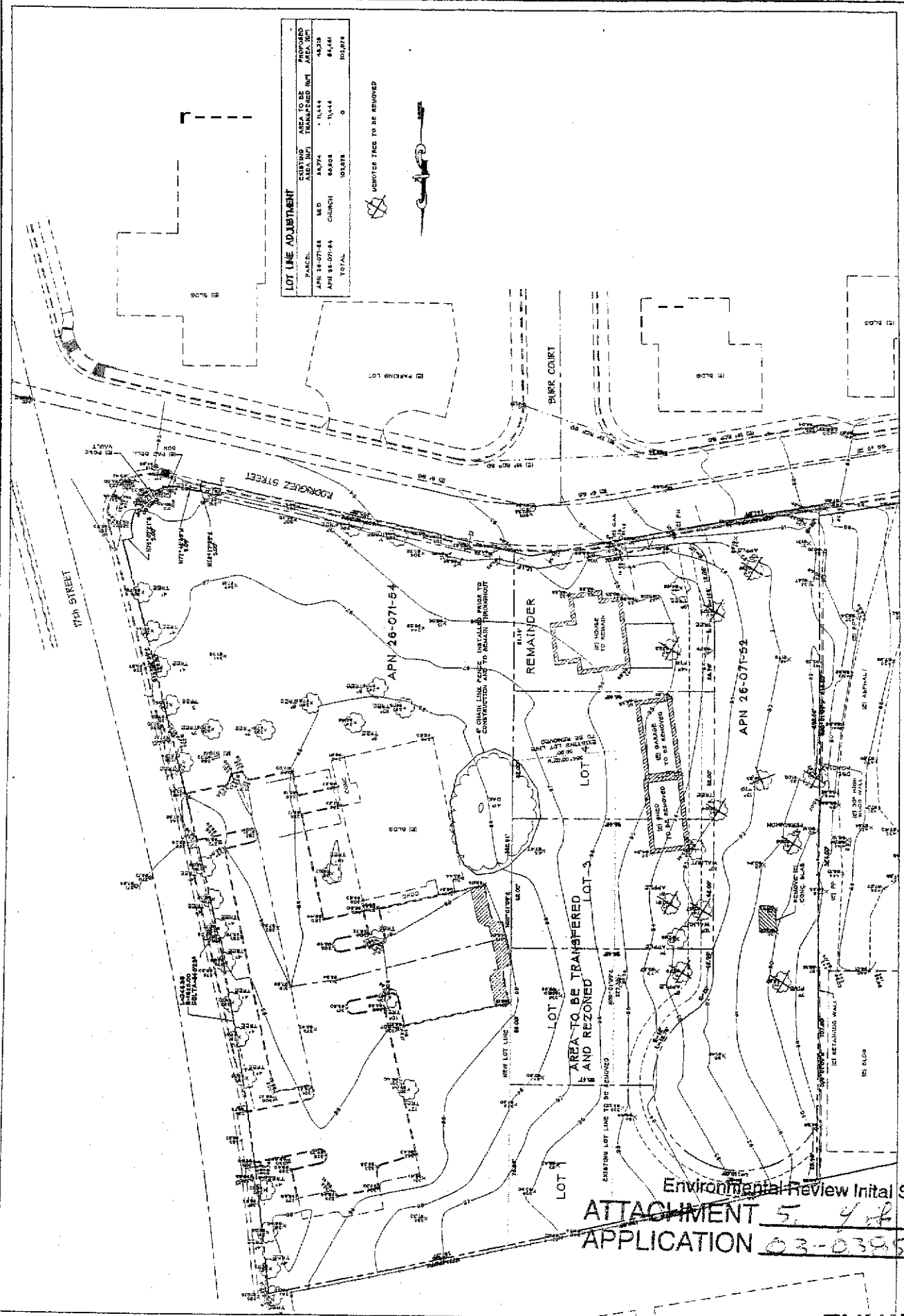
LOT LINE ADJUSTMENT  
EXISTING TOPO - DEMO  
RODRIGUEZ ROAD  
APN 26-071-52 & 54

SCALE: 1"=20'  
DRAWN: ALM  
DATE: 03/01/04  
SHEET: C4 OF C4

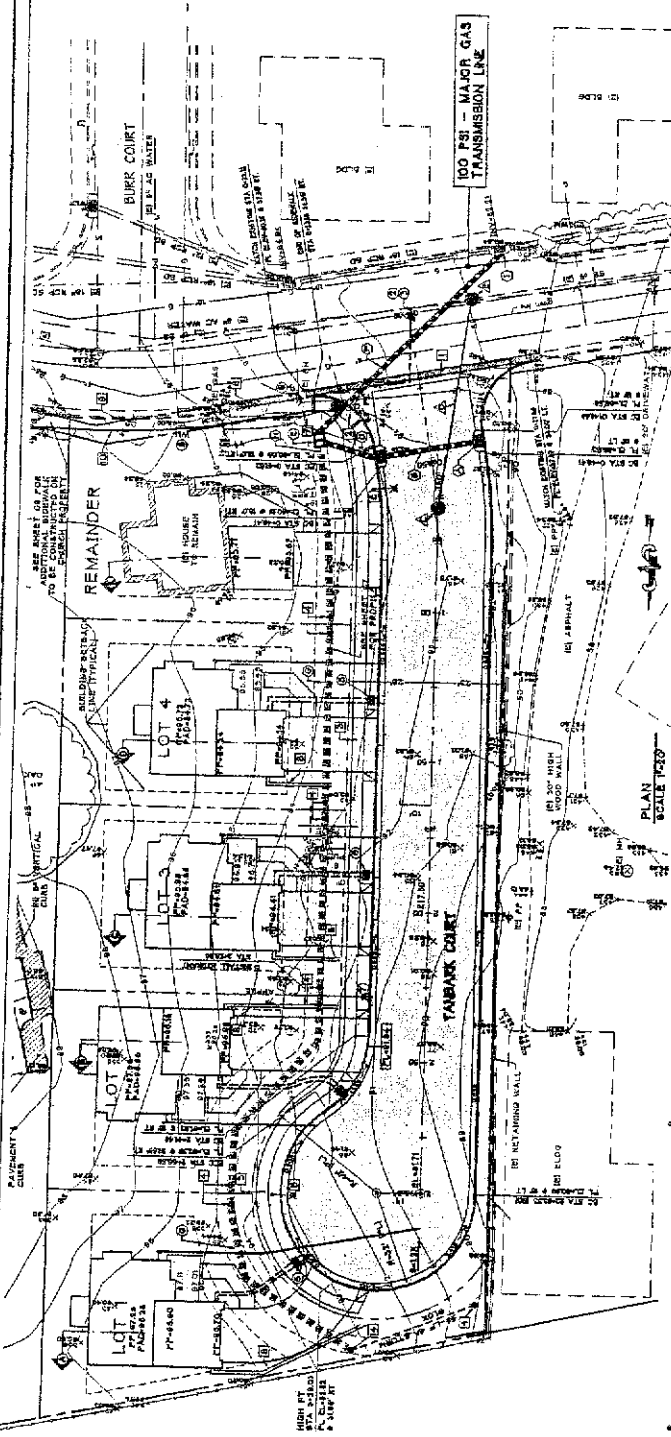
SHEET  
C4 OF C4

LOT LINE ADJUSTMENT			
PANEL	EXISTING AREA (SQ. FT.)	AREA TO BE TRANSFERRED (SQ. FT.)	PROPOSED AREA (SQ. FT.)
APN 26-071-54	34,774	11,444	46,218
APN 26-071-54	68,608	11,444	80,052
TOTAL	103,382	22,888	126,270

UNDEVELOPED TACE TO BE REMOVED



Environmental Review Initial Study  
ATTACHMENT 5  
APPLICATION 03-0385



GENERAL NOTES

- 1) REMOVE 7" LIT DRAINING GIRDERS AND BUTTER
- 2) CONSTRUCT CONCRETE CLOSURE BUTTER PAR SCC PG 87-6
- 3) CONSTRUCT ACCESS RAMP PAR SCC PG 87-15
- 4) CONSTRUCT NEW SIDEWALK
- 5) INSTALL DRAIN INLET - CHURCH YD
- 6) CONSTRUCT UNDER NORMAL PAR
- 7) ACC DRIVE 87-10 USE 1" X 8" X 40 PVC
- 8) EXISTING DRIVEWAY TO BE REMOVED
- 9) CONSTRUCT NEW CURB & GUTTER TYPE "A"
- 10) TRANSITION NEW SIDEWALK AROUND EXISTING
- 11) FIRE HYDRANT PAR SCC PG 87-18
- 12) INSTALL STANDARD PAR & E SERVICE
- 13) REMOVE 18" V HIGH RETAINING WALL - MAX. HEIGHT 4'
- 14) CONSTRUCT NEW RETAINING WALL - 1' MAX. HEIGHT AT

**STORM BEWER NOTES:**

- [illegible]

**SANITARY BEWER NOTES**

- CONSTRUCT BEMPS - ELEV 40 INVENT OUT-8500  
INSTALL 240 L<sup>2</sup> 25 25 10N MIN.  
CONSTRUCT BEMPS - ELEV 41 INVENT OUT-8541  
INSTALL TO L<sup>2</sup> 25 25 10N 2  
CONSTRUCT WEL ON CHIMNEY 45  
101 PLUG-IN NEEDY IN FIELD ELEV 41 INVENT IN-8504  
INSTALL 45 LATERAL TO FLOOR RING  
CONCRETE FOUNDATION AND CAP. MIN. SLOPE 1:2  
TYPICAL

### WATER SYSTEM NOTES:

- [illegible]

**SANTA CRUZ WATER DISTRICT NOTES:**

[illegible]

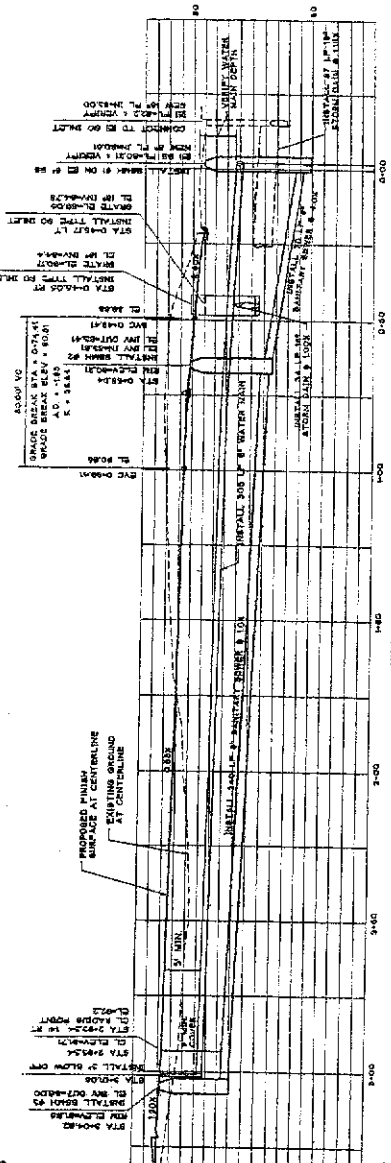
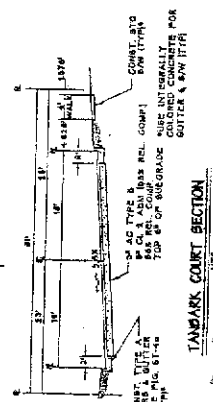
Water System Acceptance

WATER SYSTEM DESIGN ACCEPTED BY CITY OF SANTA CRUZ

EXPIRES ONE YEAR AFTER DATE

DATE OF EXPIRATION

DATE



NTS

Environmental Review Initial Study  
CHMENT 5 5 of 10  
ICATION 03-0385

EXHIBIT D

DATE	REVISION	BY

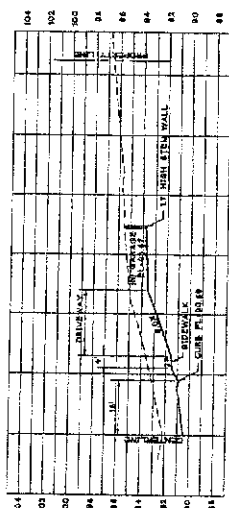
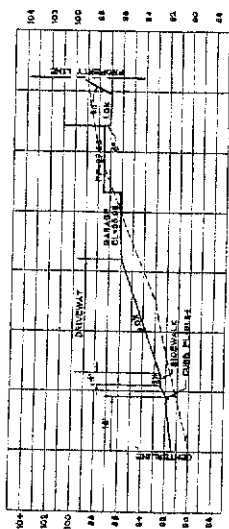
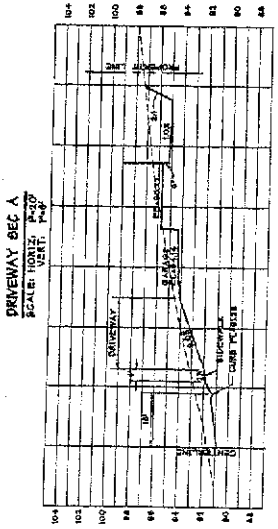
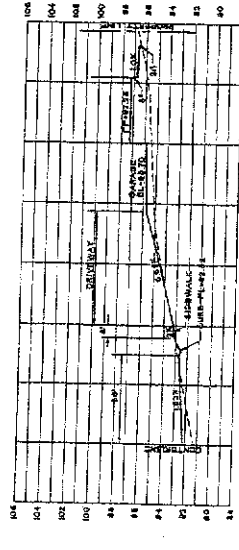


