



Staff Report to the Planning Commission

Application Number: **04-0598**

Applicant: **John** Swift, Hamilton-Swift Land Use & Development Consultants, Inc.

Owners: Crystal Swink, Adan & Eva Moreno, Jack Baskin, David & Marlene Harris, Sandra Treffry

APN's: 049-201-15, -16, -17; 049-201-35; 050-441-03

Agenda Date: **July 26, 2006**

Agenda Item: **# 8**

Time: After 9:00 a.m.

Project Description: Proposal to create a 12-lot subdivision from **three** parcels and to construct an off-site storm drain outlet and retaining wall. Requires a rezoning of Assessor's Parcel Numbers 049-201-15 and 049-201-16 from R-1-8 to R-1-6.

Location: Properties located on the west side of Bowker Road, about 400 feet north from Freedom Boulevard at 46, 54 and 62 Bowker Road in Freedom, with off-site improvements at **38** Bowker Road and 2312 Freedom Boulevard in Freedom.

Supervisory District: Second District (District Supervisor: Pirie)

Permits Required: Rezoning, Subdivision, Residential Development Permit, Riparian Exception, Roadway/Roadside Exception, Archaeological Site Review, Preliminary Grading Review and Design Review.

Staff Recommendation:

- Adopt **the** attached Resolution (Exhibit I), sending a recommendation to the Board of Supervisors for Approval of Application Number 04-0598, based on the attached findings and conditions, and recommend certification of the Mitigated Negative Declaration **as per the** requirements of the California Environmental Quality Act.

Exhibits

- | | |
|---------------------------------------|-------------------------------------|
| A. Project plans | G. Will Serve Letters |
| B. Findings | H. Comments & Correspondence |
| C. Conditions | I. Planning Commission Resolution & |
| D. Initial Study (CEQA determination) | Rezoning map |
| E. Assessor's parcel map | |
| F. Zoning & General Plan maps | |
-

County of Santa Cruz Planning Department
701 Ocean Street, 4th Floor, Santa Cruz CA 95060

Application #: **04-0598**

APN: **049-201-15, -16, -17; 049-201-35; 050-441-03**

~~Owners:~~ Crystal Swink, Adan & Eva Moreno, Jack Baskin, David & Marlene Hams, Sandra Treffry

Parcel Information

Parcel Size:	Approximately 2.5 acres total APN 049-201-15 - 42,166 square feet APN 049-201-16 - 42,340 square feet APN 049-201-17 - 23,130 square feet
Existing Land Use - Parcel:	Single-family residences
Existing Land Use - Surrounding:	Single-family residences, commercial agriculture
Project Access:	Freedom Boulevard to Bowker Road
Planning Area:	Pajaro Valley
Land Use Designation:	R-UL (Residential - Urban Low)
Zone District:	R-1-6, R-1-8 (Single-family Residential, 6 & 8,000 sq A minimum lot size)
Coastal Zone:	<input type="checkbox"/> Inside <input checked="" type="checkbox"/> Outside

Environmental Information

History

The three subject properties were created by deed and there have been no changes in parcel configuration. The homes on APN's 049-201-15 & -16 have existed on these sites since the 1930's and the home on parcel -17 was constructed with all required permits and inspections in 1974. A Development Review Group Meeting was completed for the properties under Application #98-0412 on September 2, 1998, but no application for the proposed 12-lot subdivision and rezoning was filed.

Project Setting

The three existing parcels are located on Bowker Road in the Pajaro Valley Planning Area. The area has been traditionally developed with housing and farming. The three subject parcels are developed with single-family dwellings and detached garages and total approximately 2.5 acres in area. The project site is relatively flat with a drop in slope at the north boundary of APN 049-201-15, where an off-site retaining wall is proposed on the adjacent property APN 049-201-35. An off site drainage improvement will be located from Bowker Road across Freedom Boulevard to be diverted **to** a tributary of Corralitos Creek at APN 050-441-03. The 2.5-acre project site is surrounded by existing single-family residential development with commercial agricultural production in the project vicinity. Calabasas Elementary School is just west of the property. The Watsonville Municipal Airport is to the south of the property. The historic 1880's Freedom Rose **Bed** & Breakfast Inn is also located in the project vicinity.

The project site is within the Urban Services Line with water service provided by the City of Watsonville. The City is requiring the proposed subdivision be designed to allow the highest approvable density under the current General Plan and that one principal residence and all nine accessory dwellings be deed restricted as affordable. Sewer service is to be provided by the Santa Cruz County Sanitation District with required upgrades to the lines and annexation of APN 049-201-15 to the Sanitation District (Exhibit G).

Zoning & General Plan Consistency

Assessors Parcel No	Parcel Size	Existing Zoning	Proposed Zoning
049-201-15	42,166 square feet	R-1-8	R-1-6
049-201-16	42,340 square feet	R-1-8	R-1-6
049-201-17	23,130 square feet	R-1-6	R-1-6

The proposed 12-lot subdivision and rezoning would result in 12 parcels ranging in area from 6,022 square feet to 11,094 square feet. Average parcel size is 7,495 square feet. The R-1-6, (Single-family Residential with 6,000 square feet minimum parcel size) zone district, allows residential uses. The proposed single-family residences with accessory dwelling units are permitted uses within the zone district and the project is consistent with the site's (R-UL) Residential - Urban Low General Plan designation, which allows development with lot sizes ranging from 6,000-10,000 square feet.

Development standards for the R-1-6 zone district per County Code Section 13.10.323 include a maximum 28-foot height, maximum two-stories, maximum lot coverage of 30 percent, maximum floor area ratio of 50 percent, and setbacks of 20, 5 & 8, and 15 feet for the front, sides and rear. The nine new homes are of two designs, both two stories in height with three Unit Ones and six Unit Twos. Unit One is a four-bedroom structure of 1,707 square feet with a 400 square foot attached garage, and Unit Two is a three-bedroom structure of 1,747 square feet with a 400 square foot attached garage. All of the nine accessory units are one story in height with one bedroom. Six of the units are attached to the single-family dwellings and are 510 square feet in area with an attached carport of 128 square feet. Three of the accessory dwelling units are detached and are 554 square feet in area with a 240 square foot attached carport.

The proposed rezoning of Assessor's Parcel Numbers 049-201-15 & -16 from R-1-8 (Single-family

Residential with an 8,000 square foot minimum parcel size) to R-1-6 (Single-family Residential with a minimum parcel size of 6,000 square feet) will be consistent with the current zoning of development to the north and west of the project site and will be necessary for the proposed development. APN 049-201-17 is already zoned R-1-6. The proposed rezoning of both parcels is appropriate due to the character and pattern of surrounding residential development, and will be within the allowed density range of the Residential- Urban Low (R-UL) General Plan land use designation of the subject properties.

The project is consistent with County Code Section 17.10.030, Inclusionary Housing requirements for residential development projects, in that of the nine new single-family dwellings, Lot 2 is dedicated as an Affordable Unit. All nine of the accessory units are dedicated as affordable, to comply with the fractional requirement of the code and to satisfy the City of Watsonville's requirements for residential density goals associated with the provision of new water service. The development shall comply with County Code Section 13.10.681.e.C.2, Owner Residency. The property owner shall permanently reside, as evidenced by a Homeowner's Property Tax Exemption on the parcel, in either the main dwelling or the second unit. No building permits can be issued for the Affordable Units until a Homeowner's Exemption has been filed with the County Assessor's Office for the main unit.

A Roadway/Roadside Exception is required as per County Code Section 15.10.050.f, for a small portion of the Carmela Court roadway in front of Lot 10 to accommodate a bump out at the curb to preserve a significant redwood cluster. In addition, improvements in front of Lot 12 on Bowker Road require the installation of a retaining wall in the landscape strip needed due to changes in topography. The new Carmela Court cul-de-sac, which provides access to Bowker Road for all eleven parcels except for Lot 12 which fronts on Bowker, will comply with the County Design Criteria and will be offered for dedication once constructed. The 56-foot right-of-way includes 36-foot curb-to-curb right-of-way, 4.625 foot landscape strip, 4 foot sidewalk plus 1.375 to front property line. This Roadway/Roadside Exception is considered as appropriate in that it preserves an existing, mature redwood cluster and enables the construction of a necessary retaining wall while allowing for parking.

Design Review

The proposed single-family residences with accessory dwelling units comply with the requirements of the County Design Review Ordinance, County Code Chapter 13.11, in that the proposed project will incorporate site and architectural design features of the craftsman style, with complex roof design giving variations in height, texture and materials to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape. The three existing single-story homes shall be retained at the Bowker Road frontage and existing mature trees shall also be retained so that little physical change will be apparent from Bowker Road. The middle residence at 54 Bowker Road must be relocated on the site to allow for the right of way construction. The nine new residences have elements such as columns, front porches, double garage doors, craftsman-style exterior lighting, horizontal and vertical siding, and generous fenestration to provide visual interest. The accessory dwelling units are designed to maximize efficiency of space yet provide privacy by separating sleeping areas, installing sound attenuation insulation at common walls, and by providing adequate parking in car ports to ensure that this space remains available for cars as opposed to being used for storage. The attached dwelling units are designed to appear as an integral part of the single-

family dwellings and the complementary rooflines and landscaping tie the detached accessory units into each parcel.

Environmental Review

Environmental review has been required for the proposed project per the requirements of the California Environmental Quality Act (CEQA). The project was reviewed by the County's Environmental Coordinator on April 17, 2006. A preliminary determination to issue a Negative Declaration with Mitigations (Exhibit D) was made on May 31, 2006. The mandatory public comment period expired on May 23, 2006, with one comment received on May 22, 2006 from the Department of Transportation. Pursuant to the comments, the Environmental Coordinator revised the Initial Study to include data that demonstrates that although the project is subject to noise from the neighboring airport, that the current level of 55dB CNEL falls within acceptable limits according to the Santa Cruz County General Plan Policy 6.9.1. The project shall be conditioned to require that interior noise levels shall not exceed 45 dB throughout the development, to be certified by a professional acoustic engineer.

The environmental review process focused on the potential impacts of the project concerning drainage. Environmental review generated mitigation measures that will reduce potential impacts from the proposed development. Required Negative Declaration Mitigations relate to protection of the outfall area of the proposed drainage enhancements, which would carry water from Bowker Road to APN 050-441-03, the agricultural field on Freedom Boulevard adjacent to a tributary of Corralitos Creek. A detailed erosion control plan is required to prevent sedimentation at both the subdivision site and at Corralitos Creek and silt traps are required to prevent drainage discharges from carrying silt or contaminants into the riparian area. Riparian Exception Findings are included in Exhibit B which address protection of the riparian corridor on APN 050-441-03 through site sensitive design of the new drainage outfall to the creek, erosion control and re-vegetation.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- ADOPT the attached Resolution (Exhibit I), sending a recommendation to the Board of Supervisors for **Approval** of Application Number **04-0598**, based on the attached findings and conditions, and recommend certification of the Mitigated Negative Declaration per the requirements of the California Environmental Quality Act.

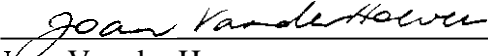
Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

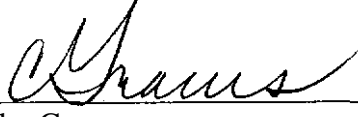
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The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

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Development Review
Santa **Cruz** County Planning Department

Rezoning Findings

1. The proposed zone district will allow a density of development and types of uses which are consistent with the objectives and land-use designations of the adopted General Plan; and,

This finding can be made, in that the project site has an Urban Low Density Residential (R-UL) General Plan land use designation, which requires a 6,000 – 10,000square foot minimum parcel size. The proposed R-1-6 (Single Family Residential - 6,000 square foot minimum) zone district will be appropriate to achieve consistency with the surrounding pattern of residential development.

2. The proposed zone district is appropriate of the level of utilities and community service available to the land; and,

This finding can be made, in that the project site is within the Urban Services Line (USL) and is presently served by all public utilities. Adequate capacity exists for each utility to serve the existing and proposed residential development.

3. The character of development in the area where the land is located has changed or is changing to such a degree that the public interest will be better served by a different zone district.

This finding can be made, in that the surrounding parcels are all residentially zoned and the public interest would be better served through rezoning APN's 049-201-15 and -16 from the R-1-8 to the R-1-6 zone district to allow an internally consistent residential development on the site. The proposed R-1-6 (Single Family Residential - 6,000 square foot minimum) zone district will be consistent with the existing pattern of residential development in the neighborhood. The land to the south and west of this property is zoned R-1-6 and is composed of predominantly smaller parcels. Since there is a natural break in slope to the north of this property, it seems appropriate for this property to have the density of the other properties on the upper bluff lands.

Subdivision Findings

1. That the proposed subdivision meets all requirements or conditions of the Subdivision Ordinance and the State Subdivision Map Act.

This finding can be made, in that the project meets all of the technical requirements of the Subdivision Ordinance and is consistent with the County General Plan and the Zoning Ordinance as set forth in the findings below.

2. That the proposed subdivision, its design, and its improvements, are consistent with the General Plan, and the area General Plan or specific plan, if any.

This finding can be made, in that the proposed division of land, its design, and its improvements,

will be consistent with the General Plan. The project creates twelve single family residential parcels and is located in the Urban Low Density Residential (R-UL) General Plan designation which allows a density of one unit plus one accessory unit for each 6,000 to 10,000 square feet of net developable parcel area. The proposed project is consistent with the General Plan, in that the development will average a total of **7,495** square feet of net developable parcel area per residential parcel.

The project is consistent with the General Plan in that the full range of urban services is available, including public water and sewer service. All parcels will be accessed by Bowker Road connecting to Carmela Court. The cul-de-sac (Carmela Court) is proposed to be built to County standards with the exception of a small bump out in front of Lot 10 to preserve an existing redwood tree cluster. The existing access road (Bowker Road) will require an exception due to a reduced planting strip for a portion of Bowker where a required retaining wall is to be installed due to steep slopes. These roadways provide satisfactory access to the project. The proposed subdivision is similar to the pattern and density of surrounding development, is near a public elementary school and commercial farmland, and as proposed, will have adequate and safe vehicular and pedestrian access.

The subdivision, as conditioned, will be consistent with the General Plan regarding infill development, in that the proposed residential development will be consistent with the pattern of the surrounding development, and the design of the proposed structures is consistent with the character of similar developments in the surrounding neighborhood.

3. That the proposed subdivision complies with Zoning Ordinance provisions as to uses of land, lot sizes and dimensions and any other applicable regulations.

This finding can be made, with the rezoning of the subject property, in that the use of the property will be residential in nature, lot sizes meet the minimum dimensional standards for the R-1-6 (Single Family Residential - 6,000 square foot minimum) zone district where the project is located.

4. That the site of the proposed subdivision is physically suitable for the type and density of development.

This finding can be made, in that no challenging topography affects the building site, although an off-site retaining wall on APN 049-201-35 is required to address an abrupt change in slope on that adjacent parcel. Technical reports prepared for the property conclude that the site is suitable for residential development, and the proposed parcels are properly configured to allow development in compliance with the required site standards. No environmental resources exist which would be adversely impacted by the proposed development.

5. That the design of the proposed subdivision or type of improvements will not cause substantial environmental damage nor substantially and avoidably injure fish or wildlife or their habitat.

This finding can be made, in that the riparian resource at the end of the drainage outfall diverted from Bowker Road across Freedom Boulevard to the north of the project site at APN 050-441-03 will be adequately protected through erosion control and silt and grease traps and tree protection measures. No other mapped or observed sensitive habitats or threatened species will be adversely impacted through the development of the site.

6. That the proposed subdivision or type of improvements will not cause serious public health problems.

This finding can be made, in that municipal water and sewer are available to serve all proposed parcels.

7. That the design of the proposed subdivision or type of improvements will not conflict with easements, acquired by the public at large, for access through, or use of property within the proposed subdivision.

This finding can be made, in that no easements are known to encumber the property, other than the 40-foot wide right of way (Bowker Road), which will be retained and improved as a component of this development. Easements have been obtained for the off-site retaining wall at APN 049-201-35 and the drainage outlet at APN 050-441-03.

8. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities.

This finding can be made, in that the resulting parcels are oriented to the fullest extent possible in a manner to take advantage of solar opportunities. A solar shading plan has been included in Exhibit A, Sheet A0.2, that demonstrates that both the south and west facing roofs will not be shaded. The architect has certified that there is sufficient roof area to provide for future solar collectors.

9. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076) and any other applicable requirements of this chapter.

This finding can be made, in that the structures are sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. The surrounding neighborhood contains single-family residential development. The proposed residential development is compatible with the architecture in the neighborhood, which is diverse in nature, and the surrounding pattern of residential development.

The proposed single-family residences with accessory dwelling units comply with the requirements of the County Design Review Ordinance, County Code Chapter 13.11, in that the proposed project will incorporate site and architectural design features of the craftsman style, with complex roof design giving variations in height, texture and materials to reduce the visual impact of the proposed development on the surrounding neighborhood. The three existing single-story homes shall be retained at the Bowker Road frontage and existing mature trees shall also be retained so that little physical change will be apparent from Bowker Road. The nine new residences have elements such as columns, front porches, double garage doors, craftsman-style exterior lighting, horizontal and vertical siding, and generous fenestration to provide visual interest. The accessory dwelling units are designed to maximize efficiency of space yet provide privacy by separating sleeping areas, installing sound attenuation insulation at common walls, and by providing adequate parking in car ports to ensure that this space remains available for cars as opposed to being used for storage. The attached dwelling units are designed to appear as an integral part of the single-family dwellings and the complementary rooflines and landscaping tie the detached accessory units into each parcel.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses and is not encumbered by physical constraints to development. Construction will comply with prevailing building technology, the Uniform Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. The proposed single-family residences with accessory dwelling units will not deprive adjacent properties or the neighborhood of light, air, or open space, in that the structure meets all current setbacks that ensure access to light, air, and open space in the neighborhood.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the single-family residences with accessory dwelling units and the conditions under which they would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-6 (Single-family Residential with 6,000 square foot minimum parcel size) zone district in that the primary use of the property remains single-family residences with accessory dwelling units that meets all current site standards for the zone district.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the Residential - Urban Low (R-UL) land use designation in the County General Plan.

The proposed single-family residences with accessory dwelling units will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meet all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the single-family residences with accessory dwelling units will not adversely shade adjacent properties, and will meet current setbacks for the zone district that ensure access to light, air, and open space in the neighborhood.

The proposed single-family residences with accessory dwelling units will not be improperly proportioned to the parcel size or the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed single-family residences with accessory dwelling units will comply with the site standards for the R-

1-6 zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in structures consistent with a design that could be approved on any similarly sized lots in the vicinity.

A specific plan has not been adopted for this portion of the County

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed single-family residences with accessory dwelling units are to be constructed on existing developed lots. The expected level of traffic generated by the proposed project is anticipated to be only 21 peak trips per day (1 peak trip per dwelling unit), such an increase will not adversely impact existing roads and intersections in the surrounding area.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structures are located in a mixed neighborhood containing a variety of architectural styles, and the proposed single-family residences with accessory dwelling units are designed to be consistent with the land use intensity and density of the Bowker Road neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed single-family residences with accessory dwelling units will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area.

Riparian Exception Findings

1. That there are special circumstances or conditions affecting the property.

The storm water runoff from the proposed subdivision would naturally drain in an easterly direction (towards La Casa Court). There is an existing residential area along Bowker Road (between Freedom Boulevard and La Casa Court) that has historically been flooded due to inadequate drainage facilities. The storm water runoff generated from the proposed subdivision, if not addressed, would exacerbate the flooding situation.

2. That the exception is necessary for the proper design and function of some permitted or existing activity on the property.

The flooding that occurs along Bowker Road currently can be attributed to inadequate drainage

facilities. The drainage plan proposed would alleviate the existing flooding problem by installing new drainpipe and catch basins along Bowker Road and Freedom Boulevard. A new drainage outfall is also proposed within an existing drainage ditch on APN 050-441-03 (refer to Sheet T6 by Roper Engineering). The three parcels included in the land division are zoned R-1-8 and R-1-6. The number of units proposed in the land division is in compliance with the zoning designation.

3. That the granting of the exception will not be detrimental to the public welfare or injurious to other property downstream or in the area in which the project is located.

The installation of the concrete headwall and gabion baskets within the drainage ditch is confined to a 25' x 50' disturbance envelope. The negative Declaration Mitigations (Exhibit C) developed for this project include safeguards to protect water quality, minimize erosion, and stabilize the site upon completion.

4. That the granting of the exception, in the coastal zone, will not reduce or adversely impact the riparian comdor, and there is no feasible less environmentally damaging alternative.

Not applicable. The project is not located in the Coastal Zone

5. That the granting of the exception is in accordance with the purpose of this chapter, and with the objectives of the General Plan and elements thereof, and the Local Coastal Program land use plan.

The granting of the Exception is in accordance with the purpose of Riparian Comdor and Wetlands Protection Ordinances, the objectives of the General Plan and the LUP in that the proposed project will provide protection of the riparian habitat through site-sensitive design, erosion control, and re-vegetation.

Roadway/Roadside Exception Findings

1. Local drainage or topographic conditions render the improvements physically infeasible.

This finding can be made, in that the north property boundary of APN 049-201-15 has a sharp change in slope, which requires a maximum four foot wall to retain the slope next to the sidewalk/curb/gutter improvements adjacent to the Bowker road right-of-way (Detail D-T4, Sheet T4, Exhibit A). This retaining wall would use the space for the landscape strip in along the Lot 12 frontage. Existing mature landscaping, supplemented with additional landscaping, in the front yard of Lot 12 will mitigate the lack of a landscape strip in the public area. All other requirements of the County Design Criteria for the roadway are in compliance. The County standard width of local roads within the Urban Services Line is 56 feet including parking, sidewalks, and landscaping.

County Code Section 15.10.050.f.2 allows for exceptions to roadside improvements when those improvements are not possible due to local topographic conditions.

Conditions of Approval

Land Division 04-0598

Tract Number: 1501

Applicant: John Swift for Hamilton Swift Land Use & Development Consultants, Inc.

Property Owners: Crystal Swink, Adan & Eva Moreno, Jack Baskin

Assessor's Parcel Numbers: 049-201-15, -16, -17

Property Addresses: 46, 54 and 62 Bowker Road in Watsonville

Planning Area: Pajaro Valley

Exhibit A: Project plans:

Architectural Plans by The Envirotechs, 9 sheets dated 11-22-04 revised 6-06-05

Landscape plans by Gregory Lewis, Landscape Architect, 1 sheet dated 6-14-05

Engineering Plans Roper Engineering, 8 sheets 11-19-04, revised 1-18 & 3-13-06

All correspondence and maps relating to this land division shall carry the land number noted above.

- I. This permit authorizes the creation of 12 new parcels, construction of nine single-family residences with accessory dwelling units, relocation of one single-family residence, and reconstruction of two detached garages. Prior to exercising any rights granted by this permit including, without limitation, any construction **or** site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof and
 - B. Submit proof that these conditions have been recorded in the official records **of** the County of Santa Cruz (Office of the County Recorder). The conditions shall also be recorded on the Final Map and are applicable to all resulting parcels.
 - C. Pay a Negative Declaration De Minimus fee of \$25 to the Clerk **of** the Board of the County of Santa Cruz as required by the California Department of Fish and Game mitigation fees program.
- II. A Final Map for this land division must be recorded prior to the expiration date of the tentative map and prior to sale, lease or financing of any new lots. The Final Map shall be submitted to the County Surveyor (Department of Public Works) for review and approval prior to recordation. No improvements, including, without limitation, grading and vegetation removal, shall be done prior to recording the Final Map unless such improvements are

allowable on the parcel as a whole (prior to approval of the land division). The Final Map shall meet the following requirements:

- A. The Final Map shall be in general conformance with the approved Tentative Map and shall conform to the conditions contained herein. All other State and County laws relating to improvement of the property, or affecting public health and safety shall remain fully applicable.
- B. This land division shall result in no more than twelve (12) single-family residential parcels.
- C. The minimum aggregate lot size shall be 6,000 square feet net developable land per unit.
- D. The following items shall be shown on the Final Map:
 - 1. Building envelopes, common area and/or building setback lines located according to the approved Tentative Map. The building envelopes for the perimeter of the project shall meet the minimum setbacks for the R-1-6 zone district of 20 for the front yard, 5 and 8 feet for the side yards, and 15 feet for the rear yard. Street side yards shall be a minimum of 20 feet unless otherwise reduced by a street dedication per County Code.
 - 2. Show the net area of each lot to nearest square foot.
 - 3. The owner's certificate shall include:
 - a. **An** offer of dedication for the road improvements (Bowker Road and Carmela Court). The area dedicated shall be an additional 8 foot width to the existing 40-foot right-of-way for a total 56-foot wide right of way with sidewalk on the Carmela Court side and a cul-de-sac terminus **as** shown on the approved Tentative Map.
- E. The following requirements shall be noted on the Final Map as items to be completed prior to obtaining a building permit on lots created by this land division:
 - 1. Lots shall be connected for water service to the City of Watsonville.
 - 2. Lots shall be connected for sewer service to Santa Cruz County Sanitation District. All regulations and conditions of the Sanitation District shall be met, including annexation of APN 049-201-15 into the District's boundary.
 - 3. All future construction on the lots shall conform to the Architectural Floor Plans and Elevations, and the Perspective Drawing as stated or depicted in the approved Exhibit "A" and shall also meet the following additional conditions:

- a. No changes in the placement of windows that face directly towards existing residential development as shown on the architectural plans, shall be permitted without review and approval by the Planning Commission.
 - b. Notwithstanding the approved preliminary architectural plans, all future development shall comply with the development standards for the R-1-6 zone district. Development on each parcel shall not exceed a 30% lot coverage, or a 50% floor area ratio, or other standard as may be established for the zone district. No fencing shall exceed three feet in height within the required front setback.
 - c. For any structure proposed to be within 2 feet of the maximum height limit for the zone district, the building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site which clearly depict the total height of the proposed structure.
 - d. Individual driveways shall be of colored, stamped, or exposed aggregate paving. Driveways and paving may not exceed 50 percent of the front yards.
 - e. Common walls between the attached accessory units and the single-family dwellings shall provide sound transmission control consistent with UBC Section 1208, STC class of 50 with an approved listed assembly. These units shall further comply with minimum egress requirements of Table 10A and maintain a minimum 1 hour fire rated separation.
4. A final Landscape Plan for the entire site specifying the species, their size, and irrigation plans and meet the following criteria and must conform to all water conservation requirement of the City of Watsonville water conservation regulations:
- a. Turf Limitation. Turf area shall not exceed 25 percent of the total landscaped area. Turf area shall be of low to moderate water-using varieties, such as tall or dwarf fescue.
 - b. Plant Selection. At least 80 percent of the plant materials selected for non-turf areas (equivalent to 60 percent of the total landscaped area) shall be well-suited to the climate of the region and require minimal

water once established (drought tolerant). Native plants are encouraged. Up to 20 percent of the plant materials in non-turf areas (equivalent to 15 percent of the total landscaped area), need not be drought tolerant, provided they are grouped together and can be irrigated separately.

- c. Soil Conditioning. In new planting areas, soil shall be tilled to a depth of 6 inches and amended with six cubic yards of organic material per 1,000 square feet to promote infiltration and water retention. After planting, a minimum of 2 inches of mulch shall be applied to all non-turf areas to retain moisture, reduce evaporation and inhibit weed growth.
- d. Irrigation Management. All required landscaping shall be provided with an adequate, permanent and nearby source of water which shall be applied by an installed irrigation, or where feasible, a drip irrigation system. Irrigation systems shall be designed to avoid runoff, over-spray, low head drainage, or other similar conditions where water flows onto adjacent property, non-irrigated areas, walks, roadways or structures.
 - 1. The irrigation plan and an irrigation schedule for the established landscape shall be submitted with the building permit applications. The irrigation plan shall show the location, size and type of components of the irrigation system, the point of connection to the public water supply and designation of hydrozones. The irrigation schedule shall designate the timing and frequency of irrigation for each station and list the amount of water, in gallons or hundred cubic feet, recommended on a monthly and annual basis.
 - ii. Appropriate irrigation equipment, including the use of a separate landscape water meter, pressure regulators, automated controllers, low volume sprinkler heads, drip or bubbler irrigation systems, rain shutoff devices, and other equipment shall be used to maximize the efficiency of water applied to the landscape.
 - iii. Plants having similar water requirements shall be grouped in distinct hydrozones and shall be irrigated separately.
 - iv. Landscape irrigation should be scheduled between 6:00 p.m. and 11:00 a.m. to reduce evaporative water loss.
- e. All planting shall conform to the landscape plan shown as part of the approved Exhibit "A".

- ## EXHIBIT C

8. Any changes between the approved Tentative Map, including but not limited to the attached exhibits for architectural and landscaping plans, must be submitted for review and approval by the decision-making body. Such proposed changes will be included in a report to the decision making body to consider if they are sufficiently material to warrant consideration at a public hearing noticed in accordance with Section 18.10.223 of the County Code.
9. Prior to Building Permit Application, new Assessor's Parcel Numbers shall be issued by the Office of the County Assessor for each newly created parcel.
10. Building permits for the affordable second units cannot be issued prior to the Homeowner filing a Homeowner's Property Tax Exemption with the Santa Cruz County Assessor's Office.
11. Record a Statement of Acknowledgement for each parcel that acknowledges that each property is in close proximity to land utilized for the City of Watsonville Municipal Airport. Residents of this property may be subject to noise, inconvenience, or discomfort arising from the use of aircraft going to and from said airport and should be prepared to accept such inconvenience or discomfort from normal and necessary airport operations.

II. Prior to recordation of the Final Map, the following requirements shall be met:

- A. Submit a letter of certification from the Tax Collector's Office that there *are* no outstanding tax liabilities affecting the subject parcels.
- B. Meet all requirements of the Santa Cruz County Sanitation District as stated in the District's letter dated 9/17/04 including, without limitation, the following standard conditions:
 1. Submit and secure approval of an engineered sewer improvement plan providing sanitary sewer service to each parcel.
 2. Pay all necessary bonding, deposits, and connections fees, and furnish a copy of the CC&R's to the district.
- C. A Homeowners Association shall be formed for maintenance of all area under common ownership including sidewalks, driveways, all landscaping, drainage structures, water lines, sewer laterals, fences, silt and grease traps and buildings. CC&R's shall be sent furnished to the Planning Department and shall include the following, which are permit conditions:
 1. All landscaping within the public right of way of Bowker Road and Carmela Court shall be permanently maintained by the Homeowners Association.

2. All drainage structures, including silt and grease traps and detention facilities, shall be permanently maintained by the Homeowners Association.
 3. Water Quality: Annual inspection of the silt and grease traps shall be performed and reports sent to the Drainage section of the Department of Public Works on an annual basis. Inspections shall be performed prior to October 15 each year. The expense for inspections and report preparation shall be the responsibility of the Homeowners Association.
- D. Engineered improvement plans for all water line extensions required by The City of Watsonville Water District shall be submitted for the review and approval of the water agency.
- E. All new utilities shall be underground. All facility relocation, upgrades or installations required for utilities service to the project shall be noted on the construction plans. All preliminary engineering for such utility improvements is the responsibility of the owner/applicant. Pad-mounted transformers shall not be located in the front setback or in any area visible from public view unless they are completely screened by walls and/or landscaping (underground vaults may be located in the front setback). Utility equipment such as gas meters and electrical panels shall not be visible from public streets or building entries.
- F. All requirements of the Pajaro Valley Fire Protection District shall be met.
- G. Park dedication in-lieu fees shall be paid for 27 bedrooms in eight (8) dwelling units. No fees are required for the affordable units. These fees are currently \$1,000 per bedroom, but are subject to change.
- H. Child Care Development fees shall be paid for 39 bedrooms in eighteen (18) dwelling units. These fees are currently \$109 per bedroom, but are subject to change.
- I. Transportation improvement fees shall be paid for nine (9) dwelling units. These fees are currently \$3,000 per unit, but are subject to change.
- J. Roadside improvement fees shall be paid for nine (9) dwelling units. These fees are currently \$1,000 per unit, but are subject to change.
- K. Provide required off-street parking for 45 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
- L. Enter into a Certification and Participation Agreement with the County of Santa Cruz to meet the Affordable Housing Requirements specified by Chapter 17.10 of the County Code. This agreement must include the following statements:

1. The developer shall provide one designated affordable unit for sale to moderate income households.
 2. The developer shall pay in-lieu fees for the fractional equivalent of 0.2 units in accordance with the regulations and formulas as specified by Chapter 17.10 of the County Code.
- M. Submit a restoration plan to mitigate impacts to the riparian corridor on APN 050-441-03, during construction of the off site drain pipe and outlet to the Environmental Coordinator. The plan, prepared by a qualified botanist, shall include: revegetation to replace riparian vegetation that is removed or disturbed with native riparian species at 3:1, removal of non native species in the immediate area, an accurate location of the mature cottonwoods sufficient to verify that the Cottonwoods will not be disturbed, provision for monitoring and maintenance, and revegetation along the pipe easement wherever it is not in active agriculture.
- N. Submit a detailed erosion control plan that will prevent sedimentation off site at the subdivision area or into Corralitos Creek at the drainage pipe outlet, for review and approval by the Environmental Coordinator. The plan shall include a system in the drainage to filter flowing water at the worksite, work schedule that specifies how long each aspect of the project that includes earthwork will take and which does not include winter grading (for this project August 15 to April 15), revegetation of bare areas, all storm drainage to pass through silt and grease trap(s) prior to exiting the project, and other BMPs as necessary. If grading has not begun by August 15 it shall be postponed until the following April 15. The plan shall also include provision for maintenance and annual monitoring for three years to verify that erosion is not occurring. If inspections indicate erosion is occurring the applicant shall submit plans for correction.
- O. Submit and secure approval of engineered improvement plans from the Department of Public Works and the Planning Department for all roads, curbs and gutters, storm drains, erosion control, and other improvements required by the Subdivision Ordinance, noted on the attached tentative map and/or specified in these conditions of approval. A subdivision agreement backed by financial securities (equal to 150% of engineer's estimate of the cost of improvements), per Sections 14.01.510 and 511 of the Subdivision Ordinance, shall be executed to guarantee completion of this work. Improvement plans shall meet the following requirements:
1. All improvements shall be prepared by a registered civil engineer and shall meet the requirements of the County of Santa Cruz Design Criteria except as modified in these conditions of approval. Plans shall also comply with applicable provisions of the Americans With Disabilities Act and/or Title 24 of the State Building Code.
 - a. The construction of the proposed access road, Carmela Court, shall include a 56-foot right of way, as shown on the project plans, a 36 foot paved road section, planting strips of 6-foot and 4 foot sidewalks on each side of the roadway. A Roadside/Roadway Exception is

required to vary from County Standards with respect to the elimination of a planting strip in front of **Lot 12** on Bowker Road to accommodate a retaining wall.

2. Complete drainage details including existing and proposed contours, plan views and centerline profiles of all driveway improvements, complete drainage calculations and all volumes of excavated and fill soils.

III. Prior to any site disturbance or physical construction on the subject property the following condition shall be met:

- A. **Pre-Construction Meeting:** In order to ensure that the mitigation measures are communicated to the various parties responsible for constructing the project, prior to any disturbance on the property the applicant shall convene a pre-construction meeting on the site. The following parties shall attend: applicant, grading contractor supervisor, project arborist, and Santa Cruz County Environmental Planning staff. The temporary construction fencing demarcating the edge of the riparian corridor setback and the tree protection fencing will be inspected at that time.

IV. All future construction within the property shall meet the following conditions:

- A. All work adjacent to or within a County road shall be subject to the provisions of Chapter 9.70 of the County Code, including obtaining an encroachment permit where required. Where feasible, all improvements adjacent to or affecting a County road shall be coordinated with any planned County-sponsored construction on that road. Obtain an Encroachment Permit from the Department of Public Works for any work performed in the public right of way. All work shall be consistent with the Department of Public Works Design Criteria unless otherwise specifically excepted by these conditions of approval.
- B. No land clearing, grading or excavating shall take place between August 15 and April 15 unless the Planning Director approves a separate winter erosion-control plan that may or may not be granted.
- C. No land disturbance shall take place prior to issuance of building permits (except the minimum required to install required improvements, provide access for County required tests or to carry out work required by another of these conditions).
- D. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.

- E. To minimize noise, dust and nuisance impacts of surrounding properties to insignificant levels during construction, the owner/applicant shall or shall have the project contractor, comply with the following measures during all construction work:
 - I. Limit all construction to the time between 8:00 am and 5:00 pm weekdays unless a temporary exception to this time restriction is approved in advance by County Planning to address and emergency situation; and
 - 2. Each day it does not rain, wet all exposed soil frequently enough to prevent significant amounts of dust from leaving the site.
 - 3. The applicant shall designate a disturbance coordinator and a 24-hour contact number shall be conspicuously posted on the job site. The disturbance coordinator shall record the name, phone number, and nature of all complaints received regarding the construction site. The disturbance coordinator shall investigate complaints and take remedial action, if necessary, within **24** hours of receipt of the complaint or inquiry.
- F. Construction of improvements shall comply with the requirements of the geotechnical report (Mike Van Horn, Engineering, dated 8-16-04 with Addendum 9-09-04). The geotechnical engineer shall inspect the completed project and certify in writing that the improvements have been constructed in conformance with the geotechnical report.
- G. All required land division improvements shall be installed and inspected prior to final inspection clearance for any new structure on the new lots.
- H. Install improvements to the existing bus stop on Bowker, south of Calababas Road with a concrete pad with ramp as per Santa Cruz Metro requirements 8-29-05.

V. Operational Conditions

The following occupancy standards shall be applied to every affordable second unit:

- a) The property owner shall permanently reside, as evidenced by a Homeowner's Property Tax Exemption on the parcel, in either the main dwelling or the second unit. If the property owner resides in the second unit, either the property owner or the residents of the primary single-family dwelling must meet the income or familial requirements below.
- b) The maximum occupancy of a second unit may not exceed that allowed by the State Uniform Housing Code, or other applicable state law, based on the unit size and number of bedrooms in the unit. Rental or permanent occupancy of the second unit shall be limited for the life of the unit to either:
 - 1) Households that meet the Income and asset Guidelines requirements established by Board resolution for moderate or lower income

households; or

- 2) Senior households, where one household member is sixty-two years of age **or** older, that meet the Income and Asset Guideline requirements established by Board resolution for moderate or lower income households; or
- 3) Persons sharing residency with the property owner and who are related by blood, marriage, or operation of law, or have a stable family relationship with the property owner.

VI. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.

- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (**60**) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify **or** cooperate was significantly prejudicial to the Development Approval Holder.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions **of** the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.
- E. Within 30 days of the issuance of this development approval, the Development Approval Holder shall record in the office of the Santa Cruz County Recorder an agreement, which incorporates the provisions of this condition, or this development approval shall become null and void.

VII. Mitigation Monitoring Program

The mitigation measures listed under this heading have been incorporated in the conditions of approval **for** this project in order to mitigate or avoid significant effects on the environment. As required by Section 21081.6 of the California Public Resources Code, a monitoring and reporting program for the above mitigation is hereby adopted as a condition of approval **for** this project. This program is specifically described following each mitigation measure listed below. The purpose of this monitoring is to ensure compliance with the environmental mitigations during project implementation and operation. Failure to comply with the conditions of approval, including the terms of the adopted monitoring program, may result in permit revocation pursuant to section 18.10.462 of the Santa Cruz County Code.

A. Mitigation Measure: Pre-Construction Meeting (Condition III.A)

1. Monitoring Program: In order to ensure that the mitigation measures are communicated to the various parties responsible for constructing the project, prior to any disturbance on the property the applicant shall convene a pre-construction meeting on the site. The following parties shall attend: applicant, grading contractor supervisor, project arborist, and Santa **Cruz** County Environmental Planning staff. The temporary construction fencing demarcating the edge of the riparian comdor setback and the tree protection fencing will be inspected at that time.

B. Mitigation Measure: Water quality (Condition II.C.3)

1. Monitoring Program: To protect ground and surface water from degradation due to silt, grease, and other contaminants fiom paved surfaces, prior to approval of the improvement plans the applicant/owner shall modify the drainage plan to include a silt and grease trap to protect Corralitos Creek. The traps shall be maintained according **to** the following monitoring and maintenance procedures:
 - a. The traps shall be inspected to determine if they need cleaning or repair prior to October 15 each year, at a minimum interval of once per year.
 - b. **A brief** annual report shall **be** prepared by the trap inspector at the conclusion of each October inspection **and** submitted to the Drainage Section of the Department of Public **Works** within 5 days of the inspection. This monitoring report shall specify any repairs that have been done or that **are** needed to allow the trap to function adequately.

C. Mitigation Measure: Riparian Corridor Protection on APN 050-441-03 (Conditions II.M & N).

1. Monitoring Program: In order to mitigate impacts to the riparian conidor a riparian vegetation restoration plan for the construction of the off site drain

Application #: 04-0598

APN: 049-201-15, -16, -17; 049-201-35; 050-441-03

Owners: Crystal Swink, Adan & Eva Moreno, Jack Baskin. David & Marlene Hams, Sandra Treffry

pipe and outlet shall be approved by the Environmental Coordinator. A detailed erosion control plan that will prevent sedimentation off site at the subdivision area or into Corralitos Creek at the drainage pipe outlet shall be approved by the Environmental Coordinator.

AMENDMENTS TO THIS LAND DIVISION APPROVAL SHALL BE PROCESSED IN ACCORDANCE WITH CHAPTER 18.10 OF THE COUNTY CODE.

This Tentative Map is approved subject to the above conditions and the attached map, and expires **24** months after the 14-day appeal period. The Final map for this division, including improvement plans, if required, should be submitted to the County Surveyor for checking at least 90 days prior to the expiration date and in no event later than **3** weeks prior to the expiration date.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Cathy Graves
Principal Planner

Joan Van der Hoeven
Project Planner

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Planning Commission, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX (831) 454-2131 TDD (831) 454-2123
TOM BURNS. PLANNING DIRECTOR

NOTICE OF ENVIRONMENTAL REVIEW PERIOD

SANTA CRUZ COUNTY

APPLICANT: John Swift, Hamilton-Swift Land Use & Development Consultants, Inc., for
Crystal Swink, Adan & Eva Moreno, Jack Baskin

APPLICATION NO.: 04-0598

APN: 049-201-15, -16 & -17

The Environmental Coordinator has reviewed the Initial Study for your application and made the following preliminary determination:

- ☒ XX Negative Declaration
(Your project will not have a significant impact on the environment.)
- ☒ XX Mitigations will be attached to the Negative Declaration.
- ☐ No mitigations will be attached.
- ☐ Environmental Impact Report
(Your project may have a significant effect on the environment. An EIR must be prepared to address the potential impacts.)

As part of the environmental review process required by the California Environmental Quality Act (CEQA), this is your opportunity to respond to the preliminary determination before it is finalized. Please contact Paia Levine, Environmental Coordinator at (831) 454-3178, if you wish to comment on the preliminary determination. Written comments will be received until 5:00 p.m. on the last day of the review period.

Review Period Ends: May **24, 2006**

Joan Van der Hoeven
Staff Planner

Phone: 454-5174

Date: April 18, 2006

NAME: Hamilton-Swift Land Use & Development Consultants, Inc.
APPLICATION: 04-0598
A.P.N: 049-201-15, -16 & -17, 049-201-35, 050-44 -03

NEGATIVE DECLARATION MITIGATIONS

- A. In order to ensure that the mitigation measures below are communicated to the various parties responsible for constructing the project, prior to any disturbance on the property the applicant shall convene a pre-construction meeting on the site to focus on the off site drainage system. The following parties shall attend: applicant, grading contractor supervisor, and Santa Cruz County Resource Planning. The temporary construction fencing demarcating the disturbance envelope, tree protection, downstream filter system, and silt fencing will be inspected at that time.
- B. In order to mitigate impacts to the riparian corridor, a sensitive habitat, prior to recording of the final map the applicant shall submit:
1. A restoration plan for the construction of the offsite drain pipe and outlet, for review and approval by the Environmental Coordinator. The plan, prepared by a qualified botanist, shall include: revegetation to replace riparian vegetation that is removed or disturbed with native riparian species at 3:1, removal of non native species in the immediate area, an accurate location of the mature cottonwoods sufficient to verify that the Cottonwoods will not be disturbed, provision for monitoring and maintenance, and revegetation along the pipe easement wherever it is not in active agriculture;
 2. A detailed erosion control plan that will prevent sedimentation off site at the subdivision area or into Corralitos Creek at the drainage pipe outlet, for review and approval by the Environmental Coordinator. The plan shall include a system in the drainage to filter flowing water at the worksite, work schedule that specifies how long each aspect of the project that includes earthwork will take and which does not include winter grading (October 15 to April 15), revegetation of bare areas, all storm drainage to pass through silt and grease trap(s) prior to exiting the project, and other BMPs as necessary. If grading has not begun by September 1 it shall be postponed until the following April 15. The plan shall also include provision for maintenance and annual monitoring for three years to verify that erosion is not occurring. If inspections indicate erosion is occurring the applicant shall submit plans for correction.
- C. To prevent project drainage discharges from carrying silt, grease, and other contaminants, the applicant shall install silt and grease traps such that all storm water exiting the project goes through a trap. The traps shall be maintained according to the following monitoring and maintenance schedule:
1. The traps shall be inspected to determine if they need cleaning or repair prior to October 15 each year, at a minimum interval of once per year;
 2. A brief annual report shall be prepared by the trap inspector at the conclusion of each October inspection and submitted to the Drainage Section of the Department of Public Works within 5 days of inspection. This monitoring report shall specify any repairs that have been done or that are needed to allow the trap to function adequately.



Environmental Review Initial Study

Application Number: **04-0598**

Date: April 17, 2006

Staff Planner: Joan Van der Hoeven

I. OVERVIEW AND ENVIRONMENTAL DETERMINATION

APPLICANT: John Swift, Hamilton-Swift
Land Use & Development Consultants,
Inc.

APN's: 049-201-15, -16 & -17
049-201-35 (retaining wall to the east)
050-441-03 (storm drain outlet)

OWNERS: Crystal Swink, Adan & Eva
Moreno, Jack Baskin

SUPERVISORAL DISTRICT: Second
(Pirie)

LOCATION: Properly located on the west side of Bowker Road, about 400 feet north from Freedom Boulevard at 46, 54 and 62 Bowker Road in Watsonville.

SUMMARY PROJECT DESCRIPTION: Proposal to create a 12-lot subdivision from three parcels and to construct an off-site storm drain outlet. Requires a rezoning of Assessor's Parcel Numbers 049-201-15 and 049-201-16 from R-1-8 to R-1-6, an archaeological site review, preliminary grading review, design review, soils report review, Riparian Exception, and approval of a Tentative Map.

ALL OF THE FOLLOWING POTENTIAL ENVIRONMENTAL IMPACTS ARE EVALUATED IN THIS INITIAL STUDY. CATEGORIES THAT ARE MARKED HAVE BEEN ANALYZED IN GREATER DETAIL BASED ON PROJECT SPECIFIC INFORMATION.

<input checked="" type="checkbox"/> Geology/Soils	<input type="checkbox"/> Noise
<input checked="" type="checkbox"/> Hydrology/Water Supply/Water Quality	<input type="checkbox"/> Air Quality
<input type="checkbox"/> Energy & Natural Resources	<input checked="" type="checkbox"/> Public Services & Utilities
<input checked="" type="checkbox"/> Visual Resources & Aesthetics	<input checked="" type="checkbox"/> Land Use, Population & Housing
<input checked="" type="checkbox"/> Cultural Resources	<input type="checkbox"/> Cumulative Impacts
<input type="checkbox"/> Hazards & Hazardous Materials	<input type="checkbox"/> Growth Inducement
<input checked="" type="checkbox"/> Transportation/Traffic	<input checked="" type="checkbox"/> Mandatory Findings of Significance

County of Santa Cruz Planning Department
701 Ocean Street, 4th Floor, Santa Cruz CA 95060

DISCRETIONARY APPROVAL(S) BEING CONSIDERED

General Plan Amendment	✓	Grading Permit
✓ Land Division	✓	Riparian Exception
✓ Rezoning	_____	Other:
✓ Development Permit	_____	
Coastal Development Permit	_____	

NON-LOCAL APPROVALS

Other agencies that must issue permits or authorizations: City of Watsonville water connections.

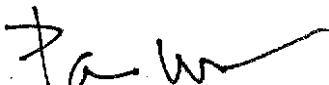
ENVIRONMENTAL REVIEW ACTION

On the basis of this Initial Study and supporting documents:

___ I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.

X I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the attached mitigation measures have been added to the project. A MITIGATED NEGATIVE DECLARATION will be prepared.

___ I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.



Paia Levine



Date

For: Ken Hart
Environmental Coordinator

II. BACKGROUND INFORMATION

EXISTING SITE CONDITIONS

Parcel Sizes: 42,166 square feet (APN 049-201-15), 42,340 square feet (APN 049-201-16), 23,130 square feet (APN 049-201-17) (approx 2.5 acres total)

Existing Land Use: Single-family residential

Vegetation: suburban landscaping

Slope in area affected by project: 100% 0 - 30% 31 - 100%

Nearby Watercourse: Corralitos Creek

Distance ~~To~~: 1.500 feet

ENVIRONMENTAL RESOURCES AND CONSTRAINTS

Groundwater Supply: N/A

Water Supply Watershed: N/A

Groundwater Recharge: N/A

Timber or Mineral: N/A

Agricultural Resource: N/A

Biologically Sensitive Habitat: Mapped

Fire Hazard: N/A

Floodplain: N/A

Erosion: Grading & erosion control plan

Landslide: N/A

Liquefaction: Low to nil

Fault Zone: N/A

Scenic Corridor: N/A

Historic: N/A

Archaeology: Mapped resource

Noise Constraint: N/A

Electric Power Lines: N/A

Solar Access: Adequate

Solar Orientation: Adequate

Hazardous Materials: N/A

SERVICES

Fire Protection: Pajaro Valley FPD

School District: PVUSD

Sewage Disposal: Freedom Sanitation

Drainage District: Zone 7A

Project Access: Bowker Road

Water Supply: City of Watsonville

PLANNING POLICIES

Zone District: R-1-6, R-1-8

General Plan: Urban Low Residential

Urban Services Line: X Inside

Coastal Zone: Inside

Special Designation: N/A

 Outside

X Outside

PROJECT SETTING AND BACKGROUND: The existing three parcels are located in the Pajaro Valley Planning Area. The three properties are developed with a single-family dwelling on each parcel. The project site is surrounded by residential development on all sides. Two of the parcels, Assessor's Parcel Numbers 049-201-15 & -16 are proposed to be re-zoned from R-1-8 to R-1-6 to accommodate the proposed development of nine new residences and accessory units with the existing three single-family dwellings on the combined 2.5-acre parcel. With the proposed rezoning, the project would be consistent with all development regulations of the R-1-6 zone district. The project includes a proposed new drainage system that will collect and transport drainage from the new lots, Bowker Road and Freedom Boulevard into a storm drain outlet that daylights at APN 050-441-03 and enters a tributary of Corralitos Creek. This

will help to correct an existing drainage problem in the low-lying areas next to Freedom Boulevard on the south side, The project is consistent with the General Plan Urban Low Residential designation..

