



Staff Report to the Planning Commission

Application Number: **04-0472**

Applicant: Deidre Hamilton, Hamilton-Swift
Land Use Consultants

Agenda Date: February 8, 2006

Owner: Loleta Heichel, Trustee

Agenda Item #: 10

APN: 102-221-53

Time: After 9:00 a.m.

Project Description: Proposal to remove three existing houses on one parcel and to divide the property into seven new single-family residential lots between 6,000 and 9,500 square feet in size and to grade approximately 900 cubic yards of earth. Requires a Subdivision and Preliminary Grading Approval.

Location: The property is located at the end of Dawn Lane about 400 feet west of the intersection of Dawn Lane and Soquel-San Jose Road, at 4575 Dawn Lane, Soquel.

Supervisory District: First District (District Supervisor: Beautz)

Permits Required: Subdivision and Preliminary Grading Approval

Staff Recommendation:

- Certification of the mitigated Negative Declaration in accordance with the California Environmental Quality Act; and
- Approval of Application 04-0472, based on the attached findings and conditions.

Exhibits

- | | |
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| A. Project plans | F. Zoning & General Plan Maps |
| B. Findings | G. Will Serve Letters |
| C. Conditions | H. Comments & Correspondence |
| D. Mitigated Negative Declaration and Initial Study | I. Summary of Neighborhood Meeting (on file with the Planning Department) |
| E. Assessor's Parcel Map | |

Parcel Information

Parcel Size:	1.35 gross acres
Existing Land Use - Parcel:	Residential
Existing Land Use - Surrounding:	Residential and Anna Jean Cummings Park
Project Access:	Dawn Lane

Planning Area: Soquel
Land Use Designation: R-UL (Urban Low Density Residential) ()
Zone District: R-1-6 (Single family residential - 6,000 square foot minimum lot size)
Coastal Zone: Inside XX Outside

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Soils: Soils Report and Review Completed
Fire Hazard: Not a mapped constraint
Slopes: 0.9 acres exceed 30% slopes
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: Approximately 900 cubic yards of grading proposed
Tree Removal: About six walnut trees previously removed
Scenic: Not a mapped resource
Drainage: Engineered drainage plans and improvements proposed and deemed adequate
Archeology: No physical evidence on site per reconnaissance

Services Information

Urban/Rural Services Line: XX Inside Outside
Water Supply: Soquel Creek Water District
Sewage Disposal: Santa Cruz County Sanitation District
Fire District: Central Fire District
Drainage District: Zone 5

History

On September 27, 2004, the County Planning Department accepted this application for a Subdivision. The proposed project is subject to environmental review per the requirements of the California Environmental Quality Act (CEQA). The project was reviewed by the County's Environmental Coordinator on October 17, 2005. The mandatory public comment period ended on November 23, 2005, with no comments received. The Initial Study, Negative Declaration and Mitigations are included in the staff report as Exhibit D.

Project Setting

The project site is located within the Soquel planning area, on the western terminus of Dawn Lane, about 400 feet from the intersection of Dawn Lane and Soquel-San Jose Road in Soquel. The parcel is approximately 1.35 acres in area and consists of level to moderately sloping topography that steepens to over 30% along the northern end of the property. The site is currently developed with three dwellings dating to the 1930's with unpaved driveways and miscellaneous outbuildings. The dwellings do not appear to be in good condition. The site is vegetated with grasses, blackberry patches, some pampas grass and the remnants of an orchard and old gardens. Approximately six mature walnut trees had been removed prior to this application.

Surrounding development consists predominately of residential uses, developed to a similar density as that requested by this proposal and Anna Jean Cummings Park at the property's southern boundary. Zoning in the immediate area is R-1-6, with PR and SU zoning for the park to the south.

Zoning & General Plan Consistency

The subject property is 1.35 gross acres in size. The parcel has 0.09 acres of slopes exceeding 30%, that, consistent with General Plan policy 6.2.5, is excluded from the density calculations for land divisions. An additional 0.3 acres are required for the right-of-way, leaving 45,868 square feet (1.05 acres) of net developable area. The site's R-UL (Urban Low Density Residential) General Plan designation allows a density range of 4.4 to 7.2 units per net developable acre (U/ND A), which corresponds to lot size requirements of 6,000 to 10,000 net developable square feet. The objective of this land use designation is to provide for low-density residential development in areas within the Urban Services Line that have a full range of urban services. The proposed subdivision creates seven units on 1.05 net developable acres, resulting in a density of 6.7 U/ND A consistent with the density set forth for R-UL General Plan designation. The R-1-6 (Single family residential - 6,000 square foot minimum lot size) zone district is an implementing zone district for the R-UL General Plan designation. The subdivision's parcel sizes, which range in size from 6,000 square feet to 9,500 square feet, are consistent with the R-1-6 minimum lot sizes.

The proposed subdivision complies with the zoning ordinance in that the property is intended for residential use, the lot sizes meet the minimum dimensional standard for the R-1-6 zone district, and the setbacks on the new lots created will be consistent with the minimum zoning ordinance requirements. Specifically, the proposed development on the new lots will meet the required setbacks of 20 feet from the front parcel boundary/edge of any right-of-way, 15 feet from the rear parcel boundary, and 5 and 8 feet from the side parcel boundaries. All of the proposed development will cover slightly less than 30 percent of the net site area for each lot, and the proposed floor area ratio for the development on each new lot is less than 50 percent of the net site area. The proposed building footprints are shown on the architectural plans included as Exhibit A, as are the lot coverage and floor area ratio calculations. The proposed cul-de-sac meets the road standards for urban residential development set forth in the County's Design Criteria.

About 900 cubic yards of grading is proposed for the subdivision. The majority of this grading is to remove poor soils and import about 470 cubic yards of engineered fill material to create the building pads, complete an emergency access road and construct the main cul-de-sac. This grading is not excessive with respect to the necessary improvements and the slope of the site.

Because the building sites will be located slightly more than 500 feet from the nearest through road (Old San Jose Road), a secondary emergency access is required consistent with General Plan policy 6.5.5. The project will complete the improvements of a 12-foot wide emergency secondary access road connecting the new Dawn Lane cul-de-sac on this existing dead-end road to an adjacent cul-de-sac (Hilltop Court) thereby providing increased circulation in the event of an emergency for these two residential neighborhoods. In addition, Central Fire has required the construction of a new fire hydrant to service this development, which is included on the proposed improvement plans.

Since seven residential parcels are proposed, the project has an Affordable Housing Obligation

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About 900 cubic yards of grading is proposed for the subdivision. The majority of this grading is to remove poor soils and import about 470 cubic yards of engineered fill material to create the building pads, complete an emergency access road and construct the main cul-de-sac. This grading is not excessive with respect to the necessary improvements and the slope of the site.

Because the building sites will be located slightly more than 500 feet from the nearest through road (Old San Jose Road), a secondary emergency access is required consistent with General Plan policy 6.5.5. The project will complete the improvements of a 12-foot wide emergency secondary access road connecting the new Dawn Lane cul-de-sac on this existing dead-end road to an adjacent cul-de-sac (Hilltop Court) thereby providing increased circulation in the event of an emergency for these two residential neighborhoods. In addition, Central Fire has required the construction of a new fire hydrant to service this development, which is included on the proposed improvement plans.

Since seven residential parcels are proposed, the project has an Affordable Housing Obligation (AHO) of 1.05 units in accordance with County Code Section 17.10. The project will meet the AHO

through the construction of one affordable unit on Parcel 7 and the payment of in lieu fees for the remaining 0.05 units. The proposed affordable unit is consistent with the requirements set forth in County Code Section 17.10 with respect to the size and design of the affordable unit. Specifically, the affordable unit can be a minimum size of 75% of the average size of the market rate residences. The average floor area of the market rate units is 2,479 square feet and 75% of the average is 1,859 square feet. The floor area for the proposed affordable dwelling is 1,924 square feet, which meets the requirements. In addition, the affordable unit's lot is not the smallest parcel in the development, and five of the seven parcels are similarly sized to the affordable lot. The architectural design is the same style and quality as is used throughout the development.

The project is within the County's residential street lighting zone. The applicant is requesting a waiver from the streetlight requirement. Currently, there are no streetlights on Dawn Lane. Thus, the proposed development at the end of Dawn Lane would be consistent with the pattern of development without the addition of street lights (see Exhibit H) and staff supports this waiver.

Design Review

The project has been reviewed by the Urban Designer and complies with the requirements of the County Design Review Ordinance, in that the proposed project will incorporate site and architectural design features such as to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape. The new homes are proposed to be two-stories with contemporary split-level designs that are consistent in size with the newer development in the area and incorporate some of the architectural character found on other older homes in the area. Siding for the new homes on Lots 1, 3, 5 and 6 is proposed to be cement plaster on the first floor and "hardishingle" siding for the second floor. Lots 2, 4 and 7 will use also use cement plaster on the lower floor and "hardiplank" to finish the second story. The exterior colors for the homes are proposed to be earth tones in the rich browns, beige, cream, and gray tones. Roofing material is proposed to be charcoal colored composition shingles.

Environmental Review

As discussed above, the project completed environmental review in accordance with the California Environmental Quality Act (CEQA), and a preliminary determination to issue a Negative Declaration with Mitigations (Exhibit D) was made on October 24, 2005. The mandatory public comment period expired on November 23, 2005, with no comments received.

The environmental review process focused on the potential impacts of the project in the areas of liquefaction and foundation design and impacts associated with the site grading. The environmental review process generated mitigation measures that will reduce potential impacts from the proposed development and adequately address these issues. These mitigations have been incorporated into the attached conditions of approval.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

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Owner: Loleta Heichel, Trustee

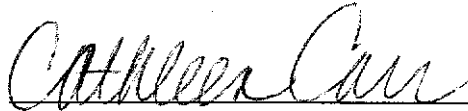
Staff Recommendation

- e APPROVAL of Application Number **04-0472**, based on the attached findings and conditions.
- Certification of the mitigated Negative Declaration in accordance with the California Environmental Quality Act.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

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Report Reviewed By:



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Principal Planner
Development Review

SUBDIVISION FINDINGS:

1. THAT THE PROPOSED SUBDIVISION MEETS ALL REQUIREMENTS OR CONDITIONS OF THE SUBDIVISION ORDINANCE AND THE STATE SUBDIVISION MAP ACT.

The proposed division of land meets all requirements and conditions of the County Subdivision Ordinance and the State Map Act in that the project meets all of the technical requirements of the Subdivision Ordinance and is consistent with the County General Plan and the Zoning Ordinance as set forth in the findings below.

2. THAT THE PROPOSED SUBDIVISION, ITS DESIGN, AND ITS IMPROVEMENTS, ARE CONSISTENT WITH THE GENERAL PLAN, AND THE AREA GENERAL PLAN OR SPECIFIC PLAN, IF ANY.

The proposed division of land, its design, and its improvements, are consistent with the General Plan. The project creates seven new single-family lots and is located in the Residential, Urban Low General Plan designation. This designation allows a density range of 4.4 to 7.2 Units per Net Developable Acre (U/ND A), which corresponds to lot size requirements of 6,000 to 10,000 net square feet. The objective of this land use designation is to provide for lower density residential development in areas within the Urban Services Line that have a full range of urban services. As proposed, the seven residential units on 1.05 net developable acres, resulting in a density of 6.7 U/ND A, which is consistent with the density set forth for the R-UL General Plan designation.

The project is consistent with the General Plan in that the full range of urban services is available and will be extended to the new parcels created, including municipal water and sewer service. The land division will be served by a new cul-de-sac at the end of Dawn Lane, which is currently a dead end road. The proposed cul-de-sac will provide satisfactory access to the new parcels created by the project. Because the building sites will be located slightly more than 500 feet from the nearest through road (Old San Jose Road), a secondary emergency access is required consistent with General Plan policy 6.5.5. The project will complete the improvements of a 12-foot wide emergency secondary access road connecting the new Dawn Lane cul-de-sac on this existing dead-end road to an adjacent cul-de-sac (Hilltop Court) thereby providing increased circulation in the event of an emergency for these two residential neighborhoods. The proposed subdivision is similar to the pattern and density of surrounding development, is near commercial shopping facilities and recreational opportunities, and, with proposed road improvements, will have adequate and safe vehicular access.

The property contains an area with slopes steeper than 30%. The proposed land division has excluded these areas from the calculation of the net developable acreage and from the building envelopes consistent with General Plan policies 6.2.5 and 6.3.1.

The land division, as conditioned, will be consistent with the General Plan regarding infill development in that the proposed single-family development will be consistent with the pattern of the surrounding development, and the design of the proposed home is consistent with the character of the surrounding neighborhood. The land division is not in a hazardous or environmentally sensitive area and protects natural resources by providing residential development in an area

designated for this type and density of development.

3. THAT THE PROPOSED SUBDIVISION COMPLIES WITH ZONING ORDINANCE PROVISIONS AS TO USES OF LAND, LOT SIZES AND DIMENSIONS AND ANY OTHER APPLICABLE REGULATIONS.

The proposed division of land complies with the zoning ordinance provisions as to uses of land, lot sizes and dimensions and other applicable regulations in that the use of the property will be residential in nature, the lot sizes meet the minimum dimensional standards for the R-1-6 zone district where the project is located, and all setbacks will be consistent with the zoning standards. The proposed new dwellings will comply with the development standards in the zoning ordinance as they relate to setbacks, maximum parcel coverage, minimum site width, floor area ratio and minimum site frontage.

The subdivision meets the requirements of County Code Section 17.10 in meeting the required Affordable Housing Obligation (AHO) of 1.05 units. The project will construct one affordable unit on Parcel 7 and the pay in lieu fees for the remaining 0.05 units. The proposed affordable unit is consistent with the overall development and meets the requirements set forth in County Code Section 17.10 with respect to the size and design of the affordable unit.

4. THAT THE SITE OF THE PROPOSED SUBDIVISION IS PHYSICALLY SUITABLE FOR THE TYPE AND DENSITY OF DEVELOPMENT.

The site of the proposed land division is physically suitable for the type and density of development in that no challenging topography affects the building sites, the existing property is commonly shaped to ensure efficiency in further development of the property, and the proposed parcels offer a traditional arrangement and shape to insure development without the need for variances or site standard exceptions. No environmental constraints exist which would necessitate the area remain undeveloped.

5. THAT THE DESIGN OF THE PROPOSED SUBDIVISION OR TYPE OF IMPROVEMENTS WILL NOT CAUSE SUBSTANTIAL ENVIRONMENTAL DAMAGE NOR SUBSTANTIALLY AND AVOIDABLY INJURE FISH OR WILDLIFE OR THEIR HABITAT.

The design of the proposed division of land and its improvements will not cause environmental damage nor substantially and avoidably injure fish or wildlife or their habitat. No mapped or observed sensitive habitats or threatened species impede development of the site as proposed. The project received a mitigated Negative Declaration on October 17, 2005, pursuant to the California Environmental Quality Act and the County Environmental Review Guidelines that determined that all environmental impacts have been reduced to a less than significant level.

6. THAT THE PROPOSED SUBDIVISION OR TYPE OF IMPROVEMENTS WILL NOT CAUSE SERIOUS PUBLIC HEALTH PROBLEMS.

The proposed division of land or its improvements will not cause serious public health problems in that municipal water and sewer are available to serve the proposed parcel, and these services will be

extended, including a new hydrant to serve the new parcels created.

7. THAT THE DESIGN OF THE PROPOSED SUBDIVISION OR TYPE OF IMPROVEMENTS WILL NOT CONFLICT WITH EASEMENTS, ACQUIRED BY THE PUBLIC AT LARGE, FOR ACCESS THROUGH, OR USE OF PROPERTY WITHIN THE PROPOSED SUBDIVISION.

The design of the proposed division of land and its improvements will not conflict with public easements for access in that no easements are known to encumber the property. Access to all lots will be from the proposed new cul-de-sac completing Dawn Lane. In addition, a partially constructed emergency access lane between Dawn Lane and Hilltop Court will be completed on the subject property ensuring the emergency lane is accessible by both neighborhoods.

8. THE DESIGN OF THE PROPOSED SUBDIVISION PROVIDES, TO THE EXTENT FEASIBLE, FOR FUTURE PASSIVE OR NATURAL HEATING OR COOLING OPPORTUNITIES.

The design of the proposed division of land provides to the fullest extent possible, the ability to use passive and natural heating and cooling in that the resulting parcels are oriented in a manner to **take** advantage of solar opportunities, and solar power facilities are proposed for each new dwelling. All of the proposed parcels are conventionally configured and the proposed building envelopes meet the minimum setbacks as required by the zone district for the property and County code.

9. THE PROPOSED DEVELOPMENT PROJECT **IS** CONSISTENT WITH THE DESIGN STANDARDS AND GUIDELINES (SECTIONS 13.11.070 THROUGH 13.11.076) AND ANY OTHER APPLICABLE REQUIREMENTS OF THIS CHAPTER.

The proposed development is consistent with the Design Standards and Guidelines of the County Code in that the proposed lot sizes meet **the** minimum dimensional standards for the R-1-6 zone district, and all development standards for the zone district will be met.

The new homes are proposed to be two-stories with contemporary split-level designs that are consistent in size with the newer development in the area and incorporate some of the architectural character found on other older homes in the area. Siding for the new homes on Lots 1, 3, 5 and 6 is proposed to be cement plaster on the first floor and "hardishingle" siding for the second floor. Lots **2, 4** and 7 will use also use cement plaster on the lower floor and "hardiplank" to finish the second story. The exterior colors for the homes are proposed to be earth tones in the rich browns, beige, cream, and gray tones. Roofing material is proposed to be charcoal colored composition shingles.

Development Permit Findings

1. THAT THE PROPOSED LOCATION OF THE PROJECT AND THE CONDITIONS UNDER WHICH IT WOULD BE OPERATED OR MAINTAINED WILL NOT BE DETRIMENTAL TO THE HEALTH, SAFETY, OR WELFARE OF PERSONS RESIDING OR WORKING IN THE NEIGHBORHOOD OR THE GENERAL PUBLIC, AND WILL NOT RESULT IN INEFFICIENT OR WASTEFUL USE OF ENERGY, AND WILL NOT

BE MATERIALLY INJURIOUS TO PROPERTIES OR IMPROVEMENTS IN THE VICINITY.

The location of the proposed residential development and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity in that the project is located in an area designated for residential uses and is not encumbered by physical constraints to development. Construction will comply with prevailing building technology, the Uniform Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. A soils engineering report has been completed to ensure the proper design and functioning of the proposed residences. The proposed residential development will not deprive adjacent properties or the neighborhood of light, air, or open space, in that the structure meets all current setbacks that ensure access to light, air, and open space in the neighborhood. A secondary emergency access will be completed connecting Dawn Lane to Hilltop Court providing these two neighbors with increased circulation in the event of an emergency.

An engineered drainage plan has been prepared for the project. The proposed drainage plan will handle the runoff generated by the increased impervious surfaces, and will also intercept existing runoff that currently crosses the site and adversely affects the downhill neighbors and place this runoff into a controlled drainage system. In addition, the developer will be replacing an inadequate storm drain pipe with a new 24-inch storm drain pipe under Old San Jose Road.

2. **THAT THE PROPOSED LOCATION OF THE PROJECT AND THE CONDITIONS UNDER WHICH IT WOULD BE OPERATED OR MAINTAINED WILL BE CONSISTENT WITH ALL PERTINENT COUNTY ORDINANCES AND THE PURPOSE OF THE ZONE DISTRICT IN WHICH THE SITE IS LOCATED.**

The project site is located in the R-1-6 (Single-Family Residential - 6,000 square foot minimum) zone district. The proposed location of the residential development and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-6 zone district in that the primary use of the property will be one single family residence on each lot, that meets all current site standards for the zone district.

3. **THAT THE PROPOSED USE IS CONSISTENT WITH ALL ELEMENTS OF THE COUNTY GENERAL PLAN AND WITH ANY SPECIFIC PLAN WHICH HAS BEEN ADOPTED FOR THE AREA.**

As discussed in Subdivision Finding #2, the project creates seven new single-family lots and is located in the Residential, Urban Low General Plan designation. This designation allows a density range of 4.4 to 7.2 Units per Net Developable Acre (UMDA), which corresponds to lot size requirements of 6,000 to 10,000 net square feet. The objective of this land use designation is to provide for lower density residential development in areas within the Urban Services Line that have a full range of urban services. The seven residential units proposed on 1.05 net developable acres results in a density of 6.7 U/ND A, consistent with the General Plan density.

The proposed residential development will not adversely impact the light, solar opportunities, air,

and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the residential development will not adversely shade adjacent properties, and will meet current setbacks for the zone district that ensure access to light, air, and open space in the neighborhood.

The proposed residential development will not be improperly proportioned to the parcel size or the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed residential development will comply with the site standards for the R-1-6 zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County

4. THAT THE PROPOSED USE WILL NOT OVERLOAD UTILITIES AND WILL NOT GENERATE MORE THAN THE ACCEPTABLE LEVEL OF TRAFFIC ON THE STREETS IN THE VICINITY.

The proposed use will not overload utilities or generate more than the acceptable level of traffic on the streets in the vicinity in that it is a residential development that will replace three existing houses on one parcel with seven dwellings each on a separate lot. The expected level of traffic generated by the proposed project is anticipated to be ~~four~~ (4) new peak trips per day (1 peak trip per dwelling unit), such an increase will not adversely impact existing roads and intersections in the surrounding area.

5. THAT THE PROPOSED PROJECT WILL COMPLEMENT AND HARMONIZE WITH THE EXISTING AND PROPOSED LAND USES IN THE VICINITY AND WILL BE COMPATIBLE WITH THE PHYSICAL DESIGN ASPECTS, LAND USE INTENSITIES, AND DWELLING UNIT DENSITIES OF THE NEIGHBORHOOD.

The proposed residential development will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood in the vicinity, in that the proposed structure is two stories, in a neighborhood of older one story homes and a few newer or redeveloped two story homes. The proposed residential development is consistent with the land use intensity and density of the neighborhood.

6. THE PROPOSED DEVELOPMENT PROJECT IS CONSISTENT WITH THE DESIGN STANDARDS AND GUIDELINES (SECTIONS 13.11.070 THROUGH 13.11.076), AND ANY OTHER APPLICABLE REQUIREMENTS OF THIS CHAPTER.

The proposed development is consistent with the Design Standards and Guidelines of the County Code in that the proposed residential development will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area.

Conditions of Approval

Land Division Permit 04-0472, Tract 1498

Applicant: Hamilton-Swift and Associates

Property Owners: Loleta Heichel, Trustee

Assessor's Parcel Number: 102-221-53

Property Address and Location: 4575 Dawn Lane, at the end of Dawn Lane about 400 feet west of the intersection of Dawn Lane and Soquel-San Jose Road, Soquel.

Planning Area: Soquel

Exhibits:

- A. Tentative Map and Preliminary Improvement Plans, Sheets AO.1, Sheets C1-C4, prepared by Bowman and Williams Engineers, dated 9/24/04

Architectural and floor plans prepared by William Rennie Boyd, Architect, Sheets A0.2-A0.5, Sheets A1.1 to A7.5 (35 pages) last revised 11/01/05

Landscape Plans prepared by Ellen Cooper, Landscape Architect, Sheets L1-L8

Photo-simulations by ArchiGraphics dated 2005

All correspondence and maps relating to this land division shall carry the permit and tract number noted above.

- I. Prior to exercising any rights granted by this Approval, the owner shall:
- A. Sign, date and return one copy of the Permit Form to indicate acceptance and agreement with the conditions thereof, and
 - B. Record the Conditions of Approval on the Final Map. The conditions of approval shall be applicable to all resulting parcels.
 - C. The property owner(s) shall sign and record the Indemnity Waiver within 30 days of the effective date of this permit.
 - D. Pay a Negative Declaration De Minimis fee of \$25 to the Clerk of the Board of the County of Santa Cruz as required by the California Department of Fish and Game mitigation fees program.

- II. A Final Map for this land division must be recorded prior to the expiration date of the Tentative Map and prior to sale, lease or financing of any new lots. The Final Map shall be submitted to the County Surveyor (Department of Public Works) for review and approval prior to recordation. No improvements, including, without limitation, grading and vegetation removal, shall be done prior to recording the Final Map unless such improvements are allowable on the parcel as a whole (prior to approval of the land division). The Final Map shall meet the following requirements:
- A. The Final Map shall be in general conformance with the approved Tentative Map and shall conform to the conditions contained herein. All other State and County laws relating to improvement of the property, or affecting public health and safety shall remain fully applicable.
 - B. This land division shall result in no more than seven (7) single-family residential lots.
 - C. The minimum lot size shall be 6,000 square feet, net developable land.
 - D. The following items shall be shown on the Final Map:
 - 1. Building envelopes and/or building setback lines located according to the approved Tentative Map. The building envelope shall meet the minimum setbacks for the R-1-6 zone district. Garages shall be a minimum of 20 feet from the edge of the right-of-way. Building envelopes shall not include any slopes exceeding 30%.
 - 2. Show the net area of each lot to nearest square foot.
 - 3. A clearly marked line delineating the slopes exceeding 30% shall be shown on the Final Map, with notes that structures (with the exception of fences) and grading are prohibited in the area containing slopes over 30%.
 - 4. The owner's certificate shall include:
 - a. **An** irrevocable offer of dedication to the County of Santa Cruz for improvements (Dawn Lane) shown on the approved Tentative Map.
 - E. The following requirements shall be noted on the Final Map as items to be completed prior to obtaining a building permit on lots created by this land division:
 - 1. Lots shall be connected for water service to Soquel Creek Water District.
 - 2. Lots shall be connected for sewer service to Santa Cruz County Sanitation District. All regulations and conditions of the Sanitation District shall be met.
 - 3. All future construction on the lots shall conform to the Architectural Floor

Plans and Elevations, and the Perspective Drawing as stated or depicted in Exhibits “A” and shall also meet the following additional conditions:

- a. Exterior finishes shall conform to the materials specified in Exhibit “A” and shall be painted in earth tones with accents and details, as shown on the approved plans. T1-11 type wood siding is not permitted.
 - b. Changes in the placement of windows that face directly towards existing residential development as shown on the architectural plans, are not permitted without review and approval by the Planning Commission.
 - c. Notwithstanding the approved preliminary architectural plans, all future development shall comply with the development standards for the R-1-6 zone district. The development of any lot shall not exceed 30 percent lot coverage, or 50 percent floor area ratio, or other standards as may be established for the zone district. All required on-site parking must be provided.
 - d. For any structure proposed to be within 2 feet of the maximum height limit for the zone district, the building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site, which clearly depict the total height of the proposed structure.
 - e. For building sites containing fill placed as part of the land division improvements, the building height shall include the height of the fill above the original grade.
 - f. No fencing shall exceed three feet in height within the required front yard or street-side setbacks and shall not exceed six feet in height within the required interior side or rear yard setbacks.
 - g. All foundations and grading designs shall conform to the recommendations of the accepted soils report by Bauldry Engineering, dated 9/22/04. Final plans shall reference the project soils report and soils engineer. A plan review letter from the project soils engineer is required.
4. A final Landscape Plan for the entire site specifying the species, their size, and irrigation plans, meeting the following criteria and conforming to all

water conservation requirements of the Soquel Creek Water District water conservation regulations:

- a. Turf Limitation. Turf area shall not exceed 25 percent of the total landscaped area. Turf area shall be of low to moderate water-using varieties, such as tall or dwarf fescue.
- b. Plant Selection. At least 80 percent of the plant materials selected for non-turf areas (equivalent to 60 percent of the total landscaped area) shall be well-suited to the climate of the region and require minimal water once established (drought tolerant). Native plants are encouraged. Up to 20 percent of the plant materials in non-turf areas (equivalent to 15 percent of the total landscaped area), need not be drought tolerant, provided they are grouped together and can be irrigated separately.
- C All street trees shall be a minimum size of 24-inch box trees of a species selected from the County Urban Forestry Master Plan.
- d. Screening trees shall be planted on Lots 1-6 as shown on the Landscape Plan by Ellen Cooper last revised on 3/31/05 and in accordance with the size schedule (24 inch to 36 inch box trees) specified in the 3/31/05 landscape plans.
- e. Soil Conditioning. In new planting areas, soil shall be tilled to a depth of 6 inches and amended with six cubic yards of organic material per 1,000 square feet to promote infiltration and water retention. After planting, a minimum of 2 inches of mulch shall be applied to all non-turf areas to retain moisture, reduce evaporation and inhibit weed growth.
- f. Irrigation Management. All required landscaping shall be provided with an adequate, permanent and nearby source of water which shall be applied by an installed irrigation, or where feasible, a drip irrigation system. Irrigation systems shall be designed to avoid runoff, overspray, low head drainage, or other similar conditions where water flows onto adjacent property, non-irrigated areas, walks, roadways or structures.
 - 1. The irrigation plan and an irrigation schedule for the established landscape shall be submitted with the building permit applications. The irrigation plan shall show the location, size and type of components of the irrigation system, the point of connection to the public water supply and designation of hydrozones. The irrigation schedule shall designate the timing and frequency of irrigation for each station and list the amount of water, in gallons or hundred

cubic feet, recommended on a monthly and annual basis.

- ii. Irrigation within the critical root zones established in the Arborist's Report is prohibited. Irrigation outside of the critical root zone, but under the dripline of each existing *oak* shall be limited to very low flow drip-type emitters.
 - iii. Appropriate irrigation equipment, including the use of a separate landscape water meter, pressure regulators, automated controllers, low volume sprinkler heads, drip or bubbler irrigation systems, rain shutoff devices, and other equipment shall be used to maximize the efficiency of water applied to the landscape.
 - iv. Plants having similar water requirements shall be grouped together in distinct hydrozones and shall be irrigated separately.
 - v. Landscape irrigation should be scheduled between 6:00 p.m. and 11:00 a.m. to reduce evaporative water loss.
- g. All planting shall conform to the preliminary plan shown as part of Exhibit A, except that all trees planted adjacent to or in the public right of way shall be 24" box in size and shall be selected from the suggested planting list in the Urban Forestry Master Plan. Also:
- i. All landscaping shall be permanently maintained by the property owner including any plantings within the County right of way along the frontage of the property.
 - ii. Any trees planted in the County right of way shall be approved by the Department of Public Works and shall be installed according to provisions of the County Design Criteria.
5. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district in which the project is located.
6. Any changes between the approved Tentative Map, including but not limited to the attached exhibits for architectural and landscaping plans, must be submitted for review and approval by the decision-making body. Such proposed changes will be included in a report to the decision making body to consider if they are sufficiently material to warrant consideration at a public hearing noticed in accordance with Section 18.10.223 of the County Code.

III. Prior to recordation of the Final Map, the following requirements shall be met:

- A. Submit a letter of certification from the Tax Collector's Office that there are no outstanding tax liabilities affecting the subject parcels.
- B. Obtain Demolition Permits from the Building Official to remove the three existing dwellings. Prior to approval of any demolition permits, the applicant/owner shall complete the following:
 - 1. Obtain a Special Inspection of each existing dwelling to determine if the structure is structurally sound and capable of being relocated.
 - 2. Meet all requirements of County Code Section 12.06, for each structure determined to be suitable for habitation and capable of being relocated.
- C. Meet all requirements of the Santa **Cruz** County Sanitation District as stated in the District's letter dated 2/7/05, including, without limitation, the following standard conditions:
 - 1. Submit and secure final approval of an engineered sewer improvement plan showing on-site and off-site sewers needed to provide service to each lot proposed. The improvement plan shall conform to the County's "Design Criteria" and shall also show any roads and easements.
 - 2. All existing and proposed easements shall be shown on the Final Map.
 - 3. Show all existing sewer laterals that shall be abandoned.
 - 4. Pay all necessary bonding, deposits, and connections fees, and furnish a copy of the CC&R's to the district, if applicable.
- D. All new utilities shall be underground. All facility relocation, upgrades or installations required for utilities service to the project shall be noted on the construction plans. All preliminary engineering for such utility improvements is the responsibility of the owner/applicant. Pad-mounted transformers shall not be located in the front setback or in any area visible from public view unless they are completely screened by walls and/or landscaping (underground vaults may be located in the front setback). Utility equipment such as gas meters and electrical panels shall not be visible from public streets or building entries,
- E. Submit and secure approval of engineered improvement plans from the Department of Public Works and the Planning Department for all roads, curbs and gutters, storm drains, erosion control, and other improvements required by the Subdivision Ordinance, noted on the attached tentative map and/or specified in these conditions of approval. A subdivision agreement backed by financial securities (equal to 150% of engineer's estimate of the cost of improvements), per Sections 14.01.510 and 511 of the Subdivision Ordinance, shall be executed to guarantee completion of this work. Improvement plans shall meet the following requirements:

1. All improvements shall be prepared by a registered civil engineer and shall meet the requirements of the County of Santa Cruz Design Criteria except as modified in these conditions of approval. Plans shall also comply with applicable provisions of the Americans With Disabilities Act and/or Title 24 of the State Building Code.
2. Submit complete grading and drainage plans that include limits of grading, estimated earthwork, cross sections through all pads delineating existing and proposed cut and fill areas, existing and proposed grades, existing and proposed drainage facilities, and details of devices such as back drains, culverts, energy dissipaters and construction details for the detention system, etc. Final drainage and grading plans shall incorporate the comments of Alyson Tom dated February 16 and May 3, 2005 and shall include the following:
 - a. The final drainage plan shall provide design details and calculations for the detention outlets and sizing. The outlets shall be designed such that all runoff from the project area is limited to pre-project levels. Safe overflow shall be included in the design
 - b. All maintenance agreements shall be submitted with the final improvement plans for each detention facility. The agreement(s) shall include specific maintenance guidelines for these facilities.
 - c. The final drainage plans shall note that the detention facilities are to be maintained by the property owners and include the specific maintenance guidelines.
 - d. Include signage stating "No Dumping – Drains to Bay" or equivalent adjacent to all proposed storm drain inlets.
 - e. Zone 5 drainage fees will apply to the net increase in impervious surface.
3. The final engineered grading plans shall be consistent with the recommendation of the accepted soils report by Bauldry Engineering, dated 9/22/04. Final plans shall reference the project soils report and soils engineer. A plan review letter from the project soils engineer is required. The final grading plans shall include:
 - a. Calculations of all volumes of excavated and fill soils.
 - b. The final grading plans shall be reviewed and approved by the Environmental Planning Section of the Planning Department and the Department of Public Works.

