



# COUNTY OF SANTA CRUZ

## PLANNING DEPARTMENT

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**TOM BURNS, PLANNING DIRECTOR**

April 5, 2007

Planning Commission  
County of Santa Cruz  
701 Ocean Street  
Santa Cruz, CA 95060

**Agenda Date: April 25, 2007**

**Item #: 7**

**Time: After 9 AM**

**APN: 107-571-01**

**Application: 04-0384**

**Subject: A continued public hearing to consider application 04-0384; a proposal to increase the enrollment at an existing school from 125 students to 250 students, and construct associated improvements.**

Members of the Commission:

During the 3/28/07 public hearing for this item, revised condition language was submitted by the applicant. Members of the public also made requests for specific restrictions to be placed on the school operations. Some additional changes were suggested by your Commission, and corrections to the conditions were announced by staff. After hearing public testimony, and discussing the application, the item was continued for **staff** to prepare revised conditions and to allow an opportunity for all five Districts to be represented on the Commission for this item.

Revised conditions (Exhibit 1A) have been prepared which continue to place reasonable requirements on the school to reduce impacts to the surrounding neighborhood, while addressing many of the school's concerns regarding costs and implementation. Due to minor changes to condition language, revised mitigations (Exhibit 1B) have been prepared as well.

### Recommendation

Based on the revised mitigations **and** conditions, Planning Department staff recommends that your Commission take the following actions:

- 1) Certification of the Mitigated Negative Declaration (with revised mitigations - Exhibit 1B) per the requirements of the California Environmental Quality Act.
- 2) Approval of Application 04-0384, based on the attached findings and revised conditions (Exhibit 1A).

Sincerely,

Randall Adams  
Project Planner  
Development Review

Reviewed By:

  
Mark Deming  
Assistant Director

Exhibits:

- 1A. Revised Conditions
- 1B. Revised Mitigations
- 1C. Findings
- 1D. **Staff** Report to the Planning Commission, 3/28/07, with Exhibits

## **Revised Conditions of Approval (4/25/07 PC)**

Exhibit A: Project plans "Salesian Sisters School", 10 sheets, prepared by Ifland Engineers, dated 3/28/05 & 10/14/05.

I. This permit authorizes the continued operation of an existing school, summer camp, and associated uses within allowed limits as described in further detail below. This permit amends and replaces Commercial Development Permits 75-600-U, 77-557-U, 78-323-U, 78-1539-U, and 88-1 105. All conditions of the prior permits are replaced by the conditions for this permit. The uses at the school facility shall continue to be subject to the Second Amended Compliance Agreement through 7/1/07. at which time these permit conditions replace such agreement. Except as herein stated, prior to exercising any rights granted by this permit ~~including, without limitation, any construction or site disturbance,~~ the applicant/owner shall:

- A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
- B. Pay the required fee to the Clerk of the Board of the County of Santa Cruz for posting the Negative Declaration as required by the California Department of Fish and Game mitigation fees program.
- C. Prior to any construction or site disturbance, the applicant/owner shall:
  - 1. Obtain a Grading Permit from the Santa Cruz County Planning Department.
  - 2. Obtain a Building Permit from the Santa Cruz County Building Official, if required, for retaining walls and site improvements.
  - 3. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.

II. Prior to issuance of a Grading and/or Building Permit the applicant/owner shall:

- A. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder). Conditions must be recorded within 30 days following the effective date of this permit.
- B. Submit final engineering plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. Any changes from the approved Exhibit "A" for this development permit on the plans submitted for the Grading and/or Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Grading and/or Building Permit that is issued for the proposed development. The final plans shall include

the following additional information:

1. Engineered improvement plans for all on-site and off-site improvements prepared, wet-stamped, and signed by a licensed civil engineer. All off-site improvements are subject to County Code section 18.10.240(d).
  - a. The access roadway shall be widened to a minimum width of 18 feet between Hames road and the school entrance. ~~Enos Lane shall be further widened to 24 feet in width for the first 40 feet from the intersection with Hames Road.~~
  - b. Road bumps shall be installed on the lower portion of Enos Lane (between Hames Road and station 17+00). Road bumps shall be designed to limit vehicle speed to 15 MPH along this section of Enos Lane. A minimum of three road bumps are required in order to limit speeds to 15 MPH.
  - c. A pedestrian pathway, a minimum of 3 feet in width, shall be installed on the east side of the lower portion of Enos Lane (between Hames Road and station 17+75). The path shall be separated from the roadway a solid white line (or landscaping, if separated from the roadway by over 3 feet) and surfaced with decomposed granite or other aggregate material. The school must take all reasonable measures to work with the neighborhood to design a pathway acceptable to the neighborhood and adjacent property owners. Deletion of the pathway requirement due to lack of available right of way or easement will require an amendment to this permit with a public hearing before the Planning Commission.
  - d. Provide a survey with the accurate location of the vehicular right of way of Enos Lane relative to existing and proposed site improvements and adjacent property boundaries. The survey shall be limited to the lower portion of Enos Lane where the location of the vehicular right of way is formally disputed by the adjacent property owner(s) in writing.
  - e. Delete the proposed crosswalk across Hames Road at the intersection with Enos Lane.
  - f. Delete the two Proposed stop signs at the intersection with the private driveways at station 18+00 and install a stop sign on the one southbound driveway per the recommendations of the project traffic engineer.
2. Grading, drainage, and erosion control plans, that are prepared, wet-stamped, and signed by a licensed civil engineer. Grading and drainage plans must include estimated earthwork, cross sections through all

improvements, existing and proposed cut and fill areas, existing and proposed walls, drainage facilities, and details of devices such as back drains, culverts, energy dissipaters, detention pipes, etc.

- a. Air Quality: In order to ensure that the one hour air quality threshold for the pollutant acrolein is not exceeded during grading and paving, prior to the issuance of the grading permit, the applicant shall modify the grading plans to include notes incorporating the construction conditions given by the Monterey Bay Air Pollution Control District (MBAPCD) as follows:
  - i All pre- 1994 diesel equipment shall be retrofitted with EPA certified diesel oxidation catalysts or all such equipment shall be fueled with B99 diesel fuel;
  - ii Applicant shall retain receipts for purchases of catalysts or b99 diesel fuel until completion of the project;
  - iii Applicant shall allow MBAPCD to inspect receipts and equipment throughout the project.
  - iv Alternatively, the applicant may submit a health risk assessment to the MBAPCD for review and approval. Any recommendations and requirements of the MBAPCD will become conditions of constructing the project.
3. A parking plan, showing all existing and proposed parking on the subject property.
  - a. Standard parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way.
  - b. All applicable accessibility requirements must be met in the existing and proposed parking areas.
4. Details showing compliance with fire department requirements, including all requirements of the Urban Wildland Intermix Code, if applicable.
  - a. The access roadway shall be widened to a minimum width of 18 feet for vehicular and emergency vehicle access.
  - b. The loop roadway around the existing school facility shall be marked as a fire lane, clearly marked as a no parking area to allow free movement of fire equipment around the school buildings.
5. Groundwater Recharge: In order to ensure that loss of area for groundwater recharge is less than significant, the applicant shall submit a

detailed groundwater recharge plan for review and approval by the Department of Public Works drainage staff and Planning staff. The plan shall provide for recharge, on the subject property, of runoff from the new paved parking area (after it has passed through a silt and grease filter) ~~and also runoff from the sections of Enos Lane that are widened, where the latter is feasible.~~ The plan shall show infrastructure for directing and spreading runoff and measures to prevent erosion at outlets, and shall include calculations quantifying the expected runoff and demonstrating that there is no net loss of recharge capacity as a result of the parking surfacing. The plan shall be accompanied by a letter of approval by the project soil engineer. The plan shall also indicate where excess fill is being placed in order to prevent conflicts with recharge goals.