DETAILED PROJECT DESCRIPTION:

The proposal is to combine three existing parcels, each developed with a single-family dwelling, and to reconfigure the combined 2.5-acre parcel into 12 lots. The project requires a rezoning of Parcels 049-201-15 & -16 from R-1-8 to R-1-6. The rezoning proposal remains consistent with the R-UL, Urban Low Residential, General Plan designation. The three existing homes are to be retained on the site, with the home on APN 049-201-16 to be relocated on the site. Total number of new residential units, with the planned habitable accessory structures, will be 18. The project site is of relatively flat configuration with a sharp break in slope adjacent to APN 049-201-15. Grading quantities of 1,000 cubic yards of strippings, 1,500 cubic yards of excavation, and 1,250 cubic yards of fill are proposed. The adjacent area down slope from the project site has been plagued with localized flooding during rain events. Offsite drainage improvements which will collect and channel drainage from the neighborhood down Bowker Road, across Freedom Boulevard, to a storm drain outlet at APN 050-441-03 and into Corralitos Creek will help address this existing problem. An off-site retaining wall on APN 049-201-35 is proposed to address the potential for localized slope instability (Attachments 9).

The site was preliminarily identified as potential Santa Cruz tarplant habitat. A habitat assessment survey and seedbank evaluation were conducted, pursuant to State Fish & Game direction, with the finding that it is highly unlikely that a viable seed bank exists on this site (Attachments 11, 12). No trees are proposed to be removed with the development (Attachment 16). Cottonwood trees at the storm drain outfall site APN 050-441-03 are required to be retained.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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111. ENVIRONMENTAL REVIEW CHECKLIST

A. Geology and Soils

Does the project have the potential to:

1. Expose people or structures to potential adverse effects, including the risk of material loss, injury, or death involving:

- A. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or as identified by other substantial evidence?

X

- B. Seismic ground shaking?

X

- C. Seismic-related ground failure, including liquefaction?

X

- D. Landslides?

X

All of Santa Cruz County is subject to some hazard from earthquakes. However, the project site is not located within or adjacent to a county or State mapped fault zone. A geotechnical investigation for the proposed project was performed by Mike Van Horn (Attachment 8). The report concluded that the site is suitable for the proposed subdivision provided that all recommendations of the geotechnical investigation are closely followed. The potential for liquefaction at the site is low to nil.

2. Subject people or improvements to damage from soil instability as a result of on- or off-site landslide, lateral spreading, to subsidence, liquefaction, or structural collapse?

X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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The geotechnical report cited above did not identify a significant potential for damage caused by any of these hazards. There is an existing cut slope along the north property boundary which is subject to localized failure. The slope is proposed to be retained by a two to four foot high masonry retaining wall constructed down-slope on APN 049-201-35. An easement has been created to construct this wall. This wall will stabilize the slope.

3. Develop land with a slope exceeding 30%?

X

There are slopes that exceed 30% on the property. However, no improvements are proposed on slopes in excess of 30%. The one cut slope that is a constraint will be addressed by a retaining wall. See A-2 above.

4. Result in soil erosion or the substantial loss of topsoil?

X

Some potential for erosion exists during the construction phase of the subdivision, however, this potential is minimal because standard erosion controls are a required condition of the project. Prior to approval of a grading or building permit, the project must have an approved Erosion Control Plan, which will specify detailed erosion and sedimentation control measures. The plan will include provisions for disturbed areas to be planted with ground cover and to be maintained to minimize surface erosion.

The proposed off site drainage pipe and outlet, however, do have the potential to create erosion in the drainage channel that is immediately upstream of Corralitos Creek. Corralitos Creek is a salmonid stream and it is essential that sediment not be allowed to collect in the drainage, and that discharge from the pipe be regulated and dissipated such that chronic channel erosion does not occur. A restoration plan is required to be implemented in areas of site disturbance with planting of willows and native blackberries. A condition of approval will require annual inspection of the outlet for three years in order to verify that the erosion control is adequate and erosion problems have not developed.

5. Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code(1994), creating substantial risks to property?

X

The geotechnical report for the project did not identify any elevated risk associated with expansive soils.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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6. Place sewage disposal systems in areas dependent upon soils incapable of adequately supporting the use of septic tanks, leach fields, or alternative waste water disposal systems? _____ X

No septic systems are proposed. The project will connect to the Santa Cruz County Sanitation District, and the applicant will be required to pay standard sewer connection and service fees that fund sanitation improvements within the district as a Condition of Approval for the project.

7. Result in coastal cliff erosion? _____ X

B. Hydrology, Water Supply and Water Quality

Does the project have the potential to:

1. Place development within a 100-year flood hazard area? _____ X

According to the Federal Emergency Management Agency (FEMA) National Flood Insurance Rate Map, dated April 15, 1986, no portion of the project site lies within a 100-year flood hazard area.

2. Place development within the floodway resulting in impedance or redirection of flood flows? _____ X

According to the Federal Emergency Management Agency (FEMA) National Flood Insurance Rate Map, dated April 15, 1986, no portion of the project site lies within a 100-year flood hazard area.

3. Be inundated by a seiche or tsunami? _____ X

4. Deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit, or a significant _____ X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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contribution to an existing net deficit in available supply, or a significant lowering of the local groundwater table?

The project will obtain water from the City of Watsonville and will not rely on private well water. Although the project will incrementally increase water demand, the City of Watsonville has indicated that adequate supplies are available to serve the project (Attachment 14). The project is not located in a mapped groundwater recharge area.

5. Degrade a public or private water supply? (Including the contribution of urban contaminants, nutrient enrichments, or other agricultural chemicals or seawater intrusion).

X

Runoff from this project may contain small amounts of chemicals and other household contaminants. No commercial or industrial activities are proposed that would contribute a significant amount of contaminants to a public or private water supply. Potential siltation from the proposed project, both at the homesites and the off site drainage pipe, will be mitigated through implementation of erosion control measures.

6. Degrade septic system functioning?

X

There is no indication that existing septic systems in the vicinity would be affected by the project.

7. Alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner which could result in flooding, erosion, or siltation on or off-site?

X

There are existing seasonal, localized flooding problems which this project seeks to address with construction of off-site drainage improvements to divert surface drainage to Corralitos Creek (Attachments 5, 9). The system will collect runoff from the subdivision, Bowker Road, and portions of Freedom Boulevard. It will convey the runoff to an outlet in a small drainage tributary to Corralitos Creek. The discharge expected at the pipe is 22.8 cubic feet per second (Attachment 5). The measures that will be taken to prevent erosion in the channel are timing to avoid wet season work, installation of gabion erosion protection and restoration of riparian vegetation, including planting of

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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willows, poison oak and blackberry brambles (Attachment 5). On balance, there will be a net improvement in the drainage pattern. Department of Public Works Drainage Section staff has reviewed and approved the proposed drainage plan.

8. Create or contribute runoff which would exceed the capacity of existing or planned storm water drainage systems, or create additional source(s) of polluted runoff?

X

Drainage Calculations prepared by Roper Engineering, dated 11-12-04, revised 6-09-05 and 3-13-06, have been reviewed for potential drainage impacts and accepted by the Department of Public Works (DPW) Drainage Section staff. DPW staff has determined that existing storm water facilities are adequate to handle the increase in drainage associated with the project (Attachment 13). The current drainage system does not function effectively resulting in localized flooding during winter months. This project shall not contribute to the existing drainage problems in the vicinity and it will create a net benefit by collecting runoff originating elsewhere. Refer to response B-5 for discussion of urban contaminants and/or other polluting runoff.

9. Contribute to flood levels or erosion in natural water courses by discharges of newly collected runoff?

X

Best Management Practices, approved by the Public Works Drainage Division, are required to mitigate any potential runoff from the site. At the offsite drainage outlet gabion protection, adequate to address the expected discharge velocity, will be installed and vegetated to prevent erosion.

10. Otherwise substantially degrade water supply or quality?

X

A silt and grease trap, and a plan for maintenance, will be required to minimize the effects of urban pollutants. A filter system in the drainage channel tributary to Corralitos Creek is required to control turbid water while the drainage outlet is being constructed.

C. Biological Resources

Does the project have the potential to:

1. Have an adverse effect on any species identified as a candidate, sensitive, or special status species, in local or regional plans, policies, or regulations,

X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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or by the California Department of Fish and Game, or U.S. Fish and Wildlife Service?

The parcels were identified as potentially having Santa Cruz Tarplant (*Holocarpha macradenia*) present. There is an existing population nearby at the Watsonville Municipal Airport property. A Biotic Assessment and surveys were prepared for this project by Central Coast Wilds, dated 6-15-05 (Attachment 12) which did not reveal any Tarplant individuals. In addition, a seed bank evaluation was prepared in order to rule out impacts on Tarplant seeds that had not yet expressed in the environment. This information has been reviewed and accepted by the Planning Department Environmental Section (Attachment 14) and the California Department of Fish and Game.

2. Have an adverse effect on a sensitive biotic community (riparian corridor), wetland, native grassland, special forests, intertidal zone, etc.)?

X

The Habitat Assessment for Santa Cruz Tarplant found no viable seed bank on the project site (Attachment 11, 12). A habitat evaluation was performed with four subsequent monitoring surveys, No viable seed bank was found to exist on the project site, so there is no impact. See also C-1.

3. Interfere with the movement of any native resident or migratory fish or wildlife species, or with established native resident or migratory wildlife corridors, or impede the use of native or migratory wildlife nursery sites?

X

The potential for sedimentation on Corralitos Creek is to be mitigated by gabion baskets and riparian vegetation to prevent erosion of the channel. Willows shall be planted to control erosion and a filter system is required at the drainage pipe outlet in the channel tributary to Corralitos Creek.

4. Produce nighttime lighting that will illuminate animal habitats?

X

The subject property is located in an urbanized area and is surrounded by existing residential development that currently generates nighttime lighting. There are no sensitive animal habitats within or adjacent to the project site.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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5. Make a significant contribution to the reduction of the number of species of plants or animals?

X

Refer to C-1, C-2 and C-3 above

6. Conflict with any local policies or ordinances protecting biological resources (such as the Significant Tree Protection Ordinance, Sensitive Habitat Ordinance, provisions of the Design Review ordinance protecting trees with trunk sizes of 6 inch diameters or greater)?

X

All existing trees are to be retained as part of the development (Attachment 16). The project will not conflict with any local policies or ordinances. Existing cottonwood trees at the storm drain outlet site, APN 050-441-03, shall be retained.

7. Conflict with the provisions of an adopted Habitat Conservation Plan, Biotic Conservation Easement, or other approved local, regional, or state habitat conservation plan?

X

D. Energy and Natural Resources

Does the project have the potential to:

1. Affect or be affected by land designated as "Timber Resources" by the General Plan?

X

2. Affect or be affected by lands currently utilized for agriculture, or designated in the General Plan for agricultural use?

X

The project site is not currently being used for agriculture and no agricultural uses are proposed for the site or surrounding vicinity. Off-site drainage improvements on the agricultural 5.5-acre Teffrey property, APN 050-441-03, which will result in minimal

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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disturbance along the southern property boundary. Active agricultural area will not be lost to production.

3. Encourage activities that result in the use of large amounts of fuel, water, or energy, or use of these in a wasteful manner?

X

4. Have a substantial effect on the potential use, extraction, or depletion of a natural resource (i.e., minerals or energy resources)?

X

E. Visual Resources and Aesthetics

Does the project have the potential to:

1. Have an adverse effect on a scenic resource, including visual obstruction of that resource?

X

The project will not directly impact any public scenic resources, as designated in the County's General Plan (1994), or obstruct any public views of these visual resources.

2. Substantially damage scenic resources, within a designated scenic corridor or public view shed area including, but not limited to, trees, rock outcroppings, and historic buildings?

X

The project site is not located along a County designated scenic road or within a designated scenic resource area.

3. Degrade the existing visual character or quality of the site and its surroundings, including substantial change in topography or ground surface relief features, and/or development on a ridge line?

X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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The existing visual setting is residential. The proposed project is designed and landscaped so as to fit into this setting.

4. Create a new source of light or glare which would adversely affect day or nighttime views in the area?

X

The project will create an incremental increase in night lighting. However, this increase will be small, and will be similar in character to the lighting associated with the surrounding existing uses.

5. Destroy, cover, or modify any unique geologic or physical feature?

X

There are no unique geological or physical features on or adjacent to the site that would be destroyed, covered, or modified by the project.

F. Cultural Resources

Does the project have the potential to:

1. Cause an adverse change in the significance of a historical resource as defined in CEQA Guidelines 15064.5?

X

The existing structure(s) on the property is not designated as a historic resource on any federal, State or local inventory.

2. Cause an adverse change in the significance of an archaeological resource pursuant to CEQA Guidelines 15064.5?

X

According to the Santa Cruz County Archeological Society site assessment, dated 1-27-05 (Attachment IO), there is no evidence of pre-historic cultural resources. However, pursuant to Section 16.40.040 of the Santa Cruz County Code, if archeological resources are uncovered during construction, the responsible persons shall immediately cease and desist from all further site excavation and comply with the notification procedures given in County Code Chapter 16.40.040.

3. Disturb any human remains, including those interred outside of formal cemeteries?

X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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Pursuant to Section 16.40.040 of the Santa Cruz County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this project, human remains are discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the sheriff-coroner and the Planning Director. If the coroner determines that the remains are not of recent origin, a full archeological report shall be prepared and representatives of the local Native California Indian group shall be contacted. Disturbance shall not resume until the significance of the archeological resource is determined and appropriate mitigations to preserve the resource on the site are established.

4. Directly or indirectly destroy a unique paleontological resource or site? _____ X

G. Hazards and Hazardous Materials

Does the project have the potential to:

1. Create a significant hazard to the public or the environment as a result of the routine transport, storage, use, or disposal of hazardous materials, not including gasoline or other motor fuels? _____ X

2. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? _____ X

The project site is not included on the list of hazardous sites in Santa Cruz County compiled pursuant to the specified code.

3. Create a safety hazard for people residing or working in the project area as a result of dangers from aircraft using a public or private airport located within two miles of the project site? _____ X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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4.	Expose people to electro-magnetic fields associated with electrical transmission lines?	_____	_____X_____
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5.	Create a potential fire hazard?	_____X_____	_____
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The project design incorporates all applicable fire safety code requirements and will include fire protection devices as required by the local fire agency.

6.	Release bio-engineered organisms or chemicals into the air outside of project buildings?	_____	_____X_____
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H. Transportation/Traffic

Does the project have the potential to:

1.	Cause an increase in traffic that is substantial in relation to the existing traffic load and capacity of the street system (i.e., substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?	_____X_____	_____
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The project will create a small incremental increase in traffic on nearby roads and intersections. However, given the small number of new trips, approximately 1.5 peak hour trips per lot, this increase is less than significant. Further, the increase will not cause the Level of Service at any nearby intersection to drop below Level of Service D.

2.	Cause an increase in parking demand which cannot be accommodated by existing parking facilities?	_____X_____	_____
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The project meets the code requirements for the required number of parking spaces and therefore new parking demand will be accommodated on Site.

3.	Increase hazards to motorists, bicyclists, or pedestrians?	_____X_____	_____
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The proposed project will comply with current road requirements to prevent potential

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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hazards to motorists, bicyclists, and/or pedestrians.

4. Exceed, either individually (the project alone) or cumulatively (the project combined with other development), a level of service standard established by the county congestion management agency for designated intersections, roads or highways?

_____	_____X_____
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See response H-1 above.

I. Noise

Does the project have the potential to:

1. Generate a permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

_____	_____X_____
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The project will create an incremental increase in the existing noise environment. However, this increase will be small, and will be similar in character to noise generated by the surrounding existing uses.

2. Expose people to noise levels in excess of standards established in the General Plan, or applicable standards of other agencies?

_____	_____X_____
-------	-------------

There is no indication that average hourly noise levels will exceed the General Plan threshold of 50 Leq during the day and 45 Leq during the nighttime.

3. Generate a temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?

_____	_____X_____
-------	-------------

Noise generated during construction will increase the ambient noise levels for adjoining areas. Construction will be temporary, however, and given the limited duration of this impact it is considered to be less than significant.

J. Air Quality

Does the project have the potential to:

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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(Where available, the significance criteria established by the MBUAPCD may be relied upon to make the following determinations).

- | | |
|--|---|
| 1. Violate any air quality standard or contribute substantially to an existing or projected air quality violation? | X |
|--|---|

The North Central Coast Air Basin does not meet State standards for ozone and particulate matter (PM10). Therefore, the regional pollutants of concern that would be emitted by the project are ozone precursors (Volatile Organic Compounds [VOCs] and nitrogen oxides [NOx]), and dust.

Given the modest amount of new traffic, approximately 16 peak hour trips total, that will be generated by the project there is no indication that new emissions of VOCs or NOx will exceed Monterey Bay Unified Air Pollution Control District (MBUAPCD) thresholds for these pollutants and therefore there will not be a significant contribution to an existing air quality violation.

Project construction may result in a short-term, localized decrease in air quality due to generation of dust. However, standard dust control best management practices, such as periodic watering, will be implemented during construction to reduce impacts to a less than significant level.

- | | |
|---|---|
| 2. Conflict with or obstruct implementation of an adopted air quality plan? | X |
|---|---|

The project will not conflict with or obstruct implementation of the regional air quality plan. See J-1 above.

- | | |
|--|---|
| 3. Expose sensitive receptors to substantial pollutant concentrations? | X |
|--|---|

- | | |
|---|---|
| 4. Create objectionable odors affecting a substantial number of people? | X |
|---|---|

K. Public Services and Utilities

Does the project have the potential to:

1. Result in the need for new or physically altered public facilities, the construction of which could cause

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for any of the public services:

- | | |
|---|-------------|
| a. Fire protection? | _____X_____ |
| b. Police protection? | _____X_____ |
| c. Schools? | _____X_____ |
| d. Parks or other recreational activities? | _____X_____ |
| e. Other public facilities; including the maintenance of roads? | _____X_____ |

While the project represents an incremental contribution to the need for services, the increase will be minimal. Moreover, the project meets all of the standards and requirements identified by the local fire agency and school, park, and transportation fees to be paid by the applicant will be used to offset the incremental increase in demand for school and recreational facilities and public roads.

2. Result in the need for construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? _____X_____

Drainage analysis of the project by Roper Engineering dated 11-12-04 and 6-09-05 (Attachment 9) concluded that drainage swales be incorporated into the project to proposed catch basins. Department of Public Works Drainage staff have reviewed the drainage information and have determined that downstream storm facilities, once proposed off site improvements are constructed, are adequate to handle the increase in drainage associated with the project (Attachment 13).

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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3. Result in the need for construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?

The project will connect to an existing municipal water supply. The City of Watsonville has determined that adequate supplies are available to serve the project (Attachment 14).

Municipal sewer service is available to serve the project, as reflected in the attached letter from the Freedom County Sanitation District (Attachment 15).

4. Cause a violation of wastewater treatment standards of the Regional Water Quality Control Board?

X

The project's wastewater flows will not violate any wastewater treatment standards.

5. Create a situation in which water supplies are inadequate to serve the project or provide fire protection?

X

The water mains serving the project site provide adequate flows and pressure for fire suppression. Additionally, the Pajaro Valley Fire protection District has reviewed and approved the project plans, assuring conformity with fire protection standards that include minimum requirements for water supply for fire protection.

6. Result in inadequate access for fire protection?

X

The project's road access meets County standards and has been approved by the Pajaro Valley Fire Protection District.

7. Make a significant contribution to a cumulative reduction of landfill capacity or ability to properly dispose of refuse?

X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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The project will make an incremental contribution to the reduced capacity of regional landfills. However, this contribution will be relatively small and will be of similar magnitude to that created by existing land uses around the project.

8. Result in a breach of federal, state, and local statutes and regulations related to solid waste management? _____ X

L. Land Use, Population, and Housing

Does the project have the potential to:

1. Conflict with any policy of the County adopted for the purpose of avoiding or mitigating an environmental effect? _____ X

The proposed project does not conflict with any policies adopted for the purpose of avoiding or mitigating an environmental effect.

2. Conflict with any County Code regulation adopted for the purpose of avoiding or mitigating an environmental effect? _____ X

The proposed project does not conflict with any regulations adopted for the purpose of avoiding or mitigating an environmental effect.

3. Physically divide an established community? _____ X

The project will not include any element that will physically divide an established community.

4. Have a potentially significant growth inducing effect, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? _____

The proposed project is designed at the density and intensity of development allowed by the General Plan for the parcel. Additionally, the project does not involve extensions of utilities (e.g., water, sewer, or new road systems) into areas previously not sewed. Consequently, it is not expected to have a significant growth-inducing

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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effect,

5. Displace substantial numbers of people, or amount of existing housing, necessitating the construction of replacement housing elsewhere?

_____	X	_____
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The proposed project will entail a net gain in housing units.

M. Non-Local Approvals

Does the project require approval of federal, state, or regional agencies?

Yes x No

Stream alteration agreement from CDFG, possibly approval from RWQCB.

N. Mandatory Findings of Significance

1. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant, animal, or natural community, or eliminate important examples of the major periods of California history or prehistory?

Yes No ✓
2. Does the project have the potential to achieve short term, to the disadvantage of long term environmental goals? (A short term impact on the environment is one which occurs in a relatively brief, definitive period of time while long term impacts endure well into the future)

Yes No ✓
3. Does the project have impacts that are individually limited, but cumulatively considerable ("cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, and the effects of reasonably foreseeable future projects which have entered the Environmental Review stage)?

Yes No ✓
4. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

Yes No ✓

TECHNICAL REVIEW CHECKLIST

	<u>REQUIRED</u>	<u>COMPLETED*</u>	<u>N/A</u>
Agricultural Policy Advisory Commission (APAC) Review			<u>✓</u>
Archaeological Review	<u>✓</u>	<u>1-27-05</u>	
Biotic Report/Assessment	<u>J</u>	<u>6-16-05</u>	
Geologic Hazards Assessment (GHA)			<u>✓</u>
Geologic Report			<u>J</u>
Geotechnical (Soils) Report	<u>✓</u>	<u>8-16-04</u>	
Riparian Pre-Site			<u>✓</u>
Septic Lot Check			<u>✓</u>
Other: Drainage report	<u>✓</u>	<u>6-09-05</u>	

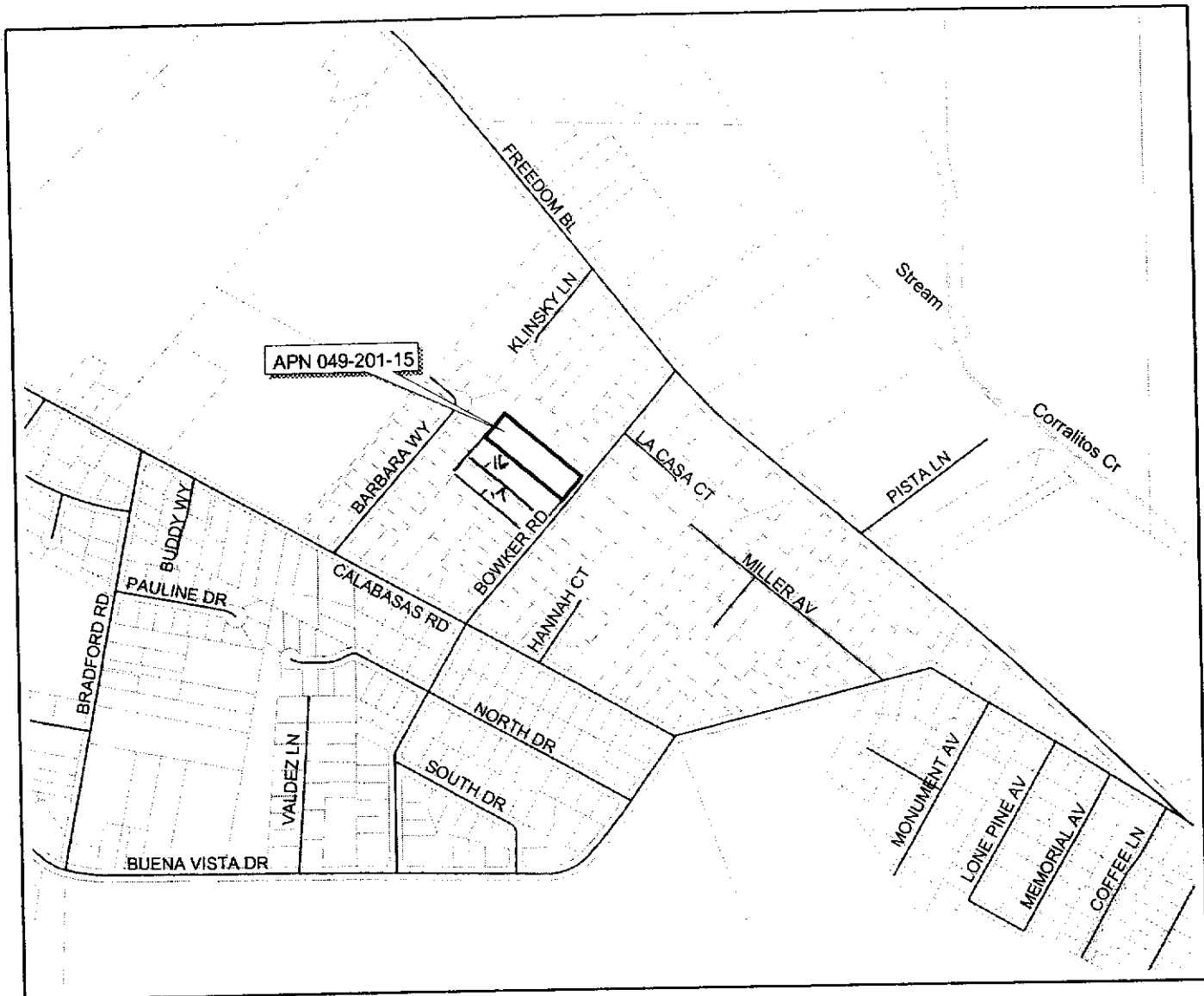
Attachments:

For all construction projects:

1. Vicinity Map
2. Map of Zoning Districts
3. Map of General Plan Designations
4. Assessors Parcel Map
5. Tentative Map & Preliminary Improvement Plans prepared by Roper Engineering, dated 11-19-04, revised 8-22-05, revised storm drain outlet detail dated 3-13-06.
6. Landscape Plan prepared by Gregory Lewis, dated 11-15-04, revised 6-14-05, & Architectural Plans prepared by Envirotecs, dated 11-22-04, revised 6-06-05
7. Geotechnical Review Letter prepared by Kent Edler, dated 12-14-04
8. Geotechnical Investigation (Conclusions and Recommendations) prepared by Mike Van Horn, Inc, dated 8-16-04 with Addenda 9-09-04, Plan Review 11-22-04
9. Drainage calculations prepared by Roper Engineering, dated 11-12-04, revised 6-09-05
10. Archeological Reconnaissance Survey Letter prepared by Santa Cruz Archaeological Society, dated 1-27-05
11. Biotic Review Letter by CA Dept of Fish & Game, Robert Floerke, dated 2-25-05
12. Habitat Assessment for Santa Cruz Tarplant, Central Coast Wilds, dated 6-16-05 and review memo from David Johnston, CDFG, 8-08-05.
13. Discretionary Application Comments, dated November 30, 2005

14. Will serve letter from City of Watsonville Water District, dated 7-01-05
15. Memo from Department of Public Works, Freedom Sanitation, dated 6-30-05
16. Arborists Report prepared by Maureen **Hamb**, dated 11-22-04
17. Santa Cruz Metro Transit District email of 8-29-05
18. ~~Letters~~ of submittal, Hamilton-Swift, dated 11-24-05 and 6-16-05 (on file at Planning Dept.)
19. Copy of drainage and retaining wall easements
20. Detail of drainage outlet, Roper Engineering, Sheet **T8**, 3-13-06

Location Map

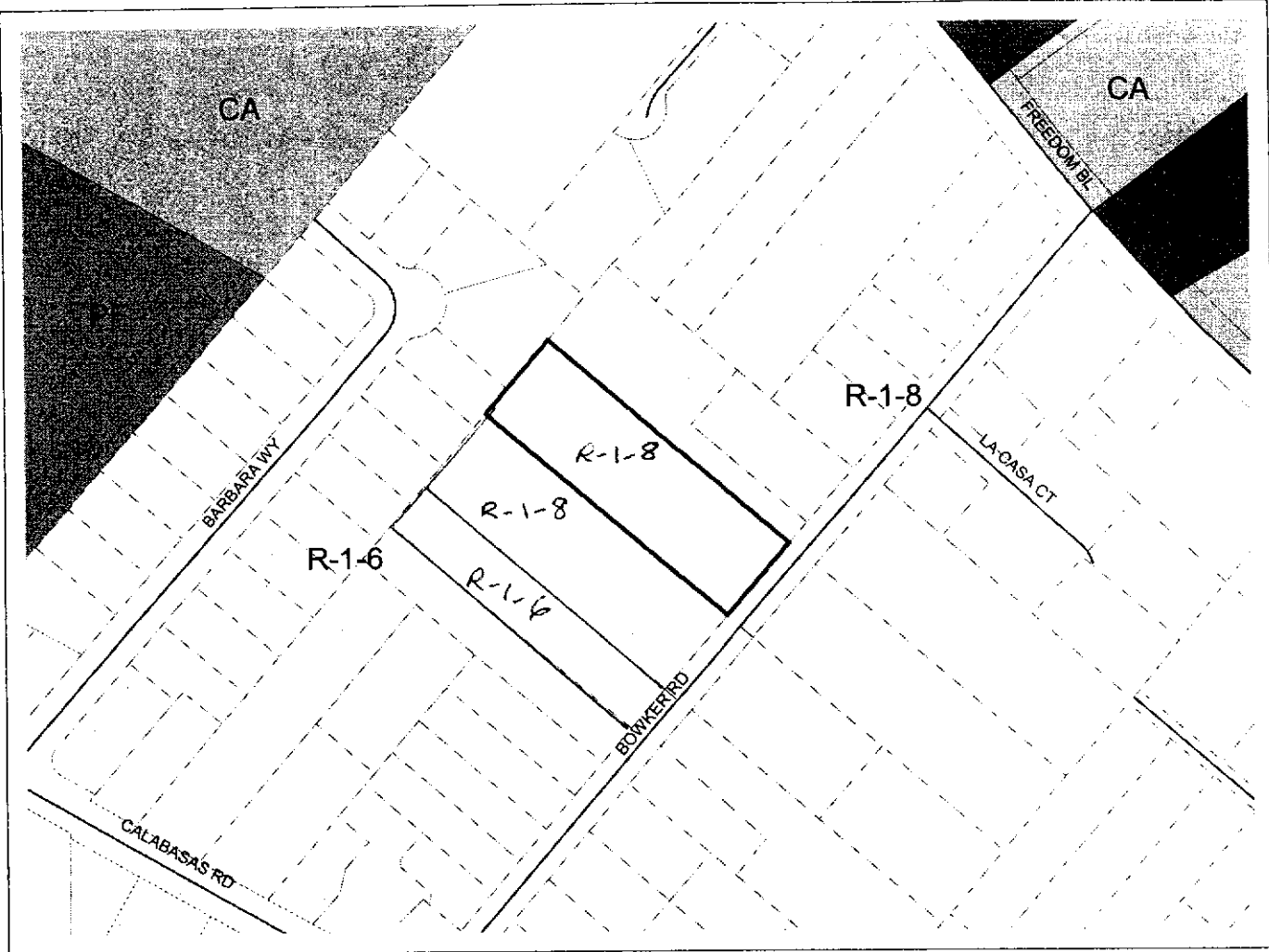


Map created by Santa Cruz County
Planning Department:
December 2004



Environmental Review Initial Study
ATTACHMENT 1
APPLICATION 04-0598

Zoning Map



200 0 200 400 600 800 Feet

Environmental Review initial Study

ATTACHMENT 2
APPLICATION 04-0598

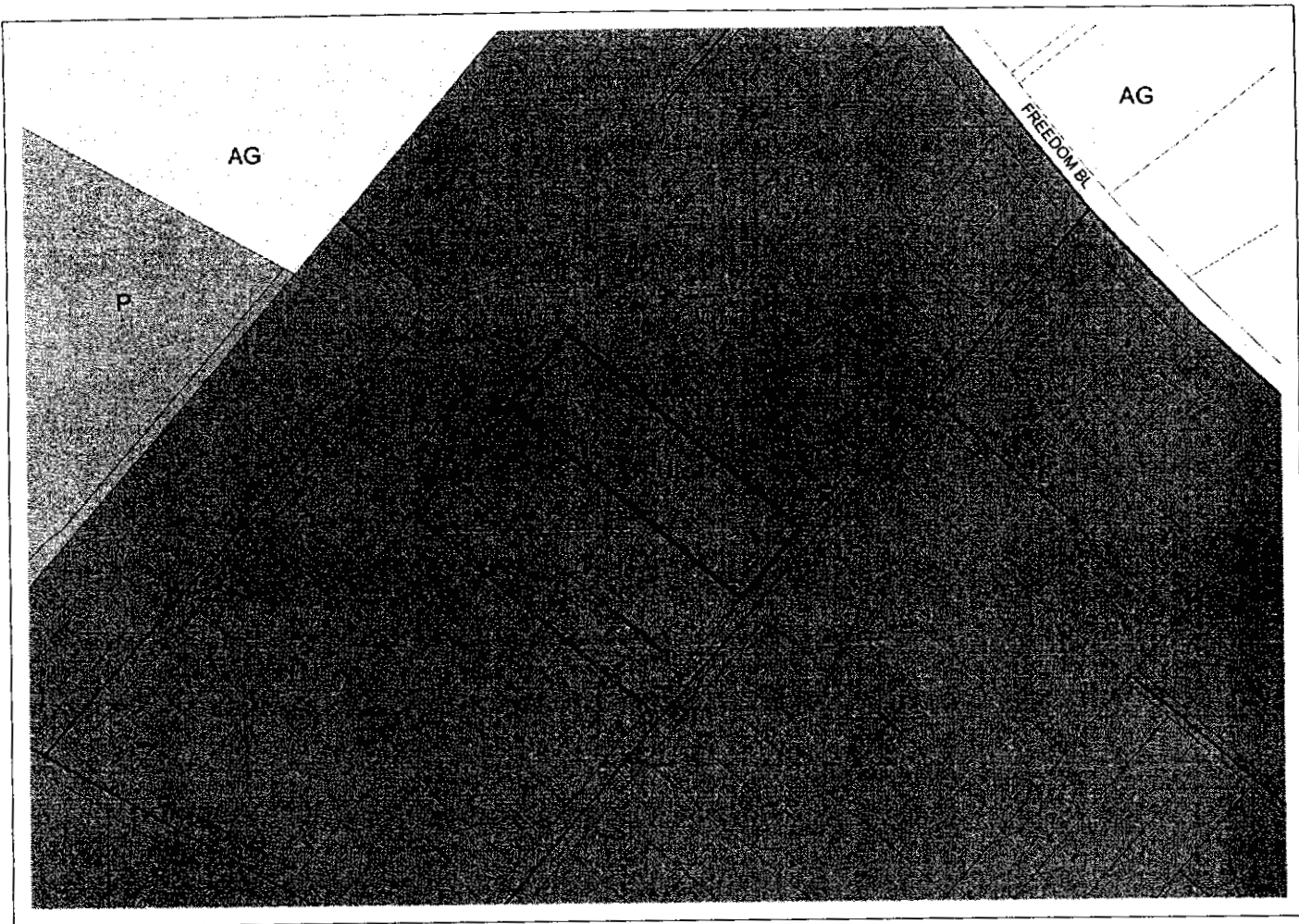
Legend

	APN 049-201-15
	Parcel boundaries
	/Streets
	R-1-X
	CA
	PF
	SU



Map created by Santa Cruz County
Planning Department:
December 2004

General Plan Map



500 0 500 Feet

Environmental Review Initial Study

ATTACHMENT
APPLICATION 04-0598

N



Legend

- APN 049-201-15
- Parcel boundaries
- Streets
- Agriculture (AG)
- Public Facilities (P)
- Residential - Urban Low Density (R-UL)

Map created by Santa Cruz County

Planning Department:
December 2004

49-20

EDGEWOOD ESTATES TR. 475
50MB7 4/11/69

PROJECT LOCATION

Assessor's Map No. 49-20
County of Santa Cruz, Calif.
March 2000

Note - Assessor's Parcel & Block Numbers Shown in Circles.

Environmental Review Initial Study

ATTACHMENT 4
APPLICATION 04-0598

FOR TAX PURPOSES ONLY

LEGEND

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PRELIMINARY GRADING PLAN

BENCHMARK

BOWKER ROAD

CARMELA COURT

Environmental Review Initial Study
ATTACHMENT 5, 2 of 6
APPLICATION 04-0598

T2

TRACT NO. 1501
CARMELA COURT
 42, 54 & 52 BOWKER RD. - APN 49-201-15, 16 & 17
PRELIMINARY GRADING PLAN

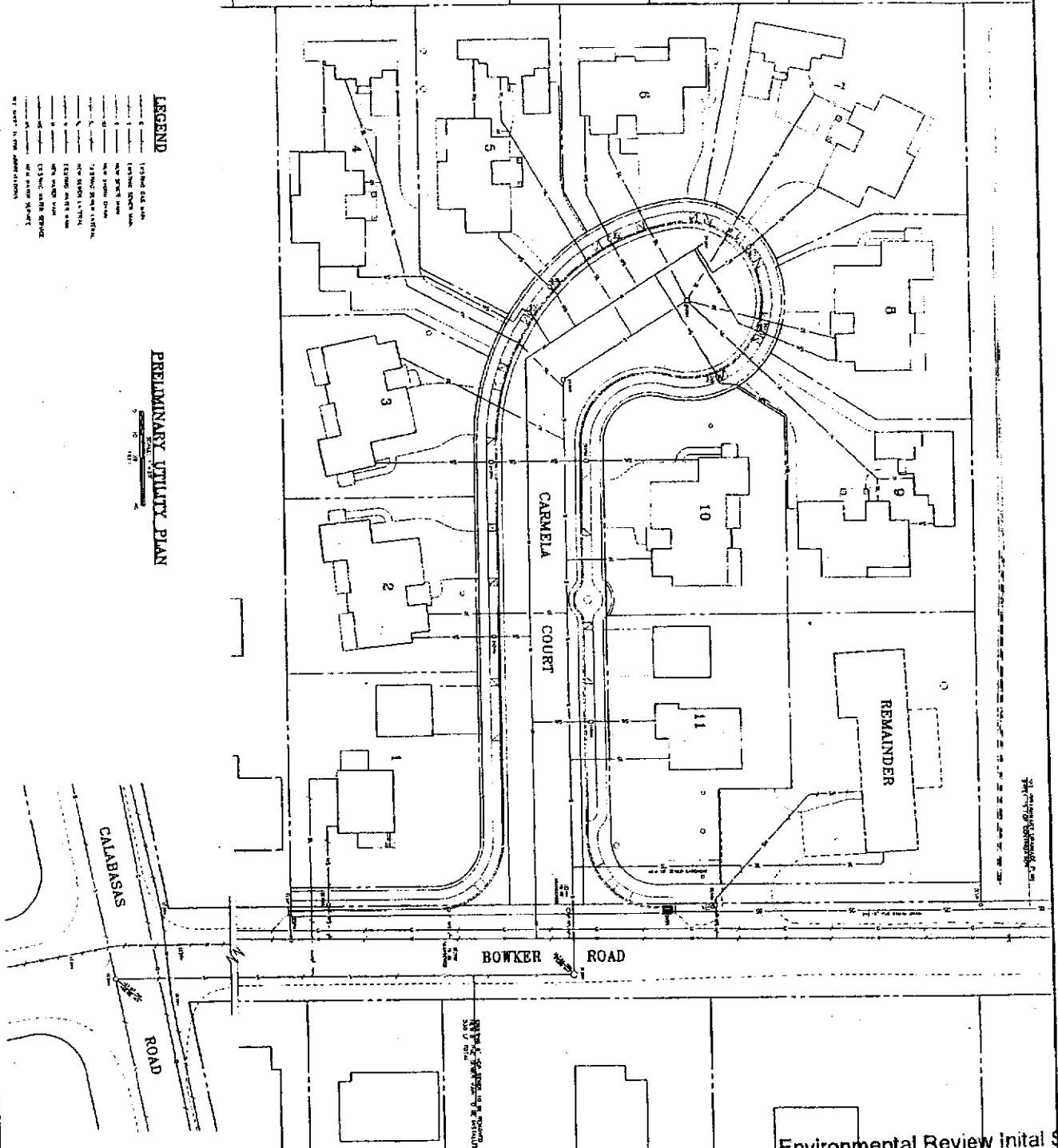
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ROPER ENGINEERING
 CIVIL ENGINEERING & LAND SURVEYING
 444 AIRPORT BLVD, SUITE 206 WATSONVILLE, CA 95076
 (831) 724-5300 PHONE (831) 724-5306 FAX r@roperengineering.com



- LEGEND**
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 - 2. 15' WIDE DRIVE WAY
 - 3. 15' WIDE SIDE DRIVE
 - 4. 15' WIDE SIDE DRIVE
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PRELIMINARY UTILITY PLAN

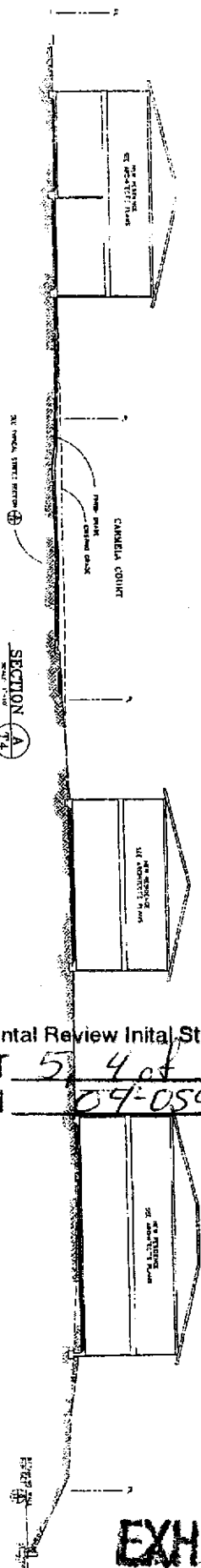


Environmental Review Initial Study
 ATTACHMENT 5, 3 & 6
 APPLICATION 04-0598

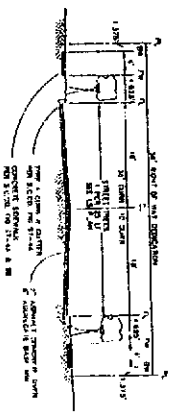


EXHIBIT D

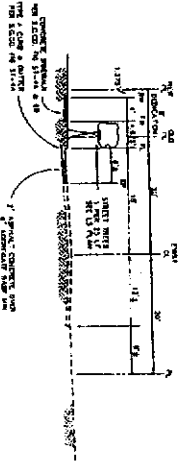
<p>T3</p>	<p>TRACT NO. 1501 CARMELA COURT 42, 54 & 62 BOWKER RD. - APN 19-201-15, 16 & 17</p>	<p>58</p>	<p>ROPER ENGINEERING CIVIL ENGINEERING & LAND SURVEYING 444 AIRPORT BLVD, SUITE 208 WATSONVILLE, CA 95078 (831) 724-5300 PHONE (831) 724-5509 FAX jrl@roperengineering.com</p>	
	<p>PRELIMINARY UTILITY PLAN</p>			
	<p>DATE: 08/04/11</p>			
	<p>BY: JRL</p>			



SECTION A
T4



CARMELA COURT TYPICAL STREET SECTION B
T4

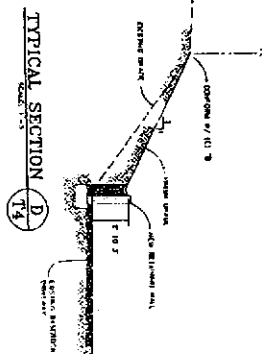


BOWER ROAD TYPICAL STREET SECTION C
T4

Environmental Review Initial Study
ATTACHMENT 5
APPLICATION 09-0598

EROSION CONTROL NOTES

1. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND POST-CONSTRUCTION PERIOD.
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TYPICAL SECTION D
T4

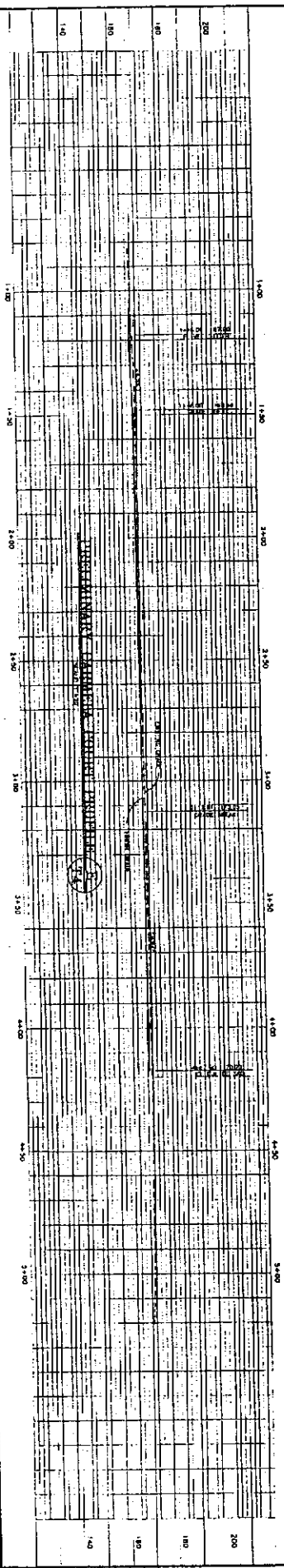


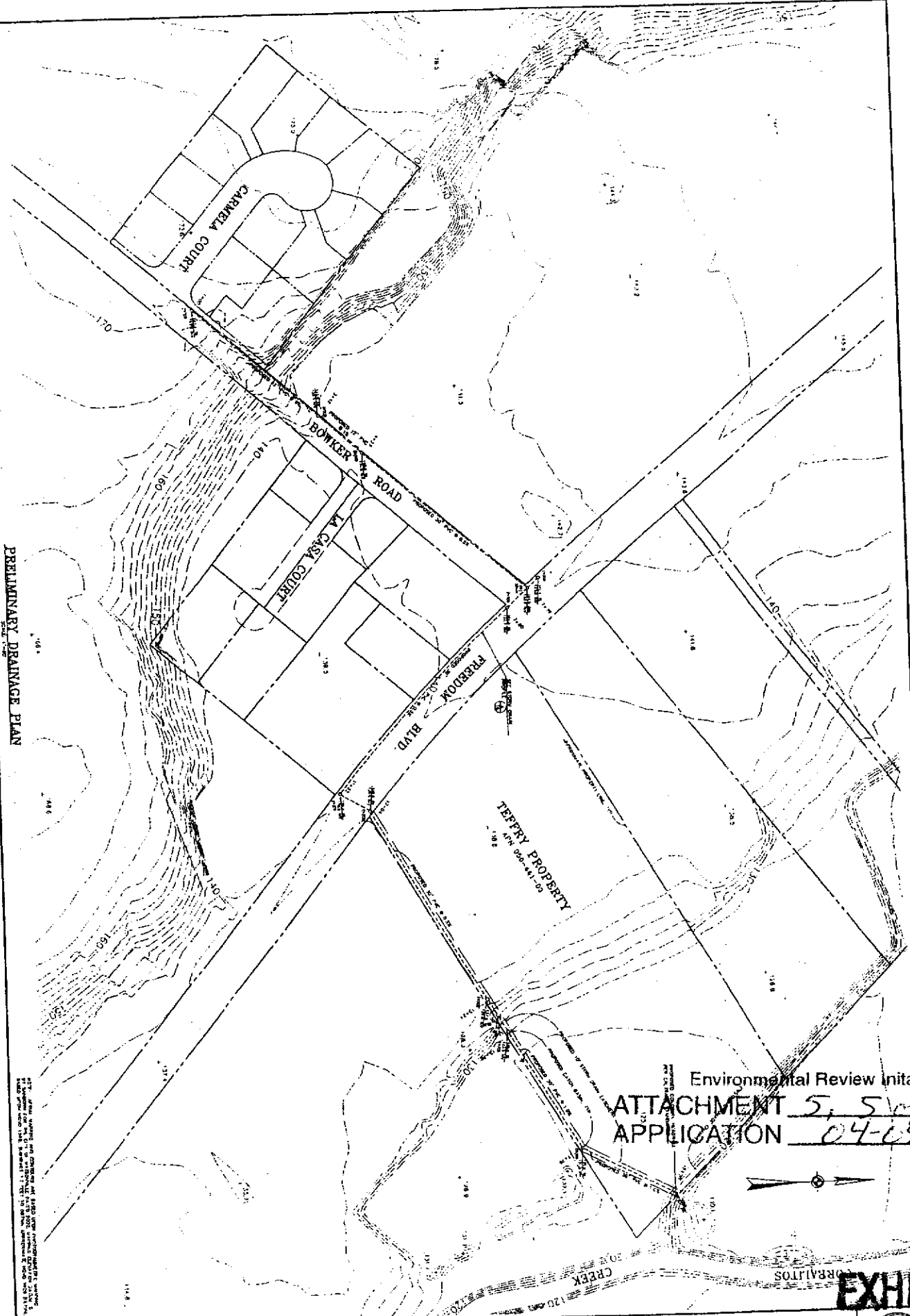
EXHIBIT D

TRACT NO. 1501 CARMELA COURT 42, 54 & 62 BOWER RD. - APN 49-201-15, 16 & 17	
SECTIONS & DETAILS	
T4	

<p>59</p> <p>ROPER ENGINEERING CIVIL ENGINEERING & LAND SURVEYING 444 AIRPORT BLVD., SUITE 208 WATSONVILLE, CA 95078 (831) 724-5300 PHONE (831) 724-5509 FAX jtr@roperengineering.com</p>	
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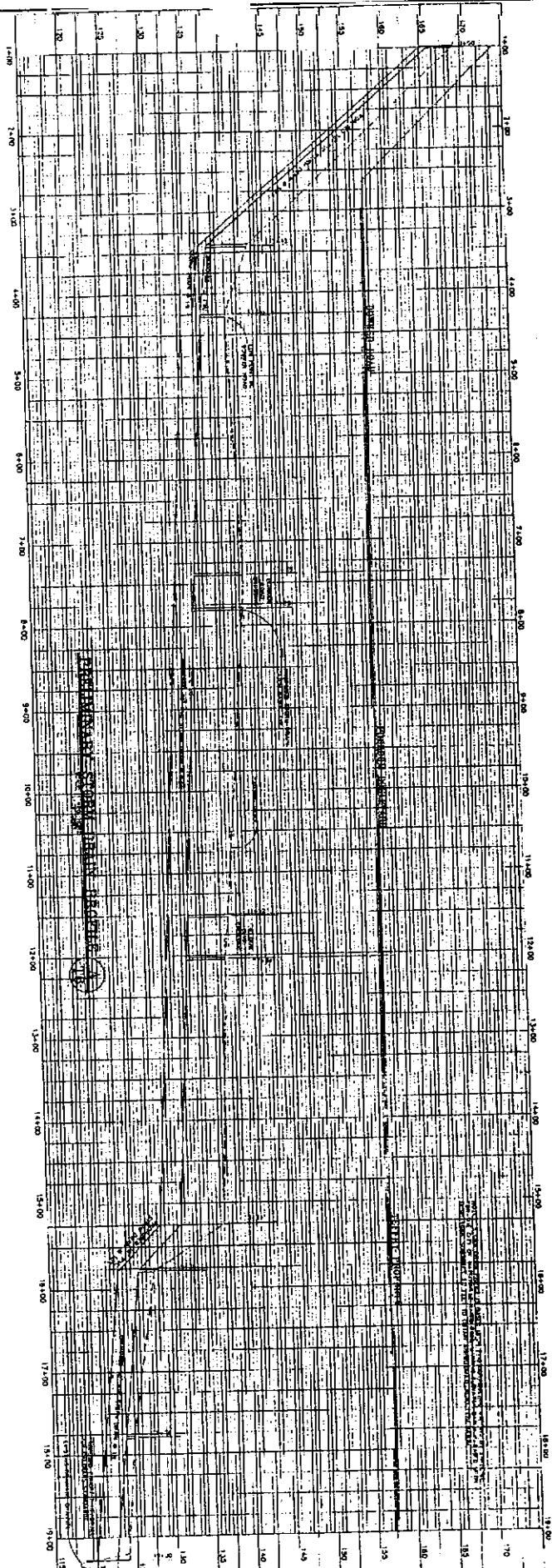
PRELIMINARY DRAINAGE PLAN



Environmental Review Initial Study
 ATTACHMENT 5, 5 of 6
 APPLICATION 04-0593

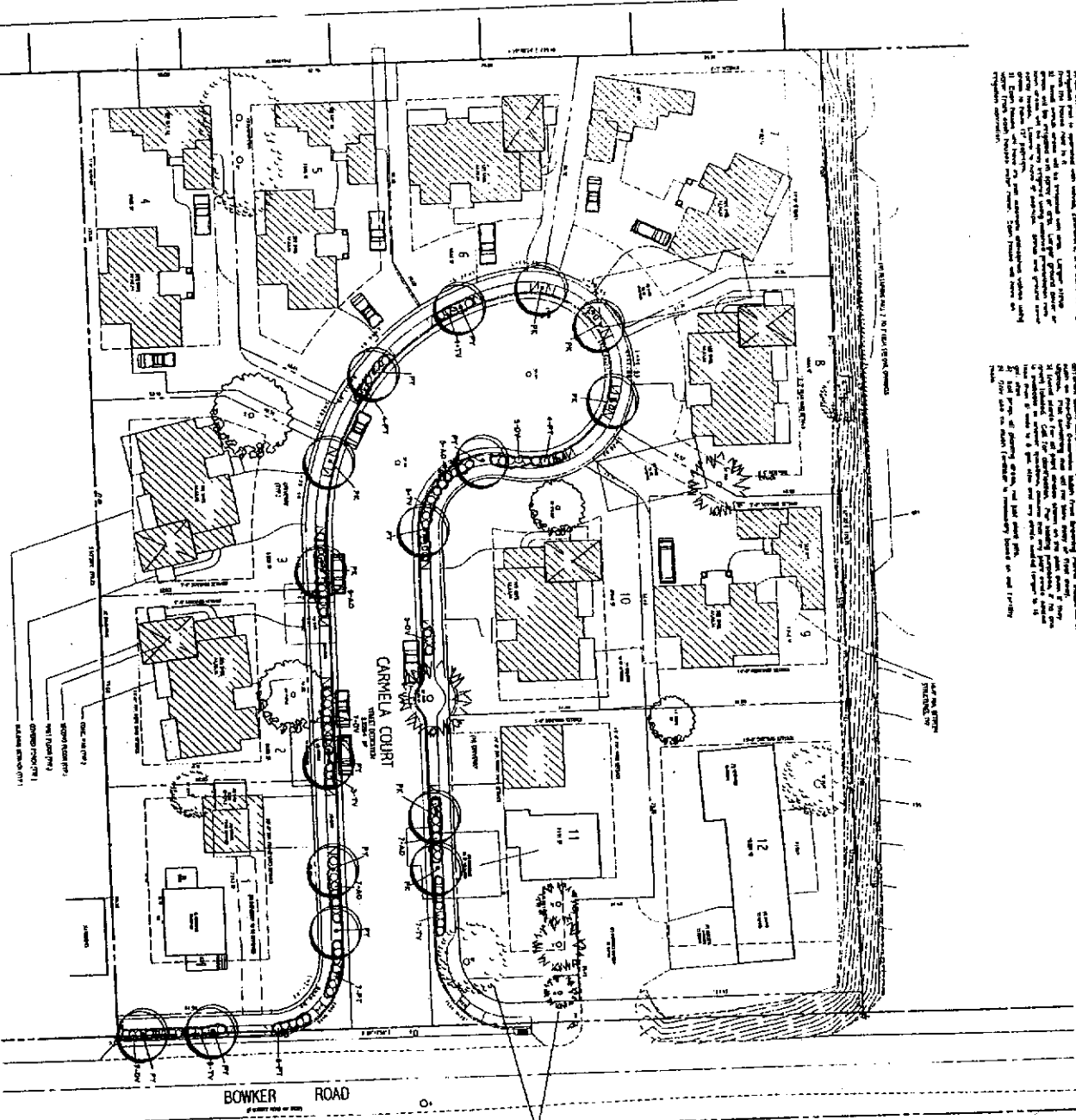
EXHIBIT D

<p>TS</p>	<p>TRACT NO. 1501 CARMELA COURT 42, 54 & 52 BOWKER RD. - APN 49-201-15, 16 & 17</p>	<p>60</p>	<p>ROPER ENGINEERING CIVIL ENGINEERING & LAND SURVEYING 444 AIRPORT BLVD, SUITE 206 WATSONVILLE, CA 95078 (831) 724-5300 PHONE (831) 724-5508 FAX jrl@roperengineering.com</p>	
	<p>PRELIMINARY DRAINAGE PLAN</p>			
	<p>DATE: 04/15/04</p>			
	<p>BY: JRL</p>			
	<p>CHECKED BY: JRL</p>			



Environmental Review Initial Study
 ATTACHMENT 5, 6 & 7
 APPLICATION 024-0598

<div style="writing-mode: vertical-rl; transform: rotate(180deg);"> T6 1 1/2" = 10' </div>	SCALE: AS SHOWN DRAWN BY: J. ROY CHECKED BY: J. ROY DATE: 11/10/04	TRACT NO. 1501 CARMELA COURT 42, 54 & 62 BOWKER RD. - APN 49-201-15, 16 & 17 PRELIMINARY STORM DRAIN PROFILE	<div style="text-align: center;"> </div> <p> ROPER ENGINEERING CML ENGINEERING & LAND SURVEYING 444 AIRPORT BLVD. SUITE 206 WATSONVILLE, CA 95078 (831) 724-5300 PHONE (831) 724-2508 FAX info@roperengineering.com </p>	
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Irrigation Concept

1. The entire area, per general concept, is to be irrigated with a drip system. The system will be designed to provide water to the plants at the root zone, minimizing evaporation and runoff. The system will be designed to provide water to the plants at the root zone, minimizing evaporation and runoff. The system will be designed to provide water to the plants at the root zone, minimizing evaporation and runoff.

