



Staff Report to the Planning Commission

Application Number: **04-0209**

Applicant: Powers Land Planning, Inc.
Owner: Pajaro Dunes North Association
APN's: Common areas 052-381-03,-04,
052-161-15, -18, -20
Condominiums on APN 52- Books
39,40,41,45,46,47,48,49,50

Agenda Date: May **25,2005**
Agenda Item #: **7**
Time: After 9:00 a.m.

Project Description: Proposal to Amend Planned Unit Development 3445-U and 82-355-PUD to construct a real estate office in the common area for Pajaro Dunes North Association. The project includes the demolition of two tennis courts and conversion of an existing real estate office in the Lagoon House community building back to common use, and recognition of a temporary trailer for use during construction.

Location: Property located in the common area of Pajaro Dunes North on the west side of Shell Road, about 1,500 feet north from Beach Road, at 101 Shell Road in Watsonville.

Supervisory District: Second District (District Supervisor: Pine)

Permits Required: Amendment to PUD 3445-U and 82-355, Coastal Development Permit, Soils Report Review, Geologic Hazards Assessment, Variance to exceed the 28 foot height limit.

Staff Recommendation:

- Adophon of the Resolution to Amend PUD 3445-U and 82-355 and forward a recommendation of approval to the Board of Supervisors of Application No. 04-0209, based on the attached findings and conditions.
- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.

Exhibits

- | | | | |
|----|--|----|--|
| A. | Project plans | F. | Zoning & General Plan maps |
| B. | Findings | G. | Will Serve Letters |
| C. | Conditions | H. | Comments & Correspondence |
| D. | Categorical Exemption (CEQA determination) | I. | Geologic Hazards Assessment |
| E. | Assessor's parcel map, Location map | J. | Geotechnical Report May 2004 and acceptance letter 7-31-04 |
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County of Santa Cruz Planning Department
701 Ocean Street, 4th Floor, Santa Cruz CA 95060

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|----|--|----|----------------------------------|
| K. | Pajaro Dunes North site plan | | |
| L. | Use Permit 3445-U, 82-355-PUD | O. | Visitor Accommodation statistics |
| M. | Pajaro Dunes North Program | P. | Sign plan |
| | Statement, April 2005 | Q. | Site photographs |
| N. | Pajaro Dunes North Assoc design | R. | Planning Commission Resolution |
| | review dated 3-16-05 | | |

Parcel Information

Parcel Size: 3.778 acres
 Existing Land Use - Parcel: Community building, tennis courts, offices
 Existing Land Use - Surrounding: Residential condominiums, Palm Beach State Park
 Project Access: Beach Road to Shell Road
 Planning Area: **San** Andreas
 Land Use Designation: O-R (Open Space/Recreation)
 Zone District: PR (Parks & Recreation)
 Coastal Zone: X Inside Outside
 Appealable to Calif. Coastal Comm. X Yes No

Environmental Information

Geologic Hazards: Mapped floodplain/GHA completed Exhibit I
 Soils: 119 Clear lake clay/Geotechnical Report accepted (Exhibit J)
 Fire Hazard: Not a mapped constraint
 Slopes: Site is relatively flat
 Env. Sen. Habitat: Mapped biotic/no resources disturbed
 Grading: Less than 100 cubic yards proposed
 Tree Removal: 1 eucalyptus tree proposed to be removed 'replaced with 1 cypress
 Scenic: Mapped resource – structure not visible from the beach or Beach Rd
 Drainage: Existing drainage adequate
 Traffic: No significant impact
 Roads: Existing roads adequate
 Parks: Adjacent to existing state and county designated park sites
 Archeology: Not mapped/no physical evidence on site

Services Information

Urban/Rural Services Line: X Inside Outside
 Water Supply: City of Watsonville
 Sewage Disposal: City of Watsonville
 Fire District: California Department of Forestry
 Drainage District: Zone 7 Flood Control/Water Conservation District

History

Pajaro Dunes North "Shorebirds" was originally developed under Planned Unit Development Permit

3445-U, a Use permit for a 310-unit condominium development and related accessory facilities and open spaces, approved by the Santa Cruz County Board of Zoning Adjustment on 12-17-69 (Exhibit L). The PUD was Amended by Application 82-355-PUD to permit sales and rentals of units from an on-site location; to permit seminars, and meal service/ preparation in existing structures (Lagoon House & Cypress House) and to establish Pajaro Dunes North Association as the permittee, by the Board of Supervisors on 2-6-83. A Minor Variation to PUD 82-355 was approved on 8-3-01, under Application 00-0665, to allow a portion of the Lagoon House to be used for real estate offices. A Coastal Development and Grading Permit for temporary stockpiling of riprap materials for repairs to the seawall was approved as Application 00-0752 on 12-6-02. This current application was accepted by the Planning Department on 5-11-04 and deemed complete for processing on 4-15-05.

Project Setting

Pajaro Dunes North "Shorebirds" is located in the San Andreas Planning Area and is approximately 40 acres in area. About 15 acres is developed with the condominiums and open space of the sand dunes around them, with additional common area of 26 acres for the roadways, lagoon area, tennis courts, community buildings and support facilities. The parcel which is the subject of this application, APN 052-381-04, 3.7 acres in area, is developed with 10 tennis courts with a pro shop, parking areas, and the Leo Ruth Cypress House. The total Pajaro Dunes North PUD is developed with an ~~entry~~ Gate House office, 309 condominium units in 9 separate multi-story buildings, a maintenance building, two community buildings (Cypress and Lagoon Houses) tennis courts and parking areas (Exhibit K). The site is immediately adjacent to a County owned, undeveloped park zoned site, APN 052-381-05, with a 15-foot public access easement to the beach across the subject parcel and APN's 052-381-03 and 052-391-37, established under the original Use Permit 3445-U (Exhibit L).

Topographically, these properties are relatively level. Vegetation consists of native coastal grasses and suburban landscaping. The Watsonville Slough is to the east of the subject parcel, and a lagoon is a part of the common area to the northwest. The site carries a floodplain designation which requires elevation of any new structures above anticipated levels of flood waters as determined by the Geological Hazards Assessment for the property (Exhibit H). Beyond the slough is commercial agricultural land use.

Project Description

The proposed project is to construct a flood plain elevated, one-story office building of 4,320 square feet for the Pajaro Dunes Company staff and to serve as the rental agency and sales office for vacation rentals, unit sales, and seminar/conference registration (Exhibit M). The new structure is to be built on the site of two existing tennis courts, adjacent to the parking lot and next door to the existing Leo Ruth Cypress House community building of 2,240 square feet. The building will include five offices, a workroom, a conference room, a lunchroom, a waiting lobby, a ~~gift~~ shop, a seminar room, and two restrooms (Exhibit A). The exterior surface of the building shall be of wooden shingles and have a dimensional mansard roof, consistent with existing condominium development. The parking lot shall be repaired and re-striped and new landscaping shall be installed.

An existing real estate office located in the Lagoon House will be removed from the annex area and the use converted back to common use for Pajaro Dunes North. Site signage shall be replaced to

reflect existing conditions and repaired and replaced as per Exhibit P. A temporary trailer shall be used as office space during construction of the proposed office building and removed from the site after final inspection.

Zoning & General Plan Consistency

The subject property is a 3.7-acre parcel, located in the PR (**Parks & Recreation**) zone district, a designation that allows office uses for recreational support as per County Code Section 13.10.352. The proposed office building is located on the site to be consistent with PR site standards with the exception of the 28-foot height limit. A variance to allow a 34 foot height is recommended due to the required flood plain elevation to 14 feet above mean sea level (Exhibit I), and architectural features to provide visual interest and conceal roof-mounted mechanical equipment for the office building. The proposed 4,320 square foot building will require 22 parking spaces, as per County Code Section 13.10.552 with parking areas resurfaced, re-striped and landscaped (Exhibit A). Replacement signage is proposed (Exhibit P), consistent with County Code Section 13.10.582. A temporary trailer is to be utilized during construction of the proposed office building. As per County Code Section 13.10.683, the trailer is to be removed from the site within 15 days of the final inspection of the proposed office building.

The project is consistent with the site's (O-R) Open Space/Recreation General Plan designation in that the provision of real estate rental properties that provide coastal recreational facilities for visitors is a priority of use within the coastal zone as per General Plan Policy 2.22.1.

Local Coastal Program Consistency

The proposed office building is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding Planned Unit Development and public park sites. The project site is located between the shoreline and the first public road but is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water. The existing 15-foot wide public access easement to the beach crossing the subject parcel (APN 052-381-04) is not obstructed by any proposed development, consistent with General Plan Policy 7.7.10. The project is consistent with the General Plan Objective 7.7a, b, and c that call for maximization of public use and enjoyment of coastal resources for all people, including those with disabilities, while protecting those resources from the adverse impacts of overuse. Public access is available at **Palm** State Beach in the immediate project vicinity.

Design Review

The proposed office building complies with the requirements of the County Design Review Ordinance Chapter 13.11, and Coastal Zone Design Criteria 13.20.130 in that the proposed project will incorporate site and architectural design features such as the use of natural materials and colors, consistent with the condominiums and other two community buildings, and maintenance and upgrading of existing landscaping to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape (Exhibit Q). Signs shall be of materials, scale and location to harmonize with surrounding elements (Exhibit P).

Environmental Review

Environmental review has not been required for the proposed project per the requirements of the California Environmental Quality Act (CEQA). The project qualifies for ~~this~~ exemption as the project is new construction of a small structure. A Geologic Hazards Assessment was completed for the project (Exhibit I), which requires that the structure be elevated at least 14 feet above mean sea level to comply with Chapter 16.10 of the County Code. The existing parcel is connected to an existing County maintained road, Shell Road, and is served by existing water and sewer utilities by the City of Watsonville.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- ADOPTION of the attached resolution (Exhibit R) and forward a recommendation of approval to the Board of Supervisors of Application Number 04-0209, based on the attached findings and conditions (Exhibits B and C).

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

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Report Reviewed By: Cathy Graves
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Principal Planner
Development Review
Santa Cruz County Planning Department

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts, other than the Special Use (SU) district, listed in section 13.10.170(d) as consistent with the General Plan and Local Coastal Program LUP designation.

This finding can be made, in that the property is zoned PR (Parks & Recreation), a designation which allows recreational support office uses as per County Code Section 13.10.352. The proposed office building is **an** allowed use within the zone district, consistent with the site's (O-R) Open Space/Recreation General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that the proposal does not conflict with any existing easement or development restriction. The existing 15-foot public access easement required by the original PUD 3445-U (Exhibit K) on the south property line which connects the undeveloped County property to the beach remains unobstructed, as does the 15-foot City of Watsonville public utility easement which bisects the subject parcel, AFN 052-381-04.

3. That the project is consistent with the design criteria and special use standards and conditions of **this** chapter pursuant to section 13.20.130 et seq.

This finding can be made, in that the development is consistent with the surrounding Planned Unit Development in terms of architectural style, exterior materials, and the colors, which shall be natural in appearance and complementary to the site (Exhibits A & Q). The development is not visible from the beach as it is located behind existing mature landscaping and the 309 condominium units in 9 separate structures, which are located between the project and the beach. The dunes are about 22 feet above sea level where the project site is about 7 feet above sea level. There shall be minimal site disturbance as the project will be sited in the location of two existing asphalt surfaced tennis courts. Signage shall minimize disruption of the scenic qualities of the area.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the General Plan and Local Coastal Program land use plan, specifically Chapter 2: figure 2.5 and Chapter 7, and, as to any development between and nearest public road and the sea or the shoreline of any body of water located within the coastal zone, such development is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act commencing with section 30200.

The project site is located between the shoreline and the first public road, immediately adjacent to the public lands of the State of California Palm Beach. The recreational support office building will not interfere with public access to the beach, ocean, or any nearby body of water in that it does not obstruct the existing 15-foot wide public access easement connecting the vacant County site to the beach at the southern property boundary, consistent with General Plan Policy 7.7.10, protecting public beach access. **Further**, the project site is not identified as a priority acquisition site in the County Local Coastal Program. The project is consistent with General Plan/LCP

Objective **2.16** in that it enables a means to provide for a variety of temporary residential uses in rural areas that provides for visitor needs while preserving the unique environmental settings that attract visitors to Santa Cruz County and protect residential communities in the County.

5. That the proposed development is in conformity with the certified local coastal program.

This finding can be made, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Because the one-story structure is required to be elevated a minimum of **14** feet above mean sea level, it exceeds the maximum 28-foot height limit due to architectural features connected with the roofline and requires a variance. Recreational support office uses are allowed uses in the PR (Parks & Recreation) zone district of the area, as well as the General Plan and Local Coastal Program land use designation. Size and architectural styles vary widely in the area, and the design submitted is not inconsistent with the existing range.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for recreational support office uses and is not encumbered by physical constraints to development. Construction will comply with prevailing building technology, the Uniform Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. The proposed building will not deprive adjacent properties or the neighborhood of light, air, or open space, in that the structure meets all current setbacks that ensure access to light, air, and open space in the neighborhood. All signage shall be consistent with County Code Sections 13.10.582 and 13.20.130. Signs shall minimize disruption of the scenic qualities of the coastal resource and shall not be directly lighted. The temporary trailer shall be removed from the site within 15 days of final inspection of the office project as per County Code Section 13.10.683.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the office building and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the PR (parks & Recreation) zone district in that the primary use of the property remains residential with the office building providing a means to support visitor accommodations utilizing existing condominiums rented to the public on a temporary basis (Exhibit N). Relocation of the real estate office to the new structure also allows all of the 3,168 square foot Lagoon House to resume common use for the Pajaro Dunes North Association (Exhibit M).

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area

This finding can be made, in that the proposed office use is consistent with the use and density requirements specified for the Open Space/Recreation (O-R) land use designation in the County General Plan.

The proposed recreational support office building will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and subject to approval of the height variance, meets all current site and development standards for the zone district as specified in Policy 8.1.2 (Design Review Ordinance), in that the office building will not adversely shade adjacent properties, and will meet current setbacks for the zone district that ensure access to light, air, and open space in the neighborhood.

The proposed office building will not be improperly proportioned to the parcel size or the character of the neighborhood **as** specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed building will comply with the site standards for the PR zone district (including setbacks, lot coverage, floor area ratio, and number of stories, and height subject to variance approval) and will result in a structure consistent with a design that could be approved on any similar parcel in the Vicinity.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed recreational support office building is to be constructed on the site of two existing tennis courts, adjacent to the Leo Ruth Cypress House community building. The expected level of traffic generated by the proposed project is not anticipated to adversely impact existing roads and intersections in the surrounding area of Beach Road. Adequate parking is provided on the site (Exhibit A). 143 parking spaces are provided on the site, with 22 spaces specifically designated for this structure based upon parking standards as set forth in County Code Section 13.10.552.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a ~~coastal~~ planned unit development consisting of 9 multi-story buildings with 309 separate condominiums and two community buildings. The site is immediately adjacent to public park lands, including Palm Beach State Park and a vacant County site, and commercial agricultural lands. The proposed architectural style and exterior materials is consistent with the PUD.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076 and 13.20.130), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed office building will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area. The exterior materials and colors are complementary to adjacent multi-story condominiums and community buildings.

Variance Findings:

1. That because of special circumstances applicable to the property, including size, shape, topography, location, and surrounding existing structures, the strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

The special circumstances applicable to the property are the location of the proposed development within an area designated as a floodplain (Exhibit I) which requires flood proofing to an elevation of at least 14 feet above mean sea level. The proposed development is to be clustered with an existing community building (Leo ~~Ruth~~ Cypress House) on the parcel, enabling minimal site disturbance for utility connections and access to existing driveways and parking facilities. The proposed height of 34 feet to the top of the roof structure on the one story building includes an at grade elevation of 7 feet above mean sea level with the finish floor at 16 feet, roof elevation at 26 feet 9 inches, and the top of the roof at 34 feet. The additional height includes architectural features to screen roof mounted mechanical equipment. The additional height also enables accessibility ramps to appear less imposing on the taller structure (Exhibit A). The proposed building maintains a 20-foot separation from the adjacent community building. Variance to the strict application of the zoning ordinance would result in beneficial architectural modulation of exterior design elements given the flood elevation requirements of the site.

2. That the granting of a variance is in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety or welfare, or injurious to property or improvements in the vicinity.

The granting of the variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity in that the proposed variance will allow the one story building to be elevated above the flood level and will provide flexibility in design of the exterior roofline to allow modulation of the exterior elements to minimize the visual impact of ramps and add interest to the building silhouette. The additional height shall not cause any sight distance problems along traveled right-of-ways at Pajaro Dunes North. The 20-foot separation from the adjacent Cypress House community building is sufficient to provide access to light, solar access and air. The proposed project is not visible from the public beach due to its location behind the row of multi-story condominiums (Exhibit Q), and existing mature vegetation mitigate visibility of the roofline from Beach Road, a designated scenic road as per General Plan policy 5.10.10.

3. That the granting of such variances shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.

The granting of a variance to allow the top of the roof structure of the one story recreational support office building to be 34 feet rather than 28 feet will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated in that site has been developed as a Planned Unit Development with unique design features approved under 3445-U. Other properties in the vicinity of Palm Beach, with unique coastal locations and similar parcel configurations and existing development would be given similar

consideration, as with the Pajaro Dunes South development created under 74-400-PUD. Construction shall be consistent with the required building permit. Furthermore, no ~~further~~ departures from applicable development standards, e.g. a variance to the required on-site parking which would negatively impact the surrounding neighborhood, are necessary ~~or~~ have been proposed.

Planned Unit Development Permit Findings

1. That the proposed location of the uses are in accordance with the objectives of the County Code and the purposes of the district in which the site is located;

The proposed location of the recreational support office is consistent with the Parks, Recreation and Open Space District (PR) in that it will help to provide optimal utilization of existing commercial recreational opportunities which aid in the conservation of open space, continued public access to coastal resources, and proper protection and management of natural resources in the county as per County Code Section 13.10.351. It is recognized that provision of coastal visitor accommodations in existing residential development is a major component in the county's economy (Exhibit N).

2. That the proposed location of the Planned Unit Development and the conditions under which it would be operated or maintained will not be detrimental to the public's health, safety or welfare, or materially injurious to properties or improvements in the vicinity;

The existing 40-acre Shorebirds (Pajaro Dunes North) PUD was created in 1969 under 3445-U and under continuous operation has not proven to be detrimental to the public health, safety or welfare or to improvements in the vicinity. The proposed real estate rental/sales office use was originally permitted under 82-355-PUD and over the years has relocated from the Gate House Entry to the Lagoon House and the tennis court pro shop. This current proposal to consolidate real estate functions to one central location will allow the Lagoon House community building to revert to its intended community use.

The proposed office building will remove two tennis courts from use. Pajaro Dunes property management has indicated that the remaining courts adequately serve residents. Mitigations for the loss of the two courts with supplementary recreational opportunities on the site are recommended.

3. That the proposed Planned Unit Development will comply with each of the applicable provisions of this chapter;

The existing PUD and proposed amendment thereto is consistent with both the General Plan/Local Coastal Program and County Ordinances. See Development Permit Findings above.

4. That the standards of dwelling unit density, site area and dimensions, site coverage, yard spaces, heights of structures, distances between off-street loading facilities and landscaped areas will produce a development that is compatible with and integrated into the surrounding built environment consistent with the objectives of the County Code;

Existing development for the PUD has been found to be compatible with the natural environment. This proposed Amendment has been reviewed and found to be consistent with Chapter 13.11, Site, Architectural and Landscape Design Review. Subject to the approval of the Variance for the height of the structure due to flood elevation requirements, the project is consistent with development regulations of County Code Section 13.10.352 and the objectives of the County Code to provide for commercial recreational facilities and uses which aid in the conservation of open space in the County by optimizing the utilization of existing resources.

5. That the standards of dwelling unit density, site coverage, yard spaces, heights of structures, distances between structures, off-street parking, and off street loading facilities will be such that the development will not generate more traffic than the streets in the vicinity can carry and will not overload utilities;

The proposed development for rental and sale offices for Pajaro Dunes North will utilize existing roads and utility infrastructure. 22 parking spaces are required for the office, and this is provided in lots immediately adjacent to the site (Exhibit A).

6. That the combination of different dwelling and/or structure types and the variety of land uses in the development will complement each other and will harmonize with existing and proposed land uses, structures, and the natural environment in the vicinity;

The original PUD called for 310 condominium units, 2 community buildings, a maintenance building, tennis court pro-shop and gate-house. Rental/sales offices have been provided at alternative sites over the years, but this proposal to consolidate that function will allow the community buildings (Lagoon and Cypress Houses) to revert to their intended use. The recreational support office facilitates rental of condominiums to visitors, consistent with providing coastal access visitor accommodations.

7. That the degree of departure from the required development and density standards is roughly proportional to the benefits provided to the neighborhood and/or the community in which the Planned Unit Development is located; and

Subject to the approval of the height variance, the proposed office building is consistent with required development standards.

8. That the proposed development is consistent with the General Plan/Local Coastal Program Land Use Plan.

See Development Permit Findings 2 & 3 above.

Conditions of Approval

Exhibit A: Project Plans 6 sheets, Bill Gould Architecture, dated 4/12/04 revised 2/11/05, 5/2/05
Drainage & Erosion Control Plan, Haro/Kasunich Inc., dated 5/18/04 revised 1/25/05
Landscape Plan, SSA Landscape Architects, dated 8/04/04 revised 2/08/05, 5/2/05

- I. This permit authorizes the construction of an office building and replacement signage and recognizes installation of a temporary trailer. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit for the temporary trailer and for the office from the Santa Cruz County Building Official.
 - C. Obtain a Grading Permit from the Santa Cruz County Building Official if grading volumes exceed 100 cubic yards.
 - D. Obtain an Encroachment Permit from the Department of Public Works for any off-site work, such as signage, performed in the County road right-of-way of Shell Road.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder).
 - B. Submit Final Architectural Plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. The final plans shall include the following additional information:
 1. Identify finish of exterior materials and color of roof covering for Planning Department approval. Any color boards must be in 8.5" x 11" format.
 2. A detailed erosion control plan shall be submitted for review.
 3. A detailed grading plan shall be submitted for review. Give details of imported fill material should it be required for engineered fill. Note that the amount of fill may not exceed 50 cubic yards.
 4. An engineered foundation plan is required. This plan must incorporate the design recommendations of the soils engineering report.

5. Final plans shall show the drainage system as detailed in the soils engineering report.
6. For any structure proposed to be within 3 feet of the maximum height limit for the zone district, the building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site which clearly depict the total height of the proposed structure.
7. Details showing compliance with fire department requirements.
8. The final landscape plan shall show tree protection details for trees within the project disturbance area. The one eucalyptus tree, which is to be removed as identified on Sheet A1.01 is to be replaced with two 15-gallon size or larger Monterey Cypress trees within the vicinity of the tree removed. The replacement trees must be maintained in a healthy state in perpetuity. The location of the two replacement trees shall be shown on the site plan prior to building permit issuance.
9. Provide lighting details. All light, building, security and landscape lighting shall be directed onto the site and away from adjacent development. Light sources shall not be visible from adjacent properties. Light sources can be shielded by landscaping, structure, fixture design or other physical means. Building and security lighting shall be integrated into building design.
10. Any trash receptacles shall be screened.
11. Plans shall be consistent with all requirements of Chapter 11B of the 2001 California Building Code, ADA Accessibility requirements. Parking, slopes, walkways/paths of travel connecting adjacent buildings shall be shown on the plans and shall be consistent with all accessibility requirements.
12. Directional signage at the intersection of West Beach Road and Shell Road shall require an Encroachment Permit from Public Works. No commercial signage is permitted at this location (Exhibit 0, Location 1). The existing sign may be repaired/replaced but shall not be increased in size. Direction signs for off-street parking or other facilities shall not exceed four square feet. A free-standing sign detached from a building shall be of a design consistent with the architectural character of the building and shall be designed as an integral part of the landscaped area. Signs located on a wall or on a roof fascia shall be designed as an integral part of the building

design. Building signs shall be located on or below the upper line of the roof fascia. Signs and supports shall be set back a minimum of five feet from the edge of the right of way or roadway, whichever is greater, and shall not obstruct vehicular sight distance or pedestrian/bicycle circulation.

- C. Meet all requirements of and pay Zone 7 drainage fees to the County Department of Public Works, Drainage. Drainage fees will be assessed on the net increase in impervious area.
- D. Submit a recorded Maintenance Agreement for the proposed silt and grease trap to the Public Works Department, Drainage Division.
- E. Prior to building permit issuance, the soil engineer must submit a brief building, grading and drainage plan review letter to Environmental Planning stating that the plans and foundation design are in general compliance with the report recommendations. If, upon plan review, the engineer requires revisions or additions, the applicant shall submit to Environmental Planning two copies of revised plans and a final plan review letter stating that the plans, as revised, conform to report recommendations.
- F. The soil engineer must inspect all foundation excavations and a letter of inspection must be submitted to Environmental Planning and the building inspector prior to placement of concrete.
- G. For all projects, the soil engineer must submit a final letter report to Environmental Planning and the building inspector regarding compliance with all technical recommendations of the soil report prior to final inspection. For all projects with engineered fills, the soil engineer must submit a final grading report (reference August 1997 County Guidelines for Soils/Geotechnical Reports) to Environmental Planning and the building inspector regarding the compliance with all technical recommendations of the soil report prior to final inspection.
- H. The project must be in compliance with all requirements of the Geological Hazard Assessment (Exhibit I).
 - i) No development may occur within the floodway.
 - ii) The lowest finish floor and elements that function as a part of the structure such as a furnace or hot water heater must be elevated or the entire structure must be elevated or flood-proofed above the level of flooding anticipated during the 100-year flood event. At this site elevation or flood-proofing to an elevation of at least 14 feet above mean sea level must occur.
 - iii) The building plans must indicate the elevation of the lowest finished floor relative to mean sea level and native grade prior to issuance of a development permit and compliance with the elevation requirement must be certified in writing on an Elevation Certificate by a registered professional engineer, architect or surveyor prior to the final inspection of the structure.