- c. Final grading plans shall provide cross sections showing the existing and proposed grades and the maximum fill depths through all building sites.
- 4. Prior to any ground disturbance, a detailed erosion control plan shall be reviewed and approved by the Department of Public Works and the Planning Department. Earthwork between October 15 and April 15 requires a separate winter grading approval from Environmental Planning that may or may not be granted. The erosion control plans shall identify the location and type of erosion control practices and devices to be used and shall include the following:
 - a. **An** effective sediment barrier placed along the perimeter of the disturbance area and maintenance of the barrier.
 - b. Soil management that prevents loose material from leaving the site.
 - c. Identify the receiving site(s) for all fill and produce grading permits for the receiving site(s) as appropriate. The receiving site shall be approved by Environmental Planning staff prior to the start of site work. The exported fill material shall be taken either to the municipal landfill or another permitted site.
 - d. A plan to prevent construction vehicles from carrying soil, dirt, gravel, or other material onto public streets. The owner/applicant is responsible for cleaning the street should materials from the site reach the street.
 - e. Water Quality: Silt and grease traps shall be installed according to the approved improvement plans. Sediment barriers shall be maintained around all drain inlets during construction.
- 5. Final plans for off-site drainage improvements at Old San Jose Road.
- 6. Plans shall comply with the accepted soils report by Bauldry Engineering, dated **9/22/04**. Plan review letters shall be submitted **as** needed to verify that the plans are in compliance with geotechnical recommendations.
- F. Engineered improvement plans for all water line extensions, if required by Soquel Creek Water District, shall be submitted for the review and approval of the water agency.
- G. All requirements of the Central Fire District shall be met as set forth in the District's letter dated October 5, **2004**.
- H. A Road Association shall be formed, and the Road Maintenance Agreement shall be submitted to the Planning Department for review and approval, prior to filing the

Final Map. The Road Maintenance Agreement shall include, at a minimum, provisions for the permanent maintenance of the following:

1. The silt and grease trap(s) and detention facilities associated with the storm drain system. Reference condition of approval III(D)(2).
 2. Maintenance and improvements to Dawn Lane should the street not be accepted by the County.
 3. Maintenance and improvements to the secondary emergency access lane.
- I. Park dedication in-lieu fees shall be paid for six (6) dwelling units (with three bedrooms each). These fees are \$2,400 per unit, but are subject to change.
- J. Transportation improvement fees shall be paid for seven (7) dwelling units. These fees \$2,000 per unit, but are subject to change.
- K. Roadside improvement fees shall be paid for seven (7) dwelling units. These fees are \$2,000 per unit, but are subject to change.
- L. Child Care Development fees shall be paid for seven (7) dwelling units. These fees \$327 per unit (which assumes three bedrooms at \$109 per bedroom), but are subject to change.
- M. A credit for Capital Improvement fees may be granted for the original dwellings, if proof of their legality and the total number of bedrooms are provided.
- N. Enter into a Certification and Participation Agreement with the County of Santa Cruz to meet the Affordable Housing Requirements specified by Chapter 17.10 of the County Code. This agreement must include the following statements:
1. The developer shall provide one designated affordable unit for sale to moderate income households. The current sales price for a 3 bedroom unit (under the above described guidelines for a moderate income family) is \$259,918. This sales price assumes a family of four at 80 percent of median income, with \$150 per month Homeowners Association dues, and is subject to change.
 2. The developer shall pay in-lieu fees for the fractional equivalent of .05 units in accordance with the regulations and formulas as specified by Chapter 17.10 of the County Code. These fees are calculated as .05 of the average purchase price of the market rate homes.
- O. Submit one reproducible copy of the Final Map to the County Surveyor for distribution and assignment of temporary Assessor's Parcel Numbers and situs address.

- IV. All subdivision improvements shall be constructed in accordance with the approved improvement plans and in conformance with the requirements of the subdivision agreement recorded pursuant to condition III.D. The construction of subdivision improvements shall also meet the following conditions:
- A. Prior to any disturbance, the owner/applicant shall organize a pre-construction meeting on the site. The applicant, grading contractor, Department of Public Works Inspector and Environmental Planning staff shall participate. During the meeting, the applicant shall identify the site(s) to receive the export fill and present valid grading permit(s) for those sites, if any site will receive greater than 100 cubic yards or where fill will be spread greater than two feet thick or on a slope greater than 20% gradient, where applicable.
 - B. All work adjacent to or within a County road shall be subject to the provisions of Chapter 9.70 of the County Code, including obtaining an encroachment permit where required. Where feasible, all improvements adjacent to or affecting a County road shall be coordinated with any planned County-sponsored construction on that road. Obtain an Encroachment Permit from the Department of Public Works for any work performed in the public right of way. **An** Encroachment Permit is required for the offsite drainage improvements at Old San Jose Road. All work shall be consistent with the Department of Public Works Design Criteria.
 - C. No land clearing, grading or excavating shall take place between October 15 and April 15 unless the Planning Director approves a separate winter erosion-control plan that may or may not be granted.
 - D. No land disturbance shall take place prior to issuance of building permits (except the minimum required to install required improvements, provide access for County required tests or to carry out work required by another of these conditions).
 - E. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.
 - F. To minimize noise, dust and nuisance impacts of surrounding properties to insignificant levels during construction, the owner/applicant shall or shall have the project contractor, comply with the following measures during all construction work
 - 1. Limit all construction to the time between 8:00 ~~am~~ and 5:00 pm weekdays unless a temporary exception to this time restriction is approved in advance by County Planning to address an emergency situation; and

2. The applicant shall designate a disturbance coordinator and a 24-hour contact number shall be conspicuously posted on the job site. The disturbance coordinator shall record the name, phone number, and nature of all complaints received regarding the construction site. The disturbance coordinator shall investigate complaints and take remedial action, if necessary, within 24 hours of receipt of the complaint or inquiry.
 3. Each day it does not rain, wet all exposed soil frequently enough to prevent significant amounts of dust from leaving the site.
- G. Construction of improvements shall comply with the requirements and recommendations of the accepted soil report by Bauldry Engineering, dated 9/22/04. The geotechnical engineer shall inspect the completed project and certify in writing that the improvements have been constructed in conformance with any geotechnical recommendations.
- H. All required land division improvements must be installed and inspected prior to final inspection clearance for any new structure on the new lots.
- I. The project engineer who prepares the grading plans must certify in writing that the grading was completed in conformance with the approved tentative map and/or engineered improvement plans.
- V. All future development on lots created by this subdivision shall comply with the requirements set forth in Condition II.E, above.
- VI. In the event that future County inspections of the subject property disclose non-compliance with any Conditions of this Approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including Approval revocation.
- VII. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.

- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.
- E. Within 30 days of the issuance of this development approval, the Development Approval Holder shall record in the office of the Santa Cruz County Recorder an agreement, which incorporates the provisions of this condition, or this development approval shall become null and void.

VIII. Mitigation Monitoring Program

The mitigation measures listed under this heading have been incorporated in the conditions of approval for this project in order to mitigate or avoid significant effects on the environment. As required by Section 21081.6 of the California Public Resources Code, a monitoring and reporting program for the above mitigation is hereby adopted as a condition of approval for this project. This program is specifically described following each mitigation measure listed below. The purpose of this monitoring is to ensure compliance with the environmental mitigations during project implementation and operation. Failure to comply with the conditions of approval, including the terms of the adopted monitoring program, may result in permit revocation pursuant to section 18.10.462 of the Santa Cruz County Code.

- A. Mitigation Measure: Identification of Fill Disposal Site(s) (Conditions III.D.4.c.)
 - 1. Monitoring Program: In order to ensure that the excavated materials exported from the site are disposed of properly, the Santa Cruz County Environmental Planning staff will review the Erosion Control plans submitted as part of the Improvement plans for the subdivision. The final map cannot be recorded without an approved fill disposal site.
- B. Mitigation Measure: Soils Engineering (Conditions II.E.3.g., III.D.3 and 65, IV.F.)
 - 1. Monitoring Program: To mitigate potential impacts from liquefaction and displacements in the soil underneath structures the applicant shall implement all recommendations given in the approved geotechnical report (Bauldry

Engineering, September 22, 2004). The subdivision grading improvements plans must reference the project soils engineering report and engineer. Prior to approval and recordation of the Final Map and Subdivision improvement plans, the applicant must submit a letter of plan review and approval by the soils engineer stating that the plans conform to the report recommendations. The Department of Public Works staff and the project planner will verify that this letter has been received and references the specific plans that have been submitted before the Final Map can be recorded. Environmental Planning and Building Plan Check staff will require a soils engineer's letter of review and approval of the foundation and grading designs prior to the approval and issuance of grading or building.

**AMENDMENTS TO THIS LAND DIVISION APPROVAL SHALL BE
PROCESSED IN ACCORDANCE WITH CHAPTER 18.10 OF THE COUNTY CODE.**

This Tentative Map is approved subject to the above conditions and the attached map, and expires 24 months after the 14-day appeal period. The Final Map for this subdivision, including improvement plans, should be submitted to the County Surveyor for checking **at least 90 days** prior to the expiration date and in no event later than **3 weeks** prior to the expiration date.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Cathy Graves
Principal Planner

Cathleen Carr
Project Planner

Appeals: Any property owner, or other person aggrieved, or **any** other person whose interests are adversely affected by any act or determination of the Planning Commission, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
TOM BURNS, PLANNING DIRECTOR

NEGATIVE DECLARATION AND NOTICE OF DETERMINATION

Application Number: 04-0472

Hamilton-Swift, for Loleta Heichel Trustee

Proposal to remove three existing houses on one parcel, and then divide the property into seven new single-family residential lots between 6,000 and 9,500 square feet in size & to grade approximately 900 cubic yards of earth. Requires a Subdivision and Preliminary Grading Approval. The property is located at the end of Dawn Lane about 400 feet west of the intersection of Dawn Lane & Soquel-San Jose Road, at 4575 Dawn Lane, Soquel, California,

APN: 102-221-53

Cathleen Carr, Staff Planner

Zone District: R-1-6

ACTION: Negative Declaration with Mitigations

REVIEW PERIOD ENDS: November 23, 2005

This project will be considered at a public hearing by the Planning Commission. The time, date and location have not been set. When scheduling does occur, these items will be included in all public hearing notices for the project.

Findings:

This project, if conditioned to comply with required mitigation measures or conditions shown below, will not have significant effect on the environment. The expected environmental impacts of the project are documented in the Initial Study on this project attached to the original of this notice on file with the Planning Department, County of Santa Cruz, 701 Ocean Street, Santa Cruz, California.

Required Mitigation Measures or Conditions:

☐ None
☒ Are Attached

Review Period Ends November 23, 2005

Date Approved By Environmental Coordinator December 2, 2005,


KEN HART
Environmental Coordinator
(831) 454-3127

If this project is approved, complete and file this notice with the Clerk of the Board:

NOTICE OF DETERMINATION

The Final Approval of This Project was Granted by _____

on _____. No EIR was prepared under CEQA.

THE PROJECT WAS DETERMINED TO NOT HAVE SIGNIFICANT EFFECT ON THE ENVIRONMENT

Date completed notice filed with Clerk of the Board: _____

CALIFORNIA DEPARTMENT OF FISH AND GAME

CERTIFICATE OF FEE EXEMPTION

De minimis Impact Finding

Project Title/Location (Santa Crur County):

Application Number: 04-0472

Hamilton-Swift, for Loleta Heichel Trustee

Proposal to remove three existing houses on one parcel, and then divide the property into seven new single-family residential lots between 6,000 and 9,500 square feet in size & to grade approximately 900 cubic yards of earth. Requires a Subdivision and Preliminary Grading Approval. The property is located at the end of Dawn Lane about 400 feet west of the intersection of Dawn Lane & Soquel-San Jose Road, at 4575 Dawn Lane, Soquel, California.

APN: 102-221-53

Cathleen Carr, Staff Planner

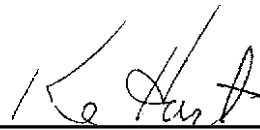
Zone District: R-1-6

Findings of Exemption (attach as necessary):

An Initial Study has been prepared for this project by the County Planning Department according to the provisions of CEQA. This analysis shows that the project will not create any potential for adverse environmental effects on wildlife resources.

Certification:

I hereby certify that the public agency has made the above finding and that the project will not individually or cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the Fish and Game Code.



KEN HART

Environmental Coordinator for
Tom Burns, Planning Director
County of Santa Cruz

Date: 12/6/05

NAME: Hamilton Swift for Heichel
APPLICATION: 04-0472
A.P.N: 102-221-53

NEGATIVE DECLARATION MITIGATIONS

1. In order to prevent erosion and sedimentation impacts from placement of exported fill material, fill shall be taken either to the municipal landfill or another permitted site. Prior to start of the site work the applicant shall identify the receiving site(s) for all fill and shall produce grading permits as appropriate. Receiving site shall be approved by Environmental Planning staff prior to the start of site work.
2. In order to mitigate potential impacts from liquefaction and displacements in the soil underneath structures the applicant shall implement all recommendations given in the approved geotechnical report (Bauldry Engineering, September 22, 2004). Prior to issuance of grading or building permits the recommendations shall be incorporated into the project grading and building plans.



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
TOM BURNS, PLANNING DIRECTOR

NOTICE OF ENVIRONMENTAL REVIEW PERIOD

SANTA CRUZ COUNTY

APPLICANT: Hamilton-Swift. for Loleta Heichel Trustee

APPLICATION NO.: 04-0472

APN: 102-221-53

The Environmental Coordinator has reviewed the Initial Study for your application and made the following preliminary determination:

XX Negative Declaration
(Your project will not have a significant impact on the environment.)

XX Mitigations will be attached to the Negative Declaration.

 No mitigations will be attached.

 Environmental Impact Report
(Your project may have a significant effect on the environment. An EIR must be prepared to address the potential impacts.)

As part of the environmental review process required by the California Environmental Quality Act (CEQA), this is your opportunity to respond to the preliminary determination before it is finalized. Please contact Paia Levine, Environmental Coordinator at (831) 454-3178, if you wish to comment on the preliminary determination. Written comments will be received until 5:00 p.m. on the last day of the review period.

Review Period Ends: November **23,2005**

Cathleen Carr
Staff Planner

Phone: 454-3225

Date: October 19.2005



Environmental Review Initial Study

Application Number: **04-0472**

Date: October 17, 2005
Staff Planner: Cathleen Carr

I. OVERVIEW AND ENVIRONMENTAL DETERMINATION

APPLICANT: Hamilton-Swift

APN: 102-221-53

OWNER: Loleta Heichel trustee

SUPERVISORAL DISTRICT: First

LOCATION: The property is located at the end of Dawn Lane about 400 feet west of the intersection of Dawn Lane and Soquel-San Jose Road, at 4575 Dawn Lane, Soquel.

SUMMARY PROJECT DESCRIPTION: Proposal to remove three existing houses on one parcel and to divide the property into seven new single-family residential lots between 6,000 and 9,500 square feet in size and to grade approximately 900 cubic yards of earth. Requires a Subdivision and Preliminary Grading Approval.

ALL OF THE FOLLOWING POTENTIAL ENVIRONMENTAL IMPACTS ARE EVALUATED IN THIS INITIAL STUDY. CATEGORIES THAT ARE MARKED HAVE BEEN ANALYZED IN GREATER DETAIL BASED ON PROJECT SPECIFIC INFORMATION.

<input checked="" type="checkbox"/> Geology/Soils	Noise
<input checked="" type="checkbox"/> Hydrology/Water Supply/Water Quality	<input type="checkbox"/> Air Quality
<input type="checkbox"/> Biological Resources	<input checked="" type="checkbox"/> Public Services & Utilities
<input type="checkbox"/> Energy & Natural Resources	<input checked="" type="checkbox"/> Land Use, Population & Housing
<input type="checkbox"/> Visual Resources & Aesthetics	Cumulative Impacts
<input checked="" type="checkbox"/> Cultural Resources	<input type="checkbox"/> Growth Inducement
<input type="checkbox"/> Hazards & Hazardous Materials	<input type="checkbox"/> Mandatory Findings of Significance
<input checked="" type="checkbox"/> Transportation/Traffic	

DISCRETIONARY APPROVAL(S) BEING CONSIDERED

☐ General Plan Amendment ☐ Grading Permit

County of Santa Cruz Planning Department
701 Ocean Street, 4th Floor, Santa Cruz CA 95060

<input checked="" type="checkbox"/> Land Division	<input type="checkbox"/> Riparian Exception
<input type="checkbox"/> Rezoning	<input type="checkbox"/> Other:
<input type="checkbox"/> Development Permit	<input type="checkbox"/>
<input type="checkbox"/> Coastal Development Permit	<input type="checkbox"/>

NON-LOCAL APPROVALS

Other agencies that must issue permits or authorizations:
Possibly the Monterey Bay Air Pollution Control District and/or Regional Water Quality Control Board (> 1 acre of disturbance).

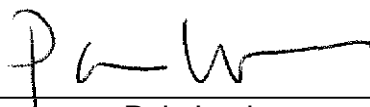
ENVIRONMENTAL REVIEW ACTION

On the basis of this Initial Study and supporting documents:

☐ I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.

☒ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the attached mitigation measures have been added to the project. A MITIGATED NEGATIVE DECLARATION will be prepared.

☐ I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.



Paia Levine

10/19/05

Date

For: Ken Hart
Environmental Coordinator

II. BACKGROUND INFORMATION

EXISTING SITE CONDITIONS

Parcel Size: 1.35 acres

Existing Land Use: 3 residences (legal, two nonconforming)

Vegetation: grasses, former walnut orchard (trees recently removed)

Slope in area affected by project: 1.25 acres 0 - 30% 0.9 acres 31 - 100%

Nearby Watercourse: Soquel Creek

Distance To: over 700 feet to the southeast

ENVIRONMENTAL RESOURCES AND CONSTRAINTS

Groundwater Supply: No

Liquefaction: moderately low to moderately high

Water Supply Watershed: No

Fault Zone: None

Groundwater Recharge: No

Scenic Corridor: No

Timber or Mineral: None

Historic: No

Agricultural Resource: None

Archaeology: Mapped Resource

Biologically Sensitive Habitat: None

Noise Constraint: No

Fire Hazard: None

Electric **Power** Lines: No

Floodplain: None

Solar Access: yes

Erosion: Moderate

Solar Orientation: south, east and north

Landslide: None mapped

Hazardous Materials: No

SERVICES

Fire Protection: Central

Drainage District: Zone 5

School District: Soquel Elem. SC High

Project Access: Dawn Lane

Sewage Disposal: Santa Cruz County

Water Supply: Soquel Creek Water

Sanitation District

District

PLANNING POLICIES

Zone District: R-1-6

Special Designation: none

General Plan: R-UL

Urban Services Line: XX Inside

 Outside

Coastal Zone: Inside

XX Outside

PROJECT SETTING AND BACKGROUND:

The project site is located within the Soquel planning area, on the western terminus of Dawn Lane, about 400 feet from the intersection of Dawn Lane and Soquel-San Jose Road in Soquel. The parcel is approximately 1.35 acres in area and consists of level to moderately sloping topography that steepens to over 30% along the northern end of the property. The site is currently developed with three dwellings dating to the 1930's with unpaved driveways and miscellaneous outbuildings. The dwellings do not appear to be in good condition. The site is vegetated with grasses, blackberry patches, some

pampas grass and the remnants of an orchard and old gardens. Approximately six mature walnut trees had been removed prior to this application.

DETAILED PROJECT DESCRIPTION:

The applicant proposes to demolish the three old dwellings and associated outbuildings and divide the parcel into seven single family residential parcels. The improvements associated with this project includes about 900 cubic yards of excavation and placement approximately 470 cubic yards of engineered fill in order to grade building pads, construct a new cul-de-sac, complete a 12 foot wide emergency access lane which will connect with an existing, partially constructed 12 foot emergency access lane at Hilltop Court. The site improvements will also include a separated sidewalk and the removal of about 450 cubic yards of poor soils. The proposed drainage improvements include site drainage for the individual dwellings, the replacement of the drainage pipe located from Dawn Lane and across (underneath) Soquel-San Jose Road with a new 24 inch pipe and the installation of a gabion reno mattress velocity dissipator within the existing drainage channel at the outfall. Seven new single family dwellings will be constructed, six of which will be sold at the market rate, and one will be the required affordable housing unit. Front yard landscaping and street trees will be installed as part of the overall project.

III. ENVIRONMENTAL REVIEW CHECKLIST

A. Geology and Soils

Does the project have the potential to:

1. Expose people or structures to potential adverse effects, including the risk of material loss, injury, or death involving:

- A. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or as identified by other substantial evidence?

X

- B. Seismic ground shaking?

X

- C. Seismic-related ground failure, including liquefaction?

X

- D. Landslides?

X

All of Santa Cruz County is subject to some hazard from earthquakes. However, the project site is not located within or adjacent to a county or State mapped fault zone. A geotechnical investigation for the proposed project was performed by Bauldry Engineering dated September 22, 2004 (Attachment 9). The report concluded that soils conditions conducive to liquefaction exist on the site, and engineered foundations consisting of either reinforced concrete spread footings constructed as an interconnected grid or a reinforced concrete structural mat are required to tolerate differential ground movement and to span a potential void of 5 feet appearing anywhere beneath the foundation. Implementation of the additional recommendations included in the review letter prepared by Environmental Planning staff (Attachment 8) will serve to further reduce the potential risk of seismic shaking.

2. Subject people or improvements to damage from soil instability as a result

X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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of on- or off-site landslide, lateral spreading, to subsidence, liquefaction, or structural collapse?

The report cited above concluded that there is a potential risk from ground movement resulting from liquefaction. The recommendations contained in the geotechnical report, for engineered foundations designed to withstand differential movement and voids will be implemented to mitigate for this potential hazard.

3. Develop land with a slope exceeding 30%?

X

There are slopes that exceed 30% on the property. However, no improvements are proposed on slopes in excess of 30%. Furthermore, all slopes steeper than 30% are specifically excluded from the building envelopes.

4. Result in soil erosion or the substantial loss of topsoil?

X

Some potential for erosion exists during the construction phase of the project, however, this potential is minimal because the areas to be disturbed are gently to moderately sloped, and standard erosion controls are a required condition of the project. Prior to approval of the final improvement plans for the subdivision, a grading or building permit, the project must have an approved Erosion Control Plan, which will specify detailed erosion and sedimentation control measures. The plan will include provisions for disturbed areas to be planted with ground cover and to be maintained to minimize surface erosion.

5. Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code(1994), creating substantial risks to property?

X

The geotechnical report for the project did not identify any elevated risk associated with expansive soils.

6. Place sewage disposal systems in areas dependent upon soils incapable of adequately supporting the use of septic tanks, leach fields, or alternative waste water disposal systems?

X

No septic systems are proposed. The project will connect to the Santa Cruz County

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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Sanitation District, and the applicant will be required to pay standard sewer connection and service fees that fund sanitation improvements within the district as a Condition of Approval for the project.

7. Result in coastal cliff erosion? _____ X

B. Hydrology, Water Supply and Water Quality

Does the project have the potential to:

1. Place development within a 100-year flood hazard area? _____ X

According to the Federal Emergency Management Agency (FEMA) National Flood Insurance Rate Map, dated April 15, 1986, no portion of the project site lies within a 100-year flood hazard area.

2. Place development within the floodway resulting in impedance or redirection of flood flows? _____ X

According to the Federal Emergency Management Agency (FEMA) National Flood Insurance Rate Map, dated April 15, 1986, no portion of the project site lies within a 100-year flood hazard area.

3. Be inundated by a seiche or tsunami? _____ X

4. Deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit, or a significant contribution to an existing net deficit in available supply, or a significant lowering of the local groundwater table? _____ X

The project will obtain water from Soquel Creek Water District and will not rely on private well water. Although the project will incrementally increase water demand, Soquel Creek Water District has indicated that adequate supplies are available to serve the project (Attachment 13). The project is not located in a mapped groundwater

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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recharge area.

5. Degrade a public or private water supply? (Including the contribution of urban contaminants, nutrient enrichments, or other agricultural chemicals or seawater intrusion).

X

Runoff from this project may contain small amounts of chemicals and other household contaminants. No commercial or industrial activities are proposed that would contribute a significant amount of contaminants to a public or private water supply. Potential siltation from the proposed project will be mitigated through implementation of erosion control measures.

6. Degrade septic system functioning?

X

There is no indication that existing septic systems in the vicinity would be affected by the project as the project is within the Urban Services Line.

7. Alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner which could result in flooding, erosion, or siltation on or off-site?

X

The building sites are over 725 feet from Soquel Creek, the closest watercourse. The project does propose to replace a currently inadequate storm drain system running from Dawn Lane under Soquel-San Jose Road with a 24-inch pipe. The outlet for this pipe is located in an existing drainage channel, which flows into Soquel Creek (about 400 feet away). The project does not alter the existing overall drainage pattern of the site, but will better control the existing site drainage by replacing an inadequate storm drain pipe. Department of Public Works Drainage Section staff has reviewed and approved the proposed drainage plan.

8. Create or contribute runoff which would exceed the capacity of existing or planned storm water drainage systems, or create additional source(s) of polluted runoff?

X

As discussed in B.7. above, DPW staff have determined that existing storm water facilities are adequate to handle the increase in drainage associated with the project with the exception of the downstream storm drain across Soquel-San Jose Road which will be replaced by the developer as part of the subdivision improvements. This replacement is shown on the project plans as part of the project. Drainage Calculations

Significant Or Potentially Significant Impact	Less than Significant will, Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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prepared by Bowman and Williams, Consulting Civil Engineers, last revised on March 31, 2005, have been reviewed for potential drainage impacts and accepted by the Department of Public Works (DPW) Drainage Section staff. The calculations show that off site runoff will not exceed pre-development rates. The runoff rate from the property will be controlled by onsite detention systems. Refer to response B-5 for discussion of urban contaminants and/or other polluting runoff.

9. Contribute to flood levels or erosion in natural water courses by discharges of newly collected runoff?

X

As discussed above, on-site detention is required for this project so that post-development runoff rates and peak volumes do not exceed that of the pre-development conditions, thus there will be minimal additional storm water runoff that could contribute to flooding or erosion. In addition, a new velocity dissipator will be installed at the outlet of the upgraded storm drain pipe that will replace the existing inadequate pipe under Soquel-San Jose Road.

10. Otherwise substantially degrade water supply or quality?

X

Silt and grease traps, and a plan for maintenance, will be required to minimize the effects of urban pollutants. Further, in order to ensure that exported fill material is not placed where it can contribute to sedimentation of waterways there will be a permit condition to place material only at authorized locations and to track the exported material.

C. Biological Resources

Does the project have the potential to:

1. Have an adverse effect on any species identified as a candidate, sensitive, or special status species, in local or regional plans, policies, or regulations, or by the California Department of Fish and Game, or U.S. Fish and Wildlife Service?

X

According to the California Natural Diversity Data Base (CNDDB), maintained by the California Department of Fish and Game, there are no known special status plant or animal species in the site vicinity, and there were no special status species observed in the project area. In addition, the lack of suitable habitat and the disturbed nature of the site make it unlikely that any special status plant or animal species occur in the area.

2. Have an adverse effect on a sensitive

X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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biotic community (riparian corridor),
wetland, native grassland, special
forests, intertidal zone, etc.)?

There are no mapped or designated sensitive biotic communities on or adjacent to the project site.

3. Interfere with the movement of any native resident or migratory fish or wildlife species, or with established native resident or migratory wildlife corridors, or impede the use of native or migratory wildlife nursery sites?

X

The proposed project does not involve any activities that would interfere with the movements or migrations of fish or wildlife, or impede use of a known wildlife nursery site, as this is an infill residential development.

4. Produce nighttime lighting that will illuminate animal habitats?

X

The subject property is located in an urbanized area and is surrounded by existing residential development that currently generates nighttime lighting. There are no sensitive animal habitats within or adjacent to the project site.

5. Make a significant contribution to the reduction of the number of species of plants or animals?

X

6. Conflict with any local policies or ordinances protecting biological resources (such as the Significant Tree Protection Ordinance, Sensitive Habitat Ordinance, provisions of the Design Review ordinance protecting trees with trunk sizes of 6 inch diameters or greater)?

X

The walnut trees were removed prior to submittal of this application and were not subject to the Significant Tree protection ordinance.

7. Conflict with the provisions of an adopted Habitat Conservation Plan,

X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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Biotic Conservation Easement, or
other approved local, regional, or state
habitat conservation plan?

D. Energy and Natural Resources

Does the project have the potential to:

1. Affect or be affected by land
designated as "Timber Resources" by
the General Plan?

2. Affect or be affected by lands currently
utilized for agriculture, or designated in
the General Plan for agricultural use?

X

The project site is not currently being used for agriculture and no agricultural uses are
proposed for the site or surrounding vicinity.

3. Encourage activities that result in the
use of large amounts of fuel, water, or
energy, or use of these in a wasteful
manner?

X

The new dwellings are proposed to be equipped with solar roof collectors to reduce
energy consumption.

4. Have a substantial effect on the
potential use, extraction, or depletion
of a natural resource (i.e., minerals or
energy resources)?

X

See D.3. above, the proposed dwellings will have a smaller than usual energy
consumption through the use of solar power that has been incorporated into the
designs.

E. Visual Resources and Aesthetics

Does the project have the potential to:

1. Have an adverse effect on a scenic
resource, including visual obstruction
of that resource?

X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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The project will not directly impact any public scenic resources, as designated in the County's General Plan (1994), or obstruct any public views of these visual resources.

2. Substantially damage scenic resources, within a designated scenic corridor or public view shed area including, but not limited to, trees, rock outcroppings, and historic buildings? X

The project site is not located along a County designated scenic road or within a designated scenic resource area.

3. Degrade the existing visual character or quality of the site and its surroundings, including substantial change in topography or ground surface relief features, and/or development on a ridge line? X

The existing visual setting is a modestly developed, poorly maintained property within a suburban residential neighborhood. The proposed project is designed and landscaped so as to complement this setting.

4. Create a new source of light or glare which would adversely affect day or nighttime views in the area? X

The project will create an incremental increase in night lighting. However, this increase will be small, and will be similar in character to the lighting associated with the surrounding existing uses.

5. Destroy, cover, or modify any unique geologic or physical feature? X

There are no unique geological or physical features on or adjacent to the site that would be destroyed, covered, or modified by the project.

F. Cultural Resources

Does the project have the potential to:

1. Cause an adverse change in the significance of a historical resource as defined in CEQA Guidelines 15064.5? X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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The existing structure(s) on the property is not designated as a historic resource on any federal, State or local inventory.

2. Cause an adverse change in the significance of an archaeological resource pursuant to CEQA Guidelines 15064.5?

X

According to the Santa Cruz County Archeological Society site assessment, dated 5/31/01 (Attachment 11), there is no evidence of pre-historic cultural resources. However, pursuant to Section 16.40.040 of the Santa Cruz County Code, if archeological resources are uncovered during construction, the responsible persons shall immediately cease and desist from all further site excavation and comply with the notification procedures given in County Code Chapter 16.40.040.

3. Disturb any human remains, including those interred outside of formal cemeteries?

X

Pursuant to Section 16.40.040 of the Santa Cruz County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this project, human remains are discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the sheriff-coroner and the Planning Director. If the coroner determines that the remains are not of recent origin, a full archeological report shall be prepared and representatives of the local Native California Indian group shall be contacted. Disturbance shall not resume until the significance of the archeological resource is determined and appropriate mitigations to preserve the resource on the site are established.

4. Directly or indirectly destroy a unique paleontological resource or site?

X

G. Hazards and Hazardous Materials

Does the project have the potential to:

1. Create a significant hazard to the public or the environment as a result of the routine transport, storage, use, or disposal of hazardous materials, not including gasoline or other motor fuels?

X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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2. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

X

The project site is not included on the 7112105 list of hazardous sites in Santa Cruz County compiled pursuant to the specified code.

3. Create a safety hazard for people residing or working in the project area as a result of dangers from aircraft using a public or private airport located within two miles of the project site?

X

4. Expose people to electro-magnetic fields associated with electrical transmission lines?

X

5. Create a potential fire hazard?

X

The project design incorporates all applicable fire safety code requirements and will include fire protection devices as required by the local fire agency. A new fire hydrant will be constructed at the frontage of Lot 1 to meet the requirements of the Central Fire District.

6. Release bio-engineered organisms or chemicals into the air outside of project buildings?

X

H. Transportation/Traffic

Does the project have the potential to:

1. Cause an increase in traffic that is substantial in relation to the existing traffic load and capacity of the street

X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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system (i.e., substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?