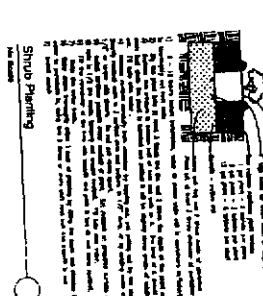
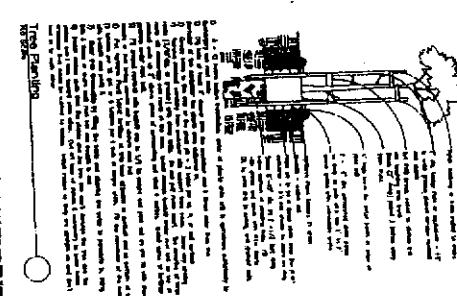
Planting Notes

1. All trees and shrubs are to be planted in the specified locations. The plants are to be planted in the specified locations. The plants are to be planted in the specified locations. The plants are to be planted in the specified locations. The plants are to be planted in the specified locations.

Environmental Review Initial Study
 ATTACHMENT 6, 10, 18
 APPLICATION 04-1598

Plant Legend

LOT	SIZE	PLANTING	COMMON NAME
1	10'	Small Tree	Small Tree
2	15'	Medium Tree	Medium Tree
3	20'	Large Tree	Large Tree
4	25'	Very Large Tree	Very Large Tree
5	30'	Shrub	Shrub
6	35'	Flowering Shrub	Flowering Shrub
7	40'	Groundcover	Groundcover
8	45'	Annuals	Annuals
9	50'	Perennials	Perennials



Street Tree Plan

0' 20' 40'



1. Price of the product (cost of production)
 2. Quantity of the product
 3. Cost of the product
 4. Profit of the product
 5. Revenue of the product
 6. Cost of production
 7. Cost of distribution
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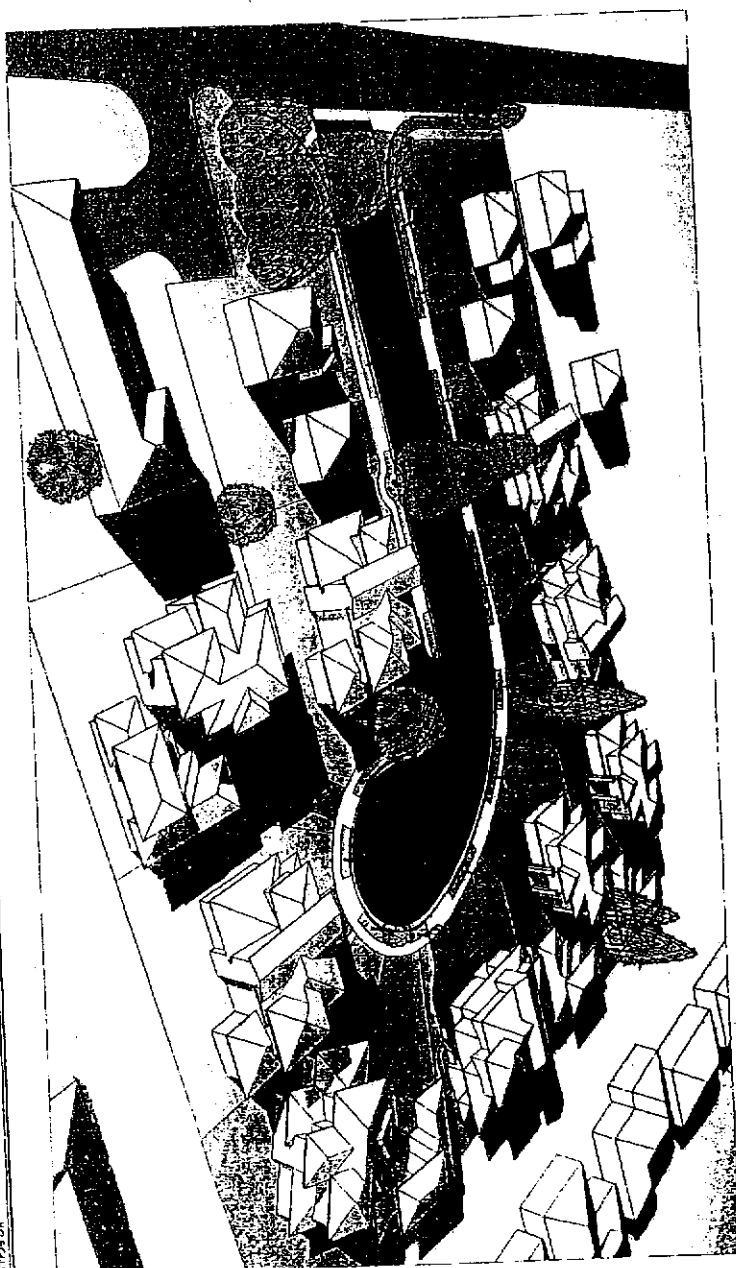
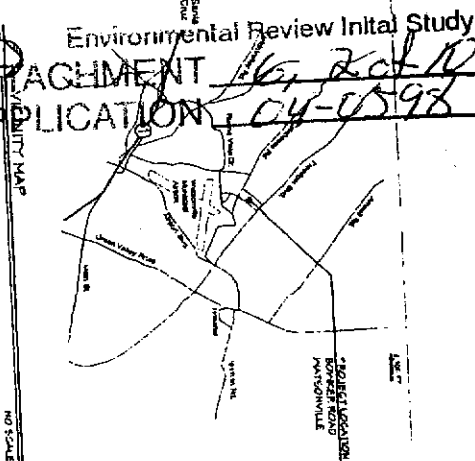
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99. 101th STREET
100. 101th STREET

UNIT 119 A PROPOSED TWO STORY SINGLE FAMILY DWELLING.
UNIT 219 A PROPOSED TWO STORY SINGLE FAMILY DWELLING WITH AN ATTACHED LOWER LEVEL SECOND UNIT (ADU) LOCATED ON DWELLING UNIT
UNIT 315 A ONE STORY DETACHED SECOND UNIT (ADU)

1. PERSPECTIVE VICINITY MAP & PROJECT DATA

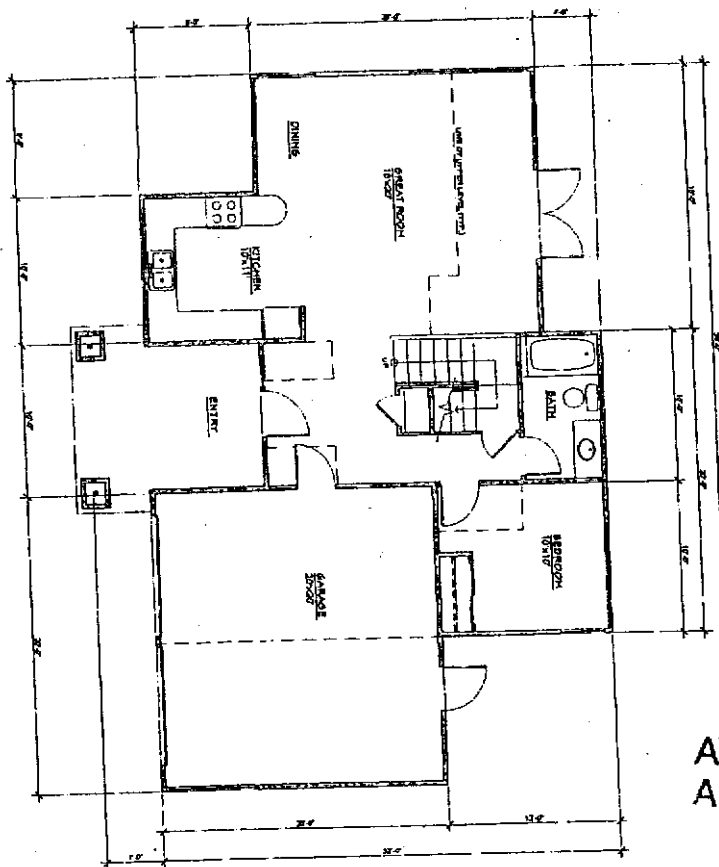
- A0. SITE PLAN
- A1. UNIT 1 LOWER LEVEL, FLOOR PLAN
- A2. UNIT 1 UPPER LEVEL, FLOOR PLAN & ROOF PLAN
- A3. UNIT 1 EXTERIOR ELEVATIONS
- A4. UNIT 2 LOWER LEVEL, FLOOR PLAN
- A5. UNIT 2 UPPER LEVEL, FLOOR PLAN & ROOF PLAN
- A6. UNIT 2 EXTERIOR ELEVATIONS
- A7. UNIT 3 FLOOR PLAN, ROOF PLAN & ELEVATIONS
- T1. TENTATIVE NAME
- T2. PRELIMINARY GRADING PLAN
- T3. PRELIMINARY UTILITY PLAN
- T4. SECTIONS AND DETAILS
- T5. PRELIMINARY DRAINAGE PLAN
- T6. PRELIMINARY STORM DRAIN PROFILE
- L1. STREET TREE PLAN

Environmental Review Initial Study
ATTACHMENT 16, 2 of 10
4 APPLICATION 104-1598



PERSPECTIVES

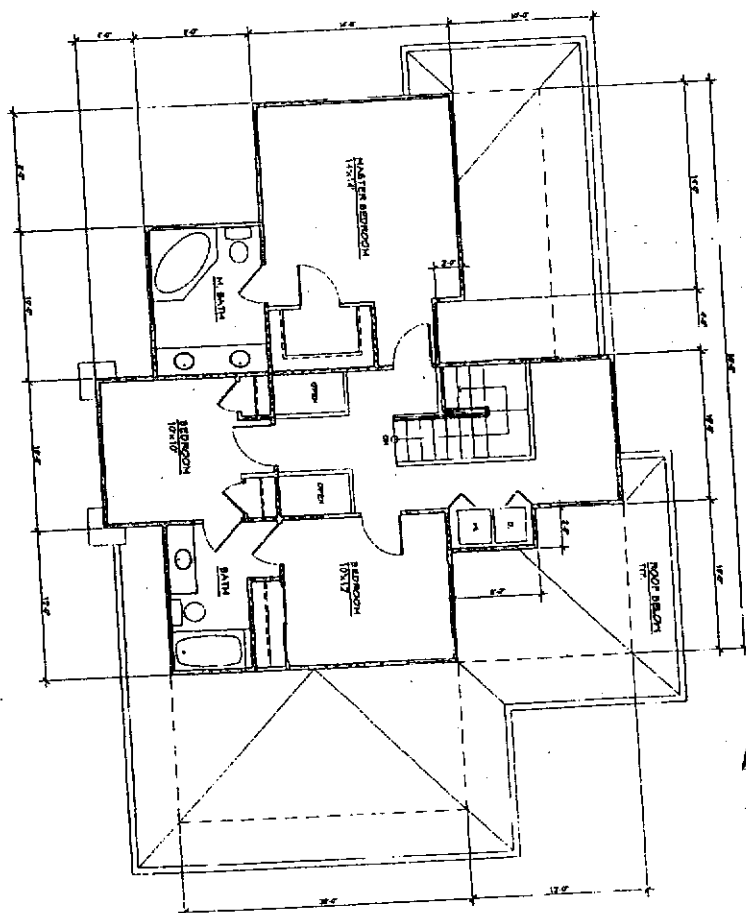
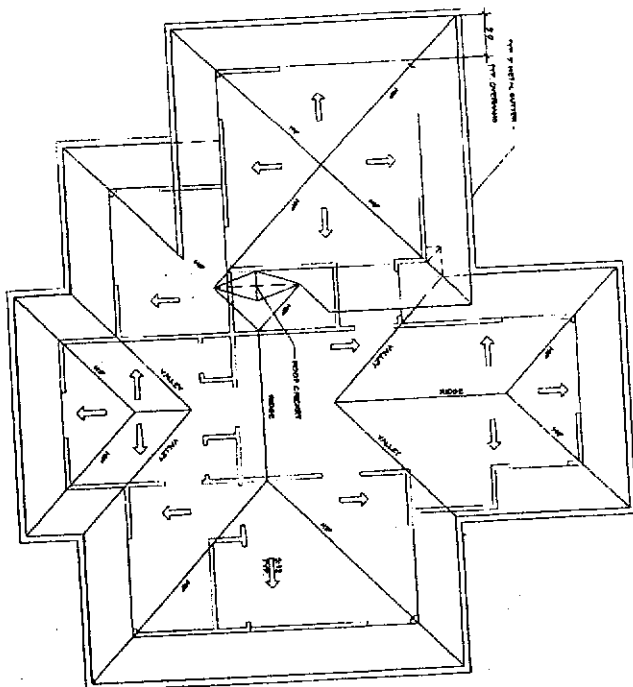
— 40 —



LOWER LEVEL FLOOR PLAN
 118 sq. ft. COVERED
 MAIN UNIT ①
 118 sq. ft. COVERED

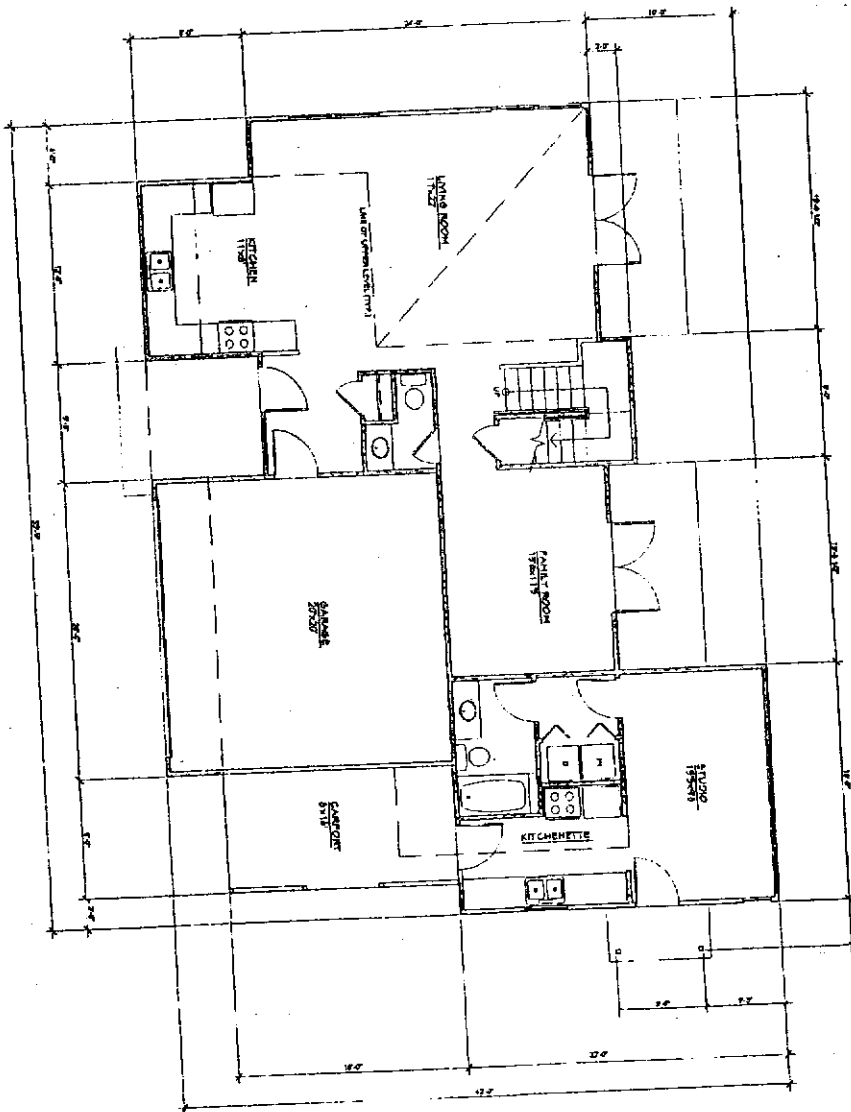
Environmental Review Initial Study
 ATTACHMENT 6, 4 of 10
 APPLICATION 04-0598

EXHIBIT D



Environmental Review Initial Study
ATTACHMENT 6, 5 of 10
APPLICATION 04-0548

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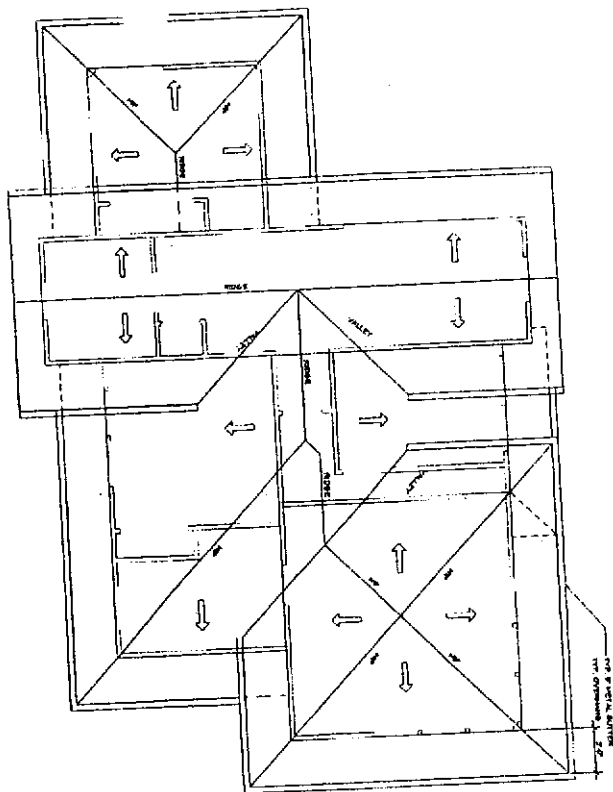
Environmental Review Initial Study
 ATTACHMENT 6, 7 of 9
 APPLICATION 04-0598

EXHIBIT 1

UPPER ROOF PLAN

1/8" = 1'-0"

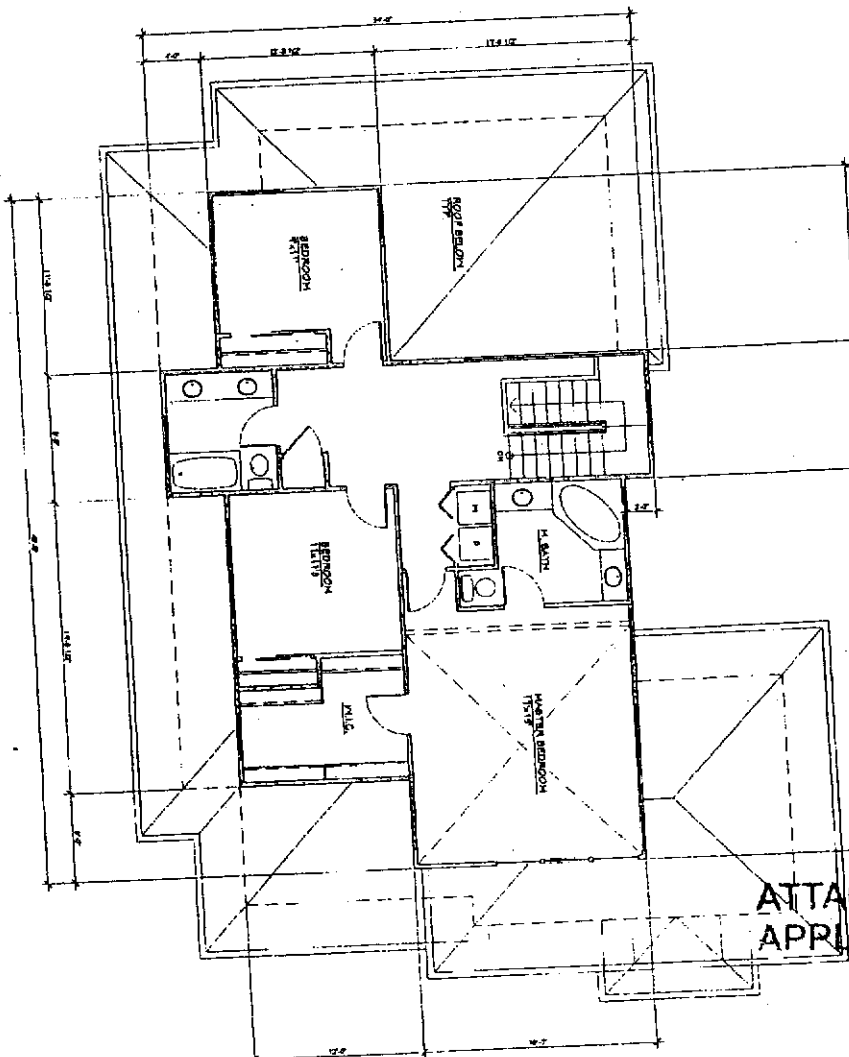
9



UPPER LEVEL FLOOR PLAN

1/8" = 1'-0"

UNIT 1 WITH ATTACHED ADJ. 2



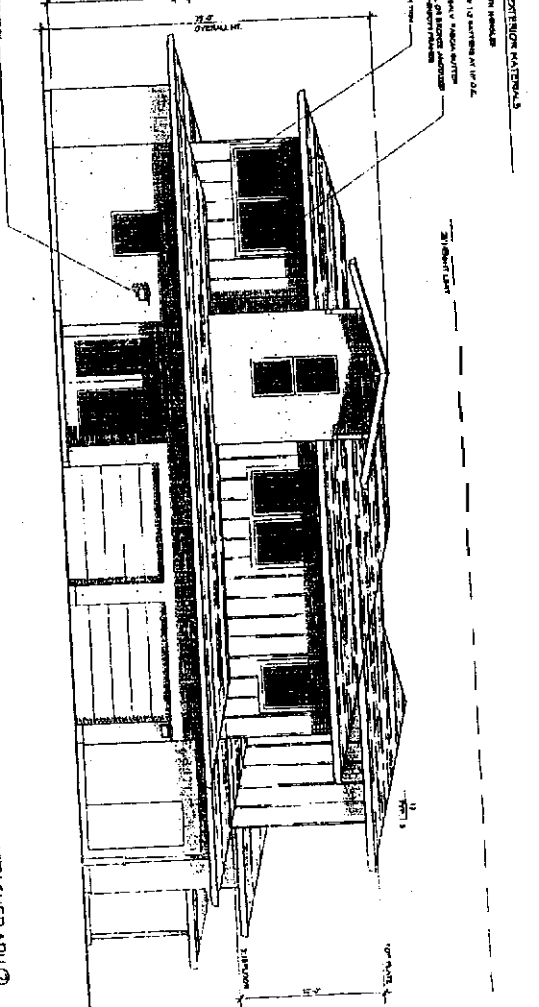
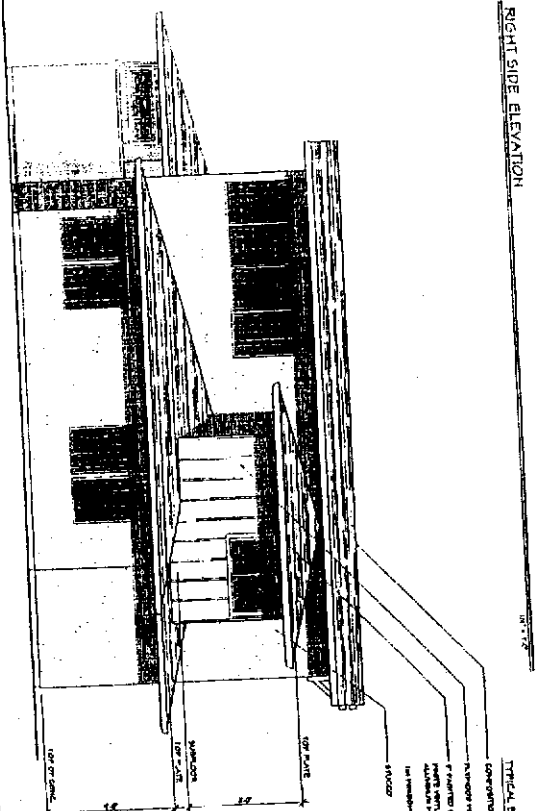
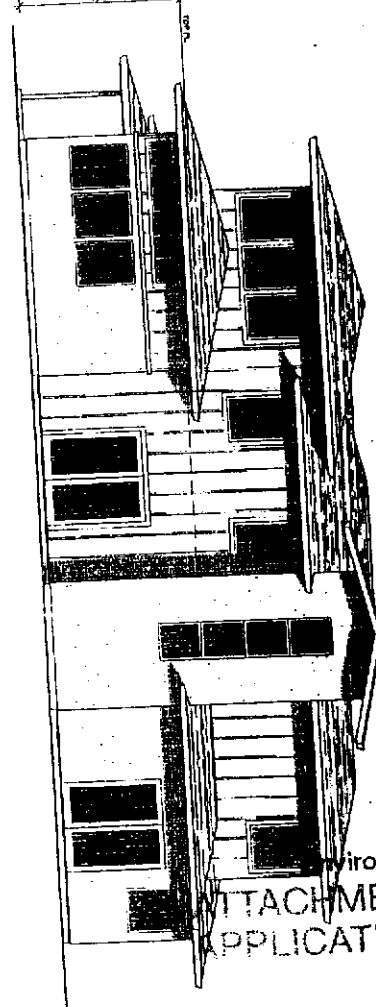
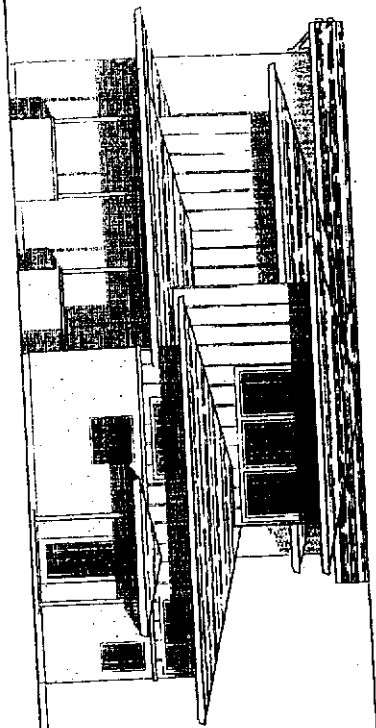
Environmental Review Initial Study
 ATTACHMENT 6, 8 of 10
 APPLICATION 04-0598

EXHIBIT D

PROPOSED DEVELOPMENT FOR:
CARMELA COURT
 46, 54, 62 BOWKER ROAD
 WATSONVILLE, CA 95070

-69-
 APN 049-201-10, 10, 11

Prepared By:
The Enviroprotects
 Paula Plummer, Architect C 24813
 4311 Capitola Rd., Capitola, CA 95026 Tel 416-0758



RIGHT SIDE ELEVATION

REAR ELEVATION

LEFT SIDE ELEVATION

FRONT ELEVATION

120477 FORTUNE BY
L2044,287 C8 22444 777
70644,287 C8 22444 777

ATTACHED ADU ②

Environmental Review Initial Study
ATTACHMENT 6, 9 of 10
APPLICATION 04-0598

EXHIBIT D

Proposed Development For:	
Carmela Court	
46.34, B2 Bowker Road Watsonville, CA 95078	
Date:	1/2/2004
Status:	AS NOTED
Owner:	JT
App:	Nation
File #	A6

- 70
APN 044-201-15, 16, 17

Prepared by:
The Envirofects
Frank Phares, Architect C 34313
4315 Capistrano Rd., Capistrano, CA 92624 Tel. 475-0730

[illegible]



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX (831) 454-2131 TDD: (831) 454-2123

TOM BURNS, PLANNING DIRECTOR

December 14, 2004

John Swift
1509 Seabright #A1
Santa Cruz, CA, 95062

SUBJECT: Review of Geotechnical Investigation by Mike Van Horn, Inc.
File No. 4041; Dated: August 16, 2004 w/ September 9, 2004 Addenda
APN: 049-201-15, 16, 17, Application No.: 04-0598

Dear Applicant:

Thank you for submitting the soil report for the parcel referenced above. The report was reviewed for conformance with County Guidelines for Soils/Geotechnical Reports and also for completeness regarding site-specific hazards and accompanying technical reports (e.g. geologic, hydrologic, etc.). The purpose of this letter is to inform you that the Planning Department has accepted the report and the following recommendations become permit conditions:

1. All report recommendations must be followed.
2. An engineered foundation plan is required. This plan must incorporate the design recommendations of the soils engineering report.
3. Final plans shall show the drainage system as detailed in the soils engineering report.
4. Final plans shall reference the approved soils engineering report and state that all development shall conform to the report recommendations.
5. Prior to building permit issuance, the soil engineer must submit a brief building, grading and drainage plan review letter to Environmental Planning stating that the plans and foundation design are in general compliance with the report recommendations. If, upon plan review, the engineer requires revisions or additions, the applicant shall submit to Environmental Planning two copies of revised plans and a final plan review letter stating that the plans, as revised, conform to the report recommendations.
6. The soil engineer must inspect all foundation excavations and a letter of inspection must be submitted to Environmental Planning and your building inspector prior to placement of concrete.
7. For all projects, the soil engineer must submit a final letter report to Environmental Planning and your building inspector regarding compliance with all technical recommendations of the soil report prior to final inspection. For all projects with engineered fills, the soil engineer must submit a final grading report (reference August

Environmental Review Initial Study

ATTACHMENT 7
APPLICATION 04-0598

EXHIBIT D⁴

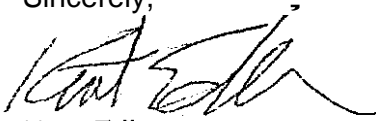
1997 County Guidelines for Soils/Geotechnical Reports) to Environmental Planning and your building inspector regarding the compliance with all technical recommendations of the soil report prior to final inspection.

The soil report acceptance is only limited to the technical adequacy of the report. Other issues, like planning, building, septic or sewer approval, etc., may still require resolution.

The Planning Department **will** check final development plans to verify project consistency with report recommendations and permit conditions prior to building permit issuance. If not already done, please submit two copies of the approved soil report at the time of building permit application for attachment to your building plans.

Please call 454-3168 if we can be of any assistance.

Sincerely,



Kent Edler
Associate Civil Engineer

Cc: Joan Van der Hoeven, Project Planner
Bob Loveland, Resource Planner

Environmental Review Initial Study
ATTACHMENT 7, 2 of 2
APPLICATION 04-0598

Mike Van Horn, RCE, RGE
Registered Civil Engineer Registered Geotechnical Engineer
Reg

101 Forest Avenue, Santa Cruz, CA 95062-2622

Telephone (831) 425-9364

FAX (831) 429-3922

File Number: 4041

22 November 2004

Attn: **Mr. Robert Ridino**
S.A R Enterprises
P O Box 350
Aptos CA 95001-0350

Subject **Proposed Bowker Road Subdivision, APN 049-201-15,16,17**
Bowker Road North of Calabassas Road
Watsonville. California

PLAN REVIEW

Dear Mr. Ridino:

As you requested I have reviewed the provided project drawings', hereinafter referred to as ("Project Drawings"). and I am providing herein a summary of my conclusions regarding drawing plan review. I am the Project Geotechnical Engineer and have recently issued the Soil Investigation Report², hereinafter referred to as ("Soil Report"), for the **subject** project.

I noted the **proposed** new retaining wall and new 50% graded fill slope above the retaining **wall** at Lot 9 where the house at that location is **approximately** five feet back from the top of the north perimeter slope. I conclude this condition is acceptable to this office.

I conclude that the Project **Drawings** are in conformance with the Soil Report and associated geotechnical documents except **as** noted below.

I understand **these** are preliminary concept **drawings** at this time. I understand additional, final **drawings will be** generated at a future time. **At the** time the final drawings are generated, they should address and include the following items. (1) The surface runoff appears presently planned to drain over the top of the slope along the north perimeter of **the** subject site (Lots 7, **8, 9 and** Remainder). A "V"-ditch or other lined swale with inlet boxes **as** needed should be designed to **be** installed along the entire length of the top of slope at this north perimeter to intercept runoff from **flowing** over the top **of** the slope. (2) **It was** noted that the retaining wall subdrain in **Section D-**

¹ 6 "D" Sized Drawings, by Roper Engineering, Sheets T1 through T6, all dated Nov. 17.2004. Job No. 00084.

² Mike Van Horn, Inc., Soil Investigation Report, (Santa Cruz, CA, 16 August 2004), Environmental Review Initial Study
File Number 4041.

22 November 2004

T4 does not indicate a 12" thick compacted soil cap under the brow ditch and over the wall subdrain per the recommendations of the Soil Report, and (3) the north portion of the site will need to be re-graded per the recommendations of the Soil Report, however no notes to this re-grading were found on the grading plans.

If you have any questions, please give me a call.

Sincerely Yours.



Mr. Mike Van Horn, RCE 35645, RGE 2047 (expires 9130105)

COPIES: 1 to Addressee

3 to Hamilton Swift L.U & D.C. Inc. Attn: Mr. John Swift

1 to File

Environmental Review Initial Study
ATTACHMENT 3 2 of 18
APPLICATION C4-0598

Mike Van Horn, RCE, RGE

Registered Civil Engineer • Registered Geotechnical Engineer

File No. 4041

9 September 2004

Attn: Mr. Robert Ridino

S.A.R. Enterprises

P. O. Box 350

Aptos, CA 95001-0350

Subject: Proposed Bowker Road Subdivision
Bowker Road North of Calabassas Road
Watsonville, California

ADDENDA TO SOIL INVESTIGATION 2.0

Dear Mr. Ridino:

I am providing herein addenda to the Soil Investigation Report' (hereinafter referred to as "Soil Report") for the subject project. The addenda to the Soil Report stated below shall be incorporated into the conclusions and/or recommendations of the Soil Report and should be incorporated into the planning and designs of the subject project. The addenda to the Soil Report stated below shall replace and supersede conclusions and/or recommendations provided in the Soil Report when the addendum item includes topics previously addressed in the Soil Report. The addendum item to the Soil Report is as follows.

As you know, this is a follow-up to the recommendations of the Soil Report, as follows. I visited the subject site on 8 September 2004. At that time, I observed the slopes located along the entire northwest perimeter of the subject parcel. The planning map² indicates the top of slope is at or within approximately three feet horizontally of the northeast perimeter property line. The slopes were measured at between 65% and 70% being steeper at the cut. The cut is a subvertical driveway cut, being approximately 100 feet long and up to approximately 30 inches high at the center of the cut. The cut is located at the west-center portion of this northeast property edge. These slopes/cuts are between approximately seven and nine feet high.

I conclude that the above described site slopes are marginally oversteep based on the assumed composition and consistency of the site subsurface profile. Additionally, the up to 30-inch high, subvertical, driveway cut slope at the base of about a third of this slope creates additional potential slopes instabilities. I conclude there is a moderate to low potential for small scale, moderate depth, rotational/slump type, landslides at the above described slopes. I conclude, for planning purposes,

¹ Mike Van Horn, Inc., Soil Investigation Report, (Santa Cruz, CA, 16 August 2004), File Number 4041.

Roper Engineering, Planning Map, (Watsonville, CA, Jan. 30 2004), Job No. 00064.

Environmental Review Initial Study

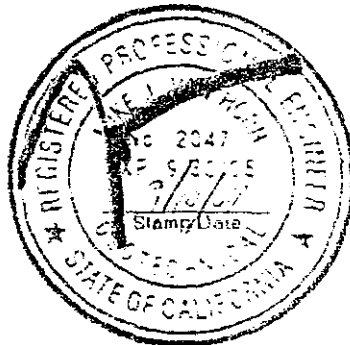
it should be assumed the above described site slopes may fail into the subject property a maximum of 15 feet (northeast to southwest).

Therefore, I recommend all structures with shallow footing type foundations be located at least 15 feet back (southeast) from the northeast perimeter property line. Also, future homeowners should be warned that there is a small possibility that a small landslide, as described above, may occur during heavy rain storms or intense seismic events. Additionally, surface drainage should be carefully designed to prevent surface runoff from flowing over the top of this slope area. The foundations of all sound walls or other walls at this location near the northeast property line should be a pier and grade beam type foundation system with a passive resistance value of 175 pcf EFW and a minimum pier depth of eight feet and a minimum pier diameter of 18 inches. Where portions of new structures including the residences are within the above recommended setback, I recommend that underpinning piers be installed into the bottoms of the shallow footing foundations of those structures. The piers should consist of drilled, poured-in-place, reinforced steel and concrete, 18-inch diameter, six feet on-center spacing, and at six feet deep below the bottoms of the foundation trenches. The piers need contain only minimum reinforcing steel. The piers do not need to be designed for special specific structural loading; the piers are designed to prevent short term collapse of the foundation should there be a minor landslide at the location of the foundation. No grade beam is recommended.

As an alternate, and generally preferred by this office, the base of the above northeast perimeter slope can be retained with a structural wall so that a 50% (max. steepness) compacted buttress fill can be backfilled behind the retaining wall on the slope to the top of the slope, per general grading recommendations of the Soil Report. I conclude this 50% buttress fill mitigates slope stability issues discussed above, and the setback distance can be reduced to five feet from top of slope, instead of 15 feet. If the buttress fill/retaining wall system is utilized, a fence/wall at the top of the slope need have only five foot deep minimum piers.

If you have any questions, please give us a call.

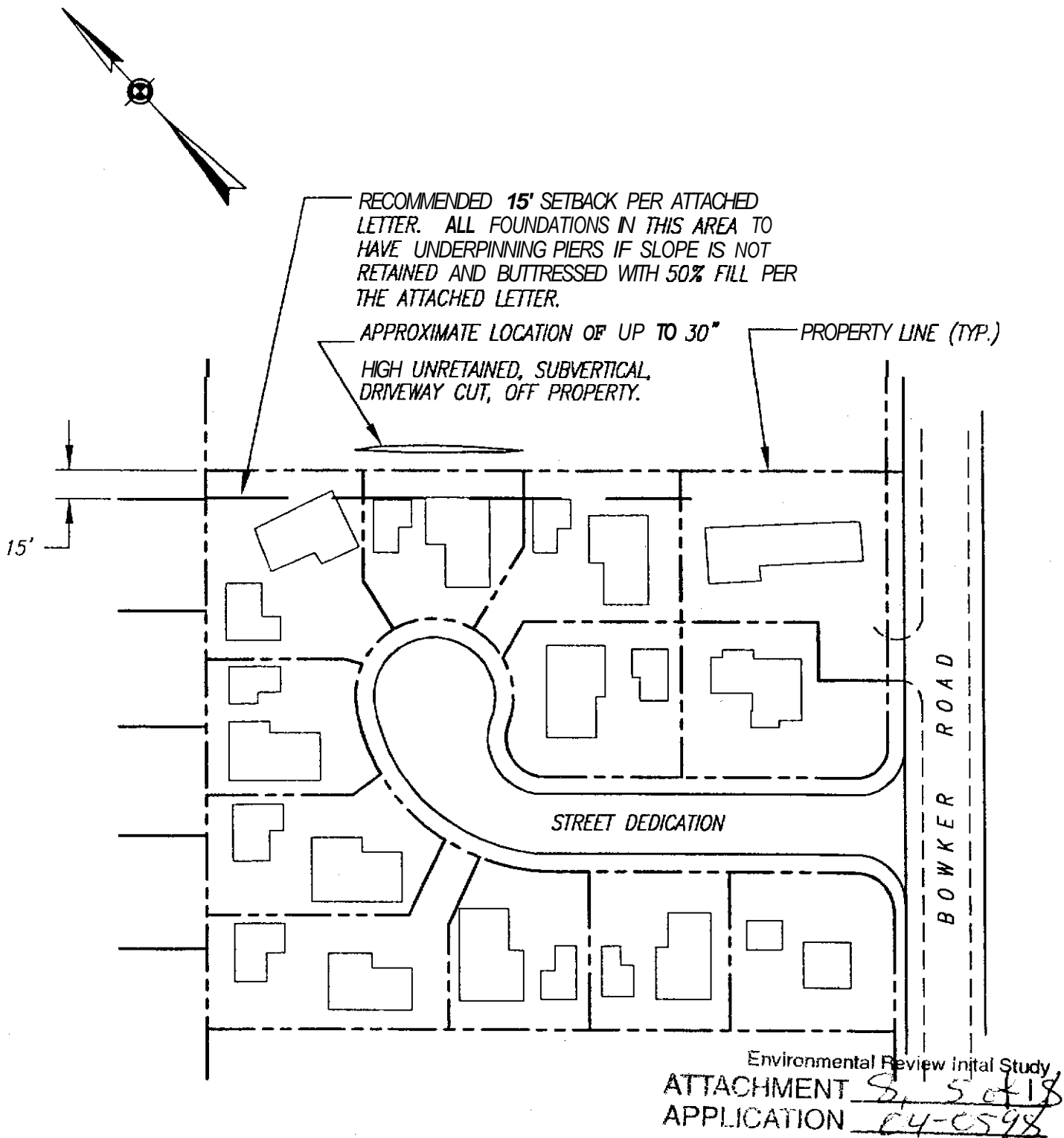
Sincerely Yours,



Environmental Review Initial Study
ATTACHMENT 8, 4 of 18
APPLICATION 040598

Mr. Mike Van Horn, RCE 35615, RGE 2047 (expires 9/30/05)

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5 to Hamilton Swift L.U. & D.C., Inc. Attn: Mr. John Swift
1 to File



Proposed Bowker Road Subdivision			Mike Van Horn, Inc. Registered Geotechnical/Civil Engineer 101 Forrest Avenue, Santa Cruz, CA 95062	PAGE 3 of 3
FILE NO.: 4041	DWN: MVH	9/9/04		
SCALE: 1" = 80'	REVISED:	FIGURE 1 - SITE PLAN		

EXHIBIT D-1

CONCLUSIONS

The following conclusions are drawn from the data acquired and evaluated during the investigation for the proposed project. Refer to the **RECOMMENDATIONS** and **RECOMMENDED FUTURE SERVICES** sections of this report for additional details and requirements in regards to the conclusions below.

- A. Site Suitability: The site is suitable for the Proposed Bowker Road Subdivision (see the **PROJECT DESCRIPTION** section of this report for details) from a geotechnical viewpoint provided the recommendations presented herein are closely followed. If all recommendations in this geotechnical report are closely followed and properly implemented during design and construction and maintained for the lifetime of the project then in my opinion the occupants within the proposed residences should not be subject to risks from geologic hazards beyond "An 'ordinary' level of risk to occupants of the structure.", based on the "**SCALE OF ACCEPTABLE RISKS FROM SEISMIC GEOLOGIC HAZARDS**", and "'Ordinary' Risks." based on the "**SCALE OF ACCEPTABLE RISKS FROM NON-SEISMIC GEOLOGIC HAZARDS**" as stated in Appendix E.
- B. Foundation System: The surface and near-surface soils exhibit medium dense to loose consistencies. It is therefore concluded that conventional, shallow strip and isolated foundation systems are suitable for the proposed residential project. If another foundation system is desired please contact my office and the necessary design criteria and recommendations for that alternate foundation system can be provided.
- C. Settlement: It is estimated that, if the foundations are prepared, as recommended herein, total and differential, long term settlements of the foundations of the proposed residences will be less than 1/2 inch.
- D. Slope Stability: There exists moderately steep slopes and significant unretained cut slopes along the northeast perimeter of the subject site and in possible proximity to the proposed residences. It is probable the unretained cuts may need be retained prior to the installation of the foundations of the proposed residences. Presently, preliminary drawings do not provide sufficient data regarding the location of the cuts and slopes with respect to proposed structures. The Geotechnical Engineer should review proposed grading and topographic design drawings at which time additional recommendations regarding retainment and/or stabilization of the unretained cuts and slopes can be provided. Note that project topographic and grading drawings should include surface elevation contours extending beyond the property to the base of the slopes and include all unretained cuts.
- E. Percolation: The subject site is located in the Pinto Formation soil type, based on the USDA soil maps. Based on the test borings and the above reference, I

conclude that on-site percolation pits may be designed for a percolation rate of 2 inches per hour. The percolation rate may be assumed to apply to the sidewalls and bottom of the percolation pits and during a ten or 100 year storm event.