- iv) The fully enclosed areas below the lowest floor that are subject to flooding shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters.
 - I. Complete and record a Declaration Regarding the Issuance of a Development Permit in an Area Subject to Geologic Hazards. **You may not alter the wording of this declaration.** Follow the instructions to record and return the form to the Planning Department.
 - J. Meet all requirements and pay any applicable plan check fee of the California Department of Forestry (CDF) Fire Protection District. This includes, but is not limited to provision of automatic fire sprinklers throughout, including the underside of the structure. The system is to be installed to 1999NFPA 13 standards. The building is to have the fire alarm installed to the requirements of the 2001 CFC and the Santa Cruz County Fire Marshal's Office. (Exhibit H).
 - K. A "Plan Review" letter from the project geotechnical engineer must be submitted to Environmental Planning prior to building permit issuance.
 - L. Pay the current fees for Parks and Child Care mitigation for Category II non-residential uses. Currently, this fee is \$0.23/sq.ft.
 - M. Provide required off-street parking for 22 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - N. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. An Elevation/Flood-proofing Certificate will be mailed to the property owner. A state-registered engineer or licensed architect must complete this certificate by indicating the elevation to which flood-proofing was achieved before a final

building inspection of the structure can occur.

- E. Comply with Coastal Act Section 30222, Private Lands for Visitor Serving Commercial Recreational Facilities, in providing mitigation for the loss of tennis court facilities with alternative recreational opportunities on the site, such as providing a jogging trail, improving the public access easement, or providing interpretive wildlife information signage.
- F. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100 shall be observed.
- G. Within fifteen (15) days of final inspection clearance for the office building, the permittee shall cease use of the temporary mobile home, disconnect it from the water and other utility services, and remove it from the property.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
 - B. There shall be no encroachment onto the 15-foot wide pedestrian access easement dedicated for public use under Condition #8 of PUD 3445-U recorded in Book 2286 Page 593 which connects county owned parcel APN 052-381-05 to the beach lands of the State of California.
- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the

Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.

- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.
- E. Within 30 days of the issuance of this development approval, the Development Approval Holder shall record in the office of the Santa Cruz County Recorder an agreement, which incorporates the provisions of this condition, or this development approval shall become null and void.

Minor variations to **this** permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or ~~staff~~ in accordance with Chapter 18.10 of the County Code.

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Planning Commission, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 04-0209

Assessor Parcel Numbers: Common areas 052-381-03,-04; 052-161-15, -18, -20

Condos on APN 52- Books 39,40,41,45,46,47,48,49,50.

Project Location: Pajaro Dunes North, off Shell Road, at 101 Shell Road in Watsonville

Project Description: Proposal to construct an office building for the Pajaro Dunes North Association, Amending PUD 3445-U and 82-355-PUD.

Person or Agency Proposing Project: Ron Powers, AICP, Powers Land Planning, Inc.

Contact Phone Number: (831) 426-1663

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060(c).
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).

Specify type:

E. ☒ **Categorical Exemption**

Specify type: Class 3 - New Construction of small structures (Section 15303)

F. Reasons why the project is exempt:

Construction of a small **structure** where all necessary public services are available

In addition, none of the conditions described in Section 15300.2 apply to this project.


Joan Van der Hoeven, AICP, Project Planner

Date: May 25, 2005

TRANSMITTAL - LEVEL 5, 6 & 7

DATE _____

TO: support staff

FROM: Joan Van **der** Hoeven, AICP

RE: Application # 04-0209

PLEASE COMPLETE THE ITEMS CHECKED BELOW:

- ☐ Make ___ copies of the permit form and staff report, distribute as follows:
 - ☐ Distribute copies of **the** cover letter/permit/report/findings/conditions to Applicant & Owner
 - ☐ Mail a copy of the permit form and staff report to the California Coastal Commission
 - ☐ Appealable Project – Please mail **as soon as possible**, with the following instructions:
 - ☐ Send via certified mail
 - ☐ Send attached plans
 - ☐ District Supervisor _____ (via Inter-office mail)
 - ☐ Send other copies to: _____
 - ☐ **Return** original copies of cover letter/permit/report/findings/conditions to the planner.
- ☐ Send copy of permit conditions to: _____ (Local Fire District)
- ☐ Send copy of CEQA notice to **the** Clerk of the Board
 - ☐ Notice of Exemption
 - ☐ Notice of Determination/Negative Declaration
 - ☐ Certificate of **Fee** Exemption
- ☐ Send copy of Coastal Exclusion to Coastal Commission.
- ☐ Special instructions:
 - ☐ **Send** attached exhibit(s) to ☐ owner / ☐ applicant.
 - ☐ Send attached declaration(s) (and/or recordable conditions) to ☐ owner/ ☐ applicant
 - ☐ _____
 - ☐ _____

Completed by: _____
(support staff) (date)

Recording requested by:

COUNTY OF SANTA CRUZ

When recorded, return to:

Planning Department

Attn: Joan ~~Van~~ der Hoeven, AICP

County of Santa Cruz

701 Ocean Street

Santa Cruz, CA 95060

Conditions of Approval

Development Permit No. 04-0209

Property Owner: Pajaro Dunes North Association

Assessor's Parcel No.: 052-381-04

By signing below, the owner agrees to accept the terms and conditions of approval of Application 04-0209 and to accept responsibility for payment of the County's cost for inspections and all other action related to noncompliance with the permit condition. The approval of Application 04-0209 is null and void in the absence of the owner's signature below.

Executed on _____
(date)

Property Owner(s) signatures:

(Signature) (Print Name)

(Signature) (Print Name)

(Signature) (Print Name)

**ALL SIGNATURES ARE TO BE ACKNOWLEDGED BEFORE A NOTARY PUBLIC.
IF A CORPORATION, THE CORPORATE FORM OF ACKNOWLEDGMENT
SHALL BE ATTACHED.**

STATE OF CALIFORNIA, COUNTY OF SANTA CRUZ } ss

On _____ before me _____, personally
appeared _____
personally known to me (or proved to me on the basis of satisfactory evidence) to be the
person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that
he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their
signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s)
acted, executed the instrument.

WITNESS my hand and official seal

Signature _____
(Signature of Notary Public)

This form must be reviewed and approved by a County Planning Department staff person after notarization and prior to recordation.

Dated: _____

COUNTY OF SANTA CRUZ

By: _____
Planning Department Staff



County of Santa Cruz Planning Department

Steps for Completing and Recording the Conditions of Approval for this Permit

1. Review all of the information on the document to be recorded. The property owner is responsible for reviewing **all** of the entered information, including the Assessor's Parcel Number (APN), site address, owner's name(s), previous owner(s), document number(s), and recording dates. If any of this information is found to be incorrect, notify the Planning Department of the inaccuracy **prior** to recording the document. If necessary, a corrected version of the document will be prepared at the owner's request.
2. Obtain the signature(s) of **all** property owners. Signatures must be verified by a notary public. The County has a notary public and/or the phone book lists several.
3. **Bring** the notarized form into the Planning Department for review and signature by a Planning Department staff person prior to recording. Please ask the receptionist for assistance in obtaining a signature, please do not sign on to the waiting list for **this** purpose.
4. In order to save the photocopy costs (see below), you may bring along your own copy or copies (as well as the original) to the Recorder's Office which they will stamp for free.
5. Have the form recorded in the County Recorder's **Office, Room 230**, and have a photocopy made with the recorder's stamp on it, or have your COPY certified. There **is** a fee for the photocopy. Please contact the Recorder's Office regarding their fees & hours of operation at: **(831) 454-2800**. **Note: Do not record this instruction form with your recordable documents.**
6. The copy may be mailed directly to the Planner or routed to the planner through the Planning reception desk as you step off the elevator on the 4th floor.
7. The original stamped recorded document will be sent to the Planning Department in **3-5** weeks and placed in permanent **records**.

Your building application will not be approved by the planning department, and your use may not begin until steps 1-6 have been completed.

PAJARO DUNES OFFICE BUILDING PLANNING DEPARTMENT SUBMITTAL

APN: 052-381-04

WATSONVILLE, CALIFORNIA

<p>PAJARO DUNES OFFICE BUILDING</p> <p>USE: OFFICE BUILDING APN # 052-381-04</p> <p>TOTAL SQUARE FOOTAGE: (R) BUILDING: 4,320 SQ. FT.</p> <p>PARKING ANALYSIS</p> <p>PARKING PROVIDED UPPER & LOWER LOTS: 142 SPACES PARKING REQUIRED PER TRACT NO 643 BLOCK 16: 78 SPACES TOTAL NEW OFFICE PARKING REQUIRED: 22 SPACES EXCESS PARKING PROVIDED FOR COMMUNITY/RESIDENTIAL USE: 44 SPACES</p>		<p>PAJARO DUNES OFFICE BUILDING</p> <p>USE: OFFICE BUILDING APN # 052-381-04</p> <p>TOTAL SQUARE FOOTAGE: (R) BUILDING: 4,320 SQ. FT.</p> <p>PARKING ANALYSIS</p> <p>PARKING PROVIDED UPPER & LOWER LOTS: 142 SPACES PARKING REQUIRED PER TRACT NO 643 BLOCK 16: 78 SPACES TOTAL NEW OFFICE PARKING REQUIRED: 22 SPACES EXCESS PARKING PROVIDED FOR COMMUNITY/RESIDENTIAL USE: 44 SPACES</p>	
<p>ARCHITECTURAL</p> <p>AD-01 TITLE SHEET AD-02 SITE PLAN AD-03 FLOOR PLANS AD-04 EXTERIOR ELEVATIONS AD-05 EXTERIOR ELEVATIONS</p> <p>CIVIL</p> <p>1 DRAINAGE & EROSION CONTROL PLAN 2 DRAINAGE & EROSION CONTROL PLAN</p> <p>LANDSCAPE</p> <p>1-10 LANDSCAPE PLAN</p>		<p>PROJECT INFORMATION</p> <p>2</p>	
<p>GENERAL DIAGRAM EXHIBIT</p> <p>APPROVED PLAN EXISTING / PROVIDED 112</p> <p>LOWER LOTS A, B, C, D, E REPRESENT NON-RESIDENTIAL PARKING AREAS</p>		<p>SHEET INDEX</p> <p>3</p>	
<p>GOVERNING CODES</p> <p>7</p>		<p>CODE INFORMATION</p> <p>6</p>	
<p>CONSTRUCTION TYPE V N OCCUPANCY TYPE B FLOOR AREA 4,320.00 SFT NO. OF STORIES 1</p>		<p>LOCATION MAP</p> <p>1</p>	
<p>GENERAL DIAGRAM EXHIBIT</p> <p>APPROVED PLAN EXISTING / PROVIDED 112</p> <p>LOWER LOTS A, B, C, D, E REPRESENT NON-RESIDENTIAL PARKING AREAS</p>		<p>VICINITY MAP</p> <p>4</p>	

EXHIBIT A

**BILL GOULD DESIGN
ART & ARCHITECTURE**

204 Alhambra Rd.
San Jose, CA 95131
Tel: 408.221.8871
Fax: 408.221.8865

Standard Notes

Scale

North Arrow

Property Line

15' R.O.W. LINE

N 53°43'30" E 477.36

PUBLIC ACCESS EASEMENT

15' OF 8" P.V.C.

LANE AREA

S 43°42'30" E 151.13

S 70°15'00" E 163.54

CONC. BOX JET. WALL

25' 0" 25.0

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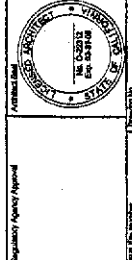
**PAJARO DUNES
OFFICE BUILDING**

MONTEREY BAY, CALIFORNIA

APRIL 2002-30-04

No.	Description	Date
1	Revised/Revised	04/11/02
2	Revised/Revised	04/11/02
3	Revised/Revised	04/11/02
4	Revised/Revised	04/11/02
5	Revised/Revised	04/11/02

**SITE PLAN
EXISTING**



A 1.01

Project No. 87014

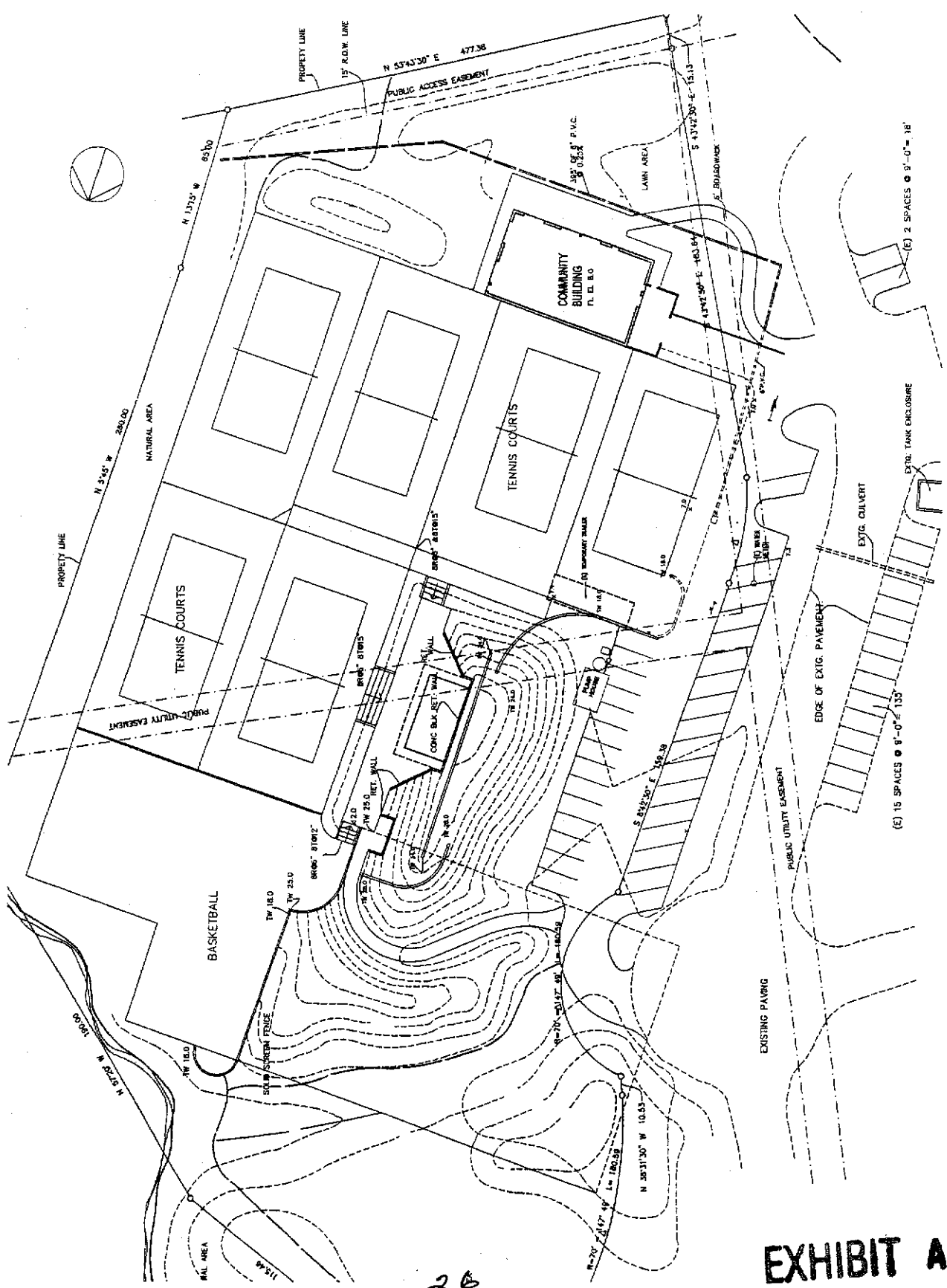
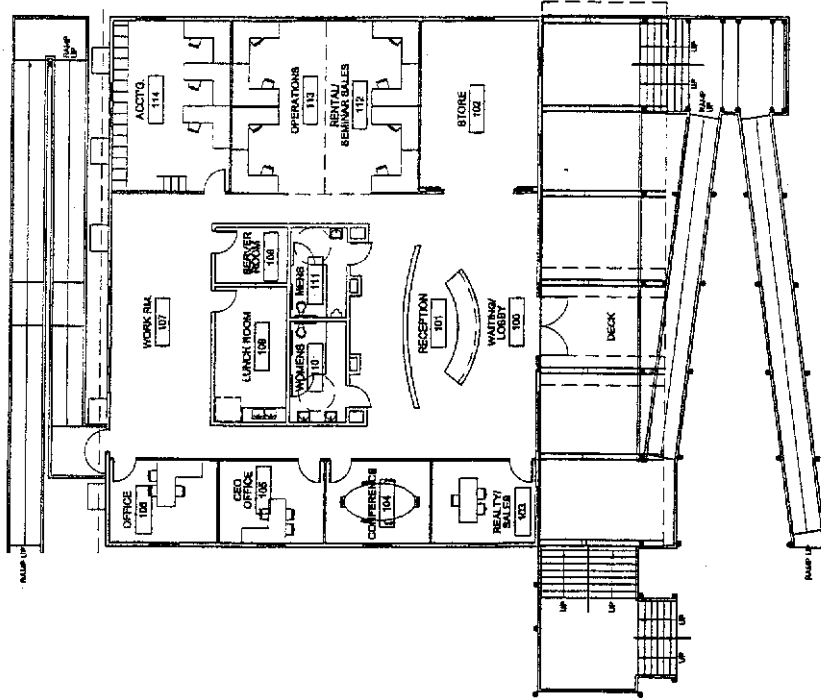


EXHIBIT A

1 SITE PLAN



**PAJARO DUNES
OFFICE BUILDING**
MONTEREY BAY, CALIFORNIA
APN: 003-381-04

Project No.

Key Plan

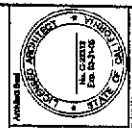
Rev	Description/Architect	Date
1	Planning/Revised	05.11.08
2	Planning/Revised	05.24.08
3	Planning/Revised	06.02.08
4	Planning/Revised	06.02.08

Drawing No.

FLOOR PLANS

Regulatory Agency Approval

Architect Seal



000017 Bill Gould

000017 Bill Gould

A 2 01

**BILL GOULD DESIGN
ART & ARCHITECTURE**

304-A Unibridge Rd.
San Jose, CA 95111
Tel: 408.224.8801
Phone: 408.224.8800

Client: Billings

**PAJARO DUNES
OFFICE BUILDING**
MONTEREY BAY, CALIFORNIA
APN: 053-381-04

1	Foundation/Retaining	06.11.06
2	Planning/Design	06.11.06
3	Permitting/Construction	06.11.06
4	Permitting/Construction	06.11.06
5	Permitting/Construction	06.11.06

ELEVATIONS

Architect Seal
Bill Gould
No. 22318
Exp. 12/31/06

Regulatory Agency Approval

008 Pgs. Number

0001 Application Number

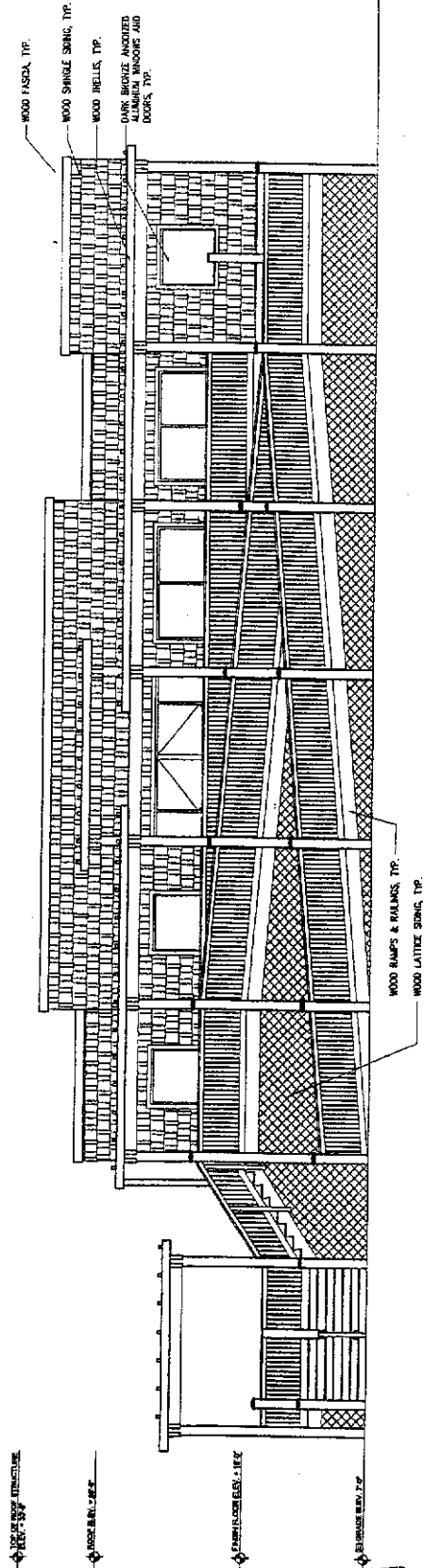
Project No. 87014

Date 06.02.06

A 4.01

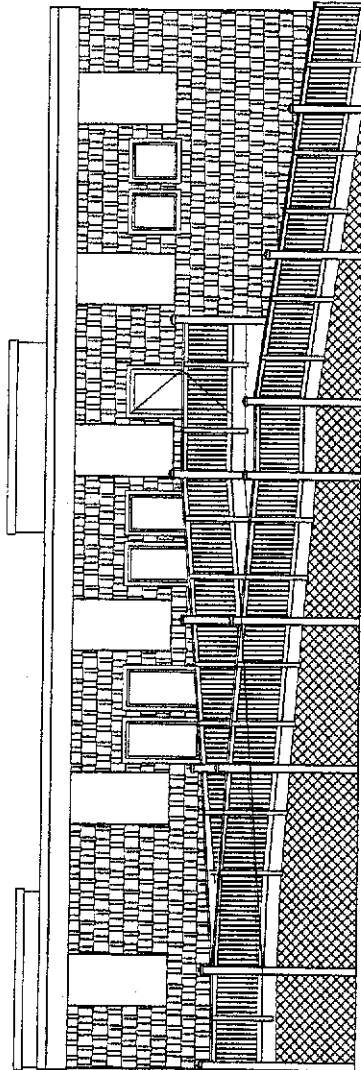
1 WEST ELEVATION SCALE: 1/4" = 1'-0"

29



2 NORTH ELEVATION SCALE: 1/4" = 1'-0"

EXHIBIT A

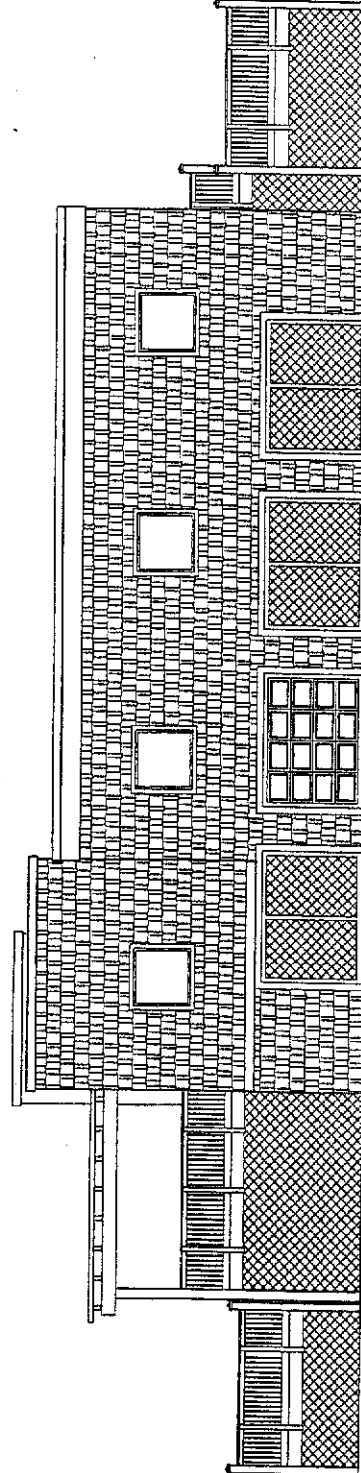


1 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

30

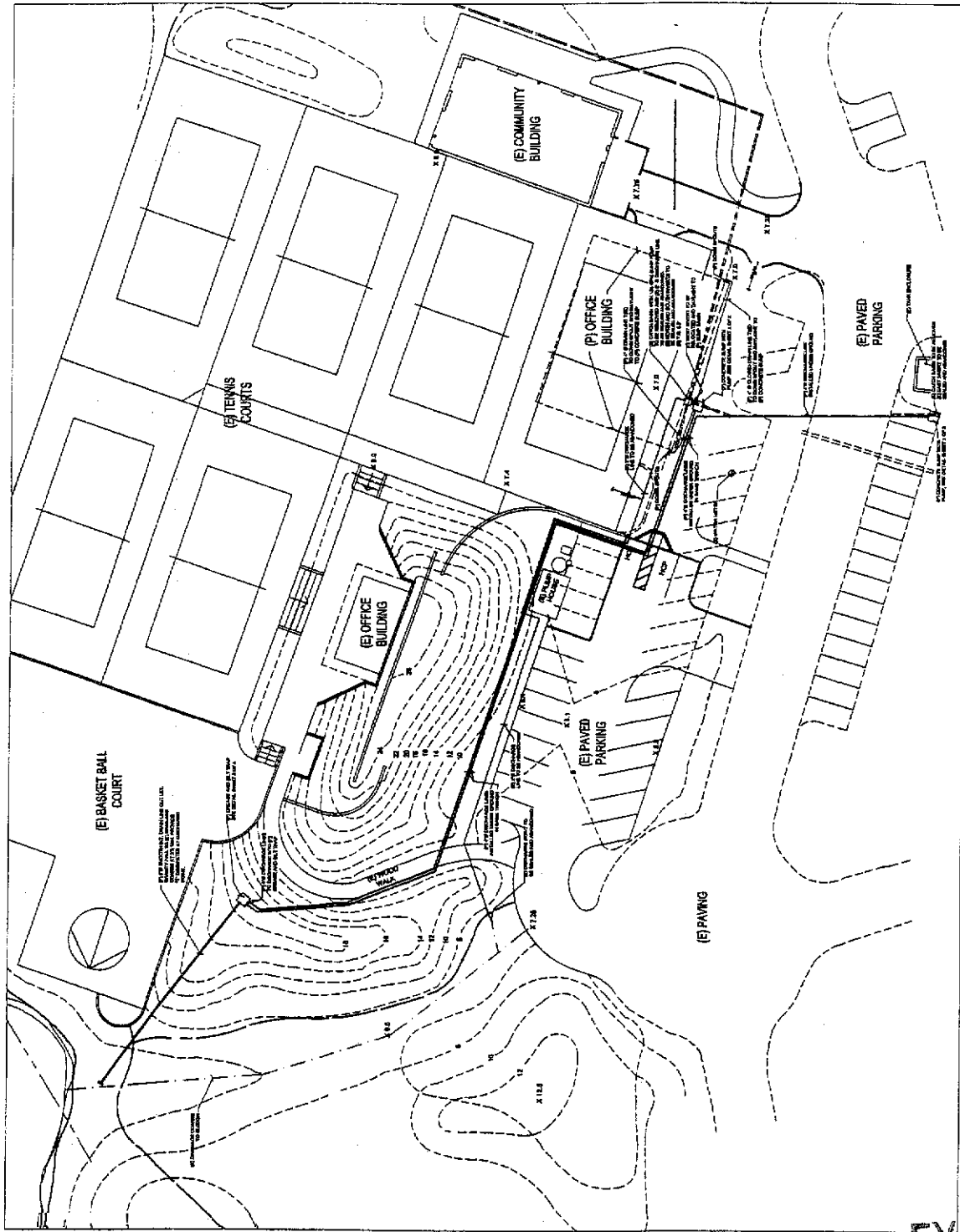
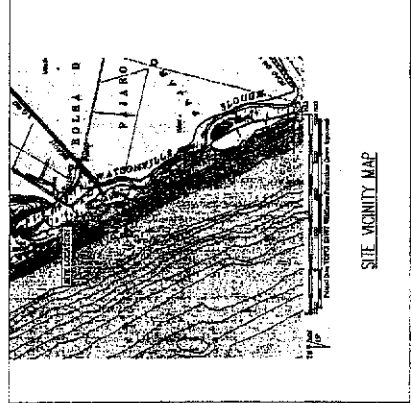
No.	Description	Date
1	Planning & Research	05.11.02
2	Design Development	05.11.02
3	Preparation of Construction Documents	05.11.02
4	Construction Administration	05.11.02



2 EAST ELEVATION

SCALE: 1/4" = 1'-0"

EXHIBIT A



SITE PLAN
SCALE 1"=20'

Contractor shall notify County of Santa Cruz Erosion Control / Grading Division (454-3168) at least 48 hours before any earthwork is begun.