**JOE L. AKERS**  
CIVIL ENGINEER  
12345 - 01 - 0001

**TANBARK COURT**  
GRADING PLAN AND CROSS SECTIONS  
APN 26-071-52

DATE: 08/04/04  
DRAWN: ALK  
SCALE: 1"=20'  
SHEET C6 OF C10

**SHEET**  
C6 OF C10



**DRIVEWAY SEC E**  
SCALE: HORIZ. 1"=20' VERT. 1"=2'

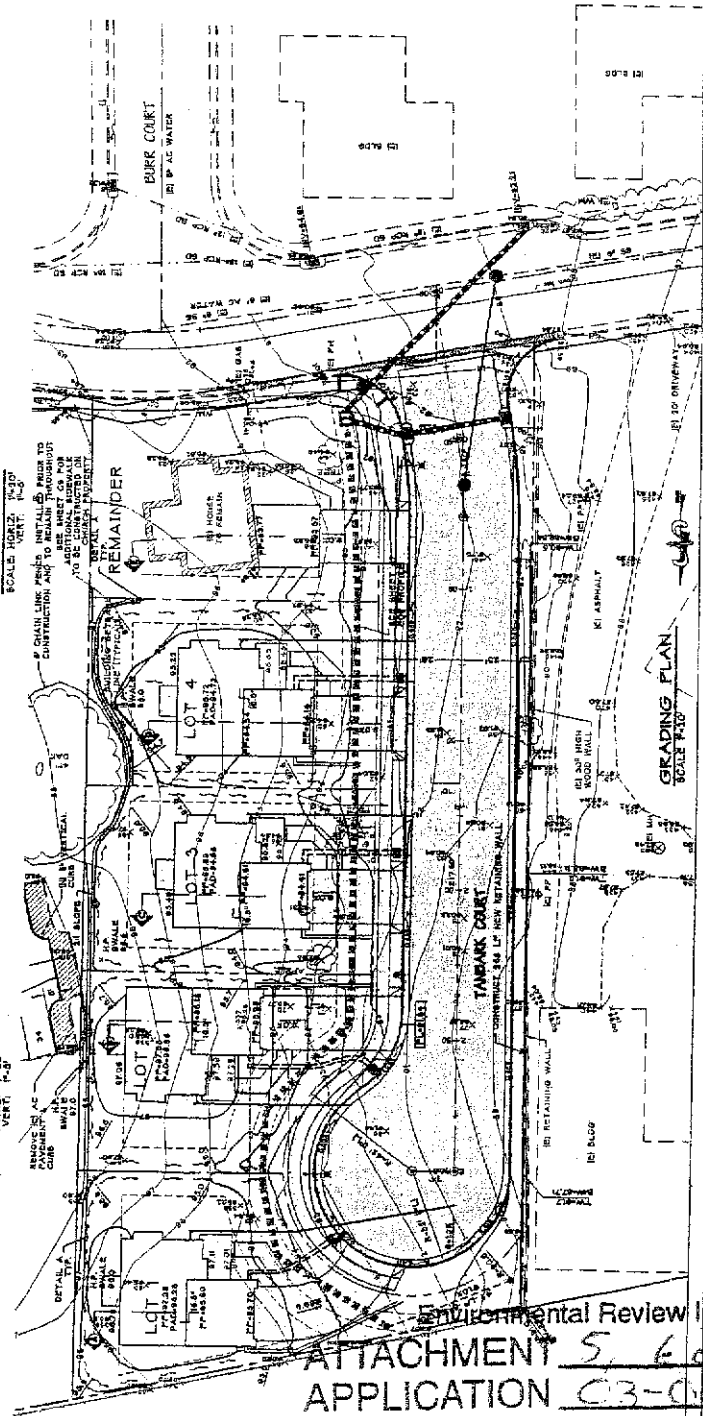
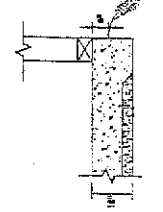
ESTIMATED EARTH QUANTITIES	
CUT	FILL
STREET 185 CY	410 CY
LOTS 780 CY	185 CY
TOTAL 1065 CY	595 CY

CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL EARTH QUANTITIES TO THE SATISFACTION.

**NOTES**  
1. ALL EARTH REPORTS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.  
2. ALL EARTH REPORTS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.  
3. ALL EARTH REPORTS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.



NOTE: ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO THE CITY ENGINEER'S DESIGN AND SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.



Environmental Review Initial Study  
**ATTACHMENT 5**  
APPLICATION C3-0385

DATE	REVISION	BY

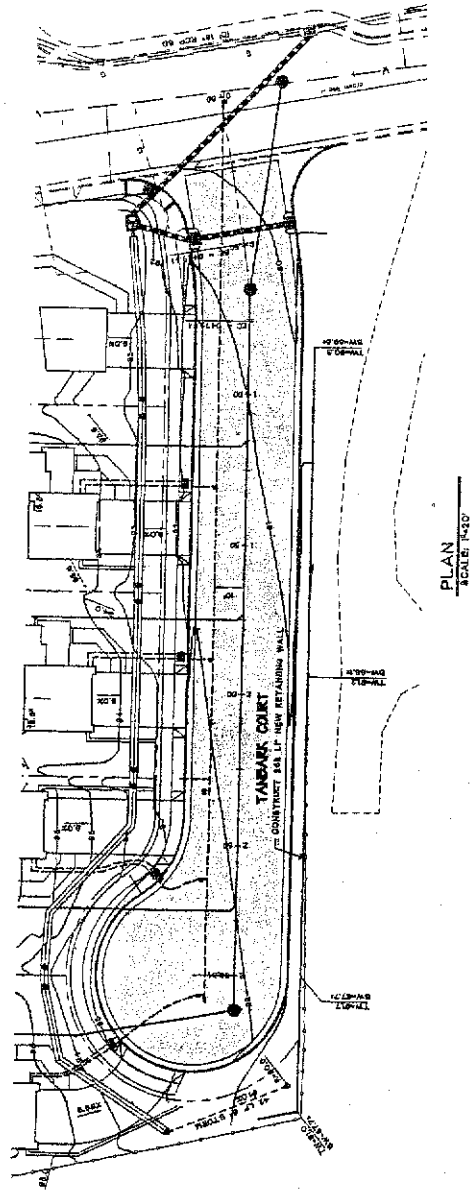


**JOE L. AKERS**  
CIVIL ENGINEER

**DEFENTION SYSTEM PROFILE**  
FOR TANBARK COURT

SHEET  
C7 OF C7

DATE: 09/04/00  
DRAWN: ALN  
SCALE: 1"=20'

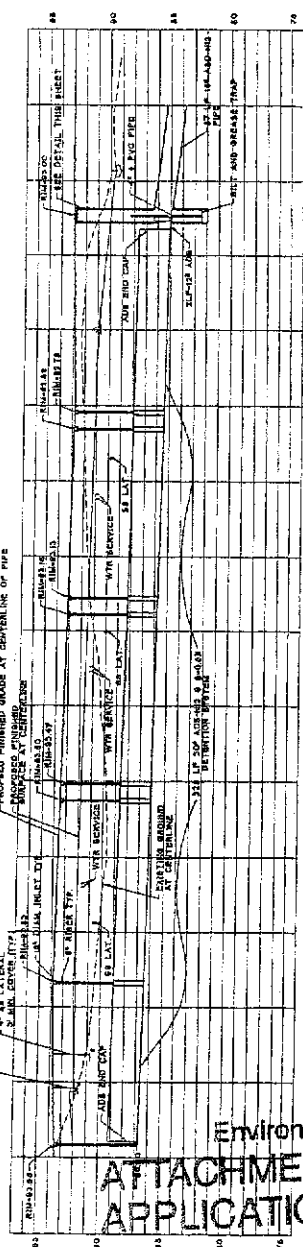


WALL TYPE "A" (BURCHARD)  
RETAINING HEIGHT 28' & 3.61'

- RETAINING WALL NOTES:**
1. RETAINING WALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES.
  2. RETAINING WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICK CONCRETE.
  3. RETAINING WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICK CONCRETE.

**WALL BACKFILL AND DRAINAGE NOTES:**

BACKFILL SHALL BE 12" THICK CONCRETE WITH A MINIMUM OF 12" THICK CONCRETE. BACKFILL SHALL BE 12" THICK CONCRETE WITH A MINIMUM OF 12" THICK CONCRETE. BACKFILL SHALL BE 12" THICK CONCRETE WITH A MINIMUM OF 12" THICK CONCRETE.



**DEFENTION SYSTEM PROFILE**  
SCALE: 1"=20'

MODIFIED US2 CHRISTY BOX  
SILT & GREASE TRAP  
DEFENTION FLOW CONTROL

NOT TO SCALE

Environmental Review Initial Study  
ATTACHMENT 5 7-10  
APPLICATION 03-0385

DATE	REVISION	BY

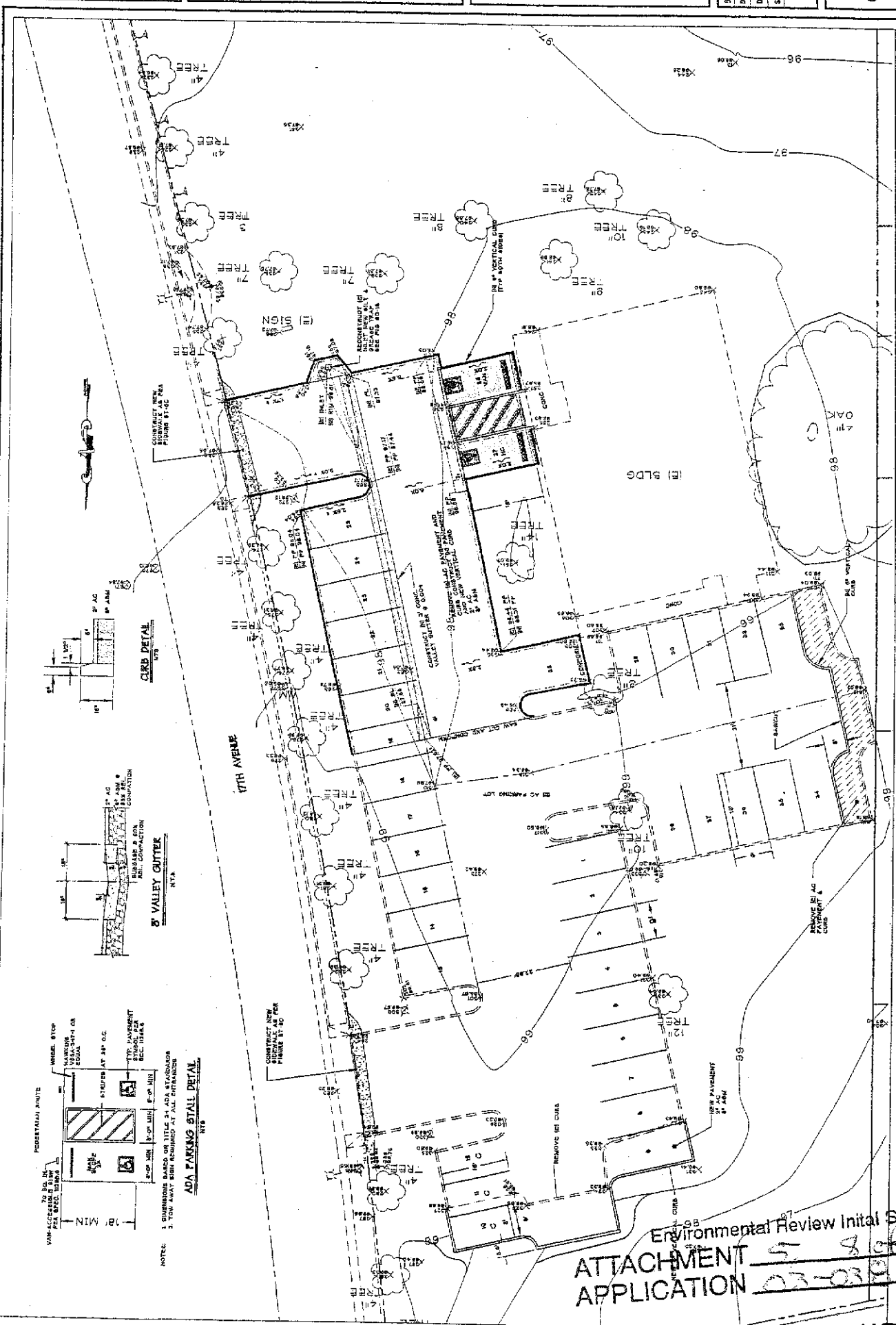


**JOE L. AKERS**  
CIVIL ENGINEER

**PARKING LOT MODIFICATION**  
COMMUNITY OF CHRIST CHURCH  
RODRIGUEZ ROAD  
APR 25-27-2010

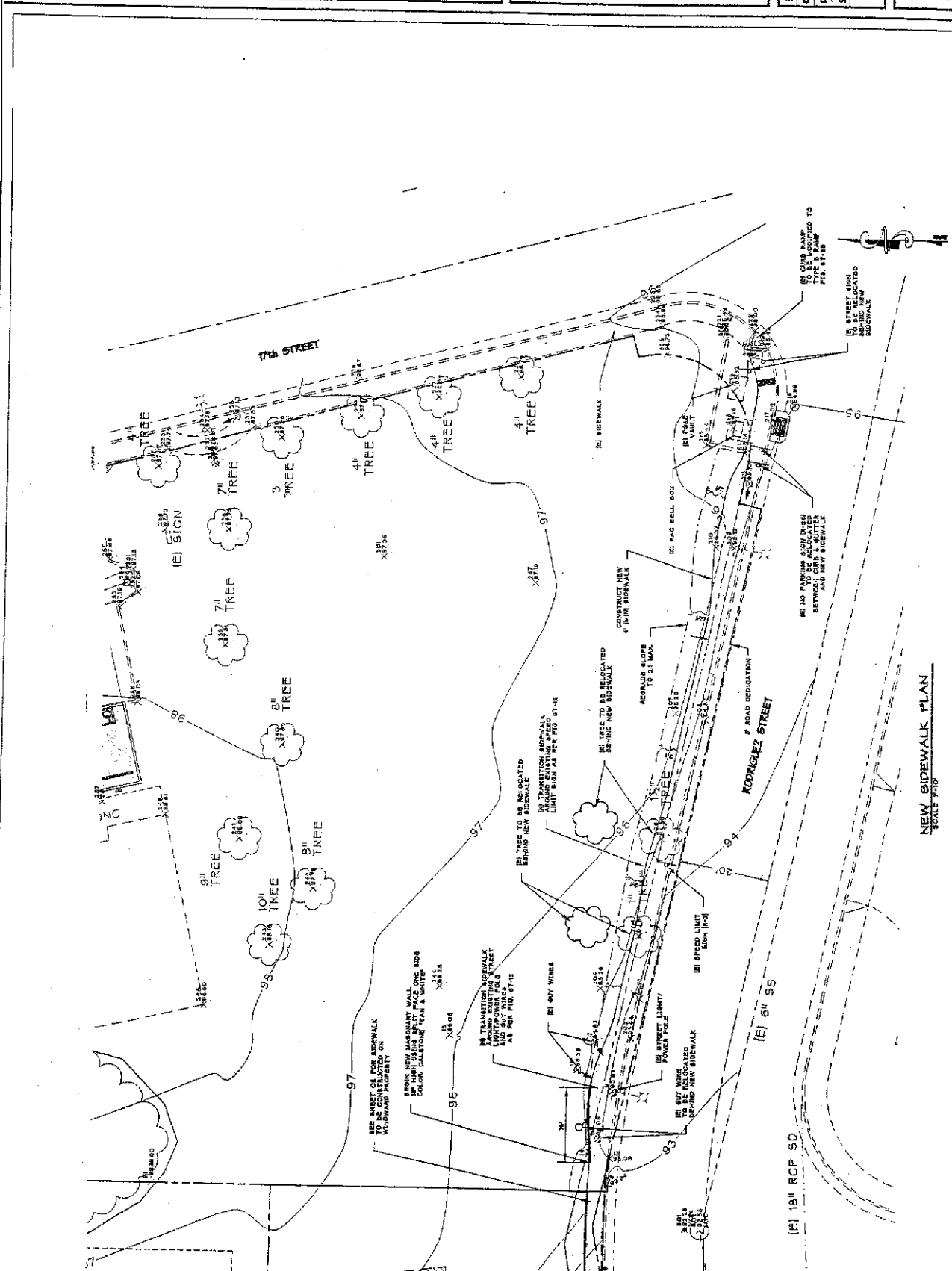
DATE: 08/04/04  
DRAWN: ALJ  
SCALE: 1"=10'