The project will create a small incremental increase in traffic on nearby roads and intersections. There are currently three residences on this site, therefore the net increase in dwelling units will be four new dwellings. The net increase of four residences would result in the generation of approximately 40 new vehicle trips per day, of which approximately 4 would occur in the P.M. peak hour. This number of new trips and peak hour trips would not significantly impact the surrounding road network, and would not be sufficient to result in a lower level of service (LOS) than currently exists. Further, the increase will not cause the Level of Service at any nearby intersection to drop below Level of Service D.

2. Cause an increase in parking demand which cannot be accommodated by existing parking facilities?

X

The project meets the code requirements for the required number of parking spaces and therefore new parking demand will be accommodated on site.

3. Increase hazards to motorists, bicyclists, or pedestrians?

X

The proposed project will comply with current road requirements to prevent potential hazards to motorists, bicyclists, and/or pedestrians.

4. Exceed, either individually (the project alone) or cumulatively (the project combined with other development), a level of service standard established by the county congestion management agency for designated intersections, roads or highways?

X

See response H-1 above.

I. Noise

Does the project have the potential to:

1. Generate a permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No impact	Not Applicable
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The project will create an incremental increase in the existing noise environment. However, this increase will be small, and will be similar in character to noise generated by the surrounding existing uses.

2. Expose people to noise levels in excess of standards established in the General Plan, or applicable standards of other agencies?

X

There are no sources of noise in the immediate area that are expected to generate noise levels that would exceed the General Plan threshold of 50 Leq during the day and 45 Leq during the nighttime at this site.

3. Generate a temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?

X

Noise generated during construction will increase the ambient noise levels for adjoining areas. Construction will be temporary, however, and given the limited duration of this impact it is considered to be less than significant.

J. Air Quality

Does the project have the potential to:
(Where available, the significance criteria established by the MBUAPCD may be relied upon to make the following determinations).

1. Violate any air quality standard or contribute substantially to an existing or projected air quality violation?

X

The North Central Coast Air Basin does not meet State standards for ozone and particulate matter (PM10). Therefore, the regional pollutants of concern that would be emitted by the project are ozone precursors (Volatile Organic Compounds [VOCs] and nitrogen oxides [NOx]), and dust. Given the modest amount of new traffic that will be generated by the project there is no indication that new emissions of VOCs or NOx will exceed Monterey Bay Unified Air Pollution Control District (MBUAPCD) thresholds for these pollutants and therefore there will not be a significant contribution to an existing air quality violation. Project construction may result in a short-term, localized decrease in air quality due to generation of dust. However, standard dust control best management practices, such as periodic watering, will be implemented during construction to reduce impacts to a less than significant level.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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2. Conflict with or obstruct implementation of an adopted air quality plan?

X

The project will not conflict with or obstruct implementation of the regional air quality plan. See J-1 above.

3. Expose sensitive receptors to substantial pollutant concentrations?

X

4. Create objectionable odors affecting a substantial number of people?

X

K. Public Services and Utilities

Does the project have the potential to:

1. Result in the need for new or physically altered public facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for any of the public services:

- a. Fire protection?

X

- b. Police protection?

X

- c. Schools?

X

- d. Parks or other recreational activities?

X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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- e. Other public facilities; including the maintenance of roads?

X

While the project represents an incremental contribution to the need for services, the increase will be minimal. Moreover, the project meets all of the standards and requirements identified by the local fire agency, and school, park, and transportation fees to be paid by the applicant will be used to offset the incremental increase in demand for school and recreational facilities and public roads.

2. Result in the need for construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?

X

As discussed in 6.7. and 6.8. the drainage pipe running under Soquel-San Jose Road from Dawn Lane is undersized and will be replaced with a 24-inch pipe with a new energy dissipator at the outlet as part of the drainage improvements for this project. Drainage analysis of the project by Bowman and Williams last revised on March 31, 2005 concluded that the drainage facilities are adequate to accommodate the project's runoff with the exception of the downstream storm drain across Soquel-San Jose Road, which the developer will replace as part of the subdivision improvements. Department of Public Works Drainage staff have reviewed the drainage information and have determined that downstream storm facilities with the proposed storm drain replacement will be adequate to handle the increase in drainage associated with the project (Attachment 10).

3. Result in the need for construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?

X

The project will connect to an existing municipal water supply. Soquel Creek Water District has determined that adequate supplies are available to serve the project (Attachment 13).

Municipal sewer service is available to serve the project, as reflected in the attached letter from the Santa Cruz County Sanitation District (Attachment 14).

4. Cause a violation of wastewater treatment standards of the Regional

X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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Water Quality Control Board?

The project's wastewater flows will not violate any wastewater treatment standards.

5. Create a situation in which water supplies are inadequate to serve the project or provide fire protection?

X

The water mains serving the project site provide adequate flows and pressure for fire suppression. Additionally, Central Fire has reviewed and approved the project plans, assuring conformity with fire protection standards that include minimum requirements for water supply for fire protection and placement of a new hydrant.

6. Result in inadequate access for fire protection?

X

The project's road access meets County standards and has been approved by Central Fire. In addition, a secondary emergency access will be provided for this development.

7. Make a significant contribution to a cumulative reduction of landfill capacity or ability to properly dispose of refuse?

X

The project will make an incremental contribution to the reduced capacity of regional landfills. However, this contribution will be relatively small and will be of similar magnitude to that created by existing land uses around the project.

8. Result in a breach of federal, state, and local statutes and regulations related to solid waste management?

X

L. Land Use, Population, and Housing

Does the project have the potential to:

1. Conflict with any policy of the County adopted for the purpose of avoiding or mitigating an environmental effect?

X

The proposed project does not conflict with any policies adopted for the purpose of avoiding or mitigating an environmental effect. The development as designed and conditioned will not have any building sites located on slopes that are steeper than 30%. Secondary emergency access will be completed as part of this development

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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connecting the new cul-de-sac on this existing dead-end road to an adjacent cul-de-sac thereby providing increased circulation in the event of an emergency for these two residential neighborhoods. The density of the project, at 6.7 dwelling units per net developable acre, is consistent with the 4.4 to 7.2 dwelling units per net developable acre density set forth for the R-UL (Urban Low Density Residential) General Plan land use designation.

2. Conflict with any County Code regulation adopted for the purpose of avoiding or mitigating an environmental effect?

X

The proposed project does not conflict with any regulations adopted for the purpose of avoiding or mitigating an environmental effect. The proposed land division is consistent with the R-1-6 zoning designation in that the each new lot would meet the minimum requirements of 6,000 square feet of net developable area and minimum frontage and parcel width requirements. In addition, the building envelopes and the proposed dwellings meet the required setbacks, lot coverage, floor area ratio and building heights set forth for the R-1-6 zone district. The proposed cul-de-sac meets the road standards for urban residential development set forth in the County's Design Criteria.

3. Physically divide an established community?

X

The project will not include any element that will physically divide an established community.

4. Have a potentially significant growth inducing effect, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?

X

The proposed project is designed at the density and intensity of development allowed by the General Plan and zoning designations for the parcel. Additionally, the project does not involve extensions of utilities (e.g., water, sewer, or new road systems) into areas previously not served. Consequently, it is not expected to have a significant growth-inducing effect.

5. Displace substantial numbers of people, or amount of existing housing, necessitating the construction of replacement housing elsewhere?

X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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The proposed project will entail a net gain in four housing units which includes one affordable housing unit.

M. Non-Local Approvals

Does the project require approval of federal, state, or regional agencies?

Permit from the Monterey Bay Air Pollution Control District

Yes X No

N. Mandatory Findings of Significance

1. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant, animal, or natural community, or eliminate important examples of the major periods of California history or prehistory?

Yes No X

2. Does the project have the potential to achieve short term, to the disadvantage of long term environmental goals? (A short term impact on the environment is one which occurs in a relatively brief, definitive period of time while long term impacts endure well into the future)

Yes No X

3. Does the project have impacts that are individually limited, but cumulatively considerable ("cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, and the effects of reasonably foreseeable future projects which have entered the Environmental Review stage)?

Yes No X

4. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

Yes No X

TECHNICAL REVIEW CHECKLIST

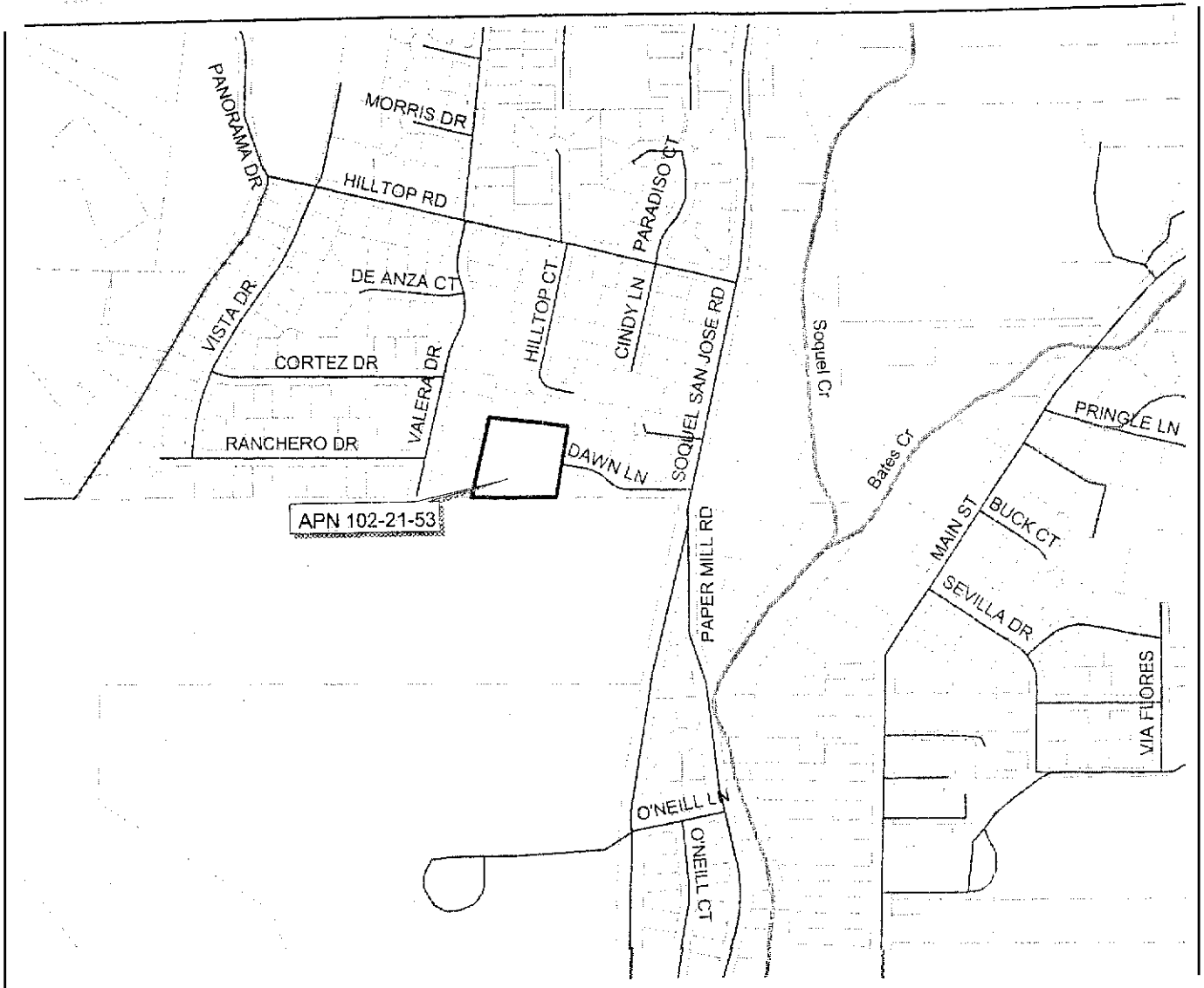
	<u>REQUIRED</u>	<u>COMPLETED*</u>	<u>N/A</u>
Agricultural Policy Advisory Commission (APAC) Review			X
Archaeological Review		X	
Biotic Report/Assessment			X
Geologic Hazards Assessment (GHA)			X
Geologic Report			X
Geotechnical (Soils) Report		X	
Riparian Pre-Site			X
Septic Lot Check			X
Other:			

Attachments:

For a// construction projects:

1. Vicinity Map
2. Map of Zoning Districts
3. Map of General Plan Designations
4. Assessors Parcel Map
5. Project Plans
6. Tentative Map & Preliminary Improvement Plans prepared by Bowman and Williams dated 4/7/05
7. Landscape Plan prepared by Ellen Cooper, various dates
8. Geotechnical Review Letter prepared by Kevin Crawford, dated October 7, 2004
9. Geotechnical Investigation (Conclusions and Recommendations) prepared by Bauldry Engineering, dated 9/22/2004
10. Drainage calculations prepared by Bowman and Williams dated 9/27/04 last revised 3/31/05
11. Archeological Reconnaissance Survey Letter prepared by Jessica DeGrassi, dated May 31, 2001
12. Discretionary Application Comments, printed October 7, 2005
13. Letter from Soquel Creek Water District, dated 10/25/04
14. Memo from Department of Public Works, Sanitation, dated 2/7/05

Location Map



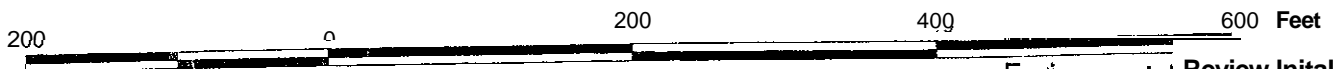
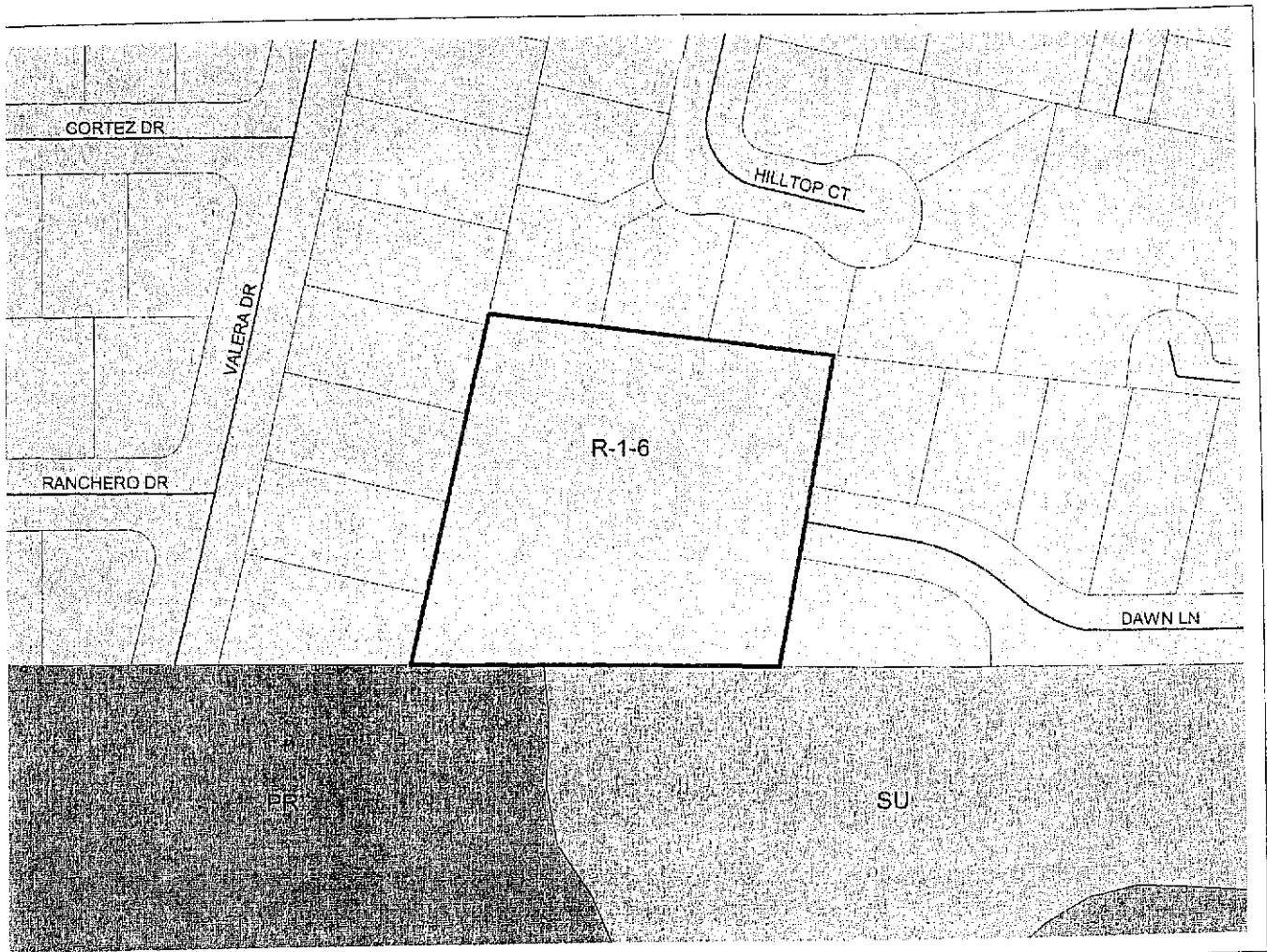
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Map created by Santa Cruz County
Planning Department:
October 2004



Environmental Review Initial Study
ATTACHMENT 1
APPLICATION 04-0432

Zoning Map



Environmental Review Initial Study
ATTACHMENT 2
APPLICATION 04-0472

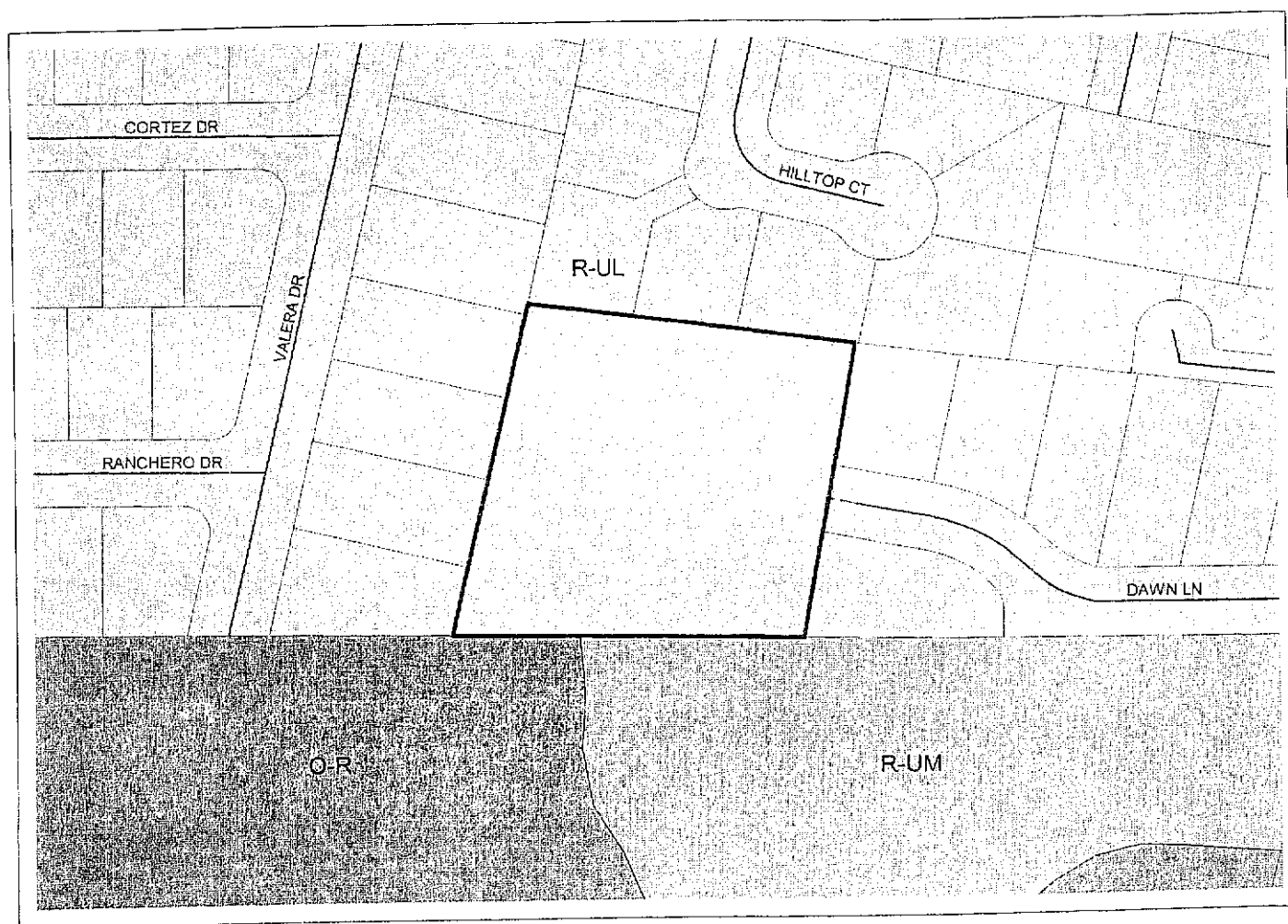
Legend

- APN 102-221-53
- Parcel boundaries
- Streets
- R-1-X
- SU
- PR



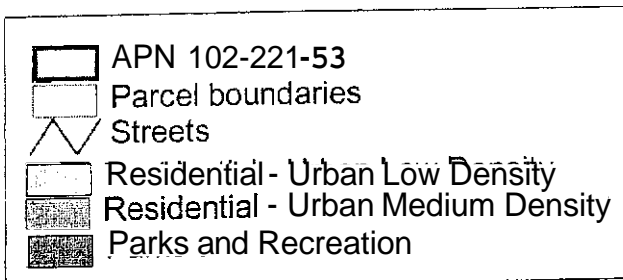
Map created by Santa Cruz County
Planning Department:
October 2004

General Plan Map

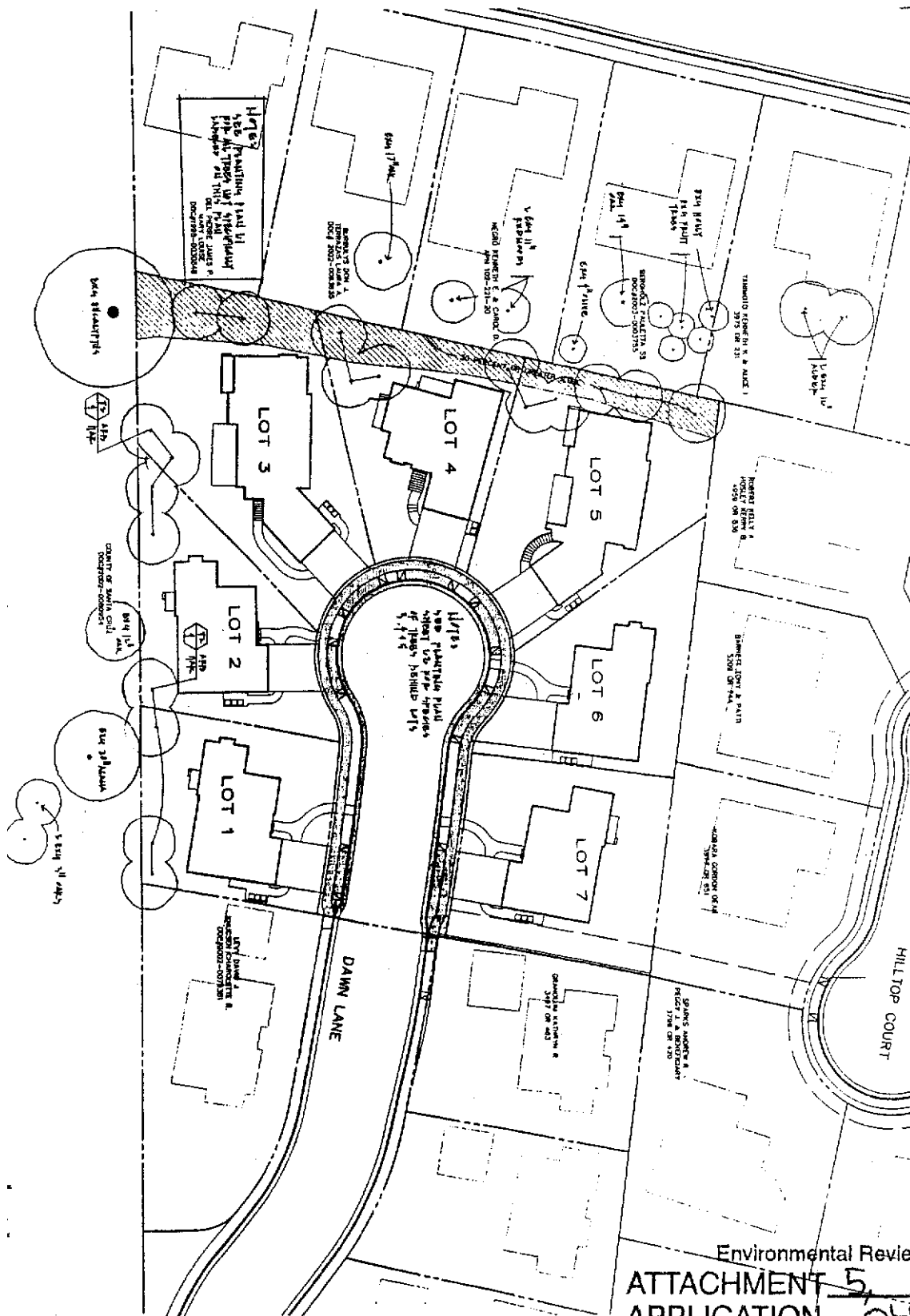


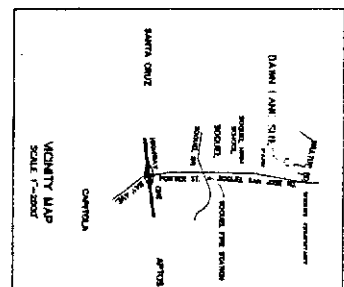
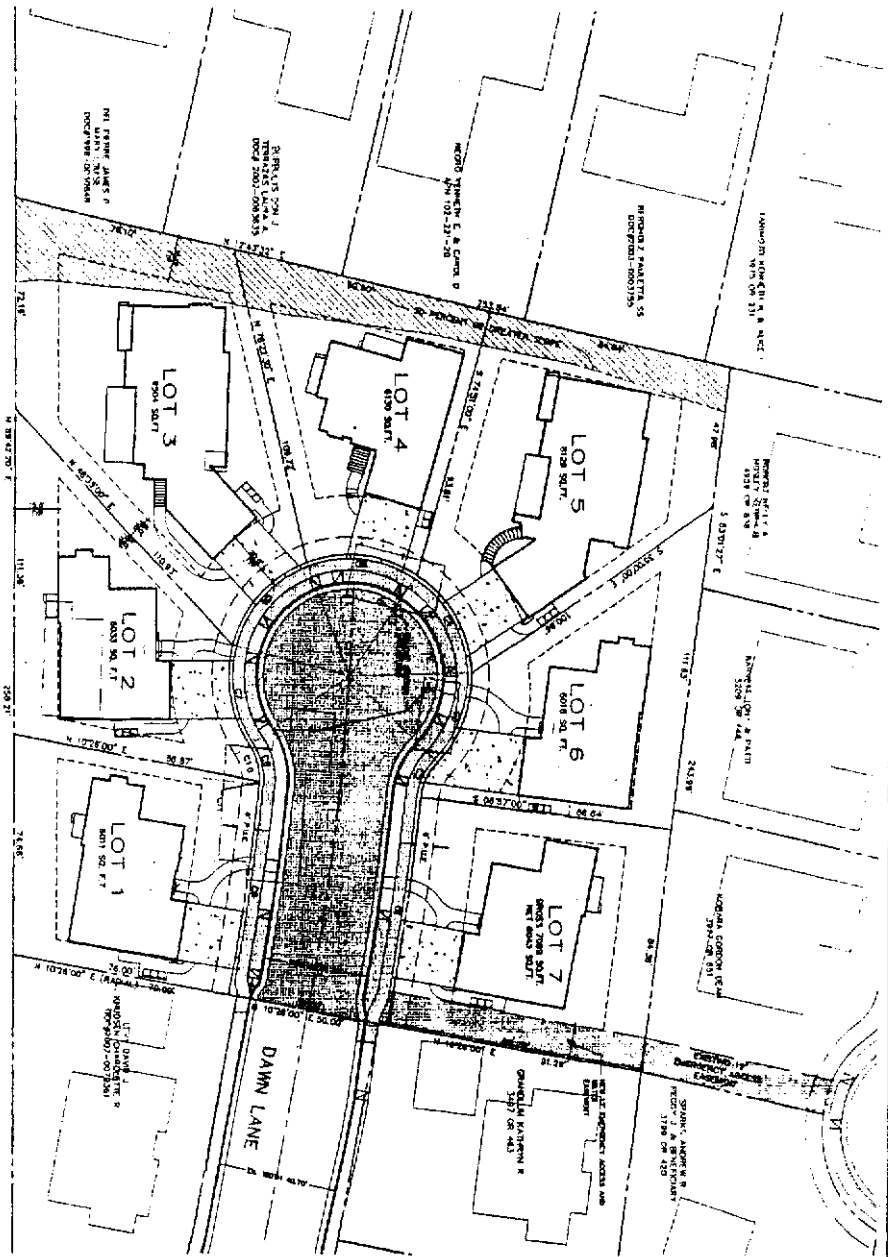
Environmental Review Initial Study
ATTACHMENT 3
APPLICATION 04-0472

Legend



Map created by Santa Cruz County
Planning Department:
October 2004





Environmental Review Initial Study

ATTACHMENT 6, 1 of 5
APPLICATION 04-04722

EXHIBIT D

PROJECT INFORMATION

PROJECT NAME: BOWMAN & WILLIAMS
PROJECT LOCATION: 1000 S. 10TH AVENUE, SAN JOSE, CA 95128
PROJECT OWNER: BOWMAN & WILLIAMS
PROJECT DESCRIPTION: 1000 S. 10TH AVENUE, SAN JOSE, CA 95128
PROJECT STATUS: 1000 S. 10TH AVENUE, SAN JOSE, CA 95128

OWNER DATA

NAME	ADDRESS	CITY	STATE	ZIP
BOWMAN & WILLIAMS	1000 S. 10TH AVENUE	SAN JOSE	CA	95128

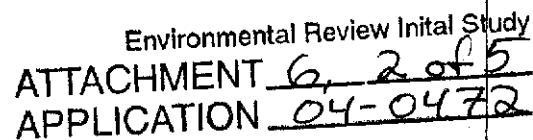
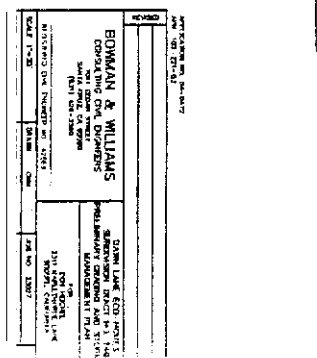
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BOWMAN & WILLIAMS
1000 S. 10TH AVENUE
SAN JOSE, CA 95128
TEL: (408) 281-1111
FAX: (408) 281-1112

PROJECT INFORMATION
PROJECT NAME: 1000 S. 10TH AVENUE
PROJECT LOCATION: 1000 S. 10TH AVENUE
PROJECT OWNER: BOWMAN & WILLIAMS
PROJECT STATUS: 1000 S. 10TH AVENUE

DATE
DATE: 10/1/04
PAGE: 1 OF 1

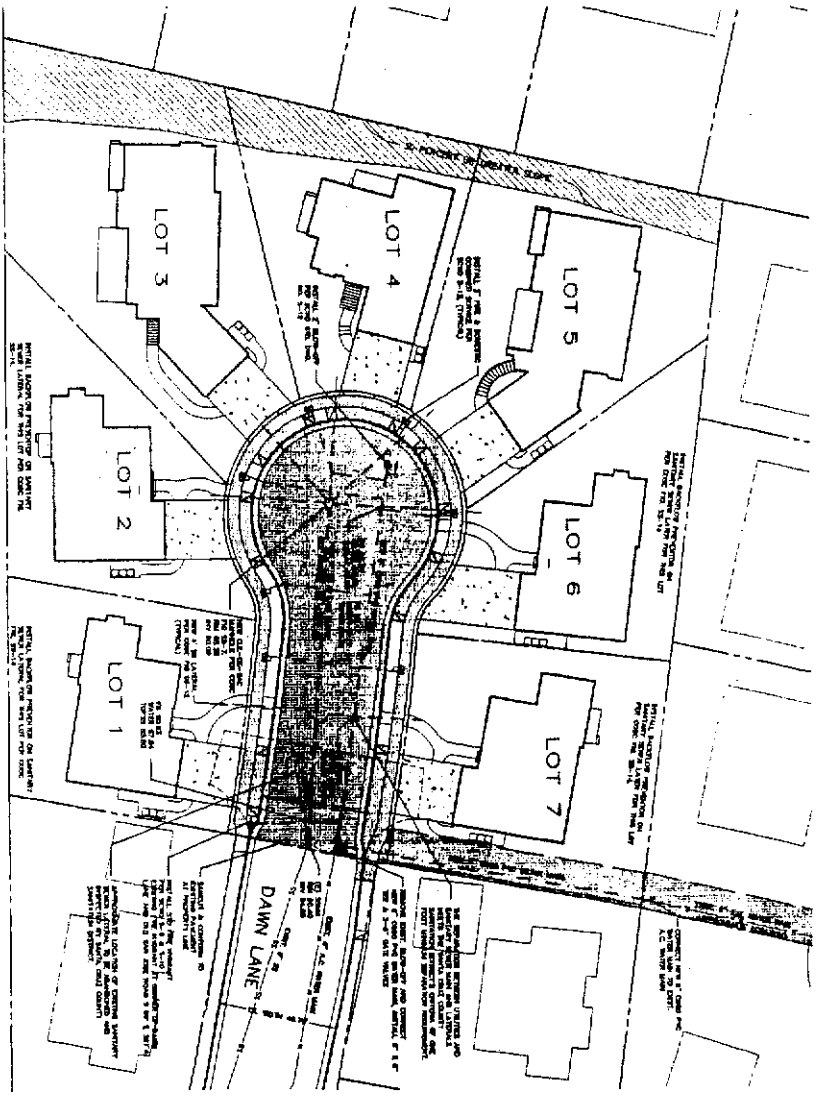


GENERAL NOTES

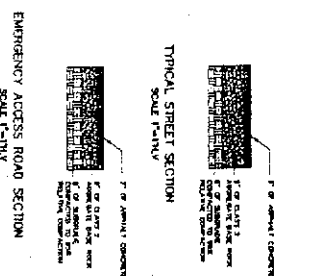
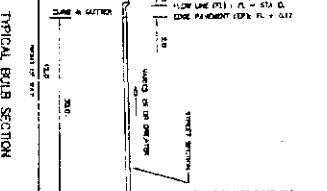
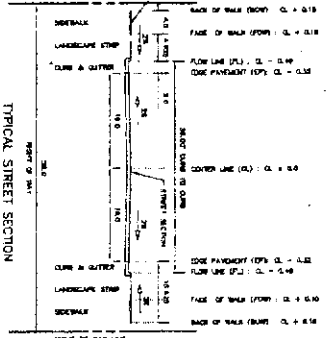
1. THE INFORMATION CONTAINED HEREIN IS FOR THE USE OF THE CITY OF SAN JOSE AND IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
2. THE INFORMATION CONTAINED HEREIN IS BASED ON THE ASSUMPTIONS AND CONDITIONS SET FORTH IN THE SPECIFICATIONS AND IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
3. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
4. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
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7. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
8. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
9. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
10. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.