If the proposed earthwork is performed during or shortly after the rainy season, the grating contractor may encounter compaction difficulty, such as pumping or bringing free water to the surface, in the upper surface. Compaction and stabilization of the soil may not be achieved after adjusting the soil moisture content. It may be necessary to over-excavate the subgrade soil and replace it with angular crushed rock to stabilize the subgrade. We estimate that the depth of over-excavation would be approximately 24 inches under these adverse conditions.

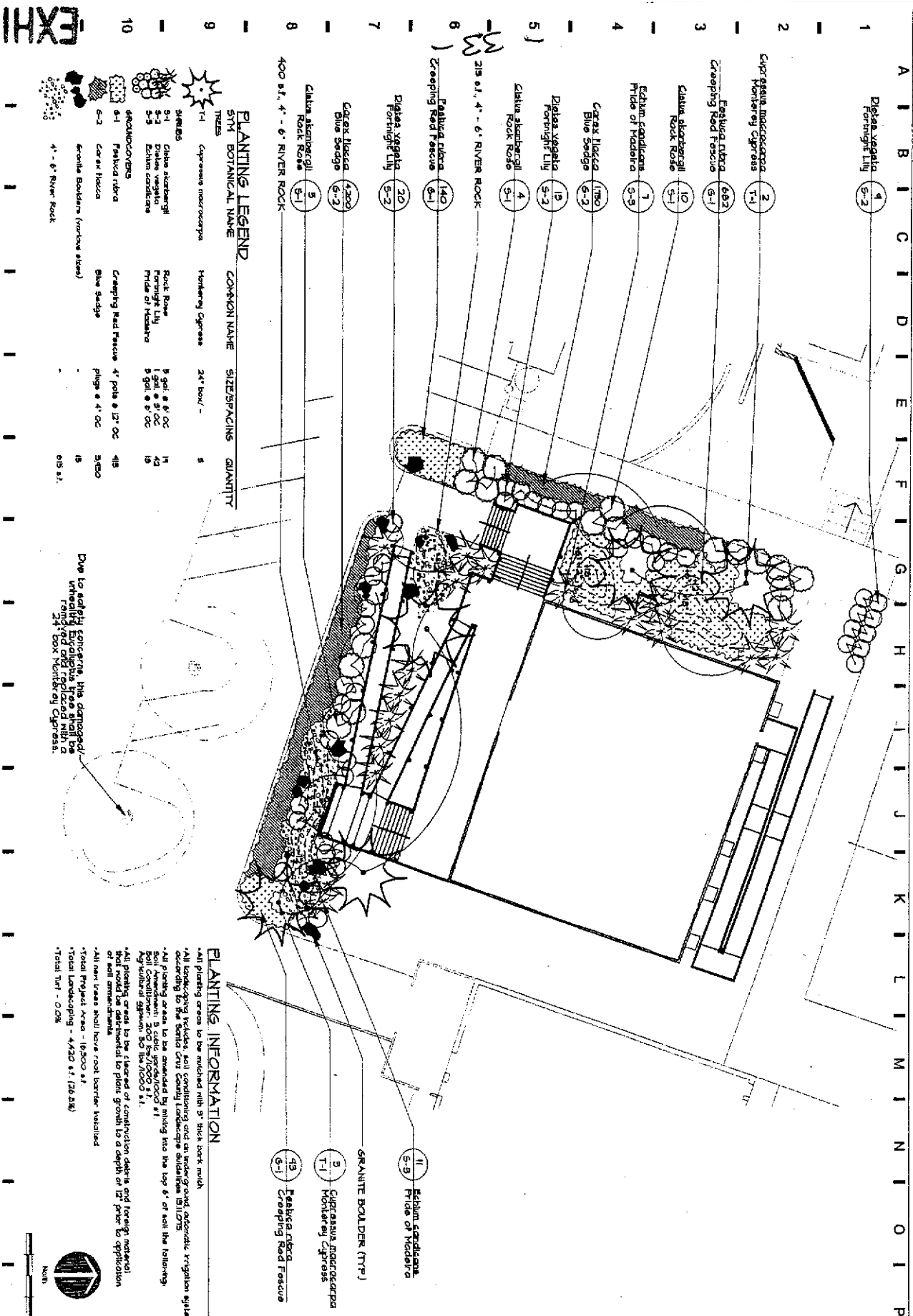
The existing catch basins and their connected drain lines shall be removed, replaced and/or amended, as shown on the Site Plan (Sheet 1 of 2).

The proposed concrete sump, grease trap and their discharge lines shall be installed as shown on the Site Plan (Sheet 1 of 2) and Details (Sheet 2 of 2).

The proposed sump area shall be graded such that runoff is directed toward the proposed sump location.

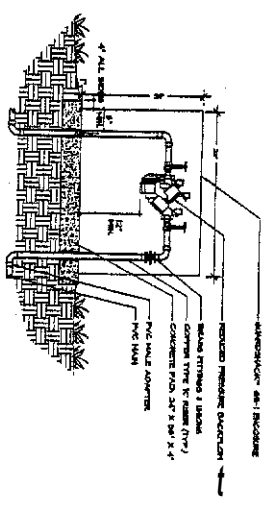
Root cutters and drain spoons should be limited on the proposed office in the down spout and discharge into a closed drain line that is immediately after a sink across the grease trap, sumps and pumps.





SSA LANDSCAPE ARCHITECTS 2500 N. 1st Street, Suite 100 San Jose, CA 95131 Tel: (408) 281-1111 Fax: (408) 281-1112		LANDSCAPE PLAN PALERO DUNES OFFICE BUILDING 101 Shell Drive Watsonville, CA 95076		REVISIONS DATE DESCRIPTION 5-2-06 Revision #1		DRAWING ISSUED DATE PURPOSE BY 5-4-04 SUBMITTAL JAC 2-1-05 Client Review JAC 2-4-05 Submit JAC	
PROJECT: 20420		SCALE: 1" = 10'-0"		SHEET TITLE: LANDSCAPE PLAN		SHEET NUMBER: L-1.0	

A B C D E F G H I J K L M N O P



BACKFLOW DEVICE

N.T.S.

A

REMOTE CONTROL VALVE

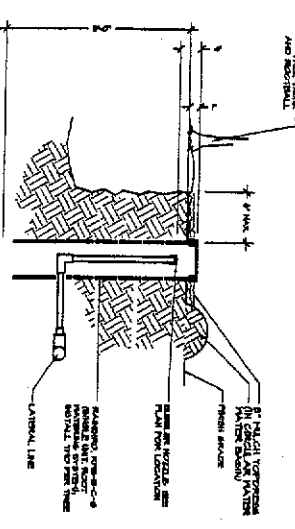
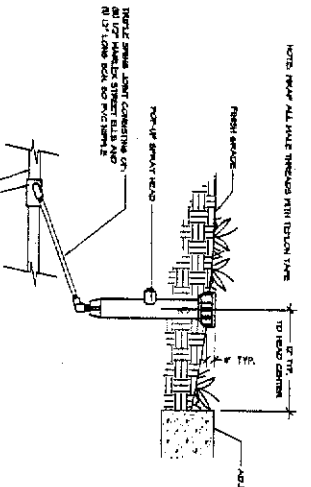
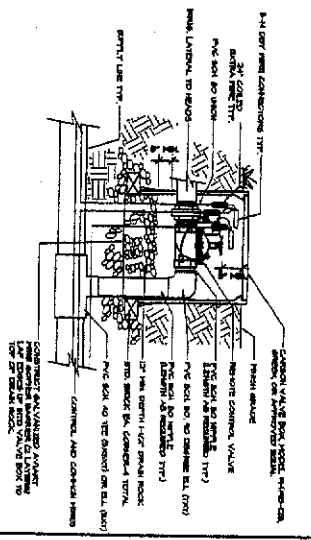
N.T.S.

B

POP-UP SPRAY HEAD

N.T.S.

C



BARBER ASSEMBLY

N.T.S.

D

BALL VALVE

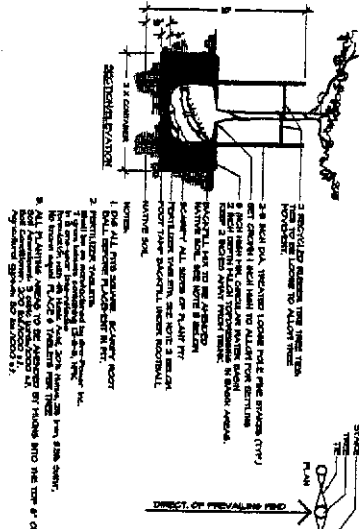
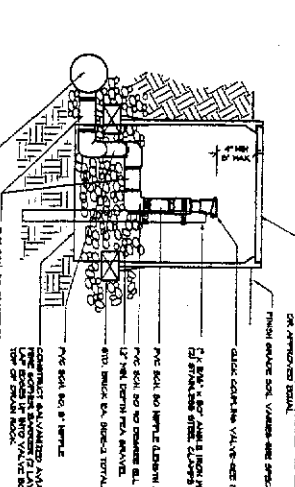
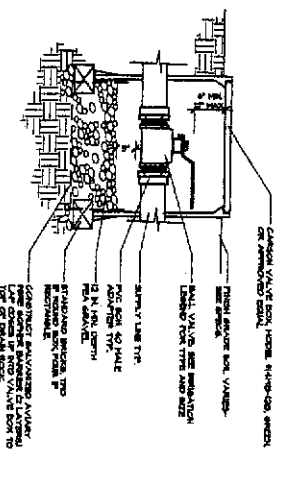
N.T.S.

E

QUICK COUPLER

N.T.S.

F



TREE PLANTING

N.T.S.

6

ROOT BARBER

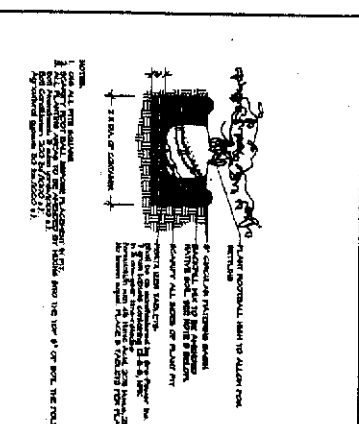
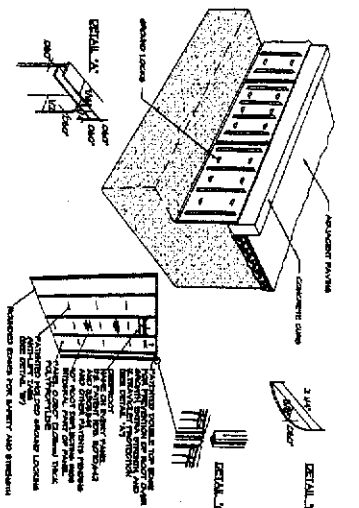
N.T.S.

H

SHRUB PLANTING

N.T.S.

I



PLANTING & IRRIGATION DETAILS
PAJARO DUNES OFFICE BUILDING
101 Shell Drive
Watsonville, CA 95078

REVISIONS
DATE DISCOP.
DATE DISCOP.



SSA LANDSCAPERS ARCHITECTS INCORPORATED
10000
10000
10000

DATE: 10/1/11
BY: [Signature]
CHECKED: [Signature]
DATE: 10/1/11

SHEET NUMBER: L-2.0

SHEET TITLE: PLANTING & IRRIGATION DETAILS

PROJECT: 20420
SCALE: N.T.S.

DATE: 10/1/11
BY: [Signature]
CHECKED: [Signature]
DATE: 10/1/11

USE PERMIT

430

NUMBER 3445-U

ISSUED TO Hare, Brewer & Kelley, Inc.

MAILING ADDRESS 200 Palo Alto Center

Palo Alto, Ca. - 94301

LOCATION OF USE Adjacent to Shell Road in the

lower Pajaro Valley, Watsonville area

PARCEL NO. 52-161-12

PERMITTED USE Planned Unit Development subject to the attached conditions

SIGN HERE. RETURN CARBON COPIES. ORIGINAL
WILL THEN BE ISSUED AS THE ONLY AUTHORIZED
COPY.

ADDITIONAL CONDITIONS IMPOSED AND MADE A PART HEREOF MAY BE LISTED ON THE REVERSE SIDE.
USE MUST COMMENCE WITHIN ONE YEAR TO BE VALID. SEE ORDINANCE CODE SECTION 12.04.320.
NOTE: THIS IS NOT A BUILDING PERMIT.

SANTA CRUZ COUNTY BOARD OF ZONING ADJUSTMENT
DONALD D. CHAMBERLIN, SECRETARY

POST IN A CONSPICUOUS PLACE

BY W. C. Shepherd DATE 12-17-69
W. C. Shepherd, Associate Planner

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EXHIBIT

431

CONDITIONS

PAJARO II PLANNED UNIT DEVELOPMENT

- Exhibit A - Development Plan & Tabulation of Use Areas
- Exhibit B - Architectural Plans for Condominium Structure
- Exhibit C - Fire Protection Plan

A. General

1. This use permit is for a 310-unit condominium development to be housed in 11 multi-story structures, related accessory facilities and open spaces as described on Exhibit A.
2. Implementation of this permit shall take place within one year from date of issuance. If full development as shown on Exhibit A is not completed in accordance with all conditions of this permit five years from the date of issuance hereof, the use permit shall be subject to comprehensive review, modification and/or amendment by the Santa Cruz County Planning Commission.
3. No parcel shall be defined for the purpose of sale or lease in connection with any phase of this development unless pursuant to provisions of the State Subdivision Map Act and the County Subdivision Ordinance.
4. This use permit shall provide the basis for the granting of exceptions from minimum requirements of the County Subdivision and Zoning Ordinance.
5. No building permit shall be issued for any facility to be constructed in connection with this use permit unless main sewer, water facilities and road improvements have been provided or bonded for.
6. A property owners association acceptable to the County of Santa Cruz shall be formed to finance future maintenance of improvements prior to the issuance of a building permit for any residential use.
7. Recreation areas as designated on Exhibit A shall be reserved as permanent open space in a manner satisfactory to the County of Santa Cruz.
8. Five acres of the permanent open space of this development shall be offered for dedication for public use. Said proposed public use area shall have contiguity to the southerly right-of-way line of Shell Road and the east boundary line of the site. This proposed public use area shall be connected to the beach lands of the State of California at the southerly boundary of the site by means of a pedestrian access-way fifteen feet wide, also to be offered for dedication for public use. Improvement of the public use area and the public pedestrianway shall be the responsibility of the County of Santa Cruz and shall take place at such time in the future as may be determined by the County Board of Supervisors. The use of water and sewer facilities will be made available

62:

4132

to the County of Santa Cruz for use of toilet and service facilities on this parcel. The developer shall maintain the parcel until such time as the County desires to develop the facility.

9. the final Fire Protection Plan shall be approved by the Board of Supervisors together with a specific program for implementation prior to 22 application for tentative map.
10. All exhibits are specifically incorporated as part of the use permit; variations from exhibits shall require a new permit application.

B. Procedure for Implementation

Implementation of this use permit shall only be accomplished through the Subdivision Map Procedure in accord with the provisions of the County Subdivision Ordinance. The procedural sequence may be grouped together or taken by unit as follows:

1. Prior to filing an application for tentative map, the developer shall petition LAX for annexation to or formation of a fire protection district. Filing of this application shall not be considered implementation of this use permit, after LAFCO approves.
2. An application for tentative map shall be filed with the Planning Commission. This map shall include the entire project area subdivided into condominium clusters, recreation areas and open space. The application for tentative map shall be accompanied by:
 - a. an overall development plan of the project area at a minimum scale of 1/50-foot describing the following: Location of condominium structures, recreation areas and facilities, pedestrian and vehicular circulation and parking, and graded areas with a contour interval consistent with the tentative map.
 - b. Two longitudinal elevations through the project area (front and rear) indicating land forms, structure and improvements in relationship to one another. The elevations may be substituted by either a project model indicating the same information or a series of photographs of a model showing relationships of structures and improvements to land forms.
 - c. Preliminary plans (typical) of condominium structures indicating number of units per structure, elevations, materials and colors.
 - d. Shore protection report by a registered engineer indicating areas subject to possible shore erosion and recommended measures to protect the dune areas, structures and improvements.
 - e. Report by a registered civil engineer indicating areas subject to inundation with recommended measures to protect improvements from damage.

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EXHIBIT

- f. Ecological study of project area by an ecologist, conservationist or naturalist to determine function and significance of dune and marsh areas, methods by which the proposed land uses can be accomplished and recommended program to ensure the continued preservation of significant natural units.
 - g. Phasing plan for development of condominium structures and improvements including recreation areas.
 - h. The public use area and public pedestrianway required pursuant to condition A.8 above shall be offered for dedication as part of Phase 1.
3. After approval of the initial tentative map, subsequent tentative maps for condominium clusters may be filed in accord with the approved phasing program. Each application for a condominium cluster shall be accompanied by:
- a. An overall development plan indicating site of condominium cluster and improvements to be constructed to support that cluster.
 - b. Preliminary building plans.

C. Improvements

- 1. All improvements shall be designed in accord with the Santa Cruz County Design Criteria Manual.
- 2. Shell Road between Beach Road and the intersection with the private access road of this development shall be improved to 24 feet prior to the issuance of a building permit for construction of a condominium structure.
- 3. On-site roads and parking areas:
 - a. All roads and parking areas on site shall be private. The road widths and curvilinear alignments may be reduced as follows, subject to approval of the Public Works Department: On-site roads should be 24 feet in width, centerline radius shall be a minimum of 75 feet. Cul-de-sac roads shall provide turnarounds with a radius not less than 32 feet. Where islands are installed in cul-de-sacs, a 20-foot road section shall be provided around the island.
 - b. Maintenance or emergency access drives shall be a minimum of 12 feet in width with radii and grades adequate for all emergency vehicles.
- 4. Pedestrianways to inter-connect all clusters of the development and other principal features so as to provide for continuous pedestrian flow, shall be provided and bonded for along with other improvements within each subdivision or development unit.
- 5. Sewerage facilities shall be provided in accord with the requirements of the City of Watsonville and the California Regional Water Quality Control Board.

- 4 34
6. Water facilities shall be provided in accord with the requirements of the City of Watsonville and the appropriate fire protection agency.
 7. All improvements requiring review and approval of the County Public Works Department shall be subject to bonding for their completion.
 8. Improvement plans for main sewer, storm drain facilities, water distribution facilities, grading or recontouring, Shell Road, private drives and parking facilities shall be subject to review and approval of the County Public Works Department. Main sewer and water distribution facility improvement plans shall be submitted to the City of Watsonville for approval and establishment of bonding requirements. One set of approved reproducible plans of these systems shall be submitted to the County Public Works Department as file copies.
 9. No petroleum product or other material deleterious to aquatic or marine life shall be permitted to enter or be placed where they will later enter the waters of the State of California.
 10. No facility shall be installed within the channel of Watsonville Slough which will interfere with the natural flow thereof.
 11. All road intersections shall intersect at angles as near to 90° as possible.
 12. Alternate emergency access shall be provided to Shell Road from the condominium cluster areas.
 13. A control line shall be established along Shell Road for the purposes of locating lot corners due to unstable soil conditions on the exterior boundaries in certain areas. The control line shall be established in lieu of setting some of the monuments on the exterior boundaries, subject to the approval of the County Surveyor.
 14. All electrical, telephone and television utilities shall be underground.

D. Condominium Structures

1. All condominium structures shall be of wharf-type construction (similar to Pajaro Dunes Condominiums) which shall allow for the free movement of sand under and around the structure. The condominium structures shall range in height from three stories (40 feet) to six stories (70 feet) as measured from top of roof structure to average of corner elevations.
2. Distance between structures shall be subject to the fire protection agency, but in no case less than 20 feet measured from any exterior projection.
3. The setback requirements of the R-1 Zone District shall be met at the perimeter of the project area. The height of structures (four) at either side of the project area shall be three stories unless approved by the Planning Department.

10

PLANNING DEPARTMENT

GOVERNMENTAL CENTER



COUNTY OF SANTA CRUZ

701 OCEAN STREET SANTA CRUZ CALIFORNIA 95060

4/2/

KRIS SCHENK
Director

Board of Supervisors
County of Santa Cruz
701 Ocean Street
Santa Cruz, CA 95060

SUBJECT: 82-355-PUD, Pajaro Dunes North Association
Amendment to 3445-U

Members of the Board:

On February 15, 1983 the Planning Commission recommended approval with staff recommended amendments.

This action will allow the Pajaro Dunes North and South facilities to govern their own operations independently of each other. It requires changing the permittee to Pajaro Dunes North Association, and to allow sales and rentals from the existing office/gatehouse on Shell Road.

It is therefore RECOMMENDED that the Board approve the Planning Commission recommendation.