**SHEET**  
C8 OF C11



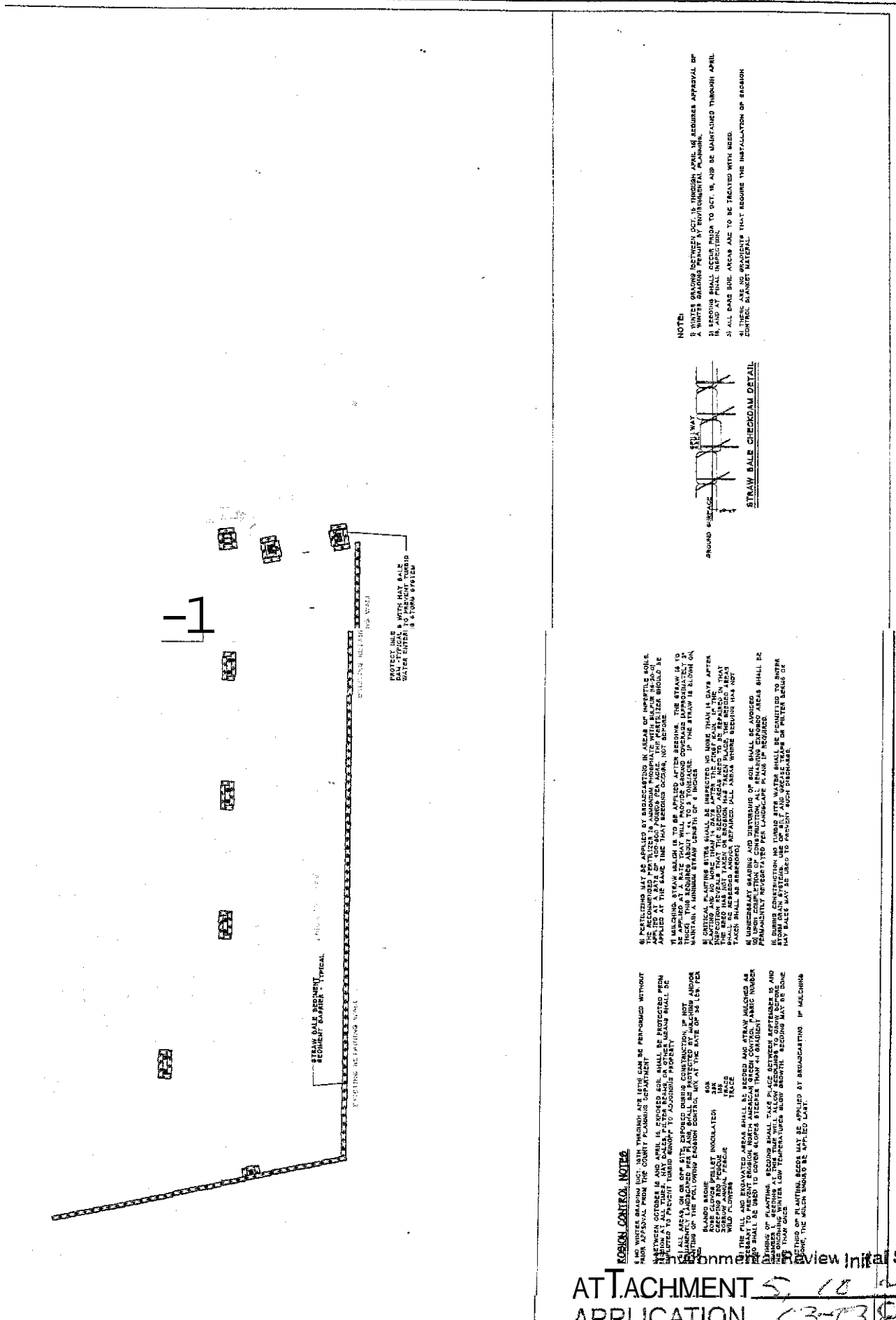
Environmental Review Initial Study  
**ATTACHMENT 5**  
**APPLICATION**  
03-0385

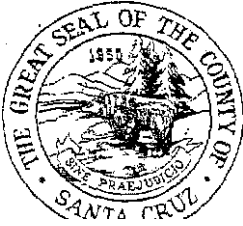
**EXHIBIT D**



Environmental Review Initial Study  
 ATTACHMENT 5 9 of 10  
 APPLICATION 03-0385

EXHIBIT





# County of Santa Cruz

## PLANNING DEPARTMENT

701 OCEAN STREET, 4<sup>TH</sup> FLOOR, SANTA CRUZ, CA 95060-4000  
(831) 454-2580 FAX: (831) 454-2131 TDO: (831) 454-2123  
ALVIN D. JAMES, DIRECTOR

September 25, 2003

Jim Weaver  
Pacific Rim Planning Group  
205 Morrissey Blvd.  
Santa Cruz, CA. 95062

SUBJECT: Review of Geotechnical Investigation by Haro, Kasunich and Associates  
Dated **May 2, 2003**; Report No.: **SC8049**  
APN: **026-071-52, 54**; Application No.: **03-0385**

Dear Applicant:

Thank you for submitting the soil report for the parcel referenced above. The report was reviewed for conformance with County Guidelines for Soils/Geotechnical Reports and also for completeness regarding site-specific hazards and accompanying technical reports (e.g. geologic, hydrologic, etc.). The purpose of this letter is to inform you that the Planning Department has accepted the report and the following recommendations become permit conditions:

1. All report recommendations must be followed
2. An engineered foundation plan is required. This plan must incorporate the design recommendations of the soils engineering report.
3. Final plans shall follow drainage recommendations as detailed in the soils engineering report.
4. Final plans shall reference the approved soils engineering report and state that all development shall conform to the report recommendations,
5. Prior to building permit issuance, the soil engineer must submit a brief building, grading and drainage plan review letter to Environmental Planning stating that the plans and foundation design are in general compliance with the report recommendations. If, upon plan review, the engineer requires revisions or additions, the applicant shall submit to Environmental Planning two copies of revised plans and a final plan review letter stating that the plans, as revised, conform to the report recommendations.
6. The soil engineer must inspect all foundation excavations and a letter of inspection must be submitted to Environmental Planning and your building inspector prior to placement of concrete.

Environmental Review Initial Study  
ATTACHMENT 7 of 3  
APPLICATION 03-0385

64

EXHIBIT D



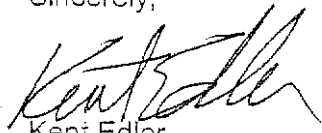
7. For all projects, the soil engineer must submit a final letter report to Environmental Planning and your building inspector regarding compliance with all technical recommendations of the soil report prior to final inspection. For all projects with engineered fills, the soil engineer must submit a final grading report (reference August 1907 County Guidelines for Soils/Geotechnical Reports) to Environmental Planning and your building inspector regarding the compliance with all technical recommendations of the soil report prior to final inspection.

The soil report acceptance is only limited to the technical adequacy of the report. Other issues, like plan-ing. building, septic or sewer approval, etc., may still require resolution.

The Planning Department will check final development plans to verify project consistency with report recommendations and permit conditions prior to building permit issuance. If not already done, please submit two copies of the approved soil report at the time of building permit application for attachment to your building plans.

Please call 454-3168 if we can be of any assistance.

Sincerely,

  
Kent Edler  
Associate Civil Engineer

Cc: John Schiagheck, Project Planner

Environmental Review Initial Study  
ATTACHMENT 7, 2013  
APPLICATION 03-0305

## FINAL SOILS -GRADING REPORTS

Prior to final inspection clearance a final soils report must be prepared and submitted for review for all projects with engineered fills. These reports, at a minimum, must include:

1. Climate Conditions

Indicate the climate conditions during the grading processes and indicate any weather related delays to the operations.

2. Variations of Soil Conditions **and/or** Recommendations

Indicate the accomplished ground preparation including removal of inappropriate soils or organic materials, blending of unsuitable materials with suitable soils, and keying and benching of the site in preparation for the fills.

3. Ground Preparation

The extent of ground preparation and the removal of inappropriate materials, blending of soils, and keying and benching of fills.

4. Optimum **Moisture/Maximum** Density Curves

Indicate in a table the optimum moisture maximum density curves. Append the actual curves at the end of the report

5. Compaction Test Data

The compaction test locations must be shown on same topographic map as the grading plan and the test values must be tabulated with indications of depth of test from the surface of final grade, moisture content of test, relative compaction, failure of tests (i.e. those less than 90% of relative compaction), and re-testing of failed tests.

6. Adequacy of the Site for the Intended Use

The soils engineer must re-confirm her/his determination that the site is safe for the intended use.

Environmental Review Initial Study  
ATTACHMENT 7 3 of 3  
APPLICATION 03-0395

Geotechnical Investigation  
for  
5 Lot Subdivision  
APN 026-071-052 and APN 026-071-054  
17<sup>th</sup> Avenue and Rodriguez Street  
Santa Cruz, California

Prepared for  
MR. BILL JENKINS  
Capitola, California

Prepared By  
HARO, KASUNICH & ASSOCIATES, INC.  
Geotechnical & Coastal Engineers  
Project No. SC8049  
May 2003

Environmental Review Initial Study  
ATTACHMENT 5  
APPLICATION 03-0385

Project No. SC8049  
2 May 2033

MR BILL JENKINS  
c/o Windward Company  
749 37<sup>th</sup> Avenue  
Santa Cruz, California 95062

Subject: Geotechnical Investigation

Reference: 5 Lot Subdivision  
APN 026-007-052  
Rodriguez Street  
Santa Cruz, California

Dear Mr. Jenkins:

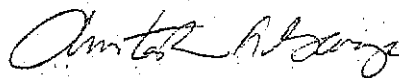
In accordance with your authorization, we have performed a Geotechnical investigation for a proposed 5 lot subdivision located near the intersection of Rodriguez Street and 17<sup>th</sup> Avenue in Santa Cruz, California.

Based on the results of our investigation, the proposed 5 lot residential subdivision at the referenced site is acceptable from a geotechnical standpoint provided the design criteria and recommendations presented in this report are incorporated into the design and construction of the proposed project.

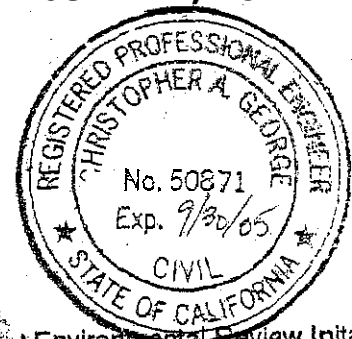
The accompanying report presents our results, conclusions and recommendations. if you have any questions concerning this report, please contact our office.

Very truly yours,

HARO, KASUNICH AND ASSOCIATES, INC.



Christopher A. George  
C E. 50871



CAG/dk

Copies: 4 to Addressee  
1 to Joe Akers

Environmental Review Initial Study  
ATTACHMENT 8, 2 of 15  
APPLICATION 03-0385

## CONCLUSIONS AND RECOMMENDATIONS

Based on the results of our investigation, the construction of single family dwellings and a paved street at the referenced 5 lot subdivision is feasible from a geotechnical standpoint provided the design criteria and recommendations presented in this report are incorporated into the design and construction of the proposed project.

The primary geotechnical considerations at the site are the presence of loose soil from the surface to depths of about 1 to 2 feet, site drainage and potential for strong seismic shaking.

To construct a uniform foundation bearing surface and reduce settlement potential at the site, we recommend the top 8 to 12 inches of soil and all fill on the building pads be redensified as engineered fill. The redensified zone should extend a minimum of 3 feet beyond the building perimeters. Where soft or overmoist soil conditions are observed, additional excavation may be necessary. The bottom of excavations must be observed and tested by the geotechnical engineer or his representative prior to placement and compaction of engineered fill. Provided the building pads are redensified as engineered fill, the proposed posttension slab foundations are appropriate for the residential dwellings.

Project No. SC8049  
2 May 2003

Grading plans for the project should provide sufficient gradients on driveways and around the homes so water is rapidly removed and does not pond near foundations. The storm runoff should be directed to appropriate area drainage channels or storm drain systems.

The proposed structure will most likely experience strong seismic shaking during the design lifetime. All portions of the wood-frame structure should be tied securely to the foundation. The foundation and structures should be designed utilizing current Uniform Building Code (UBC) seismic design standards.

The following recommendations should be used as guidelines for preparing project plans and specifications:

#### Site Grading

1. The geotechnical engineers should be notified at least four (4) working days prior to any site clearing or grading so that the work in the field can be coordinated with the grading contractor, and arrangements for testing and observation can be made. A pre-construction meeting at the site between the owners representative, the grading contractor, and the geotechnical engineer is recommended prior to start of grading. The recommendations of this report are based on the assumption that the geotechnical engineer will perform the required testing and observation during grading and construction.

It is the owner's responsibility to make the necessary arrangements for these required services.

2. Where referenced in this report, Percent Relative Compaction and Optimum Moisture Content shall be based on ASTM Test Designation D1557-94.

3. Areas to be graded should be cleared of all obstructions including loose fill, building foundations, old pavement: concrete flatwork, old septic tanks, trees not designated to remain, or other unsuitable material. All unsuitable material should be removed offsite. Existing depressions or voids created during site clearing should be backfilled with engineered fill.

4. Cleared areas should then be stripped of organic-laden topsoil. Stripping depth should be from 2 to 4 inches. Actual depth of stripping should be determined in the field by the geotechnical engineer. Strippings should be wasted off-site or stockpiled for use in landscaped areas if desired.

5. The top 8 to 12 inches of soil and all fill on the building pads should be redensified as engineered fill. The excavation should extend 3 feet beyond the building perimeter. The depth of the excavation should be determined in the field during construction by the geotechnical engineer or his representative. In drive and parking areas, i s a minimum, the

top 8 inches of soil should be scarified, moisture conditioned and recompacted as engineered fill. Where soft or over moist soil conditions are observed, additional excavation may be necessary. The bottom of excavations must be approved by the geotechnical engineer or his representative prior to placement and compaction of engineered fill.

6. The bottom of the excavations and other areas to receive engineered fill should be scarified to a depth of 8 inches, moisture conditioned, and compacted to a minimum of 90 percent relative compaction. Portions of the site may need to be moisture conditioned to achieve a suitable moisture content for compaction. These areas may then be brought to design grade with engineered fill.

7. Engineered fill should be placed in thin lifts not exceeding 8 inches in loose thickness, moisture conditioned, and compacted to a minimum of 90 percent relative compaction. The upper 6 inches of pavement subgrades should be compacted to a minimum of 95 percent relative compaction. The aggregate base below pavements should likewise be compacted to a minimum of 95 percent relative compaction.

8. If grading is performed during or shortly after the rainy season, the grading contractor may encounter compaction difficulty, such as pumping or bringing free water to the surface, in the upper surface clayey and silty sands. If compaction cannot be achieved



after adjusting the soil moisture content, it may be necessary to over-excavate the subgrade soil and replace it with angular crushed rock to stabilize the subgrade. We estimate that the depth of over-excavation would be approximately 24 inches under these adverse conditions.