6. Show replacement trees to be located at a 3:1 ratio for all trees removed due to road widening, construction of the parking lot, and other improvements.
  7. A master site plan showing all of the existing buildings on the school campus must be provided which clearly indicates the total number and location of existing residential facilities (including bedrooms and food preparation facilities).
- C. Submit four copies of the approved Discretionary Permit with the Conditions of Approval attached. The Conditions of Approval shall be recorded prior to submittal, if applicable.
- D. Meet all requirements of and pay Zone 7 drainage fees to the County Department of Public Works, Drainage. Drainage fees will be assessed on the net increase in impervious area.
- E. Obtain an Environmental Health Clearance for this project from the County Department of Environmental Health Services.
1. ~~All required, septic upgrades must be installed within 1 year from the effective date of this permit.~~ The existing septic system must be pumped on a regular basis (at least one time every 3 years) with pumper's reports forwarded to the County Department of Environmental Health Services to ensure proper functioning of the septic system.
- F. Meet all requirements and pay any applicable plan check fee of the California Department of Forestry/County Fire.
- G. Submit 3 copies of a plan review letter prepared and stamped by a licensed Geotechnical Engineer.
- III. All construction shall be performed according to the approved plans for the Grading Permit and/or Building Permit. The applicant/owner must meet the following conditions

during construction of the project:

- A. Improvements must be installed within the following timeframes:
  - 1. Road bumps and stop sign must be installed within 90 days from the effective date of this permit.
  - 2. Road widening must occur within 24 6 months from the effective date of this permit.
  - 3. The ~~new parking lot, the~~ pedestrian pathway, and all other required improvements must be installed within 3 4 years from the effective date of this permit.
- B. All work adjacent to or within a County road shall be subject to the provisions of Chapter 9.70 of the County Code, including obtaining an encroachment permit where required. Where feasible, all improvements adjacent to or affecting a County road shall be coordinated with any planned County-sponsored construction on that road. Obtain an Encroachment Permit from the Department of Public Works for any work performed in the public right of way. All work shall be consistent with the Department of Public Works Design Criteria unless otherwise specifically excepted by these conditions of approval.
- C. No land clearing, grading or excavating shall take place between October 15 and **April** 15 unless the Planning Director approves a separate winter erosion-control plan that may or may not be granted.
- D. To minimize noise, dust and nuisance impacts to surrounding properties during construction, the owner/applicant shall or shall have the project contractor, comply with the following measures during all construction work:
  - 1. Limit all construction to the time between 8:00 am and 5:00 pm weekdays unless a temporary exception to this time restriction is approved in advance by the Santa Cruz County Planning Department to address ~~an~~ emergency situation; and
  - 2. Each day it does not rain, wet all exposed soil frequently enough to prevent significant amounts of dust from leaving the site.
  - 3. The applicant shall designate a disturbance coordinator and a 24-hour contact number shall be conspicuously posted on the job site. The disturbance coordinator shall record the name, phone number, and nature of all complaints received regarding the construction site. The disturbance coordinator shall investigate complaints and take remedial action, if necessary, within 24 hours of receipt of the complaint or inquiry.
- E. Water Quality: To prevent project drainage discharges from carrying silt, grease,

and other contaminants, the applicant shall install silt and grease traps according to the approved plans. The traps shall be maintained by the owners according to the following monitoring and maintenance schedule:

1. The traps shall be inspected to determine if they need cleaning or repair prior to October 15 each year, at a minimum interval of once per year;
2. A brief annual report shall be prepared by the trap inspector at the conclusion of each October inspection and submitted to the Drainage Section of the Department of Public Works within **5** days of inspection. This monitoring report shall specify any repairs that have been done or that are needed to allow the trap to function adequately.

F. Prior to final inspection, the applicant/owner must meet the following conditions:

1. All site improvements shown on the final approved Grading Permit and/or Building Permit plans shall be installed.
2. **All** inspections required by the Grading and/or Building permit shall be completed to the satisfaction of the County Building Official and Planning Department staff.
3. The project must comply with all recommendations of the approved soils reports.

G. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.

N. Operational Conditions

A. **Master Occupancy Program (School):** Given the location of the project with respect to existing residential uses, any change of use request will require **an** amendment to this permit. Only the uses listed below are allowed at the school facility:

Private School: A private school (Kindergarten through 8th grade years only) with **an** enrollment level based on the performance standards listed below (Condition IV.B) is authorized by this permit. Class instruction at the school may not begin before 7:50 8 AM ~~and the drop-off of students more than one hour before this time is not allowed~~. Any change in the scheduling of the school which causes instruction to begin prior to 7:50 8 AM is not authorized by this permit.

School Related Meetings and Events: Are allowed in conjunction with the private school use. Parent meetings, parent teacher conferences, back to school night, plays, and other events which occur while classes are not in session are allowed without a restriction on total number of vehicle trips. Carpooling is recommended for individuals attending these school related meetings and events.

School related events that occur during regular school hours (grandparents day, parents breakfast, kinder promotion, etc.) are allowed, at a maximum of 8 events per year, without a restriction on total number of vehicle trips. No more than 8 school related events that occur during regular school hours are allowed during any one regular school year.

No sporting events (other than regular practice by Salesian school students) are allowed at the school facility.

Prior to the start of each regular school year, the school must submit to the Santa Cruz County Planning Department a calendar that indicates the dates and times of each of the planned school related events.

Summer Camp & Remedial Classes: A summer camp and remedial classes (summer school) outside of the regular school year **are** authorized based on the following limitations: The total number of campers (**both** day and overnight) is limited to no more **than 90** campers at the school facility at any one time. The total number of day campers and/or remedial class students is limited to no more than 60 total (day campers and/or remedial class students). Carpooling or busing is required for day campers and/or remedial class students to reduce traffic, with a maximum of **45** school related vehicle **trips** in and **out (90 total trips)** of the school facility during any continuous two hour period between 7:30 AM and 5:30 PM.

Retreats: Up to four weekend retreats for a maximum of **60** people at each retreat are authorized by this permit for each one year period. Up to eight one day retreats (occurring only on weekend days) for a maximum of 90 people at each retreat are authorized by this permit for each one year period. Carpooling or busing is recommended for individuals and groups attending the retreats.

Community Meetings: Community meetings are allowed at the school facilities outside of regular school hours. The use of the school facilities for community meetings does not include the renting of the facilities for conferences or other commercial activities.

Religious Services and Prayer Groups: Religious services are allowed at the school facility. Carpooling is recommended for individuals attending religious services and prayer groups.

Residents: The use of the school facility for residential purposes is allowed with

all of the residents living as a family unit (sharing cooking facilities and common areas). The construction of additional independent residential units is not authorized by this permit.

Novitiate: The use of the school facility as a novitiate is authorized by this permit. The total number of novices residing on site will be limited by the residential facilities on the project site.

**The following additional restrictions apply to all uses:**

Parking: Parking must occur in approved spaces, and may not at any time block access to the structures or turn-around areas for emergency equipment. Parking for all events shall comply with the approved parking plan and the recommendations of the approved traffic studies.

Scheduling: Uses (school, meetings, events, services, retreats, etc.) can not be scheduled in an overlapping manner which will result in a combined parking demand that can not be met on the project site.

- B. **Enrollment**: Enrollment at the existing school during the regular school year (not including summer remedial classes or summer camp) will be limited by the following:

The initial maximum enrollment will begin at 200 students (for the 2007-2008 school year) and will increase or decrease by 25 student increments, or remain constant, depending on compliance with the traffic performance criteria (as measured by independent random monitoring, at the school's expense, with review by the Planning Department) for each level of enrollment. Any potential enrollment increase ~~or decrease~~ will begin in the third (2009-2010) school year and will be determined by the Planning Department based on compliance with the traffic performance criteria through the middle of the second (2008-2009) school year, with reviews continuing at the middle of each following school year, through the fifth (2011-2012) school year. Significant lack of compliance with the traffic performance criteria will result in an enrollment decrease starting in the second (2008-2009) school year. 250 students is the maximum enrollment level that ~~could~~ shall be allowed at the school based on compliance with the traffic performance criteria.

No enrollment increase over 200 students will be allowed until all required road improvements (speed bumps, road widening, stop sign, and pedestrian pathway) have been installed.

Traffic Performance Criteria (the number of **trips** allowed at **each** enrollment level):

Maximum Enrollment	Traffic Performance Criteria
Up to 125 Students	45 max. trips in and out (90 total trips) per each 2 hour peak period (7-9 AM & 2-4 PM)

<b>150, 175, or 200 Students</b>	<b>50 max. trips in and out (100 total trips) per each 2 hour peak period (7-9 AM &amp; 2-4 PM)</b>
<b>225 Students</b>	<b>55 max. trips in and out (110 total trips) per each 2 hour peak period (7-9 AM &amp; 2-4 PM)</b>
<b>250 Students</b>	<b>60 max. trips in and out (120 total trips) per each 2 hour peak period (7-9 AM &amp; 2-4PM)</b>

Compliance with Traffic Performance Criteria: Vehicles which transport children to and/or from the school will be counted during each two hour peak period (7-9 AM & 2-4 PM) ~~and no children may be dropped off before 7 AM unless arriving with a teacher or school staff.~~ Vehicles which do not transport children to and/or from the school (teachers, staff, school residents, deliveries, etc.) and vehicles originating from Enos Lane (above or below the school) will not be counted towards the maximum number of allowed trips.