Sincerely,

Kris Schenk, Director
Planning Department

RESOLUTION NO .C. Id-83 412 -

On the motion of Commissioner Burnap

duly seconded by Commissioner Eberly

the following resolution was adopted:

PLANNING COMMISSION RESOLUTION
SENDING REPORT TO THE BOARD OF SUPERVISORS
ON PROPOSED PLANNED UNIT DEVELOPMENT

WHEREAS, the Planning Commission has held a public hearing on Planned Unit Development
Amend
Application No 82-355-PUD involving property located at the west end of Beach Road. on
the south side.

and the Planning Commission has considered the proposal, all testimony and evidence
received at the public hearing, and the attached staff report.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission recommends that the Board
of Supervisors:

☒ Adopt the attached ordinance granting a use permit for a Planned
Unit Development, subject to the recommended conditions as shown
in the attached staff report

☐ Deny the proposal

BE IT FURTHER RESOLVED, that the Planning Commission makes findings as noted below on
the proposed planned unit development:

☒ Recommended findings in attached staff report

☐ Recommended findings, revised ~~as shown~~, in attached staff report

a Different findings than in the staff report, **as** shown on attached
sheet

PASSED AND ADOPTED by the Planning Commission of the County of Santa Cruz, State of
California, at its meeting on February 6, 1983, by the following vote:

AYES :	COMMISSIONERS	Chairman Page, Eberly , Burnap
NOES :	COMMISSIONERS	Holbert
ABSENT:	COMMISSIONERS	None
ABSTAINED:	COMMISSIONERS	Barr

RE: TRIAD

Commission Chairman Mitchell Page

Attest:

Commission Secretary Kris Schenk

EXHIBIT 4

SAITA CRUZ COUNTY PLANNING COMMISSION MEETING MINUTES OF FEBRUARY 15, 1983,
9:00 A. AND 1:30 P, HELD IN THE BOARD OF SUPERVISORS CHAMBERS, ROOM 525,
FIFTH FLOOR, GOVERNMENTAL CENTER, 701 OCEAN STREET, SAITA CRUZ, CALIFORNIA

COMMISSIONERS PRESENT 9:00 AM Chairman Page, Barr, Burnap, Eberly, Holbert
COMMISSIONERS ABSENT: None
STAFF MEMBERS PRESENT: Niebanck, Hamilton, Deming, Marquez, Weaver,
Jeck
ASST. COUNTY COUNSEL Ritchey

COMMISSIONERS PRESENT: 1:30 PM Chairman Page, Barr, Burnap, Eberly, Holbert
COMMISSIONERS ABSENT: None
STAFF MEMBERS PRESENT: Niebanck, Deming, Lauritson, Leggett, Maxwell

9. 82-355-PUD (amend) PAJARO DUNES NORTH ASSOCIATION, APPLICANT
Planned Unit Development Application to amend 74-400-PUO to permit sales
and rentals of units from on-site location; to permit seminars; meal
service, and meal preparation in existing structures, on property located
at the end of Shell Road, about 1/4 mile from the west end of Beach Road,
within the U-BS-50 Zone District. (Bob Leggett, Planner)
APN: 52-161-13, 13 PAJARO VALLEY AREA Fourth Supervisorial District

Mr. Leggett made clarifications on staff report before presenting the item.
The governing permit was not 74-400-PUO, but rather 3445-U. Mr. Leggett
stated that this application was a mirror image of one presented a year
earlier, by the Pajaro Dunes North. He concluded his presentation by saying
that the application was primarily to change the permittees name and also to
clarify for the record that sales and rentals will occur on-site.

THE PUBLIC HEARING WAS OPENED There were no public comments or questions on
the staff report.

THE PUBLIC HEARING WAS CLOSED

Commissioner Eberly moved that 3445-U as amended by staff be approved.
Commissioner Burnap asked for clarification of condition A 12, and asked about
the location of the real estate office. She then seconded The motion.

A MOTION WAS MADE BY COMMISSIONER EBERLY AND SECONDED BY COMMISSIONER BURNAP
TO

Recommend to the Board of Supervisors approval as amended by staff.

THE MOTION PASSED WITH THE FOLLOWING VOTE:

AYES: Chairman Page, Eberly, Burnap, Holbert, Earr
NOES: None
ABSENT: None

~~SOLUTION: MO. E . 11-83 4/7/83

On the motion of Commissioner Eberly

duly seconded by Commissioner Burnap

the following resolution was adopted:

PLANNING COMMISSION RESOLUTION
SENDING REPORT TO THE BOARD OF SUPERVISORS
ON PROPOSED PLANNED UNIT DEVELOPMENT

WHEREAS, the Planning Commission has held a public hearing on Planned Unit Development Application No. 82-355, involving property located at the end of Shell Road, about 1/4 mile from the west end of Beach Road, within the U-BS-50 Zone District. PAJARO VALLEY and the Planning Commission has considered the proposal, all testimony and evidence received at the public hearing, and the attached staff report.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission recommends that the Board of Supervisors:

- ☒ Adopt the attached ordinance granting a use permit for a Planned Unit Development, subject to the recommended conditions as shown in the attached staff report
- ☐ Deny the proposal

BE IT FURTHER RESOLVED, that the Planning Commission makes findings as noted below on the proposed planned unit development:

- ☒ Recommended findings in attached staff report
- ☐ Recommended findings, revised as shown, in attached staff report
- ☐ Different findings than in the staff report, as shown on attached sheet

PASSED AND ADOPTED by the Planning Commission of the County of Santa Cruz, State of California, at its meeting on February 16, 1983, by the following vote:

AYES : COMMISSIONERS
NOES : COMMISSIONERS
ABSENT: COMMISSIONERS
ABSTAINED: COMMISSIONERS

RE: PAJARO DUNES NORTH ASSOCIATION

Commission Chairperson

Attest:

Commission Secretary

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EXHIBIT L

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT

PLANNING COMMISSION MEETING

STAFF REPORT/INITIAL STUDY

4/24
Date: 2/15/83
Time: 1:30 p.m.

Agenda Item: 9
Staff Planner: R. Leggett

APPLICANT: PAJARO DUNES NORTH ASSOCIATION
OWNER: SAME
Application No: 82-355-PUD (Amend)
Location: At the west end of Beach Road, on its north side,
San Andreas Area.

APN: 52-161-18, -20
52-381-C3, -04

Supervisory District: Fourth
Section: , I S, R

EXISTING SITE CONDITIONS

Parcel Size: 105± acres
Land Use: Residential, conference/recreation
Vegetation: Landscaped
Slope: 0-15% X 16-30% _____ 31-50% _____ 51% _____ acres/sq ft
Nearby Watercourse: Pacific Ocean
Distance To: 400' to west
Agri. Class/Type: N.A.
Rock/Soil Type: Sand Dunes

ENVIRONMENTAL CONCERNS

Within USL:	No (within U.R.B.)	Erosion:	Mod. high to high potential
Road Access:	County Road	Landslide:	No
Groundwater Supply:	No	Liquefaction:	Mod. to high potential
Water Resource		Seismic:	No
Protection:	No	Floodplain:	No
Timber and Mineral:	No	Riparian Corridor:	No
Wildlife:	No	Solar Access:	O.K.
Fire Hazard:	No	Solar Orientation:	O.K.
Archaeology:	No		

SERVICES

Fire Protection:	Pajaro Dunes/County	New Roads	
School District:	Pajaro Valley	Required:	None
Water Supply:	City of Watsonville	Access:	Beach and Shell Roads
Sewage Disposal:	City of Watsonville		
Drainage:	Natural		

PLANNING POLICIES

Zone District:	U-BS-50	Area:	Adopted:
General Plan:	Urban low	Area:	San Andreas Adopted: 1980
Coastal Zone:	Yes		

ENVIRONMENTAL COORDINATOR'S ACTION - Categorically exempt: Class I, existing facilities

PROPOSAL

3445-U

Planned Unit Development Application to amend 74-400-PUD to permit sales and rentals of units from on-site location; to permit seminars; meal service, and meal preparation in existing structures; to establish the Pajaro Dunes North Association as the permittee.

PC
amended
2/16/83

L:hea

44
EXHIBIT

PLANNED UNIT DEVELOPMENT FINDINGS:

4/2/81

Required Findings:

- | | |
|--|--|
| a) That the proposed location of the planned unit development is in accord with the objectives of the Zoning Ordinance and the purpose of the district in which the site is located. | a) The change in permittee will result in no other change in the use. The project is not in conflict with the Ordinance. |
| b) That the proposed location of the planned unit development and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity. | b) There will be no adverse impacts as a result of this project. |
| c) That the proposed planned unit development will comply with each of the applicable provisions of this Chapter. | c) Relevant provisions are being met. |
| d) That the standards of dwelling unit density, site area and dimensions, site coverage, yard spaces, heights of structures, distances between off-street loading facilities and landscaped areas will produce an environment of stable and desirable character consistent with the objectives of this Chapter.. | d) There will be no change in the character of the development. |
| e) That the standards of dwelling unit density, site coverage, yard spaces, heights of structures, distances between structures and off-street parking and off-street loading facilities will be such that the development will not generate more traffic than the streets in the vicinity can carry without congestion and will not overload utilities, | e) There will be no change in density, frequency of use, or traffic. Therefore, there will be no congestion or utility overload as a result of this project. |
| f) That the combination of different dwelling types or the variety of land uses in the development will complement other uses and will harmonize with existing and proposed land uses in the vicinity. | f) There is no change in structures or land use. |
| g) That the proposed use is consistent with the General Plan. | g) The change in permittee is not in conflict with the general plan. |

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RL:hea

2
45

EXHIBIT

L

PROJECT DESCRIPTION

STAFF
CORRECTED
2/16/83

This application, on behalf of the Pajaro Dunes North Association, is primarily to formally transfer the permit (74-400-PUD) 3445-U from Fried Hare Brewer, and Kelley, Inc. to the Association. This is also a clarification for the record of current uses in the seminar buildings. They include the seminars and meetings, food preparation (mainly in the Lagoon House), meal service to seminar participants, and miscellaneous related support activities. Condition II-E A-12 of 74-400-PUD 3445-U should therefore be amended added to more clearly reflect these activities.

ENVIRONMENTAL ISSUES

This project is categorically exempt from environmental review (no expansion or change in use of existing facilities). No impacts will result from approval or implementation of this project.

GENERAL PLAN ISSUES

The Local Coastal Plan and General Plan designation for the property is "Residential, Urban Low Urban Reserve." The property is within the "urban rural boundary."

STAFF
CORRECTED
2/16/83

This proposal entails no change in use from that which is already sanctioned by 74-400-PUD 3445-U/Ordinance 2329 2330. It is, therefore, not in conflict with the General Plan.

STAFF RECOMMENDATION

STAFF
CORRECTED
2/16/83

Approval of 82-355-PUD to amend 74-400-PUD 3445-U by changing the permittee to "Pajaro Dunes North Association", and further, to amend add Condition II-E A-12 of said 74-400-PUD to 3445-U as follows:

~~Condition II-E:--This permit shall include authorization for the Pajaro Dunes Association or their assignee to conduct meeting, seminar or assembly type uses including food preparation (mainly in the Lagoon House), meal service to seminar participants, and miscellaneous related support activities, within the common and private facilities at Pajaro Dunes subject to the conditions that: (see attached conditions).~~

STAFF
CORRECTED
2/16/83

Condition A-12. This permit shall include authorization for the Pajaro Dunes North association to maintain a real estate sales office in the "existing offices"/gate house building for the purposes of sale, resale or rental of properties within the Pajaro Dunes developments only.

UBS-100

San Andreas

SHELL

70' R/W

UBS-50

UBS-100

PAJARO DUNES NORTH
ASSOCIATION
82-355-PLD

ZONING MAP

1" = 800'

SOUTH

BEACH

EXHIBIT L

7.



PAJARO DUNES NORTH

PAJARO DUNES COMPANY PROGRAM STATEMENT

04-0209
APRIL 2005

EXISTING SETTING/BACKGROUND.

Pajaro Dunes North and the Shorebirds Condominiums are accessed solely from Shell Road via West Beach Road. There are 309 residential condominium units in 9 separate development clusters (labeled as units A – I on the attached diagram). The Pajaro Dunes North Association, Inc. is the homeowners association for the Shorebirds units. These units are separately managed from Pajaro Dunes South, south of West Beach Road.

In addition to the condominium units, Pajaro Dunes North includes a North Gate House, Lagoon House with small annex, Leo Ruth's Cypress House, a tennis/pro-shop building and 10 tennis courts.

Application 00-0665 was approved to modify the North Gate House uses and move the Pajaro Dunes North rental and real estate sales to the Lagoon House annex (Sand Castle Properties). Prior to erecting the temporary modular office building, the real estate offices were dispersed in the Lagoon House annex, the gate house and the tennis/pro-shop.

The visitor activities have evolved over the past 30 years to reflect a more passive recreation experience. Active tennis court use has declined in favor of more relaxing walks on the beach and throughout the open space areas.

The project is located on parcel 052-381-04. This parcel includes the Cypress House, tennis courts and parking. Other common area parcels are 052-381-03, 052-161-15, 052-161-18 and 052-161-20. These parcels include tennis courts and pro-shop, the Lagoon House, the North Gate House, roads and parking for Pajaro Dunes North.

THE APPLICANT.

The Pajaro Dunes Company has been in business and operating in the North and South Pajaro Dunes development areas for more than 30 years. *The* company has 25 employees and represents 110 homeowners at Pajaro Dunes. The Pajaro Dunes Company is the only company that handles all seminars/conferences for both *the* North and South Pajaro Dunes PUDs.

PROPOSED PROJECT/DESCRIPTION OF BUSINESSES.

The proposed project is to construct an office building for the Pajaro Dunes Company staff and to serve as the rental agency and sales office for vacation rentals, unit sales and

seminar/conference reservations. The building will include an associated retail area for Pajaro Dunes related visitor items. The building will replace 2 tennis courts.

There are two real estate companies that operate within the Pajaro Dunes North area: The Pajaro Dunes Company and DAW Properties. Sand Castle Properties no longer operates in Pajaro Dunes North. The real estate offices will be located in two buildings; the North Gate House (DAW Properties) and the proposed office building (Pajaro Dunes Company).

Visitors checking in for conferences/seminars are directed to check in at the Pajaro Dunes Company office prior for orientation to the complex. Typical visitors for rentals or seminars/conferences arrive during off-peak hours. The proposed office is not a destination by itself and this project will not increase traffic to the area; but will provide a more efficient and better visitor experience.

This application is not proposing changes to any allowed uses within the Pajaro Dunes North PUD. The project will simply formalize the location of existing uses and provide for better visitor serving customer service with the new office building.

SUMMARY OF USES BY BUILDING.

- The Lagoon House is used for seminars/conference meetings.
- The Lagoon House annex is used for seminars/conference meetings.
- Leo Ruth's Cypress House is used for community/association meetings and seminar/conferences.
- The North Gate House includes the DAW Properties real estate sales office.
- The ternidpro-shop building includes offices for the Pajaro Dunes North Home Owners Association manager and staff. No real estate offices will be located in this building.
- The proposed office building will include Pajaro Dunes Company real estate sales, vacation rental and seminar/conference offices.

PARKING.

The property has an excess of parking per the County code, approved PUD and established use pattern. The lots near the existing Leo Ruth Cypress House contain 142 spaces with the requirement **per** the approved tract map for 76 spaces. The new office will require 22 spaces per the parking ordinance, leaving an excess of 44 spaces for community and coastal recreational use.



Program Statement

Proposed Building
101 Shell Drive
Watsonville, CA 95076

- Uses:** The building will be used as a real estate property management, sales and rental office.
- Number employees:** 11 office employees occupying the subject building. 3 maintenance employees working outside of subject building and 10 full time and part time housekeepers working outside subject building.
- Hours of operation:** 8:00 AM to 5:30 PM, 7 days per week.
- Deliveries:** Normal working hours, Monday through Friday.
- Hazardous materials:** Only use normal household cleaners.

Pajaro Dunes Holzman and Daw • Pajaro Dunes Rental Agency
2661 Beach Road • Watsonville, CA 95076
Telephone: (800) 564-1771 • (831) 722-4671 • Fax: (831) 728-7444
www.pajarodunes.com • Info@pajarodunes.com

PAJARO DUNES NORTH ASSOCIATION, INC.
101 SHELL ROAD, WATSONVILLE, CA 95076-9665
(831) 761-7752 . FAX (831) 761-6285



March 16, 2005

Pajaro Dunes Company
c/o Mickey Holzman
101 Shell Drive
Pajaro Dunes, CA 95076

RE: Pajaro Dunes Office Building, County Application 04 0299
APN 052-381-04

Dear Mr. Holzman,

Per your request, the Pajaro Dunes North Association has evaluated the most recent office building plans dated February 11, 2005 prepared by Bill Gould Design, Art & Architecture.

The Association has no objection to this proposed project as designed. These plans appear to be an improvement over the previous version and we believe that the new building orientation and design will better complement the existing development.

Thank you for the opportunity to review these plans. Please contact us if you have any questions.

Sincerely,

HOA Manager

A handwritten signature in black ink, appearing to be 'H. J. ...' with a stylized flourish at the end.

HOA President

A handwritten signature in black ink that reads 'Dave DeLeon'.

PAJARO DUNES NORTH ASSOCIATION, INC.
101 SHELL ROAD, WATSONVILLE, CA 95076-9865
(831) 761-7752 • FAX (831) 761-8285



August 5, 2004

Mickey Holzman
Pajaro Dunes Company
101 Shell Rd
Watsonville, CA 95076

Dear Mickey,

On or before the issuance of the Santa Cruz County permit to break ground for the PDC building, Pajaro Dunes North Association plans to relocate the **storage** sheds currently on the storage court. The storage sheds will be moved to a portion of **the** maintenance yard with its own **private entrance**.

If you have any questions concerning this policy please contact Jenette at 761-6293.

Best regards,

Jenette Stellato
Operations Manager
Pajaro Dunes North Association

PAJARO DUNES NORTH ASSOCIATION, INC.

101 SHELL ROAD, WATSONVILLE, CA 95076-9665
(831) 761-7752 • FAX (831) 761-6285

RECEIVED

JUN 22 2004



June 21, 2004

Ron Powers, AICP
Beale Land Use Planning Inc.
100 Doyle Street Suite E
Santa Cruz, CA 95062

Subject: Daw Properties Sales Office Relocation

Dear Mr. Powers,

On or before July 5, **2004**, Daw Properties will be relocating their desk from their existing building, AKA "Pro-Shop", to the Gatehouse. At this time the Pajaro Dunes North Association management staff will be relocating their desks from the Gatehouse to an existing building on property, AKA "Pro-Shop".

If you have any questions concerning this upcoming move please contact the Association Manager at 761-7752.

Best regards,


Greg Feaster
General Manager
Pajaro Dunes North Association

Cc: County of Santa Cruz, Planning Department
Mickey Holzman, Pajaro Dunes Company

PAJARO DUNES NORTH ASSOCIATION, INC.
101 SHELL ROAD, WATSONVILLE. CA 95076-9665
(831) 761-7752 • FAX (831) 761-6285



April 28, 2004

To: Santa Cruz County Planning Department

Re: Proposed **New** Building And Temporary Trailer on Association Property

The Pajaro Dunes North Association Board of Directors, and by a majority vote of the membership **has** approved the proposed new building and a temporary trailer on Association property, for the use of Pajaro Dunes rentals, seminars and sales withia the Pajaro Dunes Community.

Sincerely,

Greg Feaster CCAM
Pajaro Dunes North Association
General Manager

PAJARO DUNES COMPANY
101 Shell Drive
Pajaro Dunes, CA 95076
831-722-4671

Proposed 4,320 Sq. Ft. Office Building Facts and Statistics Sheet

Location: Pajaro Dunes Shorebird Area
101 Shell Drive
Pajaro Dunes, CA 95076

Homeowner Associations: Association members 309
Voting on project 212 67.9%
In favor of project 181 85.4%

Pajaro Dunes Company: Vacation Rentals, Real Estate Sales, Seminars and
Conferences, Housekeeping and Maintenance
Years in Business 30
Total employees 25
Represent 145 homeowners at Pajaro Dunes

County Benefit: TOT taxes paid: 2001 \$243,839
2002 242,940
2003 268,422
2004 293,895

Financial Impact 2001 \$24,935,247
(9 X Gross) 2002 22,200,975
2003 22,222,233
2004 26,450,005

Visitor Information: # of Reservations: 2001 2,657
2002 2,920
2003 3,019
2004 2,925

States Represented 2001 39
2002 34
2003 41
2004 37

People Occupying 2001 18,116
2002 17,654
2003 18,660
2004 19,012

Average people/Res. 2001 6.8
2002 6.1
2003 6.2
2004 6.5

<u>Web Statistics:</u>	Annual Visits to Site	2001	85,395
		2002	92,158
		2003	125,770
		2004	114,189
	Pages Read per Visit	2001	12.1
		2002	15.0
		2003	18.1
		2004	22.7
<u>On Line Booking Statistics</u>	1 st Time Renters	2003	77.4%
		2004	70.7%
	Out of State Renters	2003	7.2%
		2004	15.1%
	# of Corporate Events	2001	60
		2002	50
		2003	43
		2004	56
<u>Conference Statistics:</u>	# of School Events	2001	20
		2002	18
		2003	25
		2004	30

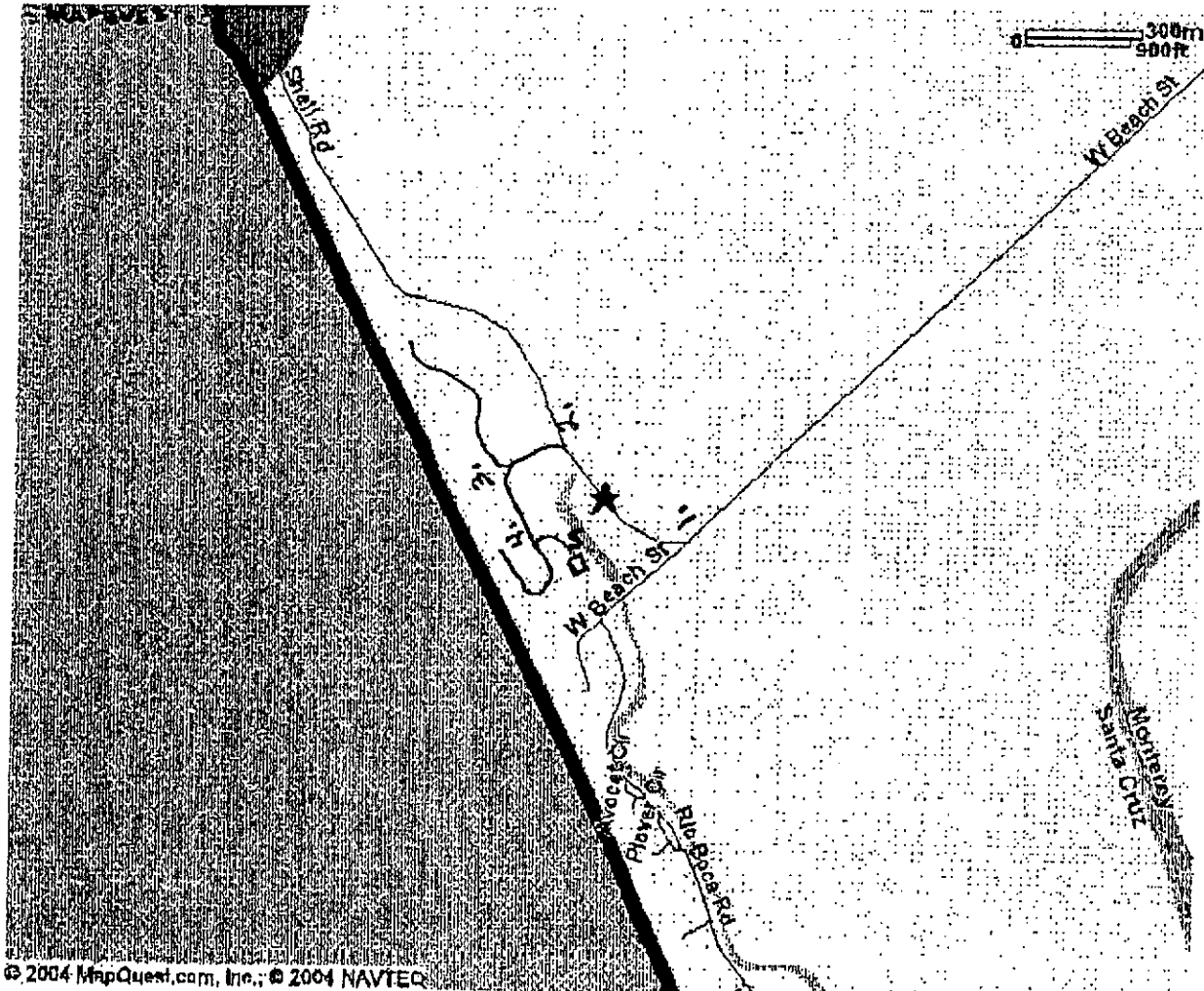
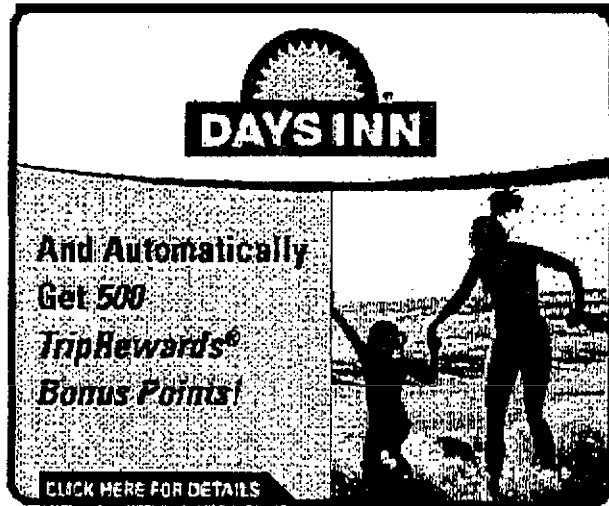
SAFARI SIGN LOCATION PLAN

MAPQUEST

 [Send To Printer](#) [Back to Map](#)

101 Shell **DR.**
Watsonville CA
95076-9665 US

Nates: **SIGN**
LOCATIONS



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NAVTEQ
© 2004

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831.728.5074

2594 freedom blvd.
watsonville

LOCATION #2
and #5



LOCATION #3



LOCATION #4



LOCATION #1
Same sign but
dimension same
as existing sign

Pajaro Dunes North

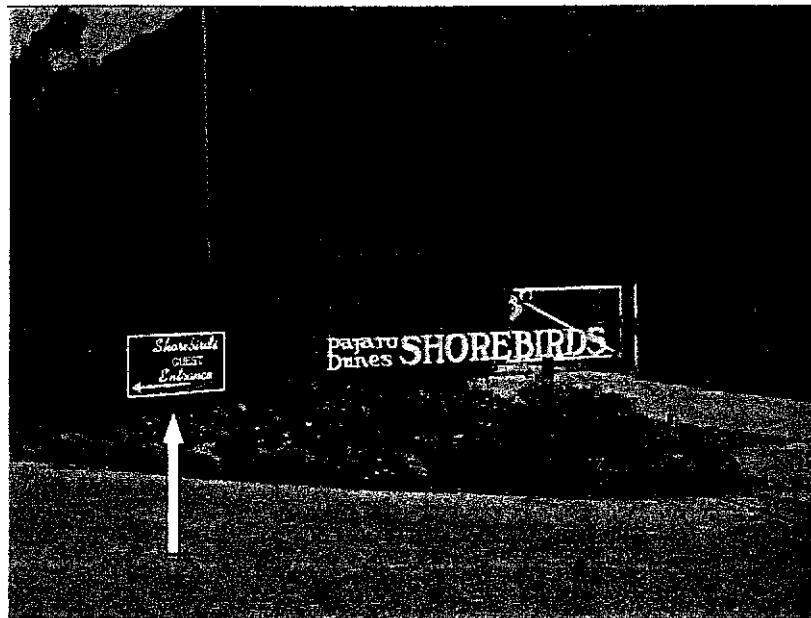
04-0209

052-381-04

Signs



Location #1



Location #2

Sign to be replaced with Location #2 sign.