SAN JOSE COUNTY SANITARIUM DISTRICT NOTES

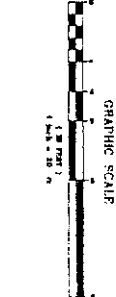
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PLAN
SCALE 1"=20'



DATE	BY	CHKD	APPD	REV
10/1/00	J. BOWMAN	J. BOWMAN	J. BOWMAN	1
10/1/00	J. BOWMAN	J. BOWMAN	J. BOWMAN	2
10/1/00	J. BOWMAN	J. BOWMAN	J. BOWMAN	3
10/1/00	J. BOWMAN	J. BOWMAN	J. BOWMAN	4
10/1/00	J. BOWMAN	J. BOWMAN	J. BOWMAN	5
10/1/00	J. BOWMAN	J. BOWMAN	J. BOWMAN	6
10/1/00	J. BOWMAN	J. BOWMAN	J. BOWMAN	7
10/1/00	J. BOWMAN	J. BOWMAN	J. BOWMAN	8
10/1/00	J. BOWMAN	J. BOWMAN	J. BOWMAN	9
10/1/00	J. BOWMAN	J. BOWMAN	J. BOWMAN	10



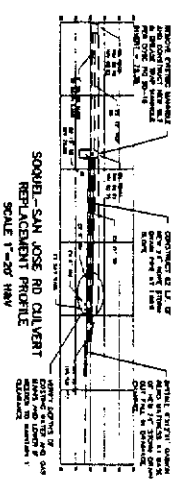
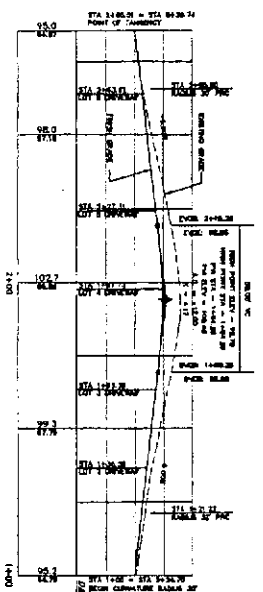
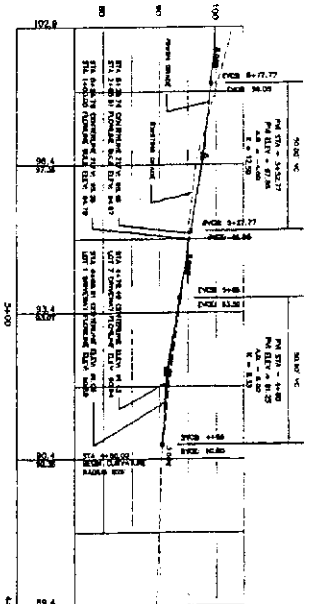
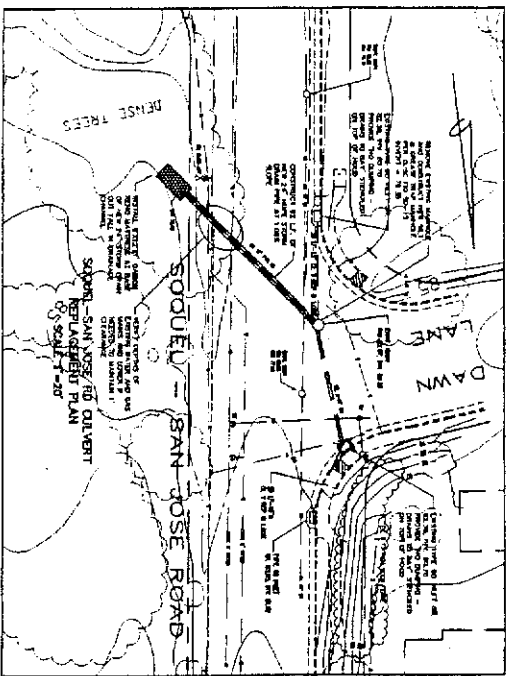
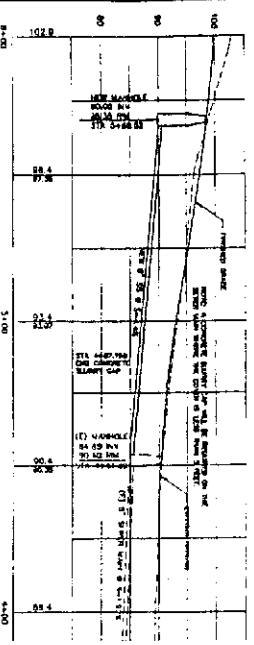
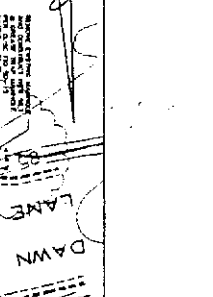
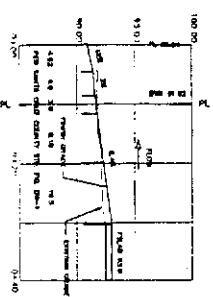
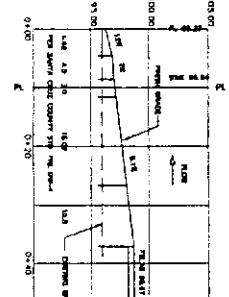
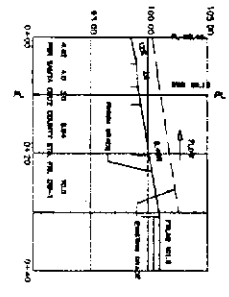
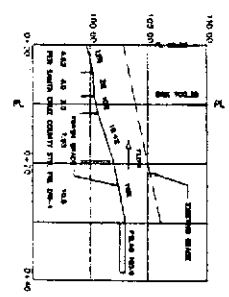
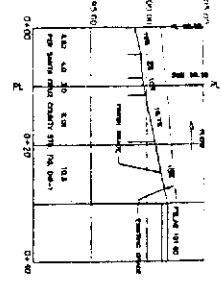
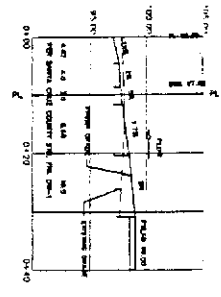
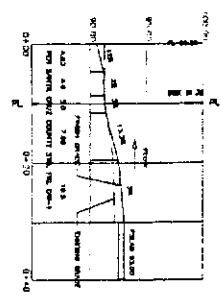
IMPERVIOUS SURFACES
 EXISTING: 1.000
 PROPOSED: 1.000
 NOTE: THIS IS THE ACTUAL AREA OF IMPERVIOUS SURFACES.

LEGEND
 IMPERVIOUS SURFACES
 PERVIOUS SURFACES
 NOTE: THIS IS THE ACTUAL AREA OF IMPERVIOUS SURFACES.

Environmental Review Init
ATTACHMENT 6, 3c
APPLICATION 04-0

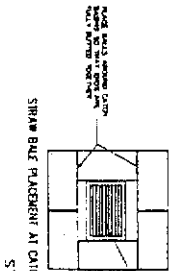
Study
5
72

DAWN LAKE DRIVEWAY PROFILES
SCALE 1"=20' H=20'

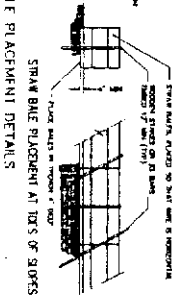


BOMAN & WILLIAMS REGISTERED PROFESSIONAL ENGINEERS No. 21886 State of California		DAWN LAKE EDO-BARDS REPLACEMENT PLAN AND DRIVE PROJECT APPROVED DATE: 10/1/04 BY: [Signature]	
DATE: 10/1/04	SCALE: 1"=20'	DATE: 10/1/04	SCALE: 1"=20'
BY: [Signature]	DATE: 10/1/04	BY: [Signature]	DATE: 10/1/04

Environmental Review Initial Study
ATTACHMENT 6, 4 of 5
APPLICATION 04-0472



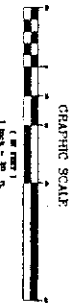
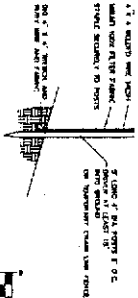
STRAW BALE PLACEMENT AT DITCH BASINS



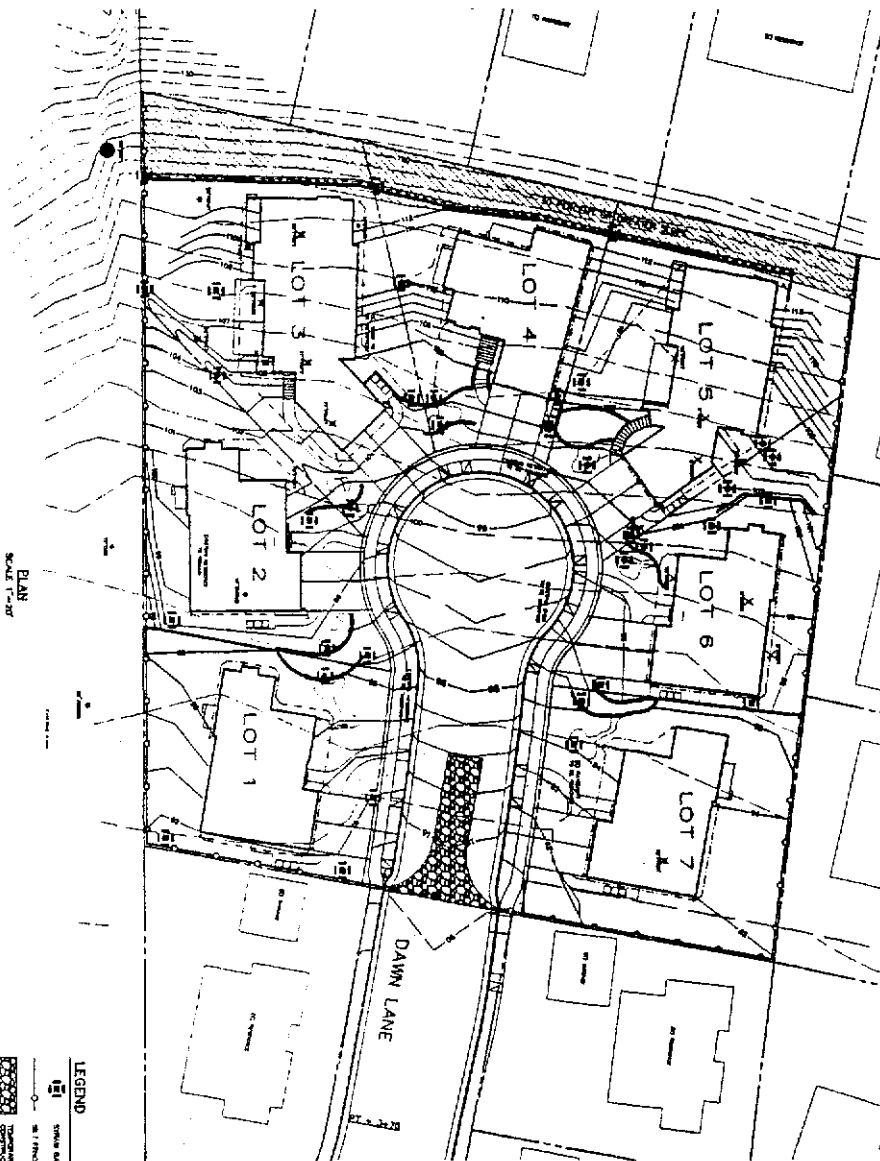
STRAW BALE PLACEMENT AT TOPS OF SLOPES

CONTROL MEASURES

SILT FENCE BARRIER DETAILS



GRAPHIC SCALE



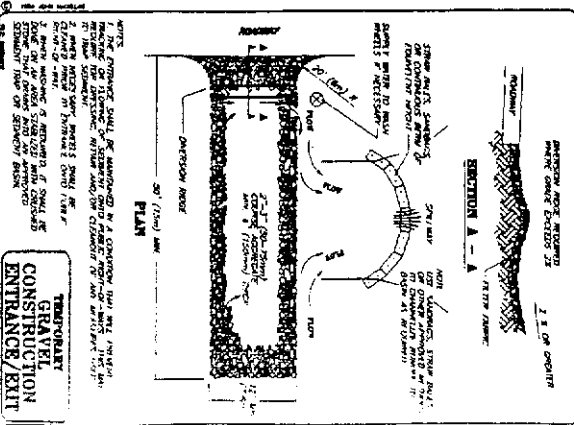
PLAN

LEGEND
 STRAW BALE PLACEMENT
 SILT FENCE
 TEMPORARY EROSION CONTROL MEASURES



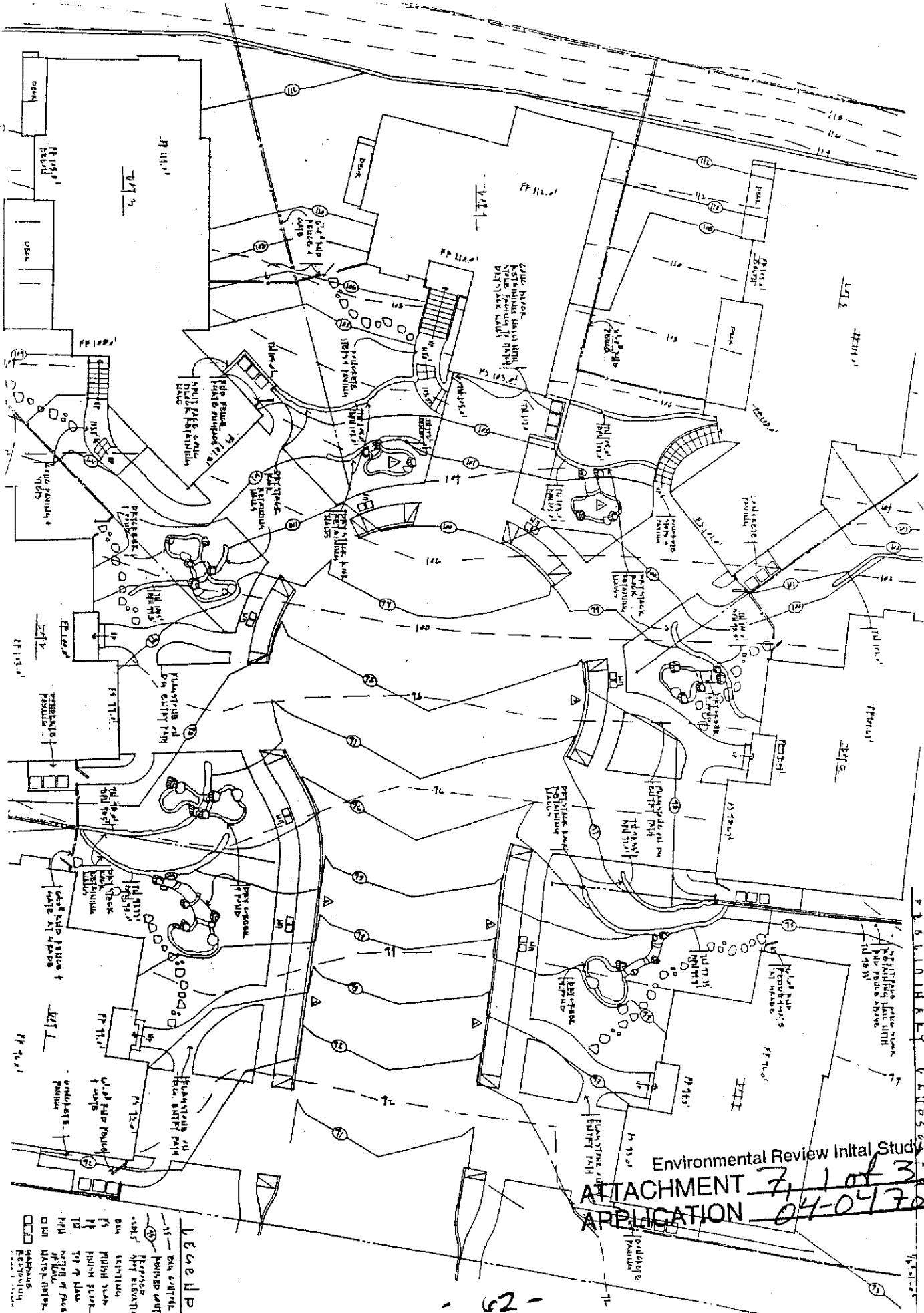
Environmental Review Initial Study
 ATTACHMENT 6, 5 of 5
 APPLICATION 04-0472

- PROPOSED TEMPORARY EROSION CONTROL MEASURES**
1. EROSION CONTROL MEASURES SHALL BE INSTALLED AT ALL EXPOSED SOIL AREAS TO PREVENT EROSION OF SOILS DURING CONSTRUCTION. MEASURES SHALL BE DESIGNED TO PREVENT EROSION OF SOILS DURING CONSTRUCTION. MEASURES SHALL BE DESIGNED TO PREVENT EROSION OF SOILS DURING CONSTRUCTION.
 2. EROSION CONTROL MEASURES SHALL BE INSTALLED AT ALL EXPOSED SOIL AREAS TO PREVENT EROSION OF SOILS DURING CONSTRUCTION. MEASURES SHALL BE DESIGNED TO PREVENT EROSION OF SOILS DURING CONSTRUCTION.
 3. EROSION CONTROL MEASURES SHALL BE INSTALLED AT ALL EXPOSED SOIL AREAS TO PREVENT EROSION OF SOILS DURING CONSTRUCTION. MEASURES SHALL BE DESIGNED TO PREVENT EROSION OF SOILS DURING CONSTRUCTION.
 4. EROSION CONTROL MEASURES SHALL BE INSTALLED AT ALL EXPOSED SOIL AREAS TO PREVENT EROSION OF SOILS DURING CONSTRUCTION. MEASURES SHALL BE DESIGNED TO PREVENT EROSION OF SOILS DURING CONSTRUCTION.
 5. EROSION CONTROL MEASURES SHALL BE INSTALLED AT ALL EXPOSED SOIL AREAS TO PREVENT EROSION OF SOILS DURING CONSTRUCTION. MEASURES SHALL BE DESIGNED TO PREVENT EROSION OF SOILS DURING CONSTRUCTION.



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

PROJECT INFORMATION	
PROJECT NAME	DAWN LANE EROSION CONTROL MEASURES
CLIENT	DAWN LANE EROSION CONTROL MEASURES
DESIGNER	ALBERT E. HARTMAN, INC.
DATE	04/04/04
SCALE	AS SHOWN
DATE	04/04/04
SCALE	AS SHOWN
DATE	04/04/04
SCALE	AS SHOWN



Environmental Review Initial Study
 ATTACHMENT 7.1 of 3
 APPLICATION 04-0472

- LEGEND**
- 11 - Oak & Walnut
 - 12 - Redwood
 - 13 - Redwood
 - 14 - Redwood
 - 15 - Redwood
 - 16 - Redwood
 - 17 - Redwood
 - 18 - Redwood
 - 19 - Redwood
 - 20 - Redwood
 - 21 - Redwood
 - 22 - Redwood
 - 23 - Redwood
 - 24 - Redwood
 - 25 - Redwood

ELLEN COOPER LANDSCAPE ARCHITECT

PAGE 9-11-04

REVISIONS

SHEET 11

EXHIBIT D



63

Environmental Review Initial Study

ATTACHMENT 7, 2 of 3
APPLICATION 04-0472

ELLEN COOPER LANDSCAPE ARCHITECT
04-010-2757
951-950-0075

DATE
9-11-01

REVISIONS
1-28-02
3-16-03

THEORY
1

EXHIBIT D

1. PLANTING NOTES

Each of your trees and shrubs should be planted in the same manner as they were in the nursery. Do not plant them in the same manner as they were in the nursery. Do not plant them in the same manner as they were in the nursery.

2. PLANTING NOTES

Each of your trees and shrubs should be planted in the same manner as they were in the nursery. Do not plant them in the same manner as they were in the nursery. Do not plant them in the same manner as they were in the nursery.

3. PLANTING NOTES

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4. PLANTING NOTES

Each of your trees and shrubs should be planted in the same manner as they were in the nursery. Do not plant them in the same manner as they were in the nursery. Do not plant them in the same manner as they were in the nursery.

PLANTING AND PREPARATION

1. The trees and shrubs should be planted in the same manner as they were in the nursery. Do not plant them in the same manner as they were in the nursery. Do not plant them in the same manner as they were in the nursery.
2. The trees and shrubs should be planted in the same manner as they were in the nursery. Do not plant them in the same manner as they were in the nursery. Do not plant them in the same manner as they were in the nursery.
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QUALITY OF PLANT MATERIALS

1. The trees and shrubs should be planted in the same manner as they were in the nursery. Do not plant them in the same manner as they were in the nursery. Do not plant them in the same manner as they were in the nursery.
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PLANTING

1. The trees and shrubs should be planted in the same manner as they were in the nursery. Do not plant them in the same manner as they were in the nursery. Do not plant them in the same manner as they were in the nursery.
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5. The trees and shrubs should be planted in the same manner as they were in the nursery. Do not plant them in the same manner as they were in the nursery. Do not plant them in the same manner as they were in the nursery.

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Environmental Review Initial Study
 ATTACHMENT 7, 3 of 3
 APPLICATION 04-0472

ELLEN COOPER
 LANDSCAPE ARCHITECT
 531. 1st St
 416 21937

DAHU VANG
 DAHU VANG, 416 21937

DATE 9-21-04
 REVISIONS 1-12-05
 SHEET 15 OF 17
 PLANT LEGEND & SPECIFICATIONS



County of Santa Cruz

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060-4000
(831) 454-2580 FAX: (831) 454-2131 TOO: (831) 454-2123
TOM BURNS, DIRECTOR

October 7, 2004

Mr. Larry Hattis
3555 Clares Street, Suite WW
Capitola, CA, 95010

SUBJECT: Review of Geotechnical Investigation by Bauldry Engineering,
Dated: September 22, 2004, Project No. 0031-SZ973-C41
APN: 102-221-53, Application No.: 04-0472

Dear Mr. Hattis:

Thank you for submitting the Soil Report for the parcel referenced above. The Report was reviewed for conformance with County Guidelines for Soils/Geotechnical Reports and also for completeness regarding site-specific hazards and accompanying technical reports (e.g. geologic, hydrologic, etc.). The purpose of this letter is to inform you that the Planning Department *has* accepted the report and the following recommendations become permit conditions:

1. All report recommendations must be followed.
2. An engineered foundation plan is required. This plan must incorporate the design recommendations of the Soils Engineering Report for a foundation system of reinforced concrete spread footings constructed as an interconnected grid, or a reinforced concrete structural mat.
3. Final plans shall show the drainage system as detailed in the Soils Engineering Report.
4. Final plans shall reference the approved Soils Engineering Report and state that all development shall conform to the report recommendations.
5. Prior to building permit issuance, the soil engineer must submit a brief building, grading and drainage plan review letter to Environmental Planning stating that the plans and foundation design are in general compliance with the report recommendations. If, upon plan review, the engineer requires revisions or additions, the applicant shall submit to Environmental Planning two copies of revised plans and a final plan review letter stating that the plans, as revised, conform to the report recommendations.
6. The soil engineer must inspect all foundation excavations and a letter of inspection must be submitted to Environmental Planning and your building inspector prior to placement of concrete.
7. For all projects, the soil engineer must submit a final letter report to Environmental Planning and your building inspector regarding compliance with all technical recommendations of the soil report prior to final inspection. For all projects with Environmental Review Initial Study

ATTACHMENT 8-1012
APPLICATION 04-0472

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EXHIBIT D

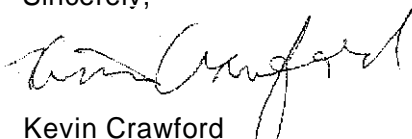
engineered fills, the soil engineer must submit a final grading report (reference August 1997 County Guidelines for Soils/Geotechnical Reports) to Environmental Planning and your building inspector regarding the compliance with all technical recommendations of the soil report prior to final inspection.

The soil report acceptance is limited to the technical adequacy of the report. Other issues, like planning, building, septic or sewer approval, etc., may still require resolution.

The Planning Department will check final development plans to verify project consistency with report recommendations and permit conditions prior to building permit issuance. If not already done, please submit two copies of the approved soil report at the time of building permit application for attachment to your building plans.

Please call 454-3210 if we can be of any assistance.

Sincerely,



Kevin Crawford
Senior Civil Engineer

Cc: Deidre Hamilton, Hamilton Swift, 1509 Seabright Ave., Ste A I, Santa Cruz, CA 95062
Brian Bauldry, 147 S. Morrissey Ave., Santa Cruz, CA 95062
Robin Bolster, Resource Planner
Owner: Heichel, Loleta S. Trustee, 3311 Maplethorpe Lane, Soquel, CA 95073

File

Environmental Review Initial Study
ATTACHMENT 8, 2 & 2
APPLICATION 04-0472

Bauldry Engineering

CONSULTING GEOTECHNICAL ENGINEERS

147 S. MORRISSEY AVENUE, SANTA CRUZ, CA 95062

(831) 457-1223

FAX (831) 457-1225

0031-SZ973-C41
September 22, 2004

Mr. Larry Hattis
3555 Clares Street, Suite WW
Capitola, CA 95010

Subject: Geotechnical Investigation
Proposed 7 Lot Subdivision
APN 102-221-53
4575 Dawn Lane
Soquel, California

Dear Mr. Hattis,

In accordance with your authorization, we have performed a geotechnical investigation for your proposed project located in Santa Cruz, California.

The accompanying report presents our conclusions and recommendations as well as the results of the geotechnical investigation on which they are based. The conclusions and recommendations presented in this report are contingent upon our review of the plans during the design phase of the project, and our observation and testing during the construction phase of the project.

if you have any questions concerning the data, conclusions, or recommendations presented in this report, please call our office.

Very truly yours,
Bauldry Engineering
No. 2479
Brian D. Bauldry
Principal Engineer
G. E. 2479
Exp. 12/31/06

Engineering/Projects/0031gf - Hattis.doc

Copies: 3 to Don Hattis

5 to Hamilton Swift Land Use & Development

1 to Rennie Boyd

Environmental Review Initial Study
ATTACHMENT 9.1017
APPLICATION 04-0472

DISCUSSIONS, CONCLUSIONS AND RECOMMENDATIONS

PRIMARY GEOTECHNICAL ISSUES

■ Site Viability

The results of our investigation indicate that from a Geotechnical Engineering standpoint the property may be developed as Proposed. It is our opinion that provided our recommendations are followed; the proposed dwelling can **be** designed and constructed to an "ordinary" level of seismic risk and performance as defined below:

"Ordinary Risk": Resist minor earthquakes without damage: resist moderate earthquakes without structural damage, but with some non-structural damage: resist major earthquakes of the intensity or severity of the strongest experienced in California without collapse, but with some structural damage as well as non-structural damage. In most structures it is expected that structural damage, even in a major earthquake, could be limited to reparable damage, (Source: Meeting the Earthquake Challenge, Joint Committee on Seismic Safety of the California Legislature, January 1974).

If the property owner desires a higher level of seismic performance for this project, supplemental design and construction recommendations will be required.

2. Primary Geotechnical Constraints

Based on our field and laboratory investigationis, it is our opinion that the primary geotechnical issues associated with the design and construction of single family dwellings at the subject site are the following:

- a. Liquefaction and Differential Settlement: There is a potential for differential settlement to occur should the loose sand and silt deposits underlying the site liquefy. To reduce the risk of liquefaction and differential settlement from adversely affecting the proposed project, we recommend that the foundations supporting the proposed structures be designed to move as a unit, resist differential movement, and span seismically induced voids. Design recommendations are provided in the FOUNDATION section of this report.
- b. Settlement and Differential Bearing Conditions: The strength characteristics and density of the upper soils at the site varies significantly. Additionally, the proposed structures will be constructed on cut and fill building pads, Both of these items result in differential bearing conditions and the potential for differential settlement. To mitigate the potential for distress due to settlement and differential bearing conditions, we recommend that the upper foundation zone soils be excavated and replaced as an engineered fill. Detailed recommendations are provided in the SITE PREPARATION section of this report.

Environmental Review Initial Study

ATTACHMENT 9, 2 of 7
APPLICATION 04-0472

POST REPORT SERVICES

3. Plan Review

Grading, foundation, retaining wall and drainage plans should be reviewed by the Geotechnical Engineer during their preparation and prior to contract bidding to insure that

8. Subgrade Preparation

Following the stripping, the area should be excavated to the design grades. The exposed soils in the building areas should then be removed to a minimum depth of 24 inches below the base of all foundation elements, or as designated by the Geotechnical Engineer in the field. The depth of fill beneath the buildings should be relatively uniform. This may require more extensive excavation and recompaction for building pads that span cut and fill. The base of the excavation should be scarified and the soil moisture conditioned and compacted. The excavated soil may then be replaced in thin lifts. The moisture conditioning procedure will depend on the time of year that the work is done, but it should result in the soils being 1 to 3 percent over their optimum moisture content at the time of compaction. There should be a minimum of 24 inches of engineered fill under all foundation elements and slab-on-grade floors. Recompacted sections should extend 5 feet beyond the building perimeter.

The exposed soils in the pavement and concrete flatwork areas should be scarified, moisture conditioned, and compacted as an engineered fill except for any contaminated material noted by the Geotechnical Engineer in the field.

Note: If this work is done during or soon after the rainy season, the on-site soils may be too wet in their existing condition to be used as engineered fill. The on-site soils may require a diligent and active drying and/or mixing operation to reduce the moisture content to the levels required to obtain adequate compaction as an engineered fill. If the soils are dry water may need to be added.

9. Compaction Requirements

The minimum compaction requirements are outlined in the table below:

Minimum Compaction Requirements

percent of Maximum Dry Density	Location
95%	<ul style="list-style-type: none">• All aggregate base and subbase in pavement areas• The upper 8 inches of subgrade in pavement areas• All utility trench backfill in pavement areas
90%	All remaining native soil and fill material
The maximum dry density will be obtained from a laboratory compaction curve run in accordance with ASTM Procedure #D1557. This test will also establish the optimum moisture content of the material. Field density testing will be in accordance with ASTM Test #D2922.	

Environmental Review Initial Study
ATTACHMENT 9, 201-7
APPLICATION 04-0472

10. Moisture Conditioning

The moisture conditioning procedure should result in soil with a moisture content of 1 to 3 percent over optimum at the time of compaction. If the soil is dry water may need to be added. If grading is performed during or soon after the rainy season, the native soil may require a diligent and active drying and/or mixing operation to uniformly reduce the moisture content to the levels required to obtain adequate compaction. Additionally, the base of excavations may require stabilization treatments prior to placement of fill sections.

feet, but at all locations shall be at least 2 feet into firm material, Subsequent keys may be required as the fill section progress **upslope**. The Geotechnical Engineer will designate **keys** in the field. See the Keyway Detail in Appendix A for general details.

16. Subsurface Drainage

Our recommended cut and fill slope gradients assume that the soil moisture is a result of precipitation penetrating the slope face, and not a result of subsurface seeps or springs, which can destabilize slopes with hydrostatic pressure. All groundwater seeps encountered during construction should be adequately drained to maintain stable slopes at the recommended gradients. Drainage facilities may include subdrains, gravel blankets, rock-filled surface trenches or horizontally drains. The Geotechnical Engineer will determine the drainage facilities required during the grading operations.