- F. Erosion: The composition of the site profile is evaluated as contributing a high erosion hazard level to the subject project. The topography of the site is evaluated as contributing a low level of erosion hazard to the subject project. A relatively moderate volume of **surface/subsurface** water appears to be directed toward the subject development. In conclusion **it has** been evaluated that there is a moderate level of erosion hazard to the subject project. Careful attention to constructing adequate drainage design to portions of the site designated by the Project Civil Engineer and Project Geotechnical Engineer is important for the proper performance of slopes and the proposed foundation systems.
- G. Groundwater and Springs: Based primarily on the data gathered during this investigation, I conclude that the potential variations in groundwater elevations and groundwater movements are as follows. **No** groundwater was not observed in the test borings. **No** groundwater is anticipated above 16 feet depth during the dry season. No spring activity was observed within the area of the proposed project during the activities for this investigation. No spring activity is anticipated within the area of the proposed project. However, springs may be masked and may exist within the subject property. If spring activity is observed, please contact the Geotechnical Engineer, so that he can evaluate the potential geotechnical hazards caused by such spring activity.
- H. Expansion: The surface and near surface native soils exhibit a low to moderately low shrink-swell potential when subjected to fluctuations in moisture content. Mitigating measures related to the expansion phenomenon will not be required for this project.
- I. Liquefaction: **No** significant loose, clean sands were observed in the test borings. The site materials consist of geologically non-young deposits; geologically young deposits are required for liquefaction. It is my opinion that the potential for liquefaction at the site is low to nil.

Environmental Review Initial Study
ATTACHMENT 5, 7 of 18
APPLICATION C4-0575

RECOMMENDATIONS

SITE PREPARATION

1. Rippability: It is anticipated that all of the native on-site materials can be handled with conventional, heavy grading equipment. It is my conclusion that only soil or relatively rippable sedimentary bedrock materials will be encountered during the subject grading operations.
2. Organic Stripping: Prior to any grading operations, all areas which are to receive structural fill, foundations, pavement sections, or concrete slabs-on-grade must be stripped and cleared of organics. The exact depth of organics to be removed should be determined by the Geotechnical Engineer when clearing and stripping operations are in progress. All tree roots equal to or greater than one inch in diameter should be cleared and removed from the site. The organically contaminated soil may either be stockpiled and later used as topsoil in landscaping areas or be removed from the site.
3. Uncontrolled Fill: The uncontrolled fill, at the location of the northeast portion of the site, as discussed in the **CONCLUSIONS** section of this report, and as shown on Figure 2, Site Plan, should be completely removed down to firm, native soil at the direction of the Geotechnical Engineer. The resulting depression should be shaped as recommended by paragraph 9 below. The depression should then be scarified and cross-scarified at least six inches deep and re-compacted to at least 90% relative compaction. The depression may then be filled with native soil, or the fill material, if it qualifies as engineered fill. The depression should be filled in thin lifts, not exceeding six inches in un-compacted thickness. The lifts should be compacted as recommended in paragraph 7 below.
4. Scarification (Ripping): Following site clearing operations, the soil surface should be scarified (ripped) and cross scarified at least six (6) inches deep, moisture conditioned as needed, and re-compacted to at least 90% relative compaction. This ~~scarification\compaction~~ operation should be performed at all locations designated for proposed structural fill, concrete slabs-on-grade, or designated for asphalt pavement areas.
5. Fill Specification: The following applies for all fills compacted for this project.
 a. Structural Fill¹ is specified as follows:

Environmental Review Initial Study
 ATTACHMENT 5, 8 of 18
 APPLICATION C4-0598

¹ Structural Fill is defined herein a soil/rock material, which when properly prepared and compacted will support pavements and other man-made structures

- i. Be free of debris, organics and other deleterious material;
 - ii. Be essentially nonexpansive, having a Plastic Index of less than or equal to 12;
 - iii. Have less than three percent (3%) organics by weight;
 - iv. Have a maximum rock size of three inches in diameter, as measured across the greatest circumference of the rock; and
 - v. Contain sufficient clay binder to allow for stable foundation and utility trench excavations.
 - b. If grading operations are conducted during or soon after significant rains or irrigation of the site, the site soil/bedrock materials may be too wet to adequately compact.
 - c. The Geotechnical Engineer should be contacted at least **48** hours prior to grading operations to evaluate this potential condition.
6. Designating Specific Fill Sources: The surface and near surface native soils, which are free of deleterious materials, may be used as structural fill. Should it be necessary to use import soil as structural fill material, a sample of each material should be delivered to the Geotechnical Engineer or his representative for testing and approval at least three working days prior to being transported to the site.
7. General Compaction Criteria: Compaction of all new structural fills and scarified soils should be to at least 90% relative compaction, except as specifically stated in other paragraphs in this report. Import baserock materials under asphalt pavements should be compacted to at least 95% relative compaction. Compaction criteria will be based on the laboratory test procedure **ASTM D1557-93(C)**. **Subgrade** soil under baserock for concrete slabs-on-grade and asphalt pavements should be compacted to not less than 90% relative compaction.
8. Fill Volume Shrinkage: It is anticipated that the existing native soil/bedrock and/or uncontrolled fill will, when adequately re-compacted as recommended herein, experience a reduction in volume of roughly 30%. This quantity is a rough estimate only, and should be utilized only for general planning purposes. The actual re-compaction volume change includes such factors as the amount of undesirable materials in the re-compacted material, the variability in gradation and consistency of the re-compacted material, and the degree of compaction actually achieved on that material. These factors are largely unknown to us and may vary substantially from those presently anticipated by this office.
9. Slope Benches: All fills placed on sloping ground (steeper than 10:1 horizontal to vertical) must be initiated on a base key at least 15 feet wide at locations and

without detrimental movement or settlement.

Environmental Review Initial Study
ATTACHMENT 3 9 of 18
APPLICATION 24-2598

depths as required by the Geotechnical Engineer during the final review process or during mass grading operations. These base keys must be sloped a minimum of two per cent downward into the hill, and should be founded in firm bedrock materials as defined by the Geotechnical Engineer. Each of the up-lope benches should be nearly horizontal, and should be founded on firm bedrock along their up-lope perimeters. The base of the keys should be scarified and cross scarified at least six (6) inches deep, moisture conditioned as needed, and recompact to at least 90% relative compaction.

10. Maximum Slopes: As a general guideline, the maximum finished gradient of graded slopes should be less than or equal to 50%. During their excavation, I should observe cut slopes, in order to approve the exposed conditions, or to provide mitigating measures, if any unexpected adverse conditions are apparent. Fill slopes should be constructed by laterally overfilling beyond the finished 50% face at least one foot and then, by blading off the excess upon completion of the compacting operations. All cut slopes should be inspected by me to ascertain the need for any stabilizing buttress grading. All fill slopes should be constructed of select material, and for certain locations, I may recommend that the fill material be compacted to in excess of 90% relative compaction.
1. General Grading Specifications: Site clearing, placement of fill and grading operations at the site must be conducted in accordance with the following paragraphs and as outlined in the General Grading Specifications, Appendix C of this report. The term "Geotechnical Engineer" refers to myself, or designated representatives of my firm.
12. Unstable Areas: If any unstable areas are encountered during grading operations, the unstable area should be inspected by the Geotechnical Engineer to determine the necessity for remedial measures.
13. Capping Wells: Any and all wells identified by any agency within the site that are not to remain as active wells should be capped in accordance with the requirements of the appropriate government agencies. Please contact the Geotechnical Engineer with respect to the location(s) of known wells within the site. The cap should consist of a concrete plug (2000 psi unconfined compressive strength after 28 days curing) at least five feet thick (vertically). No foundations should be placed within five feet horizontally of the well/well cap.

Environmental Review Initial Study

ATTACHMENT 3, 10 of 14
APPLICATION CY-0598

FOUNDATIONS

14. General: The following are general foundation recommendations. As explained in the **CONCLUSIONS** section of this report, the support of the proposed residences may suitably be provided by conventional, shallow strip footings, if so desired. It is possible additional mitigation will be recommended once the

topographic drawings with building layouts are available to this office.

- a. The actual design of the foundations, including detailed reinforcing requirements, should be determined by the engineer performing the structural design for this project.
 - b. For purposes of design of structural features for the proposed project and if UBC 1997 is utilized in the design the subject site should be assumed to be Soil Profile Type "**SD**" as described in Table 16-J. UBC 1997, $N_a = 1.28$ per Table 16-S, $N_v = 1.57$ per Table 16-T, $C_a = 0.56$ per Table 16-Q, and $C_v = 1.01$ per Table 16-R.
15. Shallow Footings: The following applies for all conventional interior and perimeter shallow, strip footings, as recommended.
- a. The base of the footings should be founded a minimum of 12 inches deep below the lowest, exterior, adjacent, native soil surface. Where applicable code requires deeper trenching depths, those depths will control. Where soil is panned out from under the house, the interior footings should be founded a minimum 12 inches deep below the lowest, exterior, adjacent, native soil surface.
 - b. The soil surface within the interior of the structures may be excavated to the top of the foundation footing.
 - c. **For the** above conditions, the foundations may be designed for an allowable dead plus live load bearing pressure of 2,500 psf. The bearing capacity and passive values may be increased by 113 for short term seismic and wind loading effects.
 - d. A friction value between the properly prepared native soil and mass poured concrete of 0.40 times the load normal to the ground surface may be utilized in computation of lateral resistance.
 - e. A passive value of 380 pounds per cubic foot, equivalent fluid weight, should be assumed in computing lateral resistance from the soil on the foundation footings.

CONCRETE SLAB-ON-GRADE

16. General: The following general recommendations apply to all slabs:
- a. Crack control should be provided by a metal reinforcing layer through the center of the slab. The metal reinforcing should be composed of one of the following materials. These wire/steel specifications are listed in descending order of our preference.
 - i. Reinforcing steel, 40 ksi minimum, #3 rebar both horizontal directions at 18" O.C. spacing; or
 - ii. Wire mesh 6 x 6-10/10, one layer, six-inch lap.
 - b. Construction joints in all concrete slab-on-grade units should be adequately doweled.

17. Interior Slabs: The following applies to all living areas, including areas where dampness of the slab is undesirable.
- These slabs should be structurally tied to the perimeter foundations. Two alternate cross sections are recommended:
 - Alternate I**: The concrete floor slab should be underlain by four inches of $3/4"$, clean, crushed rock approved by the Geotechnical Engineer; or;
 - Alternate II**: If plastic membrane is required the concrete floor slab should be underlain by a minimum of two inches of clean sand over a plastic membrane, over two inches of $3/4"$, clean, crushed rock approved by the Geotechnical Engineer.
18. Exterior Slabs: Exterior concrete slabs-on-grade which will experience vehicular traffic, including driveway aprons, should be underlain by at least four (4) inches of compacted baserock. The baserock should be composed of Caltrans specification, Class II Aggregate Base, 1-1/2 inch maximum aggregate size. This granular base should be compacted to at least 95% relative compaction.
19. Sidewalks: **Baserock** is deemed optional for sidewalk slabs. The sidewalk slab may be placed directly on properly prepared soil subgrade.
20. Garage Slabs: The garage concrete slab-on-grade pavement sections shall consist of at least four inches of concrete, over at least four inches of $3/4"$, clean, crushed rock approved by the Geotechnical Engineer. The base course for this slab should be properly compacted, as needed. These slabs should be structurally tied to the perimeter foundations. The concrete should contain tooled joints placed no greater than eight feet apart in both horizontal directions (or ten feet if the slab is six inches thick).

UTILITY TRENCHES

21. Bedding: All pipes installed into utility trenches should be bedded and shaded as follows: **All** pipes should be bedded in an approved, import, fine granular, fill material. The thickness of the bedding should be at least the diameter of the utility pipe. Shading, also consisting of approved, import, fine granular, fill material, should be placed above the bedding to an elevation of at least 12 inches above the top of the uppermost pipe.
22. Backfill Composition: Utility trench backfill may consist of approved native materials and/or fill materials, as recommended in paragraphs 5 and 6 above. The uppermost 12 inches of utility trench backfill, excluding pavement baserock requirements and excluding areas enclosed by permanent structures, should consist of cap of compacted native soil or other approved, relatively impermeable, soil material.

23. compaction Criteria: Utility trench backfill materials should be compacted to a degree as recommended in paragraph 7 above. The uppermost 12 inches of soil in landscape areas should be compacted between 80% and 85% relative compaction.
24. Across Foundations: Where utility trenches are installed so that they pass through or under the foundation footing or foundation stem wall, the following applies. The trench backfill should include an at least five feet long concrete plug centered at the foundation line. The concrete plug should include the entire trench volume, including the bedding material, and around the pipe, to within 12 inches of the design soil surface elevation. The purpose of this plug is to assist in preventing water from migrating from the exterior of the residences through the trench to the interior of the residences.
25. Trench Lines Near Foundation: The following applies to any utility trenches which the long axis of the trench is planned to be installed at an angle of less than 45° in plan view to all foundation footing lines within 15 feet horizontally of that foundation trench. The utility trenches, should be excavated so that no portion of the trench is located within the potential influence zone of the foundation footing. The potential influence zone of the foundation footing for this application is defined by the zone of soil/bedrock above imaginary lines starting from the exterior and interior bottom edges of the foundation footing and running down at an angle of 1.5:1 horizontal to vertical.
26. Shoring: All trenches should be shored as required by all appropriate government agencies.

DRAINAGE

27. General: Surface drainage control should be provided throughout the completed project to protect the future stability of foundations, roadways and slopes. Where possible, surface runoff should sheet drain and not allowed to concentrate. The site should be graded to provide rapid removal of surface water away from the tops of natural and graded slopes, areas of identified landslide potential, slope instability, or soil creep. Concentrations of surface water runoff should be controlled by the appropriate drainage structures, as required by the project Civil Engineer. All surface drainage should be properly intercepted and discharged into appropriately designed facilities.
28. Drainage On Slopes: Soil berms, drainage swales or lined interceptor ditches should be provided on or above all natural and constructed slopes, in order to divert surface runoff water away from the top edges of these slopes and into the general storm drain system.

Environmental Review Initial Study
ATTACHMENT 8 13 of 18
APPLICATION 04-05-98

29. Erosion Control Planting: Planting, for purposes of erosion control, should be installed **as** quickly as possible after the completion of grading operations on all graded slopes. Ideally, such planting should be restricted to indigenous vegetation, which requires minimal amounts of irrigation water. Potentials for erosion and slope instability are created by excessive irrigation. Slopes greater or equal to 20% should be completely covered with adequately staked jute matting or equivalent material.
30. Roof Drainage: The use of roof gutters **is** recommended for this project. Down spouts should discharge onto splash blocks. Where roof gutters are used, the downspouts should be connected into water-tight, underground pipes. The pipes should discharge at least 50 downslope of the nearest perimeter of the proposed residences. The discharge location should include an energy dissipation structure, as designed by the Civil Engineer. **Flexitube** (ADS) should not be used for any of the drain pipes, unless approved by the Civil Engineer.
31. Drainage Around Building: The final graded ground slopes of the building pads should **be** away from the residences to prevent ponding of water near the foundations.
32. Notify Engineer: The Geotechnical Engineer should be contacted if any spring activity is observed, so that he can provide additional recommendations and mitigating measures related to this spring activity.

Environmental Review Initial Study
ATTACHMENT S, 14 of 18
APPLICATION C-4-C-598



Roper Engineering

Civil Engineering & Land Surveying

444 Airport Blvd., Suite 206 - Watsonville, CA 95076-2063
(831)724-5300 phone
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jeff@roperengineering.com e-mail

Jeff A. Roper
Civil Engineer & Land Surveyor
RCE 41081
PLS 5180

Bob Radino
SAR Enterprises
P.O. Box 350
Aptos, CA 95011-0350

November 12, 2004

Re: Drainage Study for Carmela Court Subdivision
Our Job No. 00064, APN 049-201-15, 16 & 17

Dear Mr. Radino,

Per your request, we have performed a drainage analysis of the area of Bowker Road, La Casa Court and Freedom Blvd. Sheet T4 of the tentative map shows aerial mapping with proposed drainage improvements. Sheet T5 shows the storm drain profile of the piping down Bowker Road, along Freedom Boulevard and then to the creek. Included in this study are calculations of the post development runoff for a 10 year and 100 year storm as required by the County of Santa Cruz for tentative map submittal.

As you are well aware, La Casa Court and Freedom Boulevard regularly flood during large rainfall events. The drainage from this area is required to travel by surface along the Freedom Boulevard edge of pavement which is very flat and inadequate for this quantity of runoff. The drainage along La Casa Court is also required to travel in open swales that are inadequate. The homeowners along La Casa Court and Freedom Boulevard have complained for years about flooding in their homes due to this situation.

This plan proposes to install a storm drain system that will collect the storm water from this area and convey it to the Corralitos Creek through assessor's parcel 050-441-03 on the northeast side of Freedom Boulevard (Teffry property). As shown on the attached drainage area map, sheet D1, there is a 30 acre area to the northwest of Bowker Road that drains to the intersection of Bowker Road and La Casa Court. This 30 acre area is approximately 80% of the total drainage area we will collect with this system. We propose to collect the runoff from this 30 acre area and convey it to Freedom Boulevard and then Corralitos Creek in a 30" storm drain. This improvement will greatly reduce the storm runoff flowing down La Casa Court.

We propose to run the new 30" storm drain along the southeast boundary of the Teffry parcel to a point about 150' from the east corner of this parcel. From this point, the storm drain will angle northerly to intercept the existing drainage channel which drains into Corralitos Creek. We propose to construct a standard Caltrans concrete headwall at

Environmental Review Initial Study
ATTACHMENT 8, 15 of 18
APPLICATION 04-0598
EXHIBIT D

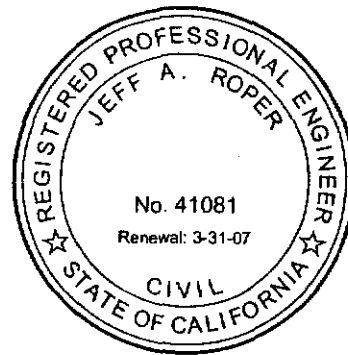
this location. This headwall along with gabion basket erosion control measures will ensure that no erosion occurs at this outlet. We show the outlet of the new 30 pipe at 2 feet above the existing drainage channel flow line. This will allow a free outfall during low flow conditions and facilitate flushing of the storm drain system to prevent sediment buildup. Catch basins are shown at changes in storm drain grade and angle points to provide access for maintenance.

The effect of this drainage improvement on the flows within Corralitos Creek will be insignificant. **All** of the drainage entering the creek from this storm drain system presently enters the creek at a location approximately 1500 feet downstream. There is an existing catch basin and storm drain that intercepts the drainage running along Freedom Boulevard and conveys it to the Creek. The drainage area served by the new storm drain has a total area of 38 acres. The drainage area of Corralitos Creek at our new storm drain outlet is 17,000 acres, approximately 27 square miles, (see sheet D2 attached). The 38 acre drainage area represents only 0.2% of the total area, one fifth of one percent. Therefore, the drainage from this new storm drain system will have no significant effect on the creek flows.

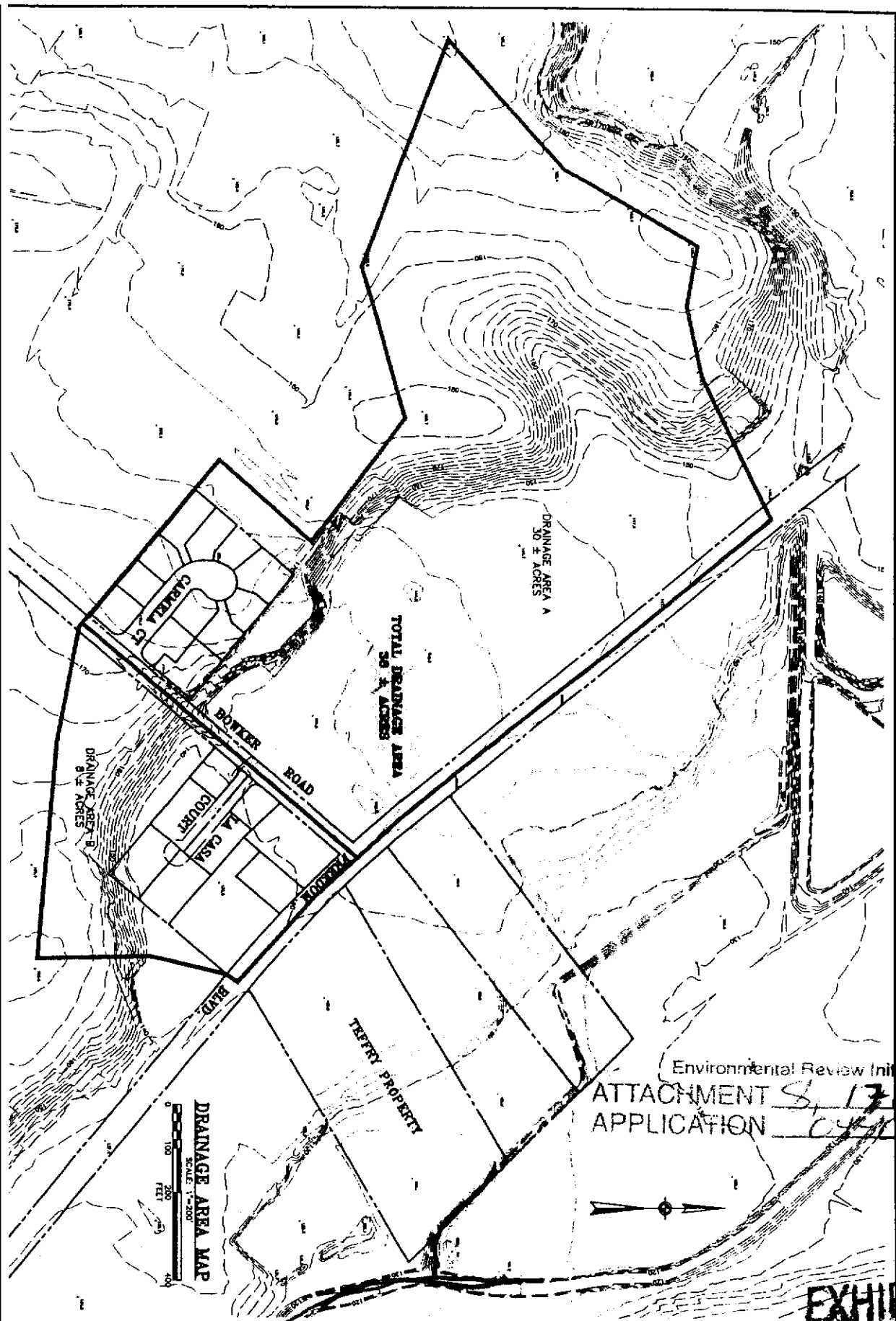
I hope these plans and documents have answered any questions you or others may have had regarding this proposed project. Please give me a call if you have further questions.

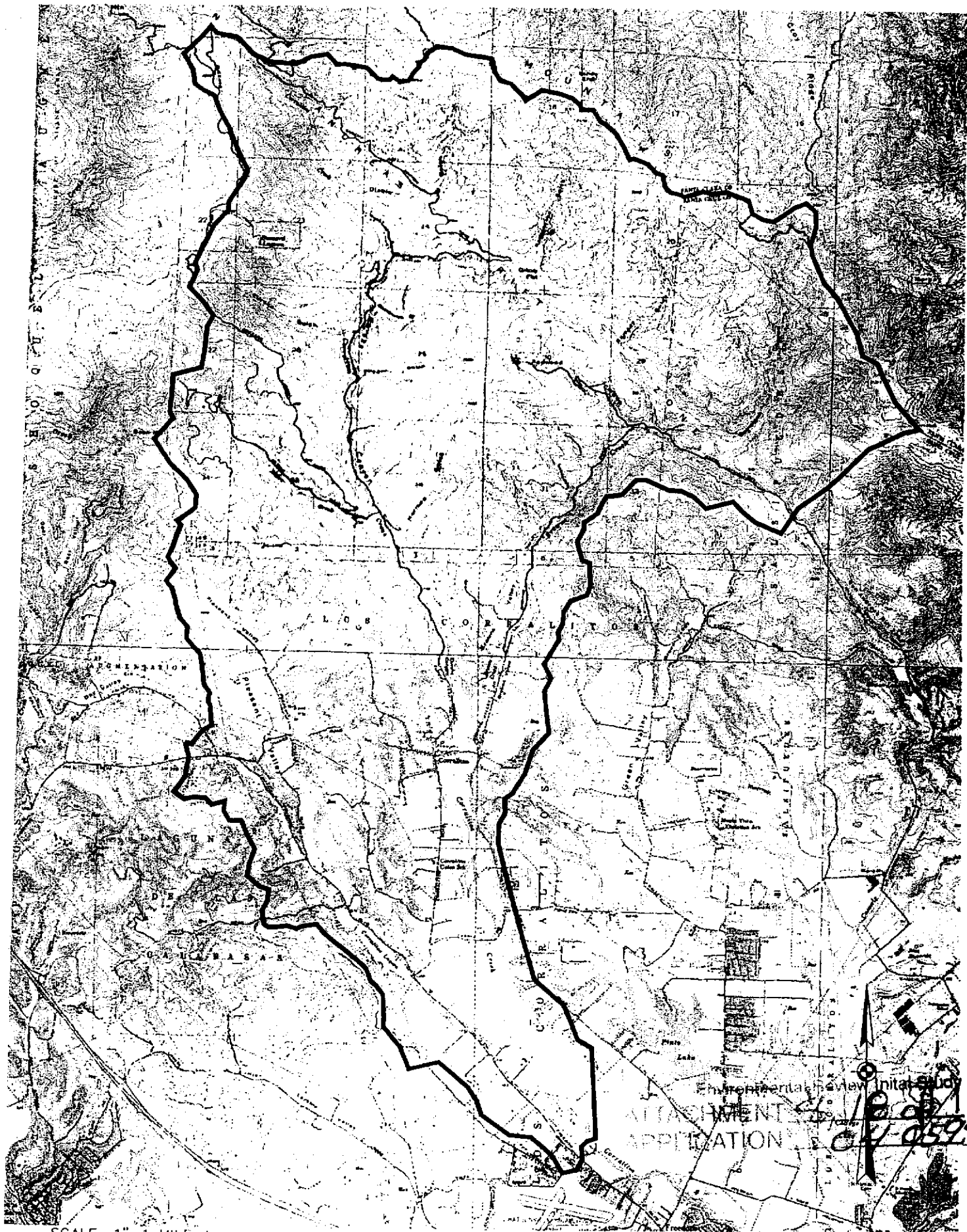
Sincerely,

Jeff Roper
Civil Engineer



Environmental Review Initial Study
ATTACHMENT 8 16 of 18
APPLICATION C4-0598





SCALE: 1"=1 MILE
 1/2 1

CORRALITOS CREEK DRAINAGE AREA
 AT BOWK.-91-AD & FREEDOM BLVD. INTERSECTION
 17,000 ± ACRES (27 ± SQ. MI.)

EXHIBIT D



Roper Engineering

Civil Engineering & Land Surveying

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Jeff A. Roper
Civil Engineer & Land Surveyor
RCE 41081
PLS 5180

Bob Radino
SAR Enterprises
P.O. Box 350
Aptos, CA 95011-0350

November 12, 2004

Re: Drainage Study for Carmela Court Subdivision
Our Job No. 00064, APN 049-201-15, 16 & 17

Dear Mr. Radino.

Per your request, we have performed a drainage analysis of the area of Bowker Road, La Casa Court and Freedom Blvd. Sheet T4 of the tentative map shows aerial mapping with proposed drainage improvements. Sheet T5 shows the storm drain profile of the piping down Bowker Road, along Freedom Boulevard and then to the creek. Included in this study are calculations of the post development runoff for a 10 year and 100 year storm as required by the County of Santa Cruz for tentative map submittal.

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We propose to run the new 30" storm drain along the southeast boundary of the Teffry parcel to a point about 150' from the east corner of this parcel. From this point, the storm drain will angle northerly to intercept the existing drainage channel which drains into Corralitos Creek. We propose to construct a standard Caltrans concrete headwall at

Environmental Review Initial Study

ATTACHMENT 4, 1 of 13
APPLICATION 04059K

EXHIBIT D

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The effect of this drainage improvement on the flows within Corralitos Creek will be insignificant. **All** of the drainage entering the creek from this storm drain system presently enters the creek at a location approximately 1500 feet downstream. There is an existing catch basin and storm drain that intercepts the drainage running along Freedom Boulevard and conveys it to the Creek. The drainage area served by the new storm drain has a total area of 38 acres. The drainage area of Corralitos Creek at our new storm drain outlet is 17,000 acres, approximately 27 square miles, (see sheet D2 attached). The 38 acre drainage area represents only 0.2% of the total area, one fifth of one percent. Therefore, the drainage from this new storm drain system will have no significant effect on the creek flows.

I hope these plans and documents have answered any questions you *or* others may have had regarding this proposed project. Please give me a call if you have further questions.

Sincerely,

Jeff Roper
Civil Engineer



Environmental Review Initial Study
ATTACHMENT 9, 2 of 13
APPLICATION CY-0598

PROJECT Carmela Court Subdivision

Job No. : 00064

Roper Engineering

Date: 11/12/2004

444 Airport Blvd., Suite 206

Watsonville, CA 95076 (831) 724-5300

Sheet No.: 1 of 2

Location: Bowker Road, Freedom

DRAINAGE CALCULATIONS

Reference: "County of Santa Cruz Design Criteria"

Design Criteria: Rational Method, $Q = Ca C i A$

Recurrence Interval =	10 years	
Antecedent Moisture Factor Ca =	1.0	(Table 3-1)
Recurrence Interval Factor =	1.0	(Fig. SD-7)
P60 Isopleth =	1.4 inches/hour	(Fig. SD-6)
Runoff coefficient C =	0.55 low res.	(Table 3-1)
Concentration time t_c =	10.0 minutes	assumed
Rainfall intensity I =	2.0 inches/hour	(Fig SD-7)

10 year storm runoff from project site

Watershed Area = 2.6 acres

Runoff $Q = Ca C i A = 2.9$ cfs

Recurrence Interval =	100 years	
Antecedent Moisture Factor Ca =	1.5	(Table 3-1)
Recurrence Interval Factor =	1.49	(Fig. SD-7)
P60 Isopleth =	1.5 inches/hour	(Fig. SD-6)
Runoff coefficient C =	0.55 low res	(Table 3-1)
Concentration time t_c =	10.0 minutes	assumed
Rainfall intensity I =	2.0 inches/hour	(Fig SD-7)

100 year storm runoff from project site

Environmental Review Initial Study

ATTACHMENT 4, 3 of 13
APPLICATION 04-0598

Watershed Area = 2.6 acres

Runoff $Q = Ca C i A = 6.3$ cfs

PROJECT: Carrnela Court Subdivision

Job No.: 00064

Roper Engineering
444 Airport Blvd., Suite 206
Watsonville, CA **95076** (831) 724-5300

Date: 11/12/2004

Sheet No.: 2 of 2

Location: Bowker Road, Freedom

DRAINAGE CALCULATIONS

Reference: "County of Santa Cruz Design Criteria"

Design Criteria: Rational Method, $Q = Ca Ci A$

Recurrence Interval =	10 years	
Antecedent Moisture Factor $Ca =$	1.0	(Table 3-1)
Recurrence Interval Factor =	1.0	(Fig. SD-7)
P60 Isopleth =	1.4 inches/hour	(Fig. SD-6)
Runoff coefficient $C =$	0.30 rural ag	(Table 3-1)
Concentration time $t_c =$	10.0 minutes	assumed
Rainfall intensity $I =$	2.0 inches/hour	(Fig SO-7)

10 year storm runoff from total drainage area

Watershed Area = 38.0 acres

Runoff $Q = Ca Ci A =$ **22.8 cfs**

Recurrence Interval =	100 years	
Antecedent Moisture Factor $Ca =$	1.25	(Table 3-1)
Recurrence Interval Factor =	1.49	(Fig. SD-7)
P60 Isopleth \square	1.5 inches/hour	(Fig. SD-6)
Runoff coefficient $C =$	0.30 rural ag	(Table 3-1)
Concentration time $t_c =$	10.0 minutes	assumed
Rainfall intensity $I =$	2.0 inches/hour	(Fig SD-7)

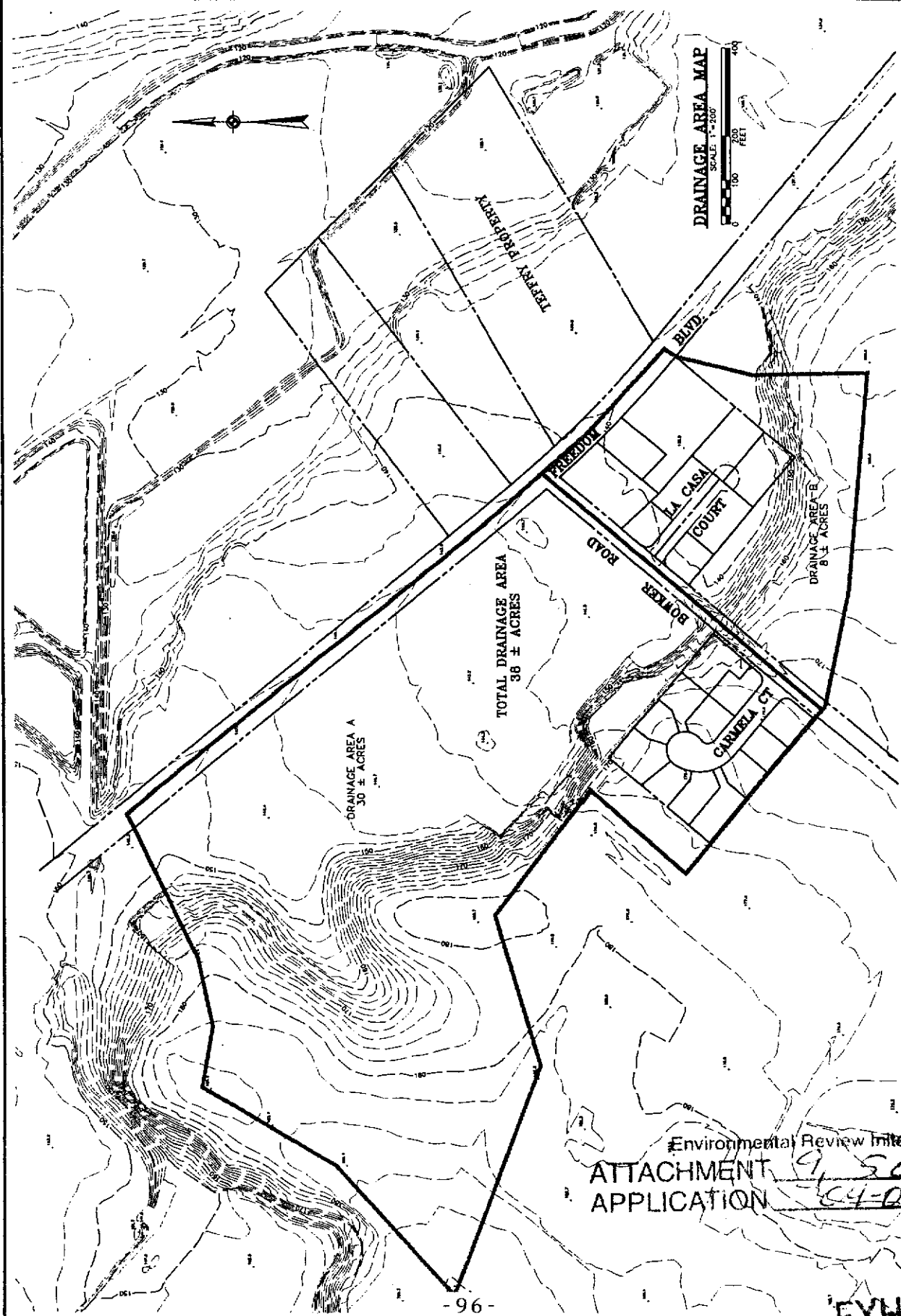
100 year storm runoff from total drainage area

Watershed Area = 38.0 acres

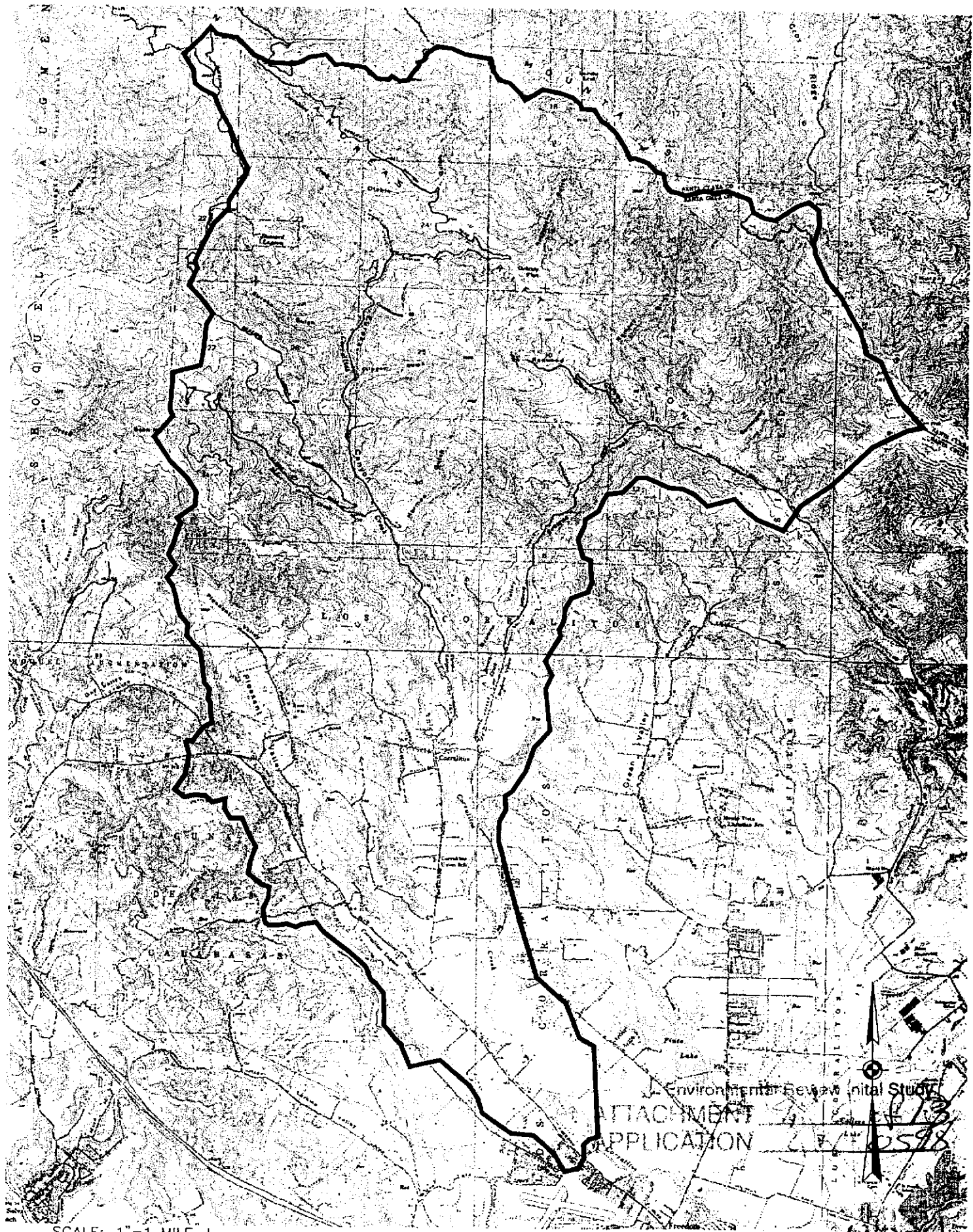
Runoff $Q = Ca Ci A =$ **42.5 cfs**

Environmental Review Initial Study

ATTACHMENT 9, 4 of 13
APPLICATION 24-0598



Environmental Review Initial Study
 ATTACHMENT 9, 50613
 APPLICATION 64-0598



SCALE: 1"=1 MILE ±
0 1/2 1 2

CONCHOS CREEK DRAINAGE AREA
AT BOWK AD & FREEDOM BLVD. INTERSECTION
17,000 ± ACRES (27 ± SQ. MI.)

Environmental Review Initial Study
ATTACHMENT
APPLICATION

D2

PROJECT: Carmela Court Subdivision

Job No.: 00064

Roper Engineering
444 Airport Blvd., Suite 206
Watsonville, CA 95076 (831) 724-5300

Date: 6/9/2005

Sheet No.: 1 of 7

Location: Bowker Road, Freedom

DRAINAGE CALCULATIONS

Reference: "County of Santa Cruz Design Criteria"

Design Criteria: Rational Method, $Q = Ca C i A$

10 year storm runoff from project site



Recurrence Interval =	10 years	
Antecedent Moisture Factor Ca =	1.0	(Table 3-1)
Recurrence Interval Factor =	1.0	(Fig. SD-7)
P60 Isoleth =	1.4 inches/hour	(Fig. SD-6)
Runoff coefficient C =	0.55 low res.	(Table 3-1)
Concentration time t_c =	10.0 minutes	assumed
Rainfall intensity I =	2.0 inches/hour	(Fig SD-7)
Watershed Area =	2.6 acres	
Runoff $Q = Ca C i A$ =	2.9 cfs	

100 year storm runoff from project site

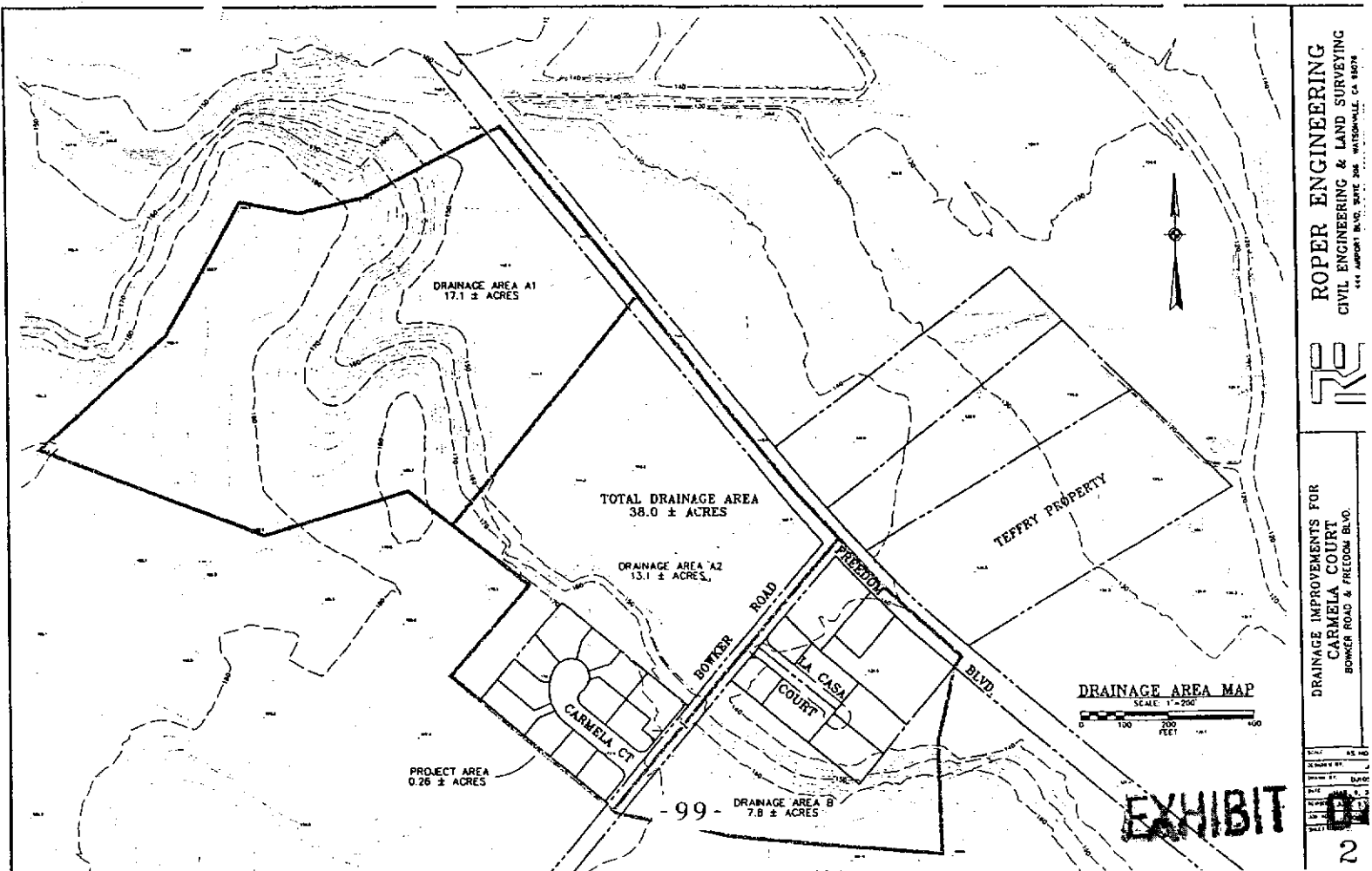
Recurrence Interval =	100 years	
Antecedent Moisture Factor Ca =	1.25	(Table 3-1)
Recurrence Interval Factor =	1.49	(Fig. SD-7)
P60 Isoleth =	1.4 inches/hour	(Fig. SD-6)
Runoff coefficient C =	0.55 low.res	(Table 3-1)
Concentration time t_c =	10.0 minutes	assumed
Rainfall intensity I =	2.0 inches/hour	(Fig SD-7)
Watershed Area =	2.6 acres	

Runoff $Q = Ca C i A$ = **5.3 cfs**

Environmental Review Initial Study

ATTACHMENT 9, 7 & 13
APPLICATION 04-0548

Environmental Review Initial Study
 ATTACHMENT 9, 8 of 13
 APPLICATION 04-0598



ROPER ENGINEERING
 CIVIL ENGINEERING & LAND SURVEYING
 444 AIRPORT BLVD. SUITE 206 WATSONVILLE, CA 95076



DRAINAGE IMPROVEMENTS FOR
 CARMELA COURT
 BOWKER ROAD & FREEDOM BLVD.

DATE: 05/06
 DRAWN BY: [illegible]
 CHECKED BY: [illegible]
 APPROVED BY: [illegible]

EXHIBIT

PROJECT: Carmela Court Subdivision

Job No.: 00064

Roper Engineering

Date: 6/9/2005

444 Airport Blvd., Suite 206

Watsonville, CA 95076 (831) 724-5300

Sheet No.: 3 of 7

Location: Bowker Road, Freedom

DRAINAGE CALCULATIONS

Reference: "County of Santa Cruz Design Criteria"

Area A Composite Runoff Coefficient

Zone	Acreage	Type of Area	C runoff coefficient	Factor
Area A1	17.1	Agricultural	0.20	3.42
Area A2	13.1	Low Residential	0.55	7.21
Total Area A	30.2	Composite "C":		0.35

Total Drainage Area Composite Runoff Coefficient

Zone	Acreage	Type of Area	C runoff coefficient	Factor
Area A	30.2	Composite	0.35	10.57
Area B	7.8	Low Residential	0.55	4.29
Total Area A	38.0	composite "C":		0.39

Environmental Review Initial Study
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APPLICATION 04-0598

PROJECT: Carmela Court Subdivision

Job No.: 00064

Roper Engineering
444 Airport Blvd., Suite 206
Watsonville, CA 95076 (831) 724-5300

Date: 6/9/2005

Sheet No.: 4 of 7

Location: Bowker Road, Freedom

DRAINAGE CALCULATIONS

Reference: "County of Santa Cruz Design Criteria"

Design Criteria: Rational Method, $Q = C_a C_i A$

10 year storm runoff from Drainage Area A

Recurrence Interval =	10 years	
Antecedent Moisture Factor C_a =	1.0	(Table 3-1)
Recurrence Interval Factor =	1.0	(Fig. SD-7)
P60 Isopleth =	1.4 inches/hour	(Fig. SD-6)
Runoff coefficient C =	0.35 composite	(Sheet 3)
Concentration time t_c =	10.0 minutes	assumed
Rainfall intensity I =	2.0 inches/hour	(Fig SD-7)
Watershed Area =	30.2 acres	

Runoff $Q = C_a C_i A = 21.1 \text{ cfs}$

100 year storm runoff from Drainage Area A

Recurrence interval =	100 years	
Antecedent Moisture Factor C_a =	1.25	(Table 3-1)
Recurrence Interval Factor =	1.49	(Fig. SD-7)
P60 Isopleth =	1.4 inches/hour	(Fig. SD-6)
Runoff coefficient C =	0.35 composite	(Sheet 3)
Concentration time t_c =	10.0 minutes	assumed
Rainfall intensity I =	2.0 inches/hour	(Fig SD-7)
Watershed Area =	30.2 acres	

Runoff $Q = C_a C_i A = 39.4 \text{ cfs}$

Environmental Review Initial Study
ATTACHMENT
APPLICATION 9, 10 of 13
04-0598

PROJECT: Carmela Court Subdivision

Job No.: 00064

Roper Engineering
444 Airport Blvd., Suite 206
Watsonville, CA 95076 (831) 724-5300

Date: 6/9/2005

Sheet No.: 5 of 7

Location: Bowker Road, Freedom

DRAINAGE CALCULATIONS

Reference: "County of Santa Cruz Design Criteria"

Design Criteria: Rational Method, $Q = C_a C_i A$

10 year storm runoff from Total Drainage Area

Recurrence Interval =	10 years	
Antecedent Moisture Factor C_a =	1.0	(Table 3-1)
Recurrence Interval Factor =	1.0	(Fig. SD-7)
P60 Isopleth =	1.4 inches/hour	(Fig. SD-6)
Runoff coefficient C =	0.39 composite	(Sheet 3)
Concentration time t_c =	10.0 minutes	assumed
Rainfall intensity I =	2.0 inches/hour	(Fig SD-7)
Watershed Area =	38.0 acres	

Runoff $Q = C_a C_i A =$ **29.6 cfs**

100 year storm runoff from Total Drainage Area

Recurrence Interval =	100 years	
Antecedent Moisture Factor C_a =	1.25	(Table 3-1)
Recurrence Interval Factor =	1.49	(Fig. SD-7)
P60 Isopleth =	1.4 inches/hour	(Fig. SD-6)
Runoff coefficient C =	0.39 composite	(Sheet 3)
Concentration time t_c =	10.0 minutes	assumed
Rainfall intensity I =	2.0 inches/hour	(Fig SD-7)
Watershed Area =	38.0 acres	

Runoff $Q = C_a C_i A =$ **55.2 cfs**

Environmental Review Initial Study
ATTACHMENT 9 11 of 13
APPLICATION 04-0598

Carmela Court Subdivision
Worksheet for Circular Channel

Project Description	
Project File	c:\haestad\fmw\00064sd.fm2
Worksheet	18" PVC flowing full
Flow Element	Circular Channel
Method	Manning's Formula
Solve For	Discharge

input Data	
Mannings Coefficient	0.008
Channel Slope	0.028000ft/ft
Depth	1.50 ft
Diameter	18.00 in

Results	
Discharge	28.56 cfs
Flow Area	1.77 ft ²
Wetted Perimeter	4.71 ft
Top Width	0.37e-7 ft
Critical Depth	1.49 ft
Percent Full	100.00
Critical Slope	0.026344ft/ft
Velocity	16.16 ft/s
Velocity Head	4.06 ft
Specific Energy	5.56 ft
Froude Number	0.41e-3
Maximum Discharge	30.72 cfs
Full Flow Capacity	28.56 cfs
Full Flow Slope	0.028000ft/ft
Flow is subcritical.	