Note: Location signs # 1 and #2 must be approved by H.O.A. (In process) Location signs #3 and #4 have been approved by the H.O.A.



↑
Replace
with
location #3 sign
Sign #4 similar directional sign to #3.

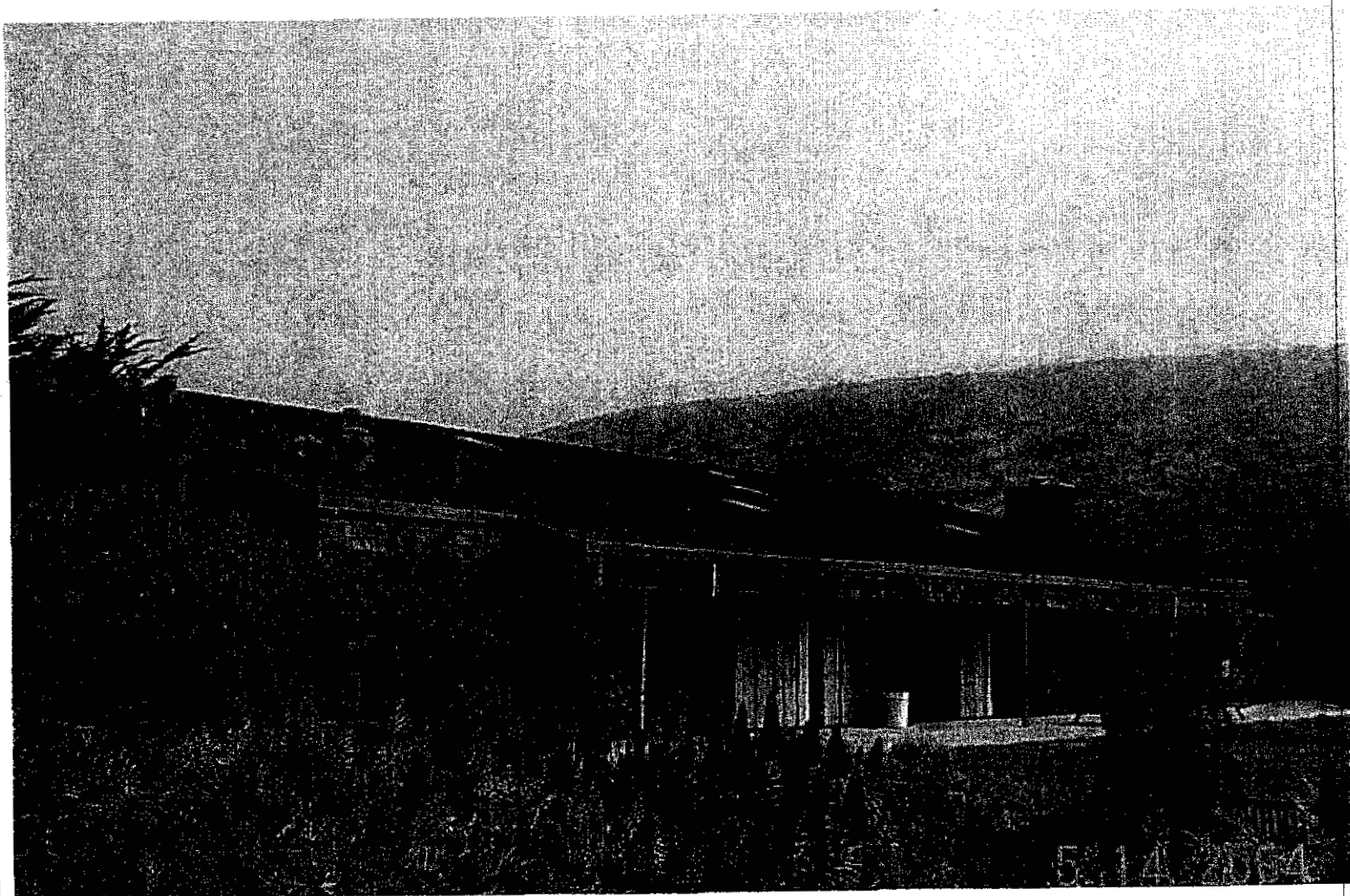
SHOREBIRDS CONDOMINIUMS



SHOREBIRDS CONDOMINIUMS



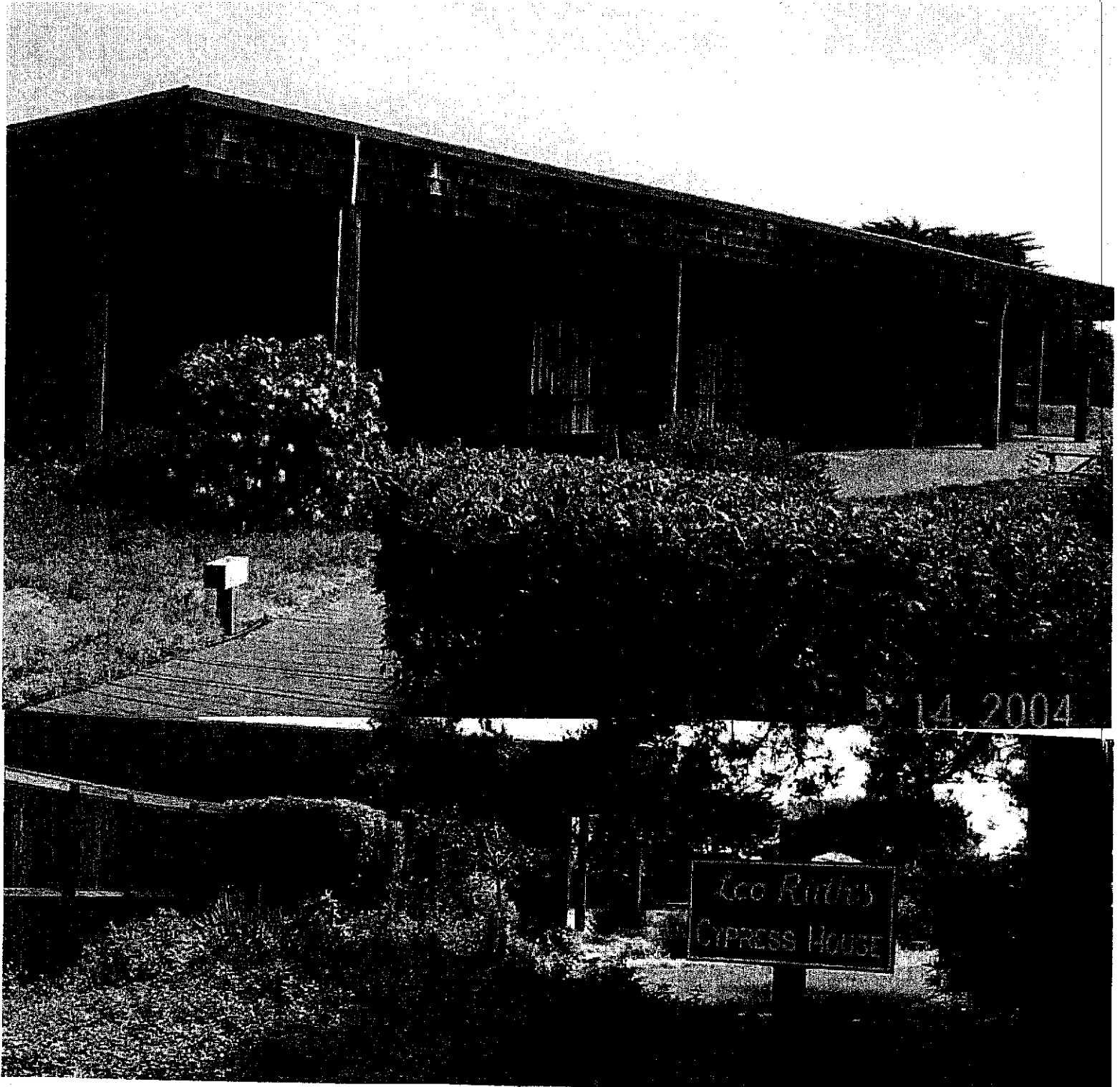
LAGOON HOUSE COMMUNITY BUILDING



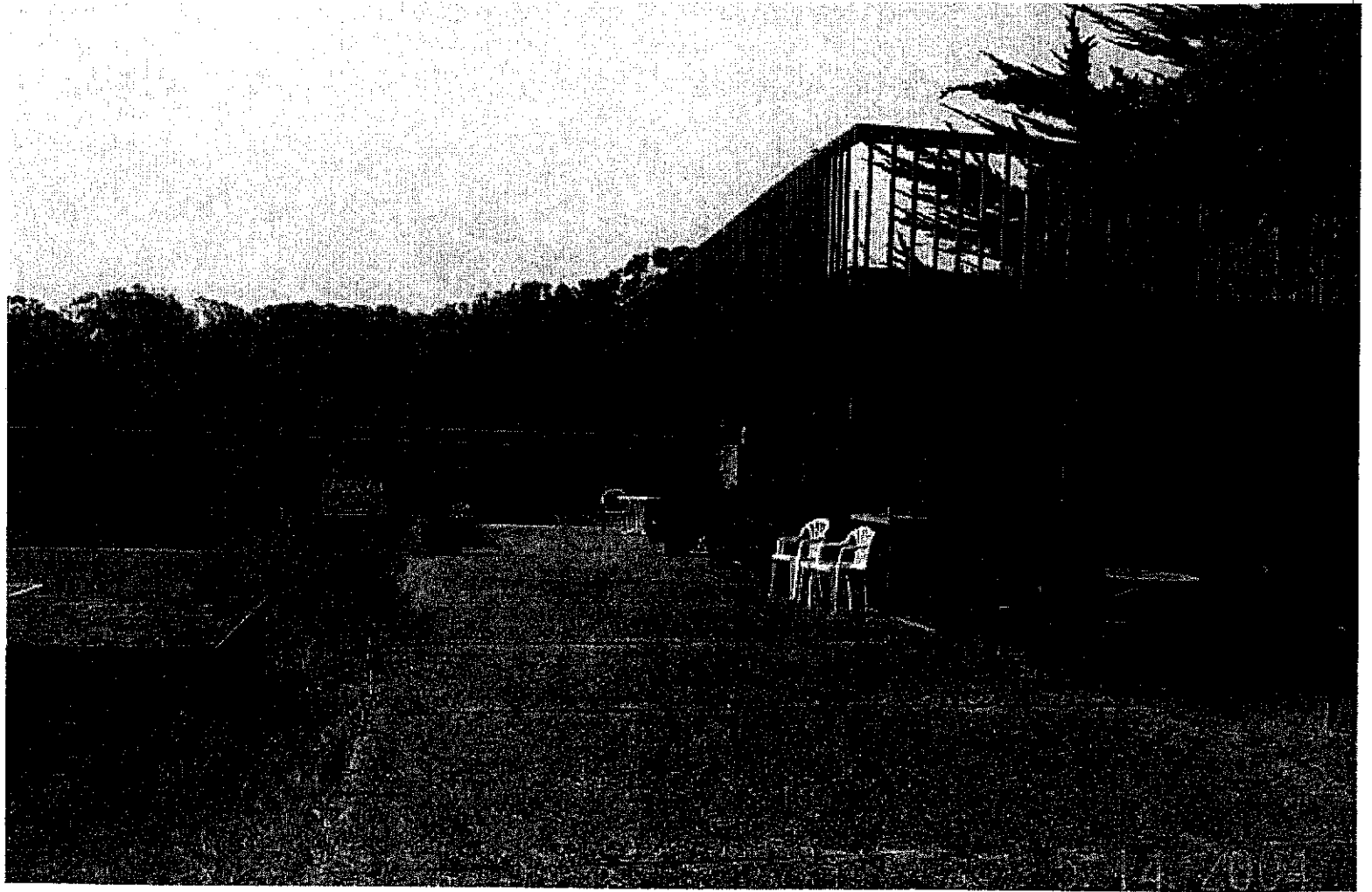
LAGOON HOUSE COMMUNITY BUILDING



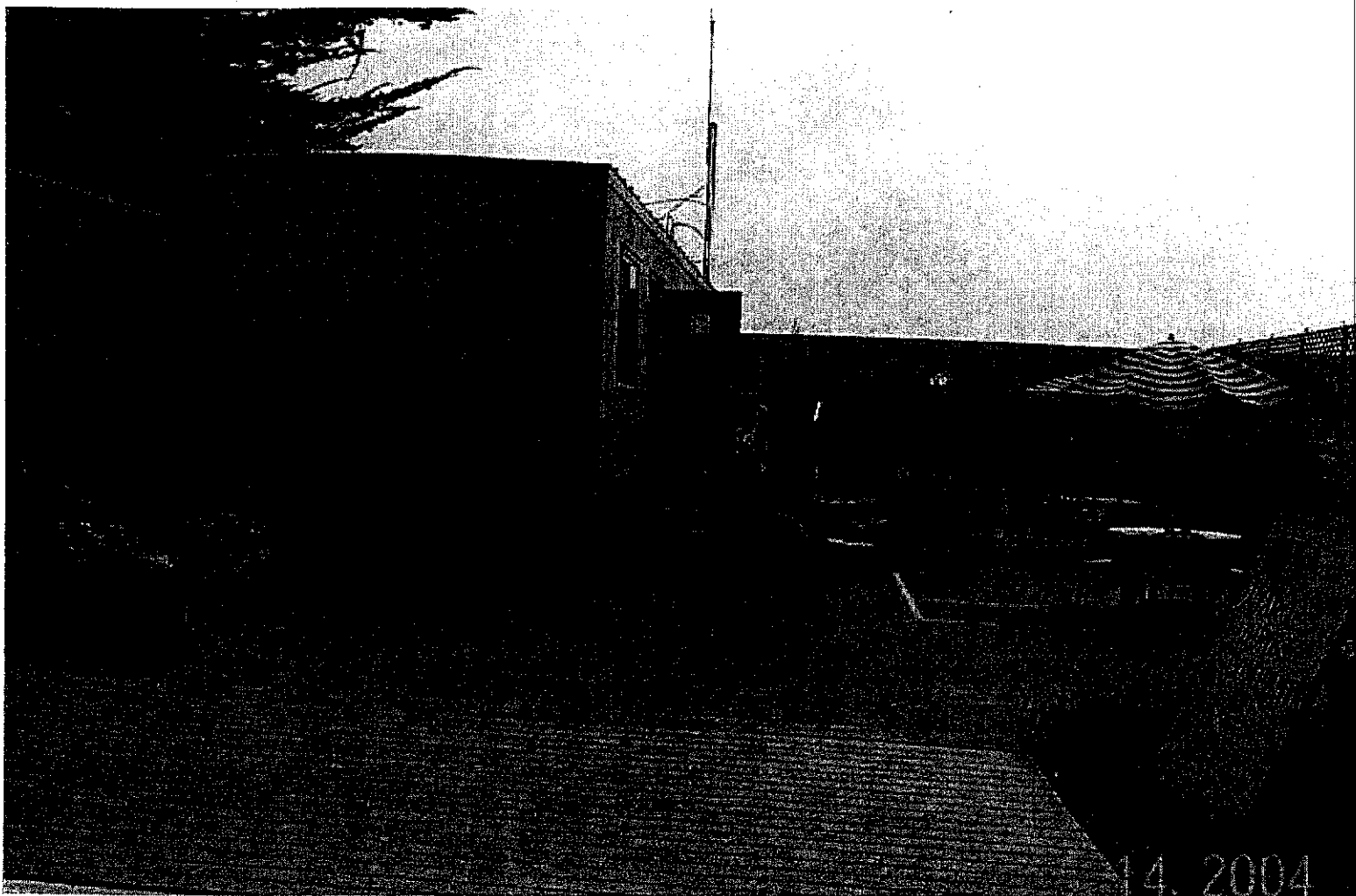
LEO RUTH CYPRESS HOUSE COMMUNITY BUILDING



PRO SHOP AT TENNIS COURTS



TEMPORARY TRAILER FOR PAJARO DUNES COMPANY



BEFORE THE PLANNING COMMISSION
OF THE COUNTY OF SANTA CRUZ, STATE OF CALIFORNIA

RESOLUTION NO. -05

On the motion of Commissioner
duly seconded by Commissioner
the following Resolution is adopted:

PLANNING COMMISSION RESOLUTION
SENDING RECOMMENDATION TO THE BOARD OF SUPERVISORS
ON PROPOSED AMENDMENT TO A PLANNED UNIT DEVELOPMENT

WHEREAS, the Planning Commission has held a public hearing on Application 04-0209, involving construction of a recreational management sales and rental office on a portion of the common area of Pajaro Dunes North, and the Planning Commission has considered the proposed amendment to Planned Unit Development Permits No. 3445-U and 82-355-PUD, all testimony and evidence received at the public hearing, and the attached staff report;

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission recommends that the Board of Supervisors adopt the attached ordinance amending Planned Unit Development Permits 3445-U and 82-355-PUD.

BE IT FURTHER RESOLVED, that the planning Commission makes findings and recommending approval for the Planned Unit Development Amendment and the Coastal Development Permit based on the findings in the Report to the Planning Commission.

PASSED AND ADOPTED by the Planning Commission of the County of Santa Cruz, State of California, this 25th day of May, 2005 by the following vote:

AYES: COMMISSIONERS
NOES: COMMISSIONERS
ABSENT: COMMISSIONERS
ABSTAIN: COMMISSIONERS

ROB BREMNER, Chairperson

ATTEST: _____
CATHY GRAVES, Secretary

APPROVED AS TO FORM: 
CHRIS CHELEDEN, Assistant County Counsel

ORDINANCE NO. _____

ORDINANCE AMENDING PLANNED UNIT DEVELOPMENT 3445-U AND 82-355-PUD

The Board of Supervisors of the County of Santa Cruz ordains **as** follows:

SECTION I

The Board of Supervisors finds that the public convenience, necessity, and general welfare require the amendment of Planned Unit Development No. 3445-U and 82-355-PUD; finds that the amendment established herein is consistent with all elements of the County General Plan and Local Coastal Program Land Use Plan; and finds and certifies that all environmental regulations specified in the California Environmental Quality Act, the State and County Environmental Guidelines, and Chapter 16.01 of the County Code have been complied with by the issuance of a Categorical Exemption for the project.

SECTION II

The Board of Supervisors hereby adopts the recommendations and findings of the Planning Commission for the amendment of the Planned Unit Development to authorize the use of the Pajaro Dunes North common area for commercial purposes to include rental and real estate sales, subject to the attached Conditions of Approval.

SECTION III

This ordinance shall take effect on the 31st day after the date of final passage.

PASSED AND ADOPTED **this** _____ day of _____, 2005 by the Board of Supervisors of the County of Santa Cruz by the following vote:

AYES: Supervisors
NOES: Supervisors
ABSENT: Supervisors
ABSTAIN: Supervisors

Tony Campos
Chairman of the Board of Supervisors

ATTEST: _____
Clerk of the Board

APPROVED AS TO FORM:

County Counsel

FOR TAX PURPOSES ONLY

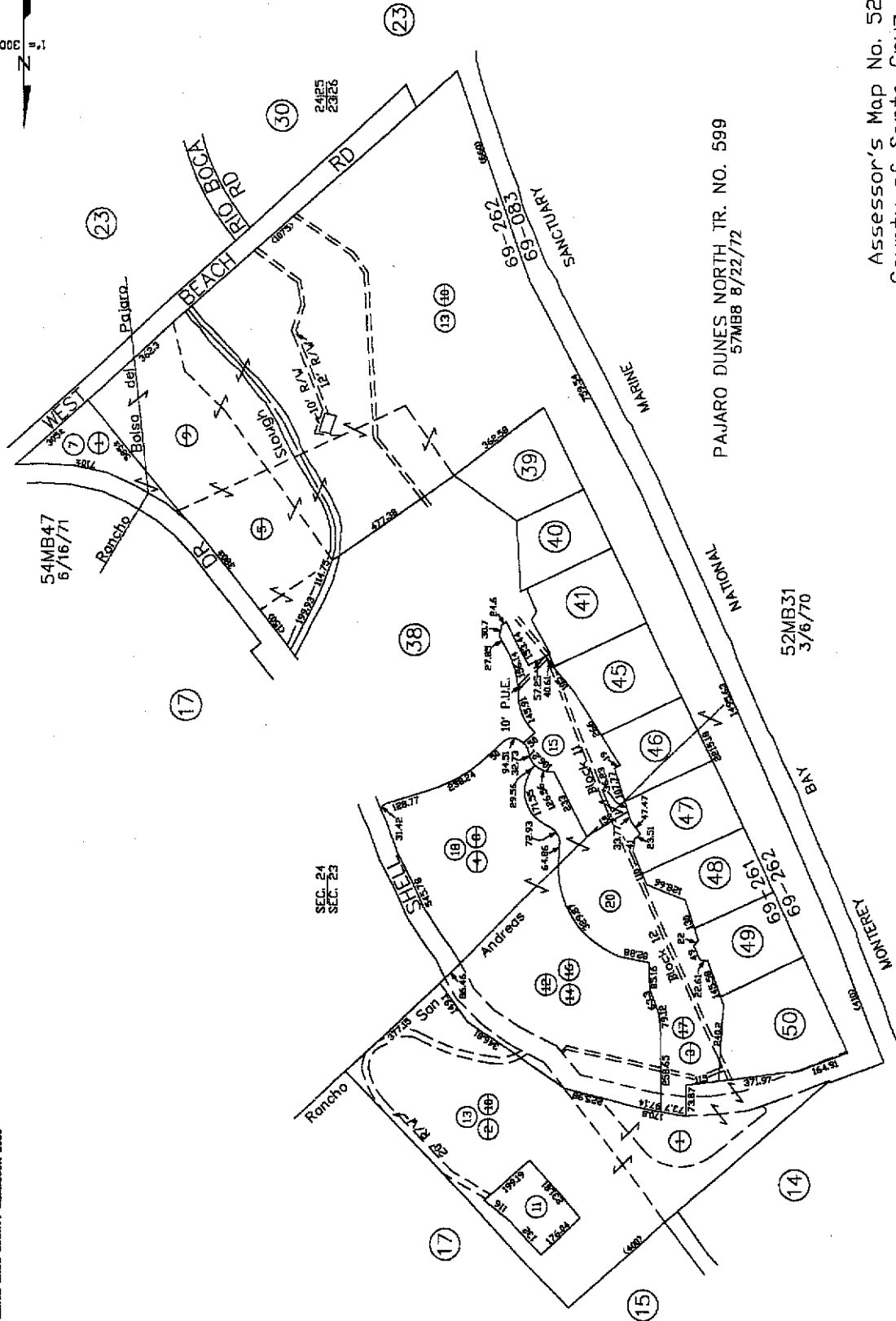
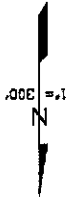
THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.

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POR. SAN ANDREAS & PAJARO RANCHOS
SECS. 23 & 24, T.12S., R.1E., M.D.B. & M.