5th Year Review: At the midpoint of the fifth ~~regular~~ (2011-2012) school year after approval of this permit, the final maximum enrollment for the school will be established at a noticed public hearing before the Planning Commission. This will be based on a review of compliance with the performance criteria by the Santa Cruz County Planning Department. The maximum enrollment for the school will be based on the compliance with the performance criteria for the years leading up to this review. This review will be performed in addition to the annual reviews leading up to the fifth year. The results of the fifth year review will be heard before the Planning Commission on the consent agenda, and the final maximum enrollment will be determined by the Planning Commission at that time. Annual reporting of traffic counts (performed at the school's expense) will be required each year (per Condition IV.C) up to the fifth year review. Adherence to the performance criteria after the fifth year review is required, and reductions in enrollment will be required if compliance with the performance criteria can not be met. The schedule for continued independent traffic monitoring (performed at the school's expense) will be determined at the fifth year review by the Planning Commission.

Enrollment List: Prior to the start of each regular school year, the school must submit to the Santa **Cruz County** Planning Department ~~a list of all of~~ the number of students to be enrolled at the school, ~~and displays the total enrollment~~ for the following school year.

Failure to Comply: Failure to reduce enrollment when required, or to comply with the required performance criteria at the established level of enrollment, or to supply enrollment information or traffic reports, will be a violation of the terms of this permit. Operating the school at a higher level of enrollment than is authorized by these conditions, or at a higher volume **of** traffic than is allowed for the level of enrollment, is a violation of the terms of this permit. Any violation of the terms of ~~this~~ permit may result in permit revocation.

- C. **Traffic Management & Reporting:** A Traffic Management Plan is required for all enrollment levels for the school during the regular school year, subject to the

following requirements:

1. Prior to the start of each school year, but after the enrollment level has been established, a carpool/busing plan must be provided to the Santa Cruz County Planning Department which indicates the total number of vehicles and the number of children assigned to each vehicle.
  - a. Carpools may not meet or be formed **on** Enos Lane or at the intersection of Hames Road and Enos Lane, unless the vehicles originate **from** Enos Lane (or other roadways directly connected to Enos Lane north of the Hames Road intersection).
2. Reporting of random traffic counts at regular intervals (~~at the midpoint of each school year~~) performed at the school's expense by an independent third party traffic consultant (overseen by a licensed traffic engineer) must be provided to the Santa Cruz County Planning Department on an annual basis for the first five (5) years.
  - a. The school must agree to allow the County of Santa Cruz Planning Department to contract, at the school's expense, with **an** independent third party traffic consulting firm to perform random traffic counts at the school facility.
    - i **A** positive at cost account balance with the County of Santa Cruz Planning Department must be maintained by the school, with sufficient funds to allow payments to the traffic consulting firm throughout the contract period and to account for Planning Department staff time. With an accounting of Planning Department expenses per standard County fiscal procedures.
  - b. Random, unannounced traffic counts are required during the AM peak (7 AM to 9 AM) and PM peak (2 PM to 4 PM) periods throughout the regular school year.
  - c. Traffic counts must occur on a minimum of ~~one two~~ days per full month that the school is in regular session (with a minimum of 6 counts total per each school year) up to the fifth year review. The schedule and frequency of continued monitoring (after the ~~fifth~~ year) will be determined at the fifth year review by the Planning Commission and may be modified at **a** later date.
    - 1 Dates will be selected by Planning Department staff and provided to the independent third party traffic consulting firm, who will perform the traffic counts.
  - d. Reports must be submitted by the independent third party traffic

consultant directly to the Santa Cruz County Planning Department at the midpoint of each regular school year, with copies of all reports provided to the school by the consultant.

- e. After the fifth year, additional traffic counts and associated reports may be required ~~by the Santa Cruz County Planning Department as specified by the Planning Commission~~ at the school's expense, ~~for as long as the school facility is in operation,~~ in order to ensure compliance with permit conditions.
- f. Compliance with the performance criteria specified under Condition IV.A (Operational Conditions - Enrollment) will be determined based on the traffic counts in the reports submitted and not on other sources of information provided by the school administration or the general public.
- g. Failure to ~~provide~~ allow adequate and accurate traffic counts performed by an independent third party traffic consultant will be considered as a lack of compliance with the conditions of this permit and non-compliance for the performance criteria specified under Condition IV.A (Operational Conditions - Enrollment).

3. School Related Vehicle Trips: Vehicles which carry children to and/or from the school facility are considered as school related vehicle trips, with the exception **of** Enos Lane resident vehicles.

- a. Enos Lane Residents: Vehicles with children originating from Enos Lane (or other roadways directly **connected** to Enos Lane north of the Hames Road intersection) will not be counted towards the ~~maximum~~ number of allowed trips. These vehicles must be clearly designated as vehicles of Enos Lane origin and each student traveling in an Enos Lane vehicle must be accounted for in the enrollment list and carpoolhusing plan for each school year.

4. Non-Peak and Non-School Related Vehicle Trips: Due to the common occurrence of illness, doctor's appointments, **and** other unforeseen circumstances, children which need to be ~~driven~~ to and from school between peak hours are not subject to carpool requirements. Dropping off children prior to the AM peak is not allowed (unless arriving in a vehicle of a teacher or staff person who does not reside at the school facility) except in extraordinary circumstances (such as Darents who have very early work schedules) which have been conveyed to the Santa Cruz County Planning Department in advance. ~~Any vehicles bringing children to the school prior to the AM peak will be counted towards the maximum number of trips for the AM peak.~~

- a. Residents of the school facility (sisters, novices, etc.) may leave

and enter the facility without being counted as school related vehicle trips, unless these vehicles are transporting children to and/or from the school facility.

- b. Delivery and service vehicles may leave and enter the facility without being counted as school related vehicle trips, unless these vehicles are transporting children to and/or from the school facility.

- D. Neighborhood Committee: The school shall form a standing committee of school representatives to address neighborhood concerns and issues that arise as a result of school activities and operations (including the carpool program). This standing committee shall meet with interested members of the surrounding neighborhood on a regular basis, as necessary, to hear and respond to neighborhood concerns.
- V. Road Maintenance: If a road maintenance association (or agreement) is formed, the school will be obligated to participate in the road maintenance ~~equal to extent of their usage of Enos Lane.~~
- VI. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- VII. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested **by** the Development Approval Holder.
  - A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY **seeks** to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
  - B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of **the** following occur:
    - 1. COUNTY bears its own attorney's fees and **costs**; and
    - 2. COUNTY defends the action in good faith.

- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

### VIII. Mitigation Monitoring Program

The mitigation measures listed under this heading have been incorporated into the conditions of approval for this project in order to mitigate or avoid significant effects on the environment. As required by Section 21081.6 of the California Public Resources Code, a monitoring and reporting program for the above mitigations is hereby adopted as a condition of approval for this project. This monitoring program is specifically described following each mitigation measure listed below. The purpose of this monitoring is to ensure compliance with the environmental mitigations during project implementation and operation. Failure to comply with the conditions of approval, including the terms of the adopted monitoring program, may result in permit revocation pursuant to Section 18.10.462 of the Santa Cruz County Code.

A. Mitigation Measure: Groundwater Recharge (Condition II.B.5)

Monitoring Program: In order to ensure that loss of area for groundwater recharge is less than significant, the applicant shall submit a detailed groundwater recharge plan for review and approval by the Department of Public Works drainage staff and Planning staff. The plan shall provide for recharge, on the subject property, of runoff from the new paved parking area (after it has passed through a silt and grease filter) ~~and also runoff from the sections of Enos Lane that are widened, where the latter is feasible.~~ The plan shall show infrastructure for directing and spreading runoff and measures to prevent erosion at outlets, and shall include calculations quantifying the expected runoff and demonstrating that there is no net loss of recharge capacity as a result of the parking surfacing. The plan shall be accompanied by a letter of approval by the project soil engineer. The plan shall also indicate where excess fill is being placed in order to prevent conflicts with recharge goals.