9. Fills should be keyed and benched into firm soil or bedrock in areas where existing slope gradients exceed 6:1 (horizontal to vertical). Subdrains will be required in areas where keyways or benches expose potential seepage zones.

10. The fill and undisturbed soil encountered in our borings is acceptable for use as engineered fill with the exception of clay soil, provided it is properly moisture conditioned. Materials used for engineered fill should be free of organic material, and contain no rocks or clods greater than 6 inches in diameter, with no more than 15 percent larger than 4 inches. Engineered fill should have a plasticity index (P.I.) < 15 but have sufficient binder so that footing and utility trenches will not collapse.

11. We estimate shrinkage factors of 15 to 25 percent for the on-site materials when used in engineered fill.

12. Following grading, all exposed slopes should be planted as soon as possible with erosion-resistant vegetation

13. After the earthwork operations have been completed and the geotechnical engineer has finished observation of the work, no further earthwork operations shall be performed except with the approval of and under the observation of the geotechnical engineer.

Post Tension Slab-On-Ground Foundations

14. Post tension slab-on-ground foundations may be used to support the proposed residential dwellings provided the top 8 to 12 inches of soil and all fill on the building pads is redensified as engineered fill. The redensified zone should extend 3 feet beyond the building perimeters. The exterior thickened edge of the slab foundation should be a minimum of 6 inches below adjacent grade.

15. The post-tension slabs should be designed by the project structural engineer based on the following criteria:

- |   |                          |
|---|--------------------------|
| 1. Edge Moisture Variation Distance (center lift) | $e_m = 5.3 \text{ ft}$   |
| 2. Edge Moisture Variation Distance (edge lift)   | $e_m = 2.6 \text{ ft}$   |
| 3. Estimated Differential Swell (center lift)     | $Y_m = 1.36 \text{ in}$  |
| 4. Estimated Differential Swell (edge lift)       | $Y_m = 0.19 \text{ in}$  |
| 5. Allowable Soil Bearing Pressure                | $Q_a = 1750 \text{ psf}$ |
| 6. Plasticity Index                               | $PI = 18$                |

7. Maximum Differential Settlement

$$\delta = 0.50\text{in}$$

The procedure and soil information used to determine the criteria above is presented in Appendix A of this report (see Figure 11).

13. Lateral load resistance for structures supported on post-tension slabs may be developed in friction between the foundation and slab bottom and the supporting subgrade. A friction coefficient of 0.30 is considered applicable.

17. The exterior thickened edge trenches should be kept moist and thoroughly cleaned of all slough or loose materials prior to pouring concrete. In addition, all footings located adjacent to other footings or utility trenches should have their bearing surfaces founded below an imaginary 1½ :1 plane projected upward from the bottom edge of the adjacent footings or utility trenches.

1a. In areas where floor wetness would be undesirable, a blanket of 4 inches of free-draining gravel should be placed beneath the floor slab to act as a capillary break. In order to minimize vapor transmission, an impermeable membrane (minimum 10 mil thickness) should be placed over the gravel. Where the membrane is cut to place utility pipes, the membrane should be resealed with waterproof sealing tape. The membrane should be covered with 2 inches of sand or rounded gravel to protect it during construction.

The sand or gravel should be lightly moistened just prior to placing the concrete to aid in curing the concrete. If non-rib post tension mat slab foundations are designed for the residences, the free draining gravel may be omitted.

Seismic Design Criteria (UBC)

19. The 1957 UBC provides updated guidelines for seismic design of structures. Based on these guidelines, our Geotechnical Investigation indicates the site is underlain by soil type Sd. A review of the Active Fault Near-Source Zones published by the California Department of Conservation Division of Mines and Geology indicates the closest active faults (Type A) are the San Andreas Fault and the San Gregorio Fault, located 14.8 km and 20.0 km from the project site, respectively. The closest potentially active faults (Type B) in the site vicinity include the Zayante-Vergeles Fault and the Monterey Bay/Tularcitos Fault, located 9.7 km and 14.0 km from the project site, respectively.

20. Exterior concrete slabs-on-grade subgrade soil should be proof rolled to provide a smooth, firm surface for slab support. Reinforcing should be provided in accordance with the anticipated use and loading of the slab. The reinforcement should not be tied to the building foundations. These exterior slabs can be expected to suffer some cracking and movement. However, thickened exterior edges, a well-prepared subgrade including pre-moistening prior to pouring concrete, adequately spaced expansion joints, and good workmanship should minimize cracking and movement.

**Retaining Walls**

21. If retaining walls are designed for the site, conventional spread footings may be used for the wall. For fully drained walls up to 6 feet high, the following design criteria should be used:

- A. Active earth pressure for walls allowed to yield (up to  $\frac{1}{2}$  percent of wall height) is that exerted by an equivalent fluid weight of 40 pcf for a level backslope and 55 pcf for a 2:1 backslope.
- a. Where walls are not allowed to yield (restrained condition), *the* walls should be designed to resist a uniformly distributed load (rectangular distribution) of  $28H$  psf per foot for a level backslope and  $3SH$  psf per foot for a 2:1 backslope, where  $H$  is the total height of the wall.
- C. For seismic design, a resultant seismic force =  $12H^2$  acting at a point  $0.6H$  up from the base of the wall (where  $E$  is the height of the wall) should be used.
- D. A passive pressure equivalent to a fluid weight of 300 pcf may be used to resist active pressures and seismic forces. The top 1 foot of soil should be neglected in when calculating passive pressure.
- E. Use a coefficient of friction of 0.30 between the base of the foundation and soil.
- F. In addition, the walls must be designed for any adjacent live or dead loads which will exert a force on the wall (Compaction equipment, structures or traffic).
- G. Retaining walls which act as interior building walls should be waterproofed.

- E. The above lateral pressures are provided assuming the walls are fully drained to prevent development of hydrostatic pressure behind the walls. Drainage materials behind the wall should consist of Class 1, Type A permeable material (Caltrans Specification 68-1.025) or an approved equivalent. The drainage material should be at least 12 inches thick. The drains should extend from the base of the walls to within 12 inches of the top of the backfill. The top 12 inches of backfill behind the wall should be relatively impermeable native soil compacted in place. A perforated pipe should be placed (holes down) about 4 inches above the bottom of the wall and be tied to a suitable drain outlet.
- I. Wall backfill should be compacted to a minimum of 90 percent relative compaction. The backfill material should be approved by the geotechnical engineer.

### Pavement Design

22. For pavement design, we recommend an R-Value = 5 be used (see Figure 9 in Appendix A). For designed pavement sections to perform to their greatest efficiency, it is important that the following items be considered:

- A. Properly moisture condition the subgrade and compact it to a minimum relative compaction of 93 to 95 percent at a moisture content of 1 to 3 percent over the optimum moisture content.

- B. Provide sufficient gradient to prevent ponding of water.
- C. Use only quality materials of the type and thickness (minimum) specified. All base rock, unless otherwise noted, must meet Cal-Trans Standard Specifications for Class 2 Aggregate, and be angular in shape.
- D. Compact the base rock uniformly to a minimum of 95 percent relative compaction.
- E. Place the asphaltic concrete only during periods of fair weather when the free air temperature is within a prescribed limit.
- F. Provide a routine maintenance program.

#### Utility Trenches

23. Unless concrete bedding is required around utility pipes, bedding should consist of free-draining sand. The bedding should extend from the bottom of the trench to 1 foot above the pipe. Sand bedding may be jetted into place and should be compacted to County of Santa Cruz Standard Specifications or a minimum of 90 percent relative compaction. Backfill may then be placed in lifts over the bedding. Mechanical compaction may be necessary to achieve this required compaction. If the sand bedding is jetted, the operation should be closely supervised and provisions should be made for the removal of excess water.

24. On-site inorganic soil or free draining sand may be used as backfill in trenches above the pipe bedding. Where settlement of trench backfill is to be minimized, such as

areas which support buildings, concrete slabs, asphalt pavements, and structural fill, the backfill should be placed in layers not exceeding 8 inches in loose thickness, water conditioned, and compacted as engineered fill. If clean sand is used, flooding and jetting of the backfill is an acceptable method, provided the layers do not exceed 3 feet in thickness. Each layer should be jetted and compacted prior to placement of the next layer. The geotechnical engineer or his representative should observe and approve the jetting.

25. Backfill should be compacted to County of Santa Cruz Standard Specifications or at least 90 percent relative compaction, whichever is greater. The top 5 feet of backfill in pavement areas should be compacted to a minimum of 95 percent relative compaction.

#### Site Drainage

26. Proper drainage is essential to the project. Surface drainage should include provisions for positive gradients so that surface runoff is rapidly removed and not allowed to pond adjacent to foundations or pavements. Surface drainage should be directed away from the building foundations.

27. Rain gutters and downspouts should be placed around roof eaves. Discharge from the rain gutters should be conveyed from downspouts via solid plastic pipe (minimum 3 inches diameter) and discharged away from foundations and improvements to collection facilities which convey runoff to the area storm drain system.



28. There is potential for perched water at the site. If subsurface seepage water is encountered at the site, the installation of subdrains may be necessary. We have provided a typical subdrain detail in Appendix A of this report (see Figure 10). The geotechnical engineer should provide recommendations concerning the location, length and depth of subdrains, if necessary, during construction.

23. The migration of water or spread of extensive root systems below foundations, slabs, or pavements may cause undesirable differential movements and subsequent damage to these structures. Landscaping should be planned accordingly.

Plan Review, Construction Observation, and Testing

30. Haro, Kasunich and Associates should be provided an opportunity to review project plans prior to construction to evaluate if our recommendations have been properly interpreted and implemented. We should also provide earthwork observations and testing and foundation excavation observations during construction. This allows us to confirm anticipated soil conditions and evaluate conformance with our recommendations and project plans. If we do not review the plans or provide observation and testing services during the earthwork phase of the project, we assume no responsibility for misinterpretation of our recommendations.

Environmental Review Initial Study  
ATTACHMENT 5, 15 of  
APPLICATION 03 - 0385

## NEW WATER SERVICE INFORMATION FORM

Multiple APN? Y

APN #: 026-071-52

## SANTA CRUZ MUNICIPAL UTILITIES

DATE: 8/11/03

Revision Date:

9/15/03

809 Center Street, Room 102

Santa Cruz, CA 95060

Telephone (831)420-5210

Project Address 1547 Rodriquez

Applicant:

Pacific Rim Planning Group

Phone:

(831) 457-2013

Fax: (831) 471-2137

206 Morrissey

95062-

Jim Weaver requested a will-senre letter, The MLD project combines with APN 026-071-54 to form 4 new SFD lots.

Rejects on lot 42, which has received a permit for lot 54. (e) home will remain.

			Active	

No connection fee credit(s) for services unused over 24 months

## SECTION 3 FIREFLOWS

Hyd # 1277 Size/Type: 6" Smr Static 74 Res 66 Flow 1113 Flow w/20# Res. 3121 FF Date 03/03

Location: On Rodriguez St. @ Burr Ct.

Hyd # 1503 Size/Type: 6" Smr Static 65 Res 60 Flow 1300 Flow w/20# Res. 3421 FF Date 04/03

Location: 17th Ave. @ Santos Ln.

## SECTION 4 WATER SERVICE FEES

Service Type	Service Size	Meter Size	Meter Type	# SIOs	Meter Ins	Eng Review	Plan Insp	Permit Fee	Backflow Permit Type	Water Connection	Sewer Connection	Zone Capacity
Domestic												
Dom/Fire	2x3/4	5/8 x 5/8	Disc	4	\$534					\$3,356		
Irrigation												
Business												
Fire Svc												
Hydrant	6											

Water Service Fee Totals\*

\$2,136

\* Multiplied by the # SIOs)

Irrigation Plan Review Fee

\$160

Street Opening Fee

\$0

Grand Total

## ADDITIONAL COMMENTS

County Development Permit App. #03-0385. 315 LF 6" water main extension, 4 new services, 1 new FH. Plan review and inspection fees estimated at \$1,209.00. Plans redlined and returned to Joe Akers. Signed plans, completed water main extension agreement, 125% Faithful Performance bond, 100% Labor and Materials bond, 10% Warranty bond required.

## SECTION 5 QUALIFICATIONS

1. Service will be furnished upon:

- (1) payment of the required fees due at the time service is requested (a building permit is required), and;
- (2) installation of the adequately sized water services, water mains and fire hydrants as required for the project under the rules and regulations of the Santa Cruz Water Department and the appropriate Fire District and any restrictions that may be in effect at the time application for service is made.

2. Fees and charges noted above are accurate as of the date hereof, and are subject to change at any time without notice to applicant.

BP#

03-0385

PLAN APP #

Cust. Inq.

REVIEWED BY

A. Hogan

NOTICE: This form does not in any way obligate the City. It is provided only as an estimate to assist you in your planning and as a record for the Water Department. The requirements set forth on this form may be changed or corrected at any time without prior notice. Environmental Review Initial Study other agencies are not included on this form.

ATTACHMENT  
APPLICATION9. 1082  
03-0385

# NEW WATER SERVICE INFORMATION FORM

Page 2

APN #: 026-071-52

## SECTION 6 WATER METER SIZE(S) DETERMINATION

Fixture Unit Points U.P.C. (Standard SFD 3/4")

Toilets:	<input type="text"/>	Kitchen Sinks:	<input type="text" value="0"/>	Wash-up Sinks:	<input type="text"/>	Other:
Lavatories:	<input type="text"/>	Washers/Ut. Sink	<input type="text" value="0"/>	Pool/Spa:	<input type="text" value="0"/>	
Tub/Shower:	<input type="text"/>	Hose Bibs:	<input type="text" value="0"/>	Drink Fount:	<input type="text" value="0"/>	

Total Points:	Bur. Service Size:	Average Irrigation Flow (GPM)	Service Size:
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

## SECTION 7 WATER FACILITIES REQUIRED AND RELATED FEES (All services are installed at Developer's expense)

Right of Way or Utility Easement Requirem

WATER MAIN: Replacement / Extension l.  Size:

WATER MAIN EXTENSION PLAN REVIEW FEE: \$300.00 plus \$50.00 each hour over 5.5

### WATER MAIN EXTENSION INSPECTION FEES:

Category:	Base Rate:
Lineal Feet of New Water Main	\$0.60 / LF or \$60.00 Minimum
Taps and Tie-Ins:	\$120.00/Tap or Tie-in
Hydrants:	\$60.00/Hydrant
Thrust Blocks:	\$60.00 / Thrust Block
Disinfection & Pressure Testing:	\$60.00 / Disinfection

Plans, agreements, and performance bonds are required.