Tax Area Code
69-083 69-261
69-262

52-16

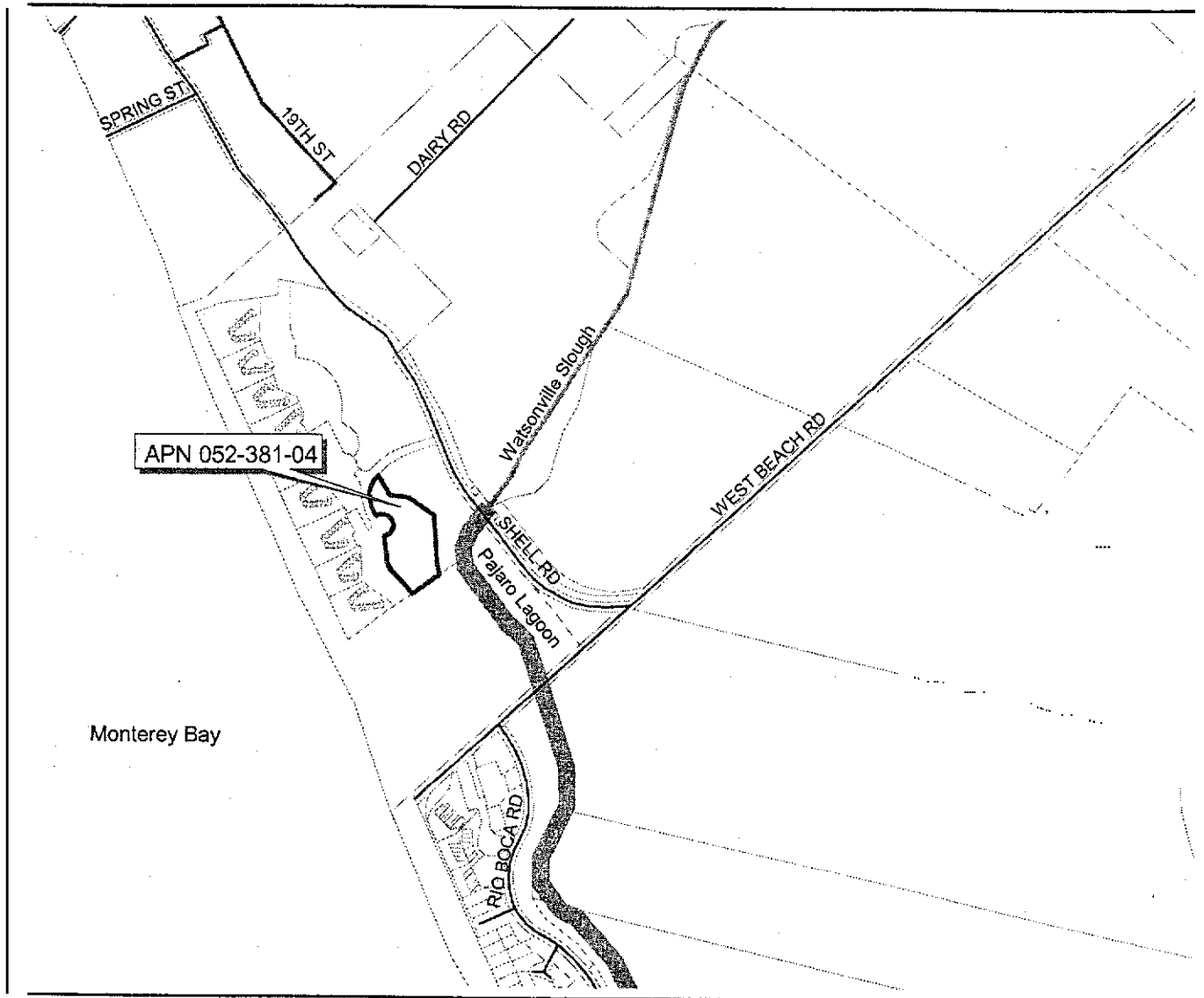


Note - Assessor's Parcel & Block
Numbers are Shown in Circles.

Assessor's Map No. 52-16
County of Santa Cruz, Calif.
Aug. 2000

Electronically prepared 8/20/00 KSA
REV. 6/21/00 MWH (changed page ref.)

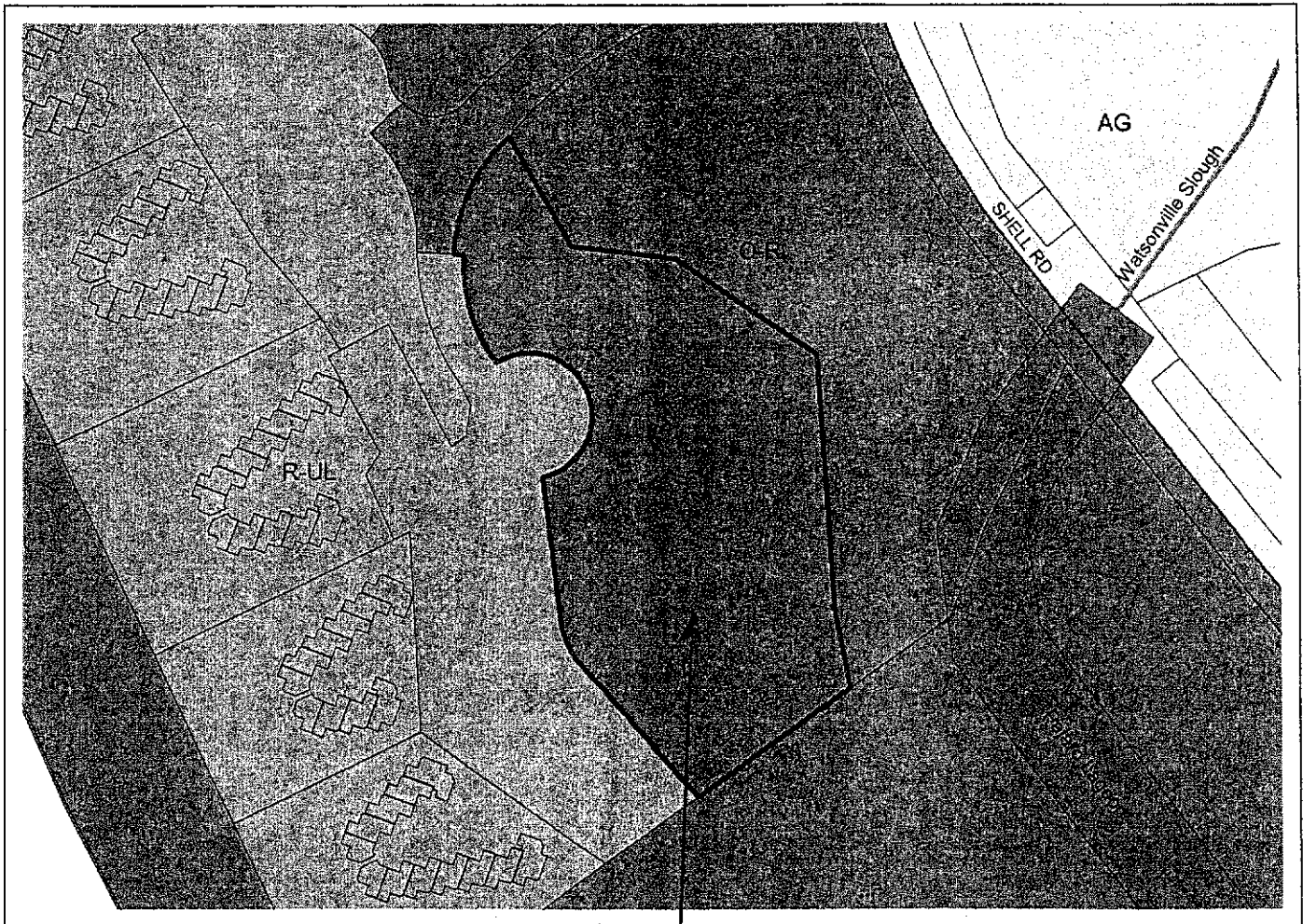
Location Map



Planning Department:
May 2004



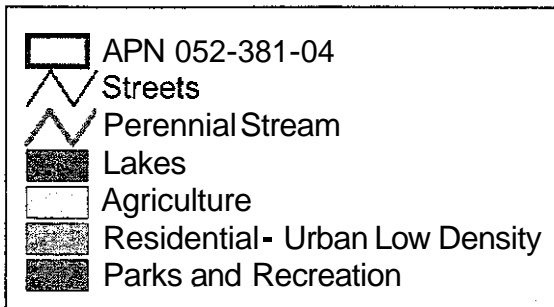
General Plan Map



250 0 250 500 750 1000 Feet

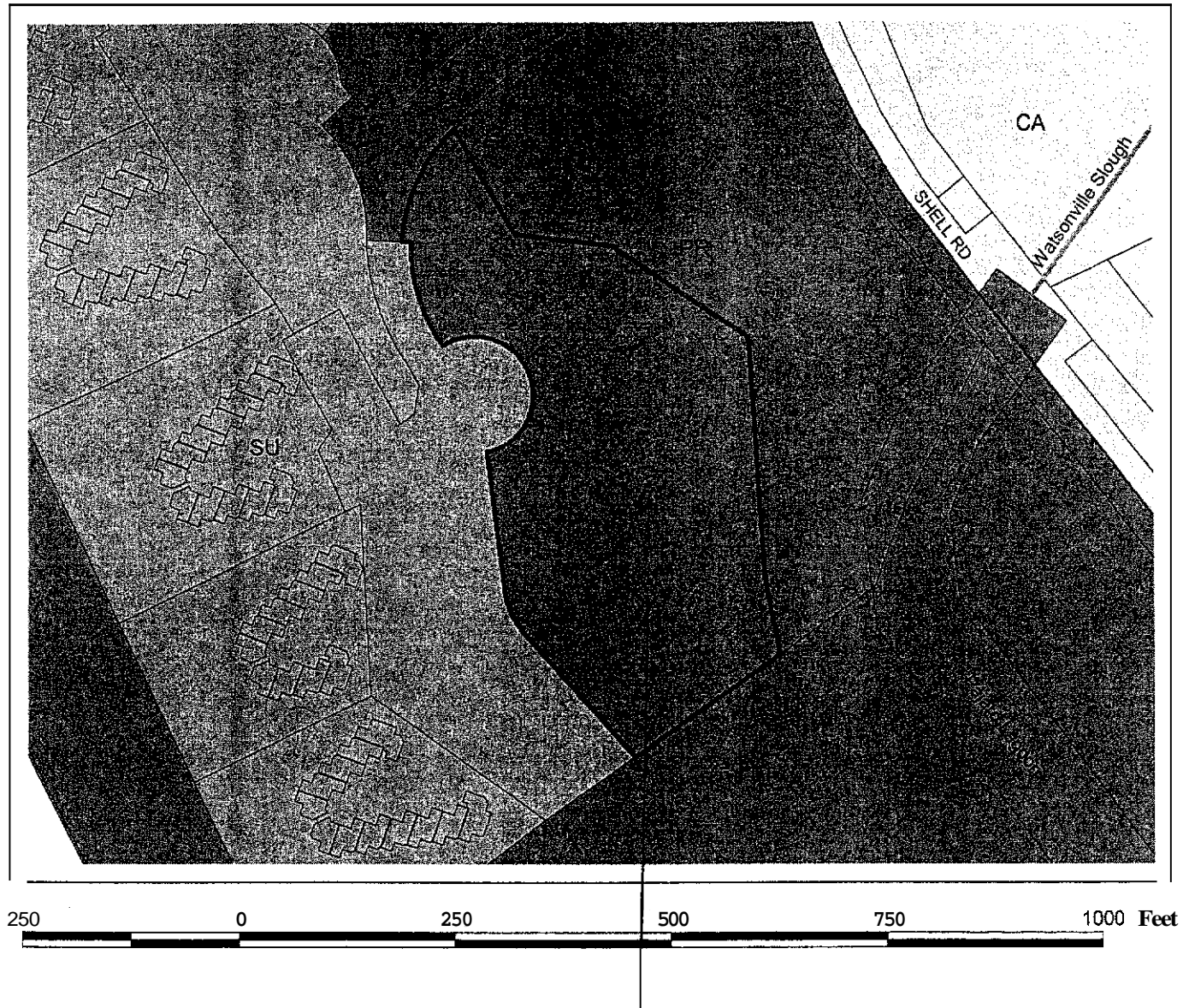
PROJECT LOCATION

Legend



Map created by Santa Cruz County
Planning Department:
May 2004

Zoning Map



Legend

	APN 052-381-04
	Streets
	Perennial Stream
	Lakes
	CA
	SU
	PR



Map created by Santa Cruz County
Planning Department:
May 2004

facsimile TRANSMITTAL

to: Joan Van der Hoeven
fax#: 454-2131
re: Application No. 04-0209
date: 5/25/04
pages: 2, including this cover sheet.

City water may be **provided** for the proposed project provided that:

- ◆ a water service **application** is completed and **submitted** (if a new service or changes **to an** existing service **are** request ;
- ◆ the project has **a** valid address; and
- ◆ **all required** water connection, construction, **and impact** fees **are paid**.

Please contact me if you have **any questions**.

From the desk of...

Joy Bader
Assistant Engineer
City of Watsonville
Community Development Department
P.O. Box 50000
Watsonville, CA 95077-5000
jbader@ci.watsonville.ca.us
(831) 728-6127
Fax (831) 728-6173

C O U N T Y O F S A N T A C R U Z
D I S C R E T I O N A R Y A P P L I C A T I O N C O M M E N T S

Project Planner: Joan Van Der Hoeven
Application No. : 04-0209
APN: 052-161-15

Date: April 28, 2005
Time: 14:44:47
Page: 1

Environmental Planning Completeness Comments

===== REVIEW ON JUNE 7, 2004 BY ROBERT S LOVELAND =====

1. A "Flood Hazard Assessment" must be completed as part of this application. NOTE TO PLANNER: Please forward a copy of the plans to Jessica DeGrassi so that she can complete the assessment. ===== UPDATED ON SEPTEMBER 8, 2004 BY ROBERT S LOVELAND =====

1. Item 1 above still needs to be addressed

2. The submitted soils report has been reviewed and approved by the County Senior Civil Engineer. ===== UPDATED ON NOVEMBER 12, 2004 BY ROBERT S LOVELAND =====

1. The Geologic Hazards Assessment (GHA) has been completed (9/30/04). The conditions contained within this document must be adhered too.

Please make sure the project architect is made aware of the GHA conditions. The following GHA requirements need to be addressed before this application can be deemed complete:

A. On sheet A4.01 (Bill Gould Design, dated 10/15/04) shows finished floor at 9 feet. This does not comply with condition 2 of the GHA (see attached conditions).

B. Please provide the information required under GHA condition 3a & 3b

C. Please provide the information required under GHA condition 5a & 5b

2. The floor plan (sheet A3.01 by Bill Gould Design) shows 2 new bathrooms. Is there an existing leachfield or is one being proposed? Please review GHA condition 8.

3. It appears after reviewing the Drainage & Erosion Control plan (sheet 2. by Haro. Kasunich & Associates. dated 5/18/04) that the earthwork proposed for the new parking areas will exceed 50 cubic yards. Please review GHA condition 9. Note: The angular crushed rock imported to the site would be considered fill. Provide an estimated of fill required to complete this project as proposed. ===== UPDATED ON FEBRUARY 23, 2005 BY KEVIN D CRAWFORD =====

NO COMMENT

===== UPDATED ON MARCH 15, 2005 BY ROBERT S LOVELAND =====

Comments above have been addressed adequately at this time. NOTE: Additional grading information will be requested at the building permit stage.

Environmental Planning Miscellaneous Comments

===== REVIEW ON JUNE 7, 2004 BY ROBERT S LOVELAND =====

Conditions of Approval :

Discretionary Comments - Continued

Project Planner: Joan Van Der Hoeven
Application No. : 04-0209
APN: 052-161-15

Date: April 28, 2005
Time: 14:44:47
Page: 2

1. A "Plan Review" letter from the project geotechnical engineer must be submitted to Environmental Planning prior to building permit issuance.
2. One eucalyptus tree, identified on sheet A1.01. is acceptable to remove but must be replaced with two 15 gallon size or larger Monterey Cypress trees and planted within the same vicinity of the tree removed. The replacement trees must be maintained in a healthy state in perpetuity. The location of the two replacement trees shall be shown on the site plan prior to building permit issuance.
3. A detailed erosion control plan shall be submitted for review.
4. Submit a detailed grading plan for review. Include imported fill material should it be required for engineered fill or baserock material. NOTE: Fill amount not to exceed 50 cubic yards.
5. Provide tree protection details for trees within the project disturbance area.
6. Record and submit the following form to Environmental Planning: "Declaration Regarding the Issuance of a Development Permit in an Area Subject to Geologic Hazards".

===== UPDATED ON FEBRUARY 23, 2005 BY KEVIN D CRAWFORD =====
NO COMMENT

Project Review Completeness Comments

===== REVIEW ON JUNE 10, 2004 BY JOAN VAN DER HOEVEN =====

Project must comply with County Code Section 13.10.552, Parking Standards 1 space per 200 sq ft office space. Signage must comply with County Code Section 13.10.580(b) - provide plan. Provide details of Daw Properties sales office relocation to Gate House. Provide details of container storage disposition from tennis courts. Provide Landscape Plan with details of proposed tree removal/replacement with drought tolerant native species. Provide materials/color boards for review by County Urban Designer. Provide Pajaro Dunes Home Owner's Association review and approval of revised-proposal. -

===== UPDATED ON JUNE 10, 2004 BY JOAN VAN DER HOEVEN =====

===== UPDATED ON SEPTEMBER 22, 2004 BY JOAN VAN DER HOEVEN =====

Flood Hazard Assessment is being processed by Environmental Planner, Jessica DeGrassi (454-3162). Please DATE any plans so that the most recent version is readily apparent. April Minutes of the Pajaro Dunes Home Owner's Association do not give final approval of the revised (undated) project. Please forward a copy of the Association's approval of this latest submittal. Signs must be consistent with County Code Section 13.10.582 (Attached), Off-site signage (Beach Street) are regulated by Public Works Traffic Engineering.

===== UPDATED ON OCTOBER 18, 2004 BY JOAN VAN DER HOEVEN =====

Project elevation is not consistent with required elevation of 14 feet above sea level as per Geohazards assessment and Haro/Kasunich assessments. Demonstrate that parking is consistent with 13.10.552.

===== UPDATED ON FEBRUARY 8, 2005 BY JOAN VAN DER HOEVEN =====

No development shall encroach onto the 15-foot wide pedestrian access-way dedicated for public use as per Condition #8 of Use Permit 3445-U, Pajaro II Planned Unit Development, Grant Deed recorded in Book 2286 Page 593 of the Official Records of

Discretionary Comments - Continued

Project Planner: Joan Van Der Hoeven
Application No.: 04-0209
APN: 052-161-15

Date: April 28, 2005
Time: 14:44:47
Page: 3

Santa Cruz County on Feb 26, 1973. The pedestrian access easement connects a 5-acre parcel of land dedicated for public use (APN 052-381-05). owned by the County of Santa Cruz, to the beach lands of the State of California.

===== UPDATED ON MARCH 14, 2005 BY JOAN VAN DER HOEVEN =====
Updated review by Design Committee of Pajaro Dunes Home owner's assoc required.

Project Review Miscellaneous Comments

===== REVIEW ON JUNE 10, 2004 BY JOAN VAN DER HOEVEN =====

Comply with Coastal Act Section 30222 (private lands for visitor-serving commercial recreational facilities) in providing mitigation for the loss of tennis court facilities with alternate recreational opportunities such as a par course parallel to existing pathways, jogging paths for example. Comply with Coastal Act Section 30213 (visitor and recreational facilities) in providing visitor accommodations. Design of the proposed structure to "tie in" with existing Cypress House with use of consistent materials, maintain minimum 10-foot separation, use of river rock natural drainage, screen trash receptacles, provide connecting walkways. provide lighting details etc. Provide details of future use of former earth-sheltered tennis pro shop currently used as the Daw Properties real estate office which is to be relocated to the Gate House. Existing temporary trailer to be removed from site.

===== UPDATED ON SEPTEMBER 22, 2004 BY JOAN VAN DER HOEVEN =====
NO COMMENT

===== UPDATED ON OCTOBER 18, 2004 BY JOAN VAN DER HOEVEN =====
Address previous comments,

Dpw Drainage Completeness Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON SEPTEMBER 17, 2004 BY CARISA REGALADO =====
The applicant was contacted by this department on September 9, 2004 for clarification on the proposed drainage system: however, the phone call was not returned. Therefore, please clarify the following items:

- 1) Using sump pumps to handle on-site runoff should be considered for use only after it is determined that no other method is suitable. Is a gravity flow drainage system feasible for this site?
- 2) To lessen the need for a sump pump system or other piped method, is it feasible for this development to make use of pervious or semi-impervious surfaces and / or more landscaped areas to deal with on-site runoff?

All subsequent submittals for this application must be done through the Planning Department. Submittals made directly to Public Works will result in delays.

Please call or visit the Dept. of Public Works, Stormwater Management Division, from 8:00 am to 12:00 pm if you have any questions. ===== UPDATED ON NOVEMBER 9, 2004 BY CARISA REGALADO =====
Haro. Kasunich and Associates, Inc. letter dated October 4, 2004 addressing comments

Discretionary Comments - Continued

Project Planner: Joan Van Der Hoeven
Application No. : 04-0209
APN: 052-161-15

Date: April 28, 2005
Time: 14:44:47
Page: 4

from 9/17/04 review has been received

This application is complete for the discretionary phase. ===== UPDATED ON MARCH 4, 2005 BY ALYSON B TOM ===== No new comment,

Dpw Drainage Miscellaneous Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO **PLANNER** FOR THIS AGENCY

===== REVIEW ON SEPTEMBER 17, 2004 BY CARISA REGALADO =====

No comment. ===== UPDATED ON NOVEMBER 9, 2004 BY CARISA REGALADO =====

No comment. ===== UPDATED ON MARCH 4, 2005 BY ALYSON B TOM ===== A recorded maintenance agreement for the proposed silt and grease trap is required prior to building permit issuance.

Zone 7A fees will be assessed on the net increase in impervious area due to this project. Please clearly describe all proposed work. Please note that the site plans with revision date of 2/11/05 does not show any work in the parking area as was shown on the previous revision dated 10/15/04.

Dpw Road Engineering Completeness Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO **PLANNER** FOR THIS AGENCY

===== REVIEW ON JUNE 1, 2004 BY GREG J MARTIN =====

Please show an existing site plan of entire site on a separate sheet. Parking spaces and aisle widths should be dimensioned. This information will allow for proper review of the project. ===== UPDATED ON SEPTEMBER 7, 2004 BY GREG J MARTIN =====

Previous comments not addressed. An existing site plan and a proposed site plan should be shown on separate sheets to allow review of the proposed project.

If you have any questions please contact Greg Martin at 831-454-2811.

Dpw Road Engineering Miscellaneous Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO **PLANNER** FOR THIS AGENCY

===== REVIEW ON JUNE 1, 2004 BY GREG J MARTIN =====

===== UPDATED ON SEPTEMBER 7, 2004 BY GREG J MARTIN =====

Cal Dept of Forestry/County Fire Completeness Comm

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO **PLANNER** FOR THIS AGENCY

===== REVIEW ON JUNE 29, 2004 BY JAN C MCNOWN =====

===== UPDATED ON JUNE 29, 2004 BY JAN C MCNOWN =====

DEPARTMENT NAME: CDF

Add the appropriate NOTES and DETAILS showing this information on your plans and RESUBMIT, with an annotated copy of this letter:

Note on the plans that these plans are in compliance with California Building and

Project Planner: Joan Van Der Hoeven
Application No. : 04-0209
APN: 052-161-15

Date: April 28, 2005
Time: 14:44:47
Page: 5

Fire Codes (2001) as amended by the authority having jurisdiction.

The job copies of the building and fire systems plans and permits must be onsite during inspections.

NOTE on the plans the OCCUPANCY CLASSIFICATION, BUILDING CONSTRUCTION TYPE/FIRE RATING and SPRINKERED or NONSPRINKERED as determined by the building official and outlined in Part IV of the California Building Code, e.g. R-3. Type V-N, Sprinklered.

FIRE FLOW requirements for the subject property are 500 GPM. Note on the plans the REQUIRED and AVAILABLE FIRE FLOW. The AVAILABLE FIRE FLOW information can be obtained from the water company.

SHOW on the plans a public fire hydrant within 250 feet of any portion of the property, along the fire department access route, meeting the minimum required fire flow for the building. This information can be obtained from the water company.

NOTE on the plans that the building shall be protected by an approved automatic fire sprinkler system complying with the currently adopted edition of NFPA 13 and Chapter 35 of California Building Code and adopted standards of the authority having jurisdiction,

NOTE that the designer/installer shall submit three (3) sets of plans and calculations for the underground and overhead Residential Automatic Fire Sprinkler System to this agency for approval. Installation shall follow our guide sheet.

NOTE on the plans that an UNDERGROUND FIRE PROTECTION SYSTEM WORKING DRAWING must be prepared by the designer/installer. The plans shall comply with the UNDERGROUND FIRE PROTECTION SYSTEM INSTALLATION POLICY HANDOUT.

Building numbers shall be provided. Numbers shall be a minimum of 4 inches in height on a contrasting background and visible from the street, additional numbers shall be installed on a directional sign at the property driveway and street.

NOTE on the plans that the roof covering shall be no less than Class "B" rated roof.

NOTE on the plans that a 30 foot clearance will be maintained with non-combustible vegetation around all structures or to the property line (whichever is a shorter distance). Single specimens of trees, ornamental shrubbery or similar plants used as ground covers, provided they do not form a means of rapidly transmitting fire from native growth to any structure are exempt.

SHOW on the plans. DETAILS of compliance with the Access Standards of the Santa Cruz County General Plan (Objective 6.5 Fire Hazards).

All bridges, culverts and crossings shall be certified by a registered engineer.

Minimum capacity of 25 tons. Cal-Trans H-20 loading standard.

SHOW on the plans, DETAILS of compliance with the driveway requirements. The driveway shall be 27 feet minimum width and maximum twenty percent slope.

The driveway shall be in place to the following standards prior to any framing construction, or construction will be stopped:

- The driveway surface shall be "all weather", a minimum 6" of compacted aggregate base rock, Class 2 or equivalent certified by a licensed engineer to 95% compaction and shall be maintained.
- ALL WEATHER SURFACE: shall be a minimum of 6" of compacted Class II base rock for grades up to and including 5%, oil and screened for grades up to and including 15% and asphaltic concrete for grades exceeding 15%, but in no case exceeding 20%.
- The maximum grade of the driveway shall not exceed 20% with grades of 15% not permitted for distances of more than 200 feet at a time.