B. Mitigation Measure: Water Quality (Condition III.E)

Monitoring Program: To prevent project drainage discharges from carrying silt, grease, and other contaminants, the applicant shall install silt and grease traps according to the approved plans. The traps shall be maintained by the owners according to the following monitoring and maintenance schedule:

1. The traps shall be inspected to determine if they need cleaning or repair

prior to October 15 each year, at a minimum interval of once per year;

2. A brief annual report shall be prepared by the trap inspector at the conclusion of each October inspection and submitted to the Drainage Section of the Department of Public Works within 5 days of inspection. This monitoring report shall specify any repairs that have been done or that are needed to allow the trap to function adequately.

C. Mitigation Measure: Traffic Safety (Conditions II.B.1, IV.A & IV.C)

Monitoring Program: To prevent traffic from creating and/or exacerbating traffic hazards to vehicles and pedestrians:

1. The school administrators shall submit a transportation management plan, which will effectively limit the total number of vehicles going in and out during the morning and afternoon peak periods to the baseline amount, **45** - 60 cars representing a total of 90 - 120 trips during the peak times. This management may be accomplished by carpooling, staggering class and assembly times, vanpooling, busing, multi modal transport, managing enrollment, etc. The plan shall include monitoring that incorporates periodic unannounced traffic counts by the project traffic engineer to verify that the goal is being met.
2. In addition to implementing the proposed widening of Enos Lane, the applicant shall submit for review and approval a road plan prepared by the project traffic engineer that shows the following: installation of speed bumps that are designed and spaced to limit traffic to 15 MPH, a stop sign and warning sign at the curve at station 18+00 **as** recommended in the letter of Higgins Associates, December 15, 2005, and a defined walking path on the east side of Enos Lane between Hames and station 17+75 (Ifland Engineers, sheets C2 and **C4**). The walking path shall be three feet wide, separated from the roadway by a solid white line and surfaced with decomposed granite or other aggregate material. The road plan shall be implemented prior to final approval of **any** of the other physical improvements and prior to any increase in enrollment above 200 students.

D. Mitigation Measure: Air Quality (Condition II.B.2.a)

Monitoring Program: In order to ensure that the one hour air quality threshold for the pollutant acrolein is not exceeded during grading **and** paving, prior to the issuance of the grading permit, the applicant shall modify the grading plans to include notes incorporating the construction conditions given by the Monterey Bay Air Pollution Control District (MBAPCD) as follows:

1. All pre- 1994 diesel equipment shall be retrofitted with EPA certified diesel oxidation catalysts or all such equipment shall be fueled with B99 diesel fuel;

2. Applicant shall retain receipts for purchases of catalysts or b99 diesel fuel until completion of the project;
3. Applicant shall allow MBAPCD to inspect receipts and equipment throughout the project.
4. Alternatively, the applicant may submit a health **risk** assessment to the MBAPCD for review and approval. Any recommendations and requirements of the MBAPCD will become conditions of constructing the project.

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Minor variations to this permit which do not affect the overall concept or density may be approved by **the** Planning Director at the request of the applicant or **staff** in accordance with Chapter 18.10 of the **County** Code.

**Please note: This permit expires on the expiration date listed below unless you obtain the required permits and commence construction.**

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

\_\_\_\_\_  
**Mark** Deming  
Assistant Director

\_\_\_\_\_  
Randall Adams  
Project Planner

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Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Planning Commission, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa **Cruz** County Code.

NAME: Strategic Construction for Daughters of Mary Help for Christians  
APPLICATION: 04-0384  
A.P.N: 105-571-01  
DATE: ~~February 7, 2007~~  
April 25, 2007

**REVISED NEGATIVE DECLARATION MITIGATIONS (4/25/07 PC)**

1. In order to ensure that loss of area for groundwater recharge is less than significant, prior to scheduling the public hearing the applicant shall submit a detailed groundwater recharge plan for review and approval by the Department of Public Works drainage staff and Planning staff. The plan shall provide for recharge, on the subject property, of runoff from the new paved parking area (after it has passed through a silt and grease filter) ~~and also runoff from the sections of Enos Lane that are widened, where the latter is feasible~~ The plan shall show infrastructure for directing and spreading runoff and measures to prevent erosion at outlets, and shall include calculations quantifying the expected runoff and demonstrating that there is no net loss of recharge capacity as a result of the parking surfacing. The plan shall be accompanied by a letter of approval by the project soil engineer. The plan shall also indicate where excess fill is being placed in order to prevent conflicts with recharge goals.
2. To prevent project drainage discharges from carrying silt, grease, and other contaminants, the applicant shall install a silt and grease traps according to the approved plans. The traps shall be maintained by the owners according to the following monitoring and maintenance schedule:
  - a. The traps shall be inspected to determine if they need cleaning or repair prior to October 15 each year, at a minimum interval of once per year;
  - b. A brief annual report shall be prepared by the trap inspector at the conclusion of each October inspection and submitted to the Drainage Section of the Department of Public Works within 5 days of inspection. This monitoring report shall specify any repairs that have been done or that are needed to allow the trap to function adequately.
3. To prevent traffic from creating and/or exacerbating traffic hazards to vehicles and pedestrians:
  - a. The school administrators shall submit a transportation management plan for review and approval prior to public hearing, which will effectively limit the total number of vehicles going in and out during the morning and afternoon peak periods to the baseline amount, 45 – 60 cars representing a total of 90 -120 trips during the peak times. This management **may** be accomplished by carpooling, staggering class and assembly times, vanpooling, busing, multi modal transport, managing enrollment, etc. The plan shall include monitoring that incorporates periodic unannounced traffic counts by the project traffic engineer to verify that the goal is being met.
  - b. In addition to implementing the proposed widening of Enos Lane, prior to public hearing, the applicant shall submit for review and approval a road plan prepared

by the project traffic engineer that shows the following: installation of speed bumps that are designed and spaced to limit traffic to 15 MPH, a stop sign and warning sign at the curve at station 18+00 as recommended in the letter of Higgins Associates, December 15, 2005, and a defined walking path on the east side of Enos Lane between Hames and station 17+75 (Ifland Engineers, sheets C2 and C4). The walking path shall be three feet wide, separated from the roadway by a solid white line and surfaced with decomposed granite or other aggregate material. The road plan shall be implemented prior to final approval of any of the other physical improvements and prior to any increase in enrollment above 200 students.

4. In order to ensure that the one hour air quality threshold for the pollutant acrolein is not exceeded during grading and paving, prior to the issuance of the grading permit, the applicant shall modify the grading plans to include notes incorporating the construction conditions given by the Monterey Bay Air Pollution Control District (MBAPCD) as follows:
  - a. All pre-1994 diesel equipment shall be retrofitted with EPA certified diesel oxidation catalysts **or** all such equipment shall be fueled with B99 diesel fuel;
  - b. Applicant shall retain receipts for purchases of catalysts or b99 diesel fuel until completion of the project;
  - c. Applicant shall allow MBAPCD to inspect receipts and equipment throughout the project.

Alternatively, the applicant may submit a health risk assessment to the MBAPCD for review and approval. Any recommendations and requirements of the MBAPCD will become conditions of constructing the project.

## Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses and the existing school is an allowed use within the zone district. Construction will comply with prevailing building technology, the Uniform Building Code, and the County Building and Grading ordinances to insure the optimum in safety and the conservation of energy and resources. Traffic improvements will be installed which will reduce vehicle speed and improve traffic safety on the access roadway, Enos Lane.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the school and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the **SU** (Special Use) zone district in that the primary use of the property is an existing school, which is an allowed use within the **SU** zone district when located within a residential General Plan designation.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the existing school **is an** allowed use within the **SU** (Special Use) zone district, consistent with the use requirements specified for the Mountain Residential (R-M) land use designation in the County General Plan.

The proposal is conditioned to limit traffic volumes and speeds **within** the rural residential Enos Lane neighborhood as specified in Policy **3,113.1** (Limiting Traffic Volumes), in that the required traffic management plan and traffic safety improvements will reduce overall traffic volumes associated with the school and will improve traffic safety on Enos Lane.

A specific plan **has** not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the traffic associated with the increased enrollment at the existing school will be subject to a traffic management plan which will limit the number of peak trips to and from the school on Enos Lane.