17. Cut and Fill Slope Setbacks

The toe of all fill slopes should be set back at least 8 feet horizontally from the top of all cut slopes. A lateral surface drain should be placed between the cut and fill slopes.

FOUNDATIONS - GENERAL

18. General Description of Foundation

Considering the soil characteristics and the potential for liquefaction, it is our opinion that an appropriate foundation system to support the proposed structures will consist of either a system of reinforced concrete spread footings designed and constructed as an interconnected grid, or a reinforced concrete structural mat. Both foundation systems should be bedded into firm engineered fill constructed in accordance with the subgrade preparation recommendations provided in the EARTHWORK AND GRADING section of this report.

Both foundation systems should be designed to move as a unit, resist differential ground settlement, and span seismically induced voids. The foundation should allow the buildings to tolerate differential ground movement caused by liquefaction of the soil beneath the site and to span a void with a diameter of 5 feet appearing anywhere beneath the foundation. The building should be designed to tolerate differential movement of 1 inch in 30 feet.

19. General Design and Construction Recommendations

The footings should contain steel reinforcement as determined by the Project Structural Engineer in accordance with applicable UBC or ACI Standards.

No footing should be placed closer than 8 feet to the top of a fill slope or 6 feet from the base of a cut slope.

The footing excavations should be adequately moisture conditioned prior to placing concrete. Requirements for moisture conditioning the footing subgrade will depend on the soil type and seasonal moisture conditions, and will be determined by the Geotechnical Engineer at the time of construction.

Footing excavations must be observed by a representative of Bauldry Engineering before steel is placed and concrete is poured to insure bedding into proper material.

Structure Type	Footing Width	Footing Depth*
<p>*NOTE: Footing embedment depths are measured from the lowest undisturbed interior or exterior ground surface adjacent to the footing.</p>		

22. Allowable Bearing Capacity - Spread Footing Grid

Footings constructed to the given criteria may be designed for the following allowable bearing capacities:

- a. 1,200 psf for Dead plus Live Load
- b. a 1/3rd increase for Seismic or Wind Load

In computing the pressures transmitted to the soil by the footings, the embedded weight of the footing may be neglected.

Environmental Review Initial Study

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APPLICATION 04-0472

SLAB-ON-GRADE WITH GRID SYSTEM FOUNDATION

23. Slab-on-Grade Floor Design

Concrete slab-on-grade floors in conjunction with a spread footing grid foundation should be used constructed as structural mats designed in accordance with the criteria provided in the FOUNDATIONS - STRUCTURAL MAT section below.

FOUNDATIONS - STRUCTURAL MAT

24. General Description of Structural Mat

It is our opinion that a reinforced concrete structural mat is an acceptable alternative foundation system to mitigate damage due to liquefaction. The structural mat should be designed to allow the building to move as a unit, resist differential movement, and to span seismically induced voids

The mat should be designed to span a void appearing anywhere beneath it with a diameter of 5 feet.

The edge of the mat should be embedded a minimum of 12 inches below the lowest adjacent grade.

25. Allowable Bearing Capacity – Structural Mat

Reinforced structural mats constructed to the given criteria may be designed for the following allowable bearing capacities:

- a. 1,200 psf for Dead plus Live Load
- b. a 1/3rd increase for Seismic or Wind Load

The coefficient of vertical subgrade reaction (K_v) for a structural mat constructed to the criteria outlined above is 25 tons per ft³.

MOISTURE CONTROL BENEATH CONCRETE FLOOR SYSTEMS

26. Capillary Break

The structural mat should be underlain by a minimum 4 inch thick capillary break of ¾ inch clean crushed rock. It is recommended that neither Class 2 baserock nor sand be employed as the capillary break material. Where floor coverings are anticipated or vapor transmission may be a problem, a 10 mil waterproof membrane should be placed between the granular layer and the floor slab in order to reduce moisture condensation under the floor coverings. A 2 inch layer of moist sand on top of the membrane will help protect the membrane and will assist in equalizing the curing rate of the concrete.

27. Subgrade Saturation

It is important that the subgrade soils be adequately moisture conditioned prior to concrete placement. Requirements for pre-wetting the subgrade soil will depend on soil type and seasonal moisture conditions, and will be determined by the Geotechnical Engineer at the time of construction.

Environmental Review Initial Study
ATTACHMENT 9, 6 of 7
APPLICATION 04-0472

RETAINING WALLS AND LATERAL PRESSURES

28. Retaining Wall Foundations

Spread Footings: Retaining walls may be founded using a spread footing foundation. All footings should be embedded such that the base of the footing is:

- a minimum of 18 inches into engineered fill or firm native soil
- a minimum of 8 feet, measured horizontal, from the face of all adjacent descending slopes

Retaining wall footings constructed in accordance with the preceding conditions may be designed for the following allowable bearing capacities. Should the footing sizes vary significantly from those provided below, supplemental design criteria should be provided.

35. Utility Trench Backfill

Trenches may be backfilled with the native materials or approved import granular material with the soil compacted in thin lifts to a minimum of 95% of its maximum dry density in paved areas and 90% in other areas. Jetting of the trench backfill should be carefully considered as it may result in an unsatisfactory degree of compaction,

36. Shoring

Trenches must be shored as required by the local agency and the State of California Division of Industrial Safety construction safety orders.

SURFACE DRAINAGE

37. Surface Grades and Storm Water Runoff

Water must not be allowed to pond on building pads, parking areas or adjacent to foundations. Final grades should slope away from foundations such that water is rapidly transported to drainage facilities.

Concentrated surface water should be controlled using lined ditches, catch basins, and closed conduit piping or other appropriate facilities, and should be discharged at an approved location away from structures and graded areas. Concentrated storm water must not be discharged on or adjacent to fill. We recommend that storm water be discharged to Dawn Lane. Where necessary concentrated storm water runoff systems must be provided with energy dissipators that minimize erosion.

38. Roof Discharge

All roof eaves should be guttered, with the outlets from the downspouts provided with adequate capacity to carry the storm water away from the structures and graded areas. Concentrated roof runoff should be transported in a closed conduit which discharges at an approved location. Roof runoff must not be discharged on or adjacent to fill. We recommend that roof runoff be discharged to Dawn Lane. Where necessary, roof runoff must be provided with energy dissipators that minimize erosion,

39. Protection of Cut and Fill Slopes

Cut and fill slopes shall be constructed so that surface water will not be allowed to drain over the top of the slope face. This may require berms or curbs along the top of fill slopes and surface drainage ditches above cut slopes.

40. Maintenance and Irrigation

The building and surface drainage facilities must not be altered, and there should be no modifications of the finished grades at the project site without first consulting Bauldry Engineering, the Project Geotechnical Engineer.

Irrigation activities at the site should not be done in an uncontrolled or unreasonable manner. We recommend that landscaping be done with native and drought tolerant plants.

41. Percolation Pits

Because of the loose of the upper soils and the potential for liquefaction, we discourage the use of percolation pits for the disposal of storm water runoff at the project site. If



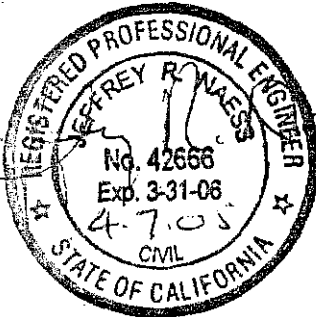
BOWMAN & WILLIAMS
CONSULTING CIVIL ENGINEERS
A CALIFORNIA CORPORATION

1011 CEDAR • PO BOX 1621 • SANTA CRUZ, CA 95061-1621
PHONE (831) 426-3560 FAX (831) 426-9182 www.bowmanandwilliams.com

**PRELIMINARY HYDROLOGY AND
STORMWATER DETENTION
CALCULATIONS**

FOR

**DAWN LANE SUBDIVISION
ECO HOMES TRACT 1498
APPLICATION NO. 04-0472**



LOCATED IN

**SOQUEL
COUNTY OF SANTA CRUZ
CALIFORNIA**

ORIGINAL SUBMITTAL DATE: SEPTEMBER 27, 2004

REVISED: JANUARY 10, 2005

REVISED: MARCH 31, 2005

BOWMAN & WILLIAMS JOB NO 23027

Environmental Review Initial Study
ATTACHMENT 10, 1 of 7
APPLICATION 04-0472

BASIS OF DESIGN:

1. County of Santa Cruz Design Criteria.
2. ASCE Manual of Engineering Practice No. 37
3. Storm Drain Calculations for Tan Heights Subdivision
4. Project Drawings

1.0 INTRODUCTION

The proposed project will subdivide existing Assessors Parcel Number 102-221-53 into 7 parcels. The subdivision will consist of houses, driveways, and landscaping on each of the 7 new parcels. Project improvements encompass an area of approximately 1.35 acres. All of this area will drain to the gutter of Dawn Lane. Dawn Lane empties into an existing storm drain system at the intersection of Old San Jose Road and Dawn Lane. This storm drain system empties into an existing large swale on the opposite side of Old San Jose Road. The project site is shown on the vicinity map attached to this report

2.0 METHOD OF ANALYSIS

- The Rational Formula (shown below) is used to estimate peak runoff rates

$$Q = C_a C_i i A$$

Where:

Q= Estimated Peak Runoff from site (cfs)

C_a= Antecedent Moisture Factor (Unitless)

C= Runoff Coefficient (Unitless)

i_a= Rainfall Intensity Adjustment Factor (Unitless)

i= Rainfall Intensity (in/hr)

A= Area of Site (Acres)

- Storage is calculated using The Modified Rational Unit Hydrograph obtained from the ASCE Manual on Engineering Practice No. 37, (See attached Figure: "Detention Volume Calculations").
 - The detention volumes for the 10-year event are determined by using the 10 year estimated pre development peak runoff rate as the allowable release rate.
- Precipitation data/runoff coefficients are obtained from the Santa Cruz County Design Criteria Manual. Precipitation intensity is based upon the 160 Isopleth for Santa Cruz County (see attached map).

3.0 SYSTEM EVALUATION

- Included in this report are spreadsheets for the 10 & 25 year return periods showing the estimated peak runoff rates from the site for current and post development conditions, as well as the estimated required storage volume for the additional runoff due to development.
- The time of concentration (tc) used to determine the allowable runoff rate and detention volume is assumed to be 15 minutes for predevelopment, and 10 minutes for post-development.
- The runoff values shown in the spreadsheets are calculated using the Rational Formula. For pre development conditions, C was calculated to be 0.45. For post development conditions, C was calculated to be 0.57. Values for C are found in The County of Santa Cruz Design Criteria, a copy of these values is attached to this report.
- Antecedent Moisture factors (C_a) for the Rational formula are found in The County of Santa Cruz Design Criteria. a copy of these values is attached to this report. C_a is 1.0 for the 2, 5, and 10-year events, and C_a is 1.1 for the 25-year event.

Environmental Review Initial Study
ATTACHMENT 10, 2 of 7
APPLICATION 04-0472

- The rainfall intensities are taken from the IDF curve, which is attached to this report. These intensities are for the 10-year event. The value for I_a is 1.0 for the 2, 5, & 10 year events, and 1.2 for the 25 year event.
- Storage volumes shown in the spreadsheets are calculated using the Modified Rational Unit Hydrograph. A copy of this method is attached for reference. A factor of safety of 1.25 is applied to the estimated volume to ensure adequate storage is achieved and to allow for possible future connections to the system.

4.0 SUMMARY

The table below shows summaries of estimated peak flows and required storage volumes for the project.

DRAINAGE AND DETENTION SUMMARY FOR 10 YEAR RETURN PERIOD	
PRE DEVELOPMENT FLOW (CFS) ($T_c=15$ MIN)	0.93
POST DEVELOPMENT FLOW (CFS) ($T_c=10$ MIN)	1.74
TOTAL STORAGE REQUIREMENT (CF)	615
INDIVIDUAL (PER LOT) STORAGE REQUIREMENT (CF)	88

5.0 CONCLUSIONS

The total storage requirement for the site is 615 cubic feet. The site currently drains directly to Dawn Lane which then feeds into a storm drain system at the intersection of Dawn Lane and Old San Jose Road. The existing storm drain system is shallow and is known to have shallow freeboard before the addition of this site. This report contains an analysis of the existing system and the impact this system would cause if storage was not used. This system may be altered to mitigate overflow problems. The details of this mitigation have not yet been determined.

The detention on site will be achieved using dry wells filled with creek rock on the side of the lots adjacent to the new cul-de-sac at the end of Dawn Lane. The dry wells will then drain to Dawn lane through two 3" thru curb drains. The dry wells will be located on all lots. In addition to the dry wells, the driveways for the new residences will be constructed of permeable concrete to reduce the amount of impervious surfaces on the site.

It is our opinion that the proposed mitigation for the proposed improvements satisfies County requirements and will not cause adverse downstream effects.

Environmental Review Initial Study
ATTACHMENT 10, 3 of 7
APPLICATION 04-0472



PROJECT AREA
= 1.35± AC

VICINITY MAP

Soquel Dr

Porter St

loof Cemetery

Bridge St

Environmental Review Initial Study
ATTACHMENT 10, 4 of 7
APPLICATION 04-0472

Parrish Ln

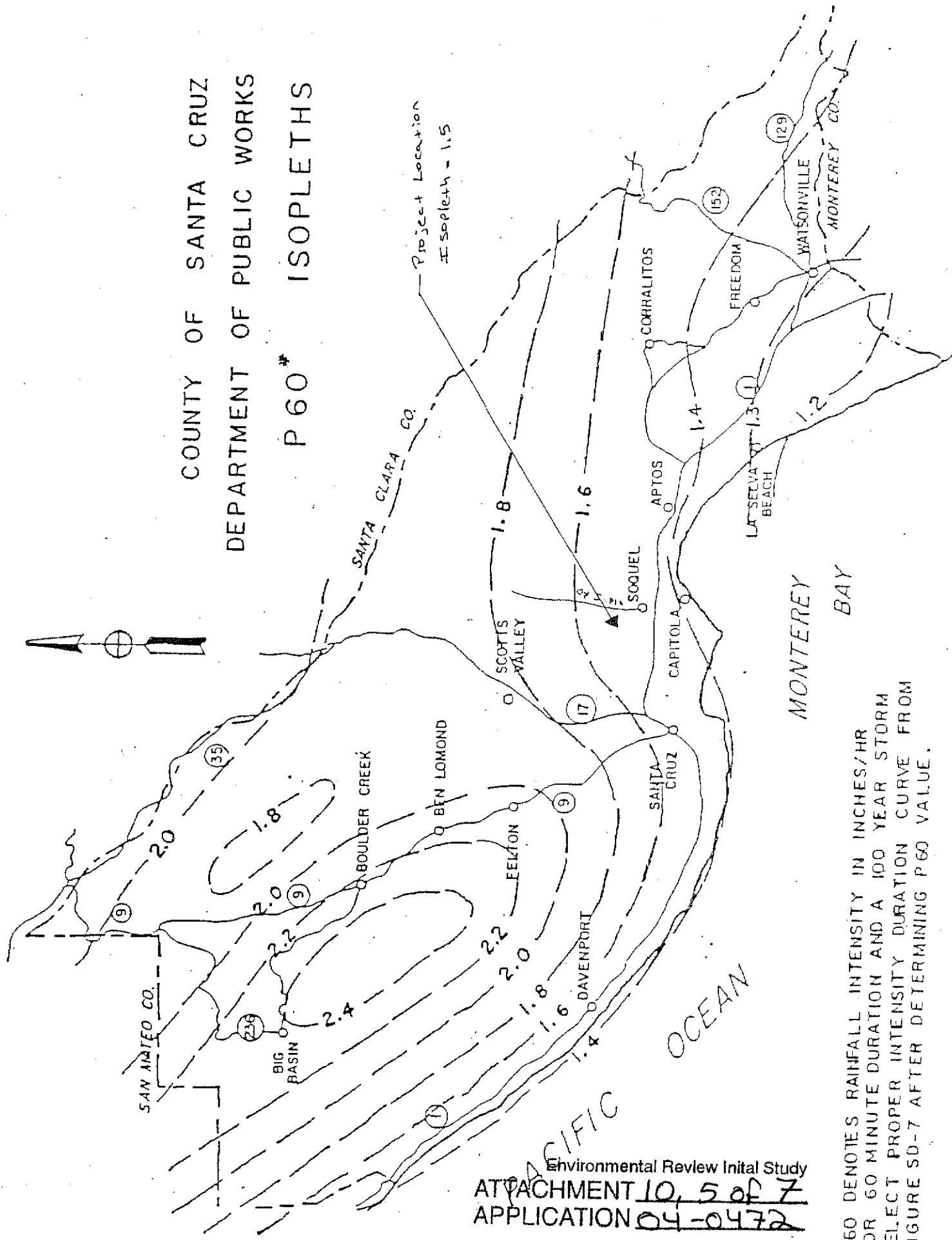
Soquel

BOWMAN & WILLIAMS
CONSULTING CIVIL ENGINEERS
1011 CEDAR STREET SANTA CRUZ CALIFORNIA
(931) 426-3560

SCALE: 1"=500'	JOB NO. 23027
DATE: JANUARY 10, 2005	DWG. NAME: VICINITY
DRAWN: CRC	FILE NO. 23027

EXHIBIT D

COUNTY OF SANTA CRUZ
DEPARTMENT OF PUBLIC WORKS
P 60* ISOPLETHS



Environmental Review Initial Study
ATTACHMENT 10, 5 of 7
APPLICATION 04-0472

*P60 DENOTES RAINFALL INTENSITY IN INCHES/HR FOR 60 MINUTE DURATION AND A 100 YEAR STORM. SELECT PROPER INTENSITY DURATION CURVE FROM FIGURE SD-7 AFTER DETERMINING P60 VALUE.

Return Period

5 YEARS

15 "

25 "

50 "

100 "

Factors

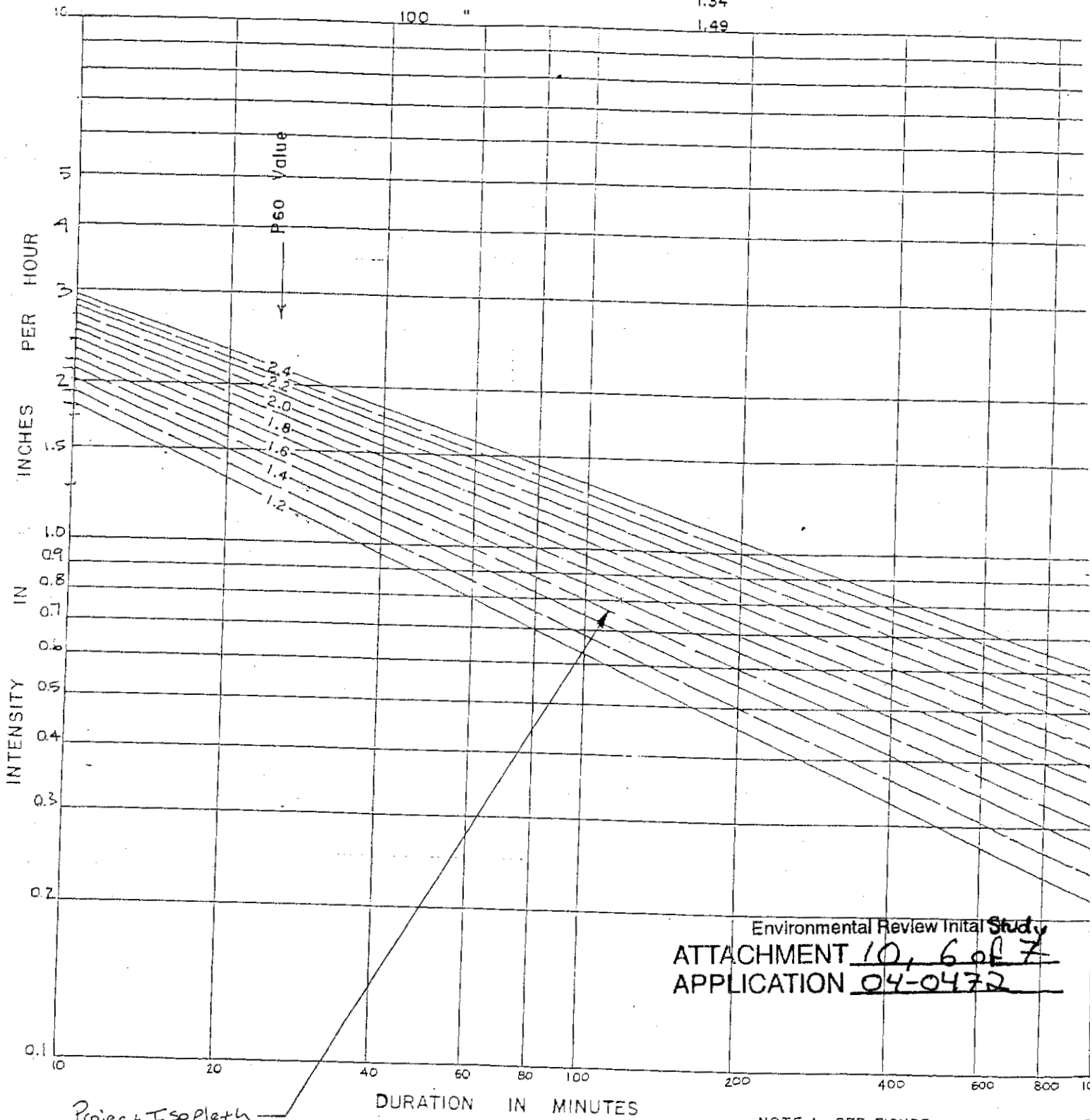
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Environmental Review Initial Study
ATTACHMENT 10, 6 of 7
APPLICATION 04-0472

NOTE : SEE FIGURE 1 FOR P60 VALUE

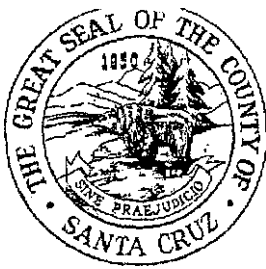
RAINFALL INTENSITY DURATION CURVE:

10 YEAR RETURN PERIOD

EXHIBIT D

[illegible]

Environmental Review Initial Study
ATTACHMENT 10, 7 of 7
APPLICATION 04-0472



County of Santa Cruz

PLANNING DEPARTMENT

701 OCEAN STREET, SUITE 400, SANTA CRUZ, CA 95060-4073

(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123

ALVIN D. JAMES, DIRECTOR

May 31, 2001

Hamilton Swift Ludc. Inc.
1509 Seabright Ave, Suite A-I
Santa Cruz, Ca. 95062

SUBJECT: ARCHAEOLOGICAL RECONNAISSANCE SURVEY FOR
APPLICATION 01-0235 APN 102-221-53

To Whom It May Concern,

The County's archaeological survey team has completed the Phase 1 archaeological reconnaissance for the parcel named above. The research has concluded that prehistorical cultural resources were not evident at that site. A copy of the review documentation is attached for your records. No further archaeological review will be required for the proposed development. Please contact me at (831) 454-3162 if you have questions regarding this review.

Sincerely,

Jessica deGrassi
Jessica deGrassi
Planning Technician

Enclosure: 1

Environmental Review Initial Study
ATTACHMENT 11, 1 of 2
APPLICATION 04-0472

EXHIBIT B

SANTA CRUZ ARCHAEOLOGICAL SOCIETY
1305 EAST CLIFF DRIVE, SANTA CRUZ, CALIFORNIA 95062

Preliminary Prehistoric Cultural Resource
Reconnaissance Report

Parcel APN: 102-221-53

SCAS Project #: SE - ⁰¹~~22~~-855

Planning Permit #: 01-0235

Parcel Size: 1.35 AC

Applicant: HAMILTON SWIFT LUDC INC

Nearest Recorded Prehistoric Site. CA-SLR-62 3/4 mile E

On 5-25-01 (2) members of the Santa Cruz Archaeological Society spent a total of (.25) hours on the above described parcel for the purposes of ascertaining the presence or absence of prehistoric cultural resources on the surface. Though the parcel was traversed on foot at regular intervals and diligently examined, the Society cannot guarantee the surface absence of prehistoric cultural resources where soil was obscured by grass, underbrush or other obstacles. No core samples, test pits, or any subsurface analysis was made. A standard field form indicating survey methods used, type of terrain, soil visibility, closest freshwater source, and presence or absence of prehistoric and/or historic cultural evidence was completed and filed with this report at the Santa Cruz County Planning Department.

The preliminary field reconnaissance did not reveal any evidence of prehistoric cultural resources on the parcel. The proposed project would therefore, have no direct impact on prehistoric resources. If subsurface evidence of such resources should be uncovered during construction the County Planning Department should be notified.

Further details regarding this reconnaissance are available from the Santa Cruz County Planning Department or from Rob Edwards, Director, Archaeological Technology Program, Cabrillo College, 6500 Soquel Drive, Aptos CA 95003, (831) 479-6294, or email redwards@Cabrillo.cc.ca.us.

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Environmental Review Initial Study
ATTACHMENT 11, 2 & 2
APPLICATION 04-0472

DISCRETIONARY APPLICATION COMMENTS

Project Planner: Cathleen Carr
Application No.: 04-0472
APN: 102-221-53

Date: October 7, 2005
Time: 11:14:10
Page: 1

Environmental Planning Completeness Comments

===== REVIEW ON OCTOBER 7, 2004 BY KEVIN D CRAWFORD =====
10/07/04 - Soil Report reviewed and accepted this date. Review of Shts C1 thru C4 by Bowman & Williams, dated 9/24/04: Preliminary Grading and Erosion Control Plans are adequate to be deemed complete from a grading perspective. See Misc. Comments for add'l info. Kevin Crawford

===== UPDATED ON APRIL 20, 2005 BY ROBIN M BOLSTER =====
NO COMMENT

Environmental Planning Miscellaneous Comments

===== REVIEW ON OCTOBER 7, 2004 BY KEVIN D CRAWFORD =====
10/07/04 - Soil Report reviewed and accepted this date, Review of Shts C1 thru C4 by Bowman & Williams, dated 9/24/04: Sht C1 - 1) Please provide typical cross sections for all boundary conditions on this site. 2) Please depict proposed retaining walls such that they are more visible and distinguishable from pipes, etc. Provide ret. wall elev. & height info for all walls at ends and angle points. 3) Provide more existing topo info for adjacent properties to north and east. 4) Show Limits of Grading line on west side. 5) Provide construction details for ret. walls, drainage structures, conc. swales, etc. shown in plan view. 6) Please correct all finish floor elevations to FF elev's for each slab step and also correct proposed contours around each bldg pad to reflect the true slab elev's. 7) Provide typical cross sections for retaining walls shown between lots, NOTE: The purpose of the dry creeks & ponds and dry sumps is not clear. Your attention is directed to the Drainage section of the Soil Report on Pg 15, particularly Items 37 and 41 regarding surface drainage and percolation pits. ===== UPDATED ON OCTOBER 25, 2004 BY ROBIN M BOLSTER =====

A detailed erosion control plan will be required at the time of building application submittal. The plan must be prepared by a Certified Erosion Control Specialist and must include locations and construction details for all proposed erosion/sediment control devices. The plan must also include traffic stabilization measures for the construction entrance/exit area.

Housing Completeness Comments

LATEST COMMENTS HAVE NOT YET BEEN SENT TO PLANNER FOR THIS AGENCY

comments submitted by separate memo to planner

Environmental Review Initial Study
ATTACHMENT 12, 1 of 13
APPLICATION 04-0472

This project proposes to demolish 3 existing units on 1 parcel and create a new 7 unit subdivision. As proposed this project would be subject to County Code 17.10 and, based on the understanding that a total of 7 parcels and homes would be created, would have an Affordable Housing Obligation (AHO) of 1.05 units.

Project Planner: Cathleen Carr
 Application No.: 04-0472
 APN: 102-221-53

Date: October 7, 2005
 Time: 11:14:10
 Page: 2

The developer has proposed that the AHO be met by paying an In Lieu fee equal to 1.05 units of affordable of housing. The proposed payment would meet the requirements of County Code 17.10

===== UPDATED ON OCTOBER 18, 2004 BY TOM POHLE =====

NO COMMENT

===== UPDATED ON OCTOBER 18, 2004 BY TOM POHLE =====

===== UPDATED ON OCTOBER 18, 2004 BY TOM POHLE =====

NO COMMENT

===== UPDATED ON OCTOBER 18, 2004 BY TOM POHLE =====

===== UPDATED ON OCTOBER 19, 2004 BY JULIANNE WARD =====

===== UPDATED ON NOVEMBER 1, 2004 BY TOM POHLE =====

NO COMMENT

===== UPDATED ON FEBRUARY 17, 2005 BY TOM POHLE =====

NO COMMENT

Housing Miscellaneous Comments

LATEST COMMENTS HAVE **NOT** YET BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON OCTOBER 18, 2004 BY TOM POHLE =====

NO COMMENT

===== UPDATED ON FEBRUARY 17, 2005 BY TOM POHLE =====

NO COMMENT

For units demolished or converted outside the Coastal Zone, County Code 12.060.070 prohibits the demolition or conversion of existing residential dwelling units occupied by lower income persons or households unless relocation assistance is provided to each permanent resident of such a dwelling unit or provision has been made for the replacement of those dwelling units with units for persons and families of low or moderate income in like manner. More complete details can be found on the County's web site under "County Documents. County Code"

Staff recommends that the developer be required to provide staff with assurances that the project complies with County Code 12.060.070

Environmental Review Initial Study

Dpw Drainage Completeness Comments

ATTACHMENT 12, 2 of 13
 APPLICATION 04-0472

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON OCTOBER 26, 2004 BY ALYSON B TOM'===== The submittal with civil plans dated 9/24/04 and hydrology and detention analysis dated 9/27/04 has been received. The proposed storm water facilities and the analysis submitted is detailed and positive in many regards, however the following additional comments should be addressed prior to discretionary approval

1) Detention is required for this project. The proposed detention plan is acceptable in concept. When sizing the required detention volume please account for the rising limb of the allowable release rate hydrograph as depicted in Figure 11 of the ASCE

Manual Practice No. 37. When the allowable release rate is high relative to the post-development condition ignoring the rising limb may lead to significant discrepancies in required storage volume, as appears to be the case for this project.

2) In order to use the void space in the permeable concrete as credit for detention volume additional information is required. It seems that that this void space was already accounted for in the lower runoff coefficient for the permeable concrete areas. Please have the manufacturer confirm that this void space will be available in addition to the lower void space (for both the concrete and sub base layers).

3) The detention volume required per lot in the calculations is different from that in the summary sheet. Also, this volume assumes 7 systems, when only 5 were provided per the plan sheets.

4) The detention systems (landscape depressions) and outlet structures should be designed by an engineer. The outlets should be designed to limit discharge at allowable release rate when storing the required volume. Safe overflow should also be accommodated in the detention design.

5) Easements and maintenance agreements will be required for all detention facilities as well as any other common drainage facilities,

6) Please determine the gutter spread for the 10 and 25 year storms on Dawn Lane (assuming no detention on the subject site). 7) Please assume no detention in watershed Area 3 in the analysis of the off-site system. Based on this analysis it will be determined whether or not additional upgrades to the existing storm drain system will be required.

8) Please describe how roof runoff will be directed from each structure

Construction activity resulting in a land disturbance of one acre or more, or less than one acre but part of a larger common plan of development or sale must obtain the Construction Activities Storm Water General NPDES Permit from the State Water Resources Control Board. Construction activity includes clearing, grading, excavation, stockpiling, and reconstruction of existing facilities involving removal and replacement. For more information see:
<http://www.swrcb.ca.gov/stormwater/constfaq.html>

All drainage issues with offsite implications must be addressed in the discretionary application. Additional onsite drainage details may need to be clarified on the plans, but may be addressed prior to final map recordation and in the building application phase.

A drainage impact fee will be assessed on the net increase in impervious area. The fees are currently \$0.85 per square foot, and are assessed upon permit issuance.

Because this application is incomplete in addressing County development policies, resulting revisions and additions will necessitate further review comment and possibly different or additional requirements. The applicant is subject to meeting all future review requirements as they pertain to the applicant's changes to the proposed plans

Environmental Review Initial Study
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APPLICATION 04-0472

Project Planner: Cathleen Carr
 Application No.: 04-0472
 APN: 102-221-53

Date: October 7, 2005
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All resubmittals of plans, calculations, reports, faxes, extra copies, etc-shall be made through the Planning Department. Materials left with Public Works may be returned by mail, with resulting delays.

Please call the Dept. of Public Works, Storm Water Management Section, from 8:00 am to 12:00 noon if you have questions.

===== UPDATED ON FEBRUARY 16, 2005 BY ALYSON B TOM ===== Application with drainage analysis dated 1/10/05 and plans dated 1/26/05 has been received. Please address the following:

1) The analysis showed that the downstream system is inadequate for safe 25year overflow. Please include an upgrade to this system as part of the project so that a safe 25 year overflow is provided. Include a silt and grease trap in the downstream system so that runoff from all proposed roadway areas is treated prior to release to the downstream channel

See miscellaneous comments for issues to be addressed prior to final map recordation.

UPDATED ON MAY 3, 2005 BY ALYSON B TOM ===== Revised application with plans dated 4/7/05 that includes replacing the downstream storm drain across Soquel San Jose Road is complete with regards to drainage. Please see miscellaneous comments to be addressed prior to map recordation,

Dpw Drainage Miscellaneous Comments

LATEST COMMENTS HAVE NOT YET BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON OCTOBER 26, 2004 BY ALYSON B TOM ===== Please see completeness comments.