Comments:

Environmental Review Initial Study  
 ATTACHMENT 9. 2 of 2  
 APPLICATION 03-0385

# SANTA CRUZ COUNTY SANITATION DISTRICT

## INTER-OFFICE CORRESPONDENCE

DATE: September 29, 2003

TO: Planning Department, ATTENTION: JOHN SCHLAGHECK

FROM: Santa Cruz County Sanitation District

SUBJECT: SEWER AVAILABILITY AND DISTRICT'S CONDITIONS OF SERVICE FOR THE FOLLOWING PROPOSED DEVELOPMENT:

APN: 26-071-52 & 54      APPLICATION NO.: 03-385

PARCEL ADDRESS:      1547 RODRIGUEZ

PROJECT DESCRIPTION. COMBINE PORTION OF APN 26-071-54 TO APN 26-071-52  
FOUR LOT MLD PLUS REMAINDER CONSTRUCT FOUR SINGLE  
FAMILY DWELLINGS

---

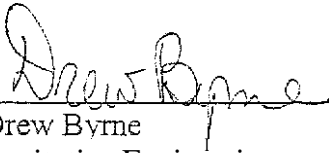
Sewer service is available for the subject development upon completion of the following conditions. This notice is effective for one year from the issuance date to allow the applicant the time to receive tentative map, development or other discretionary permit approval. If after this time frame this project has not received approval from the Planning Department, a new sewer service availability letter must be obtained by the applicant. Once a tentative map is approved this letter shall apply until the tentative map approval expires.

Proposed location of on-site sewer lateral(s), clean-out(s), and connection(s) to existing public sewer must be shown on the plot plan of the building permit application.

Department of Public Works and District approval shall be obtained for an engineered sewer improvement plan, showing on-site and off-site sewers needed to provide service to each lot or unit proposed, before sewer connection permits can be issued. The improvement plan shall conform to the County's "Design Criteria" and shall also show any roads and easements. Existing and proposed easements shall be shown on any required Final Map. If a Final Map is not required, proof of recordation of existing or proposed easement is required.

Environmental Review Initial Study  
ATTACHMENT 10, 1st 2  
APPLICATION 03-0385

The plan shall show all existing and proposed plumbing fixtures on floor plans of building application. Completely describe all plumbing fixtures according to table 7-3 of the uniform plumbing code.

  
Drew Byrne  
Sanitation Engineering

DB:abc/152

c:            Applicant:            Jim Weaver - Pacific Rim Planning Group  
   206 Morrissey Boulevard  
   Santa Cruz CA 95062

   A  
   Property Owner:            Howard G. Ellis Trustee  
   34050 Paseo Padre Parkway  
   Fremont CA 94555

(Rev, 3-96)

Environmental Review Initials  
ATTACHMENT 10, 202  
APPLICATION 03-0395

# COUNTY OF SANTA CRUZ

## INTER-OFFICE CORRESPONDENCE

**DATE:** July 21, 2004  
**TO:** John Schlagheck, Planning Department  
**FROM:** Melissa Allen, Planning Liaison to the Redevelopment Agency  
**SUBJECT:** Application **03-0385 MLD, 3<sup>rd</sup> Routing**, APN 026-071-52 & 54, 1547 Rodriguez St. & 2301 17<sup>th</sup> Ave.

The applicant is proposing to transfer 11,414 sq ft from Parcel 026-071-54 to Parcel 026-071-52 to result in Parcel 026-071-52 being 48,218 sq ft and Parcel 54 being 54,461 sq ft, to rezone a portion of Parcel 26-071-54 from the PF (Public Facility) zone district to the R-1-5 (Residential, 1 unit per 5,000 square foot lot size) or other appropriate zone district: a General Plan Amendment to change from the PF (Public Facility) designation to the Residential-Urban Medium designation, and to construct four two-story single family dwellings on four of the new parcels (one house is existing on one of the new parcels). The project requires a Lot Line Adjustment, Rezoning, General Plan Amendment, Minor Land Division (four new lots and a remainder lot), Commercial Development Permit Amendment, Environmental Review, and Design Review. The property is located at the northwest corner of the intersection of Rodriguez Street and 17<sup>th</sup> Avenue.

This application was considered at an Engineering Review Group (ERG) meeting on September 17, 2003, on March 3, 2004, and again on July 7, 2004. The Redevelopment Agency (RDA) has the following remaining comments regarding the proposed project. RDA's primary remaining concern for this project involves the protection, replacement, and long-term irrigation and maintenance of street trees along Rodriguez Street.

1. Several street trees located along the Rodriguez Street frontage (that were planted as part of the County volunteer tree-planting program) are proposed for removal for the project entrance driveway or may be negatively impacted by the development. These trees should be required to be moved, however if not feasible, as replacement for the removal of these trees, existing trees that are in poor shape should be required to be replaced along the Rodriguez Street frontage, automatic irrigation installed, and the permanent maintenance responsibility identified to ensure the long-term survival of these trees.

RDA staff did an assessment of the trees along the site's Rodriguez Street frontage starting from the west with Tree 1 being the existing tree (not shown on the landscape plan) adjacent to the western site property line (may be just offsite) and proceeding to Tree 7 onsite near the easterly site boundary (see attachment). Based on this numbering, RDA has the following specific recommendations:

- a. Replace the 3 or 4 trees (counting Tree 1, not shown), trees #1 through #4, being removed to provide the project entrance driveway, in a different location along the frontage;
- b. Remove and replace Tree #5 or retain it pursuant to an arborist's preservation recommendations. (It is not clear if removing the existing driveway, constructing new curb and gutter, etc., will impact this tree. It is also unclear on the planting plan if a wall extension may be proposed just behind this tree. If so, it should be located behind any wall); and,
- c. Remove and replace trees #6 & #7 as they are currently in poor condition; thus,
- d. In *summary*, the plan should identify a minimum total of 4 or 5 (if Tree #5 is impacted) replacement trees at 36-inch box size, of either Coast Live Oak or Chinese Pistache species to be located along the Rodriguez Street frontage (remainder lot) and to be installed, irrigated, and maintained by the HOA or property owner.

Landscaping should be identified and/or required within the four-foot strip along the western border adjacent to Tanbark Court pursuant to previous Public Works Road Engineering comments. As not all of the existing landscaping is located onsite, supplemental landscaping should be added within this strip to provide some buffering and screening. If proposed to be retained, existing landscaping onsite (and offsite as needed) should be replaced if damaged during construction.

Environmental Review Initial Study  
ATTACHMENT 11, 1 of 6  
APPLICATION 03-0385

The items and issues referenced above should be evaluated as part of this application and/or addressed by conditions of approval. RDA does not need to see future routines of these plans. The Redevelopment Agency appreciates this opportunity to comment. *Thank you.*

cc: Paul Rodrigues, RDA  
Ronald Lecher, RDA  
Greg Martin, DPW

Environmental Review Initial Study  
ATTACHMENT 11, 2 of 6  
APPLICATION 03-0385

## Ronald Lechner

**From:** Ronald Lechner  
**Sent:** Thursday, July 15, 2004 1:37 PM  
**To:** Melissa Allen  
**Subject:** 1547 Rodriguez Street Trees

Melissa:

Reviewed the street frontage trees on Wednesday, July 14, 2004. I also took photos which I will give to you after they are printed.

There are a total of seven trees along the property frontage, five trees to the left of the current driveway and two to the right of the driveway.

None of the trees appear to be currently irrigated by an irrigation system.

Starting at the far left of the frontage here are my observations, refer to drawings 1,2,3,4:

#1	Oak -	small size crown	3 cal.	24" box equivalent	Good shape but small.
#2	Oak -	large size crown	6" cal.	48" box "	Good shape.
#3	Oak -	small size crown	2-1/2" cal.	24" box "	Small crown for trunk size.
#4	Oak -	large size crown	6" cal.	48" box "	Good shape.
#5	Oak -	large size crown	6" cal.	48" box "	Good Shape

Right of the driveway, refer to drawing 5:

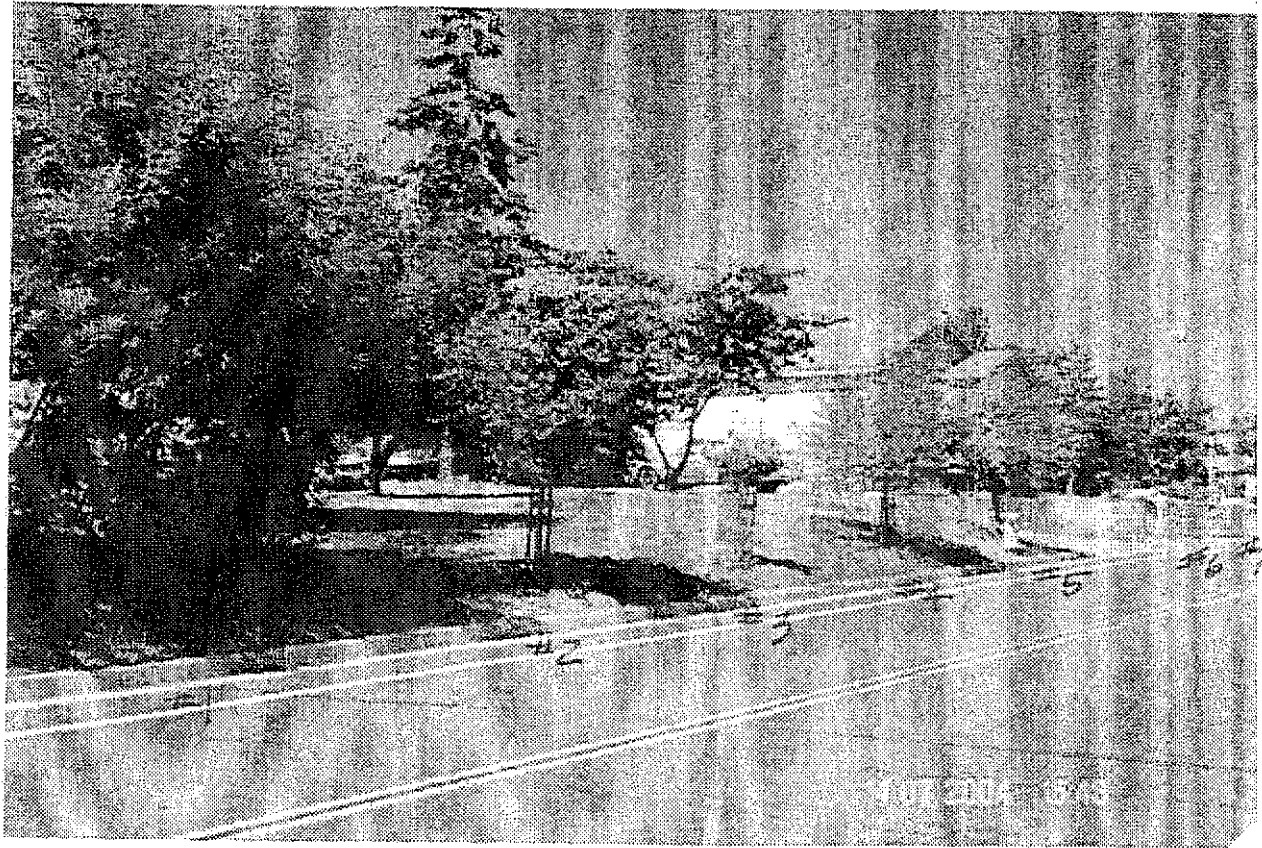
#6	Pistache -	small size crown	4" cal.	36" box "	Poor shape
#7	Pistache -	small size crown	4" cal.	36" box "	Poor shape

Consideration: Because of the size and condition of the trees proposed for removal, and the limited open space available to add equivalent replacement size new trees, you might wish to consider upsizing some of the proposed on-site tree sizes depending on where and what are proposed to off-set the trees lost due to new construction for the driveway.

**Ron Lechner**  
Project Manager  
County of Santa Cruz  
Redevelopment Agency

Environmental Review Initial Study  
ATTACHMENT 11, 3 of 6  
APPLICATION 03-0385

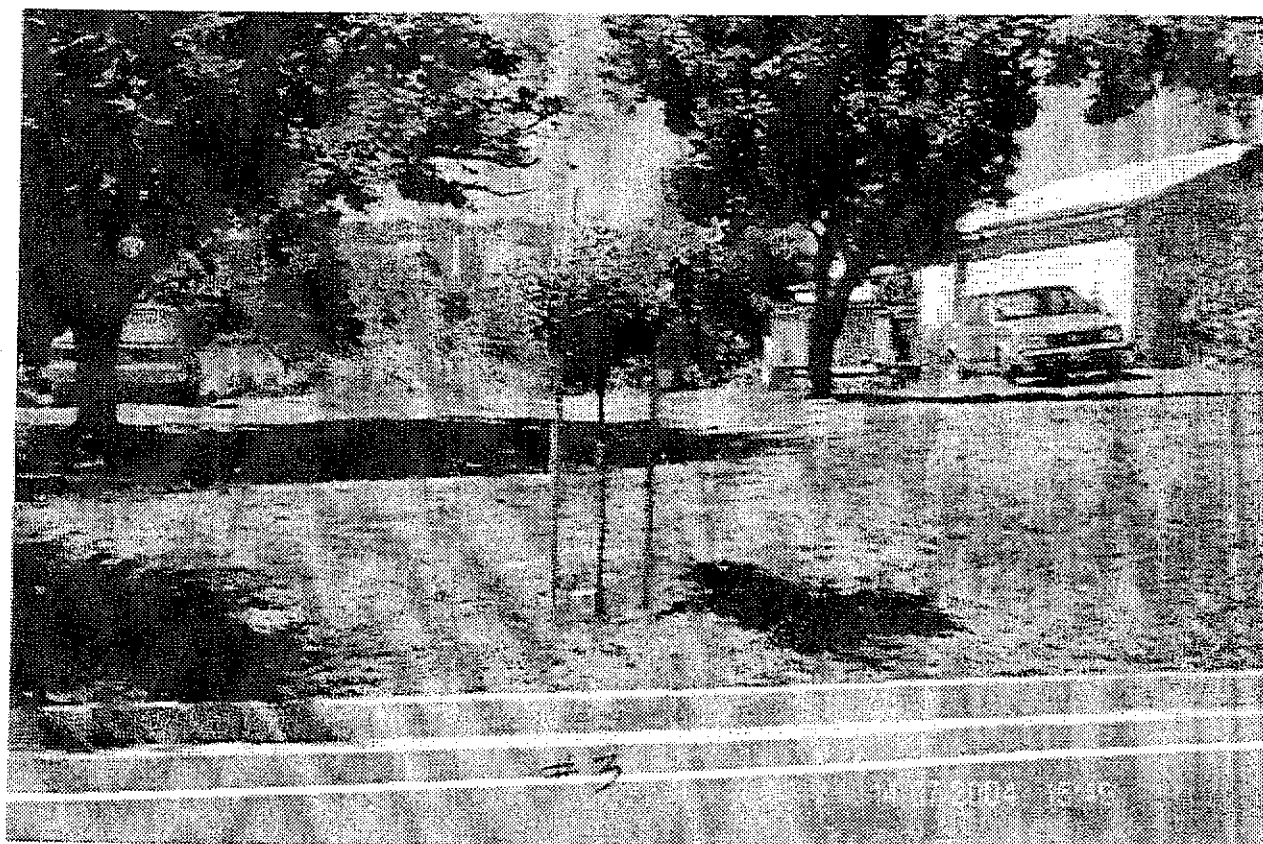
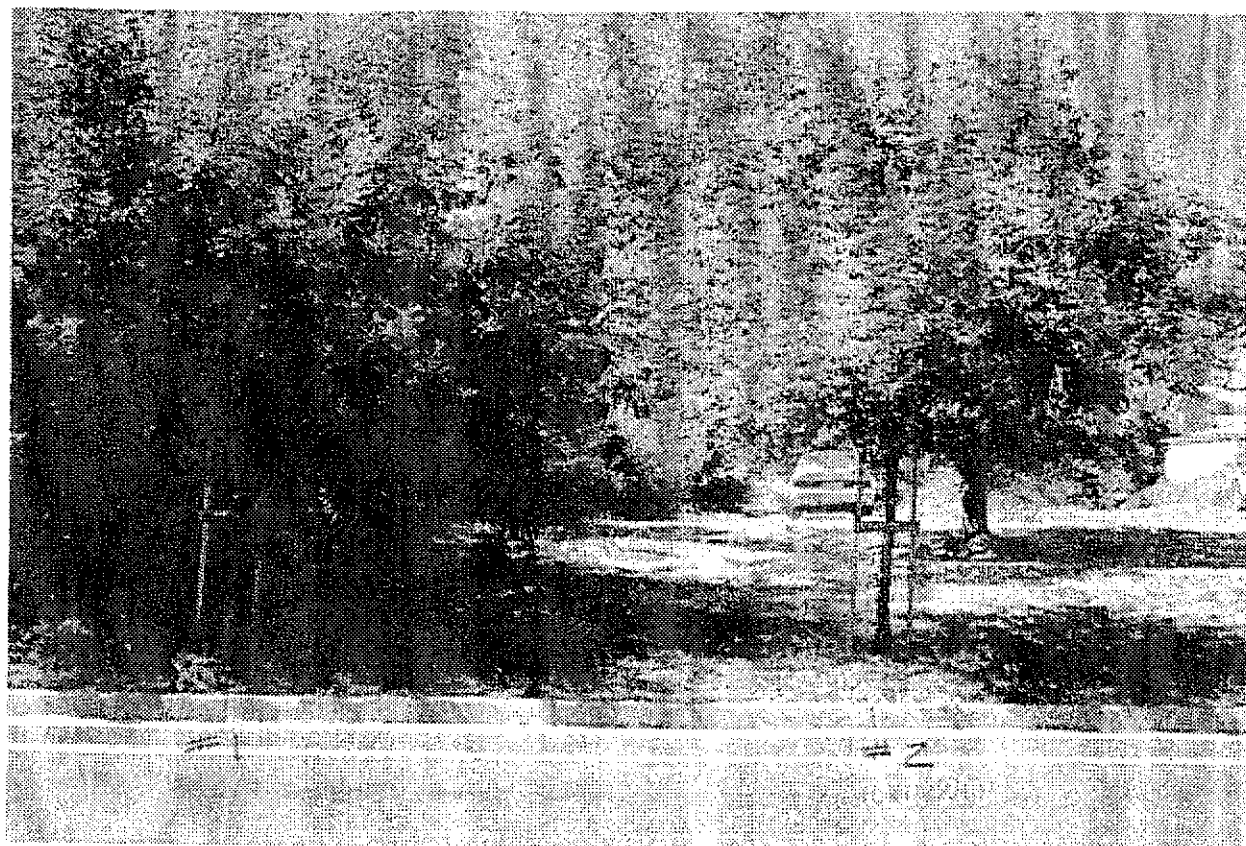