5. That the proposed project will complement and harmonize with the existing and proposed

**Staff Report to the Planning Commission**  
(from 3/28/07 Public Hearing)

**Application Number 04-0384**  
**Planning Commission Hearing**  
**4/25/07**

Application #: 04-0384

APN: 107-571-01

Owner: Daughters of Mary Help of Christians

land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the school is located within a rural residential neighborhood and has been in existence for over two decades. The existing school is a part of the rural residential neighborhood and the required traffic management plan will allow the existing school to operate in a compatible manner with the existing rural residential uses on Enos Lane by establishing limits for the intensity and volume of traffic generated by the existing school.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed improvements will not alter the visual appearance of the existing school and will not reduce or visually impact available open space in the surrounding area.

**Staff Report to the Planning Commission**  
(from 3/28/07 Public Hearing)

**Application Number 04-0384**  
**Planning Commission Hearing**  
**4/25/07**



## Staff Report to the Planning Commission

Application Number: **04-0384**

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**Applicant:** Strategic Construction Management  
**Owner:** Daughters of Mary Help of Christians  
**APN:** 107-571-01

**Agenda Date:** 3/28/07  
**Agenda Item #:** 10  
**Time:** After 9:00 a.m.

**Project Description:** Proposal to increase the enrollment at an existing school from 125 students to 250 students, to widen Enos Lane in several locations from the intersection of Hames Road to the entrance of the existing school, and to construct a new parking area northeast of the existing school. Requires an amendment to Commercial Development Permits 75-600-U, 77-557-U, 78-323-U, 78-1539-U, and 88-1105.

**Location:** Subject property located at 605 Enos Lane in Corralitos, with road widening proposed from the intersection of Enos Lane with Hames Road to the entrance of the existing school.

**Supervisory District:** 2nd District (District Supervisor: Ellen Pirie)

**Permits Required:** Commercial Development Permit, Preliminary Grading Review, Soils Report Review, Archaeological Site Review

### Staff Recommendation:

- Certification of the Mitigated Negative Declaration per the requirements of the California Environmental Quality Act.
- Approval of Application 04-0384, based on the attached findings and conditions.

### Exhibits

A. Project plans  
B. Findings  
C. Conditions  
D. Mitigated Negative Declaration  
(CEQA Determination) with the  
following attached documents:  
(Attachment 2): Assessor's parcel map  
(Attachment 3): Zoning map  
(Attachment 4): General Plan map  
(Attachment 10): Traffic Study  
(Attachment 14): Listing of activities at the  
existing school

E. Compliance Investigation Summary  
& Prior Use Permits  
F. Salesian Traffic Management Plan  
G. Carpool Monitoring Results  
H. 1883 Viewer's Report  
I. Comments & Correspondence

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County of Santa Cruz Planning Department  
701 Ocean Street, 4<sup>th</sup> Floor, Santa Cruz CA 95060

### Parcel Information

Parcel Size:	55.83 acres
Existing Land Use - Parcel:	Salesian Sisters school
Existing Land Use - Surrounding:	Rural residential & agriculture
Project Access:	Enos Lane
Planning Area:	Aptos Hills
Land Use Designation:	R-M (Mountain Residential)
Zone District:	SU (Special Use)
Coastal Zone:	<input type="checkbox"/> Inside <input checked="" type="checkbox"/> Outside

### Environmental Information

An Initial Study has been prepared (Exhibit D) that addresses the environmental concerns associated with this application.

### Services Information

Urban/Rural Services Line:	<input type="checkbox"/> Inside <input checked="" type="checkbox"/> Outside
Water Supply:	City of Watsonville
Sewage Disposal:	Septic
Fire District:	California Department of Forestry/County Fire
Drainage District:	Zone 7 Flood Control District

### Project Setting

The existing school is located on an approximately 56 acre parcel in a rural residential neighborhood in Corralitos accessed via Enos Lane. The subject property has been used as a retreat and for educational purposes since the 1970s and is developed with existing structures and improvements which are consistent with the institutional use. Much of the parcel is undeveloped and contains low shrubs, grass, and trees. Agricultural uses are located to the south and west of the subject property.

### Zoning & General Plan Consistency

The subject property is located in the SU (Special Use) zone district. The uses allowed within the SU (Special Use) zone district are determined by the underlying General Plan land use designation. In this case, the SU (Special Use) zoning is residential **in** nature due to the (R-M) Mountain Residential General Plan designation. Schools are a conditionally allowed use within residential zone districts.

### History

The existing school use was authorized as a result of a series of use permits and development permits issued in the mid to late 1970s. This followed two unsuccessful attempts to develop the property, first for 39 residential units (74-110-PUD) and later for 4 parcels (75-224-Z).

The initial use permit issued for the existing educational facility was Use Permit 75-600-U, which authorized a novitiate and summer camp, with staff quarters and dormitories for up to 90 girls. This approval was for three two-week long summer camp sessions, and one yearly retreat for up to 40 sisters. After the novitiate and summer camp were approved, a staff initiated Rezoning (75-1001-Z) was performed to rezone the property to the **REC** (Recreational) zone district to reflect the novitiate and summer camp use. The remaining orchard on the subject property was rezoned to the A-10 (Agriculture - 10 acre minimum) zone district at that time. **An** accessory storage building was later approved, under Use Permit 77-557-U, for the novitiate facility.

Following the approval for the novitiate and summer camp, an application for Use Permit 78-323-U was submitted to allow the operation of a school up to a maximum of 90 students (grades K-1 & 5-8) in the existing buildings. This application was approved with the requirement that the road be improved to a minimum width of 16 feet, that a busing or carpooling plan be submitted that would minimize school related traffic on Enos Lane, and that all requirements of the County Fire Marshall be met. This permit also required that the property be rezoned from the REC (Recreation) zone district to a more appropriate zone district prior to consideration of any further use permit.

Shortly after the approval of the permit for the school, an application for Use Permit 78-1539-U and Rezoning 78-935-Z was made to expand the school to 250 students (including all grades K-8 and 9-12). Although this application was for 250 students (and included grades 9-12), it ~~was~~ ultimately approved for 125 students (and limited to grades K-8). **As a** result, the environmental documentation from the initial study, as well as a condition related to the septic clearance added by the Planning Commission, both contain language which was based on the 250 student proposal. The Board of Supervisors took final action on the proposal, resulting in an approval for a maximum of 125 students (grades K-8).

Approximately ten years later, Commercial Development Permit 88-1105 authorized the construction of a 12 bedroom central living quarters for the Sisters **who** reside at the school. Prior to this time, the Sisters were residing in rooms scattered throughout the campus and the centralized living area was proposed for safety reasons and to create **a** sense of community.

Copies of the permits described above and other associated information are included as Exhibit E to this report.

### **Permit Compliance Issues**

Since the approval of Use Permit 78-1539-U, which authorized a school of up to 125 students, the enrollment has increased to over 200 students. Complaints regarding the increased enrollment have been filed with the County, and Code Compliance action has been taken against the school. A settlement agreement has been reached which is temporarily allowing the school to operate at the existing level of enrollment (205 students) while this amendment to the prior use permits is being processed.

## **Proposed Use Permit Amendment**

The proposed project includes a request to increase enrollment from 125 students to 250 students. This increased enrollment is an intensification of the previously authorized use and will require an evaluation of the existing and proposed uses of the school facility and the preparation of revised conditions to limit the potential impacts that the uses may cause on the surrounding neighborhood and natural environment.

In addition to the increased student enrollment, the proposed use permit amendment will formally recognize a number of ancillary uses that occur on the site.

A summer camp is operated on the school grounds for four weeks each year, outside of the regular school year. A summer camp was authorized by prior Use Permit 75-600-U. The summer camp authorized by the prior permit (75-600-U) was for up to 90 girls for a 6 week duration. This original approval was for an overnight camp, with approximately half of the girls attending to be bused in from San Francisco. The summer camp is now for boys and girls and includes a day camp. The day campers are transported to and from the school each day.

A summer school operates concurrently with the summer camp, offering remedial classes for students that need further improvement prior to the next school year. These students are transported to and from the school each day and some attend the day camp before and after the remedial classes.

The school also serves as a location for periodic religious services, retreats, and community meetings. The number of each of these events are not currently set for any given year. In recent years, there have been 2 to 3 weekend retreats and 5 to 6 one day retreats at the school campus.

Also associated with the school use are after school activities and sports, parent-teacher night(s), plays, performances, and other school related gatherings. Each of these uses can extend the duration of time that some of the students would be at the school and some of the uses would bring additional visitors to the school at various times of the day or evening.

The program statement with a full listing of activities at the existing school facility is included in the Initial Study (Exhibit D - Attachment 14).