Notes:

Roper Engineering
444 Airport Blvd.. Suite 206
Watsonville, CA 95076
(831)724-5300

Job No.: 00064

Sheet No.: 6 of 7

Environmental Review Initial Study
ATTACHMENT 9 12 of 12
APPLICATION 04-0598

Carmela Court Subdivision
Worksheet for Circular Channel

Project Description	
Project File	c:\haestad\fmw\00064sd.fm2
Worksheet	3 0 PVC flowing full
Flow Element	Circular Channel
Method	Manning's Formula
Solve For	Discharge

Input Data	
Mannings Coefficient	0.008
Channel Slope	0.005000 ft/ft
Depth	2.50 fl
Diameter	30.00 in

Results	
Discharge	47.13 cfs
Flow Area	4.91 ft ²
Wetted Perimeter	7.85 ft
Top Width	0.67e-7 ft
Critical Depth	2.26 fl
Percent Full	100.00
Critical Slope	0.004387 ft/ft
Velocity	9.60 ft/s
Velocity Head	1.43 ft
Specific Energy	3.93 fl
Froude Number	0.2e-3
Maximum Discharge	50.70 cfs
Full Flow Capacity	47.13 cfs
Full Flow Slope	0.005000 Wft
Flow is subcritical.	

Notes:

Roper Engineering
444 Airport Blvd.. Suite 206
Watsonville, CA 95076
(831) 724-5300

Job No.: 00064

Sheet No.: 7 of 7

Environmental Review Initial Study
ATTACHMENT 9, 13, and 13
APPLICATION 04-0598



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX (831) 454-2131 TDD (831) 454-2123
TOM BURNS, PLANNING DIRECTOR

January 27, 2005

John Swift
1509 Seabright Avenue, Suite A1
Santa Cruz, CA 95062

SUBJECT: Archaeological Reconnaissance Survey for
APNs 049-201-15, 049-200-16 and 049-201-17

To Whom It May Concern,

The County's archaeological survey team has completed the Phase 1 archaeological reconnaissance for the parcels referenced above. The research has concluded that pre-historical cultural resources were not evident at the site. A copy of the review documentation is attached for your records. No further archaeological review will be required for the proposed development.

Please contact me at 831-454-3372 if you have any questions regarding this review.

Sincerely,

Elizabeth Hayward
Planning Technician

Enclosure

Environmental Review Initial Study
ATTACHMENT 10, 1052
APPLICATION 04-0598

EXHIBIT B

SANTA CRUZ ARCHAEOLOGICAL SOCIETY
1305 EAST CLIFF DRIVE, SANTA CRUZ, CALIFORNIA 95062

Preliminary Prehistoric Cultural Resource
Reconnaissance Report

Parcel APN: 049-2015, 16, 17

SCAS Project #: SE-04-1003

Planning Permit #: 04-0598

Parcel Size: 2.471 acres

Applicant: JOHN SWIFT

Nearest Recorded Prehistoric Site: CA-SCR-158 ~1.4 mi NE

On 11/7/05 (2) members of the Santa Cruz Archaeological Society spent a total of (32) hours on the above described parcel for the purposes of ascertaining the presence or absence of prehistoric cultural resources on the surface. Though the parcel was traversed on foot at regular intervals and diligently examined, the Society cannot guarantee the surface absence of prehistoric cultural resources where soil was obscured by grass, underbrush or other obstacles. No core samples, test pits, or any subsurface analysis was made. A standard field form indicating survey methods used, type of terrain, soil visibility, closest freshwater source, and presence or absence of prehistoric and/or historic cultural evidence was completed and filed with this report at the ~~Santa~~ Cruz County Planning Department.

The preliminary field reconnaissance did not reveal any evidence of prehistoric cultural resources on the parcel. The proposed project would therefore, have no direct impact on prehistoric resources. If subsurface evidence of such resources should be uncovered during construction the County Planning Department should be notified..

Further details regarding this reconnaissance are available from the Santa Cruz County Planning Department or from Rob Edwards, Director, Archaeological Technology Program, Cabrillo College, 6500 Soquel Drive, Aptos CA 95003, (831) 479-6294, or email redwards@Cabrillo.cc.ca.us.

Page 4 of 4

Environmental Review Initial Study
ATTACHMENT 10 of 2
APPLICATION 04-0598



DEPARTMENT OF FISH AND GAME

<http://www.dfg.ca.gov>

POST OFFICE BOX 47
YOUNNILLE, CALIFORNIA 94599
(707)944-5500



February 25, 2005

Ms. Joan Van der Hoeven
County of Santa Cruz
Planning Department
701 Ocean Street, Suite 400
Santa Cruz, CA 95060-4073

Dear Ms. Van der Hoeven:

Project Comment Sheet
Swink Land Division
Bowker Road, Watsonville
Santa Cruz County # 04-0598

This letter from Department of Fish and Game (DFG) is a follow-up to our e-mail of December 6, 2004. Since that time we have been in contact with Mr. John Swift, the contact for the project, and have discussed a number of scenarios relating to the survey methodologies and potential mitigations. Discussions continue regarding the details, but at this time there seems to be enough information to indicate any likely mitigation will occur off-site.

Given this, there is unlikely to be a need to redesign on-site for biological mitigation and, therefore, DFG has no objection to the project being declared complete for biological issues.

Questions regarding this letter and further coordination on these issues should be directed to Mr. Dave Johnston, Environmental Scientist, at (831) 475-9065; or Mr. Scott Wilson, Habitat Conservation Supervisor, at (707) 944-5584.

Sincerely,

for Scott Wilson

Robert W. Floerke
Regional Manager
Central Coast Region

cc: Mr. John Swift
Hamilton-Swift Land Use and Development
1509 Seabright Avenue
Santa Cruz, CA 95062

Environmental Review Initial Study
ATTACHMENT 11
APPLICATION 04-0598

46, 54 & 62 BOWKER ROAD
SANTA CRUZ TARPLANT
HABITAT ASSESSMENT

Prepared for:

John Swift
Hamilton Swift
1509 Seabright Avenue
Santa Cruz, CA 95062

Application Number: 04-0598

APN: 049—201-15

049—201-16

049—201-17

Prepared By:

Joshua Fodor
Ellen Holmes
Central Coast Wilds
114 Liberty Street
Santa Cruz, CA 95060

Environmental Review Initial Study
ATTACHMENT 12, 1 of 9
APPLICATION 04-0598

June 16, 2005

Introduction

The following monitoring report is for SAREnterprise/Bob Ridino's property at 46, 54 and 62 Bowker Road (APN 49-201-15, -16, -17) in Santa Cruz County (Map 1). This report fulfills the requirement by the California Department of Fish and Game (CDFG) to monitor the parcel for the presence of Santa Cruz Tarplant (*Holocarpha macradenia*).

Project Background

On January 22, 2005, Central Coast Wilds (CCW) submitted a protocol for the assessment of 46, 54 and 62 Bowker Road for the presence or absence of Santa Cruz Tarplant (Attachment 1). On February 24, Dave Johnston of the CDFG responded with a modified protocol that directed the client to scrape sample areas of the property to a depth of 1-inch using a box scraper (Attachment 2). This scraping work was completed in early March 2005.

Subsequently, Mr Johnston directed the client to perform two surveys of the sample plots (Attachment 3). These surveys were to be performed two weeks apart and compared to sample plots monitored by John Gilchrist at the Watsonville airport.

Monitoring Surveys

A total of four monitoring surveys were performed. Monitoring surveys occurred on 4/6/05, 4/21/05, 5/4/05 and 5/20/05. All monitoring and reporting was performed by Josh Fodor and Ellen Holmes of Central Coast Wilds. The results of the surveys are attached as Table 1.

Photopoints

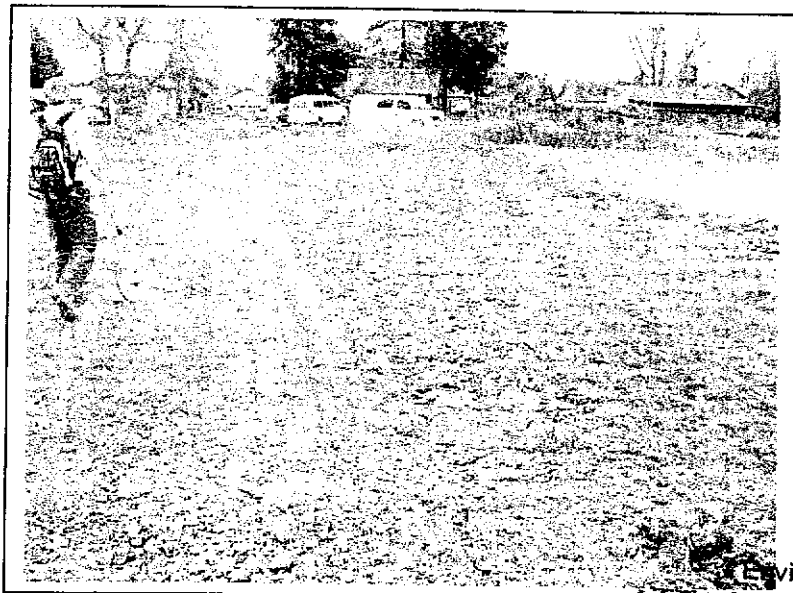
Photos 1-4 (attached) were taken of the sample plots shortly after scraping occurred on March 17, 2005.

Discussion of Findings

No Santa Cruz Tarplant seedlings were discovered in any of the sample plots at 46, 54 and 62 Bowker Road. Two of the Bowker Road monitoring events took place after John Gilchrist first noted *Holocarpha macradenia* seedlings at the Watsonville airport on May 2, 2005. As indicated in the monitoring results in Table 1, less than 8% of species discovered are California native species. Three of the four species of California natives had very few plants present. Over 92% of the species, and 99.9% of the vegetative cover in the sample plots are non-native weedy herbaceous species that are indicative of significant long-term disturbance characteristic of agricultural and residential development. Although the sample plots do not represent an exhaustive study of the entire property, it is highly unlikely that a viable seed bank of Santa Cruz Tarplant exists on this site.



Photo 1: 46, 54 and 62 Bowker Road North-East View



Environmental Review Initial Study
 ATTACHMENT 12, 3 of 9
 APPLICATION 04-0598

Photos 2: 46.54 and 62 Bnwker Rnad Snuth- East View

06-15-2005

CENTRAL COAST WILDS

Page 2 of 3, SAR Enterprise/Bob Ridino 46, 54 & 62 BOWKER
 DRAFT: HOLOCARPHA MACRADENIA STUDY

9,7004
 39 6015

FOR T. PURPOSES ONLY

THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES AN
 LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
 © COPYRIGHT SANTA CRUZ COUNTY ASSESSOR 2000

POR. RANCHO DE LOS CORRALITOS
 SE. 1/2 SEC. 30, T.15S. R.2E. M.D.B. & M.

EDEWODD ESTATES TR. 475
 SOMB 4/11/69

Tax Area Code
 69-255 69-256
 69-262

Environmental Review Initial Study

ATTACHMENT
 APPLICATION

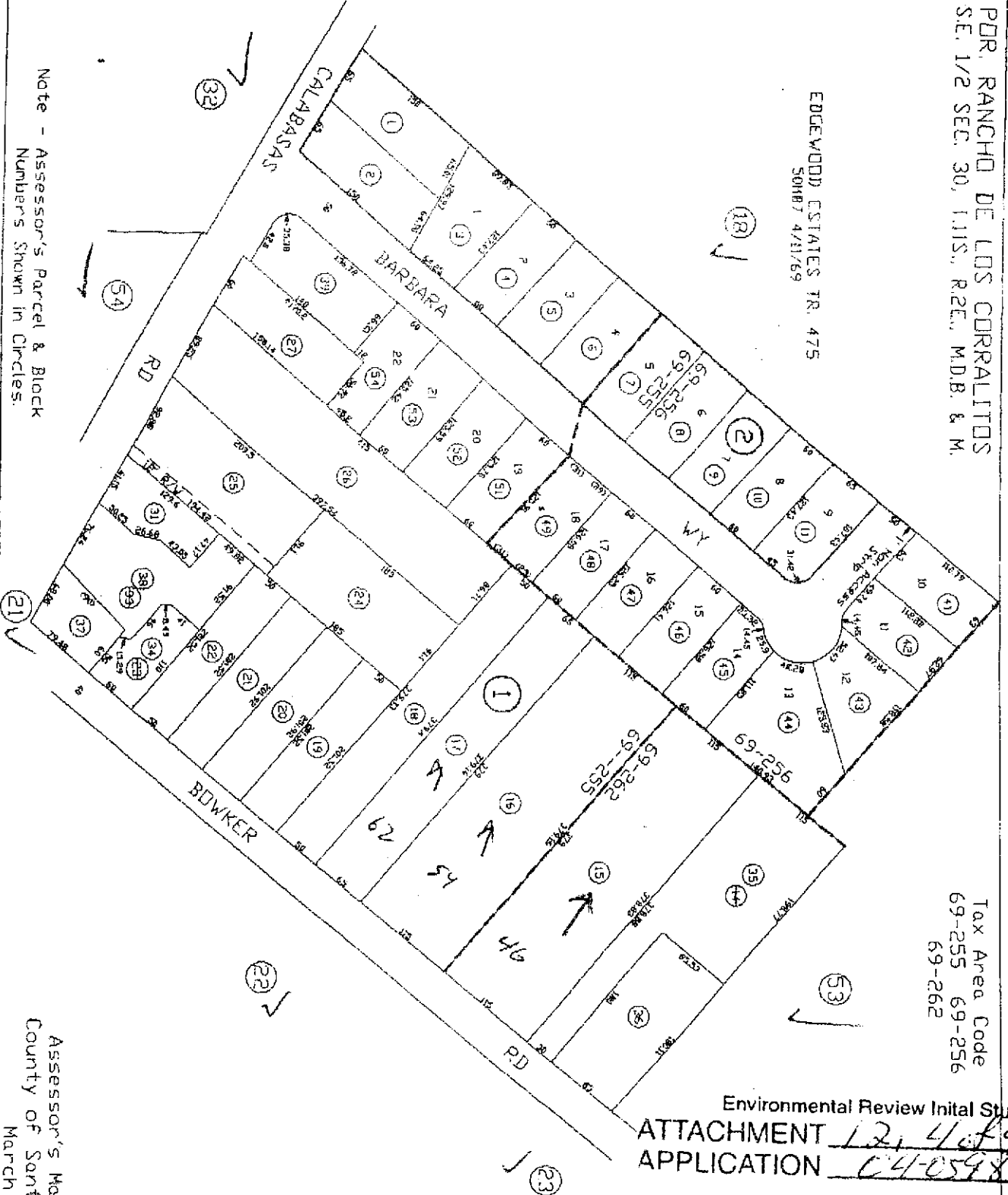
12, 4049
 C4-0598

49-2

EXHIBIT

Note - Assessor's Parcel & Block
 Numbers Shown in Circles.

Assessor's Map No. 49-20
 County of Santa Cruz, Calif.
 March 2000





Ecological Concerns Incorporated
Central Coast Wilds
California Native Plants
Ecological Restoration
Botanical Consulting

www.CentralCoastWilds.com

HABITAT ASSESSMENT PROTOCOL
FOR HOLOCARPHA MACRADEIA
Bowker Road Properties
Hamilton Swift Landuse Consultants

Scope of Work

The tasks outlined are to be accomplished by CCW in order to determine the presence or absence of Santa Cruz Tarplant (*Holocarpha macradenia*) at various properties along Bowker Road in Watsonville, California.

1. Site Delineation – with the direction of California Department of Fish & Game (CDFG) and the client, make a determination of the exact area to receive the proposed treatment.
2. Site Map – prepare a base map prior to the treatment indicating the boundaries of the proposed treatment areas.
3. Install Fencing – install temporary orange construction fencing around the perimeter of all areas to be treated.
4. Install Erosion Control – install appropriate erosion control measures around the treatment areas in order to assure that no sediment leaves the site or impacts surrounding potential Santa Cruz Tarplant habitat.
5. Scrape Topsoil – scrape the topsoil to a depth of 2-3 inches with a tractor mounted implement.
6. Stockpile Topsoil – stockpile the soil generated from the scraping on site and with protective covering.
7. Monitor – monitor the site visually on a weekly basis throughout the potential germination period of the Santa Cruz Tarplant.
8. Photo-document – photo-document the treatment areas from several established photo points.
9. Notification – notify the CDFG and the client immediately if Santa Cruz Tarplant seedlings are suspected.
10. Report – report the results of the treatment to CDFG and others as appropriate.

Submittals

CCW will submit the following items to you according to the time schedule outlined below:

1. Site Map – the base map will be submitted for review prior to initiating the treatment.
2. Final Report – the final reports will be prepared after the assessment period is complete.

Exclusions

Please note that the scope of work does not include the following:

1. Comprehensive seed bank assessment of any sight.
2. Management recommendations or services based on the findings of the assessment.

Time Schedule

CCW proposes to begin work no later than 7 days after approval of the Protocol and receipt of the signed contract.

Items 1-4 will be complete in 7 days, assuming other parties availability.

Items 5-6 will be completed in 2 days, weather permitting

Items 7-9 will be completed as per plan.

Item 10 will be submitted 10 days after the completion of the monitoring period.

Environmental Review Initial Study
ATTACHMENT 12, 5 of 9
APPLICATION 04-0598

John Swift

From: "David Johnston" <djohnston@dfg.ca.gov>
To: <HS-JOHN@PACBELL.NET>
Cc: <pin140@co.santa-cruz.ca.us>
Sent: Thursday, February 24, 2005 3:37 PM
Subject: Bowker Road

John:

This mail confirms acceptance of the habitat assessment protocol for the Bowker Road project.

The protocol is by Central Coast Wilds and is undated, but describes a procedure to scrape the site to potentially release any seed stock of Santa Cruz tarplant.

The following modifications to the protocol are required:

1. Maximum **scraping** depth must not **exceed 1"**.
2. Scraping **implement** should be a blade or box scraper
3. Scraped material should be placed in thin layers **mound** the remainder of the site **rather than** being stockpiled.

Unfortunately, neither Grey *or* I are available tomorrow to go to *the* **site**, but it **is** important that the scraping be done as soon **as** possible, so please **proceed**, using Mr. Fodor's *best* judgement. **If at all** possible have the scraping done **this** weekend. **Be** sure to include as **much** areas as possible and **pay particular** attention to lower, damp areas.

Please notify **me** when the scraping is done and, if you **have** not **already** done so, **send** a **copy** of the protocol to the County Planner.

Feel free to call me **if** you have any questions.

Dave Johnston
Calif. **Department** of Fish and Game
(831)475-9065

Environmental Review Initial Study
ATTACHMENT 12-6-09
APPLICATION 04-0598

John Swift

From: "David Johnston" <djohnston@dfg.ca.gov>
To: <HS-JOHN@PACBELL.NET>
Bent: Friday, March 04, 2005 6:15 PM
Subject: Bowker Road

John:

Good news for you:

You can do two surveys, two weeks apart, starting now.

You should make an attempt to scrape a comparison plot at the airport, doesn't have to be big, but it obviously needs to be in an area where tarplant could be present but is not currently showing any plants.

The contact for the airport is John Gilchrist (429-4355).

Evidently the plants are already growing and have been doing so since last fall. Light triggers germination, so scraping the soil can trigger germination at repressed sites.

If you can index with the airport, two surveys should be enough. If not three or four would be better.

I'll be in Monday AM to discuss

Dave Johnston
Calif. Department of Fish and Game
(831)475-9065

Environmental Review Initial Study
ATTACHMENT 12, 7 of 9
APPLICATION 04-0598

03/06/2005

Environmental Review Initial Study
ATTACHMENT
APPLICATION

6152F 6034F

46, 54 & 62 Bowker (Bob Ridino/SAR Enterprise) 2005 Holocarpus macradenia monitoring										
Notes	Site C 3/17/05 South site Scraped area 56' X 92'	Site D 3/17/05 North site Scraped area 79' X 46'	Site C 4/6/05	Site D 4/6/05	Site C 4/21/05	Site D 4/21/05	Site C 5/4/05	Site D 5/4/05	Site C 5/20/05	Site D 5/20/05
Species identified, N=Ca Native	P=Present								50% bare ground	75% bare ground
Anagallis arvensis				P	P	P	P	P		P
Avena barbata										P
Avena fatua	P	P	P	P	P	P	P	P	P	P
Bromus diandrus										P
Bromus hordeaceus										P
Bromus madritensis ssp. rubens			P		P			P	P	
Bromus stamineus									P	
Calandrinia ciliata N				P		P		P		P
Cerastium glomeratum							P	P		
Chenopodium album								P		P
Cirsium vulgare										
Corylus arvensis	P	P	P	P	P	P	P	P	P	P
Cynodon dactylon			P	P		P		P		P
Epilobium sp. N					P				P	
Erodium moschatum	P	P	P	P	P	P	P	P	P	P
Eschscholtzia californica N	P		P		P	P	P	P	P	P
Geranium dissectum						P		P		P
Hordeum marinum					P					P
Hordeum murinum							P		P	P
Hypochaeris radicata						P		P		P
Lactuca setigera									P	P
Lolium perenne					P			P		P
Malva nicaeensis					P			P		P
Medicago polymorpha		P	P	P	P	P	P	P	P	P
Oxalis albicans ssp. pilosa N				P				P		P
Oxalis pes-caprae	P	P	P	P	P	P	P	P	P	P
Picris echioides						P			P	P
Plantago lanceolata									P	P
Poa annua					P			P	P	
Polycarpon tetraphyllum										P
Quercus agrifolia N					P			P		
Raphanus sativa	P	P	P		P	P	P	P	P	P
Rubus discolor			P		P	P	P	P		P
Rumex acetosella										P
Senecio vulgaris			P	P			P	P	P	
Sonchus asper					P	P	P	P	P	P
Spergula arvensis								P		P
Stellaria media									P	
Trifolium subterraneum								P		P
Vulpia bromoides	P	P	P	P	P	P	P	P		P

Joan Vanderhoeven

From: David Johnston [djohnston@dfg.ca.gov]
Sent: Monday, August 08, 2005 2:29 PM
To: Joan Vanderhoeven; HS-John@pacbell.net
Subject: 46, 54, 61 and 62 Bowker Road Tarplant Assessment

John :

I have reviewed the two reports by Central Coast Wilds (June 16, 2005) for the addresses noted above.

Central Coast wilds scraped the sites as agreed in our protocol and found no Santa Cruz tarplant was released by the action.

Based on these results, DFG concurs that Santa Cruz tarplant is unlikely to be found at the sites (APNs 49-201-15, 16 & 17 and 49-221-30) and no further mitigation measures are warranted for the species.

Please feel free to contact me if you have any questions.

Dave Johnston
Calif. Department of Fish and Game
(831)475-9065

Environmental Review Initial Study
ATTACHMENT 12, 4 of 9
APPLICATION 09-0598

C O U N T Y O F S A N T A C R U Z
D I S C R E T I O N A R Y A P P L I C A T I O N C O M M E N T S

Project Planner: Joan Van Der Hoeven
Application No.: 04-0598
APN: 049-201-15

Date: April 14, 2006
Time: 11:26:46
Page: 1

Environmental Planning **Completeness** Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON DECEMBER 14, 2004 BY KENT M EDLER ===== No comment. Grading plans are complete.

Soils report has been accepted.

===== UPDATED ON DECEMBER 17, 2004 BY ROBERT S LOVELAND =====

1. This parcel is located within potential habitat for Santa Cruz tarplant (State listed endangered species). Please have the project site surveyed by a qualified plant professional and submit a survey report. I have enclosed a list of consultants capable of completing such a survey.

===== UPDATED ON JULY 11, 2005 BY ROBERT S LOVELAND =====

An evaluation of the site for presense of Santa Cruz Tarplant has been completed by Central Coast Wilds (report dated 6/16/05). Results: Viable seed bank of Santa Cruz Tarplant is highly unlikely. Report has been accepted.

Environmental Planning **Miscellaneous** Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON DECEMBER 14, 2004 BY KENT M EDLER ===== 1. The grading plans show drainage draining over a fill slope on the north eastern portion of the property. The plans must be revised to show how drainage is handled in this area and how this situation will be rectified.

2. An erosion control plan must be submitted that shows specific locations and details of erosion control practices to be implemented during construction.

3. A plan review letter will be required from the soils engineer.

4. Mass grading on site must commence prior to August 15. If mass grading has not started by August 15, the start of grading must wait until April 16.

===== UPDATED ON JUNE 23, 2005 BY KEVIN D CRAWFORD =====

06/23/05 - Review of resubmitted plans dated 6/8/05 by Jeff Roper, Shts T1 thru T6: Comment 1 above has been addressed. Comment 2 - E.C. notes have been added, but an E.C. plan will still be required showing location and type of all E.C. measures, and covering all disturbed areas, including off-site improvements. Comment 3 - Soils Engr's plan review letter still required. Comment 4 - All grading must be completed and E.C. measures installed and maintained by Oct. 15th. If mass grading has not been started by Sept. 15, it may be delayed until spring, depending on weather forecast. Comments this date by Kevin Crawford

Housing **Completeness** Comments

===== UPDATED ON JULY 8, 2005 BY JULIE M CONWAY =====

Environmental Review Initial Study
ATTACHMENT- 13, 1 of 16
APPLICATION 04-0598

Discretionary Comments - Continued

Project Planner: Joan Van Der Hoeven
Application No.: 04-0598
APN: 049-201-15

Date: April 14, 2006
Time: 11:26:46
Page: 2

===== UPDATED ON JULY 8, 2005 BY JULIE M CONWAY =====

This project proposes an 11 lot subdivision with a remainder lot, preserving 3 existing homes and constructing 8 new homes. 9 of the homes would also have an attached ADU. While the developer is proposing to designate 1 unit on site as affordable, this reviewer could not find evidence on the submitted plans of which unit is proposed to be designated affordable. Designated units must be consistent with the requirements of County Code 17.10 with respect to square footage, exterior design and other criteria.

Based on the 8 new homes only, and excluding the ADU's from the calculation the project would have an Affordable Housing Obligation (AHO) of 1.2 units. To meet the AHO, the developer proposes to designate 1 affordable home by recording Measure J restrictions against it, and also proposes to meet the remaining .2 fractional AHO by constructing the 9 ADU's.

While a developer may propose dedicating a whole unit on site for the fractional portion of the Affordable Housing Obligation, (for example .2 of a unit), the proposed unit must also meet all the size, design and other criteria for affordable units as specified in County Code 17.10.

Unrestricted ADU's do not meet the criteria for Measure J, and cannot be used to satisfy the remaining .2 fractional AHO. ===== UPDATED ON JULY 8, 2005 BY JULIE M CONWAY =====

Housing Miscellaneous Comments

===== REVIEW ON DECEMBER 16, 2004 BY TOM POHLE =====
NO COMMENT

Staff recommends that, in addition to building 1 affordable unit on site, that the developer pay a fractional fee of .2 of a unit, or alternatively, dedicate 1 of the accessory units as affordable instead of paying the .2 fractional fee. ===== UPDATED ON DECEMBER 16, 2004 BY TOM POHLE =====

===== UPDATED ON DECEMBER 23, 2004 BY TOM POHLE =====

===== UPDATED ON JULY 7, 2005 BY TOM POHLE =====

NO COMMENT

===== UPDATED ON JULY 7, 2005 BY TOM POHLE =====

===== UPDATED ON JULY 7, 2005 BY TOM POHLE =====

===== UPDATED ON JULY 8, 2005 BY JULIE M CONWAY =====

Long Range Planning Completeness Comments

===== REVIEW ON JULY 5, 2005 BY GLENDA L HILL =====
NO COMMENT

Long Range Planning Miscellaneous Comments

===== REVIEW ON JULY 5, 2005 BY GLENDA L HILL =====

Environmental Review Initial study,
ATTACHMENT 13, 2 of 16
APPLICATION 04-0598

Discretionary Comments - Continued

Project Planner: Joan Van Der Hoeven
Application No. : 04-0598
APN: 049-201-15

Date: April 14, 2006
Time: 11:26:46
Page: 3

This property is at the southern edge of the land currently zoned R-1-8. The land to the south and west of this property is zoned R-1-6 and is composed of predominantly smaller parcels. Since there is a natural break in slope to the north of this property, it seems appropriate for this property to have the density of the other properties on the upper bluff lands. ===== UPDATED ON JULY 5, 2005 BY GLENDA L HILL =====

Project Review Completeness Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON DECEMBER 22, 2004 BY JOAN VAN DER HOEVEN =====

Please clarify reasoning for usage of a "remainder" lot. Provide details on project consistency with County Code Section 13.10.681, with emphasis on owner residency requirements, occupancy restrictions as per the State Uniform Housing Code, and City of Watsonville affordability specifications required to meet water hook-up specifications. Provide details on guarantees of annexation to the Sanitation District as per memo of 12/08/04 from Santa Cruz County Sanitation Engineering. Department of Public Works Drainage comments shall be forwarded under separate cover. Proposed off-site and on-site improvements shall comply with all Public Works requirements,

===== UPDATED ON DECEMBER 27, 2004 BY JOAN VAN DER HOEVEN =====

Santa Cruz County Affordable Housing guidelines indicate a minimum 400 square feet area for any studio unit (Section 7, unit standards).

Project Review Miscellaneous Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON DECEMBER 22, 2004 BY JOAN VAN DER HCEVEN =====

Provide details of all site fencing. Perimeter fencing adjacent to existing residential development shall be a minimum six-foot high, solid fencing. Driveway concrete surfaces shall provide visual relief in the form of usage of colored, stamped, exposed aggregates. Roof tops shall provide sufficient surface to support solar panels on south facing roof tops. P.G & E. vaults shall be placed underground. Location of post office mail boxes shall be indicated if individual boxes are not available for each dwelling unit. Street trees shall be drought tolerant natives such as coast live oaks or California Pepper Tree (Schinus molle) rather than ornamental plums or pears. Common walls between the attached accessory units and single-family dwellings (Unit 2 on Lots 2.3.6 & 8) shall provide sound transmission control consistent with UBC Section 1208, STC Class of 50 with an approved, listed assembly. These units shall further comply with minimum egress requirements of Table 10A and maintain a minimum 1 hour fire rated separation. Provide detail of retaining wall surface.

===== UPDATED ON DECEMBER 22, 2004 BY JOAN VAN DER HCEVEN =====

DRiveways and paving may not exceed 50 percent of the front yards.

Environmental Review Initial Study
ATTACHMENT 13, 3 of 16
APPLICATION 04-0598

Code Compliance Completeness Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

Records show a code compliance case exists for an unpermitted second unit on APN

Discretionary Comments - Continued

Project Planner: Joan Van Der Hoeven
Application No.: 04-0598
APN: 049-201-15

Date: April 14, 2006
Time: 11:26:46
Page: 4

049-201-15. Currently, the case status shows "Closed, No Further Action." <GAG>
Today, 7/14/05. I reviewed a reroute of DP Application 04-0598, a subdivision
project involving APNs 049-201-15, 16 & 17. Records show an unresolved code compliance case on APN 049-201-15 with a status of Closed. No Further Action. <GAG>
===== REVIEW ON DECEMBER 16, 2004 BY GUSTAVO A GONZALEZ ===== UP
DATED ON JULY 14, 2005 BY GUSTAVO A GONZALEZ =====
===== UPDATED ON JULY 14, 2005 BY GUSTAVO A GONZALEZ =====

Code Compliance Miscellaneous Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON DECEMBER 16, 2004 BY GUSTAVO A GONZALEZ =====
NO COMMENT
===== UPDATED ON DECEMBER 16, 2004 BY GUSTAVO A GONZALEZ =====
NO COMMENT
===== UPDATED ON JULY 14, 2005 BY GUSTAVO A GONZALEZ =====
===== UPDATED ON JULY 14, 2005 BY GUSTAVO A GONZALEZ =====
NO COMMENT

Dpw Drainage Completeness Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== UPDATED ON DECEMBER 23, 2004 BY CARISA REGALADO =====
An engineered drainage plan and calculations for runoff from the site and watershed were received and reviewed for completeness of the discretionary development application and compliance with County General Plan policies (g.p.p.). The submittal needs to address the following items prior to being approved for the discretionary stage.

- 1) (g.p.p. #7.23.1 - New Development) Projects are required to maintain predevelopment rates where feasible. Please show what mitigating measures will be used on-site to limit increases in post-development runoff leaving the site. Best Management Practices should be employed within the development to meet this goal as much as possible. Such measures include pervious or semi-pervious pavements, runoff surface spreading, discharging roof and driveway runoff into landscaping, etc.
- 2) (g.p.p. #7.23.2 - Minimizing Impervious Surfaces) Extensive impervious surfaces are proposed with most of runoff being directed to Carmela Court. New development is required to limit such coverage to minimize post-development runoff. Consider pervious or semi-pervious type surfaces for driveways and patios.
- 3) How will roof runoff be dealt with? If proposing downspouts that will discharge directly into Carmela Court, this will be considered as contributing to an increase in post-development runoff and therefore not complying with g.p.p. #7.23.1.
- 4) Per the Geotechnical engineer, surface runoff should not flow over the top of the sloped area along the northeast property line. Please show on the plans how runoff will be controlled in this area.

Environmental Review Initial Study

APPLICATION 13-04-0548

Discretionary Comments - Continued

Project Planner: Joan Van Der Hoeven
Application No.: 04-0598
APN: 049-201-15

Date: April 14, 2006
Time: 11:26:46
Page: 5

- 5) From the submitted drainage calculations, the Antecedent Moisture Factor for the 100-year storm runoff calculation on sheet 1 of 2 should be 1.25. not 1.5. Please revise.
- 6) From the submitted drainage calculations. the P60 Isopleth value for the 100-yr storm runoff calculation for both the subdivision and the watershed, page 1 and 2. should be 1.4 as was used for a 10-year storm. Please revise.
- 7) For watershed runoff calculations, a composite Runoff Coefficient should be used accounting for rural agricultural, low residential and impervious pavement conditions. Please revise.
- 8) Pipe diameters within the County Right-of-way are required to be a minimum of 18-inch diameter. Please revise the currently proposed 12-inch lengths to County standards.
- 9) Pipe analysis calculations were not included with the submittal for the proposed off-site system. Please submit this analysis demonstrating that the proposed system is appropriately sized for the watershed to be captured.
- 10) In designing the proposed off-site system. account for a connection of a future drainage system from La Casa Court into Bowker Road. This includes adequate fall from the cul-de-sac area to the proposed storm drain line along Bowker Road.
- 11) For the above mentioned future La Casa Court drainage system, install an appropriately sized stub-out.
- 12) Also for a future drainage system connection from the La Casa Court area. install an appropriately sized stub-out in the vicinity of the proposed storm drain line where Freedom Blvd is crossed (around station 11+52).
- 13) It is recommended this development work with La Casa Court residents to devise a solution to the drainage problem on La Casa Court and make connections into the proposed off-site drainage system within Bowker Road and Freedom Blvd. as needed.

For your information:

14) Construction activity resulting in a land disturbance of one acre or more, or less than one acre but part of a larger common plan of development or sale must obtain the Construction Activities Storm Water General NPDES Permit from the State Water Resources Control Board. Construction activity includes clearing, grading, excavation, stockpiling, and reconstruction of existing facilities involving removal and replacement. For more information see:
<http://www.swrcb.ca.gov/stormwater/constfaq.html>

15) A source for BMP style mitigation methods can be found in the following publication: START AT THE SOURCE, Design Guidance Manual for Stormwater Quality Protection. 1999 Edition, Bay Area Stormwater Management Agencies Association. Forbes Custom Publishing.

Environmental Review Initial Study

ATTACHMENT 13, 5 OF 16
APPLICATION 04-0598

Discretionary Comments - Continued

Project Planner: Joan Van Der Hoeven
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A free copy may be obtained:
<http://www.mcstoppp.org/acrobat/StartattheSourceManual.pdf>

A bound version may be ordered: <http://www.basmaa.org/>

Please see Miscellaneous Comments for additional notes

All subsequent submittals for this application must be done through the Planning Department. Submittals made directly to Public Works will result in delays.

Please call or visit the Dept. of Public Works, Stormwater Management Division, from 8:00 am to 12:00 pm if you have any questions. ===== UPDATED ON JULY 20, 2005 BY CARISA REGALADO =====

Revised plans dated June 8, 2005 and drainage calculations dated June 9, 2005 were received.

Items have been accepted as submitted. Discretionary stage application review is complete for this division. (Additional notes in Miscellaneous Comments.)

===== MISCELLANEOUS COMMENTS----- The following items are required prior to recording the final map:

- 1) The nearest County benchmark *is* needed on the civil drawings as specified by the updated County Design Criteria (soon to be issued).
- 2) For the 18 and 30-inch pipes, a Worksheet for Circular Channel was submitted addressing the 12/23/04 review comment #9. The worksheet has been accepted for the Discretionary application phase; however, pipe analysis calculations are still required demonstrating that the proposed system is appropriately sized for the watershed to be captured. Refer to County Design Criteria figure SD-2.
- 3) Pipe analysis calculations are needed for 10 and 25-year storms.
- 4) Per John Swift's letter dated June 16, 2005. "Drainage swales have been added throughout the project..." and "...are shown on Sheets L1, T2, T3, and T6." Drainage swales on the civil drawings except the swale at the top of the slope within the proposed 8-foot easement are not shown. However, these swales carrying runoff from downspouts were shown on Sheet L1. It is assumed these swales were considered in the civil design. Overflow runoff from these swales should not be allowed to flow across the sidewalk. Swales should be taken all the way to proposed catch basins when not ending at landscaped areas.
- 5) As much as possible, swales should end at beginning of landscaped areas for spreading of runoff with proposed catch basins at the low spot to capture overflow. This will facilitate meeting the requirement to limit post-development runoff.
- 6) For proposed drainage swales, it must be noted in the plans that each property owner is required to maintain vegetated swales as installed.

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ATTACHMENT 13, 6 of 16
APPLICATION 04-0598

Discretionary Comments - Continued

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Encroachment permit required for all off-site work in the County road right-of-way

Dpw Road Engineering Completeness Comments

===== REVIEW ON DECEMBER 15, 2004 BY GREG J MARTIN =====

1. Stationing should be provided for new roads or roads with improvements. Profiles for the centerline and flowline for new curb and gutter improvements should be provided. Cross-sections on Bowker Road and Camelacourt should be provided.

2. The following plans sheets should be provided: 1) Landscape and Irrigation Plan 2) Sign & Striping Plan. All signs and striping should be shown and in conformance with the MUTCD. All pavement markings need to be identified to type.

3. Bowker Road and Carmela Court should meet County Standards for an Urban Local Street with Parking. This requires two 12 foot travel lanes, 6 feet on each side for parking, and separated sidewalks on each side. The right-of-way requirement for this road section is 56 feet. A cul-de-sac designed to County Standards shall be required. The curb returns for the encroachment on Bowker Street shall be 20 feet. The structural section shall be a minimum of 3 inches of asphalt concrete over 9 inches of aggregate base.

Exceptions to the County Standards for streets may be proposed by showing 1) a typical road section of the required standard on the plans crossed out, 2) the reason for the exception below, and 3) the proposed typical road section.

4. Sight distance at the existing driveway for 049-201-15 is inadequate. We recommend the driveway for this lot be from Carmela Court.

5. The sidewalk detail at the curb returns are recommended to meet County standards

6. The road widens unnecessarily before the cul-de-sac. 7. The curb returns should be for a 20 foot radius on all sheets.

8. The parking layout for each dwelling unit should be clearly shown by identifying each parking spot and numbering it. The orientation of the vehicle should be easily identifiable. We do not recommend backing out and turning simultaneously or vehicle conflicts between dwelling units. The inside turn radius for driveways should conform with the radius requirements within the County Design Criteria.

9. The easement for the retaining wall should be identified on the plan view

10. Sidewalk transitions at the ends of the project should be clearly shown

11. TIA fees The development is subject Pajaro Valley Transportation Improvement (TIA) fees at a rate of \$4000 for each new lot created. The number of new lots is 12 lots minus the existing 3 lots which equals 9 lots. The fee is calculated as 9 lots multiplied by \$4000/lot for a total of \$36,000. The total TIA fee of \$36,000 is to be split between \$27,000 of transportation improvement fees and \$9,000 of roadside improvement fees. If you have any questions please contact Greg Martin at 831-454-2811. ===== UPDATED ON JANUARY 19, 2005 BY GREG J MARTIN =====

===== UPDATED ON JULY 12, 2005 BY GREG J MARTIN =====

Environmental Review Initial Study

ATTACHMENT 13
APPLICATION

EXHIBIT D

Discretionary Comments - Continued

Project Planner: Joan Van Der Hoeven
Application No.: 04-0598
APN: 049-201-15

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1. Incomplete typical cross sections were provided. The typical cross section should encompass the entire cross section. Actual cross sections are also required. 2. The proposed project includes an contiguous sidewalk along Bowker Road. Exceptions to the County Standards for streets may be proposed by showing 1) a typical road section of the required standard on the plans crossed out. 2) the reason for the exception below, and 3) the proposed typical road section.

3. The driveway for lot 12 is recommended to be located on Carmela Court. Where possible Public Works recommends driveways be located to the minor street. Additionally, in this case, sight distance at the driveway appears to be impeded by the topography. The sight distance is shown as 165 feet which is less than the 250 feet minimum required. The 165 feet shown for driveway for Lot 12 does not appear correct. The eye height appears approximately one foot too high and the wall appears to interfere with sight distance. We recommend a traffic study be provided that is stamped by a qualified civil engineer or traffic engineer. Please provide calculations and include a driveway profile. The driveway shall need to be constructed to county standards including an accessible sidewalk around the back of the driveway ramp. Please refer to the Design Criteria for details and reference the correct figure on the plans. 4. The outside turning radius for vehicles in parking spaces 15, 26, and 41 should be improved. The 15 foot inside turning radius results in the outside turning radius being a minimum of 23.5 feet for a parking space 8.5 feet wide. The driveway for Lot 9 should be centered within the property line to provide uniform landscaping on either side. 5. Irrigation plans for the street trees and landscaping should be provided as a condition of approval. 6. The sidewalk transition at the southwest end of the project should be clearly shown.

7. The development is subject Pajaro Valley Transportation Improvement (TIA) fees at a rate of \$4000 for each new dwelling unit created. The fee is calculated as 18 new dwelling units multiplied by \$4000/lot for a total of \$72,000. The total TIA fee of \$72,000 is to be split between \$54,000 of transportation improvement fees and \$18,000 of roadside improvement fees

If you have any questions please contact Greg Martin at 831-454-2811. ===== UP-
DATED ON SEPTEMBER 14, 2005 BY GREG J MARTIN =====
The plans are complete. TIA fees and irrigation and landscape plans are required as a condition of approval.

Dpw Road Engineering Miscellaneous Comments

===== REVIEW ON DECEMBER 15, 2004 BY GREG J MARTIN =====
===== UPDATED ON JULY 12, 2005 BY GREG J MARTIN =====
===== UPDATED ON SEPTEMBER 14, 2005 BY GREG J MARTIN =====

Environmental Health Completeness Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON DECEMBER 14, 2004 BY JIM G SAFRANEK =====
NO COMMENT
===== UPDATED ON JULY 7, 2005 BY JIM G SAFRANEK ===== NO COMMENT

Environmental Review Initial Study

ATTACHMENT
APPLICATION

12, 5, 18
04-0598
EXHIBIT

Discretionary Comments - Continued

Project Planner: Joan Van Der Hoeven
Application No. : 04-0598
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Environmental Health Miscellaneous Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON DECEMBER 14, 2004 BY JIM G SAFRANEK ===== EHS review fee is \$231 (Major Subd. w/ Publ. services). not \$462.
===== UPDATED ON JULY 7, 2005 BY JIM G SAFRANEK. ===== See 12-04 comment above

Pajaro Valley Fire District Completeness Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON DECEMBER 6, 2004 BY COLLEEN L BAXTER ===== DEPARTMENT NAME: CDF/PAJARO VALLEY FIRE Add the appropriate NOTES and DETAILS showing this information on your plans and RESUBMIT, with an annotated copy of this letter: Note on the plans that these plans are in compliance with California Building and Fire Codes (2001) as amended by the authority having jurisdiction. Each APN (lot) shall have separate submittals for building and sprinkler system plans. The job copies of the building and fire systems plans and permits must be onsite during inspections SHOW on the plans a public fire hydrant within 250 feet of any portion of the property, along the fire department access route, meeting the minimum required fire flow for the building. This information can be obtained from the water company. Fire hydrant shall be painted in accordance with the state of California Health and Safety Code. See authority having jurisdiction. NOTE on the plans that the building shall be protected by an approved automatic fire sprinkler system complying with the currently adopted edition of NFPA 13D and Chapter 35 of California Building Code and adopted standards of the authority having jurisdiction. NOTE that the designer/installer shall submit three (3) sets of plans and calculations for the underground and overhead Residential Automatic Fire Sprinkler System to this agency for approval. Installation shall follow our guide sheet. NOTE on the plans that an UNDERGROUND FIRE PROTECTION SYSTEM WORKING DRAWING must be prepared by the designer/installer. The plans shall comply with the UNDERGROUND FIRE PROTECTION SYSTEM INSTALLATION POLICY HANDOUT. Building numbers shall be provided. Numbers shall be a minimum of 4 inches in height on a contrasting background and visible from the street, additional numbers shall be installed on a directional sign at the property driveway and street.

NOTE on the plans the installation of an approved spark arrester on the top of the chimney. The wire mesh shall be 1/2 inch. NOTE on the plans that the roof covering shall be no less than Class "B" rated roof. NOTE on the plans that a 30 foot clearance will be maintained with non-combustible vegetation around all structures or to the property line (whichever is a shorter distance). Single specimens of trees, ornamental shrubbery or similar plants used as ground covers, provided they do not form a means of rapidly transmitting fire from native growth to any structure are exempt.

The access road shall be 20 feet minimum width and maximum twenty percent slope. All bridges, culverts and crossings shall be certified by a registered engineer. Minimum capacity of 25 tons. Cal-Trans H-20 loading standard. The access road shall be in place to the following standards prior to any framing construction, or construction will be stopped: - The access road surface shall be "all weather". a minimum 6" of compacted aggregate base rock, Class 2 or equivalent, certified by a licensed en-

Environmental Review Initial Study

ATTACHMENT 13, 9, 16
APPLICATION 04-0598

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Discretionary Comments - Continued

Project Planner: Joan Van Der Hoeven
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gineer to 95% compaction and shall be maintained. - ALL WEATHER SURFACE: shall be minimum of 6" of compacted Class II base rock for grades up to and including 5%, oil and screened for grades up to and including 15% and asphaltic concrete for grades exceeding 15% but in no case exceeding 20%. The maximum grade of the access road shall not exceed 20% with grades greater than 15% not permitted for distances of more than 200 feet at a time. The access road shall have a vertical clearance of 14 feet for its entire width and length, including turnouts. A turn-around area which meets the requirements of the fire department shall be provided for access roads and driveways in excess of 150 feet in length. Drainage details for the road or driveway shall conform to current engineering practices, including erosion control measures. All private access roads, driveways, turn-around and bridges are the responsibility of the owner(s) of record and shall be maintained to ensure the fire department safe and expedient passage at all times. SHOW on the plans, DETAILS of compliance with the driveway requirements. The driveway shall be 12 feet minimum width and maximum twenty percent slope.

The driveway shall be in place to the following standards prior to any framing construction, or construction will be stopped: - The driveway surface shall be "all weather", a minimum 6" of compacted aggregate base rock, Class 2 or equivalent certified by a licensed engineer to 95% compaction and shall be maintained. - ALL WEATHER SURFACE: shall be a minimum of 6" of compacted Class II base rock for grades up to and including 5%, oil and screened for grades up to and including 15% and asphaltic concrete for grades exceeding 15% but in no case exceeding 20%. - The maximum grade of the driveway shall not exceed 20% with grades of 15% not permitted for distances of more than 200 feet at a time. - The driveway shall have an overhead clearance of 14 feet vertical distance for its entire width. - A turn-around area which meets the requirements of the fire department shall be provided for access roads and driveways in excess of 150 feet in length. - Drainage details for the road or driveway shall conform to current engineering practices, including erosion control measures. - All private access roads, driveways, turn-arounds and bridges are the responsibility of the owner(s) of record and shall be maintained to ensure the fire department safe and expedient passage at all times. - The driveway shall be thereafter maintained to these standards at all times. The street/access road shall be named and addressed by the County Office of Emergency Services. Street signs shall be posted, and maintained, to County Public Works. Green and white County style signs shall be used. All Fire Department building requirements and fees will be addressed in the Building Permit phase. Plan check is based upon plans submitted to this office. Any changes or alterations shall be re-submitted for review prior to construction. 72 hour minimum notice is required prior to any inspection and/or test. Note: As a condition of submittal of these plans, the submitter, designer and installer certify that these plans and details comply with the applicable Specifications, Standards, Codes and Ordinances, agree that they are solely responsible for compliance with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent review, inspection or other source, and, to hold harmless and without prejudice, the reviewing agency. SPC 0 TITLE 19 OF THE CALIFORNIA ADMINISTRATIVE CODE, REQUIRES THAT ACCESS ROADS FROM EVERY STATE GOVERNED BUILDING TO A PUBLIC STREET SHALL BE ALL WEATHER HARD SURFACE (SUITABLE FOR USE BY FIRE APPARATUS) ROADWAY NOT LESS THAN TWENTY FEET IN WIDTH. SUCH ROADWAY SHALL BE UNOBSTRUCTED AND MAINTAINED ONLY AS ACCESS TO THE PUBLIC STREET. OBSTRUCTION OF THE ROAD WIDTH, AS REQUIRED ABOVE, INCLUDING THE PARKING OF VEHICLES, SHALL BE PROHIBITED, AS REQUIRED BY THE UNIFORM FIRE CODE. NO ROADWAY SHALL HAVE AN INSIDE TURNING RADIUS OF LESS THAN FIFTY FEET. ROADWAYS WITH A

Environmental Review Initial Study

ATTACHMENT 13, 10 of 16
APPLICATION 04-0598
EXHIBIT D

Discretionary Comments - Continued

Project Planner: Joan Van Der Hoeven
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RADIUS CURVITURE OF 50 TO 100 FEET SHALL REQUIRE AN ADDITIONAL 4 FEET OF ROAD WIDTH
ROADWAYS WITH RADIUS CURVITURES OF 100 TO 200 FEET SHALL REQUIRE AN ADDITIONAL 2
FEET OF ROAD WIDTH. ===== UPDATED ON DECEMBER 9, 2004 BY COLLEEN L BAXTER
=====

===== UPDATED ON JULY 6, 2005 BY COLLEEN L BAXTER =====
NO NEW FIRE NOTES AT THIS TIME.