- The driveway shall have an overhead clearance of 14 feet vertical distance for its entire width.
- A turn-around area which meets the requirements of the fire department shall be provided for access roads and driveways in excess of 150 feet in length.
- Drainage details for the road or driveway shall conform to current en-

Discretionary Comments - Continued

Project Planner: Joan Van Der Hoeven
Application No. : 04-0209
APN: 052-161-15

Date: April 28, 2005
Time: 14:44:47
Page: 6

gineering practices, including erosion control measures. - All private access roads, driveways, turn-arounds and bridges are the responsibility of the owner(s) of record and shall be maintained to ensure the fire department safe and expedient passage at all times. - The driveway shall be thereafter maintained to these standards at all times

The street/access road shall be named and addressed by the County Office of Emergency Services. Street signs shall be posted, and maintained. to County Public Works. Green and white County style signs shall be used.

Plan check is based upon plans submitted to this office. Any changes or alterations shall be re-submitted for review prior to construction.

72 hour minimum notice is required prior to any inspection and/or test.

Note: As a condition of submittal of these plans. the submitter, designer and installer certify that these plans and details comply with the applicable Specifications, Standards, Codes and Ordinances, agree that they are solely responsible for compliance with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent review, inspection or other source, and, to hold harmless and without prejudice, the reviewing agency.

Note: See attached letter regarding roadways/drives to be marked as fire lanes

===== UPDATED ON JUNE 29, 2004 BY JAN C MCNOWN =====

===== UPDATED ON JUNE 29, 2004 BY JAN C MCNOWN =====

SHOW ON BUILDING PLANS A CLOUDING OF FIRE NOTES-LISTED ABOVE. NO NEW FIRE NOTES FROM CDF/COUNTY FIRE. ===== UPDATED ON MARCH 24, 2005 BY COLLEEN L BAXTER =====

THE BUILDING IS TO HAVE THE FIRE ALARM INSTALLED TO THE REQUIREMENTS OF THE 2001 CFC AND THE SANTA CRUZ COUNTY FIRE MARSHAL'S OFFICE.

THE FIRE SERVICE UNDERGROUND, FIRE SPRINKLER AND FIRE ALARM SYSTEM ARE SEPARATE, DEFERRED SUBMITTALS. ===== UPDATED ON MARCH 24, 2005 BY COLLEEN L BAXTER =====

Cal Dept of Forestry/County Fire Miscellaneous Coin

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO **PLANNER** FOR THIS AGENCY

===== REVIEW ON JUNE 29, 2004 BY JAN C MCNOWN =====

===== UPDATED ON JUNE 29, 2004 BY JAN C MCNOWN =====

===== UPDATED ON JUNE 29, 2004 BY JAN C MCNOWN =====

NO COMMENT

===== UPDATED ON AUGUST 26, 2004 BY COLLEEN L BAXTER =====

===== UPDATED ON AUGUST 26, 2004 BY COLLEEN L BAXTER =====

===== UPDATED ON MARCH 24, 2005 BY COLLEEN L BAXTER =====

BILL GDULO DESIGN
ART & ARCHITECTURE

394-A Umbarger Rd
San Jose, CA 95111
Phone 408.224.9890
Fax 408.224.9891
www.bQdesign.com

August 10, 2004

Joan Van Der Hoeven, AICP
Planner IV
County of Santa Cruz Planning Department
701 Ocean Street - 4th Floor
Santa Cruz CA 95060

Re: Application #04-0209
APN #052-381-04
BGD 67014/H1

Dear Ms. Van Der Hoeven:

Attached please find the resubmittal of documents for the above application reflecting responses to comments issued by your office on June 10, 2005. We would like to call your attention to the revised elevations, which are somewhat different in approach from that discussed with you and Larry Kasparowitz during your site visit.

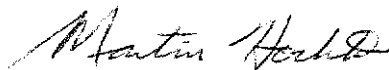
Subsequent to your visit, we met with the Architectural Design committee of the Homeowner's Association, who expressed their strong interest in having the new building be much more similar to the adjacent residential buildings. Specifically, we discussed the characteristic trimmed roof edge with no overhang, the use of geometric forms that provide vertical and horizontal variation, and the overall asymmetric composition of forms. After this meeting, we produced the current revised architectural expression incorporating these concepts that both the committee and Owner find acceptable.

While different from what we discussed, we believe this approach addresses the primary concerns from Mr. Kasparowitz's review, namely, variation in building bulk, massing, and scale, composition of projections and recesses, and general building articulation.

The only item not included in this resubmittal is the materials board. It is our intent to exactly match the shingle siding and roofing of the residential building. We are currently waiting on samples of these items in order complete the board.

Please feel free to call me at (408) 224-9890 if you have any questions. Thank you for your consideration.

Sincerely,



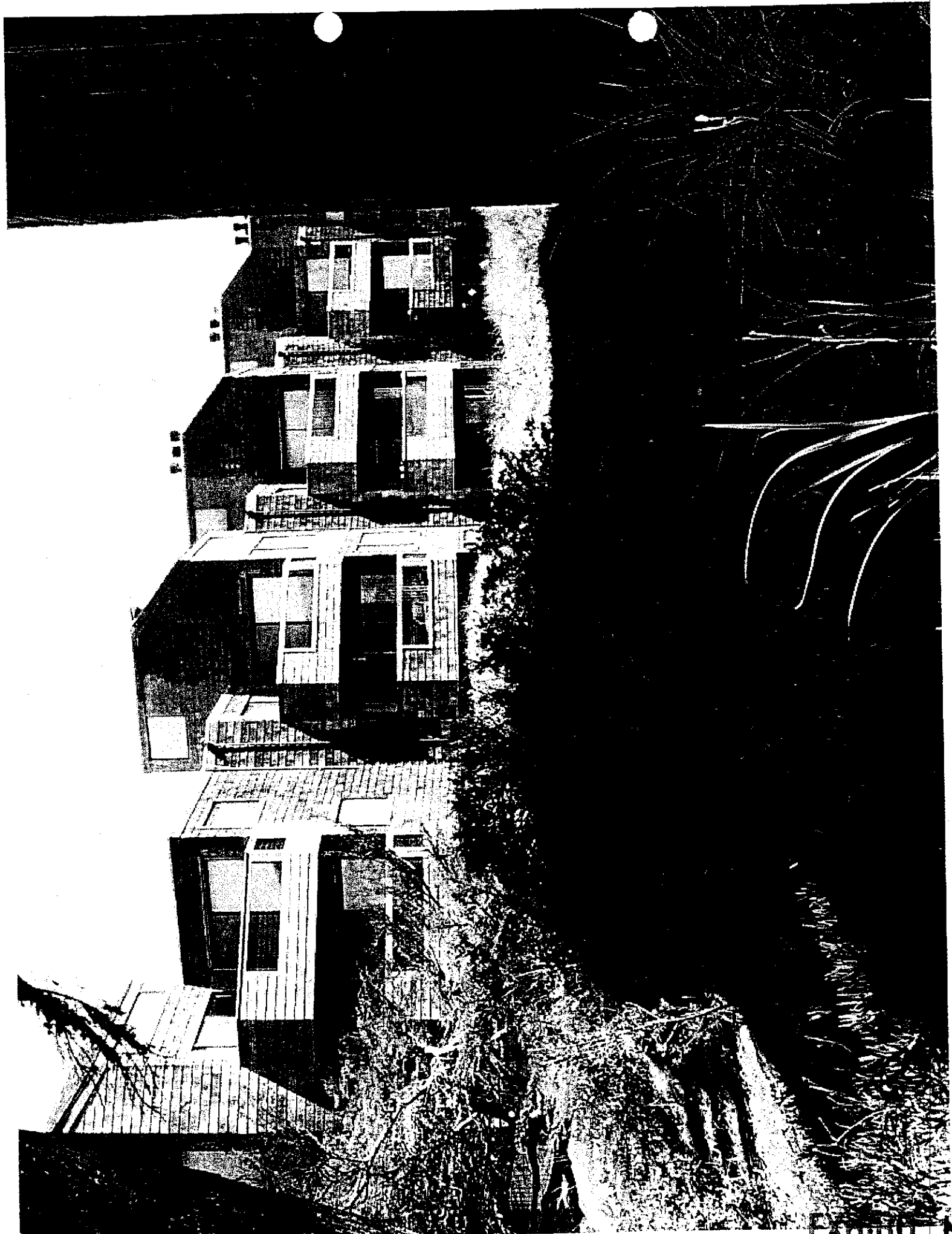
Martin Hochroth



83

Planning letter 040810

EXHIBIT H



INTEROFFICE MEMO

APPLICATION N O 04-0209 (2nd routing)

Date: August 19, 2004

To: Joan Van der Hoeven, Project Planner

From: Larry Kasparowitz, Urban Designer

Re: Design Review for a new office building at Pajaro Dunes (Pajaro Dunes North Association, owner / Hochroth/ applicant)

COMPLETENESS ISSUES

- The plans as submitted are complete enough for Design Review.

GENERAL PLAN/ ZONING CODE ISSUES

Design Review Authority

13.20.130 The Coastal Zone Design Criteria are applicable to any development requiring a Coastal Zone Approval.

Design Review Standards

13.20.130 Design criteria for coastal zone developments

Evaluation Criteria	Meets criteria In code (✓)	Does not meet criteria (✓)	Urban Designer's Evaluation
Visual Compatibility			
All new development shall be sited, designed and landscaped to be visually compatible and integrated with the character of surrounding neighborhoods or areas	✓		
Minimum Site Disturbance			
Grading, earth moving, and removal of major vegetation shall be minimized.	✓		
Developers shall be encouraged to maintain all mature trees over 6 inches in diameter except where circumstances require their removal, such as obstruction of the building site, dead or diseased trees, or nuisance species.	✓		

Special landscape features (rock outcroppings, prominent natural landforms, tree groupings) shall be retained.	✓		
Structures located near ridges shall be sited and designed not to project above the ridgeline or tree canopy at the ridgeline			N/A
Land divisions which would create			N/A
Development shall be located, if possible, on parts of the site not visible or least visible from the public view.			N/A
Development shall not block views of the shoreline from scenic road turnouts, rest stops or vista points	✓		
Site Planning			
Development shall be sited and designed to fit the physical setting carefully so that its presence is subordinate to the natural character of the site, maintaining the natural features (streams, major drainage, mature trees, dominant vegetative communities)	✓		
Screening and landscaping suitable to the site shall be used to soften the visual impact of development in the viewshed	✓		
Building design			
Structures shall be designed to fit the topography of the site with minimal cutting, grading, or filling for	✓		
Pitched, rather than flat roofs , which are surfaced with non-reflective materials except for solar energy devices shall be encouraged			N/A

Natural materials and colors which blend with the vegetative cover of the site shall be used, or if the structure is located in an existing cluster of buildings, colors and materials shall repeat or harmonize with those in the cluster	✓		
Large agricultural structures			
The visual impact of large agricultural structures shall be minimized by locating the structure within or near an existing group of buildings			N/A
The visual impact of large agricultural structures shall be minimized by using materials and colors which blend with the building and the vegetative cover of the site (except for greenhouses).			N/A
The visual impact of large agricultural structures shall be minimized by using landscaping to screen or soften the appearance of the structure			N/A
Restoration			
			N/A
development			
The requirement for restoration of visually blighted areas shall be in scale with the size of the proposed project			N/A
Signs			
Materials, scale, location and orientation of signs shall harmonize	✓		
Directly lighted, brightly colored, rotating, reflective, blinking, flashing or moving signs are prohibited	✓		
Illumination of signs shall be permitted only for state and county directional and informational signs, except in designated commercial and visitor sewing zone districts	✓		

in the Highway 1 viewshed, except within the Davenport commercial area, only CALTRANS standard signs and public parks, or parking lot identification signs, shall be permitted to be visible from the highway. These signs shall be of natural unobtrusive materials and colors			N/A
Beach Viewsheds			
Blufftop development and landscaping (e.g., decks, patios, structures, trees, shrubs, etc.) in rural areas shall be set back from the bluff edge a sufficient distance to be out of sight from the shoreline, or if infeasible, not visually intrusive			N/A
No new permanent structures on open beaches shall be allowed, except where permitted pursuant to Chapter 16.10 (Geologic Hazards) or Chapter 16.20 (Grading Regulations)			N/A
The design of permitted structures shall minimize visual intrusion, and shall incorporate materials and finishes that harmonize with the character of the area. Natural materials are preferred			N/A



County of Santa Cruz

COUNTY FIRE DEPARTMENT

P.O. DRAWER F-2, 6059 HIGHWAY 9, FELTON, CA 95018
(831)335-5355 FAX: (831)335-4053 TDD: (831)454-2123
JOHN FERREIRA, CHIEF

Joan Van der Hoeven
701 Ocean St., 4th Floor
Santa Cruz, Ca 95060
Application #04-0209

Dear Joan,

The plans for the new building at Pajaro Dunes have been reviewed and need to have the additional notes added to the plans at the time of the permit application.

- 1) The building is to be equipped with automatic fire sprinklers throughout, including the underside of the structure. The system is to be installed to 1999 NFPA 13 standards.
- 2) The building is to have the fire alarm installed to the requirements of the 2001 CFC and the Santa Cruz County Fire Marshal's Office.
- 3) The fire service underground, fire sprinkler and fire alarm system are separate, deferred submittals.

If you have any questions, please contact the Fire Marshal's Office at (831)335-6748.

Sincerely,

John Ferreira
Fire Chief

By

Colleen Baxter
Fire Inspector

Joan Vanderhoeven

From: James Davies
Sent: Thursday, March 10, 2005 2:32 PM
To: Joan Vanderhoeven
Subject: 04-0209 - Pajaro Dunes Office Building -Accessibility Review

Joan,
The plans for this project don't seem to have much in the way of accessibility incorporated into the preliminary design. The ramps shown on the front and back seem to meet the minimum code requirements but there is no mention of most of the other major accessible components.

Please have the applicant review the brochure link,
http://sccounty01.co.santa-cruz.ca.us/planning/brochures/access_plancheck.htm
When the submitted plans show accessible features such as parking, path of travel, slopes, and in general all of the code requirements from chapter 11B of the 2001 California Building code, then we can review the plans for compliance.

Thanks,
Jim

James Davies
Building Plans Examiner
County of Santa Cruz Planning Department
(831) 454-3249

4.14.05
No further comments as there have been
no modifications to the plans.



Joan Vanderhoeven

From: Barry Samuel
Sent: Friday, May 14, 2004 10:45 AM
To: Joan Vanderhoeven
Subject: App 04-0209

Hi Joan,

The Parks Department has no comments on this project.

Thanks,

Barry C. Samuel

Joan Vanderhoeven

From: Bob Olson
Sent: Monday, March 07, 2005 9:01 AM
To: Joan Vanderhoeven
Subject: APPLICATION NUMBER 04-0209

Joan:

The County Parks Department has no comments regarding Application Number 04-0209 (APN 052-381-04).

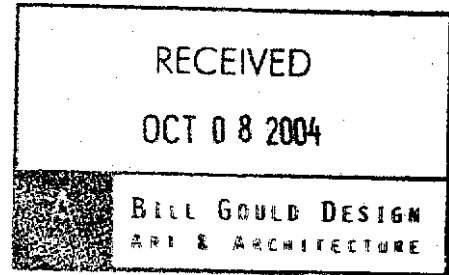
Thanks,

Bob Olson,
Park planner

Ext. 7939

Project No. SC8530.1
4 October 2004

PAJARO DUNES ON MONTEREY BAY
c/o Mickey Holzman
2661 Beach Road
Watsonville, California 95076



Subject: Response To Santa Cruz County
Department of Public Works Comments
Dated 22 September 2004 By Carisa Regalado

Reference: Proposed Modular Office Structure
Pajaro Dunes North
101 Shell Road
APN 052-381-04
Cypress House Tennis Courts
Watsonville, Santa Cruz County, California

Dear Mr. Holzman:

At the request of Ron Powers, Land Use Consultant, our firm is addressing the Santa Cruz County Department of Public Works comment's regarding our Drainage and Erosion control plan for the project dated 18 May 2004.

Comment 1:

"Using sump pumps to handle on site runoff should be considered for use only after it is determined that no other method is suitable. Is a gravity flow drainage system feasible for this site?"

Response:

A gravity flow drainage system is not feasible for this site due to the lack of relief of existing grades in relation to the nearest suitable discharge point. The nearest slough discharge point from the historic area of flooding to the slough is 280 feet. The difference in elevation between these two points is 2 feet. This equates to a flow gradient of less than 1%. Given the quantity of runoff that is collecting in the low area, a gravity feed systems is inadequate to disperse runoff in a timely manner. Historically, we understand a gravity feed system was installed in this area and since than had been abandoned because it would back up during winter months and flood the low area. A 135 GPM sump pump was then installed to disperse runoff in lieu of the gravity line.

Pajaro Dunes on Monterey Bay
Project No. SC8530.1
101 Shell Road
6 October 2004
Page 2

Comment 2:

"To lessen the need for a sump pump system or other piped method, is it feasible for this development to make use of pervious or semi-impervious surfaces and/or more landscape areas to deal with on-site runoff?"

Response:

Runoff from new AC driveways and parking areas is required to be treated through a silt/grease trap prior to discharging into the slough. To contain silt/grease in the trap during extreme coastal or inland flooding the grease trap needs to be located above the 100yr FEMA flood elevation of +13.0 feet NGVD. The area of finished paved elevation is at +7 feet NGVD and will occasionally flood. Thus use of pervious or semi-impervious surfaces to divert runoff to a silt/grease trap located above the 100 year flood plain is not feasible. This is another reason why a sump pump must be used to divert runoff through the grease trap and into the slough.

If you have any questions regarding our response, please call our office.

Sincerely,

Reviewed By:

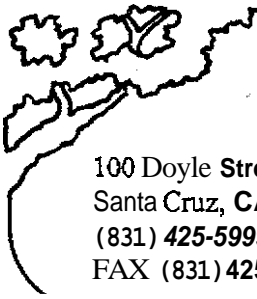
HARO, KASUNICH AND ASSOCIATES, INC.

John E. Kasunich
G.E. 455

William E. St. Clair
Engineering Technician

JEK/ak

Copies: 1 to Addressee
1 to Marty Hochroth, Bill Gould Design
3 to Ron Powers, Land Use Consultant

**RICHARD BEALE**Land Use Planning
Incorporated100 Doyle Street • Suite E
Santa Cruz, CA 95062
(831) 425-5999
FAX (831) 425-1565Masters of Architecture
Univ. of CA, Berkeley

May 28, 2004

Joan Van der Hoeven
County Planning Department
County of Santa Cruz
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060RE: Pajaro Dunes Application 04-0209
APN 052-381-04

Dear Joan,

Thank you for allowing me to review the files with you and to get familiar with this application. I appreciate your feedback relating to your project concerns.

Now that I have had an opportunity to learn more about the background of this project, I wanted to give you more information that you may not have at this time.

I have also asked the architect Marty Hochroth, Bill Gould Design to contact you and Larry Kasparowitz to see if he can address the architectural/design concerns.

As you are aware, the Pajaro Dunes development is separated into north and south areas. Currently, south Pajaro Dunes has 2 real estate offices; Sandy Casey and DAW Properties. There is currently no conference facility rental agency in South Pajaro Dunes.

North Pajaro Dunes is proposing to have 2 real estate offices. DAW properties and Pajaro Dunes Company. DAW properties will have one desk located at the gatehouse and the other existing real estate office will be moving out of the Lagoon House annex to convert it to community use. Pajaro Dunes Company will occupy the proposed office subject of

Van der Hoeven
040209
5/28/04
Page 2 of 2

this application. Pajaro Dunes Company also handles vacation rentals and conference/seminar facilities. Pajaro Dunes Company is the only office that handles conference facilities.

Unlike typical real estate offices, these offices are site specific and are exclusive to the unique Pajaro Dunes development. Therefore, having an office in Watsonville or another part of the County is not efficient, particularly with the amount of vacation rental business associated with the development.

I understand that one of your concerns relates to why an existing building is not being considered for remodeling. This option was explored and it was determined that a remodel would definitely reduce the amount of available space for conferences and seminars, which is a long-established visitor serving activity.

Another concern you expressed was the change of use relating to the PR zoning. Over time, tennis use has become less of an attraction for guests, but the rental and conference business remains high. We believe that converting one tennis court to a real estate, rental and conference/seminar office building **use** seems consistent with the PR district and Coastal Commission vision of promoting visitor-serving uses for the **zone** district. This also seems to be justified as a similar permit was requested and approved for the south Pajaro Dunes, even though the south permit did not include conference/seminar uses, which are definitely visitor-serving uses.

I hope this helps fill in some of the initial questions that you had. Please let me know if you would like to discuss any of these items in more detail.

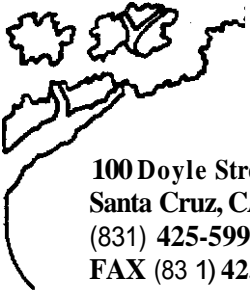
Sincerely,

RICHARD BEALE LAND **USE** PLANNING



Ron Powers, AICP

cc: Ellen Pirie, District Supervisor



RICHARD BEALE

Land Use Planning
Incorporated

100 Doyle Street • Suite E
Santa Cruz, CA 95062
(831) 425-5999
FAX (831) 425-1565

Masters of Architecture
Univ. of CA, Berkeley

August 11, 2004

Joan Van der Hoeven, AICP
County Planning Department
County of Santa Cruz
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060

RE: Pajaro Dunes Application 04-0209
APN 052-381-04

Dear Joan,

Attached are revised plans and supporting information to respond to your June 10, 2004 letter.

Project Review Completeness Comments

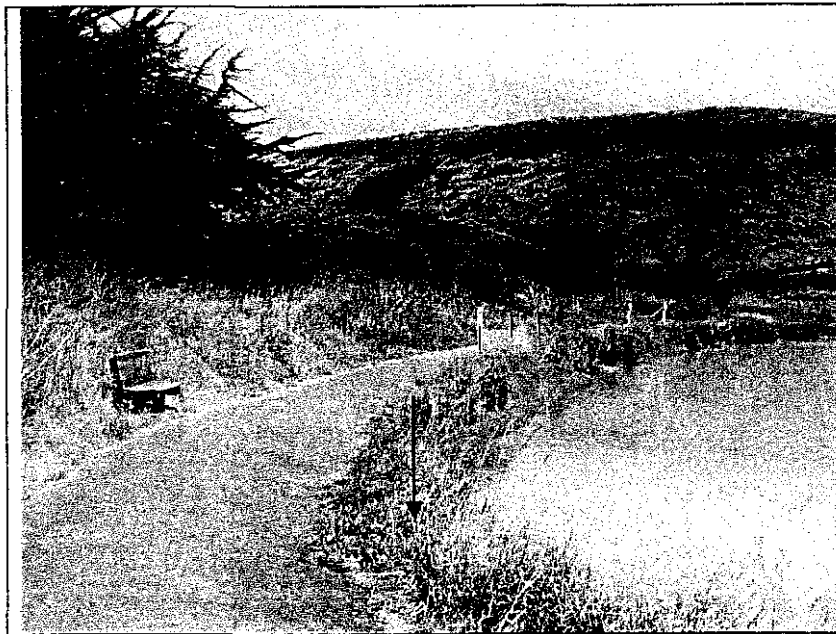
- The parking has been revised to meet parking requirements.
- Please see attached sign plan information.
- Please see attached Pajaro Dunes North Association letter regarding Daw Property relocation.
- The storage containers will be relocated. Please see the attached letter from Pajaro Dunes North Association.
- A landscape plan has been provided to complement the existing landscaping at the Leo Ruth Cypress House.
- A materials/color board is attached.
- The Pajaro Dunes North Association approval/minutes are attached.

Project Review Miscellaneous Comments

- Coastal Act Section 30222. On August 4, 2004 Mickey Holzman and I met with David DeBoer, President Pajaro Dunes North

Homeowners Association and Greg Feaster, General Manager Pajaro Dunes North Association. It was believed that the par course alternative would be seen as visually disruptive to the natural ambiance and character of Pajaro Dunes. As an alternative to the par course recreation option, we are requesting County approval for 2 nature-interpretive signs to be associated with the Pajaro Dunes North existing pond.

In reviewing the Coastal Act language, it seems that the objective to "...enhance public opportunities for coastal recreation..." is consistent with the proposed interpretive signs. The existing pond is habitat for a large number of birds associated with the coast and the low profile signs will be a way to tie in coastal recreation with the Pajaro Dunes namesake. Please see the following suggested locations for these signs.



Sign can be located on pond side of path or other location to be determined.



Sign can be located on right/pond side of path.

- Coastal Act Section 30213 Visitor and Recreation Facilities. The interpretive signs are a form of "...lower cost recreation facilities..." as encouraged by this coastal policy. Removing one existing tennis court does not conflict with the Coastal Act or original Use Permit conditions. Pajaro Dunes North was not required to maintain a certain number of courts and removing the court will not adversely reduce coastal recreation opportunities. The tennis court usage has dropped significantly since their installation and removing one court is not an impact on coastal recreation.
Also attached is information on overall usage of the Shorebirds area of Pajaro Dunes, which indicates the number of visitors and usage as managed through the Pajaro Dunes Company. The proposed office facility will provide a central location for visitors desiring to rent vacation units and plan/attend seminars and conferences.
- Design issues. The project has been modified to integrate with the existing architecture of Pajaro Dunes North. Please see attached plans and letter from Bill Gould Design.

Summary

We believe the modifications made to the original proposal are consistent with the requested changes from the departmental reviews. Please let me

Van der Hoeven
04-0209
8/11/04
Page 4 of 4

know if you need **any** additional information. We look forward to moving toward the Planning Commission hearing.