## **Use Permit Amendment Issues**

As a result of the neighborhood complaints and staff analysis of the proposed use permit amendment, a number of critical issues have been identified. The resolution of these issues is necessary for the successful operation of the proposed use. These issues are discussed below.

### **Neighborhood Compatibility & Traffic Generation**

The applicant has submitted traffic studies (Exhibit D - Attachment 10) which provide an analysis of the existing traffic on Enos Lane and of the traffic generated by the school. The studies include an assessment of the traffic generation associated with the existing enrollment and the proposed increase in enrollment at the school. The studies also identify existing

constraints along portions of Enos Lane (narrow **16** foot wide roadway sections with no shoulders for pedestrian traffic) and discuss the carpooling program currently used by the school. The studies conclude that the increase in traffic resulting from the proposed increase in enrollment will not significantly impact traffic operations at the intersection of Enos Lane and Hames Road.

Regardless of the technical assessment of the Enos Lane and Hames Road intersection performed by the applicant's traffic engineer, the current and proposed increase in enrollment results in an urban level of traffic along Enos Lane which the neighbors state is not compatible with the character of the rural residential neighborhood. Even with the current carpooling program, there is a much larger volume of traffic along Enos Lane than would be if the school did not exist. There have been traffic-related safety concerns raised by the residents of the Enos Lane neighborhood and some traffic incidents have occurred which have validated the neighbors concerns. **As** a result, many of the neighbors have suggested that a further reduction in traffic along Enos Lane is necessary to prevent future traffic-related problems. Given the current level of carpooling at the school, it would be necessary to use larger vehicles (vans or buses) to reduce the traffic volumes to such a level.

#### Road Widening & Improvements

**As** a result of the proposed increase in enrollment, the applicants have been required by the local fire agency to widen Enos Lane to a minimum of **18** feet in width. **This** requirement by the fire agency will be applied to any application that would increase the number of students above **125** or the number of vehicle trips above those associated with **125** students. In addition to the **18** foot widening requirement of the local fire agency, the Department of Public Works staff have requested widening to a minimum of **24** feet in width for the first **40** feet of Enos Lane in order to allow vehicles to enter and exit Enos Lane without causing traffic congestion on Hames Road.

The current width of Enos Lane is between **16** and **18** feet along the approximately 3,500 foot segment from Hames Road to the school entrance. The road widening along Enos Lane will involve the placement of additional paving along the existing road edge in areas where the road is currently less than 18 feet in width. Some excavation will be necessary to accommodate the new paved areas and retaining walls are proposed in some locations **to** prevent erosion of road cuts.

There are existing road bumps along the lower portion of Enos Lane which were installed for drainage purposes. These drainage bumps have been removed and two standard road bumps have been installed. Road bumps will reduce vehicle speeds to **15 MPH** and will help to alleviate safety concerns along Enos Lane. **A** stop sign is also required at the intersection of Enos Lane with private driveways, where the road turns from lower **Enos** Lane and heads up to the school.

**A** pedestrian walkway was included (fi-om Hames Road to the school entrance) in earlier submittals. Based on input from the neighborhood regarding the proposed widening, the pedestrian walkway was removed from the project plans. **As** a result of safety concerns identified during the environmental review process, a pedestrian walkway on the lower portion of Enos Lane has been required as a mitigation to improve pedestrian safety.

Additionally, the applicants have proposed to install a parking area to allow for vehicles to properly exit Enos Lane when parents are dropping off and picking up children from the school and for adequate parking during group uses at the school facility. In addition to the **36** existing parking spaces, 54 parking spaces are proposed in the new parking area. No additional structures or improvements are currently proposed to serve the increased student enrollment.

### Right of Way

Neighboring property owners on the south end of Enos Lane have questioned the legal right of the school to use Enos Lane to access their property. Their questions are in regards to the width and location of the vehicular right of way between Hames Road and the school property where it crosses certain individual parcels. In response to the neighbors' questions, County staff have reviewed the records on file with the County Recorder and Surveyor and the materials submitted.

In review of these documents it is clear that the roadway (previously Rider Road but now known as Enos Lane) was created through the preparation of a Viewer's Report in **1883** (Exhibit H), and was approved by the County Board of Supervisors as a 40 foot wide private road at that time. The applicants have provided a deed and title report which indicates that the school property has right to use the 40 foot wide right of way (Enos Lane, aka Rider Road) to access Hames Road. This information has been the basis of the issuance of prior permits on the school property and is considered as satisfactory proof of vehicular access to the school.

The question of the location of the vehicular right of way is not as clearly defined. Although a 40 foot wide right of way is of adequate width for the proposed widening and associated improvements, it is not clear as to the exact location of the 40 foot right of way. Deeds provided by the neighbors indicate a right of way, but do not specifically indicate a location. From reviewing the deeds, it appears as though the right of way referenced in earlier deeds was later recorded to reflect the road as traveled in deeds beginning in **1971**. The neighboring property owners dispute the location of the right of way depicted on the project plans (Exhibit A), which display the centerline of the 40 foot right of way as the center of the currently traveled roadway. The area of concern is where the roadway is proposed to be widened to 24 feet in width, at the intersection of Enos Lane and Hames Road. The roadway in this area **is** already in compliance with the minimum (18 foot width) requirements of the fire department and the concern of the neighbors is that further widening (and the construction of the pedestrian pathway) would occur outside of the right of way and would require the acquisition of additional easements by the school in order to construct the required improvements.

### Emergency Plan

The school has prepared an Emergency Preparedness & Evacuation Plan and submitted the plan to the Santa **Cruz** County Fire Marshall for review. The Fire Marshall has determined that the plan complies with the California Fire Code emergency plan requirements and Occupational Safety and Health Administration guidelines. The emergency plan relies upon the existing access road for evacuation purposes and no secondary access has been proposed by the school or required by the local fire agency.

## Environmental Review

Environmental review has been required for the proposed project per the requirements of the California Environmental Quality Act (CEQA). The project was reviewed by the County's Environmental Coordinator on 8/15/05 & 1/30/06. A preliminary determination to issue a Negative Declaration with Mitigations was made on 2/2/06. The mandatory public comment period expired on 2/27/06, with comments received from neighbors, outside agencies, and the applicant. Comments were reviewed and mitigations were amended to address the comments received. A revised preliminary Negative Declaration with Mitigations (Exhibit D) was issued on 10/23/06.

The environmental review process focused on the potential impacts of the project in the areas of traffic and pedestrian safety. The environmental review process generated mitigation measures that will mitigate the potential impacts from the proposed development. These mitigation measures include the installation of speed bumps, a new stop sign, a pedestrian pathway, as well as limitations on the number of vehicular trips in and out of the school facility during peak hours. Project conditions, including the requirement of a traffic management / carpool plan have been included to implement the required mitigations.

## Discussion & Analysis

This proposal requires an amendment to the prior use approvals described earlier in this report (Use Permits 75-600-U, 77-557-U, 78-323-U, 78-1539-U, and Commercial Development Permit **88-1** 105). The proposed project is a request to increase enrollment from 125 students to 250 students. Given the significant increase in proposed enrollment, and **other** changes from the previously approved uses, it is necessary to consider all of the activities on the subject property as a part of this review.

In addition to the previous approval for a 125 student school, the existing uses include residential housing (for 10-15 of the faculty and staff), a novitiate (with up to 20 candidates added to the resident number), a summer camp (for up to 90 campers, including over-night and day use), a summer school (for 20-50 students, remedial classes only), periodic retreats (for between 20 and 80 people, including overnight and day use), and school related events (including back-to school night, parent-teacher conferences, expos, plays, and commencement ceremonies). The school also serves as a location for periodic religious services and community meetings.

Project conditions have been prepared which establish limitations for the above listed uses. The intent and goal of establishing these limitations is to reduce the overall traffic volume on Enos Lane and to preserve the rural character of the surrounding neighborhood. Any development permit and conditions approved under the current application will amend and replace all prior use and development permits issued on the subject property.

## Traffic Management Plan

The primary concern related to increased enrollment is the associated increase in traffic on the existing access roadway, Enos Lane. In addition to establishing limitations on the ongoing uses at the existing school, a traffic management / carpool plan will be required to be maintained.

Under the existing compliance agreement, the school has prepared an aggressive carpool program which requires an average of between 4.24 and **4.49** students per car. A carpool program of this intensity may be difficult to maintain over an extended period. Random monitoring, performed by the school staff and by the project traffic engineer at the County's request, has occurred on up to four separate dates for each month of the current school year. The results of this monitoring show that the carpool program has been successfully implemented on the dates that the random monitoring has occurred.