Pajaro Valley Fire District Miscellaneous Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON DECEMBER 9, 2004 BY COLLEEN L BAXTER =====
===== UPDATED ON JULY 6, 2005 BY COLLEEN L BAXTER =====

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ATTACHMENT 13, 14 & 16
APPLICATION 04-0598

COUNTY OF SANTA CRUZ

INTER-OFFICE CORRESPONDENCE

DATE: December 8, 2004

TO: Joan Van Der Hoeven, Planning Department

FROM: Carl Rom, Department of Public Works

SUBJECT: APPLICATION 04-0598, APN 049-201-15 THROUGH -17, TRACT 1501, CARMELA COURT

As with all subdivisions, the developer will have to submit a final map and improvement plans to Public Works for review and approval. Upon approval of the plans and prior to recording the map, the developer will have to sign a subdivision agreement and submit securities to guarantee the construction of all work shown on the plans.

In addition, I have the following comments specific to the subject application:

1. There should be a six-foot wide public utility easement along all lot frontages.
2. The minimum street section should be 3" of asphalt concrete on 9 of aggregate base.
3. Transitions from contiguous to separated sidewalk should be done per Figure ST-14 of the County Design Criteria.
4. The radius of the curb returns at Bowker Road should be 20 feet.
5. Curb, gutter, and sidewalk should extend the entire length of the project's Bowker Road frontage.
6. Note the relocation of existing utility poles, meter boxes, fire hydrant, etc. where necessary along Bowker Road.
7. Provide vertical curve information on the new street profile.
8. Provide additional flowline grades in the cul-de-sac.
9. A number of the lots have fairly extensive paved and roofed areas that will drain across the sidewalk to the street. It would be nice if this drainage could be intercepted before the sidewalk and be conveyed to the street in under sidewalk drains.
10. The width of driveway cuts at the street should match the width of the driveways.
11. The diagonal slope conform lines at the edges of driveways are incorrectly drawn.
12. It would be nice if the proposed storm drain could be located further away from

Environmental Review Initial Study

ATTACHMENT 13 12/08/06

APPLICATION 04-0598

the large redwood they're trying to save, and the proposed lateral to the remainder lot could be located further away from the 1 8 fir tree.

13. Provide a sign and striping plan.
14. The alignment of the storm drain along Bowker Road appears to conflict with existing utility poles.
15. What happens to water in the concrete swale behind the retaining wall when it reaches the end of the wall?
16. Provide information about the material and appearance of the retaining wall.
17. Provide street lighting in accordance with the Design Criteria. Parcels -16 and -17 are currently within CSA 9, Zone A (the residential street lighting zone) but parcel -15 will have to be annexed prior to final map recordation.
18. A fire hydrant should be provided on the new street.
19. The new water meters should be on the frontage of the lot they will serve.

If you have any questions or need any clarification of the information in this memo, please call me at extension 2806.

CDR:cdr

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ATTACHMENT 13, 13 of 16
APPLICATION 04-0593

MEMORANDUM

Application **No: 04-0598** (second routing)

Date: June 22, 2005

To: Joan Van der Hoeven. Project Planner

From: Larry Kasparowitz, Urban Designer

Re: Design Review for an eleven lot subdivision at Bowker Road, Watsonville

GENERAL PLAN/ ZONING CODE ISSUESDesign Review Authority

13.11.040 Projects requiring design review.

(d) All minor land divisions, as defined in Chapter 14.01, occurring within the Urban Services Line or Rural Services Line, as defined in Chapter 17.02; all minor land divisions located outside of the Urban Services Line and the Rural Services Line, which affect sensitive sites; and, all land divisions of 5 parcels (lots) or more.

Design Review Standards

13.11.072 Site design.

Evaluation Criteria	Meets criteria In code (✓)	Does not meet criteria (✓)	Urban Designer's Evaluation
Compatible Site Design			
Location and type of access to the site	✓		
Building siting in terms of its location and orientation	✓		
Building bulk, massing and scale	✓		
Parking location and layout	✓		
Relationship to natural site features and environmental influences	✓		
Landscaping	✓		
Streetscape relationship	✓		
Street design and transit facilities		N/A	
Relationship to existing	✓		
Relate to surrounding topography	✓		
Retention of natural amenities	✓		

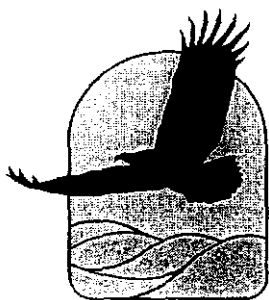
Siting and orientation which takes advantage of natural amenities	✓		
Ridgeline protection		N/A	
Views			
Protection of public viewshed	✓		
Minimize impact on private views	✓		
Safe and Functional Circulation			
Accessible to the disabled, pedestrians, bicycles and vehicles	✓		
Solar Design and Access			
Reasonable protection for adjacent properties	✓		
Reasonable protection for currently occupied buildings using a solar energy system	✓		
Noise			
Reasonable protection for adjacent properties	✓		

Evaluation Criteria	Meets criteria In code (✓)	Does not meet criteria (✓)	Urban Designer's Evaluation
Compatible Building Design			
Massing of building form	✓		
Building silhouette	✓		
Spacing between buildings	✓		
Street face setbacks	✓		
Character of architecture	✓		
Building scale	✓		
Proportion and composition of projections and recesses, doors and windows, and other features	✓		
Location and treatment of entryways	✓		
Finish material, texture and color	✓		
Scale			
Scale is addressed on appropriate levels	✓		
Design elements create a sense of human scale and pedestrian	✓		

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 ATTACHMENT 13, 15 of 16
 APPLICATION 04-0598

Building Articulation			
Variation in wall plane, roof line, detailing, materials and siting	✓		
Solar Design			
Building design provides solar access that <i>is</i> reasonably protected for adjacent properties	✓		
Building walls and major window areas are oriented for passive solar and natural lighting	✓		

Environmental Review Initial Study
ATTACHMENT 13, 16 & 16
APPLICATION 04-0598



**CITY OF WATSONVILLE
COMMUNITY DEVELOPMENT DEPARTMENT
ENGINEERING COMMENTS/CORRECTIONS**

PC #: None
Date: July 1, 2005
Subject: Bowker Road Subdivision Water System
Address: APNs 049-201-15, -16, -17
PC By: Joy Bader, Assistant Engineer, (831) 768-3077

1. At its December 9, 2003 meeting, the Watsonville City Council passed a resolution approving a request from John Swift on behalf of Hamilton Swift Land Use and Development Consultants for a Water Availability Letter for the subject parcel. Attached is a copy of the resolution and the December 15, 2003 Water Availability Letter. The letter outlines conditions that shall be satisfied before the City shall provide water service.
2. Prior to construction of a water main extension and installation of the requested water services, the applicant shall enter into a Water Main Extension Agreement with the City of Watsonville. The Agreement shall be approved by the Watsonville City Council. Some of the requirements of the agreement are described in the attached list entitled "Watermain Extension Required." Also attached is an example of the Request for Water Main Extension letter to be submitted by the applicant to the City Council. Contact Gayland Swain, Senior Utilities Engineer in the Public Works and Utilities Department at 728-6093 concerning the Agreement.
3. The water system shall be built in accordance with the most current edition of the City of Watsonville Standard Specifications and Standard Drawings, which can be obtained from the Public Works and Utilities Department. Water lines and water services constructed as part of the water main extension shall be located within public road right of way. After construction is complete and approved by the City, the City shall take ownership of water system improvements up to and including the water meters.
4. It is recommended that each ADU be equipped with its own water meter, as this will allow for separate water billing and will encourage water conservation.

Environmental Review Initial Study
ATTACHMENT 14, 15, 16
APPLICATION 04-0598

RESOLUTION NO. 324-03 (CM)

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WATSONVILLE APPROVING THE REQUEST FROM JOHN SWIFT, ON BEHALF OF HAMILTON SWIFT LAND USE AND DEVELOPMENT CONSULTANTS, FOR A WATER AVAILABILITY LETTER ("WILL SERVE") FOR A PROPOSED RESIDENTIAL PROJECT ON BOWKER ROAD (APN 049-201-15, 16, AND 17), WATSONVILLE, CALIFORNIA; AND AUTHORIZING AND DIRECTING THE PUBLIC WORKS AND UTILITIES DIRECTOR TO ISSUE SAID LETTER

WHEREAS, on December 10, 2002, the City Council adopted Resolution No. 303-02 (CM) Establishing and Adopting the "Outside City of Watsonville Water Connections—Goals, Objectives, and Policies" to further implement the *Watsonville 2005: General Plan*; and

WHEREAS, Chapter 3 "Growth and Conservation Strategy" of the *Watsonville 2005: General Plan* adopted in 1994, includes goals and policies to encourage "City centered" growth for those areas outside the City and to implement livable community concepts.

WHEREAS, on November 13, 2003, John Swift, on behalf of Hamilton Swift Land Use and Development Consultants, submitted an application package requesting City Council authorization to issue a Water Availability Letter for a proposed residential project on Bowker Road (APN 049-201-15, 16, and 17) outside the City limits, but within the City's water service area; and

Environmental Review Initial Study
ATTACHMENT 14 2 of 6
APPLICATION 04-0598

WHEREAS, staff recommends the Council find that the proposed project does satisfy the findings established in Policy 1.4 and complies with the livable community concepts all as set forth in Resolution 303-02 (CM).

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WATSONVILLE, CALIFORNIA, AS FOLLOWS:

1. That Good cause appearing therefor and based upon the Findings, attached hereto and incorporated herein as Exhibit "A," the Council hereby approves the request from John Swift, on behalf of Hamilton Swift Land Use and Development Consultants, for issuance of a Water Availability Letter ("Will Serve").

2. That the Public Works and Utilities Director be and is hereby authorized and directed to issue said letter to John Swift for and on behalf of Hamilton Swift Land Use and Development Consultants.

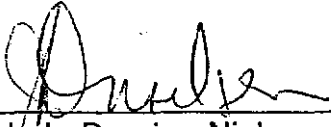
Environmental Review Initial Study
ATTACHMENT 14, 3 of 6
APPLICATION 24-0598

The foregoing resolution was introduced at a regular meeting of the City Council of the City of Watsonville, held on the 9th day of December, 2003, by Council Member Gomez, who moved its adoption, which motion being duly seconded by Council Member Bersamin, was upon roll call carried and the resolution adopted by the following vote:

AYES: COUNCIL MEMBERS: Bersamin, de la Paz, Phares, **Gomez**, Doering-Nielsen

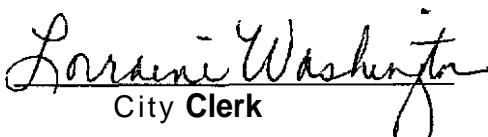
NOES: COUNCIL MEMBERS: None

ABSENT: COUNCIL MEMBERS: Rivas, Skillicorn



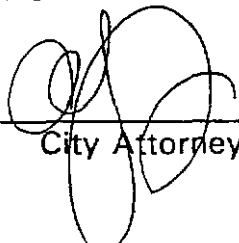
Judy Doering-Nielsen, Mayor

ATTEST:



City Clerk

APPROVED AS TO FORM:



City Attorney

Environmental Review Initial Study
ATTACHMENT 14, 4 of 6
APPLICATION 04-0598

CITY COUNCIL
CITY OF WATSONVILLE

APN: 049-201-15, 16 and 17
Applicant: John Swift
Meeting Date: December 9, 2003

WATER "WILL SERVE" FINDINGS

1. The proposed project, notwithstanding Policy 1.2a., is consistent with the goals, policies and objectives of the City of Watsonville General Plan;

Supportive Evidence

The project provides a net density of 12 units-per-acre based on the establishment of accessory dwelling units in conjunction with new single-family parcels. The project provides a mixture of housing types including single family and small accessory units. The project concept is consistent with City Livable Community Guidelines.

2. The proposed project is designed at the highest allowable density under the County General Plan including the State density bonus; and

Supportive Evidence

The project has been designed at the highest approvable density under the current General Plan and zoning designation utilizing accessory dwelling unit provisions to increase the overall density.

3. There are unique site characteristics including but not limited to size, shape, and topography that limit the development of the site;

Supportive Evidence

There are no unique characteristics on the site. Design has incorporated density consistent with the City's target of 12 units per acre. If determined an acceptable means of meeting the density, the finding need not be made.

4. The project complies with Policy 1.2 b. relative to inclusionary unit provisions.

Supportive Evidence

The applicant proposes and has been conditioned to provide inclusionary units within the project that exceed the City's 20-percent provision.

Environmental Review Initial Study
ATTACHMENT 14, 5046
APPLICATION 04-0598

EXHIBIT "A"

Attachment/Exhibit to: Resolution No. <u>324-137-</u>
--

EXHIBIT U

CITY OF WATSONVILLE

"Opportunity through development, living through cooperation"



ADMINISTRATION BUILDING

215 Union Street
Second Floor
Fax 831.768.0736

MAYOR & CITY COUNCIL

215 Union Street
831.768.3008

CITY MANAGER
831.768.3010

CITY ATTORNEY
831.768.3030

CITY CLERK
831.768.3040

PERSONNEL
831.768.3020

CITY HALL OFFICES

250 Main Street

COMMUNITY DEVELOPMENT

831.768.3050
Fax 831.728.6173

FINANCE

831.768.3450
Fax 831.763.4066

PUBLIC WORKS & UTILITIES

831.768.3100
Fax 831.763.4065

PURCHASING

831.768.3461
Fax 831.763.4066

REDEVELOPMENT & HOUSING

831.768.3080
Fax 831.763.4114

AIRPORT

100 Aviation Way
831.768.3480

Fax 831.763.4058



FIRE

115 Second Street
831.768.3200

Fax 831.763.4054



LIBRARY

310 Union Street
831.768.3400

Fax 831.763.4015



PARKS & COMMUNITY SERVICES

30 Maple Avenue
831.768.3240

Fax 831.763.4078

December 15, 2003

Mr. John Swift

1509 Seabright Avenue, Suite A1
Santa Cruz, CA 95062

Subject: Water Service for APNs: 049-201-15, -16, and -17

Dear Mr. Swift:

This letter is to inform you that the City Council of the City of Watsonville has determined that water may be provided to serve APN's: 049-201-15, -16, and -17, provided the following conditions are met:

1. Unit-count of the proposed development to be submitted to Santa **Cruz** County shall total at least 18 new units (nine principal dwellings/nine accessory dwellings);
2. Accessory dwellings shall be constructed and available for occupancy concurrent with each of the principal dwellings;
3. One principal residence and all accessory units shall be deed restricted as affordable;
4. Sales and monthly rental rates shall be based on City of Watsonville Median Income;
5. Units shall have valid addresses assigned by the County of Santa Cruz before water service may be provided;
6. Complete and submit a water service application. Pay construction, connection, and groundwater impact fees.

This letter is not a guarantee of water availability. The provision of water service is determined by the City Council.

Please contact me at (831) 728-6127 if you have any questions or concerns.

Yours truly,

Joy Bader, Assistant Engineer
Community Development Department

Environmental Review Initial Study
ATTACHMENT 14, 6 of 6
APPLICATION 04-0598

FREEDOM COUNTY SANITATION DISTRICT

INTER-OFFICE CORRESPONDENCE

DATE FEBRUARY 7, 2006 (3RD SUBMITTAL)
TO PLANNING DEPARTMENT JOAN VAN DER HOEVEN
FROM SANTA CRUZ COUNTY SANITATION DISTRICT
SUBJECT CONDITIONS OF SERVICE FOR THE FOLLOWING
PROPOSED DEVELOPMENT

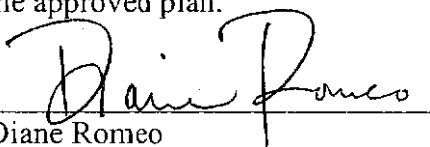
APN: 49-201-15, -16 & -17 APPLICATION NO.: 04-0598

PARCEL ADDRESS: 46, 54, & 62 BOWKER ROAD

PROJECT DESCRIPTION: 11 LOT SUBDIVISION; 3 SINGLE FAMILY
DWELLING TO REMAIN (ONE DWELLING TO BE
RELOCATED); ACCESSORY DWELLING UNITS
(ADUs) TO BE CONSTRUCTED ON 8 PARCELS

The sewer improvement plan submitted for the subject project is approved by the District. Any future changes to these plans shall be routed to the District for review to determine if additional conditions by the District are required by the plan change. All changes shall be highlighted as plan revisions and changes may cause additional requirements to meet District standards.

The applicant for any building permit for this subdivision shall attach a copy of the approved plan.


Diane Romeo
Sanitation Engineering

DR/dr

c: Applicant: John Swift
1509 Seabright #A1
Santa Cruz, CA 95062

Environmental Review Initial Study
ATTACHMENT 15, Lot 3
APPLICATION 04-05^c

Property Owners:	Crystal Swink	Eva and Aden Moreno	Jack Baskin
	PO Box 350	54 Bowker Road	c/o SAR Enterprises
	Aptos, CA 95001	Freedom, CA 95019	PO Box 350
			Aptos, CA 95001

Engineer w/attachment: Roper Engineering
444 Airport Blvd, Su 206
Watsonvi - 139 -95076

EXHIBIT D

FREEDOM COUNTY SANITATION DISTRICT

INTER-OFFICE CORRESPONDENCE

DATE: JUNE 30, 2005 (2nd SUBMITTAL)
TO: PLANNING DEPARTMENT: JOAN VAN DER HOEVEN
FROM: SANTA CRUZ COUNTY SANITATION DISTRICT
SUBJECT: CONDITIONS OF SERVICE FOR THE FOLLOWING
PROPOSED DEVELOPMENT

APN: 49-201-15, -16 & -17 APPLICATION NO.: 04-0598

PARCEL ADDRESS: 46, 54, & 62 BOWKER ROAD

PROJECT DESCRIPTION: 11 LOT SUBDIVISION; 3 SINGLE FAMILY
DWELLING TO REMAIN (ONE DWELLING TO BE
RELOCATED); ACCESSORY DWELLING UNITS
(ADUs) TO BE CONSTRUCTED ON 8 PARCELS

An approved engineered sewer plan, addressing all issues required by District staff and meeting County "Design Criteria" standards (unless a variance is allowed), is required prior to the approval of the improvement plan and final map. The plan must be complete and a preliminary design shall not be approved.

The following items need to be shown on the plan sheets T3, T4 and T5 for next submittal:

Sheet T3 – Provide finished floor elevations of lowest level of house with fixture connected to sewer to determine if backflow prevention requirements and note on plan if required to be installed. Where the finished floor elevation is one foot or less than the nearest upstream manhole rim elevation, it shall be noted on plans that the lot's sewer lateral shall require a sewer backflow/overflow prevention device per Figure SS-14.

Revise to show a cleanout at the end of the 6-inch segment of sewer lateral and one backflow prevention device on each 4-inch lateral connected to the 6-inch pipe per Figure SS-3. Remove note that indicates that backflow prevention device is to be installed on 6-inch pipe.

Sheet T5 – Note on plans that existing manhole in Bowker, at the proposed intersection with Cannella Court, shall be remortared on the inside or be replaced when modifying manhole to accommodate new 8-inch sewer mains.

Environmental Review Initial Study

ATTACHMENT 15, 2 of 3
APPLICATION 04-0598

EXHIBIT D

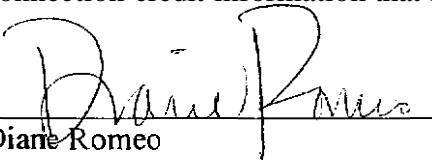
Note on plans and profile limits of pipe material and backfill special provisions (concrete encasement or slurry cap) over sewer mains and laterals per Figure SS-11.

The subject property (049-201-15) is outside of the District's boundary. As a condition of this permit, the applicant/developer is required to annex the parcel(s) to the District prior to the final map being filed and sewer service being available. The existing residence currently outside of the District shall not be connected until the LAFCO annexation is complete and all fees are paid. Contact the Local Agency Formation Commission (LAFCO) at (831) 454-2066.

The new sewer laterals, serving the parcels that include ADUs, shall be connected to the 8-inch public sewer with a 6-inch private sewer lateral. The public sewer shall be installed at a minimum 1% slope and the 4-inch and 6-inch private laterals shall have a 2% minimum slope and noted as such.

On final map, if the Cannella Court right of way will not be accepted into the County's road system, the right of way shall be dedicated to the Freedom County Sanitation District as an easement.

When subdividing a parcel with a sewer connection credit due to the removal of an existing development, developer shall designate which parcel(s) shall receive connection credit. Developer shall assign connection credit on the non-title sheet of the recorded subdivision map. In addition, developer shall disclose to any prospective buyers connection credit information that is material in determining parcel value.



Diane Romeo

Sanitation Engineering

DR/dr

c: Applicant: John Swift
1509 Seabright #A1
Santa Cruz. CA 95062

Property Owners:	Crystal Swink	Eva and Aden Moreno	Jack Baskin
	PO Box 350	54 Bowker Road	c/o SAR Enterprises
	Aptos, CA 95001	Freedom, CA 95019	PO Box 350
			Aptos, CA 95001

Engineer: Roper Engineering
444 Airport Blvd. Su 206
Watsonville. CA 95076

- 141 -

Environmental Review Initial Study
ATTACHMENT 15, 3 of 3
APPLICATION 04-0598
EXHIBIT D

*Maureen Hamb-WCTBA Certified Professional
Professional Consulting Services*



**TREE INVENTORY
CONSTRUCTION IMPACT ANALYSIS**

**CARMELA COURT
APN 49-201-15 16 17**

**PREPARED FOR
ROBERT FUDINO**

Environmental Review Initial Study
ATTACHMENT 16, lot 4
APPLICATION 04-0598

*540 "A" Soquel Avenue
Santa Cruz, CA 95062
email: maureenah@sheglobal.net*

*Telephone: 831-426-1281
Fax: 831-426-1281
Mobile: 831-774-7735*

ASSIGNMENT/SCOPE OF SERVICES

The development of a small residential subdivision is proposed for property located off Bowker Road in Freedom. The site is sparsely populated with trees that could be affected by the development. The property owner, Robert Ridino has retained me to evaluate the condition of the trees to determine their suitability for incorporation into the project. He indicated a desire to retain all the trees that could be an asset to the new development, and was willing to explore all options to achieve maximum tree retention. To complete my evaluation I have performed the following:

- Perform a visual assessment of 12 trees **to** evaluate health status, structural integrity and suitability for incorporation into the proposed development.
- Review plans prepared by Jeff Roper, civil engineer **to** determine potential construction impacts.
- Identify construction impacts and provide recommendations for preconstruction treatments (root pruning) to reduce the long-term detrimental affects of construction.
- Create tree preservation specifications that include a protection-fencing plan and supervision of preconstruction root pruning activities.

SUMMARY

Twelve trees growing on property located off Bowker Road have been evaluated and inventoried. Preliminary development plans drawn by Jeff Roper, civil engineer have been reviewed to determine the potential **for** impacts to the trees.

The proposed development site **is** a large flat open property with several existing residences and outbuildings that are accessed off Bowker Road. The tree population consists **of** a variety of mature landscape type trees, including cedar, **fir**, redwood and Lombardy poplar. These trees are mature, **tall** with significant canopies that will provide separation between the properties and aesthetics to the entire site.

The large cedar tree (#1) is growing at the corner of the proposed access road (Carmela Court), adjacent to the curb and gutter. I have recommended preconstruction root pruning to reduce the potential damage to structural roots during construction.

The significant coast redwood tree (#6) is growing adjacent to the proposed roadway. The property owner, civil engineer and I negotiated a procedure in order to retain this tree. The curb and gutter will be configured to go around the base of the tree and preconstruction root pruning will occur on the curb and gutter side of the root zone. The public sidewalk will be located behind the tree and constructed on natural grade to eliminate any excavation into tree roots. The tree canopy will be pruned to allow both pedestrian and vehicle access.

All trees on the site will be retained and incorporated into the development project. They will be protected from impacts by the creation of exclusion zones that consist of fencing and straw bale barricades.

BACKGROUND

To complete the inventory and impact analysis I visited the site November 10,2004. For purposes of identification numbered metal tags have been attached to tree trunks and corresponding locations are documented on the attached site map. Plans provided by Jeff Roper the project civil engineer were used to evaluate the potential construction impacts.

The attached inventory includes tree species and trunk diameter at 54 inches above natural grade. Ratings for tree health, structural integrity and suitability for incorporation into the developed site are included. Ratings are determined following the completion of a visual tree assessment. This **type** of evaluation is based on methods developed by Claus Mattheck and documented in The Body Language of Trees. The assessment involves an analysis of the biology and mechanics of each tree, which are then rated as "good", "fair" or "poor".

Suitability is determined using overall tree condition and industry data on species characteristics, including tolerances to site changes and specific construction impacts

The biological assessment determines the health status of the tree and includes an evaluation of the following:

- Vitality of the leaves, bark and twigs
- Presence of fungi or decay
- Percentage and size of dead branching
- Status of old wounds or cavities

Healthy trees in "good" condition display dense full canopies with dark green foliage. Dead branching is limited to small twigs and branches less than one inch in diameter. No evidence of disease, decay or insect activity is visible. Vigorous, healthy trees are much better able to tolerate site alterations and invasive construction impacts than less vigorous trees of the same species.

Trees in "fair" health have 10-30% foliar dieback, dead branching greater ~~than~~ one inch in diameter and minor evidence of disease, decay or insect activity.

Trees in "poor" health display greater than 30% foliar dieback, dead branches greater than two inches in diameter and/or areas of decay, disease or insect activity.

Environmental Review Initial Study
ATTACHMENT 16, 3 of 4
APPLICATION 04-0598

Tree Inventory/Construction Impact Analysis
Carmela Court/APN 49-201-15 16 17
November 22,2004
Page 6

The sidewalk proposed adjacent to tree #6 will be routed behind the tree into an easement established on lot # 10. The pavement section will be constructed on or near native grade to avoid excavation.

The canopy of this tree will be pruned to remove lower branching to a height of 14 feet above grade to accommodate both vehicular and pedestrian access.

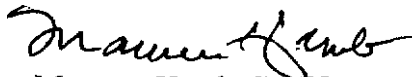
CONCLUSION

The development of the proposed subdivision can be completed while retaining the 12 trees growing on the property.

All trees will be protected from impacts by the implementation of the recommendations included in this report and the attached tree preservation specifications.

Any questions regarding this **report** can be directed to **my** office

Respectfully submitted,



Maureen Hamb- WCISA Certified Arborist #2280

Environmental Review Initial Study
ATTACHMENT 16, 4 of 4
APPLICATION 04-0598

Joan Vanderhoeven

From: Tom Stickel [toms@scmtd.com]
Sent: Monday, August 29, 2005 8:41 AM
To: Joan Vanderhoeven
cc: dpw140@co.sant-cruz.ca.us
Subject: APN: 049-201-15.16,17

Joan,

For the Carmela Court project on Bowker Rd., application number: **04-0598**, Santa Cruz **METRO** requests that the bus stop on Bowker, South of Calabazas Rd., be improved. A concrete pad, with ramp, such as the stops along Freedom Blvd., between Corralitos Rd., and Bowker Rd., would meet the need for improvement. Please contact me if you have any questions.

Thanks,

Tom Stickel
Maintenance Manager
110 B Vernon St.
Santa Cruz, CA. 95060
831-469-1954
FAX 831-469-1958
tstickel@scmtd.com

Environmental Review Initial Study
ATTACHMENT 17
APPLICATION 04-0598

Letters of submittal, Hamilton-Swift, dated 11-24-05 and 6-16-05 (on file at Planning Dept.)

Environmental Review Initial Study
ATTACHMENT _____ Review Initial
APPLICATION 18-98
04-05

RECORDED AT THE REQUEST OF
AND WHEN RECORDED RETURN TO.

Hamilton Swift Land Use)
and Development Consultants)
1509 Seabright Ave., Ste. AI)
Santa Cruz, CA 95062)
_____)

2004-0071526

Recorded		REC FEE	19.00
Official Records			
County Of			
SANTA CRUZ			
GARRY E. HAZELTON			
Recorder--			
CAROL D. SUTHERLAND			
Assistant		DLA	
09:42AM 05-Oct-2004		Page 1 of 3	

EASEMENT AGREEMENT

THIS EASEMENT AGREEMENT ("Agreement") is entered into on the date set forth below in the County of Santa Cruz, State of California, by and between Alyssa Treffry Locke ("Locke") and Robert Ridino ("Ridino") with reference to the following:

RECITALS

A. Locke is the owner of certain real property (the "Treffrey Property") situated in the County of Santa Cruz, State of California, commonly known as 2312 Freedom Boulevard, Watsonville, California, APN 050-441-03, and more particularly described in the deed to Sandra Treffry recorded on March 12, 2001, as Instrument No. 2001-0012180 Santa Cruz County Official Records.

B. Ridino desires to subdivide certain real property situated on Bowker Road, near the Treffry Property. There is a long-standing drainage problem in that area in the vicinity of La Casa Court and Freedom Boulevard. In connection with Ridino's proposed subdivision, the County of Santa Cruz may require a drainage easement over the Treffry Property to alleviate the drainage problem, or the property owners affected by the drainage problem may desire to correct the problem themselves.

C. Locke is willing to grant such a drainage easement to Ridino on the terms and conditions set forth in this Agreement.

NOW, THEREFORE, the parties adopt the foregoing recitals and agree as follows:

1. *Covenant to Grant Easement.* Upon satisfaction of the terms and conditions set forth below, Locke shall grant to Ridino, a drainage easement 10 feet in width generally along the southeast property line of the Locke Property, as more particularly shown on the preliminary drainage plan prepared by Roper Engineering, Job No. 00064, dated March 10, 2004. The easement shall be for the purpose of installing, maintaining, repairing and replacing a drain pipe

Page 1 of 4

- 148 -

Environmental Review Initial Study
ATTACHMENT 9-1-12
APPLICATION 64-0598

EXHIBIT 0

and related drainage improvements.

2. *Consideration.* Upon conveyance of the foregoing easement, and in consideration therefore, Ridino shall pay to Locke the sum of \$50,000 cash.

3. *Contingencies.* Ridino's obligation to accept the foregoing easement and pay the consideration described above is contingent upon (i) final approval of the drainage easement and the drainage plan associated therewith by the County of Santa Cruz, and (ii) Ridino's approval of an acceptable plan to pay the cost of installing the required drainage improvements. Ridino shall have 36 months from mutual execution of this Agreement to satisfy or waive the foregoing conditions. If the conditions have not been satisfied or waived within the time specified, this Agreement shall automatically become null and void.

4. *Quitclaim Deed.* Contemporaneously with execution of this Agreement, Ridino shall execute and acknowledge a quitclaim deed, remising, releasing, and quitclaiming to Locke **all** right, title or interest in or to the Treffry Property. The quit claim deed shall be delivered to Richard A. Allen, **Esq.**, 18 Alexander, Post Office Box 309, Watsonville, California, 95077, to be held by him as escrow agent subject to the following instructions. In the event the conditions set forth above have not been satisfied or waived, or the consideration paid, within the time specified, the escrow holder is authorized to record the quitclaim deed. Upon conveyance of the easement described above, the quitclaim deed shall be returned to Ridino, unrecorded.

5. *Assignment.* Ridino shall have the right to assign this Agreement to any other person or entity

6. *Attorneys' Fees.* Each party shall bear their own attorneys fees in this matter, including execution of this Agreement and any necessary ancillary documents. In the event of any future legal proceedings arising out of this Agreement, the prevailing party in such proceedings shall be entitled to recover a reasonable sum as attorneys' fees. In addition to the foregoing award of attorneys' fees, the prevailing party shall be entitled to its attorneys' fees incurred in any post-judgment proceedings to enforce any judgment in connection with this Agreement. This provision is separate and several and shall survive the merger of this provision into any judgment.

7 *Notices.* Any notice, demand, request or other document **or** instrument which **may** be or is required to be given under this Agreement shall **be** given only in writing and shall be deemed delivered if sent by United States Mail, postage prepaid, certified, return receipt requested, or by a national overnight delivery service, and shall be addressed to the parties at the addresses shown below, or to the last known address of the party to whom such notice is to be given. Notices shall be effective upon deposit with a reputable **overnight** delivery service or in the United States mails in accordance with the above provisions. Each party may designate such other address as shall also be given such written notice. Other modes of delivery may also be utilized, provided such other delivery service can provide a proof of delivery.

Alyssa Treffry Locke
2312 Freedom Boulevard
Watsonville, CA 95076

///

and copy to:

Richard H. Allen, Esq.
18 Alexander Street
Post Office Box 309
Watsonville, CA 95077

Robert Ridino
c/o Hamilton Swift Land Use and
Development Consultants
1509 Seabright Avenue, Suite A1
Santa Cruz, CA 95062

and copy to:

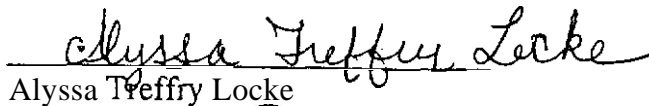
Edward W. Newman, Esq.
331 Capitola Avenue, Suite K
Capitola, CA 95010

8. **Entire Agreement.** This Agreement contains the entire agreement of the parties hereto and supersedes any prior written or oral agreements between them concerning the subject matter contained herein. There are no representations, agreements, arrangements, or understandings, oral or written, between the parties hereto, relating to the subject matter contained in this Agreement, which are not fully expressed herein.

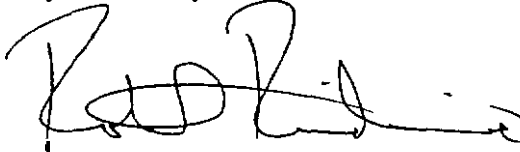
9. **Necessary Acts.** All parties to this Agreement agree to execute, acknowledge and deliver all instruments and perform all acts reasonably required to carry out the intent of this Agreement.

10. **Counterparts.** This Agreement may be executed in counterparts, each of which shall be deemed an original, but all of which, together, shall constitute one and the same agreement.

Dated: 9-20-04


Alyssa Treffry Locke

Dated: 9-15-04

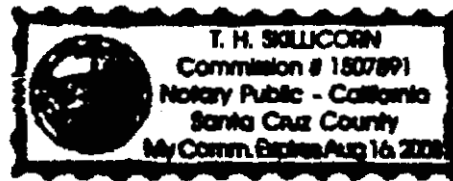

Robert Ridino

STATE OF California)
) ss:
COUNTY OF Santa Cruz)

On Sept 20, 2004, before me, T. H. Skellicorn, a Notary Public
in and for said county and State, personally appeared
Alyna Treffrey Locke, personally known to me (or proved to me on the
basis of satisfactory evidence) to be the person whose name is subscribed to the within
instrument and acknowledged to me that he/she/they executed the same in his/her/their
authorized capacity, and that by his/her/their signature on the instrument the person, or the entity
on behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal.

T. H. Skellicorn
NOTARY PUBLIC

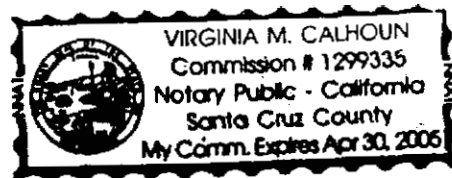


STATE OF CALIFORNIA)
) ss:
COUNTY OF SANTA CRUZ)

On 9/15, 2004, before me, VIRGINIA M. CALHOUN, a Notary Public in and
for said County and State, personally appeared ROBERT RIDINO
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person
whose name is subscribed to the within instrument and acknowledged to me that he executed the
same in his authorized capacity, and that by his signature on the instrument the person, or the
entity on behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal.

Virginia M. Calhoun
NOTARY PUBLIC



ILLEGIBLE NOTARY SEAL DECLARATION (Govt. Code 27361.7)


Name of Notary : T.H. Skillicorn

State and County of Commission : California - Santa Cruz

Date Commission Expires : Aug. 16, 2008

Commission Number : 1507891

I HEREBY CERTIFY UNDER PENALTY OF PERJURY THAT THE FOREGOING IS A TRUE AND CORRECT COPY OF THE ILLEGIBLE NOTARY SEAL STAMPED ON THE ATTACHED DOCUMENT.



(Signature of Affiant)

Date: 10/5/04

Place of Execution: Santa Cruz

REC-24 (Rev. 5/95)

Environmental Review Initial Study
ATTACHMENT 14-50112
APPLICATION 14-0598
EXHIBIT

RECORDED AT THE REQUEST OF
AND WHEN RECORDED RETURN TO

Hamilton Swift Land Use)
and Development Consultants)
1509 Seabright Ave., Ste. A1)
Santa Cruz, CA 95062)
)
)

EASEMENT AGREEMENT

THIS EASEMENT AGREEMENT ("Agreement") is entered into on the date set forth below in the County of Santa Cruz, State of California, by and between David A. Hams and Marlene S. Hams (collectively "Harris") and Robert Ridino ("Ridino") with reference to the following:

RECITALS

A. Harris are the owners of certain real property (the "Harris Property") situated in the County of Santa Cruz, State of California, commonly known as 38 Bowker Rd., Freedom, California, 95019, APN 049-201-35, and more particularly described in the deed recorded on April 28, 1993, in Volume 5249, Page 230, Santa Cruz County Official Records.

B. Ridino desires to subdivide certain real property situated on Bowker Road, adjacent to the Hams Property, including the parcel commonly known as 46 Bowker Road, Freedom, California, 95019, APN 049-201-15, and more fully described in the deed Crystal A. Swink recorded on March 18, 2002, as Instrument No. 2002-0019520, Santa Cruz County Official Records (the "Swink Property")

C. There is an area of uncontrolled fill slope situated generally along the boundary between the Hams Property and the Swink Property. In connection with Ridino's proposed subdivision, Ridino desires an easement to construct at his expense a retaining wall on the Harris Property to stabilize the previously described slope.

D. Harris is willing to grant such an easement to Ridino on the terms and conditions set forth in this Agreement.

NOW, THEREFORE, the parties adopt the foregoing recitals and agree as follows:

1. *Covenant to Grant Easement.* For good and valuable consideration receipt of which is hereby acknowledged, upon satisfaction of the terms and conditions set forth below, Harris shall grant to Ridino, a non-exclusive perpetual easement 15 feet in width generally along the

southwestern boundary of the Hams Property for a retaining wall to be installed at Ridino's expense in accordance with plans and specifications approved by the County of Santa Cruz Public Works Department to stabilize the slope between the Harris Property and the Swink Property, together with a temporary access and construction easement for the purpose of constructing the retaining wall and maintaining the wall for a period of one year thereafter. A section of the wall approximately 70 feet long opposite the existing garage on the Hams property shall be constructed approximately 2 feet closer than the rest of the wall to the common property line, with the height of that section of wall to be adjusted as necessary.

2. *Contingencies.* Ridino's obligation to accept the foregoing easement and construct the retaining wall is contingent upon final approval of plans and specifications by the County of Santa Cruz Public Works Department, and approval and recordation of a final subdivision map for Ridino's proposed subdivision.

3. *Grant Deed.* Upon satisfaction or waiver of the contingencies described above, Harris shall execute, acknowledge and deliver to Ridino for recording purposes a grant of easement, conveying to Ridino an easement as described above.

4. *Maintenance.* Ridino shall be solely responsible for repair and maintenance of the wall for a period of one year after completion of construction. Thereafter, Harris shall be solely responsible for repair and maintenance of the wall.

5. *Assignment.* Ridino shall have the right to assign this Agreement to any other person or entity.

6. *Attorneys' Fees.* Each party shall bear their own attorneys fees in this matter, including execution of this Agreement and any necessary ancillary documents. In the event of any future legal proceedings arising out of this Agreement, the prevailing party in such proceedings shall be entitled to recover a reasonable sum as attorneys' fees. In addition to the foregoing award of attorneys' fees, the prevailing party shall be entitled to its attorneys' fees incurred in any post-judgment proceedings to enforce any judgment in connection with this Agreement. This provision is separate and several and shall survive the merger of this provision into any judgment.

7. *Notices.* Any notice, demand, request or other document or instrument which may be or is required to be given under this Agreement shall be given only in writing and shall be deemed delivered if sent by United States Mail, postage prepaid, certified, return receipt requested, or by a national overnight delivery service, and shall be addressed to the parties at the addresses shown below, or to the last known address of the party to whom such notice is to be given. Notices shall be effective upon deposit with a reputable overnight delivery service or in the United States mails in accordance with the above provisions. Each party may designate such other address as shall also be given such written notice.

8. *Entire Agreement.* This Agreement contains the entire agreement of the parties hereto and supersedes any prior written or oral agreements between them concerning the subject matter contained herein. There are no representations, agreements, arrangements, or understandings, oral or written, between the parties hereto, relating to the subject matter contained in this

Agreement, which are not fully expressed herein.

9. *Necessary Acts.* All parties to this Agreement agree to execute, acknowledge and deliver all instruments and perform all acts reasonably required to **carry** out the intent of this Agreement.

10. *Counterparts.* This Agreement may be executed in counterparts, each of which shall be deemed an original, but all of which, together, shall constitute one and the same agreement.

11. *Recording.* This Agreement shall be recorded in the Santa Cruz County Official Records.

Dated: 11-23-04

David A. Harris
David A. Harris

Dated: 11/23/04

Marlene S. Harris
Marlene S. Harris

Dated:

Robert Ridino
Robert Ridino

H:\ewn\swift\ridino\doc\lease agreement revised 11 1204 harris ridino.wpd

///

///

Environmental Review Initial Study
ATTACHMENT 14, 8, 12
APPLICATION 04-0598



Tree Inventory
Construction Impact Analysis
APN 49-201-15 16 17

Maureen Haugh-Holmes & Partners
Professional Consulting Services
Professional #22190

Environmental Review Initial Study

ATTACHMENT 19, 9 of 12
APPLICATION 04-0598
EXHIBIT D

Tree #	Species	Diameter @ 4.5	Health	Structure	Suitability	Comments/Recommendations
1	Cedar	32.3	good	good	good	Healthy tree with symmetrical well balanced canopy. Adjacent to proposed curb gutter & sidewalk/Preconstruction root pruning and canopy alterations to provide clearance. Protect with fencing and straw bale barricades.
2	Fir	18.5	fair	fair	fair	Growing within landscape of existing residence on lot #11/Protect with fencing and straw bale barricades.
3	Fir	26.3	fair	fair	fair	Growing within landscape of existing residence on lot #11/Protect with fencing and straw bale barricades.
4	Fir	23.4	fair	fair/poor	fair	Growing within landscape of existing residence on lot #11/Protect with fencing and straw bale barricades.
5	Maple	double	fair	fair/poor	fair	Two main trunks that are codominant with area of included bark. Protect with fencing and straw bale barricades prior to demolition of existing structures.
6	Coast Redwood	44.7	good	fair	fair	Significant tree adjacent to proposed curb, gutter and sidewalk. Two large diameter main trunks/Install simple direct cable to support large trunks. Preconstruction root pruning, hand excavation for sidewalk.
7	Poplar	5 stems	fair	fair	fair	Incorporate into planned landscape on lot # 3/Protect with fencing and straw bale barricades.
8	Poplar	3 stems	fair	fair	fair	Incorporate into planned landscape on lot # 3/Protect with fencing and straw bale barricades.
9	Poplar	4 stems	fair	fair	fair	Incorporate into planned landscape on lot # 5/Protect with fencing and straw bale barricades.

The mechanical assessment is used to determine the structural integrity of the tree and includes an evaluation of the following:

- integrity of the framework of the tree (supporting trunk and major branches)
- External symptoms (bulges, ribs or cracks) that can indicate internal defects
- Lean of main trunk and canopy configuration
- Development of root buttress

Trees with “good” structure are well rooted with visible taper in the lower trunk leading to buttress root development. These qualities indicate that the tree is solidly rooted in its growing site. No significant structural defects such as codominant stems (two stems of similar size that emerge from the same point on the trunk), weakly attached branches, cavities or decay are present.

Trees with “fair” structural integrity may have defects such as poor **taper** in the trunk, inadequate root development or growing site limitations. They may have multiple **trunks**, included bark (where bark turns inward at an attachment point), or suppressed unbalanced canopies. Small areas of decay or evidence of previous limb loss may be present in these trees. Trees in fair condition can be improved using common maintenance procedures.

Poorly structured trees display one or more serious defects that may lead to the failure of branches, ~~trunk~~, or the whole tree due to uprooting. Trees in this condition may have had root loss due to decay or site conditions. The supporting trunk or large stems could be compromised by decay or structural defect (large codominant stems with included bark). Trees in this condition represent a risk. In some situations maintenance, including cable support systems, props or severe pruning can reduce, but not eliminate the potential hazard.

Trees that contain large dead branches, decayed areas or other structural defects that cannot be mitigated are not suitable for preservations on developed sites and should not be retained in **areas** where improvements are proposed.

OBSERVATIONS

The proposed development site is a rural property with several existing residences and outbuildings that are accessed off Bowker Road. The undeveloped portion of the site is flat and open with sparse tree development.

The residence located at the corner of Bowker Road and the proposed access road will be relocated onto lot #11. Four significant trees are growing on the lot, one cedar (*Cedrus atlantica*) and four fir (*Pseudotsuga menziesii*). These trees are all healthy and **suitable** for incorporation into the new landscape scheme for this lot.

A small maple tree (#5) currently growing adjacent to several outbuildings will be located in the proposed front yard landscape of lot #2. This tree is healthy but displays a structural weakness in the form of codominant stems and an area of included bark. Trees with this type of structural defect can be improved by eliminating excess weight from the canopy through proper maintenance procedures.

Tree #6 is a significant coast redwood (*Sequoia sempervirens*). It consists of two large diameter trunks that are codominant (two trunks of similar size that emerge from the same point on the trunk). As with the small maple tree, this is a structural weakness that can be prone to failure. This type of defect in large tree with dense heavy foliage requires the installation of a simple direct cable system to support the weakness. This tree can be pruned to remove lower branches and allow for vehicular and pedestrian access. This type of pruning is not detrimental and will not affect tree health or stability.

Trees #7 through #10 are large mature Lombardy poplar trees (*Populus nigra*). These trees are healthy examples of this species and display the multi-trunked structure typical of the species. These trees will be incorporated into the landscape of several lots, providing screening and separation between the proposed homes.

Tree #11 is a healthy coast live oak (*Quercus agrifolia*) growing near the rear property boundary of lot #8.

Tree #12 is a healthy English walnut that will be incorporated into the landscape of the residence proposed for lot # 10.

DISCUSSION OF CONSTRUCTION IMPACTS

Two of the trees on this site could be impacted by the proposed construction. Excavation, grade changes and soil compaction are activities that typically occur during construction projects that can affect both tree health and structural stability.

Trees #1 and #6 are in proximity to the proposed curb, gutter, sidewalk and access road. The installation of these improvements may require grade changes, excavation, soil compaction and the installation of impervious surfaces.

Reduction of natural grade adjacent to trees can have both immediate and long term effects on tree health. Small fibrous roots (absorbing roots) are present in the upper soil layers and can extend beyond the canopy of the tree. A small cut of two to four inches can remove a portion of the absorbing root layer. This layer is responsible for supplying the tree with moisture and nutrients. When they are removed the tree can display symptoms of water stress and loss of vigor. Trees can tolerate the loss of a percentage of this layer as they can regenerate quickly. Loss of the entire layer would lead to the decline and possible death of the tree.

Increasing native grade adjacent to trees can be damaging as well. The fill holds moisture around the trunk and inhibits the natural exchange of gases. Disease and decay can develop in the structural roots responsible for keeping the tree upright.

Excavation is required to install underground supply lines and prepare roadbeds. The equipment used for these procedures can cause serious damage to the trees structural roots. When roots are tom or damaged by equipment they cannot seal properly and decay can enter the root. Damage, removal or decay of the structural roots can cause destabilization.

RECOMMENDATIONS

Ideally, the critical root zone of retained trees would remain undisturbed during development, eliminating the opportunity for damage and the resulting decline of the retained trees. In order to achieve maximum tree retention on construction sites it is often necessary to encroach into the root zone. There are procedures available that can reduce the affects **of** these impacts and retain the trees for the long term.

Protection **Fencing/Barricades** are a simple and effective way to protect trees during construction. Chain link fencing supported by posts in the ground can create both a physical and visual barrier between the trees, the construction workers and **their** equipment. The straw bales outside the fence holds back any excess soils that often result from grading. The barricade can also divert excess moisture that can develop when natural drainage patterns are altered.

Preconstruction Root Severance has been recommended for trees #1 and #6 in areas outlined on the attached site map. This procedure is performed in advance of construction and prevents damage to roots by equipment. It also allows time for the tree to respond to the impact and begin to compensate **for** the root loss.