1547 RODRIGUEZ

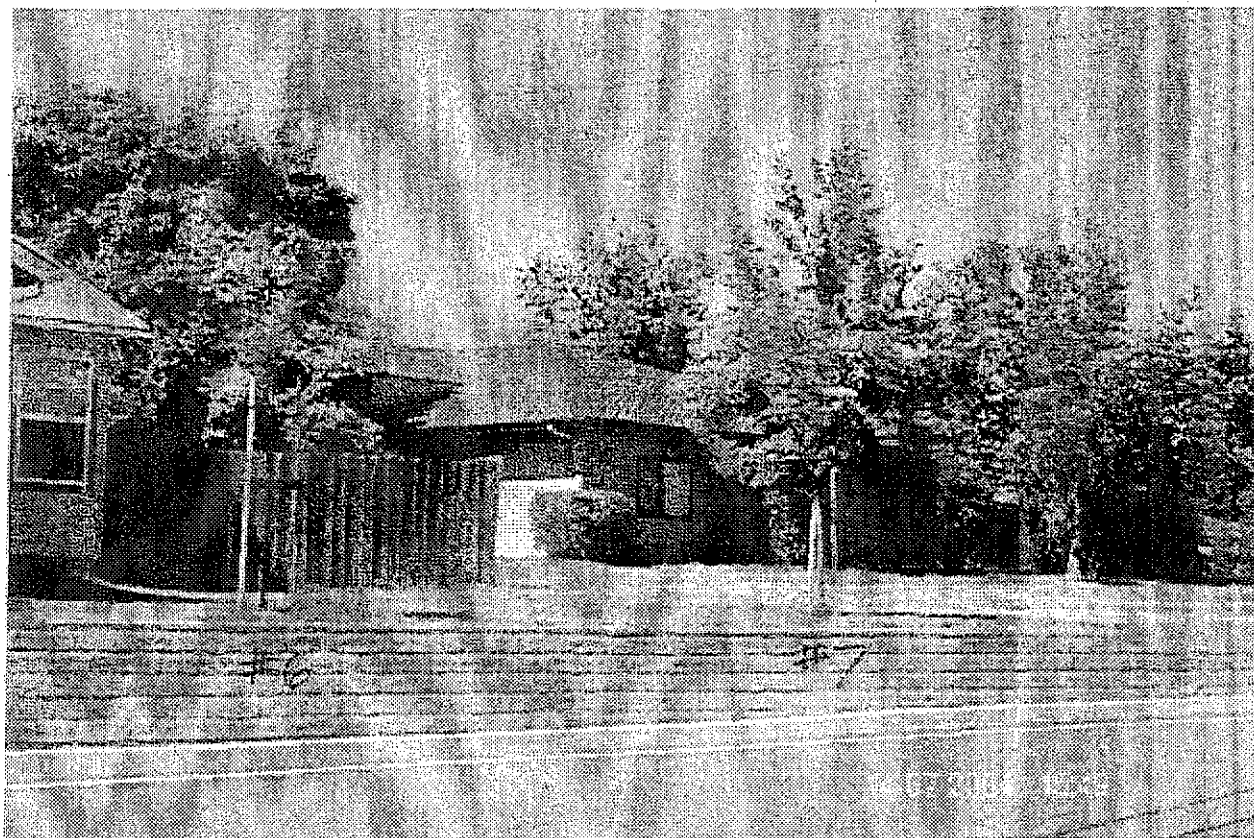
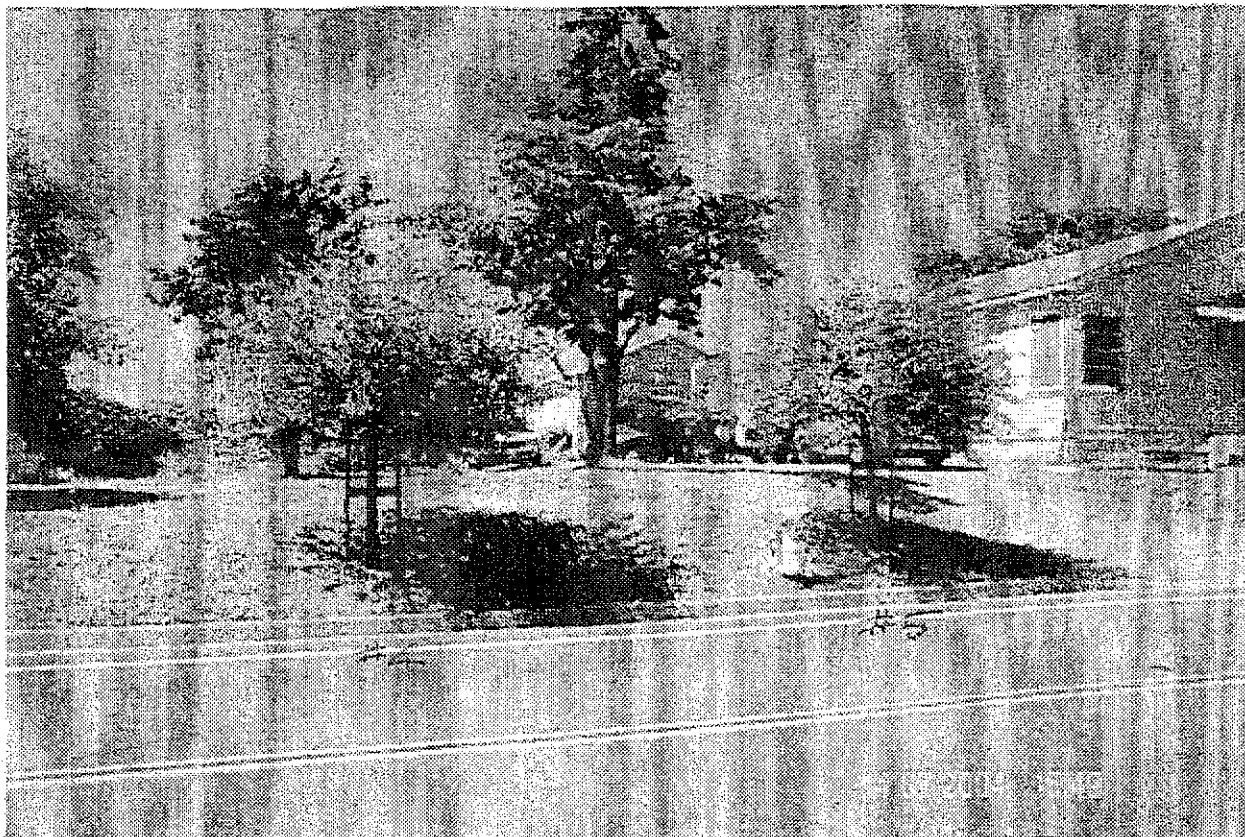
①

Environmental Review Initial Study  
ATTACHMENT 11, 4 of 6  
APPLICATION 03-0365



Environmental Review Initial Study  
 ATTACHMENT 11, 5 & 6  
 APPLICATION 03-0385

EXHIBIT D

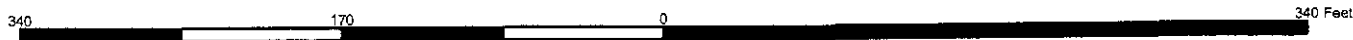
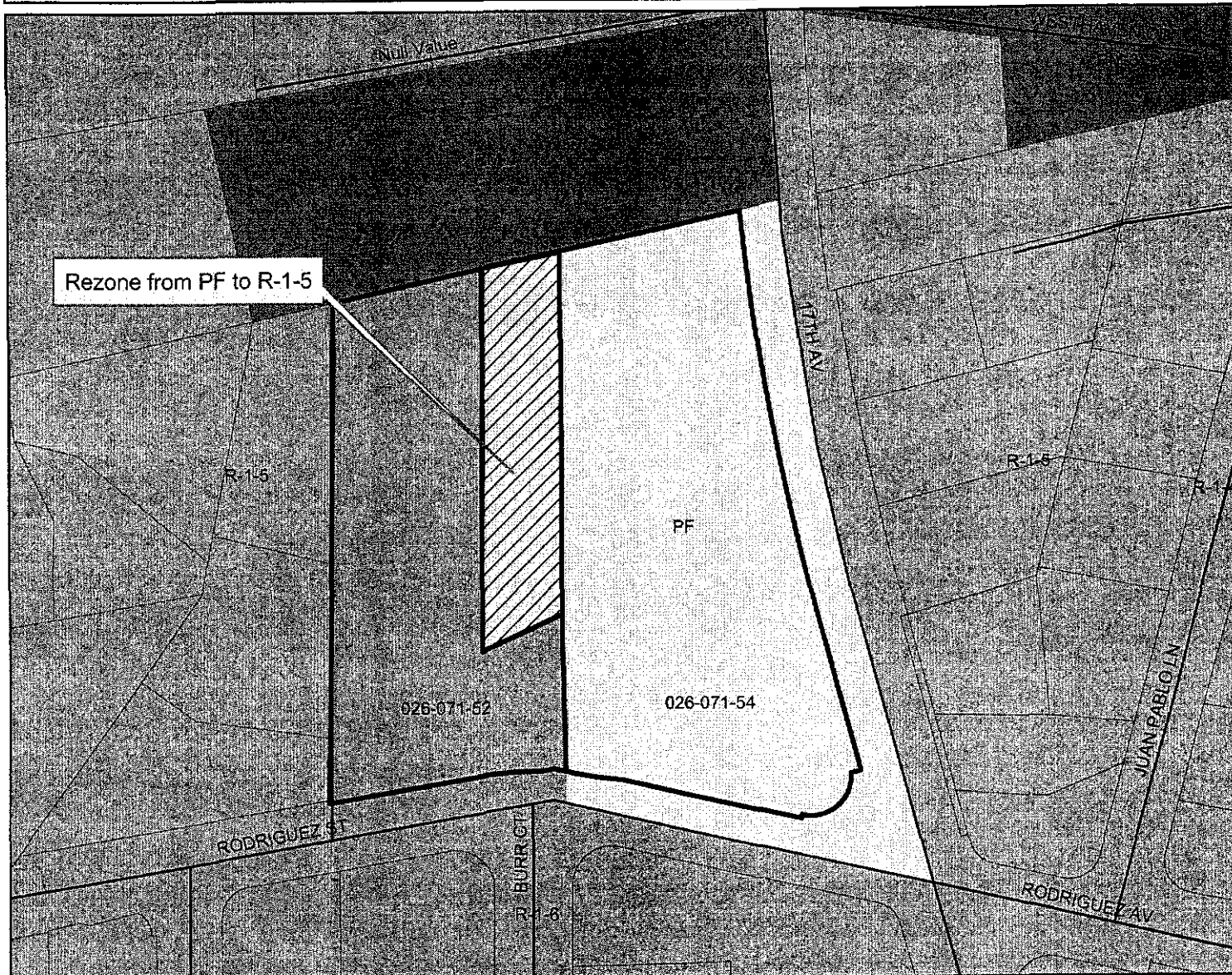


Environmental Review Initial Study  
 ATTACHMENT 11, 6 & 6  
 APPLICATION 03-0385









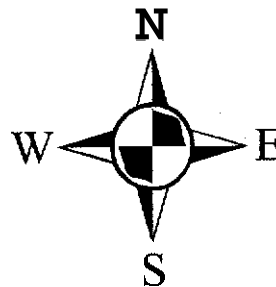


# Rezoning Map



## Legend

-  APNs 026-071-52, -54
-  Streets
-  Assessors Parcels
-  PUBLIC FACILITY (PF)
-  RESIDENTIAL-MULTI FAMILY (RM)
-  RESIDENTIAL-SINGLE FAMILY (R-1)