In order to mitigate any possible increase in traffic volumes, a restriction on the number of vehicular trips in and out of the school facility during peak hours has been developed as a project condition. The conditions related to traffic management are directly linked to the level of enrollment at the existing school. If the school and parents are able to effectively carpool within designated limits for a set period of time, then an increase in enrollment will be allowed for another set period. If the school and parents are not able to effectively carpool within designated limits over the same time period, then a decrease in enrollment will be required for the next set period of time. As a result, if the school is unable to maintain a carpool program within the established limits, it will be necessary for the school to use buses or vanpools in order to keep the number of trips within the designated limits, or the enrollment at the school will be required to decrease until the designated limits on vehicular trips can be maintained.

The following chart details the number of trips allowed at each enrollment level:

Maximum Enrollment	Traffic Performance Criteria
Up to 125 Students	45 max. trips in and out per each 2 hour peak period (7-9 AM & 2-4 PM)
150,175,200 Students	50 max. trips in and out per each 2 hour peak period (7-9 AM & 2-4 PM)
225 Students	55 max. trips in and out per each 2 hour peak period (7-9 AM & 2-4 PM)
250 Students	60 max. trips in and out per each 2 hour peak period (7-9 AM & 2-4 PM)

The initial maximum enrollment will begin at 200 students and will increase or decrease by 25 student increments, or remain constant, depending on compliance with the traffic performance criteria (as measured by independent random monitoring at the applicants expense with review by the Planning Department) for each level of enrollment. Any potential enrollment increase or decrease will begin in the third year and will be determined based on performance through the middle of the second year, with reviews continuing at the middle of each following school year.

Vehicles which transport children to and/or from the school will be counted during each two hour peak period (7-9 AM & 2-4 PM) and no children may be dropped off before 7 AM unless arriving with a teacher or school staff. Vehicles which do not transport children to and/or from the school (teachers, staff, school residents, deliveries, etc.) and vehicles originating from Enos Lane (above or below the school) will not be counted towards the maximum number of allowed trips.

After 5 years, the final maximum enrollment for the school will be established based on a review of compliance with the traffic performance criteria by the Planning Department. Independent traffic monitoring (performed at the school's expense) will continue for as long as the school is in operation. If the performance criteria can not be met for the final maximum enrollment (after the 5th year review) enrollment will be required to decrease below the final maximum enrollment level until the performance criteria can be met.

## Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

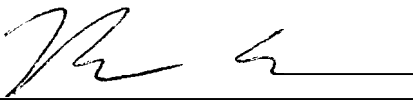
## Staff Recommendation

- Certification of the Mitigated Negative Declaration per the requirements of the California Environmental Quality Act.
- APPROVAL of Application Number **04-0384**, based on the attached findings and conditions.

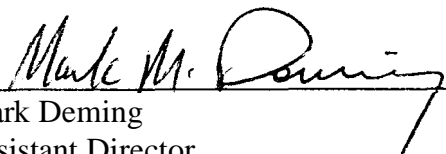
Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.co.santa-cruz.ca.us](http://www.co.santa-cruz.ca.us)

Report Prepared By: \_\_\_\_\_

  
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Santa Cruz CA 95060  
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E-mail: [randall.adams@co.santa-cruz.ca.us](mailto:randall.adams@co.santa-cruz.ca.us)

Report Reviewed By: \_\_\_\_\_

  
Mark Deming  
Assistant Director  
Santa Cruz County Planning Department

# Salesian Sisters School

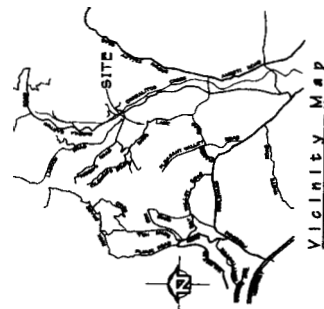
Santa Cruz County, California

### Vicinity Map

DEPARTMENT OF PUBLIC WORKS COUNTY OF SANTA CRUZ STATE OF CALIFORNIA REQUEST	APPROVAL RECOMMENDED _____ DATE _____ 1	APPROVED _____ DATE _____
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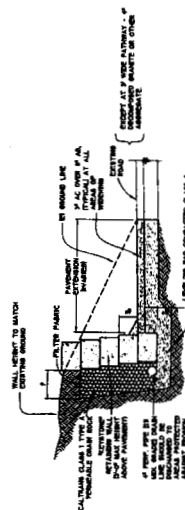
## Index of Sheets

SHEET NO.	DESCRIPTION
C1	COVER SHEET
C2	SHEET INDEX
C3	ROAD PLAN & PROFILE - STA. 0+00 TO 8+80
C4	ROAD PLAN & PROFILE - STA. 8+80 TO 17+60
C5	ROAD PLAN & PROFILE - STA. 17+60 TO 27+00
C6	ROAD PLAN & PROFILE - STA. 27+00 TO END
C7	ROAD CROSS-SECTIONS

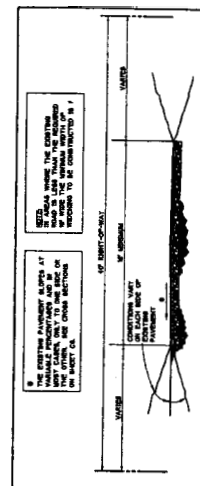


## Benchmark

ELEVATIONS ARE BASED UPON COUNTY OF SANTA CRUZ S.N. CH-3 ON TOP OF THE HEADWALL AT ENOS LANE AND HAMES ROAD - ELEVATION 470.56



"Keystone" Retaining Wall @ Road Widening Detail



Typical Road Cross Section

NO CHANGES IN THE APPROVED DEVELOPMENT PLAN SHALL BE MADE WITHOUT FIRST APPROVAL OF THE BOARD OF PUBLIC WORKS. NO LAND OR LAND USES SHALL BE PERMITTED TO BE LOCATED OR CONDUCTED IN ANY PLACE OTHER THAN THAT PLACE SPECIFICALLY APPROVED BY THE PLANNING DIRECTOR.

[illegible][illegible]

1000

THE INCREASE IN STORM RUNOFF DUE TO THE WIDENING OF THE PAVEMENT ALONG THE ROAD TO 18 FEET IS APPROXIMATELY 55 CUBIC FEET PER SECOND (CFS) (90 \* 18/2.45/60 \* 0.15). THIS RUNOFF IS NOT CONCENTRATED INTO ONE POINT OF DISCHARGE. THERE ARE NO CREEKS, STREAMS OR PONDS

THAT DIRECT ALL THE RUNOFF INTO ONE AREA. THE RUNOFF MOSTLY SHEET FLOW ACROSS THE ROAD, UNLESS DIRECTED BY WATER BARS. THERE IS NO SIGNIFICANT CONCENTRATION OF RUNOFF EXCEPT AT HANES CREEK WHERE A COLLECTOR CROSSSES THE ROAD. CONSIDERING THE 3400 LINEAL FEET OF SNOW LANE AT W. HIDE THE TOTAL IMPROVED SURFACES ARE AT LEAST 87,000 SQ. FT. (33 AC) WITH A RUNOFF OF 1000 + 0.000000331 \* 2.48 C.F.S. THIS RUNOFF IS DISPERSED IN MANY LOCATIONS ALONG THE LENGTH OF THE ROAD.

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Geotechnical Engineering Recommendations from Investigative Report  
by Bauldry Engineering, Job No. 0423-52974-J31, Dated July 12, 2004.

### EARTHWORK AND GRADING RECOMMENDATIONS

**Subgrade Preparation**  
Following the striping and placement of the base course, all existing curbs or other raised areas shall be removed to a minimum depth of 18 inches below the proposed grade. All materials exposed at the base of the excavation should be loose/fresh material. The maximum width of the excavation should be a minimum of 18 inches of compacted material below all new pavement areas, where possible.

The minimum composition requirements are outlined in the table below.

Minimum Composition Requirements		Location
Percent of Maximum Dry Density	95R	<p>§ All 500-kg/acre base and subbase in pavement areas</p> <p>§ The top 150 mm of subgrade in pavement areas</p> <p>§ The entire base, subbase, in permanent areas</p>
	90R	All remaining surface soil and fill required

The maximum dry density will be obtained from a laboratory compaction curve run in accordance with ASTM D 1557-90. The test will also establish the optimum moisture content of the material. Field density testing will be in accordance with ASTM Test Method D 1557-90.