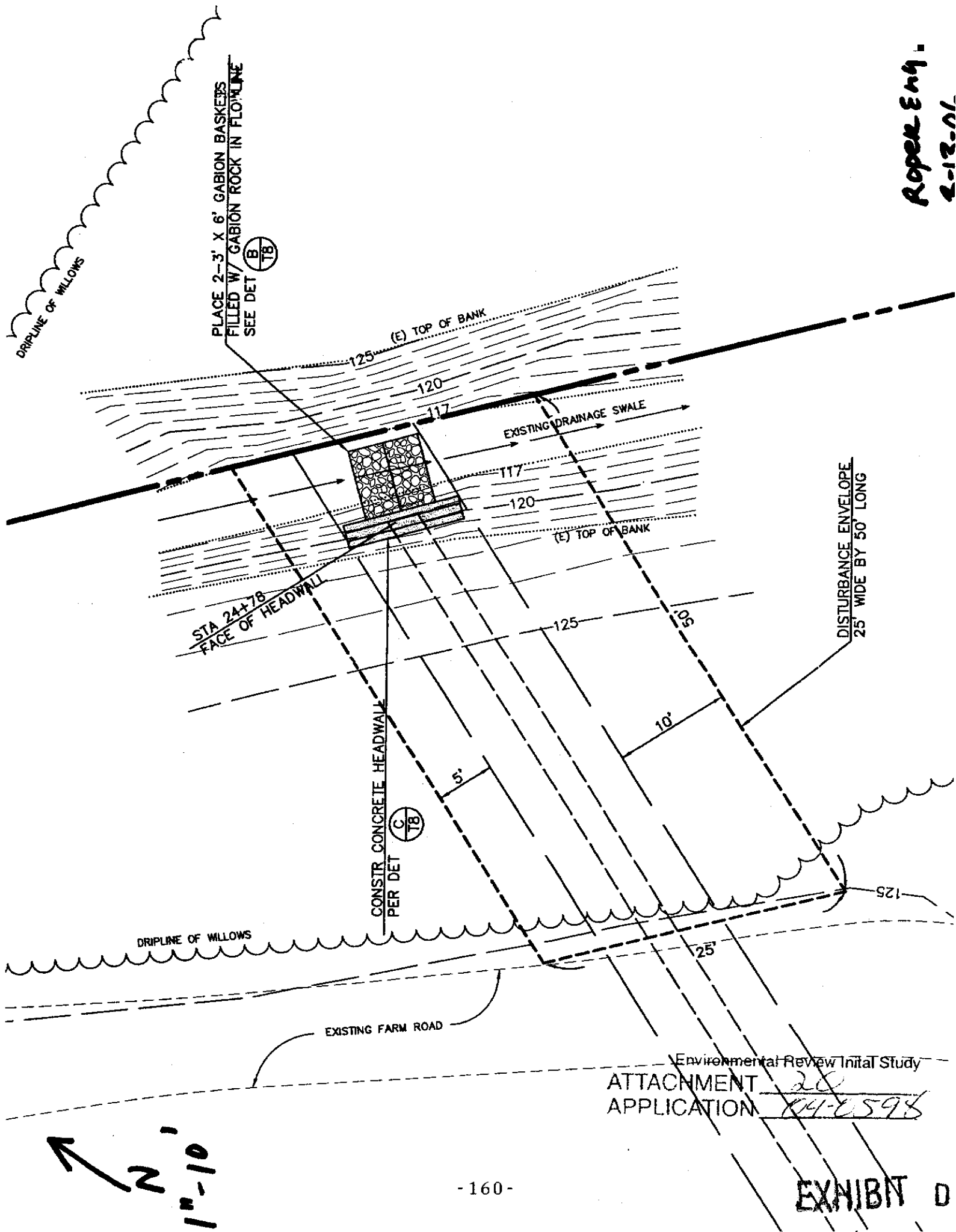
The procedure begins with the staking of the “final line of disturbance”. The area just outside the stakes is excavated using a “ditchwitch” to expose and cleanly sever roots. This process should be supervised by the project arborist to evaluate the number and size **of** pruned roots.

Tree #1 will be subjected to preconstruction root pruning for the installation the curb, gutter and sidewalk.

Tree #6 will be subjected to preconstruction root pruning for the curb and gutter construction. The location of the curb and gutter will be routed into the roadway and curve around the tree. Without this alteration tree removal will be required.

Environmental Review Initial Study
ATTACHMENT 14 12 08 12
APPLICATION 04-0598

ROPER ENH.
2-12-01



Environmental Review Initial Study
ATTACHMENT 20
APPLICATION 04-0598

FOR TAX PURPOSES ONLY

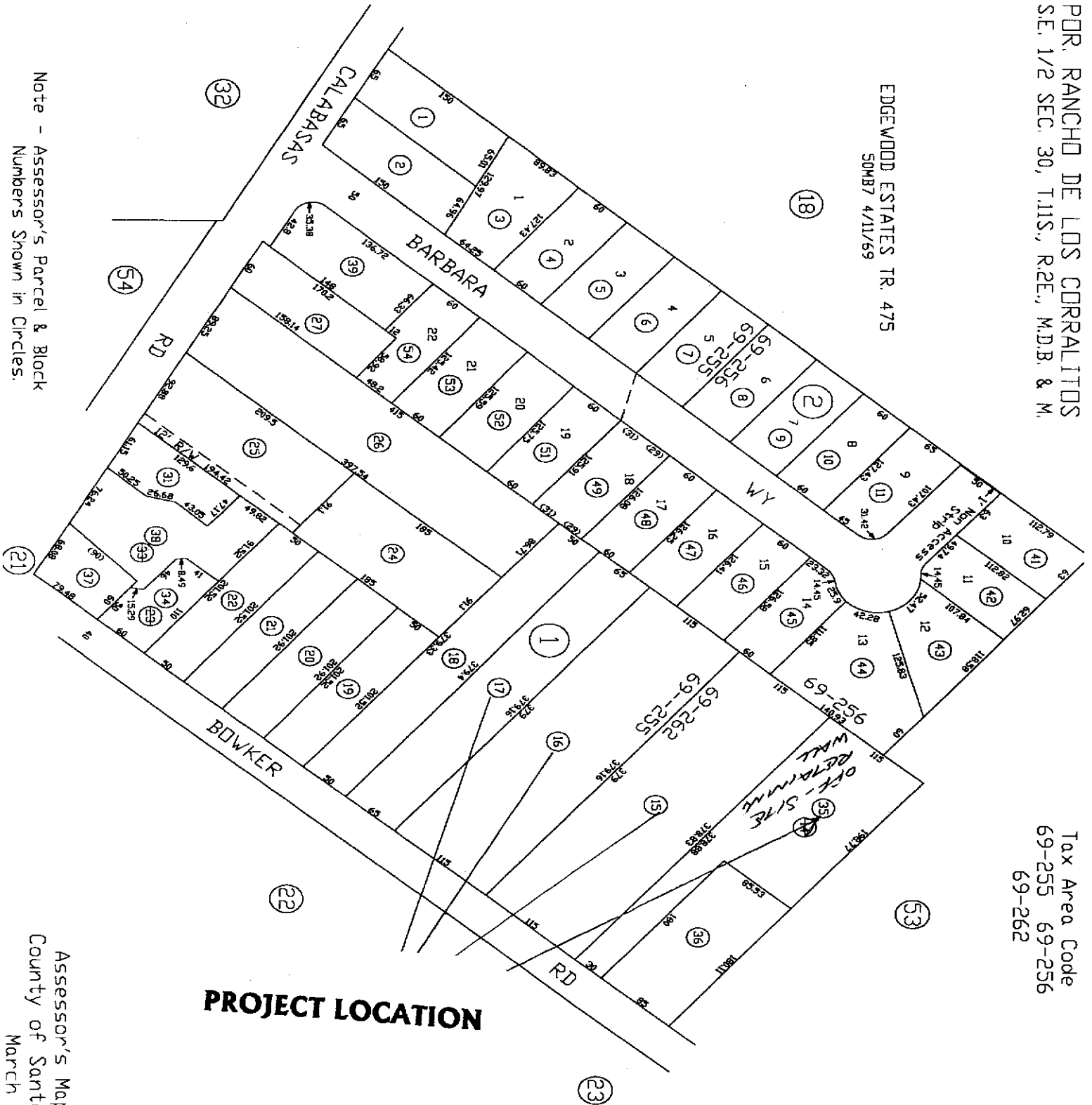
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POR. RANCHO DE LOS CORRALITOS
 SE. 1/2 SEC. 30, T.11S., R.2E., M.D.B. & M.

EDGEWOOD ESTATES TR. 475
 50MB7 4/11/69

Tax Area Code
 69-255 69-256
 69-262

49-20



PROJECT LOCATION

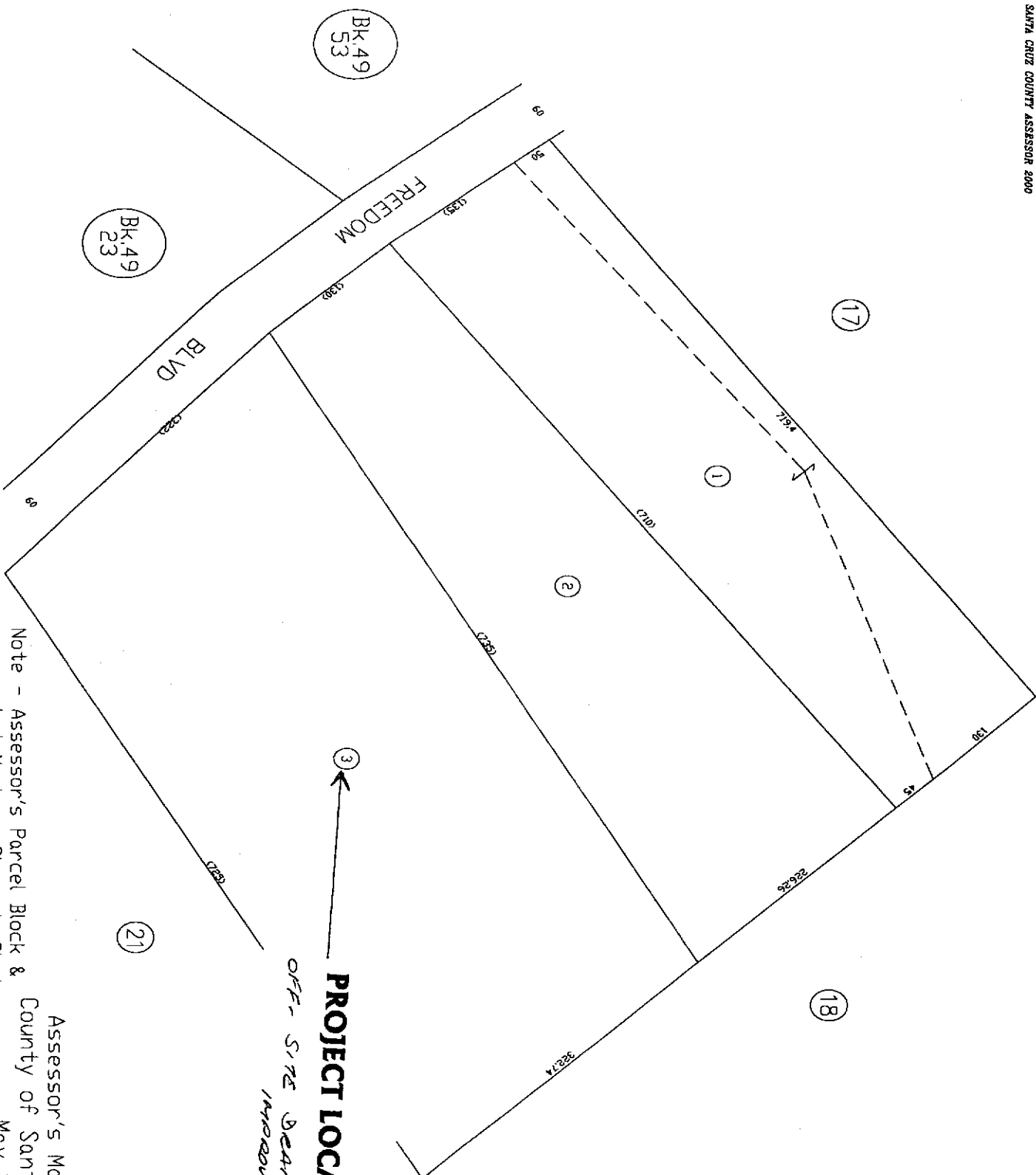
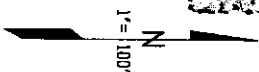
Note - Assessor's Parcel & Block
 Numbers Shown in Circles.

Assessor's Map No. 49-20
 County of Santa Cruz, Calif.
 March 2000

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Tax Area Code
69-258

50-44



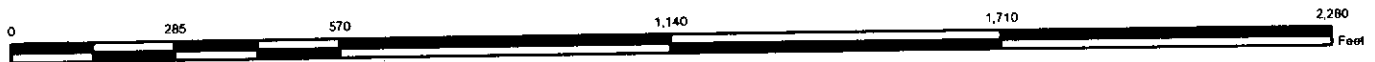
PROJECT LOCATION

OFF-SITE DRAINAGE IMPROVEMENTS





Assessor's Map No. 50-44
County of Santa Cruz, Calif
Note - Assessor's Parcel Block & Lot Numbers Shown in Circles.
May 2000

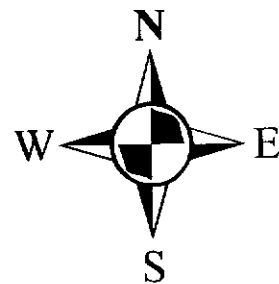


Location Map



Legend

-  Project Parcels
-  Assessors Parcels
-  Streets
-  INTERMITTENT STREAM

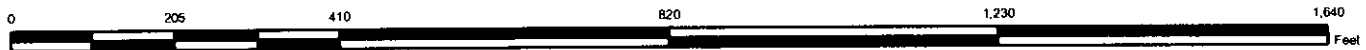
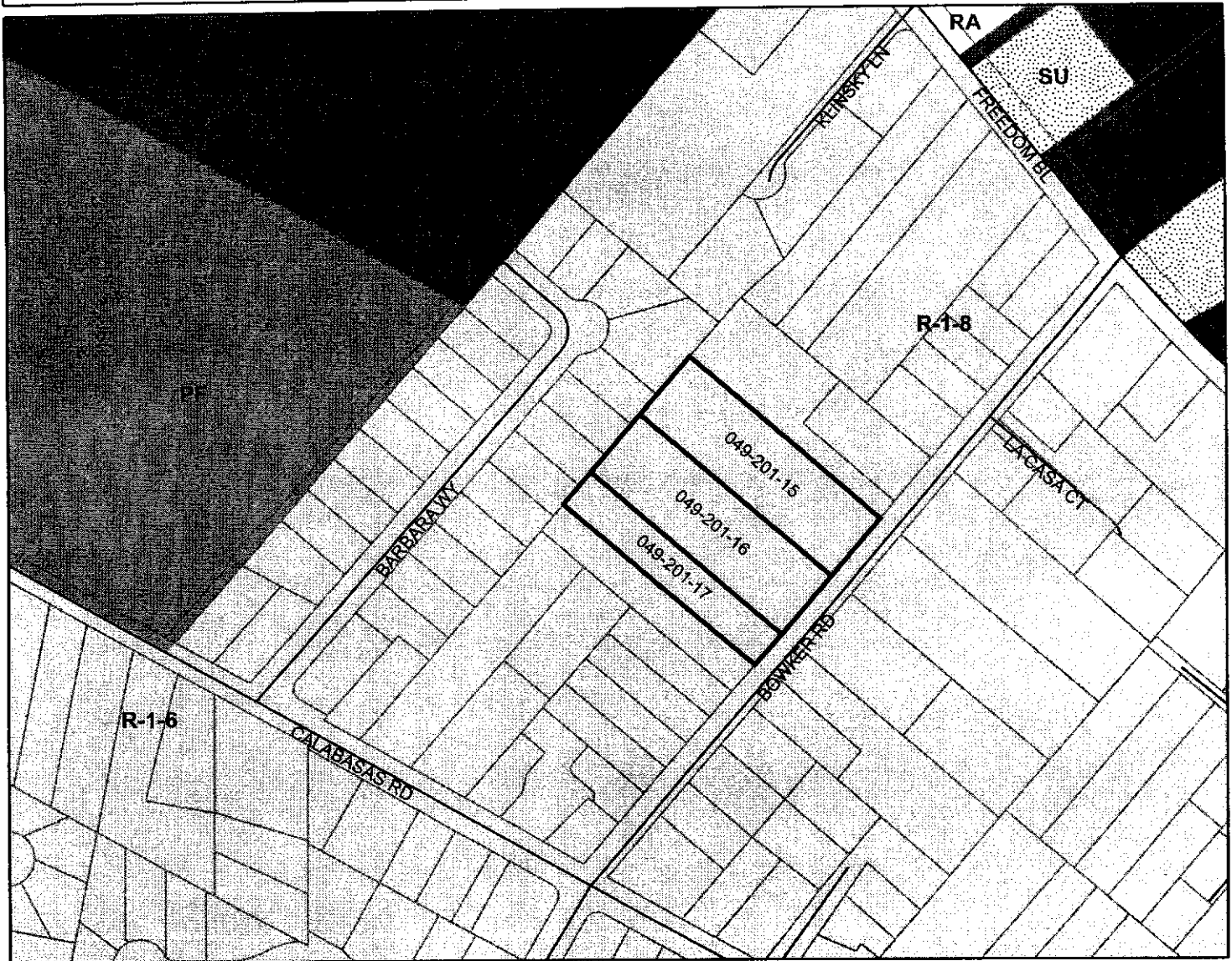


Map Created by
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Planning Department
June 2006



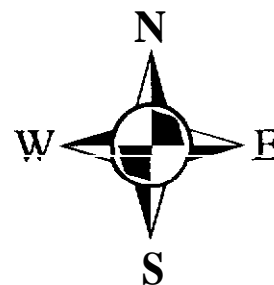


Zoning Map



Legend

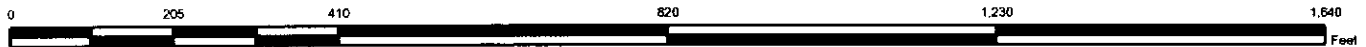
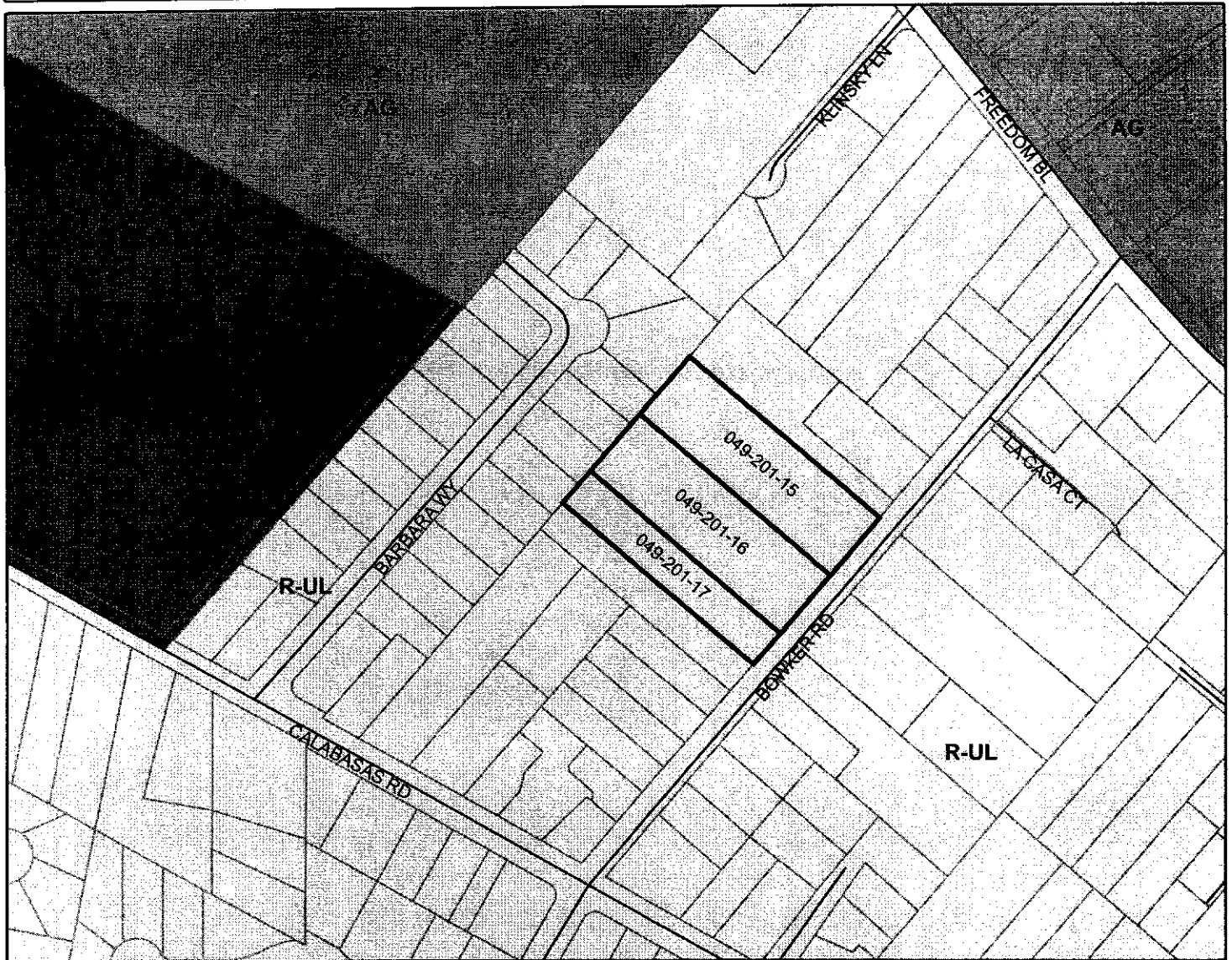
- Project Parcels
- Assessors Parcels
- Streets
- RESIDENTIAL-SINGLE FAMILY (R-1)
- PUBLIC FACILITY (PF)
- AGRICULTURE COMMERCIAL (CA)
- SPECIAL USE (SU)
- AGRICULTURE RESIDENTIAL (RA)









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June 2006

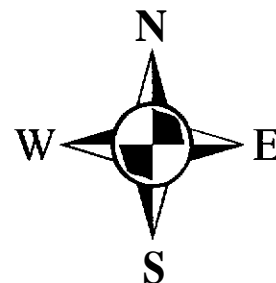


General Plan Designation Map

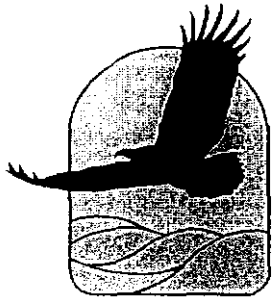


Legend

-  Project Parcels
-  Assessors Parcels
-  Streets
-  Residential - Urban Low Density (R-UL)
-  Agriculture (AG)
-  Public Facilities (P)



Map Created by
County of Santa Cruz
Planning Department
June 2006



**CITY OF WATSONVILLE
COMMUNITY DEVELOPMENT DEPARTMENT
ENGINEERING COMMENTS/CORRECTIONS**

PC #: None
Date: July 1, 2005
Subject: Bowker Road Subdivision Water System
Address: APNs 049-201-15, -16, -17
PC By: Joy Bader, Assistant Engineer, (831) 768-3077

1. At its December 9, 2003 meeting, the Watsonville City Council passed a resolution approving a request from John Swift on behalf of Hamilton Swift Land Use and Development Consultants for a Water Availability Letter for the subject parcel. Attached is a copy of the resolution and the December 15, 2003 Water Availability Letter. The letter outlines conditions that shall be satisfied before the City shall provide water service.
2. Prior to construction of a water main extension and installation of the requested water services, the applicant shall enter into a Water Main Extension Agreement with the City of Watsonville. The Agreement shall be approved by the Watsonville City Council. Some of the requirements of the agreement are described in the attached list entitled "Watermain Extension Required." Also attached is an example of the Request for Water Main Extension letter to be submitted by the applicant to the City Council. Contact Gayland Swain, Senior Utilities Engineer in the Public Works and Utilities Department at 725-6093 concerning the Agreement.
3. The water system shall be built in accordance with the most current edition of the City of Watsonville Standard Specifications and Standard Drawings, which can be obtained from the Public Works and Utilities Department. Water lines and water services constructed as **part** of the water main extension shall be located within public road right of way. After construction is complete and approved by the City, the City shall take ownership of water system improvements up to and including the water meters.
4. It is recommended that each ADU be equipped with its own water meter, as this will allow for separate water billing and will encourage water conservation.

Environmental Review Initial Study
ATTACHMENT 14, 15, 16
APPLICATION 04-1598

CHOL-PW

RESOLUTION NO. 324-03 (CM)

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WATSONVILLE APPROVING THE REQUEST FROM JOHN SWIFT, ON BEHALF OF HAMILTON SWIFT LAND USE AND DEVELOPMENT CONSULTANTS, FOR A WATER AVAILABILITY LETTER ["WILL SERVE"] FOR A PROPOSED RESIDENTIAL PROJECT ON BOWKER ROAD (APN 049-201-15, 16, AND 17), WATSONVILLE, CALIFORNIA; AND AUTHORIZING AND DIRECTING THE PUBLIC WORKS AND UTILITIES DIRECTOR TO ISSUE SAID LETTER

WHEREAS, on December 10, 2002, the City Council adopted Resolution No, 303-02 (CM) Establishing and Adopting the "Outside City of Watsonville Water Connections--Goals, Objectives, and Policies" to further implement the *Watsonville 2005: General Plan*; and

WHEREAS, Chapter 3 "Growth and Conservation Strategy" of the *Watsonville 2005: General Plan* adopted in 1994, includes goals and policies to encourage "City centered" growth for those areas outside the City and to implement livable community concepts.

WHEREAS, on November 13, 2003, John Swift, on behalf of Hamilton Swift Land Use and Development Consultants, submitted an application package requesting City Council authorization to issue a Water Availability Letter for a proposed residential project on Bowker Road (APN049-201-15, 16, and 17) outside the City limits, but within the City's water service area; and

Environmental Review Initial Study
ATTACHMENT 14 2 of 6
APPLICATION 04-0598

EXHIBIT 6

WHEREAS, staff recommends the Council find that the proposed project does satisfy the findings established in Policy 1.4 and complies with the livable community concepts all as set forth in Resolution 303-02 (CM).

NOW, THEREFORE, **BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WATSONVILLE, CALIFORNIA, AS FOLLOWS:**

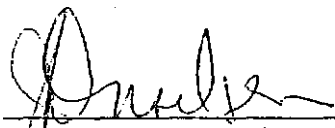
1. That Good cause appearing therefor and based upon the Findings, attached hereto and incorporated herein as Exhibit "A," the Council hereby approves the request from John Swift, on behalf of Hamilton Swift Land Use and Development Consultants, for issuance of a Water Availability Letter ("Will Serve").

2. That the Public Works and Utilities Director be and is hereby authorized and directed to issue said letter to John Swift for and on behalf of Hamilton Swift Land **Use** and Development Consultants.

Environmental Review Initial Study
ATTACHMENT 14, 3 of 6
APPLICATION 24-0598


The foregoing resolution was introduced at a regular meeting of the City Council of the City of Watsonville, held on the 9th day of December, 2003, by Council Member Gomez, who moved its adoption, which motion being duly seconded by Council Member Bersamin, was upon roll call carried and the resolution adopted **by** the following vote:

AYES:	COUNCIL MEMBERS:	Bersamin, de la Paz, Phares, Gomez. Doering-Nielsen
NOES:	COUNCIL MEMBERS:	None
ABSENT:	COUNCIL MEMBERS:	Rivas, Skillicorn



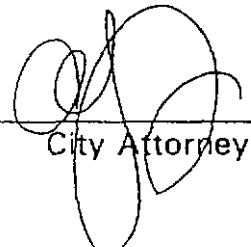
Judy Doering-Nielsen, Mayor

ATTEST:



City Clerk

APPROVED AS TO FORM:



City Attorney

Environmental Review Initial Study
ATTACHMENT 14, 4 of 6
APPLICATION 04-0598

CITY COUNCIL
CITY OF WATSONVILLE

APN: 049-201-15, 16 and 17
Applicant: John Swift
Meeting Date: December 9, 2003

WATER "WILL SERVE" FINDINGS

1. The proposed project, notwithstanding Policy 1.2a., is consistent with the goals, policies and objectives of the City of Watsonville General Plan;

Supportive Evidence

The project provides a net density of 12 units-per-acre based on the establishment of accessory dwelling units in conjunction with new single-family parcels. The project provides a mixture of housing types including single family and small accessory units. The project concept is consistent with City Livable Community Guidelines.

2. The proposed project is designed at the highest allowable density under the County General Plan including the State density bonus; and

Supportive Evidence

The project has been designed at the highest approvable density under the current General Plan and zoning designation utilizing accessory dwelling unit provisions to increase the overall density.

3. There are unique site characteristics including but not limited to size, shape, and topography that limit the development of the site;

Supportive Evidence

There are no unique characteristics on the site. Design has incorporated density consistent with the City's target of 12 units per acre. If determined an acceptable means of meeting the density, the finding need not be made.

4. The project complies with Policy 1.2 b. relative to inclusionary unit provisions.

Supportive Evidence

The applicant proposes and has been conditioned to provide inclusionary units within the project that exceed the City's 20-percent provision.

Environmental Review Initial Study
ATTACHMENT 14, 5066
APPLICATION 04-0598

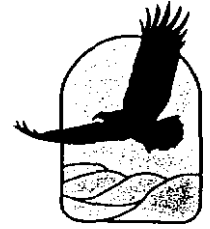
EXHIBIT "A"

Attachment/Exhibit to: Resolution No. <u>32482</u> - 170 -

EXHIBIT G

CITY OF WATSONVILLE

"Opportunity through diversity, unity through cooperation"



ADMINISTRATIVE BUILDING

215 Union Street
Second Floor
Fax 831.768.0731

MAYOR & CITY COUNCIL

215 Union Street
831.768.3008

CITY MANAGER
831.768.3010

CITY ATTORNEY
831.768.3030

CITY CLERK
831.768.3040

PERSONNEL
831.768.3020

CITY HALL OFFICES

250 Main Street

COMMUNITY
DEVELOPMENT

831.768.3050
Fax 831.728.6173

FINANCE

831.768.3450
Fax 831.763.4066

PUBLIC WORKS &
UTILITIES

831.768.3100
Fax 831.763.4065

PURCHASING
831.768.3461

Fax 831.763.4066

REDEVELOPMENT & HOUSING

831.768.3080
831.763.4114

AIRPORT

100 Aviation Way
831.768.3480
Fax 831.763.4058

FIRE

115 Second Street
831.768.3200
Fax 831.763.4054

LIBRARY

310 Union Street
831.768.3400
Fax 831.763.4015

PARKS & COMMUNITY SERVICES

30 Maple Avenue
831.768.3240
Fax 831.763.4078

December 15, 2003

Mr. John Swift

1509 Seabright Avenue, Suite A1
Santa Cruz, CA 95062

Subject: Water Service for APNs: 049-201-15, -16, and -17

Dear Mr. Swift:

This letter is to inform you that the City Council of the City of Watsonville has determined that water may be provided to serve APN's: 049-201-15, -16, and -17, provided the following conditions are met:

1. Unit-count of ~~the~~ proposed development to be submitted to Santa Cruz County shall total at least 18 new units (nine principal dwellings/nine accessory dwellings);
2. Accessory dwellings shall be constructed and available for occupancy concurrent with each of the principal dwellings;
3. One principal residence and all accessory units shall be deed restricted as affordable;
4. Sales and monthly rental rates shall be based on City of Watsonville Median Income;
5. Units shall have valid addresses assigned by the County of Santa Cruz before water service may be provided;
6. Complete and submit a water service application. Pay construction, connection, and groundwater impact fees.

This letter is not a guarantee of water availability. The provision of water service is determined by the City Council.

Please contact me at (831) 728-6127 if you have any questions or concerns.

Yours truly

Joy Bader, Assistant Engineer
Community Development Department

Environmental Review initial Study
ATTACHMENT 14, 6 of 6
APPLICATION 04-0598

FREEDOM COUNTY SANITATION DISTRICT

INTER-OFFICE CORRESPONDENCE

DATE: FEBRUARY 7, 2006 (3RD SUBMITTAL)
TO: PLANNMG DEPARTMENT: JOAN VAN DER HOEVEN
FROM: SANTA CRUZ COUNTY SANITATION DISTRICT
SUBJECT: CONDITIONS OF SERVICE FOR THE FOLLOWING
PROPOSED DEVELOPMENT

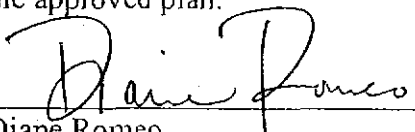
APN: 49-201-15, -16 & -17 APPLICATION NO.: 04-0598

PARCEL ADDRESS: 46, 54, & 62 BOWKER ROAD

PROJECT DESCRIPTION: 11 LOT SUBDIVISION; 3 SINGLE FAMILY
DWELLING TO REMAIN (ONE DWELLING TO BE
RELOCATED); ACCESSORY DWELLING UNITS
(ADUs) TO BE CONSTRUCTED ON 8 PARCELS

The sewer improvement plan submitted for the subject project is approved by the District. Any future changes to these plans shall be routed to the District for review to determine if additional conditions by the District are required by the plan change. All changes shall be highlighted as plan revisions and changes may cause additional requirements to meet District standards.

The applicant for any building permit for this subdivision shall attach a copy of the approved plan.


Diane Romeo
Sanitation Engineering

DR/dr

c: Applicant: John Swift
1509 Seabright #A1
Santa Cruz, CA 95062

Environmental Review Initial Study
ATTACHMENT 15, 1 of 3
APPLICATION 04-0598

Property Owners:	Crystal Swink	Eva and Aden Moreno	Jack Baskin
	PO Box 350	54 Bowker Road	d o SAR Enterprises
	Aptos, CA 95001	Freedom, CA 95019	PO Box 350
			Aptos, CA 95001

Engineer w/attachment: Roper Engineering
444 Airport Blvd, Suite 206
Watsonville - 172-6076

EXHIBIT G

FREEDOM COUNTY SANITATION DISTRICT
INTER-OFFICE CORRESPONDENCE

DATE: JUNE 30, 2005 (2nd SUBMITTAL)
TO: PLANNING DEPARTMENT: JOAN VAN DER HOEVEN
FROM: SANTA CRUZ COUNTY SANITATION DISTRICT
SUBJECT: CONDITIONS OF SERVICE FOR THE FOLLOWING
PROPOSED DEVELOPMENT

APN: 49-201-15, -16 & -17 APPLICATION NO.: 04-0598

PARCEL ADDRESS: 46.54, & 62 BOWKER ROAD

PROJECT DESCRIPTION: 11 LOT SUBDIVISION; 3 SINGLE FAMILY
DWELLING TO REMAIN (ONE DWELLING TO BE
RELOCATED); ACCESSORY DWELLING UNITS
(ADUs) TO BE CONSTRUCTED ON 8 PARCELS

An approved engineered sewer plan, addressing all issues required by District staff and meeting County "Design Criteria" standards (unless a variance is allowed), is required prior to the approval of the improvement plan and final map. The plan must be complete and a preliminary design shall not be approved.

The following items need to be shown on the plan sheets T3, T4 and T5 ~~or~~ next submittal:

Sheet T3 – Provide finished floor elevations of lowest level of house with fixture connected to sewer to determine if backflow prevention requirements and note on plan if required to be installed. Where the finished floor elevation is one foot or less than the nearest upstream manhole rim elevation, it shall be noted on plans that the lot's sewer lateral shall require a sewer backflow/overflow prevention device per Figure SS-I4.

Revise to show a cleanout at the end of the 6-inch segment of sewer lateral and one backflow prevention device on each 4-inch lateral connected to the 6-inch pipe per Figure SS-3. Remove note that indicates that backflow prevention device is to be installed on 6-inch pipe.

Sheet T5 – Note on plans that existing manhole in Bowker, at the proposed intersection with Cannella Court, shall be be remortared on the inside or be replaced when modifying manhole to accommodate new 8-inch sewer mains.

Environmental Review Initial Study

ATTACHMENT 15, 2 of 3
APPLICATION 04-0598

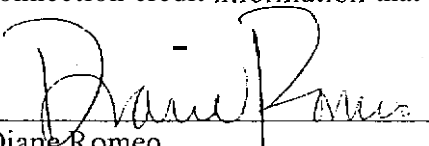
Note on plans and profile limits of pipe material and backfill special provisions (concrete encasement or slurry cap) over sewer mains and laterals per Figure SS-I1.

The subject property (049-201-15) is outside of the District's boundary. As a condition of this permit, the applicant/developer is required to annex the parcel(s) to the District prior to the final map being filed and sewer service being available. The existing residence currently outside of the District shall not be connected until the LAFCO annexation is complete and all fees are paid. Contact the Local Agency Formation Commission (LAFCO) at (831) 454-2066.

The new sewer laterals, serving the parcels that include ADUs, shall be connected to the 8-inch public sewer with a 6-inch private sewer lateral. The public sewer shall be installed at a minimum 1% slope and the 4-inch and 6-inch private laterals shall have a 2% minimum slope and noted as such.

On final map, if the Cannella Court right of way will not be accepted into the County's road system, the right of way shall be dedicated to the Freedom County Sanitation District as an easement.

When subdividing a parcel with a sewer connection credit due to the removal of an existing development, developer shall designate which parcel(s) shall receive connection credit. Developer shall assign connection credit on the non-title sheet of the recorded subdivision map. In addition, developer shall disclose to any prospective buyers connection credit information that is material in determining parcel value.


Diane Romeo
Sanitation Engineering

DR/dr

c: Applicant: John Swift
1509 Seabright #A1
Santa Cruz, CA 95062

Property Owners:	Crystal Swink	Eva and Aden Moreno	Jack Baskin
	PO Box 350	54 Bowker Road	c/o SAR Enterprises
	Aptos, CA 95001	Freedom, CA 95019	PO Box 350
			Aptos, CA 95001

Engineer: Roper Engineering
444 Airport Blvd. Su 206
Watsonville, CA 95076

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Environmental Review Initial Study
ATTACHMENT 15, 3 of 3
APPLICATION 04-0598
EXHIBIT G



Land Use & Development Consultants, Inc

Santa Cruz County Planning Department
701 Ocean Street
Santa Cruz, CA 95061

RE: Tentative Map Application
Carmela Court Subdivision
46,54,62 Bowker Road, Watsonville
APN: 049-201-15,16,17

Planning Staff,

Herewith is an application for a Tentative Map for a proposed 11 lot subdivision plus a remainder and a rezoning of a portion of three properties located at 46,54,62 Bowker Road in Watsonville. The property is 2.57 gross acres in size. The property is zoned R-1-8 and R-1-6 and is designated Urban Low Density Residential (4.4 to 7.2 units per acre) in the General Plan. The corresponding allowable lot sizes range from 6,000 sf to 10,000 s.f.

APN 049-201-15 & 16 are designated R-1-8. APN 049-201-17 is designated R-1-6. All of the properties are within the Urban Services Line. A Rezoning of APN 049-201-15 & 16 from R-1-8 to R-1-6 is proposed. The properties are outside the Coastal Zone.

There are three existing homes on the property. Two of the homes will be retained in their present location. One of the homes will be relocated to proposed Lot 11. The house on APN 049-201-15 will remain on the proposed remainder parcel. The present owner of APN 049-201-15 intends to retain ownership of this house and newly configured parcel. This remainder property will not be part of the subdivision and will retain access directly from Bowker Road. The retention of these homes will maintain the existing character of the street frontage along Bowker Road.

The preliminary tentative map proposes 11 total lots and a remainder. The proposed average lot size is 7477 sq.ft. with lots ranging from 6022 sf to 10,872 sf. The remainder parcel is 10,872s.f.

One of the primary goals of this project is to incorporate "smart growth" concepts in the design of the subdivision. To this end the three existing more affordable housing units have been retained. Small, efficient accessory dwelling units that will allow extended family members or low income individuals to live in this new subdivision have been provided with each of the new units. Existing mature trees will be preserved. The project will far exceed the minimum 15% required affordable housing by providing 9 Accessory Dwelling units in addition to one single family residence that will be restricted for sale to an affordable family. Adequate parking has been provided to accommodate the increased demand of the ADUs.

The architecture reflects a craftsman style with complex roof design with numerous changes in roof lines and heights. The units have numerous elements which break up the mass of the residences and provide interesting elevation changes and details.

Urban Services

Service availability letters are attached from the County Sanitation District as well as the City of Watsonville Water District. A new sewer line is proposed to replace the old inadequate line located in Bowker Road from the property to Calabasas Road. APN 049-201-15 is presently located outside the Sanitation District Boundary. This property will need to be annexed into the Sanitation District as a condition of approval of the project.

Access to the property will be provided via a new 36' wide standard local street and is proposed to be County maintained. The right of way will be 56' wide with separated sidewalks. Curb, gutter and sidewalk will be provided along the frontage of the subdivision on Bowker Road. The sidewalk will be curved around two existing trees located on proposed Lot 10 and 11. An easement will be established on Lot 10 to provide for this curved sidewalk. On Lot 11 the sidewalk will be located adjacent to the street to increase the separation to the existing tree.

Geotechnical Report

A Geotechnical report has been prepared for the project and is attached for staffs review. The report concluded that the property is suitable for the proposed development if the recommendations are followed. In addition to the report an Addenda to the soils investigation is attached which discusses the mitigations required for the steep bank located on the adjacent property to the northeast property line. The project proposes to retain this cut slope with a small retaining wall built on the neighbor's property, APN 049-201-35 so that a 50% compacted buttress fill can be installed to retain the slope. An Easement Agreement has been obtained with the property owners of 049-201-35 to allow for the construction and maintenance of this wall. A Plan Review letter has also been attached which confirms that the civil plans are in conformance with the recommendations of the Geotechnical Report and Addenda.

Accessory Dwelling Units

Each of the 9 new lots is proposed to include an Accessory Dwelling Unit. The three existing houses on Lots 1, 11 and the Remainder will not include ADUs. Five of the Lots will include attached ADUs. Four of the Lots will include detached ADUs. The detached ADUs are approximately 550 sf containing one bedroom. The attached ADUs are studio units containing 352 s.f. Each of the ADUs has a carport and a tandem space in front of the carport. Carports were provided instead of garages to ensure that this space would remain available for cars as opposed to being used for storage. The carports have been designed as an integral part of the house and will complement the overall appearance and livability of the property. The design allows for a separate entrance and yard space for the ADU units that will maintain a sense of privacy for both units.

Affordable Housing

Lot 2 is designated as the Affordable lot/unit. In addition each of the ADUs will be rented either to seniors, a family member or a low income individual or couple. This will result in the potential for 9 new small affordable rentals that will be integrated into a market rate development and larger community. Additionally the three small existing homes located along Bowker Road will be maintained. These older homes will be substantially more affordable than the new homes proposed in the rear.

Drainage

There is a long standing drainage problem on La Casa Court located to the north east of the project. This drainage problem has existed for over 20 years and was caused by numerous factors including the construction of Freedom Blvd. and the La Casa Ct. subdivision with inadequate provisions for drainage. Flooding of the homes on La Casa Court and Freedom Blvd occur every year during the winter. Drainage from the proposed project would increase the runoff and exacerbate this problem. To mitigate this impact the project proposes a very extensive offsite drainage improvement. This includes a 30" drain line extending approximately 1,795 lineal feet, drain inlets, culverts, a drainage easement and an outlet at the creek. An extensive drainage plan and calculations is attached. We are working with the impacted residents of La Casa Court, Bowker Road and Freedom Blvd. and the County of Santa Cruz, including Supervisor's Pine's office, to develop an equitable means of paying for this drainage mitigation for a problem which has existed long before the proposed project was conceptualized.

A copy of the drainage easement from Freedom Blvd to Conalitos Creek is attached

Parking

The proposed 9 new houses are a combination of 3 & 4 bedroom homes. The parking requirement for this size house is 3 parking spaces. The Accessory Dwelling Units require 1 additional parking space for each unit. The total required parking for the 9 new homes and ADUs is 36 onsite parking spaces. There are 44 parking spaces provided on the 9 rear lots that meet the parking standards and do not result in more than one tandem space.

Each of the ADUs will have an attached carport. The provision of carports instead of garages will ensure that this space will be available for parking rather than storage.

Additional tandem spaces exist on the lots and will be available to meet additional parking needs generated by gatherings and parties. Lots 4,5,7 & 9 are uniquely configured lots which will provide 3-4 additional parking spaces each (12-16 total) for gatherings. These are multiple tandem spaces that are not available for day to day use but are suitable for gatherings.

The houses on Lots 1 & 11 have two bedrooms. Three parking spaces are provided with **an** extra tandem space for gatherings. The remainder parcel will contain a three bedroom house that has a two car garage, two tandem spaces with additional capacity to park up to four additional cars for gatherings.

In addition there are 16 parking spaces on Carmela Court.

The existing trees on the property are intended to be preserved and are considered an attractive amenity to the residential environment. **An** Arborist's report is attached. The report addresses the health of the trees on site and the viability of the trees after the development has been completed. The report specifically addresses the unique configuration of the sidewalk in relation to the significant trees on Lots 10 and 11.

Development Review Group(DRG)

A DRG was conducted for the subject property in September of 1998. The proposed project is consistent with the comments of the DRG which are attached.

The following materials are enclosed as part of this application:

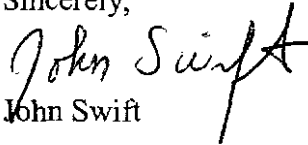
- o Preliminary Tentative Map (24 copies)
- o Architectural Plans (24 copies)
- o Landscape Plans
- o Colorboard
- o Owner Authorization
- o Water Will Serve letter (City of Watsonville Water District)
- o Sewer Availability letter (Santa Cruz County Sanitation District)
- o Geotechnical Report; Addenda; Plan Review letter
- o Retaining wall easement agreement
- o Drainage Calculations; Drainage Easement
- o Arborist Report
- o DRG report

In conclusion, we believe this proposal represents an appropriate level of development for this property. Urban services are available to the property. The project will be consistent with the density of the surrounding development. The project is consistent with the principals of "smart growth" by retaining the existing more affordable housing units and providing small accessory dwelling units that will allow extended family members or low income individuals to live in this new subdivision.

This infill development represents **an** efficient use of this property located within the Urban Services Line. Existing mature trees will be preserved. The project will far exceed the minimum **15%** required affordable housing by providing 9 Accessory Dwelling units in addition to one single family residence that will be restricted for sale to an affordable family. Adequate parking has been provided to accommodate the increased demand of the ADUs.

Please call if there are questions or you need additional information. We look forward to working with the County staff and Board of Supervisors on this innovative project.

Sincerely,


John Swift

C O U N T Y O F S A N T A C R U Z
D I S C R E T I O N A R Y A P P L I C A T I O N C O M M E N T S

Project Planner: Joan Van Der Hoeven
Application No. : 04-0598
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Environmental Planning Completeness Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON DECEMBER 14, 2004 BY KENT M EDLER ===== No comment. Grading plans are complete.

Soils report has been accepted

===== UPDATED ON DECEMBER 17, 2004 BY ROBERT S LOVELAND =====

1. This parcel is located within potential habitat for Santa Cruz tarplant (State listed endangered species). Please have the project site surveyed by a qualified plant professional and submit a survey report. I have enclosed a list of consultants capable of completing such a survey.

===== UPDATED ON JULY 11, 2005 BY ROBERT S LOVELAND =====

An evaluation of the site for presense of Santa Cruz Tarplant has been completed by Central Coast Wilds (report dated 6/16/05). Results: Viable seed bank of Santa Cruz Tarplant is highly unlikely. Report has been accepted.

Environmental Planning Miscellaneous Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON DECEMBER 14, 2004 BY KENT M EDLER ===== 1. The grading plans show drainage draining over a fill slope on the north eastern portion of the property. The plans must be revised to show how drainage is handled in this area and how this situation will be rectified.

2. An erosion control plan must be submitted that shows specific locations and details of erosion control practices to be implemented during construction.

3. A plan review letter will be required from the soils engineer.

4. Mass grading on site must commence prior to August 15. If mass grading has not started by August 15, the start of grading must wait until April 16.

===== UPDATED ON JUNE 23, 2005 BY KEVIN D CRAWFORD =====

06/23/05 - Review of resubmitted plans dated 6/8/05 by Jeff Roper, Shts T1 thru T6: Comment 1 above has been addressed. Comment 2 - E.C. notes have been added, but an E.C. plan will still be required showing location and type of all E.C. measures, and covering all disturbed areas, including off-site improvements. Comment 3 - Soils Engr's plan review letter still required. Comment 4 - All grading must be completed and E.C. measures installed and maintained by Oct. 15th. If mass grading has not been started by Sept. 15, it may be delayed until spring, depending on weather forecast. Comments this date by Kevin Crawford

Housing Completeness Comments

===== UPDATED ON JULY 8, 2005 BY JULIE M CONWAY =====

Discretionary Comments - Continued

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===== UPDATED ON JULY 8, 2005 BY JULIE M CONWAY =====

This project proposes an 11 lot subdivision with a remainder lot, preserving 3 existing homes and constructing 8 new homes. 9 of the homes would also have an attached ADU. While the developer is proposing to designate 1 unit on site as affordable, this reviewer could not find evidence on the submitted plans of which unit is proposed to be designated affordable. Designated units must be consistent with the requirements of County Code 17.10 with respect to square footabe. exterior design and other criteria.

Based on the 8 new homes only, and excluding the ADU's from the calculationthe project would have an Affordable Housing Obligation (AHO) of 1.2 units. To meet the AHO. the developer proposes to designate 1 affordable home by recording Measure J restrictions against it. and also proposes to meet the remaining .2 fractional AHO by constructing the 9 ADU's.

While a developer may propose dedicating a whole unit on site for the fractional portion of the Affordable Housing Obligation, (for example .2 of a unit). the proposed unit must also meet all the size, design and othercriteria for affordable units as specified in County Code 17.10.

Unrestricted ADU's do not meet the criteria for Measure J. and cannot be used to satisfy the remaining .2 fractional AHO. ===== UPDATED ON JULY 8, 2005 BY JULIE M CONWAY =====

Housing Miscellaneous Comments

===== REVIEW ON DECEMBER 16, 2004 BY TOM POHLE =====
NO COMMENT

Staff recommends that, in addition to building 1 affordable unit on site, that the developer pay a fractional fee of .2 of a unit, or alternatively, dedicate 1 of the accessory units as affordable instead of paying the .2 fractional fee. ===== UP-
DATED ON DECEMBER 16, 2004 BY TOM POHLE =====

===== UPDATED ON DECEMBER 23, 2004 BY TOM POHLE =====

===== UPDATED ON JULY 7, 2005 BY TOM POHLE =====

NO COMMENT

===== UPDATED ON JULY 7, 2005 BY TOM POHLE =====

===== UPDATED ON JULY 7, 2005 BY TOM POHLE =====

===== UPDATED ON JULY 8, 2005 BY JULIE M CONWAY =====

Long Range Planning Completeness Comments

===== REVIEW ON JULY 5, 2005 BY GLENDA L HILL =====
NO COMMENT

Long Range Planning Miscellaneous Comments

===== REVIEW ON JULY 5, 2005 BY GLENDA L HILL =====

Project Planner: Joan Van Der Hoeven
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This property is at the southern edge of the land currently zoned R-1-8. The land to the south and west of this property is zoned R-1-6 and is composed of predominantly smaller parcels. Since there is a natural break in slope to the north of this property, it seems appropriate for this property to have the density of the other properties on the upper bluff lands. ===== UPOATED ON JULY 5, 2005 BY GLENDA L HILL =====

Project Review Completeness Comments

LATEST COMMENTS HAVE NOT YET BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON DECEMBER 22, 2004 BY JOAN VAN DER HOEVEN =====

Please clarify reasoning for useage of a "remainder" lot. Provide details on project consistency with County Code Section 13.10.681, with emphasis on owner residency requirements, occupancy restrictions as per the State Uniform Housing Code, and City of Watsonville affordability specifications required to meet water hook-up specifications. Provide details on guarantees of annexation to the Sanitation District as per memo of 12/08/04 from Santa Cruz County Sanitation Engineering. Department of Public Works Drainage comments shall be forwarded under separate cover. Proposed off-site and on-site improvements shall comply with all Public Works requirements.

===== UPDATED ON DECEMBER 27, 2004 BY JOAN VAN DER HOEVEN =====

Santa Cruz County Affordable Housing guidelines indicate a minimum 400 square feet area for any studio unit (Section 7. unit standards).