===== UPDATED ON FEBRUARY 16, 2005 BY ALYSON B TOM ===== The following must be addressed prior to recordation of the final map:

1) Provide design details and calculations for the detention outlets and sizing. The outlets should be designed so that the runoff from the project area (including runoff that bypasses the detention systems) is limited to pre project levels. Safe overflow should also be included in the design.

2) Provide recorded maintenance agreements for each detention facility (including the landscape detention and pervious concrete areas), The maintenance agreement should include specific maintenance guidelines for these facilities. Please also include a note on the plans that these systems are to be maintained by the property owners and include the specific maintenance guidelines on the plans as well.

3) Include signage stating "No Dumping - Drains to Bay" or equivalent adjacent to all proposed storm drain inlets.

Zone 5 fees will be assessed on the net increase in impervious area due to the project.

Additional details may be required prior to final map approval.

===== UPDATED ON MAY 3, 2005 BY ALYSON B TOM ===== Please address the fol

Environmental Review Initial Study

ATTACHMENT 1 a, 4 of 13
 APPLICATION 04-0472

lowing in addition to the previous miscellaneous comments (with the exception of comment No. 3 which has already been addressed),

1) Note that an encroachment permit will be required for the proposed work in the downstream drainage facilities.

Dpw Driveway/Encroachment Completeness Comments

----- REVIEW ON OCTOBER 5, 2004 BY RUTH L ZADESKY =====
No comment, project involves a subdivision or MLD.

Dpw Driveway/Encroachment Miscellaneous Comments

===== REVIEW ON OCTOBER 5, 2004 BY RUTH L ZADESKY =====
No comment.

Dpw Road Engineering Completeness Comments

===== REVIEW ON OCTOBER 26, 2004 BY GREG J MARTIN =====
Bicycle and pedestrian access is recommended through a paved surface along the emergency access corridor. Both ends of the corridor are recommended to have a driveway cut and removable bollards. The fire hydrant near the south driveway cut should be relocated.

Please show the driveway for the adjacent property to the southeast.

If you have any questions please contact Greg Martin at 831-454-2611. ===== up-
DATED ON FEBRUARY 16, 2005 BY GREG J MARTIN =====
The curb to curb width of the road is recommended to be 36 feet to meet County standards. ===== UPDATED ON MAY 5, 2005 BY GREG J MARTIN =====
Previous comments have been addressed satisfactorily.

Dpw Road Engineering Miscellaneous Comments

----- REVIEW ON OCTOBER 26, 2004 BY GREG J MARTIN =====
===== UPDATED ON FEBRUARY 16, 2005 BY GREG J MARTIN =====
===== UPDATED ON MAY 5, 2005 BY GREG J MARTIN =====

Environmental Health Completeness Comments

LATEST COMMENTS HAVE NOT YET BEEN SENT TO PLANNER FOR THIS AGENCY

----- REVIEW ON OCTOBER 20, 2004 BY JIM G SAFRANEK ===== Environmental Review Initial Study
NO COMMENT
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APPLICATION 04-0472

Environmental Health Miscellaneous Comments

LATEST COMMENTS HAVE NOT YET BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON OCTOBER 20, 2004 BY JIM G SAFRANEK =====
NO COMMENT

COUNTY OF SANTA CRUZ

INTER-OFFICE CORRESPONDENCE

DATE: February 3, 2005

TO: Cathleen Carr, Planning Department

FROM: Carl Rorn, Department of Public Works *Carl*

SUBJECT: APPLICATION 04-0472, APN 102-221-53, TRACT 1498, DAWN LANE ECO-HOMES

This submittal appears to address my comments on the first submittal.

There is one thing I overlooked last time. This project is within the County's residential street lighting zone, and as a new public street should include street lighting to Design Criteria standards. If there are not other lights on the existing section of Dawn Lane there may be justification for waiving this requirement,

If you have any questions or would like to discuss these comments, please call me at extension 2806.

CDR:cdt

Environmental Review Initial Study
ATTACHMENT 12, 6 of 13
APPLICATION 04-0472

John Schlagheck

From: Barry Samuel
Sent: Monday, October 04, 2004 2 11 PM
To: John Schlagheck
Subject: APN102-221-53 application # 04-0472

John,

I have reviewed the plans for this 7 lot subdivision adjacent to Anna Jean Cummings Park. The Parks Department requests that one of the conditions of development is that those neighbors who share a fence with Anna Jean Cummings Park are not allowed to put gates in the fence leading into the park,

We applaud the fact that these will be "green" houses and look forward to having more such construction in the county

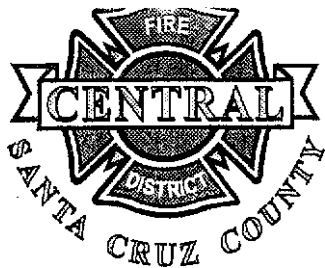
If you have any questions please feel free to contact me

Sincerely,

Barry C. Samuel
Director

Environmental Review Initial Study
ATTACHMENT 12, 7 of 13
APPLICATION 04-0472

10/4/2004



**CENTRAL
FIRE PROTECTION DISTRICT**
of Santa Cruz County
Fire Prevention Division

930 17th Avenue, Santa Cruz, CA 95062
phone (831)479-6843 fax (831)479-6847

Date: October 5, 2004
To: Loleta Heichel
Applicant: Hamilton Swift
From: Tom Wiley
Subject: 04-0472
Address: 4575 Dawn Ln.
APN: 102-221-53
OEC: 10222153
Permit: 2004-00326

We have reviewed plans for the above subject project

The following NOTES must be added to notes on velums by the designer/architect in order to satisfy District requirements when submitting for Application for Building Permit:

Please ensure designer/architect reflects equivalent notes and requirements on velums as appropriate when submitting for Application for Building Permit.

NOTE on the plans that these plans are in compliance with California Building and Fire Codes (2001) and District Amendment.

NOTE on the plans the OCCUPANCY CLASSIFICATION, BUILDING CONSTRUCTION TYPE-FIRE RATING and either SPRINKLERED or NON-SPRINKLERED as determined by the building official and outlined in Chapters 3 through 6 of the 2001 California Building Code (e.g., R-3, Type V-N, Sprinklered).

The FIRE FLOW requirement for the subject property is 1000 gallons per minute for 120 minutes. NOTE on the plans the REQUIRED and AVAILABLE FIRE FLOW. The AVAILABLE FIRE FLOW information can be obtained from the water company.

SHOW on the plans a public fire hydrant, meeting the minimum required fire flow for the building, within 250 feet of any portion of the building.

NOTE ON PLANS: New/upgraded hydrants, water storage tanks, and/or upgraded roadways shall be installed PRIOR to and during time of construction (CFC 901.3).

SHOW on the plans DETAILS of compliance with the District Access Requirements outlined on the enclosed handout.

NOTE on the plans that the building shall be protected by an approved automatic sprinkler system complying with the edition of NFPA 13D currently adopted in Chapter 35 of the California Building Code.

NOTE that the designer/installer shall submit three (3) sets of plans and calculations for the underground and overhead Residential Automatic Sprinkler System to this agency for approval. Installation shall follow our guide sheet.

Environmental Review Initial Study

ATTACHMENT 12-0-013
APPLICATION 04-0472

Serving the communities of Capitola, Live Oak, and Soquel

Show on the plans where smoke detectors are to be installed according to the following locations and approved by this agency as a minimum requirement:

- One detector adjacent to each sleeping area (hall, foyer, balcony, or etc).
- One detector in each sleeping room.
- One at the top of each stairway of 2 4 rise or greater and in an accessible location by a ladder.
- There must be at least one smoke detector on each floor level regardless of area usage.
- There must be a minimum of one smoke detector in every basement area.

NOTE on the plans where address numbers will be posted and maintained. Note on plans that address numbers shall be a minimum of FOUR (4) inches in height and of a color contrasting to their background.

NOTE on the plans the installation of an approved spark arrestor on the top of the chimney. Wire mesh not to exceed ½ inch.

NOTE on the plans that the roof coverings to be no less than Class "B" rated roof.

NOTE on the plans that a 30-foot clearance will be maintained with non-combustible vegetation around all structures.

Submit a check in the amount of \$100.00 for this particular plan check, made payable to Central Fire Protection District. A \$35.00 **Late Fee** may be added to your plan check fees if payment is not received within 30 days of the date of this Discretionary Letter. INVOICE MAILED TO APPLICANT. Please contact the Fire Prevention Secretary at (631) 479-6643 for total fees due for your project.

If you should have any questions regarding the plan check comments, please call me at (831) 722-2393, or email me at tomw@centralfpd.com. All other questions may be directed to Fire Prevention at (831) 479-6843.

CC: File & County

As a condition of submittal of these plans, the submitter, designer and installer certify that these plans and details comply with applicable Specifications, Standards, Codes and Ordinances, agree that they are solely responsible for compliance with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent review, inspection or other source. Further, the submitter, designer, and installer agrees to hold harmless from any and all alleged claims to have arisen from any compliance deficiencies, without prejudice, the reviewer and the Central FPD of Santa Cruz County.

Any order of the Fire Chief shall be appealable to the Fire Code Board of Appeals as established by any party beneficially interested, except for order affecting acts or conditions which, in the opinion of the Fire Chief, pose an immediate threat to life, property, or the environment as a result of panic, fire, explosion or release.

Any beneficially interested party has the right to appeal the order served by the Fire Chief by filing a written "NOTICE OF APPEAL" with the office of the Fire Chief within ten days after service of such written order. The notice shall state the order appealed from, the identity and mailing address of the appellant, and the specific grounds upon which the appeal is taken.
10222153-100504

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APPLICATION 04-0472

COUNTY OF SANTA CRUZ
Inter-Office Correspondence

DATE: February 11, 2005

TO: ~~Tom~~ Burns, Planning Director
✓ Cathleen Carr, Planner
Erik Shapiro, Housing Chief Planner
Brian Turpen, Public Works
John Presleigh, Public Works

FROM: Supervisor Jan Beautz *JB*

RE: ADDITIONAL COMMENTS ON APP. 04-0472, APN 102-221-53,
4575 DAWN LANE, SUBDIVISION

While these revised plans do address some concerns, many raised in my memo of October 21, 2004, remain outstanding. Therefore, please consider the following areas of concern in your evaluation of the above application to demolish three existing homes on one parcel and subdivide the parcel into seven single family lots:

While the drainage plan, sheet C-1, has been amended to provide a functional fire lane connection to Hilltop Court as well as some minor changes to the proposed retaining walls for some lots, the overall drainage plan continues to be of concern. The storm water collection system found within the lots continues to show small christy boxes/catch basins connected by a series of pipes. No dimensions, specifications, or system cross sections are provided for these boxes and pipes. Will this information be provided? Additionally, these boxed symbols appear to all be located within landscape areas. Several dry **sump** areas within the parcels are proposed, yet I am unable to understand how these will function or how storm waters will reach these areas. No collection system is shown for the paved areas including the driveways. It does not appear that any silt and grease traps are proposed to prevent contaminated storm waters from leaving the sites. Will these be required and how will they be conditioned for maintenance? Permeable concrete is proposed for paved areas to retain storm water on the site. How will such pavement continue to function within the manufacturer's specifications over time without the numerous small void areas collecting silt, petrochemicals, and other runoff debris that will clog the stated permeable pavement?

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APPLICATION 04-04

The applicant continues to indicate that Dawn Lane will be narrowed from the existing 36 feet of paved travel area to 32 feet. Why is this narrowed section of roadway being proposed instead of providing the same travel width as the existing road?

Sheet A0.3 has been revised to state that the existing sewer lateral will be abandoned and removed. However, no indication as to the location of this lateral is shown on the plan as requested by Sanitation. Where is this lateral located? Will removal of this sewer lateral impact the existing residents adjacent to this proposed subdivision either by temporary loss of their own sewer system connections or trenching that may impact their properties? If any such impacts are possible, how will they be addressed to prevent impacts to the adjacent neighborhood?

The applicant's letter of January 27 continues to state that the site contains three existing houses. This property has an extensive Enforcement history regarding the conversion of outbuildings into dwelling units without permits. Assessor's records indicate one dwelling unit on the site and property taxes have been collected accordingly for years. Has the applicant provided the documentation necessary to determine that all three structures are legal dwelling units?

While the applicant has changed the size of only the single trunk trees proposed in the landscape plan to 24 inch box trees, this does not appear adequate to mitigate the loss of 24 mature black walnut trees. The landscape architect's letter states that using any larger specimens (36 or 48 inch box trees) will initially slow their growth. While their growth may not be as rapid initially with the larger sizes they will start out significantly larger than the 24 inch box trees. Therefore, requiring larger specimens will provide greater visual mitigation immediately for the adjacent neighborhood.

In referencing the species of trees proposed, most are species exhibiting slow or moderate growth patterns that will only achieve heights of 20 to 30 feet at maturity. To achieve these maximum heights, many of these species will require ongoing pruning to encourage height instead of a lower bushy type of growth. How will these trees be maintained to guarantee that they do achieve their full height potential? A 20 to 30 foot tree at maturity does not mitigate the loss of a 100 foot tree. Tree species capable of providing greater heights such as redwood trees should be an integral component in the landscape plan. The proposed six Coastal Live Oaks may reach a height of 50 to 70 feet. However, it will take a minimum of 25 years to reach a 50 foot height according to Sunset's Western Garden Book. The

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surrounding neighborhood should not have to wait 25 years or more to again experience tree canopies of even 50 feet. The arborist's report states that at least 14 of the walnut trees, several with diameters of almost three feet, were in reasonably good health with fair structure. clearly the currently proposed landscape plan does not mitigate the serious loss of such a large number of black walnut trees experienced by this neighborhood. I further question the arborist's report evaluating the health of the removed trees as the arborist completing the report is the same individual who cut down **up** to 33 trees just prior to the submittal of this application and has used the stumps remaining as a basis for their report. The removal of these trees generated numerous concerned calls to my office. To state after the trees were down that some were in poor **or** very poor health is clearly difficult to verify due to their unfortunate removal. How can this landscape plan be revised to fully mitigate the **loss of** significant tree canopy experienced by the surrounding neighborhood?

The applicant is proposing to plant a number of trees within the toe area of the 30% or greater slope. Should the planting location of these trees be relocated outside this slope area? Will additional details be provided regarding how these trees will be planted without compromising slope stability? While the applicant has increased the size of a significant number of trees to 24 inch **box**, the irrigation notes have not been amended on the landscape specifications to include the irrigation of any 24 inch box trees. How will this be addressed? The submitted landscape plan has been enlarged to such a degree that only a portion of the development is included within the plan sheets. It appears that no landscape features are proposed for the rear yards of Lots 1, 2, and 3 adjacent to our County park. This subdivision of large two story homes will be highly visible to the public unless landscape features including additional trees are installed within this area to visually soften the view these structures present to the public. It appears that some of the proposed tree species reaching heights of 20 to 30 feet may be appropriate in this area as they would visually screen the large two story structures without impacting the proposed solar roof collectors.

Several departments have questioned the applicant's proposal to cut additional paths through the landscaped strips adjacent to the sidewalks. Instead of removing these five additional cuts through the landscaped strip, the applicant states that without them, cars parking on the street will wear the same paths through the landscaped strip. Unofficial paths occasionally do occur through such strips located on busy arterial streets due to passengers of vehicles trying to get out of the flow of traffic as soon as possible. However, this is a dead end cul-de-sac that will

Environmental Review Initial Study
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APPLICATION 04-0472

experience limited traffic conditions. Such paths are rarely worn through landscaped strips in such locations.

Will the applicant be required to remove these additional cuts and instead fully landscape these areas?

Sheet A0.2 has been revised to state that no private gates are proposed from parcels adjacent to the public park. While this will address this issue during development of this subdivision, it does not address future actions. Will this application be conditioned to prevent such gates from being constructed in the future? Will such condition be recorded with the deed so that all future owners of the properties are fully aware of this restriction?

The applicant was previously requested to show both the gross and net square footages for lot 7. Sheet A0.5 has not been amended to include this information. This lot contains the emergency access right-of-way connecting Dawn Lane with Hilltop Lane. Does Code require that this right-of-way be deducted when determining the net development area for lot coverage and Floor Area Ratio requirements?

Redevelopment's comments included a concern that Lots 1, 2, 6, and 7 all contained structures that are remarkably similar in design. Greater architectural variety was requested for the front elevations to distinguish the individual homes and create a less repetitious streetscape. While the applicant has made modest adjustments to a few of these structures, four of the seven structures continue to present fairly similar street elevations. Are additional structural enhancements appropriate?

These structures are described as solar homes and are shown with areas for rooftop collectors. However, no details have been submitted regarding these possible collectors. Other such solar developments have provided significantly greater detail for their proposed solar systems. Such detail does assist in evaluating how the roofs will appear to the surrounding neighborhood and public. Will these collectors create glare impacts to the surrounding area, and if so, how will this be mitigated? Will additional information be provided for this development to facilitate evaluation? The Urban Planner had stated that the building walls and major window areas are not oriented for passive solar and natural lighting as required by Code for solar designs. The revised plans do not appear to have substantially revised the exterior elevations to address this issue. As this development is proposed to use solar design, non-compliance with this requirement would appear to be of concern. How will this issue be addressed?

JKB :pmp
2218M1

Environmental Review Initial Study
ATTACHMENT 12, 13 of 13
APPLICATION 04-0472



SOQUEL CREEK WATER DISTRICT

P O Box 158
Mail to 6160 Soquel Drive
Soquel, CA 95073-0158
PHONE (408) 475 8600 FAX (408) 475-4291

PROJECT COMMENT SHEET

Date of Review: 10126104
Renewed By: Carol Carr

Returned	John Schlagheck
Project	County of Santa Cruz
Comments to:	Planning Department
	701 Ocean St., Ste. 410
	Santa Cruz, CA 95060-4073

Owner: Lolita Heichel, Trustee
9811 Maplethorpe Ln.
Soquel, CA 96073

Applicant: Hamilton Swift - Deidre Hamilton
1609 Seebright Ave., Ste. A1
Santa Cruz, CA 96062

Type of Permit: Development Permit
County Application #: 04-0472

Subject APN: 102-221-53

Location: Property located at the west end of Dawn Lane in the Soquel Planning Area.

Project Description: Proposal to remove 3 existing houses on one parcel and to divide the parcel into 7 new single-family lots of between 6,000 and 9,500 square feet.

Notice

Notice is hereby given that the Board of Directors of the Soquel Creek Water District is considering adopting policies to mitigate the impact of development on the local groundwater basins. The proposed project would be subject to these and any other conditions of service that the District may adapt prior to granting water service.

It should not be taken as a guarantee that service will be available to the project in the future or that additional conditions will not be imposed by the District prior to granting water service.

Requirements

The developer/applicant, without cost to the District, shall

- 1) Destroy any wells on the property in accordance with State Bulletin No. 74;
- 2) Satisfy all conditions imposed by the District to assure necessary water pressure, flow and quality;
- 3) Satisfy all conditions for water conservation required by the District at the time of application for service, including the following:
 - a) All applicants for new water service from Soquel Creek Water District shall be required to offset expected water use of their respective development by a 1.2 to 1 ratio by retrofitting existing developed property within the Soquel Creek Water District service area so that any new development has a "zero impact" on the District's groundwater supply. Applicants for new service shall bear those costs associated with the retrofit as deemed appropriate by the District up to a maximum set by the District and pay any associated fees set by the District to reimburse administrative and inspection costs in accordance with District procedures for implementing this program.
 - b) Plans for a water efficient landscape and irrigation system shall be submitted to District Conservation Staff for approval;
 - c) All interior plumbing fixtures shall be low-flow and have the EPA Energy Star label;

ATTACHMENT
APPLICATION

13, 1 of 2
04-0472



**SOQUEL CREEK
WATER DISTRICT**

P.O. Box 158
Mail to: 5180 Soquel Drive
Soquel, CA 95073-0158
PHONE (408) 475-4500 FAX (408) 475-4291

PROJECT COMMENT SHEET

District Staff shall inspect the completed project for compliance with all conservation requirements prior to commencing water service;

- 4) Complete LAFCO annexation requirements, if applicable;
- 5) All units shall be individually metered with a minimum size of 5/8-inch by 3/4-inch standard domestic water meters;

A memorandum of the terms of this letter shall be recorded with the County Recorder of the County of Santa Cruz to insure that any future property owners are notified of the conditions set forth herein.

Soquel Creek Water District Project Review Comments:

1. SCWD has reviewed plans prepared by William Rennie Boyd, Architect, Bowman and Williams - Consulting Civil Engineers, Ellen Cooper - Landscape Architect, and has made comments. 1) The applicant will need to follow the *Procedures for Processing Water Service Requests for Subdivisions, Multiple Unit Developments, and Commercial Developments*; however, please be advised that additional conditions may be imposed as per the above Notice. 2) A New Water Service Application Request will need to be completed and submitted to the SCWD Board of Directors. The applicant has applied for a Will Serve Letter, which is the preliminary step in the New Service process (a copy has been provided here). The applicant shall be required to offset the expected water use of their respective development by a 1.2 to 1 ratio by retrofitting existing developed property within the Soquel Creek Water District service area. Applicants for new service shall bear those costs associated with the retrofit. Calculations for the expected water demand of this project were generated at the time of the request for a Will Serve Letter (a copy has been provided here). These calculations are based on the preliminary plans, and are subject to change. Final calculations are pending finalization of the project plans. 3) The proposed water mains indicated on the utility plans will need to be installed as per Soquel Creek Water District Standard Specifications & Plans. A Main Extension Agreement will need to be entered into with the District. 6" PVC pipe shall be used for main installations, unless specified otherwise by the District Engineering Manager. A blow off valve shall be installed at the terminal end of the main on Dawn Lane. Valves shall be installed at each side of the tee intersection looping the Dawn Lane main to the Hilltop Court main. If one does not already exist, a dedicated easement will need to be provided for the main through Lot 7. 4) District policy requires that all units be metered individually. 5) All interior plumbing fixtures shall be low flow and have the EPA Energy Star label. 6) District Conservation Staff has reviewed and approved the landscape plans. 7) A Fire Protection Requirements Form will need to be completed and reviewed by the appropriate Fire District. 8) Water pressure in this area may be high. If so, a Water Waiver for Pressure &/or Flow will need to be recorded.

Environmental Review Initial Study
ATTACHMENT 13, 2 of 2
APPLICATION - 472

DATE: FEBRUARY 7, 2005 (2ND ROUTING)
TO: PLANNING DEPARTMENT: CATHLEEN CARR
FROM: SANTA CRUZ COUNTY SANITATION DISTRICT
SUBJECT: CONDITIONS OF SERVICE FOR THE FOLLOWING
PROPOSED DEVELOPMENT
APN: 102-221-53 APPLICATION NO.: 04-0472
PARCEL ADDRESS: 4575 DAWN LANE
PROJECT DESCRIPTION: 7-LOT MINOR LAND DIVISION; REMOVE 3
EXISTING SFDS

The sewer plans have been reviewed and this permit application is approved in concept.

The following minor revisions will be required prior to the District approving and signing off on them before the tentative map is filed:

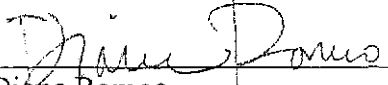
Sheet C2 – engineer's reference to backflow preventer detail should read "SS-14."

Show approximate location of existing sewer lateral at property line or existing manhole and label "To be abandoned and inspected by District."

Engineer is required to check all utility line crossings with sewer mains and laterals (including onsite) and determine that there are no conflicts or less than 1' vertical separation. Where 1' or less separation exists, a concrete saddle shall be noted on plans with accompanying detail.

Any future changes to plans that affect sewer mains, laterals and appurtenances shall require additional routing of plans to District for review. All changes shall be notated on plans.

When subdividing a parcel with a sewer connection credit due to the removal of an existing development, developer shall designate which parcel(s) shall receive connection credit. Developer shall assign connection credit on the non-title sheet of the recorded subdivision map. In addition, developer shall disclose to any prospective buyers connection credit information that is material in determining parcel value.


Diane Romeo
Sanitation Engineering

Environmental Review Initial Study
ATTACHMENT 14
APPLICATION 04-0472

DR/dr

c:	Applicant:	Property Owner:	Engineer:
	Hamilton Swift	Loleta Heichel	Bowman and
	1509 Seabright Ave	Trustee	Williams
	Su AI	3311 Maplethorpe	1011 Cedar St.
	Santa Cruz, CA	Lane	Santa Cruz, CA
	95062	Soquel, CA 95073	95060



Arnold
Schwarzenegger
Governor

STATE OF CALIFORNIA

Governor's Office of Planning and Research
State Clearinghouse and Planning Unit



Sean Walsh
Director

*Randall
Cashleen*

November 23, 2005

Paia Levine
Santa Cruz County
701 Ocean Street
Santa Cruz, CA 95060

Subject: Heichel Land Division
SCH#: 2005102096

Dear Paia Levine:

The State Clearinghouse submitted the above named Negative Declaration to selected state agencies for review. The review period closed on November 22, 2005, and no state agencies submitted comments by that date. This letter acknowledges that you have complied with the State Clearinghouse review requirements for draft environmental documents, pursuant to the California Environmental Quality Act.

Please call the State Clearinghouse at (916) 445-0613 if you have any questions regarding the environmental review process. If you have a question about the above-named project, please refer to the ten-digit State Clearinghouse number when contacting this office.

Sincerely,

Terry Roberts

Terry Roberts
Director, State Clearinghouse

**Document Details Report
State Clearinghouse Data Base**

SCH# 2005102096
Project Title Heichel Land Division
Lead Agency Santa Cruz County

Type Neg Negative Declaration
Description Proposal to remove three existing houses on one parcel. and then divide the property into seven new single-family residential lots between 6,000 and 9,500 square feet in size and to grade -900 cubic yards of earth. Requires a Subdivision and Preliminary Grading Approval.

Lead Agency Contact

Name Paia Levine
Agency Santa Cruz County
Phone (831) 454-3178 **Fax**
email
Address 701 Ocean Street
City Santa Cruz **State** CA **Zip** 95060

Project Location

County Santa Cruz
City
Region
Cross Streets Dawn Lane and Old San Jose Rd.
Parcel No. 102-221-53
Township **Range** **Section** **Base**

Proximity to:

Highways
Airports
Railways
Waterways Soquei Creek, Rodeo Gulch, Tannery Gulch, Arena Gulch
Schools Soquel HS, Live Oak, Soquei Elem, New Brighton
Land Use Residential/ R-1-6/ Residential- Urban Low

Project Issues Drainage/Absorption; Geologic/Seismic; Soil Erosion/Compaction/Grading; Traffic/Circulation

Reviewing Agencies Resources Agency; Department of Water Resources; California Coastal Commission; Department of Fish and Game, Region 3; Department of Parks and Recreation; Caltrans, District 5; Department of Health Services; Native American Heritage Commission; State Lands Commission; Regional Water Quality Control Board, Region 3

Date Received 10/24/2005 **Start of Review** 10/24/2005 **End of Review** 11/22/2005



ASSOCIATION OF MONTEREY BAY AREA GOVERNMENTS

November 15, 2005

Ms. Cathleen Carr
County of Santa Cruz
Resource Planner
701 Ocean St., 4th Floor
Santa Cruz, CA 95060

**Re: MCH# 100511- Notice of Intent to Adopt a Mitigated Negative Declaration
Heichel Land Division**

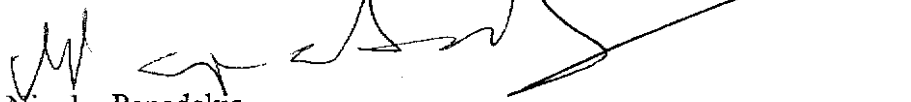
Dear Ms. Carr:

AMBAG's Regional Clearinghouse circulated a summary of notice of your environmental document *to* our member agencies and interested parties for review and comment.

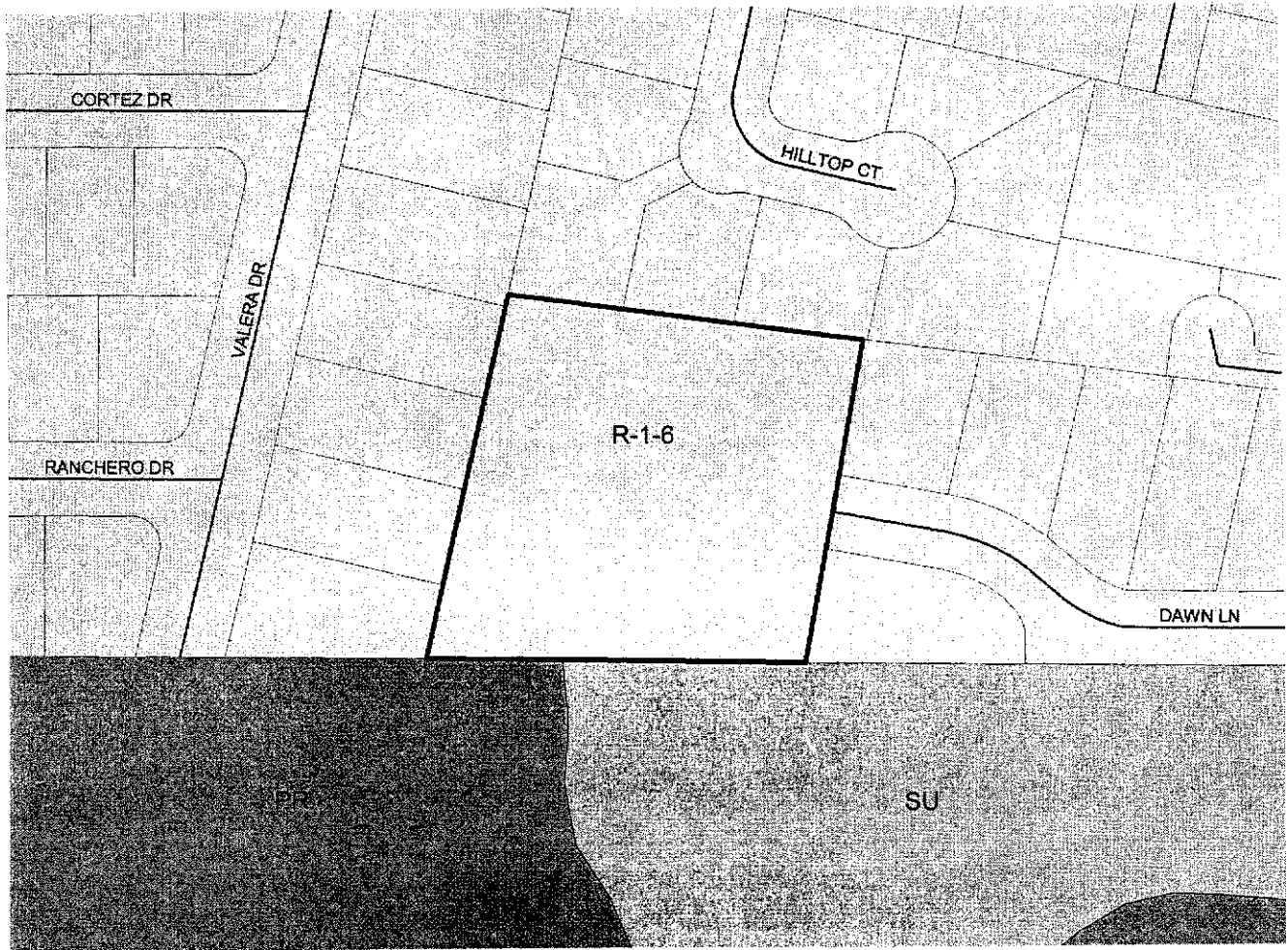
The AMBAG Board of Directors considered the project on **November 9, 2005** and has no comments at this time.