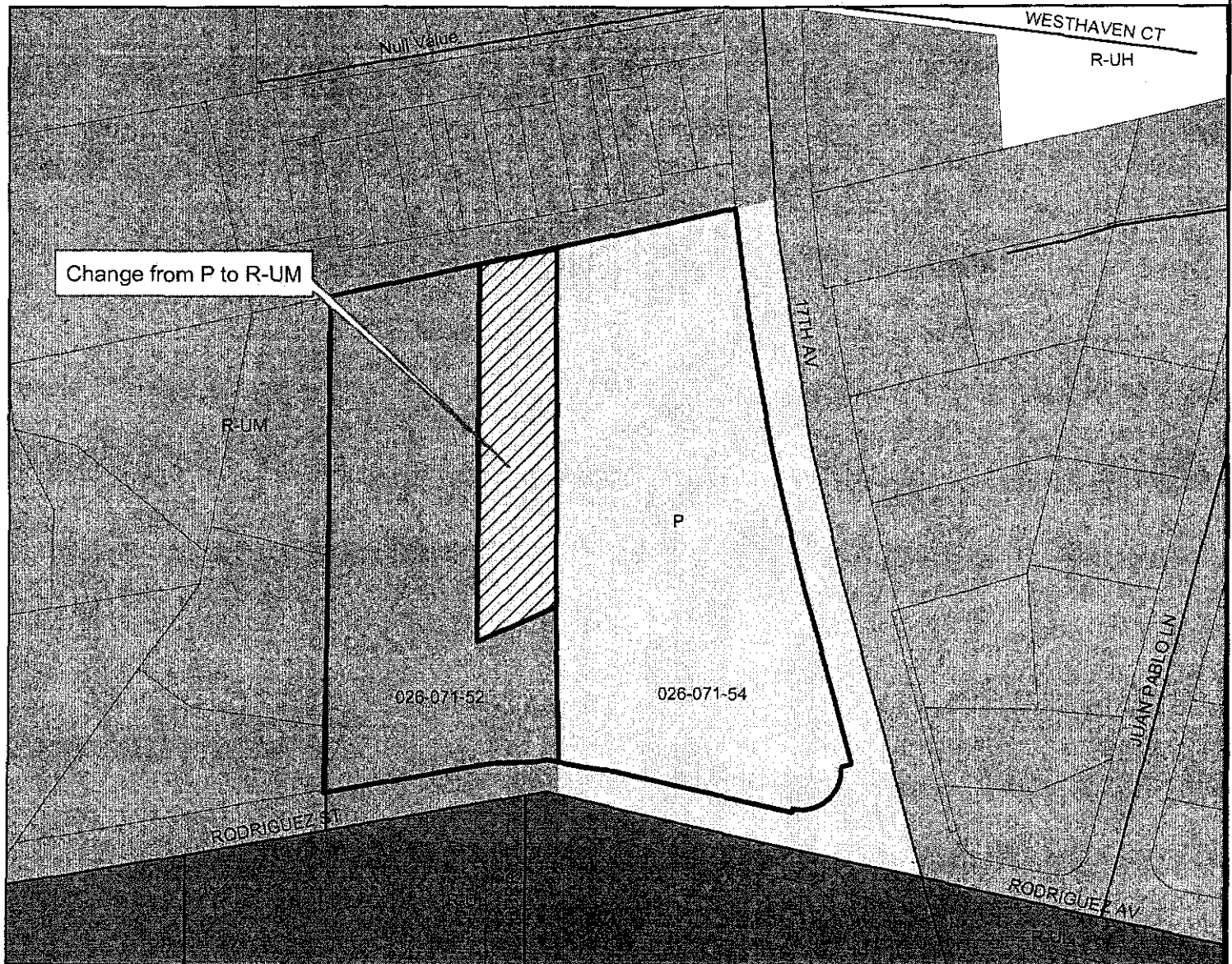


Map Created by  
County of Santa Cruz  
Planning Department  
January 2005








EXHIBIT E

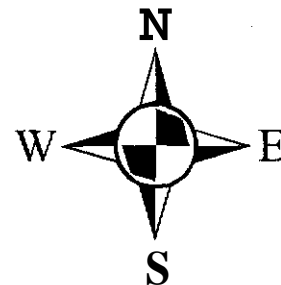


# General Plan Land Use Designation Change



## Legend

-  APNs 026-071-52, -54
-  Streets
-  Assessors Parcels
-  Public Facilities (P)
-  Residential - Urban Low Density (R-UL)
-  Residential - Urban Medium Density (R-UM)
-  Residential - Urban *High Density* (R-UH)



Map Created by  
County of Santa Cruz  
Planning Department  
January 2005

**EXHIBIT E**

BEFORE THE PLANNING COMMISSION  
OF THE COUNTY OF SANTA CRUZ, STATE OF CALIFORNIA

RESOLUTION NO. \_\_\_\_\_

On the motion of Commissioner  
duly seconded by Commissioner  
the following Resolution is adopted

PLANNING COMMISSION RESOLUTION  
SENDING RECOMMENDATION TO THE BOARD OF SUPERVISORS  
ON PROPOSED AMENDMENT TO THE ZONING ORDINANCE

WHEREAS, the Planning Commission has held a public hearing on Application No. 03-0385, involving property located at 1547 Rodriguez Street & 2301 17<sup>th</sup> Avenue, Live Oak, and the Planning Commission has considered the proposed rezoning, all testimony and evidence received at the public hearing, and the attached staff report.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission recommends that the Board of Supervisors adopt the attached ordinance amending the Zoning Ordinance by changing property from the "PF" Public Facilities zone district to the "R-1-5" Single Family Residential - 5,000 square foot minimum zone district.

BE IT FURTHER RESOLVED, that the Planning Commission makes findings on the proposed rezoning as contained in the Report to the Planning Commission.

PASSED AND ADOPTED by the Planning Commission of the County of Santa Cruz, State of California, this 23rd day of February, 2005, by the following vote:

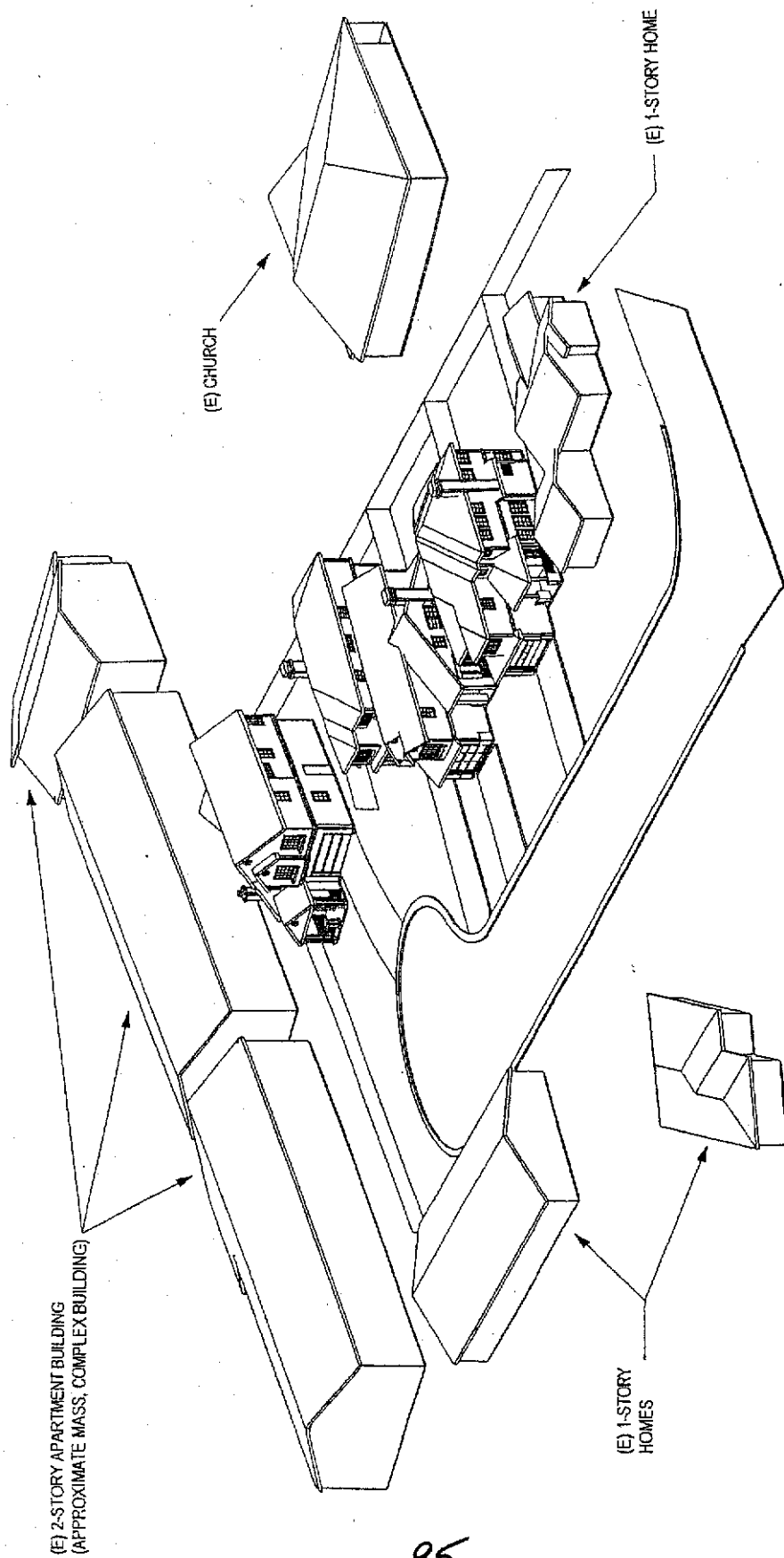
AYES: COMMISSIONERS  
NOES: COMMISSIONERS  
ABSENT: COMMISSIONERS  
ABSTAIN: COMMISSIONERS

\_\_\_\_\_  
ROBERT BREMNER, Chairperson

ATTEST: \_\_\_\_\_  
CATHY GRAVES, Secretary

APPROVED AS TO FORM:

  
\_\_\_\_\_  
COUNTY COUNSEL



Axonometric

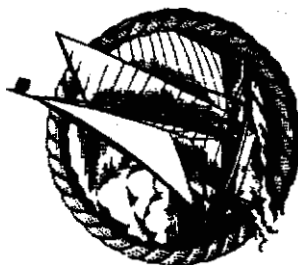


**WINDWARD  
COMPANY INC.**  
BUILDERS & DEVELOPERS  
100 17th Avenue  
Berkeley, CA 94702  
(916) 441-5721

#### LOTS 1 - 4

LOTS 2 & 3 CONDITIONED:  
1st FLOOR 840 S.F.  
2nd FLOOR 1022 S.F.  
TOTAL 1862 S.F.  
GARAGE: 505 S.F.  
PORCH: 128 S.F.

LOTS 1 & 4 CONDITIONED:  
1st FLOOR 880 S.F.  
2nd FLOOR 1215 S.F.  
TOTAL 2095 S.F.  
GARAGE: 868 S.F.  
PORCH: 128 S.F.

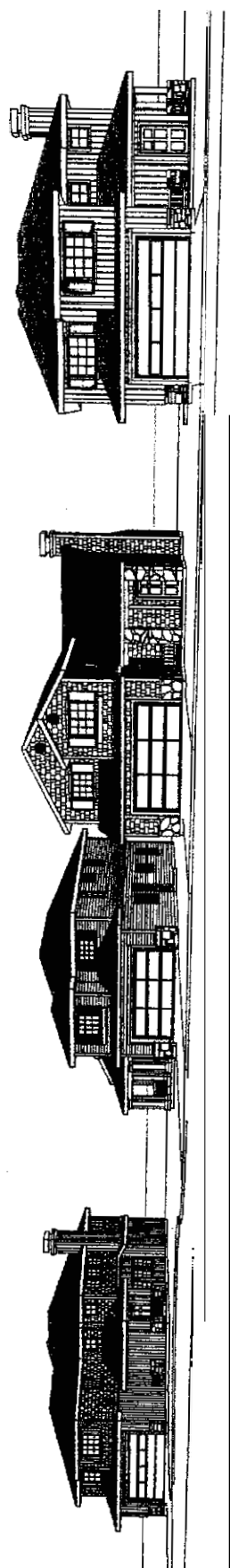


**WINDWARD  
COMPANY INC.**

BUILDERS & DEVELOPERS

#### PROJECT DATA

Applicants: Windward Company, Inc.  
(831) 462-4559  
Location: Santa Cruz  
APN: 028-071-052, 054  
Tract No.:  
Developer: Jenkins Investments LLC  
Civil Engineer: Joe Alkers  
(831) 475-6557  
Landscape Architect: Gregory Lewis  
(831) 425-4747  
Mechanical Engineer: Karl Freeman  
O'Connor Freeman & Associates  
(916) 441-5721  
Energy Compliance: AREA Title 24  
(831) 335-3658



Perspective

## TANBARK COURT

TANBARK COURT  
Santa Cruz

REVISIONS	BY
1-1-03	L.B.
4-1-04	L.B.
DATE: 7/17/04	
SCALE	
DRAWN: LUB	
PROJECT NUMBER:	
SHEET:	

#### SHEET INDEX

Plans  
A1-6 1-6 ARCHITECTURAL PLANS  
C1-9 7-15 CIVIL ENGINEERING  
L1 16 LANDSCAPE PLANS

A1

1 of 16 SHEETS

EXHIBIT





**WINDWARD**  
COMPANY INC.

## **BUILDERS & DEVELOPERS**

740 37th Avenue  
Santa Cruz, CA 95062  
831/562-1250

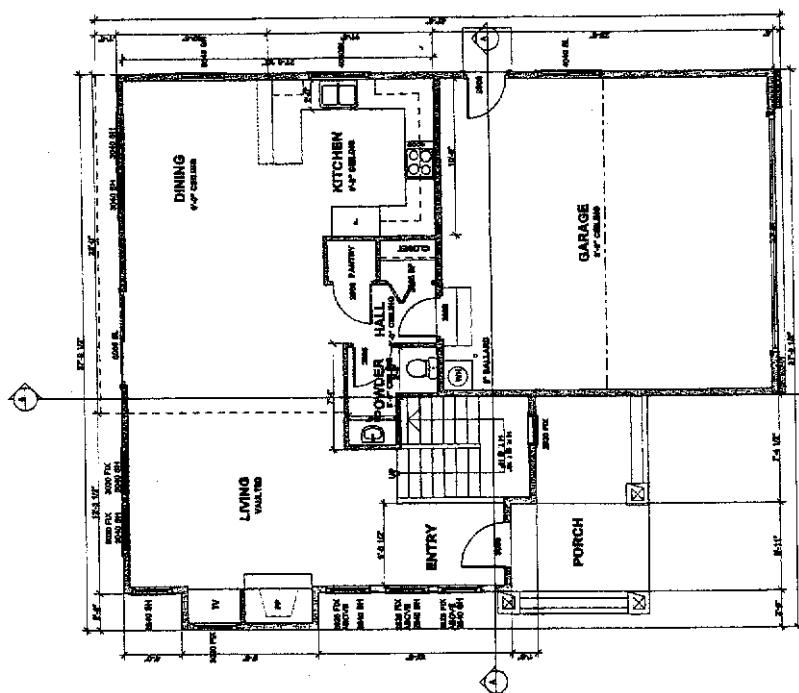
Sant Cruz, CA

**TANBARK COURT**  
Floor Plans - Lots 1-4

[illegible]