Project Review Miscellaneous Comments

LATEST COMMENTS HAVE NOT YET BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON DECEMBER 22, 2004 BY JOAN VAN DER HOEVEN =====

Provide details of all site fencing. Perimeter fencing adjacent to existing residential development shall be a minimum six-foot high, solid fencing. Driveway concrete surfaces shall provide visual relief in the form of usage of colored, stamped, exposed aggregates. Roof tops shall provide sufficient surface to support solar panels on south facing roof tops. P.G & E. vaults shall be placed underground. Location of post office mail boxes shall be indicated if individual boxes are not available for each dwelling unit. Street trees shall be drought tolerant natives such as coast live oaks or California Pepper Tree (*Schinus molle*) rather than ornamental plums or pears. Common walls between the attached accessory units and single-family dwellings (Unit 2 on Lots 2,3,6 & 8) shall provide sound transmission control consistent with UBC Section 1208. STC Class of 50 with an approved, listed assembly. These units shall further comply with minimum egress requirements of Table 10A and maintain a minimum 1 hour fire rated separation. Provide detail of retaining wall surface.

===== UPDATED ON DECEMBER 22, 2004 BY JOAN VAN DER HOEVEN =====

DRiveways and paving may not exceed 50 percent of the front yards.

Code Compliance Completeness Comments

LATEST COMMENTS HAVE NOT YET BEEN SENT TO PLANNER FOR THIS AGENCY

Records show a code compliance case exists for an unpermitted second unit on APN

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049-201-15. Currently, the case status shows "Closed. No Further Action." <GAG>
Today, 7/14/05. I reviewed a reroute of DP Application 04-0598, a subdivision
project involving APNs 049-201-15, 16 & 17. Records show an unresolved code compliance case on APN 049-201-15 with a status of Closed, No Further Action. <GAG>
----- REVIEW ON DECEMBER 16, 2004 BY GUSTAVO A GONZALEZ ----- UP-
DATED ON JULY 14, 2005 BY GUSTAVO A GONZALEZ -----
----- UPDATED ON JULY 14, 2005 BY GUSTAVO A GONZALEZ -----

Code Compliance Miscellaneous Comments

LATEST COMMENTS HAVE NOT YET BEEN SENT TO PLANNER FOR THIS AGENCY

----- REVIEW ON DECEMBER 16, 2004 BY GUSTAVO A GONZALEZ -----
NO COMMENT
----- UPDATED ON DECEMBER 16, 2004 BY GUSTAVO A GONZALEZ -----
NO COMMENT
----- UPDATED ON JULY 14, 2005 BY GUSTAVO A GONZALEZ -----
----- UPDATED ON JULY 14, 2005 BY GUSTAVO A GONZALEZ -----
NO COMMENT

Dpw Drainage Completeness Comments

LATEST COMMENTS HAVE NOT YET BEEN SENT TO PLANNER FOR THIS AGENCY

----- UPDATED ON DECEMBER 23, 2004 BY CARISA REGALADO -----
An engineered drainage plan and calculations for runoff from the site and watershed were received and reviewed for completeness of the discretionary development application and compliance with County General Plan policies (g.p.p.). The submittal needs to address the following items prior to being approved for the discretionary stage.

- 1) (g.p.p. #7.23.1 - New Development) Projects are required to maintain predevelopment rates where feasible. Please show what mitigating measures will be used on-site to limit increases in post-development runoff leaving the site. Best Management Practices should be employed within the development to meet this goal as much as possible. Such measures include pervious or semi-pervious pavements, runoff surface spreading, discharging roof and driveway runoff into landscaping, etc.
- 2) (g.p.p. #7.23.2 - Minimizing Impervious Surfaces) Extensive impervious surfaces are proposed with most of runoff being directed to Carmela Court. New development is required to limit such coverage to minimize post-development runoff. Consider pervious or semi-pervious type surfaces for driveways and patios.
- 3) How will roof runoff be dealt with? If proposing downspouts that will discharge directly into Carmela Court, this will be considered as contributing to an increase in post-development runoff and therefore not complying with g.p.p. #7.23.1.
- 4) Per the Geotechnical engineer, surface runoff should not flow over the top of the sloped area along the northeast property line. Please show on the plans how runoff will be controlled in this area.

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- 5) From the submitted drainage calculations, the Antecedent Moisture Factor for the 100-year storm runoff calculation on sheet 1 of 2 should be 1.25, not 1.5. Please revise.
 - 6) From the submitted drainage calculations, the P60 Isopleth value for the 100-yr storm runoff calculation for both the subdivision and the watershed, page 1 and 2, should be 1.4 as was used for a 10-year storm. Please revise.
 - 7) For watershed runoff calculations, a composite Runoff Coefficient should be used accounting for rural agricultural, low residential and impervious pavement conditions. Please revise.
 - 8) Pipe diameters within the County Right-of-way are required to be a minimum of 18-inch diameter. Please revise the currently proposed 12-inch lengths to County standards
 - 9) Pipe analysis calculations were not included with the submittal for the proposed off-site system. Please submit this analysis demonstrating that the proposed system is appropriately sized for the watershed to be captured.
 - 10) In designing the proposed off-site system, account for a connection of a future drainage system from La Casa Court into Bowker Road. This includes adequate fall from the cul-de-sac area to the proposed storm drain line along Bowker Road.
 - 11) For the above mentioned future La Casa Court drainage system, install an appropriately sized stub-out
 - 12) Also for a future drainage system connection from the La Casa Court area, install an appropriately sized stub-out in the vicinity of the proposed storm drain line where Freedom Blvd is crossed (around station 11+52)
 - 13) It is recommended this development work with La Casa Court residents to devise a solution to the drainage problem on La Casa Court and make connections into the proposed off-site drainage system within Bowker Road and Freedom Blvd. as needed.

For your information:

- 14) Construction activity resulting in a land disturbance of one acre or more, or less than one acre but part of a larger common plan of development or sale must obtain the Construction Activities Storm Water General NPDES Permit from the State Water Resources Control Board. Construction activity includes clearing, grading, excavation, stockpiling, and reconstruction of existing facilities involving removal and replacement. For more information see:
<http://www.swrcb.ca.gov/stormwater/constfaq.html>
 - 15) A source for BMP style mitigation methods can be found in the following publication: START AT THE SOURCE, Design Guidance Manual for Stormwater Quality Protection, 1999 Edition, Bay Area Stormwater Management Agencies Association, Forbes Custom Publishing.
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A free copy may be obtained:
<http://www.mcstoppp.org/acrobat/StartattheSourceManual.pdf>

A bound version may be ordered: <http://www.basmaa.org/>

Please see Miscellaneous Comments for additional notes

All subsequent submittals for this application must be done through the Planning Department. Submittals made directly to Public Works will result in delays.

Please call or visit the Dept. of Public Works, Stormwater Management Division, from 8:00 am to 12:00 pm if you have any questions. ===== UPDATED ON JULY 20, 2005 BY CARISA REGALADO =====

Revised plans dated June 8, 2005 and drainage calculations dated June 9, 2005 were received.

Items have been accepted as submitted. Discretionary stage application review is complete for this division. (Additional notes in Miscellaneous Comments.)

----- MISCELLANEOUS COMMENTS----- The following items are required prior to recording the final map:

- 1) The nearest County benchmark is needed on the civil drawings as specified by the updated County Design Criteria (soon to be issued).
- 2) For the 18 and 30-inch pipes, a Worksheet for Circular Channel was submitted addressing the 12/23/04 review comment #9. The worksheet has been accepted for the Discretionary application phase; however, pipe analysis calculations are still required demonstrating that the proposed system is appropriately sized for the watershed to be captured. Refer to County Design Criteria figure SD-2.
- 3) Pipe analysis calculations are needed for 10 and 25-year storms
- 4) Per John Swift's letter dated June 16, 2005. "Drainage swales have been added throughout the project..." and "...are shown on Sheets L1, T2, T3, and T6." Drainage swales on the civil drawings except the swale at the top of the slope within the proposed 8-foot easement are not shown. However, these swales carrying runoff from downspouts were shown on Sheet L1. It is assumed these swales were considered in the civil design. Overflow runoff from these swales should not be allowed to flow across the sidewalk. Swales should be taken all the way to proposed catch basins when not ending at landscaped areas.
- 5) As much as possible, swales should end at beginning of landscaped areas for spreading of runoff with proposed catch basins at the low spot to capture overflow. This will facilitate meeting the requirement to limit post-development runoff.
- 6) For proposed drainage swales, it must be noted in the plans that each property owner is required to maintain vegetated swales as installed.

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7) Also per John Swift's letter dated June 16, 2005. "The engineer has recommended against the use of pervious pavements in the road and driveways for longevity, maintenance and cost issues. Although it is possible to use pervious or semi-pervious surfaces such as porous concrete that can satisfactorily meet the above mentioned constraints, the development is still required to minimize impervious surfaces and maintain pre-development rates. When not feasible, steps must be taken to mitigate for these impacts as much as possible. Collecting all driveway runoff into catch basins that outlet into Carmela Court does not meet this requirement and no mitigating measures have been proposed for this runoff. Show what measures will be employed to meet this requirement which could include sloping driveways towards landscaped areas for spreading, etc. ===== UPDATED ON APRIL 12, 2006 BY CARISA R DURAN =====

Sheet T8. Storm Drain Outlet, dated March 13, 2006 was received. Please address the following items:

- 1) Submit factors considered and method used for sizing the gabion baskets to be placed in the swale flowline.
- 2) Please clarify if impacts such as erosion to the opposite bank in this narrow channel from the flow energy exiting the 30-inch pipe has been taken into account for the design of the outlet.
- 3) Please clarify if the outlet design considers Geotechnical Engineer recommendations.

Dpw Drainage Miscellaneous Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON DECEMBER 23, 2004 BY CARISA REGALADO =====

Drainage systems outside the County Right-of-way must be maintained privately. Easements and maintenance agreements for these systems must be submitted prior to recording the final map and improvement plans. ===== UPDATED ON JULY 20, 2005 BY CARISA REGALADO =====

See Miscellaneous Comments entered into Completeness Comment screen. ===== UPDATED ON APRIL 12, 2006 BY CARISA R DURAN =====
No comment.

Dpw Driveway/Encroachment Completeness Comments

===== REVIEW ON DECEMBER 7, 2004 BY RUTH L ZADESKY =====

No comment, project involves a subdivision or MLD.

===== UPDATED ON JUNE 21, 2005 BY RUTH L ZADESKY =====

No comment, project involves a subdivision or MLD.

Dpw Driveway/Encroachment Miscellaneous Comments

===== REVIEW ON DECEMBER 7, 2004 BY RUTH L ZADESKY =====

Encroachment permit required for all off-site work in the County road right-of-way.

===== UPDATED ON JUNE 21, 2005 BY RUTH L ZADESKY =====

===== UPDATED ON JUNE 21, 2005 BY RUTH L ZADESKY =====

Discretionary Comments - Continued

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Encroachment permit required for all off-site work in the County road right-of-way.

Dpw Road Engineering Completeness Comments

===== REVIEW ON DECEMBER 15, 2004 BY GREG J MARTIN =====

1. Stationing should be provided for new roads or roads with improvements. Profiles for the centerline and flowline for new curb and gutter improvements should be provided. Cross-sections on Bowker Road and Camelacourt should be provided.
2. The following plans sheets should be provided: 1) Landscape and Irrigation Plan
2) Sign & Striping Plan. All signs and striping should be shown and in conformance with the MUTCD. All pavement markings need to be identified to type.
3. Bowker Road and Carmela Court should meet County Standards for an Urban Local Street with Parking. This requires two 12 foot travel lanes, 6 feet on each side for parking, and separated sidewalks on each side. The right-of-way requirement for this road section is 56 feet. A cul-de-sac designed to County Standards shall be required. The curb returns for the encroachment on Bowker Street shall be 20 feet. The structural section shall be a minimum of 3 inches of asphalt concrete over 9 inches of aggregate base.

Exceptions to the County Standards for streets may be proposed by showing 1) a typical road section of the required standard on the plans crossed out, 2) the reason for the exception below, and 3) the proposed typical road section.
4. Sight distance at the existing driveway for 049-201-15 is inadequate. We recommend the driveway for this lot be from Carmela Court.
5. The sidewalk detail at the curb returns are recommended to meet County standards.
6. The road widens unnecessarily before the cul-de-sac. 7. The curb returns should be for a 20 foot radius on all sheets.
8. The parking layout for each dwelling unit should be clearly shown by identifying each parking spot and numbering it. The orientation of the vehicle should be easily identifiable. We do not recommend backing out and turning simultaneously or vehicle conflicts between dwelling units. The inside turn radius for driveways should conform with the radius requirements within the County Design Criteria.
9. The easement for the retaining wall should be identified on the plan view
10. Sidewalk transitions at the ends of the project should be clearly shown
11. TIA fees The development is subject Pajaro Valley Transportation Improvement (TIA) fees at a rate of \$4000 for each new lot created. The number of new lots is 12 lots minus the existing 3 lots which equals 9 lots. The fee is calculated as 9 lots multiplied by \$4000/lot for a total of \$36,000. The total TIA fee of \$36,000 is to be split between \$27,000 of transportation improvement fees and \$9,000 of roadside improvement fees. If you have any questions please contact Greg Martin at 831-454-2811. ===== UPDATE ON JANUARY 19, 2005 BY GREG J MARTIN =====
===== UPDATE ON JULY 12, 2005 BY GREG J MARTIN =====

Project Planner: Joan Van Der Hoeven
Application No. : 04-0598
APN: 049-201-15

Date: July 10, 2006
Time: 16:16:00
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1. Incomplete typical cross sections were provided. The typical cross section should encompass the entire cross section. Actual cross sections are also required. 2. The proposed project includes an contiguous sidewalk along Bowker Road. Exceptions to the County Standards for streets may be proposed by showing 1) a typical road section of the required standard on the plans crossed out, 2) the reason for the exception below, and 3) the proposed typical road section.

3. The driveway for lot 12 is recommended to be located on Carmela Court. Where possible Public Works recommends driveways be located to the minor street. Additionally, in this case, sight distance at the driveway appears to be impeded by the topography. The sight distance is shown as 165 feet which is less than the 250 feet minimum required. The 165 feet shown for driveway for Lot 12 does not appear correct. The eye height appears approximately one foot too high and the wall appears to interfere with sight distance. We recommend a traffic study be provided that is stamped by a qualified civil engineer or traffic engineer. Please provide calculations and include a driveway profile. The driveway shall need to be constructed to county standards including an accessible sidewalk around the back of the driveway ramp. Please refer to the Design Criteria for details and reference the correct figure on the plans. 4. The outside turning radius for vehicles in parking spaces 15, 26, and 41 should be improved. The 15 foot inside turning radius results in the outside turning radius being a minimum of 23.5 feet for a parking space 8.5 feet wide. The driveway for Lot 9 should be centered within the property line to provide uniform landscaping on either side. 5. Irrigation plans for the street trees and landscaping should be provided as a condition of approval. 6. The sidewalk transition at the southwest end of the project should be clearly shown.

7. The development is subject Pajaro Valley Transportation Improvement (TIA) fees at a rate of \$4000 for each new dwelling unit created. The fee is calculated as 18 new dwelling units multiplied by \$4000/lot for a total of \$72,000. The total TIA fee of \$72,000 is to be split between \$54,000 of transportation improvement fees and \$18,000 of roadside improvement fees.

If you have any questions please contact Greg Martin at 831-454-2811. ===== UP-
DATED ON SEPTEMBER 14, 2005 BY GREG J MARTIN =====
The plans are complete. TIA fees and irrigation and landscape plans are required as a condition of approval

Dpw Road Engineering Miscellaneous Comments

===== REVIEW ON DECEMBER 15, 2004 BY GREG J MARTIN =====
===== UPDATED ON JULY 12, 2005 BY GREG J MARTIN =====
===== UPDATED ON SEPTEMBER 14, 2005 BY GREG J MARTIN =====

Environmental Health Completeness Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO **PLANNER** FOR THIS AGENCY

===== REVIEW ON DECEMBER 14, 2004 BY JIM G SAFRANEK =====
NO COMMENT
===== UPDATED ON JULY 7, 2005 BY JIM G SAFRANEK ===== NO COMMENT

Discretionary Comments - Continued

Project Planner: Joan Van Der Hoeven
Application No.: 04-0598
APN: 049-201-15

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Environmental Health Miscellaneous Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON DECEMBER 14, 2004 BY JIM G SAFRANEK ===== EHS review fee is \$231 (Major Subd. w/ Publ. Services), not \$462.

===== UPDATED ON JULY 7, 2005 BY JIM G SAFRANEK ===== See 12-04 comment above

Pajaro Valley Fire District Completeness Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON DECEMBER 6, 2004 BY COLLEEN L BAXTER ===== DEPARTMENT NAME: CDF/PAJARO VALLEY FIRE Add the appropriate NOTES and DETAILS showing this information on your plans and RESUBMIT, with an annotated copy of this letter: Note on the plans that these plans are in compliance with California Building and Fire Codes (2001) as amended by the authority having jurisdiction. Each APN (lot) shall have separate submittals for building and sprinkler system plans. The job copies of the building and fire systems plans and permits must be onsite during inspections. SHOW on the plans a public fire hydrant within 250 feet of any portion of the property, along the fire department access route, meeting the minimum required fire flow for the building. This information can be obtained from the water company. Fire hydrant shall be painted in accordance with the state of California Health and Safety Code. See authority having jurisdiction. NOTE on the plans that the building shall be protected by an approved automatic fire sprinkler system complying with the currently adopted edition of NFPA 130 and Chapter 35 of California Building Code and adopted standards of the authority having jurisdiction. NOTE that the designer/installer shall submit three (3) sets of plans and calculations for the underground and overhead Residential Automatic Fire Sprinkler System to this agency for approval. Installation shall follow our guide sheet. NOTE on the plans that an UNDERGROUND FIRE PROTECTION SYSTEM WORKING DRAWING must be prepared by the designer/installer. The plans shall comply with the UNDERGROUND FIRE PROTECTION SYSTEM INSTALLATION POLICY HANDOUT. Building numbers shall be provided. Numbers shall be a minimum of 4 inches in height on a contrasting background and visible from the street. additional numbers shall be installed on a directional sign at the property driveway and street.

NOTE on the plans the installation of an approved spark arrester on the top of the chimney. The wire mesh shall be 1/2 inch. NOTE on the plans that the roof covering shall be no less than Class "B" rated roof. NOTE on the plans that a 30 foot clearance will be maintained with non-combustible vegetation around all structures or to the property line (whichever is a shorter distance). Single specimens of trees, ornamental shrubbery or similar plants used as ground covers, provided they do not form a means of rapidly transmitting fire from native growth to any structure are exempt.

The access road shall be 20 feet minimum width and maximum twenty percent slope. All bridges, culverts and crossings shall be certified by a registered engineer. Minimum capacity of 25 tons. Cal-Trans H-20 loading standard. The access road shall be in place to the following standards prior to any framing construction, or construction will be stopped: - The access road surface shall be "all weather". a minimum 6" of compacted aggregate base rock, Class 2 or equivalent, certified by a licensed en-

Discretionary Comments - Continued

Project Planner: Joan Van Der Hoeven
Application No.: 04-0598
APN: 049-201-15

Date: July 10, 2006
Time: 16:16:00
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gineer to 95% compaction and shall be maintained. - ALL WEATHER SURFACE: shall be minimum of 6" of compacted Class II base rock for grades up to and including 5%. oil and screened for grades up to and including 15% and asphaltic concrete for grades exceeding 15%, but in no case exceeding 20%. The maximum grade of the access road shall not exceed 20%. with grades greater than 15% not permitted for distances of more than 200 feet at a time. The access road shall have a vertical clearance of 14 feet for its entire width and length. including turnouts. A turn-around area which meets the requirements of the fire department shall be provided for access roads and driveways in excess of 150 feet in length. Drainage details for the road or driveway shall conform to current engineering practices, including erosion control measures. All private access roads, driveways, turn-around and bridges are the responsibility of the owner(s) of record and shall be maintained to ensure the fire department safe and expedient passage at all times. SHOW on the plans, DETAILS of compliance with the driveway requirements. The driveway shall be 12 feet minimum width and maximum twenty percent slope.

The driveway shall be in place to the following standards prior to any framing construction, or construction will be stopped: - The driveway surface shall be "all weather". a minimum 6" of compacted aggregate base rock, Class 2 or equivalent certified by a licensed engineer to 95% compaction and shall be maintained. - ALL WEATHER SURFACE: shall be a minimum of 6" of compacted Class II base rock for grades up to and including 5%. oil and screened for grades up to and including 15% and asphaltic concrete for grades exceeding 15%, but in no case exceeding 20%. - The maximum grade of the driveway shall not exceed 20%. with grades of 15% not permitted for distances of more than 200 feet at a time. - The driveway shall have an overhead clearance of 14 feet vertical distance for its entire width. - A turn-around area which meets the requirements of the fire department shall be provided for access roads and driveways in excess of 150 feet in length. - Drainage details for the road or driveway shall conform to current engineering practices, including erosion control measures. - All private access roads, driveways, turn-arounds and bridges are the responsibility of the owner(s) of record and shall be maintained to ensure the fire department safe and expedient passage at all times. - The driveway shall be thereafter maintained to these standards at all times. The street/access road shall be named and addressed by the County Office of Emergency Services. Street signs shall be posted, and maintained. to County Public Works. Green and white County style signs shall be used. All Fire Department building requirements and fees will be addressed in the Building Permit phase. Plan check is based upon plans submitted to this office. Any changes or alterations shall be re-submitted for review prior to construction. 72 hour minimum notice is required prior to any inspection and/or test. Note: As a condition of submittal of these plans, the submitter, designer and installer certify that these plans and details comply with the applicable Specifications, Standards, Codes and Ordinances, agree that they are solely responsible for compliance with applicable Specifications, Standards. Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent review, inspection or other source, and, to hold harmless and without prejudice, the reviewing agency. SPC 0 TITLE 19 OF THE CALIFORNIA ADMINISTRATIVE CODE. REQUIRES THAT ACCESS ROADS FROM EVERY STATE GOVERNED BUILDING TO A PUBLIC STREET SHALL BE ALL WEATHER HARD-SURFACE (SUITABLE FOR USE BY FIRE APPARATUS) ROADWAY NOT LESS THAN TWENTY FEET IN WIDTH. SUCH ROADWAY SHALL BE UNOBSTRUCTED AND MAINTAINED ONLY AS ACCESS TO THE PUBLIC STREET. OBSTRUCTION OF THE ROAD WIDTH, AS REQUIRED ABOVE, INCLUDING THE PARKING OF VEHICLES. SHALL BE PROHIBITED, AS REQUIRED BY THE UNIFORM FIRE CODE. NO ROADWAY SHALL HAVE AN INSIDE TURNING RADIUS OF LESS THAN FIFTY FEET. ROADWAYS WITH A

Discretionary Comments - Continued

Project Planner: Joan Van Der Hoeven
Application No. : 04-0598
APN: 049-201-15

Date: July 10, 2006
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RADIUS CURVITURE OF 50 TO 100 FEET SHALL REQUIRE AN ADDITIONAL 4 FEET OF ROAD WIDTH
ROADWAYS WITH RADIUS CURVITURES OF 100 TO 200 FEET SHALL REQUIRE AN ADDITIONAL 2
FEET OF ROAD WIDTH. ===== UPDATED ON DECEMBER 9, 2004 BY COLLEEN L BAXTER
=====

===== UPDATED ON JULY 6, 2005 BY COLLEEN L BAXTER =====
NO NEW FIRE NOTES AT THIS TIME.

Pajaro Valley Fire District Miscellaneous Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON DECEMBER 9, 2004 BY COLLEEN L BAXTER =====
===== UPDATED ON JULY 6, 2005 BY COLLEEN L BAXTER =====

DEPARTMENT OF TRANSPORTATION

DIVISION OF AERONAUTICS – M.S.#40

1120N STREET

P. O. BOX 942873

SACRAMENTO, CA 94273-0001

PHONE (916) 654-4959

FAX (916) 653-9531

TTY (916) 651-6827



*Flex your power!
Be energy efficient!*

May 22, 2006

Ms. Paja Levine
County of Santa Cruz
701 Ocean Street
Santa Cruz, CA 95060

Dear Ms. Levine:

Re: Santa Cruz County's Negative Declaration for Carmela Court Subdivision; SCH# 2006042129

The California Department of Transportation (Caltrans), Division of Aeronautics (Division), reviewed the above-referenced document with respect to airport-related noise and safety impacts and regional aviation land use planning issues pursuant to the California Environmental Quality Act (CEQA). The Division has technical expertise in the areas of airport operations safety, noise and airport land use compatibility. We are a funding agency for airport projects and we have permit authority for public and special use airports and heliports. The following comments are offered for your consideration.

The proposal is a residential subdivision consisting of three existing single-family homes and 18 new half-plexes on 2.5 acres. The project site is surrounded by existing residential development.

The project site is located approximately 1,200 feet northeast of the Watsonville Municipal Airport. Watsonville Municipal Airport is an active airport with 330 based-aircraft and 125,000 annual operations. Due to its proximity to the airport, the project site may be subject to aircraft overflights and subsequent aircraft-related noise and safety impacts.

Protecting people and property on the ground from the potential consequences of near-airport aircraft accidents is a fundamental land use compatibility-planning objective. While the chance of an aircraft injuring someone on the ground is historically quite low, an aircraft accident is a high consequence event. To protect people and property on the ground from the risks of near-airport aircraft accidents, some form of restrictions on land use are essential. The two principal methods for reducing the risk of injury and property damage on the ground are to limit the number of persons in an area and to limit the area covered by occupied structures.

In accordance with CEQA, Public Resources Code Section 21096, the Caltrans Airport Land Use Planning Handbook (Handbook) must be utilized as a resource in the preparation of environmental documents for projects within airport land use compatibility plan boundaries or if such a plan has not been adopted, within two miles of an airport. The Handbook is published on-line at <http://www.dot.ca.gov/hq/planning/-aeronaut/>. The Handbook identifies six airport safety zones based on risk levels. Half of the project site appears to be within the Inner Turning Zone 3 and half within the Traffic Pattern Zone 6 as designated in the Handbook.

The area within the Inner Turning Zone appears to have the three existing single-family homes and six new half-plexes. The Handbook recommends limiting residential uses to "very low densities (if not deemed unacceptable due to noise)". However, more specifically, Table 9C of the Handbook allows "infill at up to average of surrounding residential area" within the Inner Turning Zone within an urban area.

"Caltrans improves mobility across California"

The project site also appears to be within the 55 decibel (dB) Community Noise Equivalent Level (CNEL) airport noise contour according to the Watsonville Municipal Airport Master Plan 2001-2020. Section 11010 of the Business and Professions Code and Sections 1102.6, 1103.4, and 1353 of the Civil Code (<http://www.leginfo.ca.gov/calaw.html>) address buyer notification requirements for lands around airports. Any person who intends to offer land for sale or lease within an *airport influence area* is required to disclose that fact to the person buying the property.

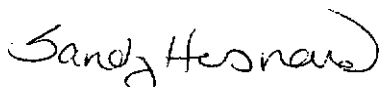
Aviation plays a significant role in California's transportation system. **This** role includes the movement of people and goods within and beyond our state's network of over 250 airports. Aviation contributes nearly 9 percent of both total state employment (1.7 million jobs) and total state output (\$110.7 billion) annually. These benefits were identified in a recent study, "Aviation in California: Benefits to Our Economy and Way of Life," prepared for the Division of Aeronautics which is available at <http://www.dot.ca.gov/hq/planning/aeronaut/>. Aviation improves mobility, generates tax revenue, saves lives through emergency response, medical and fire fighting services, annually transports air cargo valued at over \$170 billion and generates over \$14 billion in tourist dollars, which in turn improves our economy and quality-of-life.

The protection of airports from incompatible land use encroachment is vital to California's economic future. Watsonville Municipal Airport is an economic asset that should be protected through effective airport land use compatibility planning and awareness. Although the need for compatible and safe land uses near airports in California is both a local and a State issue, airport staff, airport land use commissions and airport land use compatibility plans are key to protecting an airport and the people residing and working in the vicinity of an airport. Consideration given to the issue of compatible land uses in the vicinity of an airport should help to relieve future conflicts between airports and their neighbors.

These comments reflect the areas of concern to the Division of Aeronautics with respect to airport-related noise and safety impacts and regional airport land use planning issues. We advise you to contact our District 5 Office in San Luis Obispo at (805) 549-3111 concerning surface transportation issues.

Thank you for the opportunity to review and comment on this proposal. If you have any questions, please call me at (916) 654-5314.

Sincerely,

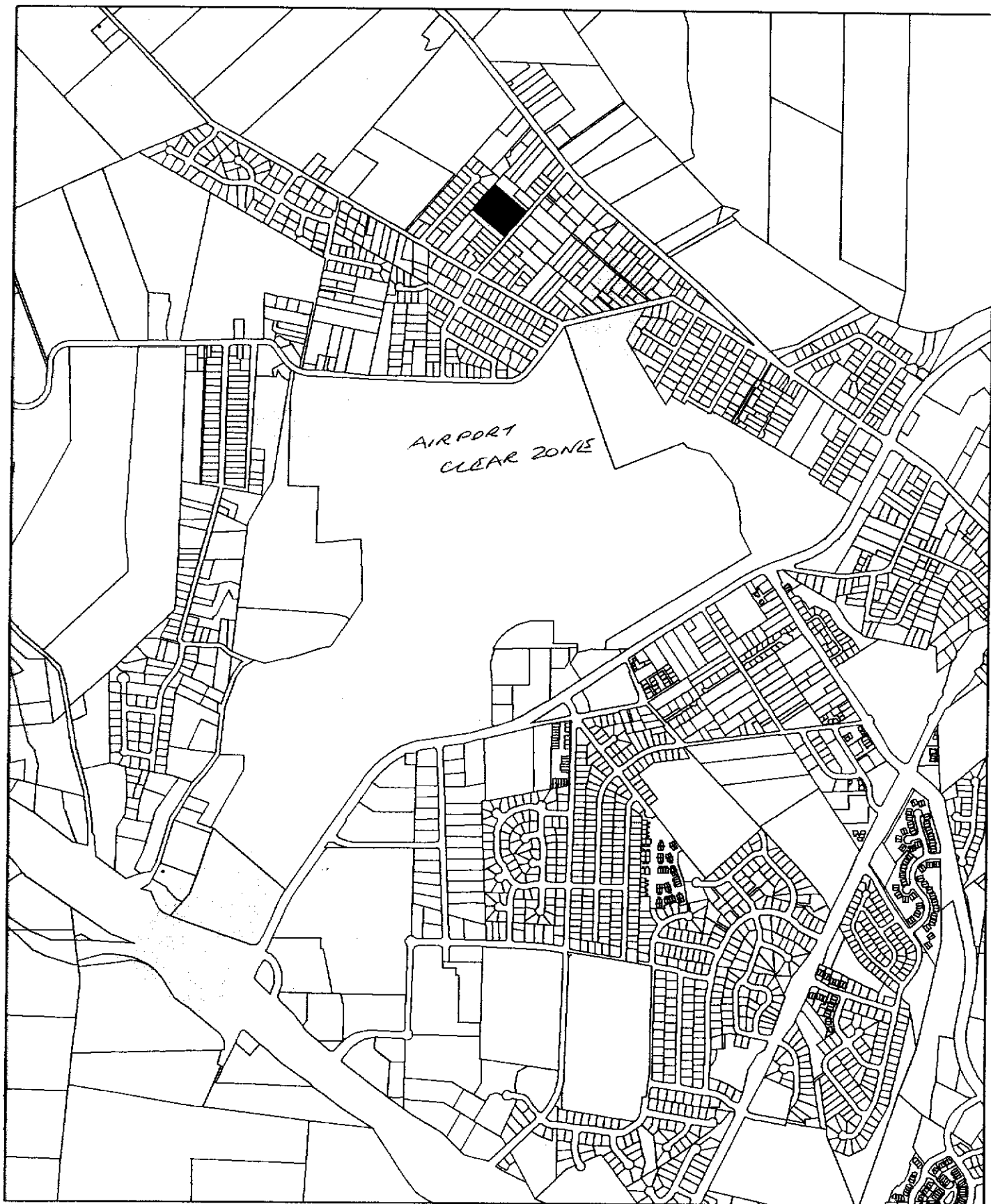


SANDY HESNARD

Aviation Environmental Specialist

c: State Clearinghouse, Watsonville Municipal Airport

"Caltrans improves mobility across California"



TRANSMITTAL

June 2, 2006

To: Joan Van der Hoeven
Santa Cruz County Planning
701 Ocean Street
Santa Cruz, CA 95060

From: John Swift
1509 Seabright Avenue, Suite A-I
Santa Cruz, CA 95062

Subject: Carmela Court
42, 54 & 62 Bowker Rd.
APN# 049-201-15, 16 & 17

Date	Item:
06/02/2006	1 copy of GIP section 3.18
	1 copy of letter from Dep. of Transportation
	1 copy of safety Compatibility Criteria Guidelines

Comments:

Joan.

According to the letter sent by the Department of Transportation on May **22, 2006**, this project site is half within the Inner turning Zone **3** and half within the Traffic Pattern Zone **6** as designated in the Caltrans Airport Land Use Planning Handbook. In section **3.18.2** of the Santa Cruz County General Plan, the creation of any new parcels is only prohibited in the Runway Protection Zone **1**, which is irrelevant to our zone specification.

The General Plan Section **3.18.3** prohibits new ADU's in the zone **1: Runway Protection Zone**; however, does not prohibit ADU's in the zone **3: Traffic Pattern Zone**, which is where our site lies. So, according to the General Plan, there are no prohibitions to new parcels or new ADU units in Airport Safety Area Traffic Pattern Zone.

MAXIMUM RESIDENTIAL DENSITY						
Safety Compatibility Zones ^a						
Current Setting	(1) Runway Protection Zone	(2) Inner Approach/ Departure Zone	(3) Inner Turning Zone	(4) Outer Approach/ Departure Zone	(5) Sideline Zone	(6) Traffic Pattern Zone
Average number of dwelling <i>units</i> per gross acre						
Rural Farmland/ Open Space (Minimal Development)	0	Maintain current zoning if less than density criteria for rural (suburban setting)				No limit
Rural/ Suburban (Mostly to Partially Undeveloped)	0	1 d.u. per 10 – 20 ac.	1 d.u. per 2 – 5 ac.	1 d.u. per 2 – 5 ac.	1 d.u. per 1 – 2 ac.	No limit
Urban (Heavily Developed)	0	0	Allow infill at up to average of surrounding residential area ^b			No limit
^a Clustering to preserve open land encouraged in all zones ^b See Chapter 3 for discussion of infill development criteria; infill is appropriate only if nonresidential uses are not feasible.						
MAXIMUM NONRESIDENTIAL INTENSITY						
Safety Compatibility Zones						
Current Setting	(1) Runway Protection Zone	(2) Inner Approach/ Departure Zone	(3) Inner Turning Zone	(4) Outer Approach/ Departure Zone	(5) Sideline Zone	(6) Traffic Pattern Zone
Average number of people per gross acre ^a						
Rural Farmland/ Open Space (Minimal Development)	0 ^b	10 – 25	60 – 80	60 – 80	80 – 100	150
Rural / Suburban (Mostly to Partially Undeveloped)	0 ^b	25 – 40	60 – 80	60 – 80	80 – 100	150
Urban (Heavily Developed)	0 ^b	40 – 60	80 – 100	80 – 100	100 – 150	No limit ^c
<i>Multipliers</i> for above numbers ^d						
Maximum Number of People per Single Acre	x 1.0	x 2.0	x 2.0	x 3.0	x 2.0	x 3.0
Bonus for Special Risk- Reduction Bldg. Design	x 1.0	x 1.5	x 2.0	x 2.0	x 2.0	x 2.0
^a Also see Table 9B for guidelines regarding uses which should be prohibited regardless of usage intensity ^b Exceptions can be permitted for agricultural activities, mads, and automobile parking provided that FAA criteria are satisfied. ^c Large stadiums and similar uses should be prohibited. ^d Multipliers are cumulative (e.g., maximum intensity per single acre in inner safety zone is 2.0 times the average intensity for the site, but with risk-reduction building design is 2.0 x 1.5 = 3.0 times the average intensity).						

TABLE 9C

Safety Compatibility Criteria Guidelines

Land Use **Densities** and **Intensities**

BEFORE THE PLANNING COMMISSION
OF THE COUNTY OF SANTA CRUZ, STATE OF CALIFORNIA

RESOLUTION NO. _____

On the motion of Commissioner
duly seconded by Commissioner
the following Resolution is adopted:

PLANNING COMMISSION RESOLUTION
SENDING RECOMMENDATION TO THE BOARD OF SUPERVISORS
ON PROPOSED AMENDMENT TO THE ZONING ORDINANCE

WHEREAS, the Planning Commission has held a public hearing on Application No. 04-0598, involving property located on the west side of Bowker Road about 400 feet north from Freedom Boulevard (46 and 54 Bowker Road in Freedom, Assessor's Parcel Numbers 049-201-15 & -16), and **the** Planning Commission has considered the proposed rezoning, all testimony and evidence received at the public hearing, and the attached staff report.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission recommends that the Board of Supervisors adopt the attached ordinance amending the Zoning Ordinance by changing property from the "R-1-8" Single Family Residential – 8,000 square foot minimum zone district to the "R-1-6" Single Family Residential – 6,000 square foot minimum zone district.

BE IT FURTHER RESOLVED, that the Planning Commission makes findings on **the** proposed rezoning as contained in the Report to the Planning Commission.

PASSED AND ADOPTED by **the** Planning Commission of **the** County of Santa Cruz, State of California, this _____ day of _____, 2006, by the following vote:

AYES: COMMISSIONERS

NOES: COMMISSIONERS

ABSENT: COMMISSIONERS

ABSTAIN: COMMISSIONERS

DENISE HOLBERT, Chai

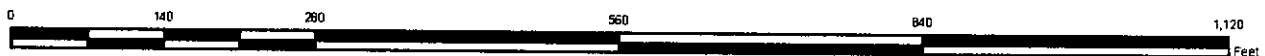
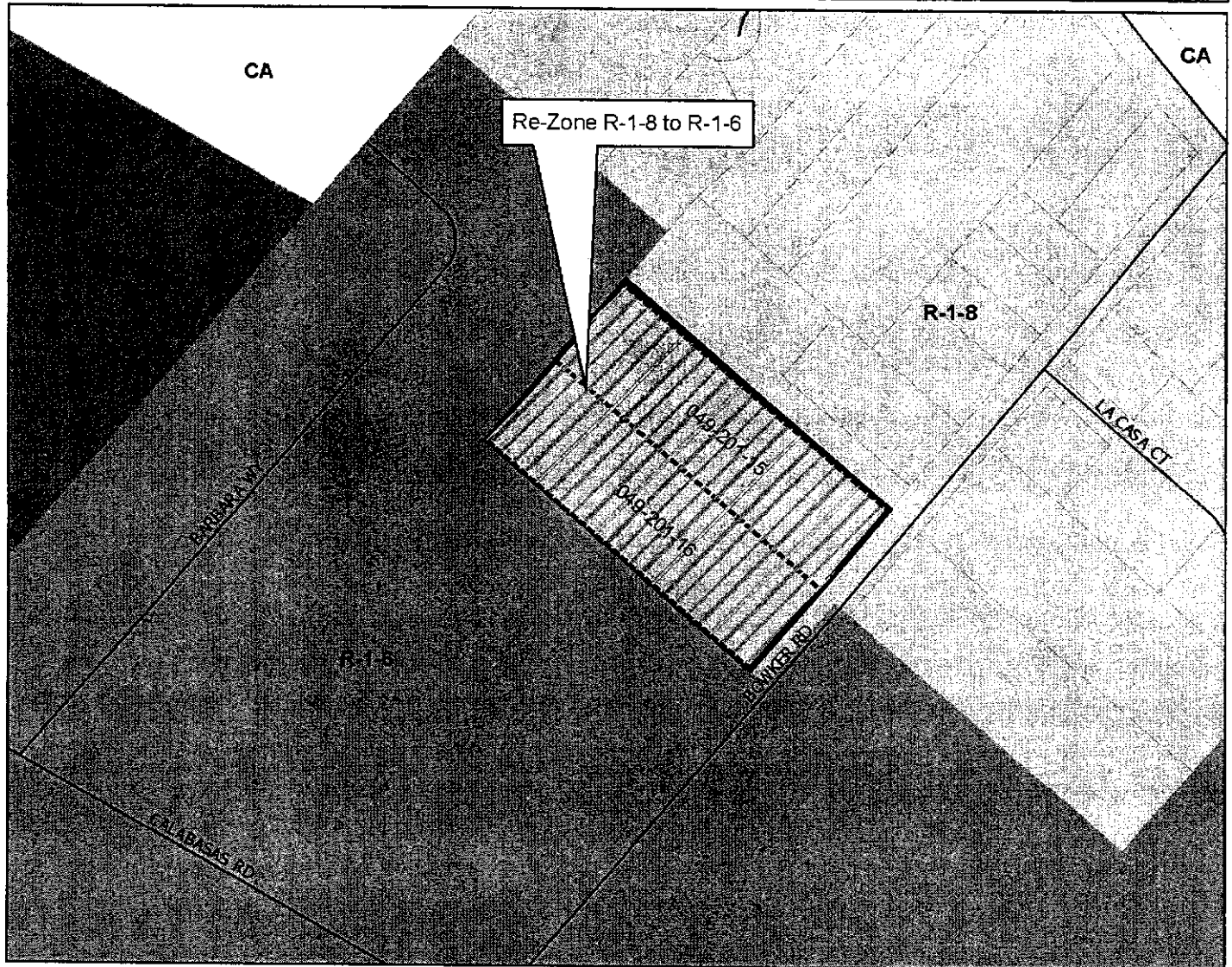
ATTEST: _____
CATHY GRAVES, Secretary

APPROVED AS TO FORM:









COUNTY COUNSEL

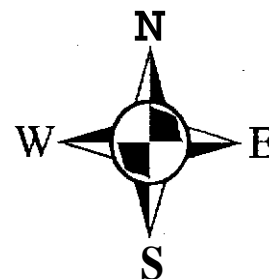


Zoning Map

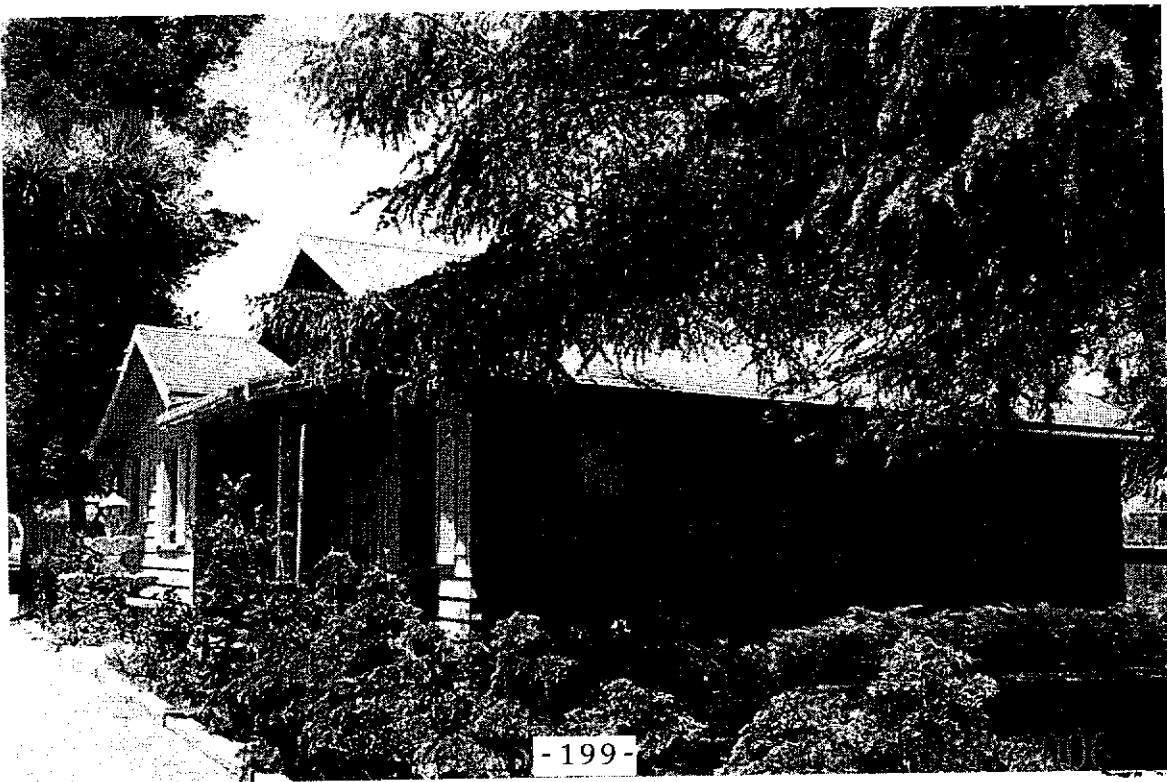
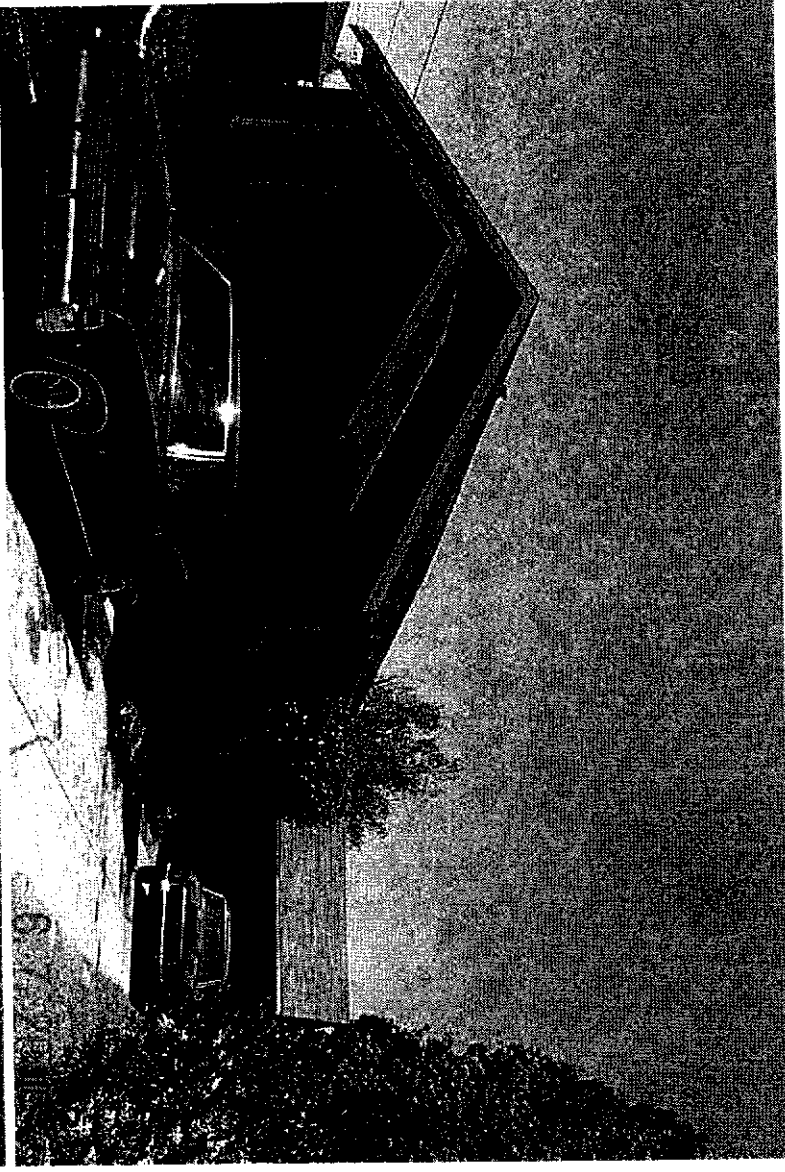
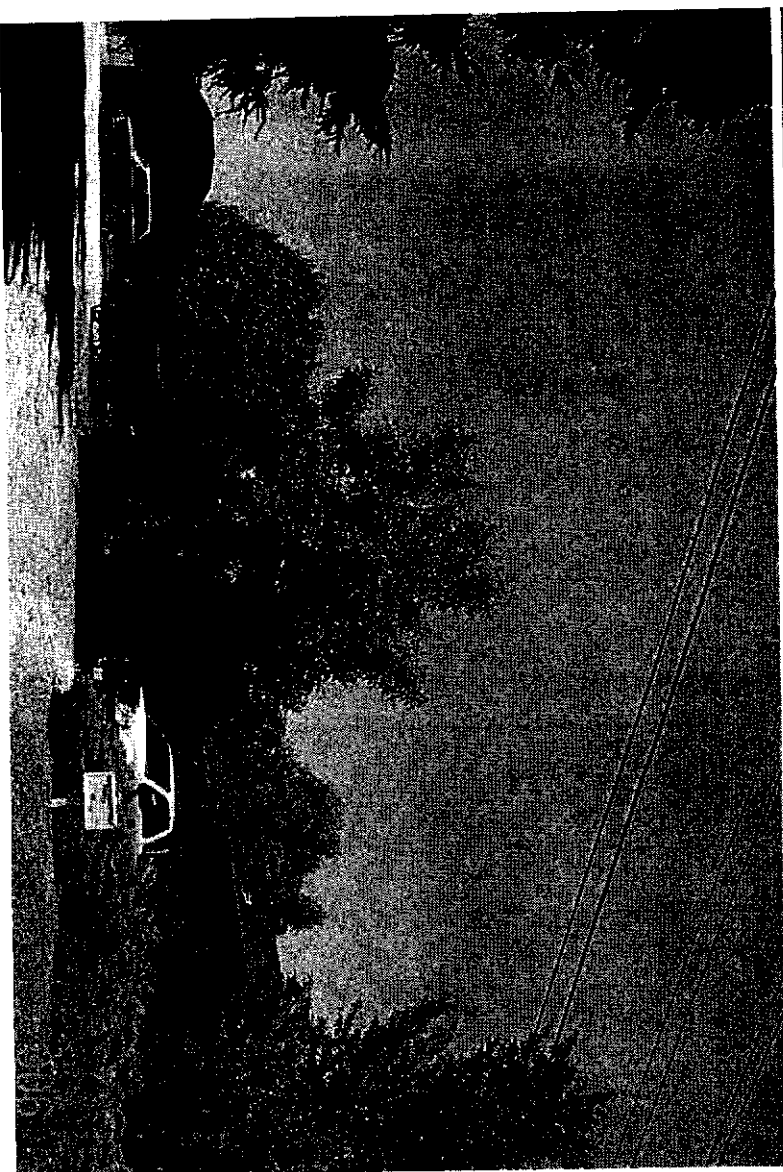


Legend

-  Project Parcels
-  Assessors Parcels
-  Streets
-  AGRICULTURE COMMERCIAL (CA)
-  PUBLIC FACILITY (PF)
-  RESIDENTIAL-SINGLE FAMILY (R-1-6)
-  RESIDENTIAL-SINGLE FAMILY (R-1-8)



Map Created by
County of Santa Cruz
Planning Department
April 2006



EXISTING SABS ON
APN'S 049-201-15, 16, 17