Thank you for complying with the Clearinghouse process

Sincerely,








Nicolas Papadakis
Executive Director

Zoning Map



200 0 200 400 600 Feet

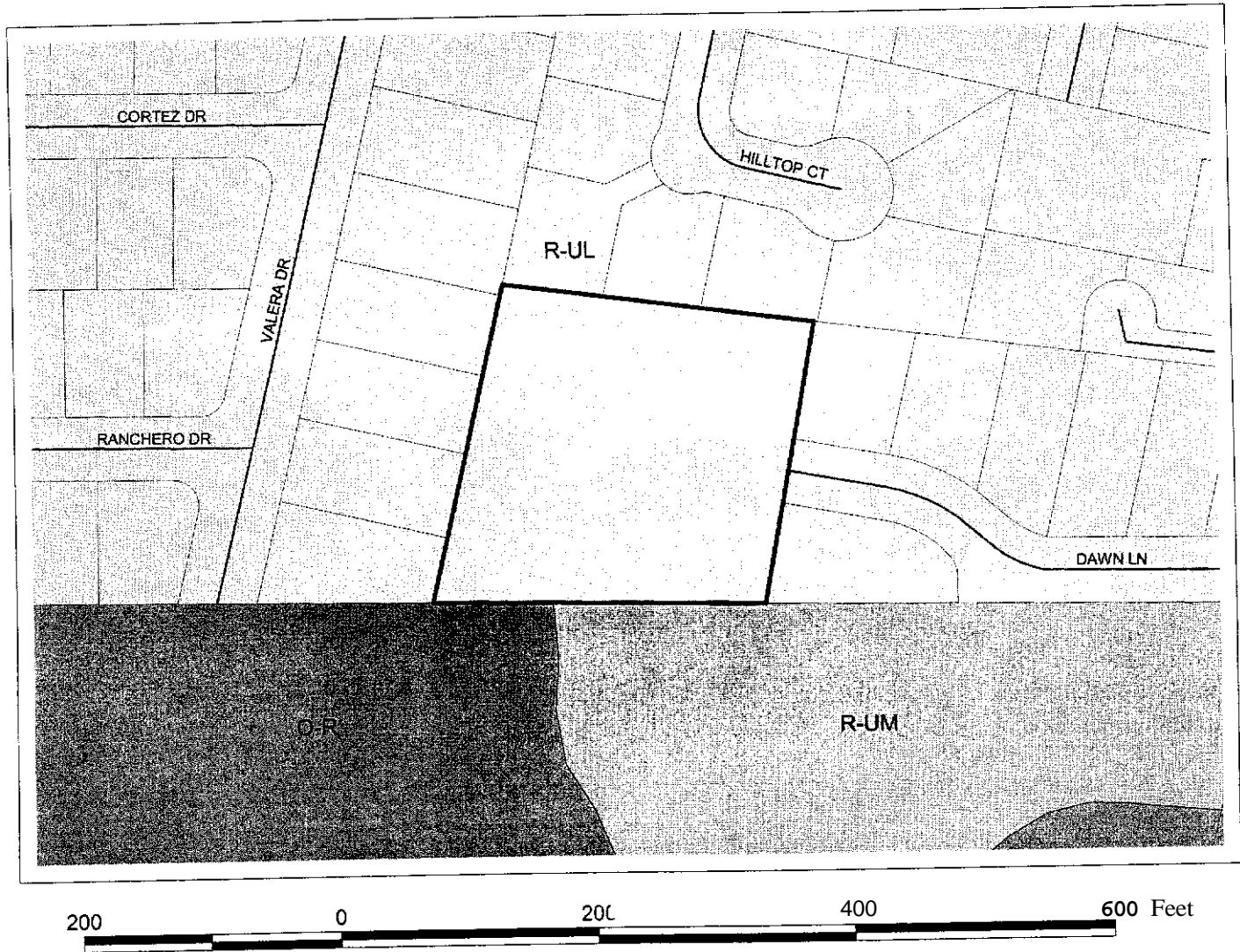
Legend

-  **APN 102-221-53**
-  Parcel boundaries
-  Streets
-  R-1-X
-  SU
-  PR









Map created by Santa Cruz County
Planning Department:
October 2004

General Plan Map



Legend

-  APN 102-221-53
-  Parcel boundaries
-  Streets
-  Residential- Urban Low Density
-  Residential- Urban Medium Density
-  Parks and Recreation



Map created by Santa Cruz County
Planning Department:
October 2004

COUNTY OF SANTA CRUZ
INTER-OFFICE CORRESPONDENCE

DATE: May 5, 2005
TO: Cathleen Carr, Project Planner, Planning Department
FROM: Melissa Allen, Planning Liaison to the Redevelopment Agency
SUBJECT: Application **04-0472, 3rd Routing - 7 lot subdivision**, APN 102-221-53,4575 Dawn Ln.

The applicant is proposing to remove **3** existing houses on one parcel and to divide the parcel into 7 new single-family lots of between 6,000 and 9,500 square feet. The project requires a Subdivision, Design Review, a Soils Report Review, Environmental Review, and Preliminary Grading Approval. The property is located at the west end of Dawn Lane (off Soquel/San Jose Road) in the Soquel Planning Area.

This application was considered at an Engineering Review Group (ERG) meeting on October **21**, 2004, February 16, 2005 and again on May 4, 2005. Please see the Redevelopment Agency's (RDA) previous comments on this application dated October 27, 2004 and March 1, 2005 relating to items that were not addressed with these plans.

The items and issues referenced above should be evaluated **as** part of this application and/or addressed by conditions of approval. RDA does not need to see future routings of these plans, unless there are revisions pertinent to our comments. The Redevelopment Agency appreciates this opportunity to comment. Thank you.

cc: Greg Martin, DPW Road Engineering
Paul Rodrigues, RDA Urban Designer

COUNTY OF SANTA CRUZ
INTER-OFFICE CORRESPONDENCE

DATE: March 1, 2005
TO: Cathleen Carr, Project Planner, Planning Department
FROM: Melissa Allen, Planning Liaison to the Redevelopment Agency
SUBJECT: Application 04-0472, 2nd Routing - 7 lot subdivision, AFN 102-221-53, 4575 Dawn Ln.

The applicant is proposing to remove 3 existing houses on one parcel and to divide the parcel into 7 new single-family lots of between 6,000 and 9,500 square feet. The project requires a Subdivision, Design Review, a Soils Report Review, Environmental Review, and Preliminary Grading Approval. The property is located in the Soquel Planning Area at the west end of Dawn Lane.

This application was considered at an Engineering Review Group (ERG) meeting on October 21, 2004 and again on February 16, 2005. Please see the Redevelopment Agency's (**RDA**) previous comments on this application dated October 27, 2004. RDA's primary concerns for this project involved improving the emergency access to Hilltop Court for pedestrians and bicyclists, the provision of adequate roadway and roadside improvements with sufficiently sized street trees, the preservation and/or replacement of mature trees onsite, and architectural streetscape variation. RDA appreciates the modifications made to the project plans to respond to many of the previous comments. RDA has the following additional comments regarding the revised plans.

The project should be conditioned such that the final improvement plans address the following items:

- The potential conflict between the fire hydrant location on the south side of Dawn Lane east of the Lot 1 driveway (Civil Sheet C2) and the proposed street tree at that location (Landscape Plan Sheet L2) must be addressed.
- The driveway cut/depression at the entrance to the emergency access on the east side of Lot 7 should be shown consistently on the landscape plans with the civil sheets.
- Paved paths from the units to the street should be consistent between the landscape plans and civil sheets.

The items and issues referenced above should be evaluated as part of this application and/or addressed by conditions of approval. **RDA** does not need to see future routings of these plans, unless there are revisions pertinent to our comments. The Redevelopment Agency appreciates this opportunity to comment. Thank you.

CC: Greg Martin, DPW Road Engineering
Paul Rodrigues, **RDA** Urban Designer

COUNTY OF SANTA CRUZ
Inter-Office Correspondence

DATE: May 4, 2005

TO: Tom Bums, Planning Director
✓ Cathleen Carr, Planner
John Presleigh, Public Works

FROM: Supervisor Jan Beautz

RE: ADDITIONAL COMMENTS ON APP. 04-0472, APN 102-221-53,
4575 DAWN LANE, SUBDIVISION

Please consider the following areas of concern in your evaluation of the above application to demolish existing structures, subdivide an existing parcel into seven lots, and construct single-family homes:

The revised plans now clearly label the road width for the proposed extension of Dawn Lane as 36 feet. However, the plans now also clearly label the existing road width for Dawn Lane as 40.7 feet. My previously raised question remains--why is the applicant proposing to narrow the road width instead of providing the same travel width as the existing Dawn Lane roadway? Will this application be required to provide the same travel width, curb to curb, as the existing roadway?

Previous concerns were raised regarding the numerous additional pathway cuts proposed through the sidewalk landscape strip. While some of these appear to have been deleted, individual plan sheets vary widely on how many paths are now proposed. While most of the sheets show at least three path cuts through the landscape strips, other sheets show up to six paved paths cut through this area. The landscape plans alone vary from showing no paths on L-1 of 7 to the six paths shown on L-4 of 7, with most sheets indicating at least three. As discussed in previous memos, there is no reasonable reason to allow any such cuts in addition to the driveway aprons; they simply reduce the available landscape area.

The architect's cover letter states that increased variations in the front elevations have been provided for Lots 1, 4, and 6. However, this routing does not include any plans or elevations to support this statement. I am concerned that the building footprints alone, shown on the site plan, continue to indicate that the proposed structures on Lots 1, 2, 6, and 7 will be fairly identical in design--contrary to Redevelopment's previous concerns. Will revised elevations and floor plans supporting the architect's statement be provided so that I may view these possible revisions within the context of the subdivision and the

greater Dawn Lane neighborhood area? Without the supporting details it is impossible to determine whether further comments are warranted.

The applicant took the unfortunate action of removing a significant number of mature trees moments before submitting this development application. This has resulted in the loss of many mature black walnut trees which had canopies over 100 feet in height. The revised landscape plan now includes several 36 inch box trees. However, the proposed species for all replacement trees has not been altered from the previous routing. I continue to be concerned that most of the trees proposed are species exhibiting slow or moderate growth patterns that, at maturity, will only achieve heights of 20 to 30 feet. These are not capable of mitigating the loss of the mature trees having significantly greater heights. To achieve these maximum heights, many of these species will require ongoing pruning to encourage height instead of a lower bushy type of growth. How will this application be conditioned to address the long-term maintenance of these maturing trees to guarantee these species will achieve their optimum height potential? **How** will future owners of these properties be made aware of these operational conditions?

The attached architect's letter of April 11, 2005, states that they intend to "minimize if not eliminate any glare or visual blight" from the proposed solar collectors, yet this statement is not supported by any additional details. Will supporting information be provided? A manufacturer's specification sheet has been included, but it does not address this issue. Instead, the specifications simply state that the collectors have tempered glass covers. **No** special properties for this glazing are provided which might reduce or eliminate glare off site. Does the applicant intend to utilize some type of anti-reflective glass or coating? Will additional technical information be provided so that the reflected light pollution for this subdivision can be evaluated?

JKB:lg

2268A1

SANTA CRUZ COUNTY SANITATION DISTRICT

INTER-OFFICE CORRESPONDENCE

~

DATE: MAY 3, 2005 (3RD ROUTING)
TO: PLANNING DEPARTMENT: CATHLEEN CARR
FROM: SANTA CRUZ COUNTY SANITATION DISTRICT
SUBJECT: CONDITIONS OF SERVICE FOR THE FOLLOWING
PROPOSED DEVELOPMENT
APN: 102-221-53 APPLICATION NO.: 04-0472
PARCEL ADDRESS: 4575 DAWN LANE
PROJECT DESCRIPTION: 7-LOT MINOR LAND DIVISION; REMOVE 3
EXISTING SFDS

Any future changes to plans that affect sewer mains, laterals and appurtenances shall require additional routing of plans to District for review. All changes shall be notated on plans.

When subdividing a parcel with a sewer connection credit due to the removal of an existing development, developer shall designate which parcel(s) shall receive connection credit. Developer shall assign connection credit on the non-title sheet of the recorded subdivision map. In addition, developer shall disclose to any prospective buyers connection credit information that is material in determining parcel value.


Diane Romeo

Sanitation Engineering

DR/dr

c: Applicant:	Property Owner:	Engineer:
Hamilton Swift	Loleta Heichel Trustee	Bowman and Williams
1509 Seabright Ave Su A1	3311 Mapletorpe	1011 Cedar St.
Santa Cruz, CA 95062	Lane	Santa Cruz, CA
	Soquel, CA 95073	95060

WILLIAM
RENNIE
BOYD



To: Kathleen Carr, Project Planner
County of Santa Cruz Planning Department
Re: App. # 04-0472, APN 102-221-53,4575 Dawn Lane, Soquel

4/11/05

This letter is in response to the request for additional information from your office dated 2/24/05.

1. Increased variation in front elevations of lots 1, 4, and 6 were incorporated within the constraints of allowable lot coverage, building height and architectural vocabulary. This design has a high degree of diversity along with some similarity, which gives visual cohesion to the neighborhood. It should also be noted that the gross square footage of lot #7 is 7,099. With the deduction of the emergency access easement the net parcel size is 6,043 (Please see sheet AO.I of the Bowman and Williams plans).
2. Regarding the appearance of roof-mounted solar collectors, I have included a cut sheet for the solar panels, and refer you to the renderings of lots 5, 6 and 7 (street view), and in the building elevations of all lots. Also there is a representative photo of the panels in the materials board. We intend to minimize if not eliminate any glare or visual blight the panels might present.
3. In discussions with the urban planner regarding the passive solar aspects of the designs, he indicated that while not optimal for maximum solar gain, the window size and placement on lots 6 and 7 were adequate. All design decisions involve consideration of many different elements, including the structure, the site and the surrounding area. In this case smaller window openings were chosen for privacy from the street, and to adhere to the traditional proportions of the craftsman style, while still allowing for light and solar gain to enter the building.

I hope this adequately addresses the concerns raised. Please call or email if you have any questions. Sincerely,

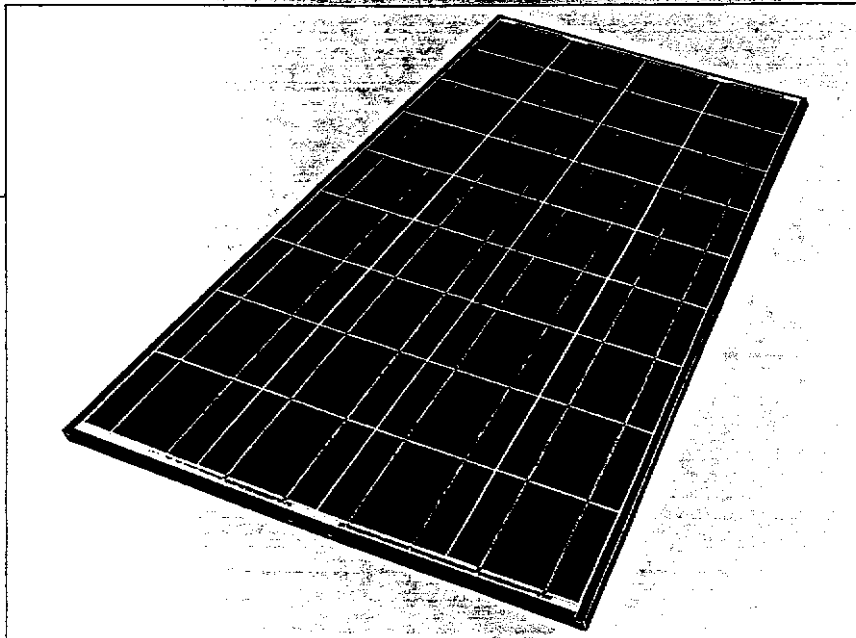
William Rennie Boyd, project architect
465-9910 v. 476-2025 f. wrboyd@cruzio.com

THE NEW VALUE FRONTIER



KC125G

HIGH EFFICIENCY MULTICRYSTAL PHOTOVOLTAIC MODULE



HIGHLIGHTS OF KYOCERA PHOTOVOLTAIC MODULES

Kyocera's advanced cell processing technology and automated production facilities produce a highly efficient multicrystal photovoltaic module.

The conversion efficiency of the Kyocera solar cell is 15%.

These cells are encapsulated between a tempered glass cover and an EVA pottant with back sheet to provide maximum protection from the severest environmental conditions.

The entire laminate is installed in an anodized aluminum frame to provide structural strength and ease of installation.

Equipped with plug-in connectors.

APPLICATIONS

KC125G is ideal for grid tie system applications.

- Residential roof top systems
- Large commercial grid tie systems
- Water Pumping systems
- High Voltage stand alone systems

QUALIFICATIONS

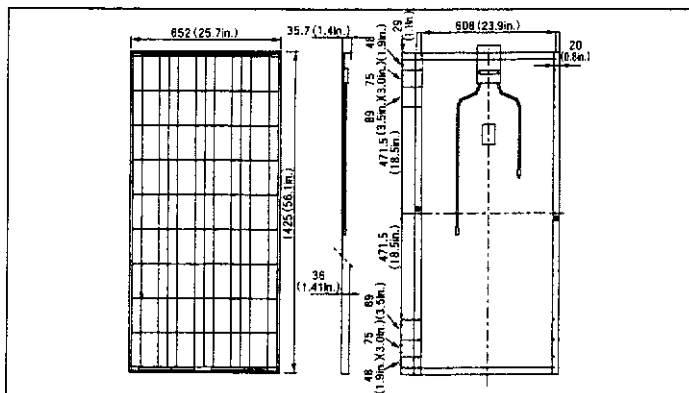
UL1703 certified.

PERFORMANCE WARRANTY

25 year' limited warranty on power output

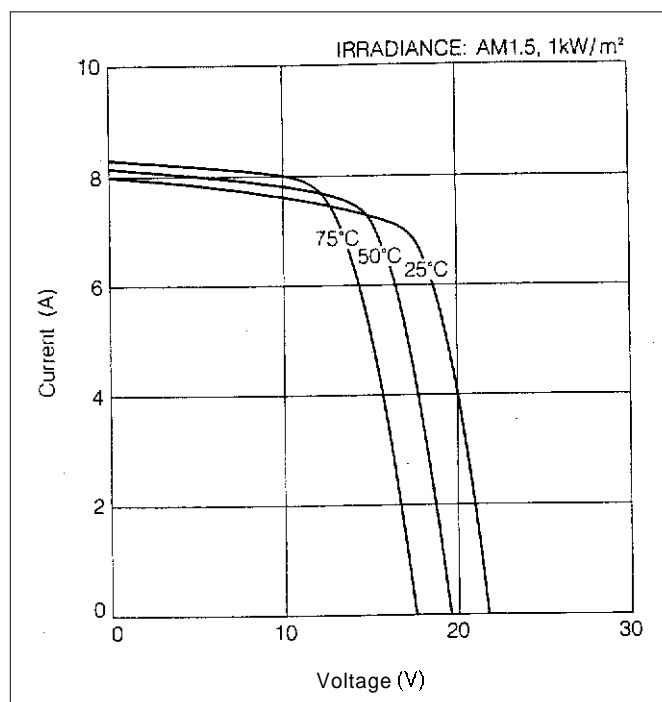
SPECIFICATIONS

Maximum Power	125 Watts
Maximum Power Voltage	17.4 Volts
Maximum Power Current	7.20 Amps
Open Circuit Voltage	21.7 Volts
Short-Circuit Current	8.00 Amps
Length	1425mm (56.1in.)
Width	652mm (25.7in.)
Depth	35.7mm (1.4in.)
Weight	12.2kg (26.8lbs.)

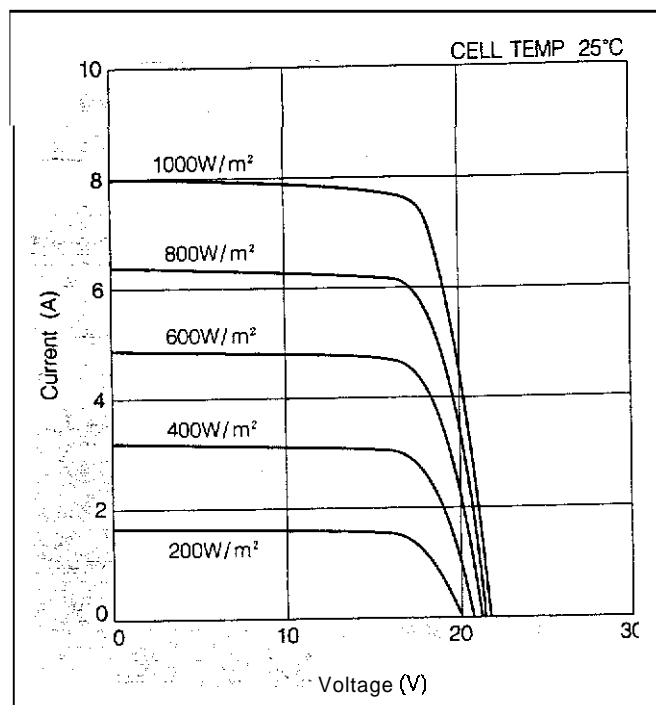


ELECTRICAL CHARACTERISTICS

Current-Voltage characteristics of Photovoltaic Module KC125G at various cell temperatures



Current-Voltage characteristics of Photovoltaic Module KC125G at various Irradiance levels



QUALITY ASSURANCE

Kyocera multicrystal photovoltaic modules exceed government specifications for the following tests.

- Thermal cycling test
- Thermal shock test
- Thermal/ Freezing and high humidity cycling test
- Electrical isolation test
- Hail impact test
- Mechanical, wind and twist loading test
- Salt mist test
- Light and water-exposure test
- Field exposure test

Please contact our office to obtain details without hesitation



KYOCERA Corporation

KYOCERA HEAD OFFICE

SOLAR ENERGY DIVISION
6 Takeda Tobadono-cho
Fushimi-ku, Kyoto
612-8501 Japan
Phone: (81)75-604-3476 Telefax: (81)75-604-3475
<http://www.kyocera.co.jp>

● KYOCERA FINECERAMICS GmbH

Fritz Muller Straße 107, D-73730 Esslingen, F.R.G.
Phone: (49)711-9393417 Telefax: (49)711-9393450

● KYOCERA ASIA PACIFIC PTE. LTD.

298 Tiong Bahru Road, #13-03/04/05
Central Plaza, Singapore 168730
Phone: (65)271-0500 Telefax: (65)271-0600

● KYOCERA ASIA PACIFIC LTD.

Room 803, Tower 1 South Seas Centre, 75 Mody Road,
Tsimshatsui East, Kowloon Hong Kong
Phone: (852)2-7237183 Telefax: (852)2-7244501

● KYOCERA ASIA PACIFIC LTD., TAIPEI BRANCH

Suite 501, Asia Enterprise Center,
No.142-144, Sec. 3, Min Chuan E.Road Taipei, Taiwan
Phone: (886)2-2718-3595 Telefax: (886)2-2718-3587

● Kyocera Solar, Inc

7812 East Acoma Drive
Scottsdale, AZ 85260
Phone: (480)948-8003 or (800)223-9580 Telefax: (480)483-6431

● Kyocera Solar Pty, Ltd.

Cnr Forbes St & Riverside Drive
West End, QLD, 4102 Australia
Phone: (61)7-3844-6686 Telefax: (61)7-3844-8569

● Kyocera Solar do Brazil Ltda.

R.Mauricio da Costa Faria, e5
Recreio dos Bandeirantes-Rio de Janeiro
Cep 22.790-280
Phone: (55)21-2437-8525 Telefax: (55)21-2437-2338



County of Santa Cruz

PLANNING DEPARTMENT

701 OCEAN STREET, SUITE 400, SANTA CRUZ, CA 95060-4073

(831) 454-2580 FAX: (831) 450-2131 TDD (831) 454-2123

TOM BURNS, DIRECTOR

3rd Routing COST

PROJECT COMMENT SHEET

DATE: April 15, 2005

☐ Accessibility

☐ Code Compliance

☒ Environmental Planning

☐ Fire District -

☐ Housing

☐ Long Range / Advanced Planning

☒ Project Review

☒ Urban Design

☐ Planning Director

DUPLICATE FILES:

☐ Other

☐ Other

FROM: DEVELOPMENT REVIEW DIVISION

PROJECT PLANNER: Cathleen Carr Tel: 454-3225
Email: pln716@co.santa-cruz.ca.us

SUBJECT APN: 102-221-53

APPLICATION NUMBER 04-0472

SEE ATTACHED FOR PROJECT DESCRIPTION

THE ATTACHED APPLICATION FOR A DEVELOPMENT PERMIT, LAND DIVISION PERMIT OR GENERAL PLAN AMENDMENT HAS BEEN RECEIVED BY THE PLANNING DEPARTMENT.

PLEASE SUBMIT YOUR COMMENTS TO THE PROJECT PLANNER VIA THE DISCRETIONARY APPLICATION COMMENTS/REVIEW FUNCTION IN A.L.U.S.

PLEASE COMPLETE BY: 5/06/05

☒ DEPT. OF PUBLIC WORKS

☒ Drainage District

☐ Driveway Encroachment

☒ Road Engineering/Transportation

☒ Sanitation

☒ Surveyor

☐ Environmental Health

☒ RDA

☒ Supervisor Beautz

TO BE MAILED:

☐ Other

☐ Other

Handwritten signature and date: 5/12/05

MEMORANDUM

Application No: **040472**

Date: October 7, 2004

To: John Schlagheck, Project Planner

From: Larry Kasparowitz, Urban Designer

Re: Design Review for a seven lot subdivision at 4575 Dawn Lane, Santa Cruz

GENERAL PLAN / ZONING CODE ISSUESDesign Review Authority

13.11.040 Projects requiring design review.

- (d) All minor land divisions, as defined in Chapter 14.01, occurring within the Urban Services Line or Rural Services Line, as defined in Chapter 17.02; all minor land divisions located outside of the Urban Services Line and the Rural Services Line, which affect sensitive sites; and, all land divisions of 5 parcels (lots) or more.

Evaluation Criteria	Meets criteria In code (✓)	Does not meet criteria (✓)	Urban Designer's Evaluation
Compatible Site Design			
Location and type of access to the site	✓		
Building siting in terms of its location and orientation	✓		
Building bulk, massing and scale	✓		
Relationship to natural site features and environmental influences	✓		
Streetscape relationship	✓		
Street design and transit facilities	✓		
Relationship to existing structures	✓		

Retention of natural amenities	✓		
Siting and orientation which takes advantage of natural amenities	✓		
Ridgeline protection			NIA
Solar Design and Access			
Reasonable protection for adjacent	✓		
Reasonable protection for currently occupied buildings using a solar energy system	✓		
Noise			
Reasonable protection for adjacent properties	✓		

Evaluation Criteria	Meets criteria In code (✓)	Does not meet criteria (✓)	Urban Designer's Evaluation
Compatible Building Design			
Massing of building form	✓		
Building silhouette	✓		
Spacing between buildings	✓		
Street face setbacks	✓		
Character of architecture	✓		
Building scale	✓		
Proportion and composition of projections and recesses, doors and windows, and other features	✓		
Location and treatment of entryways	✓		
Finish material, texture and color	✓		
Scale			
Scale is addressed on appropriate levels	✓		
Design elements create a sense of human scale and pedestrian	✓		

Variation in wall plane, roof line, detailing, materials and siting	✓		
Building design provides solar access that is reasonably protected for adjacent properties	✓		
Building walls and major window areas are oriented for passive solar and		✓	

COUNTY OF SANTA CRUZ
INTER-OFFICE CORRESPONDENCE

DATE: February 3, 2005

TO: Cathleen Carr, Planning Department

FROM: Carl Rom, Department of Public Works 

SUBJECT: APPLICATION 04-0472, APN 102-221-53, TRACT 1498, DAWN LANE ECO-HOMES

This submittal appears to address my comments on the first submittal.

There is one thing I overlooked last time. This project is within the County's residential street lighting zone, and as a new public street should include street lighting to Design Criteria standards. If there are not other lights on the existing section of Dawn Lane there may be justification for waiving this requirement.

If you have any questions or would like to discuss these comments, please call me at extension 2806.

CDR:cdr

C O U N T Y O F S A N T A C R U Z
D I S C R E T I O N A R Y A P P L I C A T I O N C O M M E N T S

Project Planner: Cathleen Carr
Application No.: 04-0472
APN: 102-221-53

Date: January 25, 2006
Time: 16:33:52
Page: 1

Environmental Planning Completeness Comments

===== REVIEW ON OCTOBER 7, 2004 BY KEVIN D CRAWFORD =====

10/07/04 - Soil Report reviewed and accepted this date. Review of Shts C1 thru C4 by Bowman & Williams, dated 9/24/04: Preliminary Grading and Erosion Control Plans are adequate to be deemed complete from a grading perspective. See Misc. Comments for add'l info. Kevin Crawford

===== UPDATED ON APRIL 20, 2005 BY ROBIN M BOLSTER =====

NO COMMENT

Environmental Planning Miscellaneous Comments

===== REVIEW ON OCTOBER 7, 2004 BY KEVIN D CRAWFORD =====

10/07/04 - Soil Report reviewed and accepted this date. Review of Shts C1 thru C4 by Bowman & Williams, dated 9/24/04: Sht C1 - 1) Please provide typical cross sections for all boundary conditions on this site. 2) Please depict proposed retaining walls such that they are more visible and distinguishable from pipes, etc. Provide ret. wall elev. & height info for all walls at ends and angle points. 3) Provide more existing topo info for adjacent properties to north and east. 4) Show Limits of Grading line on west side. 5) Provide construction details for ret. walls, drainage structures, conc. swales, etc. shown in plan view. 6) Please correct all finish floor elevations to FF elev's for each slab step and also correct proposed contours around each bldg pad to reflect the true slab elev's. 7) Provide typical cross sections for retaining walls shown between lots. NOTE: The purpose of the dry creeks & ponds and dry sumps is not clear. Your attention is directed to the Drainage section of the Soil Report on Pg 15, particularly Items 37 and 41 regarding surface drainage and percolation pits. ===== UPDATED ON OCTOBER 25, 2004 BY ROBIN M BOLSTER =====

A detailed erosion control plan will be required at the time of building application submittal. The plan must be prepared by a Certified Erosion Control Specialist and must include locations and construction details for all proposed erosion/sediment control devices. The plan must also include traffic stabilization measures for the construction entrance/exit area.

Housing Completeness Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

comments submitted by separate memo to planner

This project proposes to demolish 3 existing units on 1 parcel and create a new 7 unit subdivision. As proposed this project would be subject to County Code 17.10 and, based on the understanding that a total of 7 parcels and homes would be created, would have an Affordable Housing Obligation (AHO) of 1.05 units.

Discretionary Comments - Continued

Project Planner: Cathleen Carr
Application No.: 04-0472
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The developer has proposed that the AHO be met by paying an In Lieu fee equal to 1.05 units of affordable of housing. The proposed payment would meet the requirements of County Code 17.10.

===== UPDATED ON OCTOBER 18, 2004 BY TOM POHLE =====

NO COMMENT

===== UPDATED ON OCTOBER 18, 2004 BY TOM POHLE =====

===== UPDATED ON OCTOBER 18, 2004 BY TOM POHLE =====

NO COMMENT

===== UPDATED ON OCTOBER 18, 2004 BY TOM POHLE =====

===== UPDATED ON OCTOBER 19, 2004 BY JULIANNE WARD =====

===== UPDATED ON NOVEMBER 1, 2004 BY TOM POHLE =====

NO COMMENT

===== UPDATED ON FEBRUARY 17, 2005 BY TOM POHLE =====

NO COMMENT

Housing Miscellaneous Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON OCTOBER 18, 2004 BY TOM POHLE =====

NO COMMENT

===== UPDATED ON FEBRUARY 17, 2005 BY TOM POHLE =====

NO COMMENT

For units demolished or converted outside the Coastal Zone, County Code 12.060.070 prohibits the demolition or conversion of existing residential dwelling units occupied by lower income persons or households unless relocation assistance **is** provided to each permanent resident of such a dwelling unit or provision has been made for the replacement of those dwelling units with units for persons and families of low or moderate income in like manner. More complete details can be found on the County's web site under "County Documents, County Code".

Staff recommends that the developer be required to provide staff with assurances that the project complies with County Code 12.060.070.

Dpw Drainage Completeness Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON OCTOBER 26, 2004 BY ALYSON B TOM ===== The submittal with civil plans dated 9/24/04 and hydrology and detention analysis dated 9/27/04 has been received. The proposed storm water facilities and the analysis submitted is detailed and positive in many regards, however the following additional comments should be addressed prior to discretionary approval.

1) Detention is required for this project. The proposed detention plan is acceptable in concept. When sizing the required detention volume please account for the rising limb of the allowable release rate hydrograph as depicted in Figure 11 of the ASCE

Discretionary Comments - Continued

Project Planner: Cathleen Carr
Application No. : 04-0472
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Manual Practice No. 37. When the allowable release rate is high relative to the post-development condition ignoring the rising limb may lead to significant discrepancies in required storage volume, as appears to be the case for this project.

2) In order to use the void space in the permeable concrete as credit for detention volume additional information is required. It seems that that this void space was already accounted for in the lower runoff coefficient for the permeable concrete areas. Please have the manufacturer confirm that this void space will be available in addition to the lower void space (for both the concrete and sub base layers).

3) The detention volume required per lot in the calculations is different from that in the summary sheet. Also, this volume assumes 7 systems, when only 5 were provided per the plan sheets.

4) The detention systems (landscape depressions) and outlet structures should be designed by an engineer. The outlets should be designed to limit discharge at allowable release rate when storing the required volume. Safe overflow should also be accommodated in the detention design.

5) Easements and maintenance agreements will be required for all detention facilities as well as any other common drainage facilities.

6) Please determine the gutter spread for the 10 and 25 year storms on Dawn Lane (assuming no detention on the subject site). 7) Please assume no detention in watershed Area 3 in the analysis of the off-site system. Based on this analysis it will be determined whether or not additional upgrades to the existing storm drain system will be required.

8) Please describe how roof runoff will be directed from each structure

Construction activity resulting in a land disturbance of one acre or more, or less than one acre but part of a larger common plan of development or sale must obtain the Construction Activities Storm Water General NPDES Permit from the State Water Resources Control Board. Construction activity includes clearing, grading, excavation, stockpiling, and reconstruction of existing facilities involving removal and replacement. For more information see:

<http://www.swrcb.ca.gov/stormwater/constfaq.html>

All drainage issues with offsite implications must be addressed in the discretionary application. Additional onsite drainage details may need to be clarified on the plans, but may be addressed prior to final map recordation and in the building application phase.

A drainage impact fee will be assessed on the net increase in impervious area. The fees are currently \$0.85 per square foot, and are assessed upon permit issuance.

Because this application is incomplete in addressing County development policies, resulting revisions and additions will necessitate further review comment and possibly different or additional requirements. The applicant is subject to meeting all future review requirements as they pertain to the applicant's changes to the proposed plans.

Discretionary Comments - Continued

Project Planner: Cathleen Carr
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All resubmittals of plans, calculations, reports, faxes, extra copies, etc-shall be made through the Planning Department. Materials left with Public Works may be returned by mail, with resulting delays.