A2

2 OF 16 SHEETS

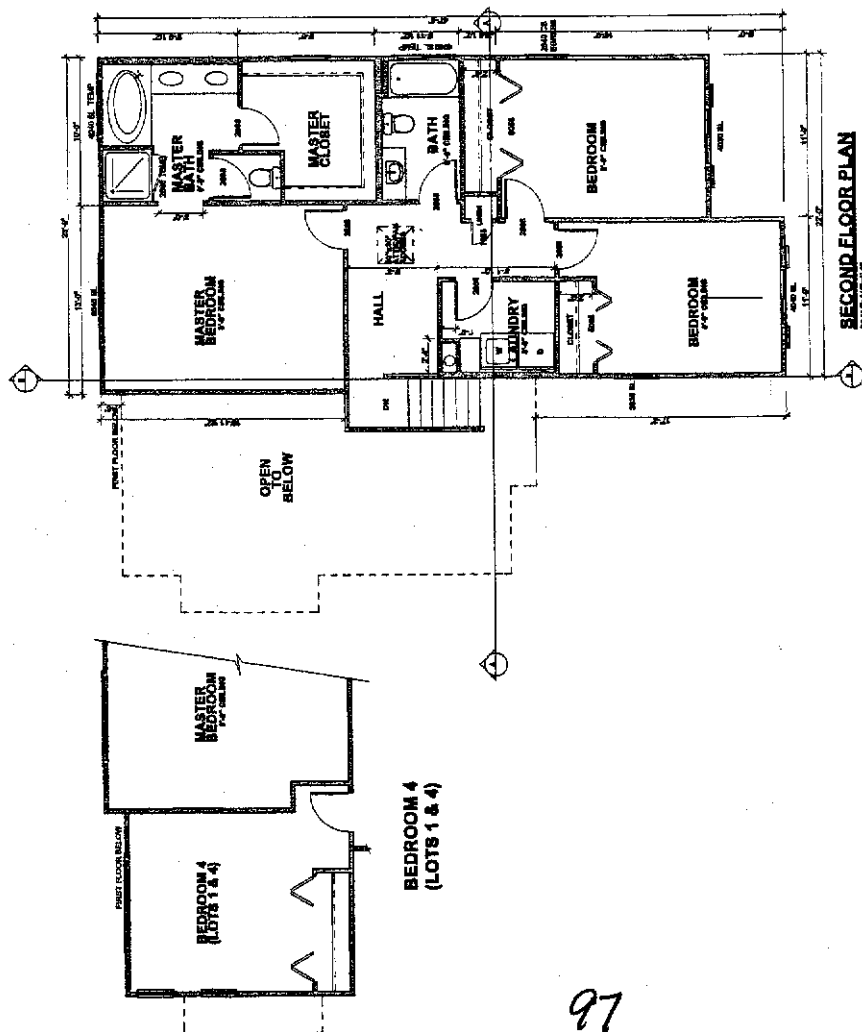


**FIRST FLOOR PLAN**

**CONDITIONED AREA: 800 S.F.**

**LOTS 2 & 3 CONDITIONED:**  
1st FLOOR 880 S.F.  
2nd FLOOR 1022 S.F.  
TOTAL 1902 S.F.  
GARAGE: 605 S.F.  
PORCH: 128 S.F.

**LOTS 1 & 4 CONDITIONED:**  
**1st FLOOR** 540 S.F.  
**2nd FLOOR** 1215 S.F.  
**TOTAL** 2045 S.F.  
**GARAGE:** 905 S.F.  
**PORCH:** 128 S.F.



## **SECOND FLOOR PLAN**

CONDITIONED AREA: 1022 S.F. Lots 2 & 3  
1215 S.F. Lots 1 & 4







**WINDWARD  
COMPANY, INC.**  
BUILDING & DEVELOPMENT

740 27th Avenue  
San Francisco, CA 94114-1000

**TANBARK LANE**  
**Lot 3 Elevations**  
Santa Cruz, CA

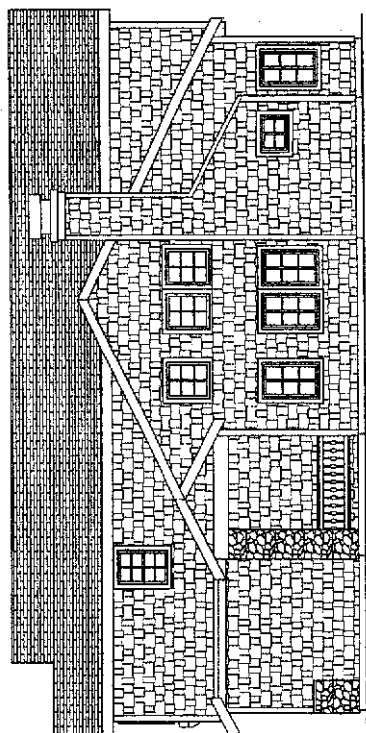
Lots:

REVISIONS	BY	DATE
13.8.03	LE	11
08.06.03	LE	11

DATE: 08.06.03
SCALE: 1/8" = 1'-0"
DRAWN: LHM
PROJECT NUMBER:
SHEET:

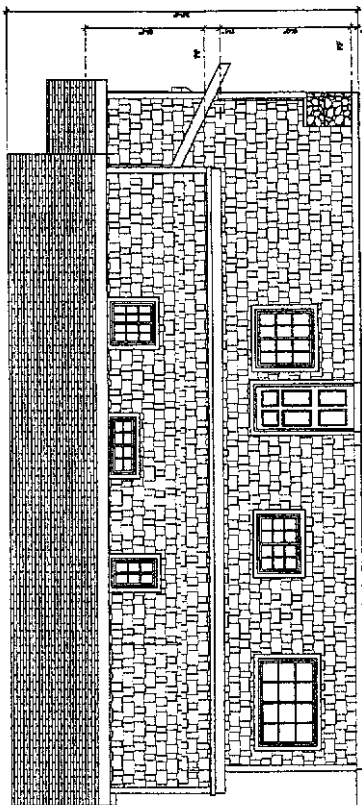
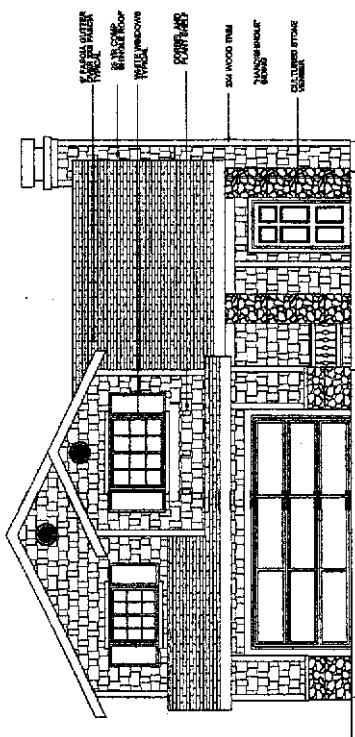
**A5**

5 of 11 sheets



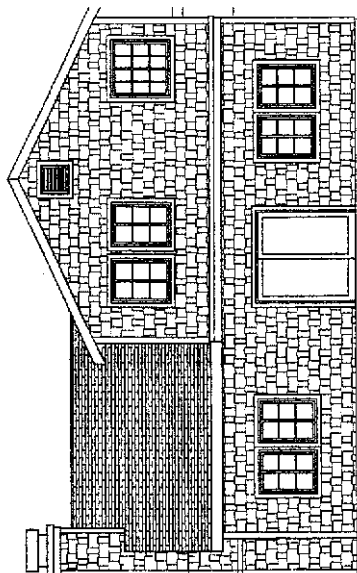
**PLAN 3 FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



**PLAN 3 LEFT ELEVATION**

SCALE: 1/8" = 1'-0"



**PLAN 3 REAR ELEVATION**

SCALE: 1/8" = 1'-0"

**EXHIBIT H**



**WINDWARD  
COMPANY INC.**  
BUILDERS & DEVELOPERS

240 7th Avenue  
Santa Cruz, CA 95060  
831-428-1550

**TANBARK COURT**  
Lot 4 Elevations  
Santa Cruz, CA

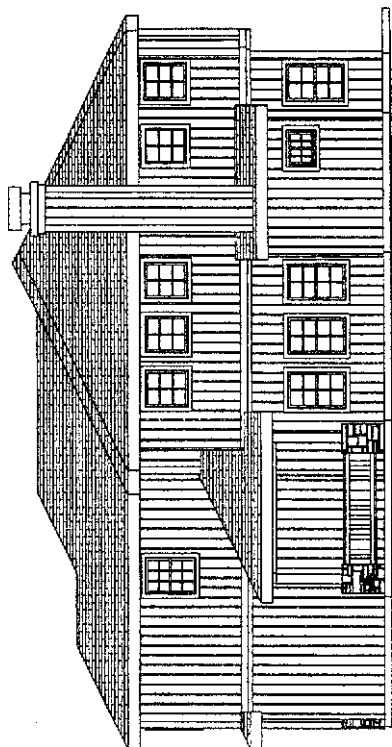
Lot 8:

REVISION	BY	DATE
1	LM	12-4-03

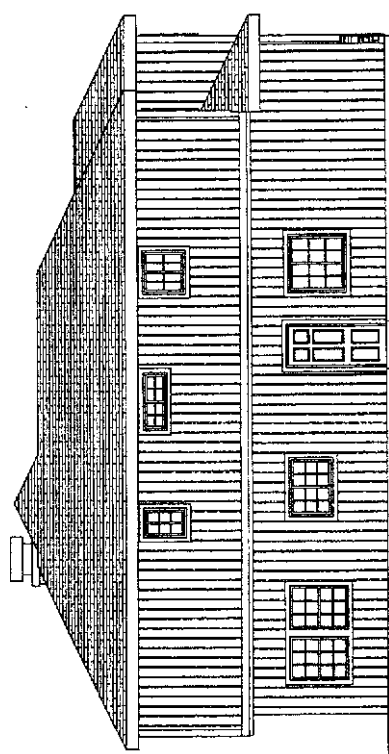
DATE:	BRAND:
SCALE:	1/4" = 1'-0"
DRAWN:	LJM
PROJECT NUMBER:	
SHEET:	

**A6**

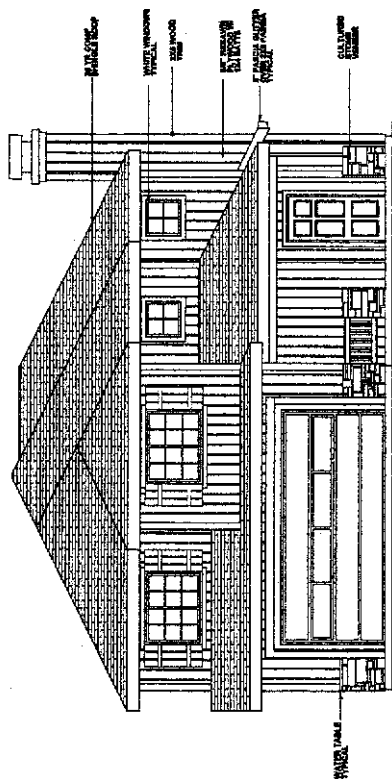
6 of 16 SHEETS



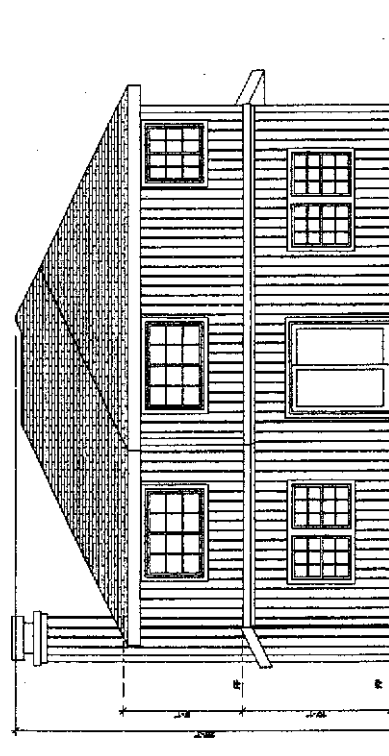
**LOT 4 RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**LOT 4 LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**LOT 4 FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**LOT 4 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

**EXHIBIT H**

# SANTA CRUZ COUNTY SANITATION DISTRICT

INTER-OFFICE CORRESPONDENCE

DATE: **December 1, 2004**

TO: Planning Department, ATTENTION: JOHN SCHLAGHECK

FROM: Santa Cruz County Sanitation District

SUBJECT: SEWER AVAILABILITY AND DISTRICT'S CONDITIONS OF SERVICE FOR THE FOLLOWING PROPOSED DEVELOPMENT:

APN 026-071-52 APPLICATION NO.: 03-0385

PARCEL ADDRESS: 1547 RODRIGUEZ STREET

PROJECT DESCRIPTION TRANSFER 11,444 SQUARE FEET FROM PARCEL 026-071-54 - FOUR-LOT MINOR LAND DIVISION PLUS REMAINDER - CONSTRUCT FOUR SINGLE FAMILY DWELLINGS.

---

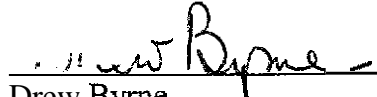
Sewer service is available for the subject development upon completion of the following conditions. This notice is effective for one year from the issuance date to allow the applicant the time to receive tentative map, development or other discretionary permit approval. If after this time frame this project has not received approval from the Planning Department, a new sewer service availability letter must be obtained by the applicant. Once a tentative map is approved this letter shall apply until the tentative map approval expires.

Proposed location of on-site sewer lateral(s), clean-out(s), and connection(s) to existing public sewer must be shown on the plot plan of the building permit application.

Department of Public Works and District approval shall be obtained for an engineered sewer improvement plan, showing on-site and off-site sewers needed to provide service to each lot or unit proposed, before sewer connection permits can be issued. The improvement plan shall conform to the County's "Design Criteria" and shall also show any roads and easements. Existing and proposed easements shall be shown on any required Final Map. If a Final Map is not required, proof of recordation of existing or proposed easement is required.

EXHIBIT

The plan shall show all existing and proposed plumbing fixtures on floor plans of building application. Completely describe all plumbing fixtures according to table 7-3 of the uniform plumbing code.

  
\_\_\_\_\_  
Drew Byrne  
Sanitation Engineering

DB:abc/180

c:      Applicant:      **JIM WEAVER**  
                                 **PACIFIC RIM PLANNING GROUP**  
                                 **206 MORRISSEY BOULEVARD**  
                                 **SANTA CRUZ CA 95062**

Property Owner:      **ELLIS HOWARD**  
                                 **34050 PASEO PADRE PARKWAY**  
                                 **FREMONT CA 94555**

survey  
(Rev. 3-96)