Sincerely,

RICHARD BEALE LAND USE PLANNING

A handwritten signature in black ink, appearing to read "Ron", written over the printed name "Ron Powers, AICP".

Ron Powers, AICP

cc: Mickey Holzman, Pajaro Dunes Company



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, SUITE 310, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
TOM BURNS, DIRECTOR

September 30, 2004

Martin Hochroth
394-A Umbarger Road
San Jose, CA 95111

Subject: GEOLOGIC HAZARDS ASSESSMENT
APN: 052-381-04
LOCATION: Shell Road
PERMIT APPLICATION NUMBER: 04-0209
OWNER: Pajaro Dunes North Association

Dear Mr. Hochroth,

We have recently conducted a site inspection of the parcel referenced above where a 4,320 commercial office building is proposed. This inspection was completed to assess the property for possible flood hazards due to its proximity to Watsonville Slough. The purpose of this letter is to briefly describe our site observations, outline permit conditions with respect to geologic planning issues and to complete the hazards assessment for this property.

The subject parcel is located near the Watsonville Slough. Published maps on file with the Planning Department indicate that the parcel is within this stream's federally designated 100-year floodplain.

Enclosed copies of the federal flood maps indicate the flood hazard boundaries in this area and the approximate parcel location (see Figures 1a and 1b). The flood hazard maps delineate the extent of flooding which is anticipated during a 100-year flood, an event with a one percent chance of occurring in any given year. Flooding to an approximate level of 13 feet above mean sea level is anticipated to occur once every hundred years on the basis of this mapping. However, this does not preclude flooding from occurring due to events smaller in magnitude than the 100-year flood or for the "100-year flood from occurring two years in a row. For your information, the January, 1982 storm did not result in 100-year flood levels for any of the streams monitored in Santa Cruz County.

The flood hazard maps for the County were recently revised by the federal government due to the County's participation in the National Flood Insurance Program. This program enables property owners to obtain insurance coverage for flood damage to residential and commercial structures and their contents. In return for making flood

insurance available, the federal government requires that the County's land use regulations be consistent with federal standards for construction activities in areas where potential flood hazards are identified on the maps.

Therefore, to comply with federal floodplain management requirements as well as section 16.10 of the County Code (Geologic Hazards Ordinance) and to receive approval for the proposed project with respect to geologic planning issues, the following conditions must be met:

1. No development activity may occur within the floodway.
2. The lowest finished floor and elements that function as a part of the structure such as a furnace or hot water heater must be elevated or the entire structure must be elevated or floodproofed above the level of flooding anticipated during the 100-year flood event. At this site elevation or floodproofing to an elevation of at least **14** feet above mean sea level must occur.
3. The following items must be completed to meet elevation requirements for non-habitable (commercial) structures:
 - a. The building plans must indicate the elevation of the lowest finished floor relative to mean sea level and native grade prior to issuance of a development permit; and
 - b. Compliance with the elevation requirement must be certified in writing on an Elevation Certificate by a registered professional engineer, architect or surveyor prior to the final inspection of the structure.
4. For all new construction and substantial improvements, the fully enclosed areas below the lowest floor that are subject to flooding shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters.
5. Designs for meeting this requirement must either be certified by a registered professional engineer or architect; or meet or exceed the following minimum criteria:
 - a. EITHER a minimum of two openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding shall be provided. The bottom of all openings shall be no higher than one foot above grade. The openings may be equipped with screens, louvers,

valves or other coverings or devices, provided that they permit the automatic entry and exit of floodwaters; **OR**

- b. Be certified to comply with a local floodproofing standard approved by the Federal Insurance Administration (see below for floodproofing option).
6. Non-residential structures shall be floodproofed if elevation above the 100-year flood plain is not feasible. Floodproofed structures shall meet the following criteria:
- a. The structure and elements that function as apart of the structure such as a furnace or hot water heater must be floodproofed so that below the level indicated above, the structure is watertight with walls substantially impermeable to the passage of water.
 - b. The structure must be capable of resisting hydrostatic and hydrodynamic loads and effects of buoyancy; and
 - c. The building plans must indicate the specific floodproofing measures which have been designed for the structure and the elevation relative to mean sea level and native grade to which these floodproofing measures will be constructed before the building permit can be approved by the Environmental and Technical Review Section of the Planning Department. The plans must be certified by a registered professional architect or engineer.
7. After the building plans are approved, an Elevation/Floodproofing Certificate will be mailed to the property owner. A state-registered engineer or licensed architect must complete this certificate by indicating the elevation to which floodproofing was achieved before a final building inspection of the structure can occur.
8. New septic systems and leachfields shall not be located within the 100-year floodplain. No expansion of existing septic systems or leachfields shall be allowed within the 100-year floodplain.
9. The placement of fill shall be allowed only when necessary. The amount allowed will not exceed 50 cubic yards and only as part of a permitted development and only if it can be demonstrated through environmental review that the fill will not have cumulative adverse impacts.
10. The enclosed Declaration form acknowledging a possible flood hazard to the parcel must be completed prior to issuance of a building permit.

Martin Hochroth
September 28, 2004
page 4

If you have any questions concerning the assessment of this property for flood hazards or the permit conditions described above, please call me at -454-3162. Questions

regarding insurance coverage under the National Flood Insurance Program should be directed to an insurance agent.

Sincerely,



JESSICA DEGRASSI
Resource Planner
Environmental Planning

October 5, 2004
Date



JOE HANNA
County Geologist
CEG #1313

FOR: KEN HART
Principal Planner
Environmental Planning

Enclosure(s)

cc: GHA File
Joan Van Der Hoeven, Planner

NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

**SANTA CRUZ COUNTY,
CALIFORNIA**
(UNINCORPORATED AREAS)

PANEL 390 OF 450

(SEE MAP INDEX FOR PANELS NOT PRINTED)

COMMUNITY-PANEL NUMBER
060353 0390 B

EFFECTIVE DATE:
APRIL 15, 1986



Federal Emergency Management Agency

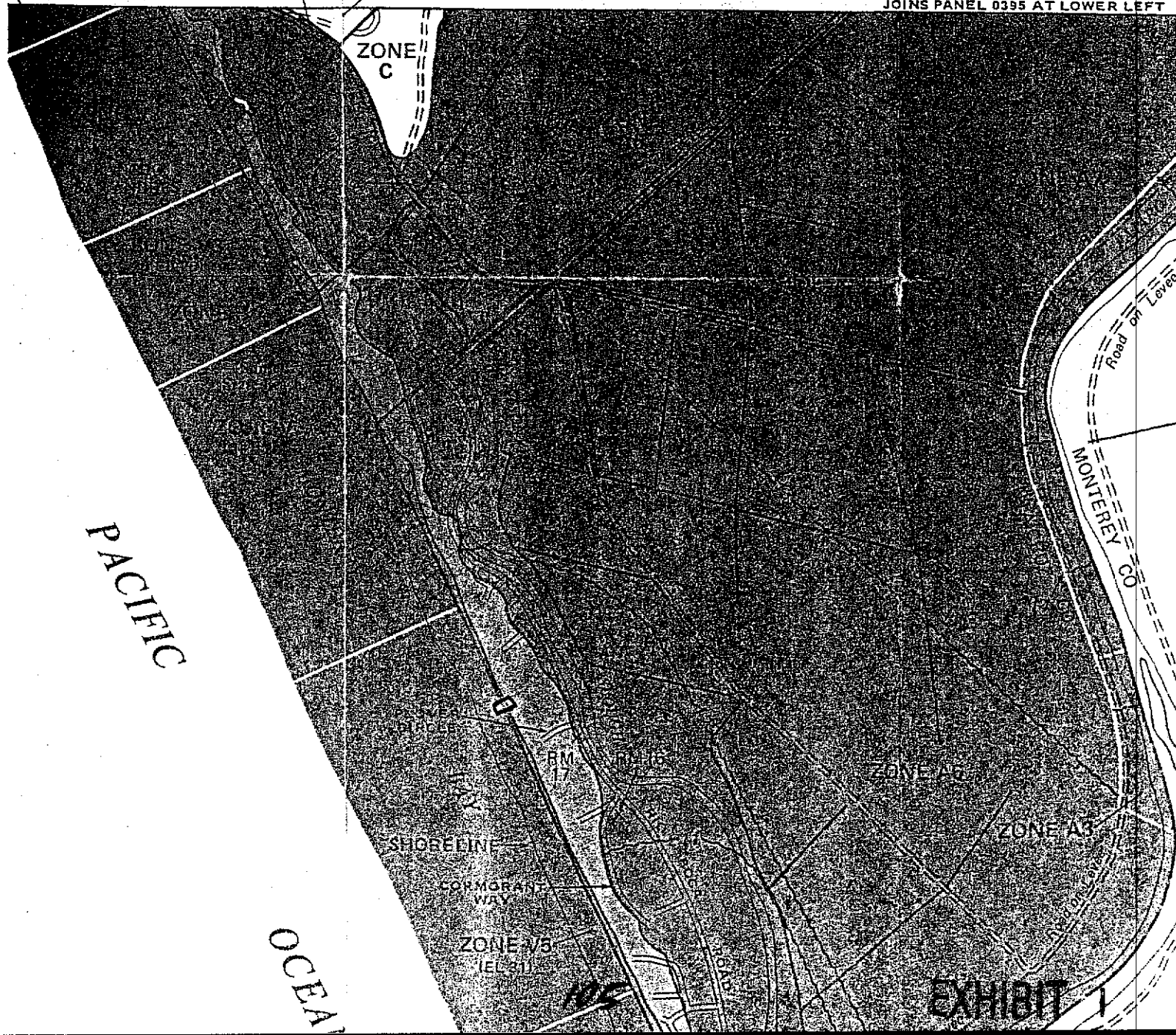
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DY

JOINS THIS PANEL AT LOWER RIGHT

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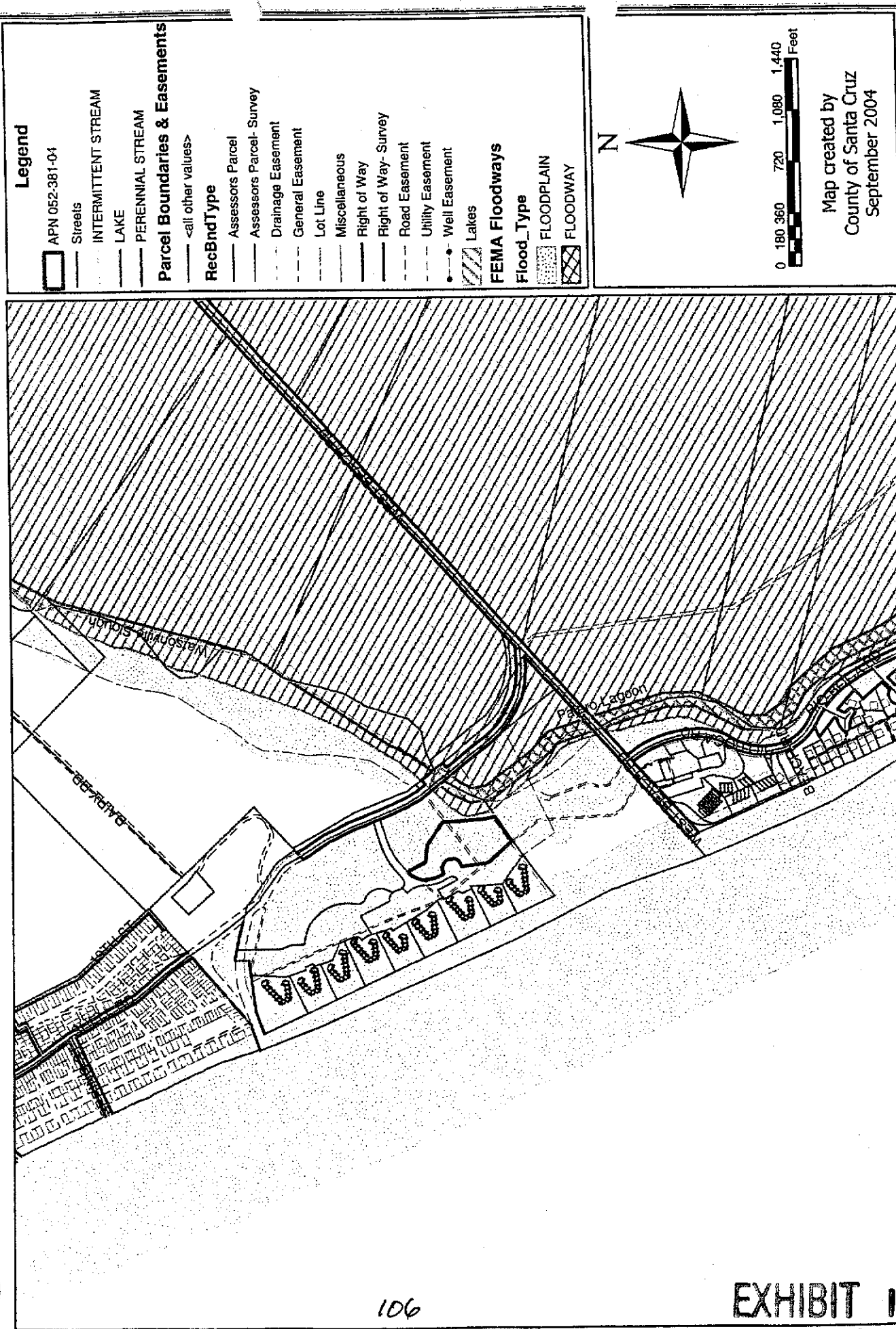
GRANT BDY Sunset State Beach

JOINS PANEL 0395 AT LOWER LEFT





Environmental Attributes for Application # 04-0209





County of Santa Cruz

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060-4000
(831) 454-2580 FAX (831) 454-2131 TDD (831) 454-2123
TOM BURNS, DIRECTOR

July 31, 2004

Pajaro Dunes On Monterey Bay
c/o Mickey Holzman
2661 Beach Road
Watsonville, CA, 95076

SUBJECT: Review of Geotechnical Investigation by Haro, Kasunich & Associates, Inc.;
Dated: May 17, 2004; Project No. SC8530; APN: 052-381-04, Application No.:
04-0209

Dear Applicant:

Thank you for submitting the soil report for the parcel referenced above. The report was reviewed for conformance with County Guidelines for Soils/Geotechnical Reports and also for completeness regarding site-specific hazards and accompanying technical reports (e.g. geologic, hydrologic, etc.). The purpose of this letter is to inform you that the Planning Department *has accepted* the report and the following recommendations become permit conditions:

1. All report recommendations must be followed.
2. An engineered foundation plan is required. This plan must incorporate the design recommendations of the soils engineering report.
3. Final plans shall show the drainage system as detailed in the soils engineering report.
4. Final plans shall reference the approved soils engineering report and state that all development shall conform to the report recommendations.
5. Prior to building permit issuance, the soil engineer must **submit** a brief building, grading and drainage plan review letter to Environmental Planning stating that the plans and foundation design are in general compliance with the report recommendations. If, upon plan review, the engineer requires revisions or additions, the applicant shall submit to Environmental Planning two copies of revised plans and a final plan review letter stating that the plans, as revised, conform to the report recommendations.
6. The soil engineer must inspect all foundation excavations and a letter of inspection must be submitted to Environmental Planning and your building inspector prior to placement of concrete.
7. For all projects, the soil engineer must submit a final letter report to Environmental Planning and your building inspector regarding compliance with all technical recommendations of the soil report prior to final inspection. For all projects with engineered fills, the soil engineer must submit a final grading report (reference August

1997 County Guidelines for **Soils/Geotechnical** Reports) to Environmental Planning and your building inspector regarding the compliance with all technical **recommendations** of the soil report prior to final inspection.

The soil report acceptance is only limited to the technical adequacy of the report. Other issues, like planning, building, septic or sewer approval, **etc.**, may still require resolution.

The Planning Department will check final development plans to verify project consistency with report recommendations and permit conditions prior to building permit issuance. If not already done, please submit two copies of the approved soil report at the time of building permit application for attachment to your building plans.

Please call the undersigned at 831-454-3210 if we can be of any assistance.

Sincerely,

Kevin Crawford
Senior Civil Engineer

Cc: Joan Van der Hoeven, Project Planner
Bob Loveland, Resource Planner
Martin Hochroth, Bill Gould Design Art & Architecture, 394-A Umbarger Road, San Jose, CA 95111

Project No. SC8530
17 May 2004

Pajaro Gunes On Monterey Bay
% Mickey Holzman
2661 Beach Road
Watsonville, California 95076

* REPORT
ON FILE *

Subject: Geotechnical Investigation

Reference: Proposed Modular Office Structure
Pajaro Dunes North
101 Shell Road
APN 052-381-04
Cypress House Tennis Courts
Watsonville, Santa Cruz County, California

Dear Mr. Holzman:

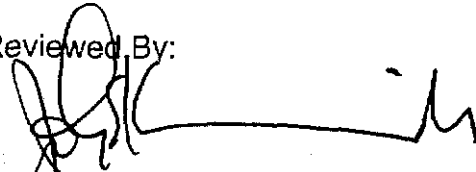
In accordance with your authorization, we have performed a Geotechnical Investigation for the referenced project in Santa Cruz County, California.

The accompanying report presents our conclusions and recommendations, as well as the results of the geotechnical investigation on which they are based.

If you have any questions concerning the data or conclusions presented in this report, please call our office.

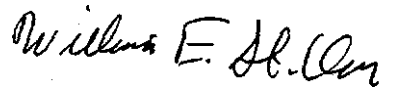
Very truly yours,

Reviewed By:

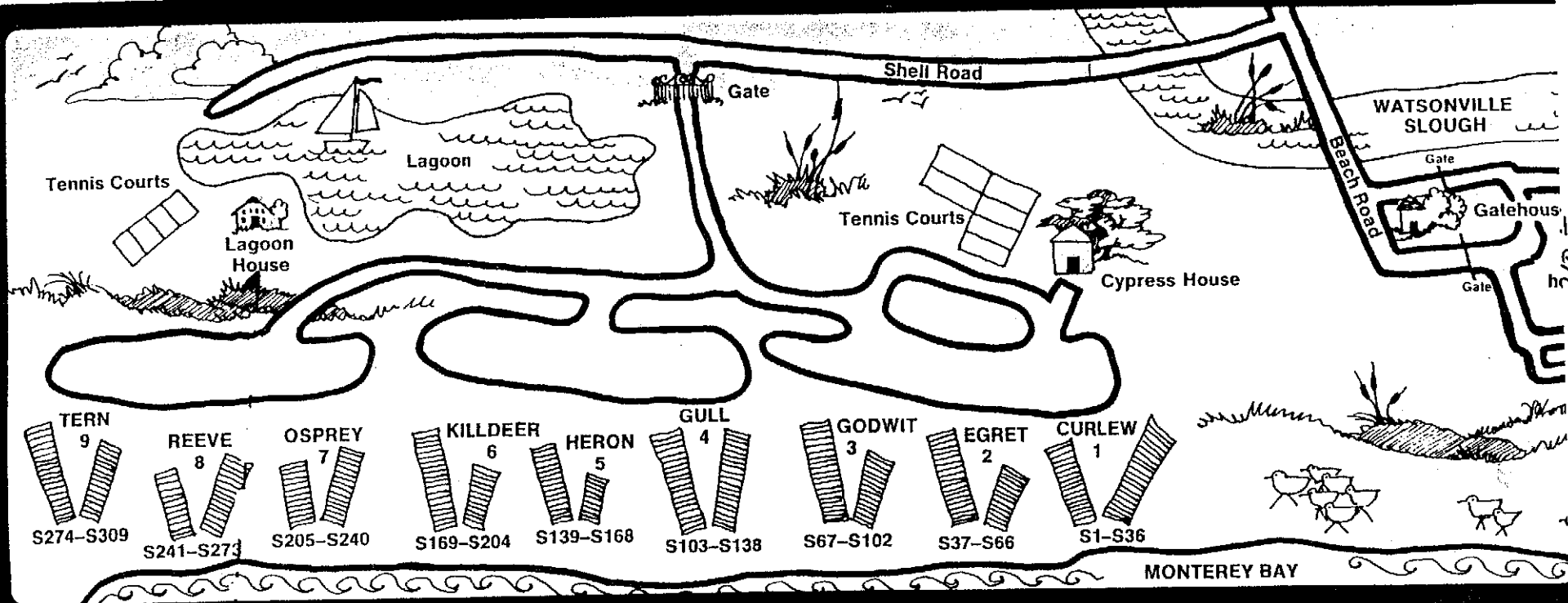

John E. Kasunich
G.E. 455

WSC/sq

HARO, KASUNICH AND ASSOCIATES, INC.


William E. St. Clair
Engineering Technician

Copies: 1 to Addressee
3 to Bill Gould Design Art & Architecture (Attn: Marty Hocroff)
1 to American Drilling



PAJARO DUNES-SHOREBIRDS

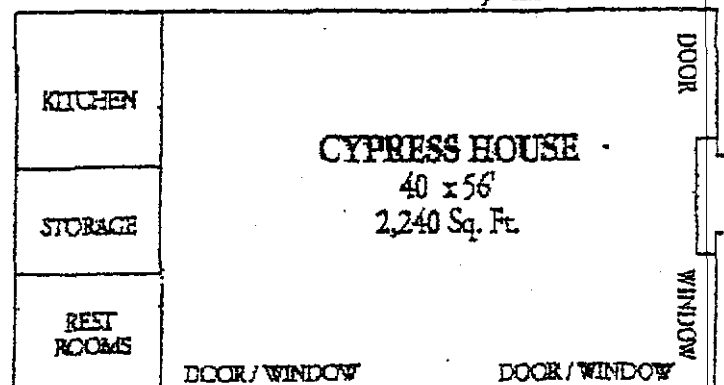
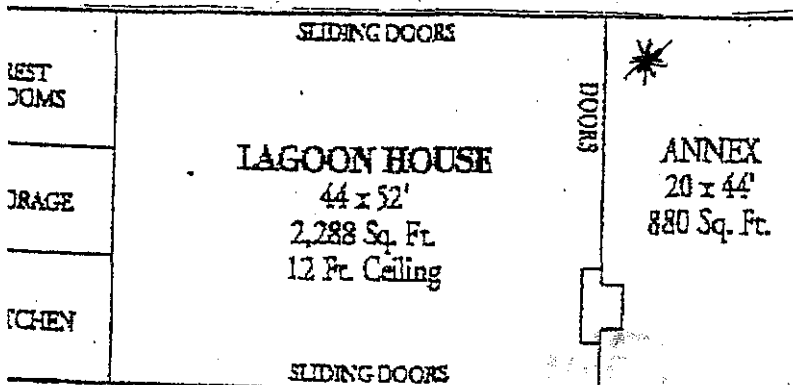
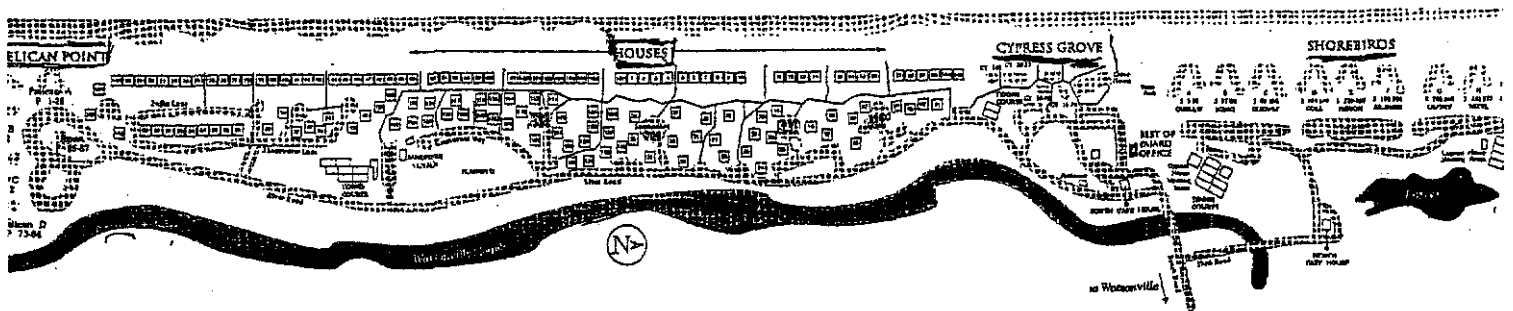
May 30,2001

Pajaro Dunes consists of four separate elements: Shorebirds (Pajaro Dunes North Association), Cypress Townhouses, Individual Houses, and Pelican Point. (*See Map*). The latter three Associations are collectively known as the Pajaro Dunes Association (South Association), and is located between the Pajaro River to the South and Palm Beach Park to the North. Shorebirds (North Association) is located between Palm Beach Park and Sunset Beach Park.

Built in the 1970's Shorebirds consists of 309 condominium units in nine buildings. In addition, there are five common area buildings – Cypress House, Lagoon House, Pro Shop, Gatehouse and Maintenance Building. Homeowners belong to a not for profit Association (PDNA).

Of the 309 units, some homeowners make exclusive use of their units. Others rent out their units full time or part time. Some owners rent directly while the majority use Rental Agents. The County derives substantial annual income from the transit occupancy taxes on the units.

We currently have a use permit (3445-U) to maintain a Real Estate sales office in the "existing offices"/gatehouse building for the purpose of sale, resale or rental of properties within the Pajaro Dunes North Association development only. The South Association currently has two Real Estate/Rental Agents located on the property. Our request is to transfer the Sales/Rental Agents from the gatehouse to the annex of our existing Lagoon House. (see map and drawings). We have a current building permit # 126145 to modify the building for the office. This request is for an amendment to our use permit (application 000-665).



STORAGE

EXHIBIT K