Please call the Dept. of Public Works, Storm Water Management Section, from 8:00 am to 12:00 noon if you have questions

===== UPDATED ON FEBRUARY 16, 2005 BY ALYSON B TOM ===== Application with drainage analysis dated 1/10/05 and plans dated 1/26/05 has been received. Please address the following:

1) The analysis showed that the downstream system is inadequate for safe 25year overflow. Please include an upgrade to this system as part of the project so that a safe 25 year overflow is provided. Include a silt and grease trap in the downstream system so that runoff from all proposed roadway areas is treated prior to release to the downstream channel

See miscellaneous comments for issues to be addressed prior to final map recordation.

----- UPDATED ON MAY 3, 2005 BY ALYSON B TOM ===== Revised application with plans dated 4/7/05 that includes replacing the downstream storm drain across Soquel-San Jose Road is complete with regards to drainage. Please see miscellaneous comments to be addressed prior to map recordation.

Dpw Drainage Miscellaneous Comments

LATEST COMMENTS ,HAVE **NOT** YET BEEN SENT TO PLANNER FOR THIS AGENCY

----- REVIEW ON OCTOBER 26, 2004 BY ALYSON B TOM ===== Please see completeness comments.

===== UPDATED ON FEBRUARY 16, 2005 BY ALYSON B TOM ===== The following must be addressed prior to recordation of the final map:

1) Provide design details and calculations for the detention outlets and sizing. The outlets should be designed so that the runoff from the project area (including runoff that bypasses the detention systems) is limited to pre project levels. Safe overflow should also be included in the design.

2) Provide recorded maintenance agreements for each detention facility (including the landscape detention and pervious concrete areas), The maintenance agreement should include specific maintenance guidelines for these facilities, Please also include a note on the plans that these systems are to be maintained by the property owners and include the specific maintenance guidelines on the plans as well.

3) Include signage stating "No Dumping - Drains to Bay" or equivalent adjacent to all proposed storm drain inlets.

Zone 5 fees will be assessed on the net increase in impervious area due to the project.

Additional details may be required prior to final map approval.

===== UPDATED ON MAY 3, 2005 BY ALYSON B TOM ===== Please address the fol

Discretionary Comments - Continued

Project Planner: Cathleen Carr
Application No.: 04-0472
APN: 102-221-53

Date: January 25, 2006
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lowing in addition to the previous miscellaneous comments (with the exception of comment No. 3 which has already been addressed).

1) Note that an encroachment permit will be required for the proposed work in the downstream drainage facilities.

Dpw Driveway/Encroachment Completeness Comments

===== REVIEW ON OCTOBER 5, 2004 BY RUTH L ZADESKY =====
No comment. project involves a subdivision or MLD.

Dpw Driveway/Encroachment Miscellaneous Comments

----- REVIEW ON OCTOBER 5, 2004 BY RUTH L ZADESKY -----
No comment.

Dpw Road Engineering Completeness Comments

===== REVIEW ON OCTOBER 26, 2004 BY GREG J MARTIN =====
Bicycle and pedestrian access is recommended through a paved surface along the emergency access corridor. Both ends of the corridor are recommended to have a driveway cut and removable bollards. The fire hydrant near the south driveway cut should be relocated.

Please show the driveway for the adjacent property to the southeast

If you have any questions please contact Greg Martin at 831-454-2811. ===== UP-
DATED ON FEBRUARY 16, 2005 BY GREG J MARTIN =====
The curb to curb width of the road is recommended to be 36 feet to meet County standards. ===== UPDATED ON MAY 5, 2005 BY GREG J MARTIN =====
Previous comments have been addressed satisfactorily.

Dpw Road Engineering Miscellaneous Comments

===== REVIEW ON OCTOBER 26, 2004 BY GREG J MARTIN =====
----- UPDATED ON FEBRUARY 16, 2005 BY GREG J MARTIN -----
===== UPDATED ON MAY 5, 2005 BY GREG J MARTIN =====

Environmental Health Completeness Comments

LATEST COMMENTS HAVE NOT YET BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON OCTOBER 20, 2004 BY JIM G SAFRANEK =====
NO COMMENT

Environmental Health Miscellaneous Comments

LATEST COMMENTS HAVE NOT YET BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON OCTOBER 20, 2004 BY JIM G SAFRANEK =====
NO COMMENT

Received Jan. 14, 2005

ATT: Mr T Burns Head of Planning Department
Planning Department

Santa Cruz County Governmental Center
Planning Department
701 Ocean St.
Santa Cruz, CA.

Dear Mr Burns and Planning Department,

We are residents of Soquel and object to the proposed construction of 7 single family homes at: 4575 Dawn Lane, Soquel, CA 95073, APN: 102-221-53.

We appeal to the Planning Department to reduce the proposed construction of 7 homes to 4 or 5 homes maximum. This would be more in character with the existing homes in the neighborhood reducing traffic, parking and congestion problems and more harmonious with the current environment, Anna Jean Cummings Park and aesthetically pleasing to all Residents and Park users. After all the Anna Jean Cummings Park design and development and the rejection of Affordable Housing was based on the existing character of the neighborhood.

Currently there are 7 homes on large parcels on Dawn Lane proper which is a cul-de-sac. An additional 7 homes on this small hillside parcel will double the number of homes increasing the existing traffic, parking and congestion problems and safety related issues.

At previous Redevelopment Meetings the consensus of the people has been to reduce the number and size of so called "monster homes" an issue Tom Burns and Supervisor Beautz find a growing problem in the development of Santa Cruz County a concern we all share.

We the residents of Hilltop Ct, Dawn Ln, Valera Dr, Windward Ct strongly believe we have the right to be informed about this proposed development of this property and therefore request a public hearing.

Sincerely

Residents of: Hilltop Ct
Dawn Ln
Valera Dr
Windward Ct

Cc: Supervisor Beautz
Planning Commission
Project Planner: ~~John Schlagheck~~
Carr



P.O. Box 168
Mail to: 5180 Soquel Drive
Soquel, CA 95073-0168
PHONE (831) 475-9600 FAX (831) 475-4291

PROJECT ON SHEET

Date of Review: 10/25/04
Reviewed By: Carol Carr

Returned Project Comments to:	John Schlagheck County of Santa Cruz Planning Department 701 Ocean St., Ste. 410 Santa Cruz, CA 95060-4073
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Owner: Loleta Heichel, Trustee
9811 Maplethorpe Ln.
Soquel, CA 96073

Applicant: Hamilton Swift - Deidre Hamilton
1609 Seabright Ave., Ste. A1
Santa Cruz, CA 96062

Type of Permit: Development Permit
County Application #: 04-0472

Subject APN: 102-221-53
Location: **Property** located at the west end of Dawn Lane in the Soquel Planning Area.

Project Description: Proposal to ~~remove~~ 5 existing houses on one parcel and to divide the parcel into 7 new single-family lots of between 6,000 and 9,600 square feet.

Notice

~~Notice~~ is hereby given that the Board of Directors of the Soquel Creek Water District is considering adopting policies to mitigate the impact of development on the local groundwater basins. The proposed project would be subject to these and any other conditions of service that the District may adopt prior to granting water service.

It should not be taken as a guarantee that service will be available to the project in the future or that additional conditions will not be imposed by the District prior to granting water service.

Requirements

The developer/applicant, without cost to the District, shall:

- 1) Destroy any wells on the property in accordance with State Bulletin No. 74;
- 2) Satisfy all conditions imposed by the District to assure necessary water pressure, flow and quality;
- 3) Satisfy all conditions for water conservation required by the District at the time of application for service, including the following:
 - a) All applicants for new water service from Soquel Creek Water District shall be required to offset expected water use of their respective development by a 1.2 to 1 ratio by retrofitting existing developed property within the Soquel Creek Water District service area so that any new development has a "zero impact" on the District's groundwater supply. Applicants for new service shall bear those costs associated with the retrofit as deemed appropriate by the District up to a maximum set by the District and pay any associated fee set by the District to reimburse administrative and inspection costs in accordance with District procedures for implementing this program.
 - b) Plans for a water efficient landscape and irrigation system shall be submitted to District Conservation Staff for approval;
 - c) All interior plumbing fixtures shall be low-flow and have the EPA Energy Star label;

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P.O. Box 158
Mail to: 5180 Soquel Drive
Soquel, CA 95073-0158
PHONE (831) 475-8500 FAX (831) 475-4291

PROJECT COMMENT SHEET

District Staff shall inspect the completed project for compliance with all conservation requirements prior to commencing water service;

- 4) Complete LAFCO annexation requirements, if applicable;
- 5) All units shall be individually metered with a minimum size of 5/8-inch by 1/2-inch standard domestic water meters;

A memorandum of the terms of this letter shall be recorded with the County Recorder of the County of Santa Cruz to insure that any future property owners are notified of the conditions set forth herein.

Soquel Creek Water District Project Review Comments:

1. SCWD has reviewed plans prepared by William Rennie Boyd - Architect, Bowman and Williams - Consulting Civil Engineers, Ellen Cooper - Landscape Architect and has made comments. 1) The applicant will need to follow the *Procedures for Processing Water Service Requests for Subdivisions, Multiple Unit Developments, and Commercial Developments*; however, please be advised that additional conditions may be imposed as per the above Notice. 2) A New Water Service Application Request will need to be completed and submitted to the SCWD Board of Directors. The applicant has applied for a Will Serve Letter, which is the preliminary step in the New Service process (a copy has been provided here). The applicant shall be required to offset the expected water use of their respective development by a 1.2 to 1 ratio by retrofitting existing developed property within the Soquel Creek Water District service area. Applicants for new service shall bear those costs associated with the retrofit. Calculations for the expected water demand of this project were generated at the time of the request for a Will Serve Letter (a copy has been provided here). These calculations are based on the preliminary plans, and are subject to change. Final calculations are pending finalization of the project plans. 3) The proposed water mains indicated on the utility plans will need to be installed as per Soquel Creek Water District Standard Specifications & Plans. A Main Extension Agreement will need to be entered into with the District. 6" PVC pipe shall be used for main installations, unless specified otherwise by the District Engineering Manager. A blow off valve shall be installed at the terminal end of the main on Dawn Lane. Valves shall be installed at each side of the tee intersection looping the Dawn Lane main to the Hilltop Court main. If one does not already exist, a dedicated easement will need to be provided for the main through Lot 7. 4) District policy requires that all units to be metered individually. 5) All interior plumbing fixtures shall be low flow and have the EPA Energy Star label. 6) District Conservation Staff has reviewed and approved the landscape plans. 7) A Fire Protection Requirements Form will need to be completed and reviewed by the appropriate Fire District. 8) Water pressure in this area may be high. If so, a Water Waiver for Pressure &/or Flow will need to be recorded.

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SANTA CRUZ COUNTY SANITATION DISTRICT
INTER-OFFICE CORRESPONDENCE

DATE: FEBRUARY 7, 2005 (2ND ROCTING)
TO: PLANNING DEPARTMENT: CATHLEEN CARR
FROM: SANTA CRUZ COUNTY SANITATION DISTRICT
SUBJECT: CONDITIONS OF SERVICE FOR THE FOLLOWING
PROPOSED DEVELOPMENT
APN: 102-221-53 APPLICATION NO.: 04-0472
PARCEL ADDRESS: 4575 DAWN LANE
PROJECT DESCRIPTION: 7-LOT MINOR LAND DIVISION; REMOVE 3
EXISTING SFDS

The sewer plans have been reviewed and this permit application is approved in concept

The following minor revisions will be required prior to the District approving and signing off on them before the tentative map is filed:

Sheet C2 –engineer’s reference to backflow preventer detail should read
“SS-14.”

Show approximate location of existing sewer lateral at property line or
existing manhole and label “To be abandoned and inspected by District.”

Engineer is required to check all utility line crossings with sewer mains
and laterals (including onsite) and determine that there are no conflicts or
less than 1’ vertical separation. Where 1’ or less separation exists, a
concrete saddle shall be noted on plans with accompanying detail.

Any future changes to plans that affect sewer mains, laterals and appurtenances shall
require additional routing of plans to District for review. All changes shall be notated on
plans.

When subdividing a parcel with a sewer connection credit due to the removal of an
existing development, developer shall designate which parcel(s) shall receive connection
credit. Developer shall assign connection credit on the non-title sheet of the recorded
subdivision map. In addition, developer shall disclose to any prospective buyers
connection credit information that is material in determining parcel value.


Diane Romeo
Sanitation Engineering

DR/dr

c:	Applicant:	Property Owner:	Engineer:
	Hamilton Swift	Loleta Heichel	Bowman and
	1509 Seabright Ave	Trustee	Williams
	Su A1	3311 Maplethorpe	1011 Cedar St.
	Santa Cruz, CA	Lane	Santa Cruz, CA
	95062	Soquel, CA 95073	95060

Final Report on Discussions with Neighbors
of Dawn Lane Project

November 14, 2005

Prepared by
Kay Archer Bowden
225 Ross Street
Santa Cruz, CA 95060
(831) 425-3613

INTRODUCTION

I was asked to contact the neighbors of the proposed Dawn Lane Project and identify their issues, concerns, and questions about the project. The purpose of this report is to describe my methodology, list the major identified issues, and describe the project team's responses and proposed solutions.

METHODOLOGY

The neighbors were defined as owners of property within 300 feet of the project who are required to receive a notice of public hearing under Santa **Cruz** County Code. A copy of that list is attached to this report.

My goal was to meet with each neighbor in his or her home and discuss the project. I telephoned neighbors listed in the phone book and made appointments. I went door-to-door and tried to reach individuals not listed in the phone **book**. These methods worked well on Valera Drive and Hilltop Court, but not *on* Dawn Lane. The majority of Dawn Lane residents had unlisted numbers, and I received few return calls from those I could reach by telephone. When I walked door-to-door, locked gates and signs about resident dogs limited access to properties. Finally, I sent a letter to each owner on Dawn Lane and Windward Court introducing myself and asking them to call me to make an appointment to discuss the project. I received very few responses to my letter.

I took the following materials to appointments and showed them to the neighbors:

- Architectural Site Plan by William Rennie Boyd
- Screening Plan by Ellen Cooper
- Tentative Map by **Bowman & Williams**

I prepared notes on each interview and e-mailed them to the Planning Consultant who forwarded to the rest of the project team for comment. I met with the project team on October 20 and reviewed the neighbors' issues. The project team agreed on responses and changes that should be made in the project in response to the neighbors' concerns.

LIST OF NEIGHBORS ACTUALLY CONTACTED

Valera Drive

- Don Burbulys & Laura Terrazas, 3702 Valera Drive
- Ken & Carol Negro, 3710 Valera Drive
- Paulette Bergholz, 3718 Valera Drive
- Kenneth & Alice Tanimoto, 3728 Valera Drive
- Battista Bregante 111, 3736 Valera Drive
- Brett & Nicole Maas, 3744 Valera Drive

Hilltop Court

- Andrew & Peggy Sparks, 3715 Hilltop Court
- Gordon Kobara, 3723 Hilltop Court
- Tony & Patti Barnett, 3731 Hilltop Court
- Kerry Holsey, 3739 Hilltop Court
- Nancy Falcon, 3747 Hilltop Court (no issues)
- Lynda Graciany, 3755 Hilltop Court
- Shelly Leeman, 3752 Hilltop Court (no issues)

Dawn Lane

- Douglas Eidsmore, 4601 Dawn Lane (unavailable for interview due to travel, but knows the developer and will talk to him)
- David Levy & Charolette Knudsen, 4604 Dawn Lane
- Rahn Garcia & Thelma Lax, 4609 Dawn Lane
- Kevin McCurnin, 4641 Dawn Lane (declined to be interviewed)

NEIGHBORS' MAJOR ISSUES AND RESPONSES OF PROJECT TEAM

The major issues can be categorized by areas. Each of the three **main** neighboring streets had unique issues. Few issues were common to all three streets. Issues also varied in importance. The chart below lists the major issues by neighboring street and the proposed responses of the project team. Attached to this report are charts for each street that list all issues mentioned by the neighbors.

VALERA DRIVE ISSUES

ISSUE	PROPOSED RESPONSE
<ul style="list-style-type: none">• Drainage, erosion, grading<ul style="list-style-type: none">◦ Neighbors are worried that run-off from lots on Valera Drive will end up on new lots below	<ul style="list-style-type: none">• We will install a small debris wall at the base of the new fence to be constructed along the west uphill property line of lots 3,4, & 5. This wall will catch any minor sloughing and soil erosion before it reaches lots 3,4, & 5. Gaps between the lagging will allow surface runoff through.• Plans show a small retaining wall at the base of the slope behind the new homes on lots 3,4, & 5. Behind the wall we have proposed a concrete lined swale to intercept runoff from the uphill slope and homes along Valera Drive. The swale has been sued to accept the runoff from the hill and homes above.• For added protection we will provide a trash rack on the catch

	basins in the swale to prevent the grates from clogging due to leaves and other debris. As with any drainage system there will be maintenance required from the individual homeowners who will be responsible to keep the swale and catch basin clear of debris.
<ul style="list-style-type: none"> Landscaping <ul style="list-style-type: none"> Neighbors want sufficient trees for aesthetic and privacy reasons 	<ul style="list-style-type: none"> Landscape plan provides 3 trees on Lot 1, 3 trees on Lot 2, 4 trees on Lot 3, 4 trees on Lot 4, 7 trees on Lot 5, and 6 trees on Lot 6.
<ul style="list-style-type: none"> Construction fencing <ul style="list-style-type: none"> Neighbors want adequate temporary fencing during construction to keep their dogs and children from going onto the project property. 	<ul style="list-style-type: none"> Adequate temporary fencing will be installed during construction.
<ul style="list-style-type: none"> Current State of Property <ul style="list-style-type: none"> Neighbors think high weeds and grasses are a fire hazard. 	<ul style="list-style-type: none"> Developer will cut the weeds and grasses when escrow closes.

HILLTOP COURT ISSUES

ISSUE	PROPOSED RESPONSE
<ul style="list-style-type: none"> Architecture & Privacy issues <ul style="list-style-type: none"> 3731 Hilltop Court (Barnetts) concerned about proximity of Lot 6 to their back yard Landscaping & Privacy Issues <ul style="list-style-type: none"> 3731 Hilltop Court (Barnetts) want trees as screening, but do not want to lose their sunlight 3739 Hilltop Court (Hosley) wants trees as screening, <i>but</i> does not want her photovoltaic & thermal systems shaded. 	<ul style="list-style-type: none"> Developer deleted sliding glass door and proposes opaque glass in second story windows on north elevation of Lot 6. Second story gable was changed to a hipped roof to minimize winter shading of rear yard. Landscape architect suggests evergreen trees in the rear yards of Lots 5 & 6 to provide screening without creating a lot of shade. Landscape architect suggests evergreen trees in the rear yards of Lots 5 & 6 to provide screening without creating a lot of shade.

<ul style="list-style-type: none"> • Fence & Existing Retaining Walls <ul style="list-style-type: none"> o 3723 Hilltop Court (Kobara) would prefer not to have to replace existing retaining walls when fence is put in o 3731 Hilltop Court (Barnetts) expressed concern about replacing the fence in their backyard. Want to be consulted about the fence. 	<ul style="list-style-type: none"> • Civil Engineer says The Kobara southern property line is shared with a <i>small</i> portion of Lot 6 and all of Lot 7's northern property lines. Currently there is a 2-foot high-pressure treated wood retaining wall along Kobara's southern property line elevating the Kobara's back yard above the existing grade of Lot 7. The preliminary grading plan shows that we are matching grade along the north property line of Lot 7, which will not affect the existing Kobara retaining wall. Lot 6 will have a small amount of fill (1.5' max) which can be backfill against the wall since the timber is pressure treated. A portion of the retaining wall on the southeast corner of the Kobara property may need to be removed so that the 12' wide emergency access road can be constructed. • Civil Engineer responds: The Barnett's southern property line is shared with the northern property line of Lot 6 elevating the Barnett's back yard above the existing grade of Lot 6. There is an existing pressure treated wood retaining wall along the Barnett's southern property line that is a maximum 4' high at the southeast corner and gradually tapers down to meet existing grade as it heads west (uphill) along the property line. The preliminary grading plan shows that we are in general matching grade along the north property line of Lot 6 with a small amount of fill (1.5' max) at the northeast corner which can be backfilled against the Barnett's wall since the timber is pressure treated.
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<ul style="list-style-type: none"> Emergency Access Easement <ul style="list-style-type: none"> 3715 Hilltop Court (Sparks) would like easement to be closed and fenced. Concerned about people using it as pedestrian way and 3723 Hilltop Court (Kobara) prefers that easement remain for fire access only, not opened for public access. 	<ul style="list-style-type: none"> County Planning will control what happens with the emergency access easement, not the developer.
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DAWN LANE ISSUES

ISSUE	PROPOSED RESPONSE
<ul style="list-style-type: none"> Drainage <ul style="list-style-type: none"> 4609 Dawn Lane (Lax/Garcia) concerned about runoff from northern edge of Heichel property 	<ul style="list-style-type: none"> Storm water runoff from all the lots in the subdivision will be directed through each individual lot's drainage system to the new cul-de-sac below them. In no case will any storm water cross over property lines.
<ul style="list-style-type: none"> Drainage <ul style="list-style-type: none"> 4604 Dawn Lane (Levy/Knudsen) concerned about water runoff from Heichel property onto street during winter rains. 	<ul style="list-style-type: none"> Storm water runoff from the individual lots will be conveyed to Dawn Lane via through-curb drains. Each individual lot will provide onsite detention storage through the use of pervious driveway pavements and drain rock filled sumps which will Limit the runoff entering the street from the lots to the 10-year pre-development level. <p>Once runoff from the subdivision enters the street, it will be conveyed by gutter flow to the intersection of Dawn Lane and Soquel/San Jose Road where it will enter existing drainage inlets. Runoff will then be conveyed under Soquel-San Jose Road via a new 24-inch diameter culvert (paid for by developer) to the existing drainage channel on the east side of the road.</p>

<ul style="list-style-type: none">• Access to Park<ul style="list-style-type: none">o 4609 Dawn Lane (Garcia) would like direct access to County Park from new subdivision	<ul style="list-style-type: none">• This is an issue of County policy.
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List of Attachments

- o Notification List
- o Valera Drive Issue Summary
- o Hilltop Court Issue Summary
- o Dawn Lane and Windward Court Issue Summary
- o Kay Archer Bowden Biography

David Levy &
Charolette Knudsen
4604 Dawn Lane
Soquel, CA 95073

Sia Tayebi
4617 Dawn Lane
Soquel, CA 95073

Ronald & Kimberly Scadina
4625 Dawn Lane
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Valera Drive Issue Summary

			<ul style="list-style-type: none"> on plans Can drainage be connected to park system Privacy of Lot 4 <ul style="list-style-type: none"> Concerned that they will look into 2d story windows on Lot 4 Shading of Lot 4 <ul style="list-style-type: none"> Worried that their redwood trees (which they like) will cause shading problem on Lot 4 	
3710 Valera Dr.	raquel Bergholz		<ul style="list-style-type: none"> Drainage and Erosion <ul style="list-style-type: none"> Wants assurance that retaining wall behind Lot 5 will prevent erosion of her hillside Wants developer to take care of any drainage problems Wants to avoid complaints from neighbors who buy Lot 5 Landscaping & Privacy <ul style="list-style-type: none"> Wants screening trees at back of Lot 5 to protect her privacy & her neighbors' Fence height <ul style="list-style-type: none"> Wants fence at bottom of hill to be at least as tall as present fence Noise <ul style="list-style-type: none"> Cutting Walnut trees increased noise from Old San Jose Road Concerned about noise from new subdivision 	

			<ul style="list-style-type: none"> ○ Additional traffic on Old San Jose Road and in Soquel • Fire Hazard <ul style="list-style-type: none"> ○ Would like weeds mowed 	
3728 Valera Dr.	Kenneth & Alice Tanimoto	476-4175	<ul style="list-style-type: none"> • Drainage <ul style="list-style-type: none"> ○ 3739 Hilltop Court gets run-off from Tanimoto parcel. There is a spring behind Tanimoto house & a Soquel Creek Water District well next to 3739 Hilltop Court. ○ They predict drainage problem when new houses built. They want developer to anticipate & handle problem. • Construction Fence <ul style="list-style-type: none"> ○ Want construction fence that will keep their dogs from escaping • QUESTIONS <ul style="list-style-type: none"> ○ Sq. footage of new houses? ○ Will developer build houses all at once or one at a time? ○ What is anticipated timeline for approval and construction? 	

3736 Valera Drive	Battista Bregante III	423-8391	<ul style="list-style-type: none"> • View of the Park <ul style="list-style-type: none"> ○ Will it be obstructed? Looked unlikely to change. • Traffic <ul style="list-style-type: none"> ○ Hilltop/Old San Jose Intersection needs a stop light, but Dawn Lane project should not have to pay for it. 	
3744 Valera Dr.	Brett & Nicole Maas	476-4820	<ul style="list-style-type: none"> • Marginally affected • Visual Impact/Views <ul style="list-style-type: none"> ○ Have a view of park and hills across Old San Jose Rd. Would like to retain that view. ○ Concerned about potential height of trees on list, particularly Oak and Redbud • Trees <ul style="list-style-type: none"> ○ Recent personal tree trauma when Hilltop Ct. neighbor botched pruning job. Two trees died. other looks odd 	
3754 Valera Dr.	Dan Gramei?		NOT owner occupied. NO interview	

Hilltop Court Issue Summary

DAWN LANE DEVELOPMENT PROPOSAL
NEIGHBORHOOD ISSUE SUMMARY
HILLTOP COURT

HILLTOP COURT	Owner	Telephone	Issue	
Address 3715 Hilltop Ct.	Andrew & Peggy Sparks	479-1181	<ul style="list-style-type: none"> • Emergency Access Easement <ul style="list-style-type: none"> ○ Want it to stay closed & fenced. ○ Concerned people will use it for park and high school access. • Parking in Proposed Subdivision <ul style="list-style-type: none"> ○ Questioned whether there was adequate on-street parking in proposed subdivision. Another reason they want easement closed. • Traffic on Old San Jose Road <ul style="list-style-type: none"> ○ Comment: everyone is always concerned about more traffic on Old San Jose Road. • Drainage <ul style="list-style-type: none"> ○ Want to be sure winter rains will not cause run-off onto their property. 	
3723 Hilltop Ct.	Gordon Kobara	462-6820	<ul style="list-style-type: none"> • Fence, Retaining Walls, & Privacy <ul style="list-style-type: none"> ○ Has retaining walls on 3 sides of his property; French drains at back and sides ○ Would prefer not to put in new retaining walls ○ Would allow developer to build fence 	

			<p>on top of this retaining wall</p> <ul style="list-style-type: none"> ○ Would like fence 6 ft. measured from ground level separating him from new neighbor • Easement <ul style="list-style-type: none"> ○ Prefers that easement remain for fire access only, not opened for public access ○ Would like to keep fence across 	
31 Suntop Ct.	Donny & Dawn Barnett	17-403.	<ul style="list-style-type: none"> • Appreciates sliders at rear of Lot 6 What mechanism will be used to ensure windows are opaque glass? Would like street lights low profile so they don't shine into their house Is there some way to prevent lot 6 from installing floodlights in back yard? ipping Cutting trees on lot has reduced their privacy Would like to plant their own trees, but don't know what to plant or where Want a buffer from Dawn Lane properties and Valera, but concerned about planting large trees & losing sunlight • Fence Want to be informed in advance if 	

			<p> fence is coming down so when dogs won't escape.</p> <ul style="list-style-type: none"> ○ Would like to be consulted about height of the fence 	
			<ul style="list-style-type: none"> ● <ul style="list-style-type: none"> ○ Will fill be added to lot 6? ● Construction noise and dust <ul style="list-style-type: none"> ○ Want construction dust minimized ● Fire Hazard/present state <ul style="list-style-type: none"> ○ Concerned that in present state property is a fire hazard 	
3736 Hilltop Ct.	Daniel Hazen		<ul style="list-style-type: none"> ● Not owner occupied. Rental property. 	
3739 Hilltop Ct.	Kerry Hosley	479-7719	<ul style="list-style-type: none"> ● Tree Cutting <ul style="list-style-type: none"> ○ Extremely upset the day they cut the trees. ○ Resigned, but not forgiving about tree cutting ● Privacy <ul style="list-style-type: none"> ○ Concerned about loss of privacy because of windows looking onto her property. ● Landscaping <ul style="list-style-type: none"> ○ Wants screening trees or plantings ● Shading <ul style="list-style-type: none"> ○ Has photovoltaic & thermal system on south-facing roof. Does not want new house to interfere with her system. ● Construction Schedule <ul style="list-style-type: none"> ○ Would like to know timetable for permit and construction 	

3747 Hilltop Court	Michael Falcon		<ul style="list-style-type: none"> • Not interviewed 	
3752 Hilltop Court	Shelly Leeman		<ul style="list-style-type: none"> • Not interested in scheduling interview • Concerned only about effect on Barnetts who live across the street from her. 	
3755 Hilltop Court	Linda Graciany	462-6641	<ul style="list-style-type: none"> • Traffic <ul style="list-style-type: none"> ○ Traffic on Old San Jose Road and Porter Street/Soquel Drive intersection is very heavy 	

Dawn Lane and Windward Court Issue Summary

DAWN LANE DEVELOPMENT PROPOSAL
NEIGHBORHOOD ISSUE SUMMARY
DAWN LANE & WINDWARD COURT

DAWN LANE & WINDWARD CT. Address	Owner	Telephone	Issues	
4604 Dawn Lane	David Levy Charolette Knudsen	475-6738	<ul style="list-style-type: none"> • Drainage from Heichel property onto lower Dawn Lane during winter rains. Will drainage plan for project prevent it? • Privacy. Minor issue because east elevation of Lot 1 house faces their garage • Parking. Concern about overflow parking if new house owners have guests 	
4617 Dawn Lane	Sia Tayebi		No interview. Did not respond to letter.	
4625 Dawn Lane	Ronald & Kimberly Scadina		No interview. Met him in front of his house and gave him my card. He said he would call me, but did not.	
4633 Dawn Lane	Gwendolyn ? Purchased from Floyd & Marcia Stevens		No interview. Did not answer door.	
4641 Dawn Lane	Kevin & Sue McCurnin	462-9578	Did not return phone calls nor respond to letter. When I went to his door, he said he had no interest in talking with me.	
4601 Dawn Lane	Douglas Eidsmore	452-4092	Unavailable for interview due to travel. Knows developer and will talk to him. <ul style="list-style-type: none"> • Privacy. Windows on Lot 7 house. 	
4609 Dawn Lane	Rahn Garcia Thelma Lax		<ul style="list-style-type: none"> • Drainage along northern property boundary. Water flows from Heichel property across the 	

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EXHIBIT I

			back of the lots on north side of Dawn Lane. Lax/Garcia have installed a dry creek bed behind their house, want to be sure that new impervious surface caused by development won't increase runoff onto their property.	
			<ul style="list-style-type: none"> Access to Park from Dawn Lane <ul style="list-style-type: none"> Would like direct, safe access to the park <p>Interview with Thelma Lax and Brief telephone interview with Rahn Garcia</p>	
4609 Windward Ct.	Lissa Christie Douglas Wright	464-7025	No interview. Did not return calls nor respond to letter.	
4605 Windward Ct.	Wilma Gawthrop	479-0546	No interview. Did not return calls nor respond to letter.	

BIOGRAPHY

Kay Archer Bowden, **J.D.** is a mediator, meeting facilitator, trainer, and a management consultant. Kay has a law degree from the University of California at Berkeley. She is one of the founders of the Santa Cruz Conflict Resolution Center.

Kay specializes in meeting design and facilitation; management of nonprofit corporations, conflict management, designing training programs; leadership skills coaching, and governmental relations. She assists organizations with team building programs, strategic planning, organizational development and governmental relations. She designs and teaches classes in communication skills, facilitation, mediation, and conflict management. Her clients include nonprofit agencies and universities, homeowners associations, and corporations.

Areas of Expertise

Communication Skills
Conflict Management
Facilitation
Governmental Relations
Meeting Management

Mediation
Strategic Planning
Team Building/Leadership Training
Time Management
Team Retreats

Clients

Land Trust of Santa Cruz County
Center for Excellence in Nonprofits
Santa Cruz Aids Project
Group Home Society, Inc.
National Association of Women
Business Owners
University of California
Santa Cruz Community Foundation
Santa Cruz Diversity Center
Catholic Charities of Monterey
Boulder Creek Homeowners Assoc.
Pajaro Dunes Homeowners
Associations

Santa Cruz Volunteer Center
Santa Cruz Community Counseling Center
Human Care Alliance
Santa Cruz County Office of Education
California Department of Forestry and Fire
Protection
Palma Development Foundation
Community Recovery Services
Community Bridges
Catholic Charities of San Jose
Mental Health Client Action Network
Santa Cruz County Domestic Violence
Commission

Professional Organizations

International Association of Facilitators

Bay Area Facilitators Guild

Bay Area Organizational Development Network

Northern California Mediation Association

Facilitation and Organizational Development Training

Interaction Associates

Essential Facilitation

Roger Schwarz & Associates

The Skilled Facilitator Intensive Workshop

Sam Kaner at Community At Work

Participatory Decision Making

Mechanics of Team Decision-Making

Organizational Diagnosis

Grove Consultants

Group Graphics

The Institute of Cultural Affairs

Group Facilitation Methods

Participatory Strategic Planning

Data Presentation Methods

Barry Oshry

The Organization Workshop

Mediation Training

Community Boards of San Francisco

Concur (Environmental Mediation)

Co-founder of Santa Cruz Conflict Resolution Program

Trainer for Santa Cruz Conflict Resolution Program for ten years

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