**Measures Conditioning**  
The measures conditioning procedure should result in all with a measure content from 1 to 3 percent over optimum at the time of composition. If the sell is dry, the measure may need to be added. If grading is performed during the conditioning operation, the native soil may require a different and active drying and/or conditioning treatment to uniformly reduce the moisture content to the levels required to obtain acceptable composition. Additionally the base of excavations may require stabilization treatments prior to placement of fill sections.

Use of the native soil will require the following integration of operations and during construction and removal of the excavator and from the construction site. The excavator will be used to remove the native soil and the excavator will be used to remove the native soil and the excavator will be used to remove the native soil.

removed of organic, elastomeric material, and cobbles larger than 2 inches in size; thorough mixing and material's conditioning of approved native soil.

Impacted engineered fill material should meet the following criteria:

- granular, well graded, with sufficient binder to allow utility properties
- minimum sand equivalent of 30 and maximum wet weight of 50.

[illegible][illegible]

**Subsurface Drainage**—The steep slopes and the slope gradients assume that the soil materials is a result of precipitation penetrating the slope face, and not a result of subsurface seepage out and can distribute slopes with hydraulic pressure. All groundwater seeps encountered during the construction should be completely drained to avoid the failure of the recommended gradient. Drainage facilities may include subsurface, gravel borders, reinforced surface drains or horizontal drains. Experienced Engineer will determine the drainage facilities required during the grading operations.

Sheet C5-



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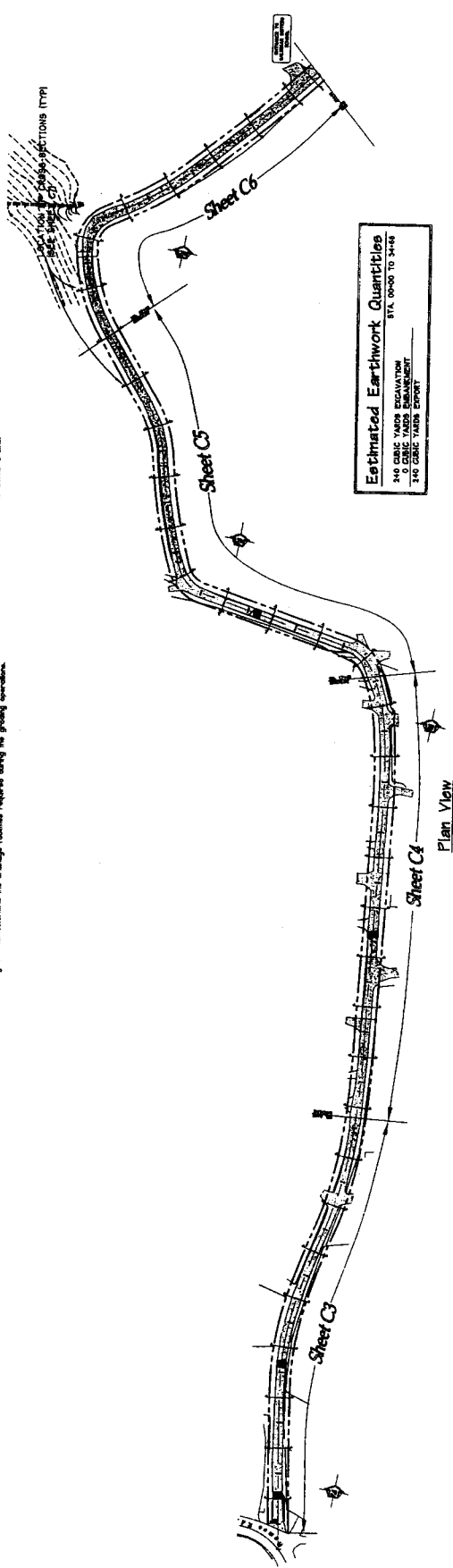


Plan View

SCALE = 1" = 100'

2" NO. 10 WELLS

Street Improvements - Sheet Index



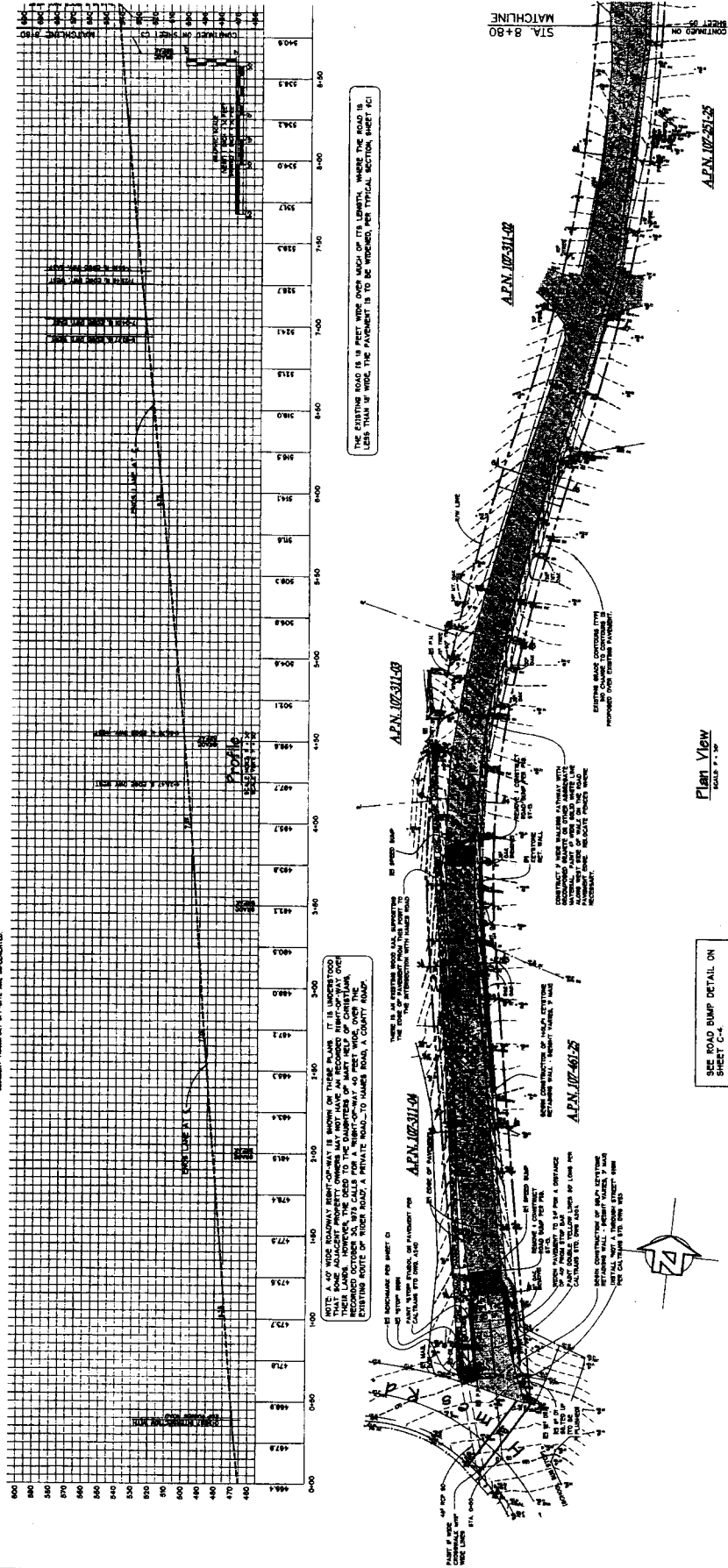
Street Improvements - Sheet Index

Estimated Earthwork Quantities	
STA. 00+00 TO 34+68	
340 CUBIC YARDS EXCAVATION	
0 CUBIC YARDS EMBANKMENT	
340 CUBIC YARDS EXPORT	

# Estimated Earthwork Quantities

MS CIRC YARD EXCAVATION  
MS CIRC YARD EXCAVATION  
MS CIRC YARD EXCAVATION

1. NO LANE CLOSURES, BARRIERS OR EXCAVATION SHALL BE DONE BETWEEN OCTOBER 1ST AND APRIL 1ST. ANY EXCAVATION FROM THE EXISTING ROAD TO THE PROPOSED ROAD SHALL BE COMPLETED BY OCTOBER 1ST. ANY EXCAVATION FROM THE PROPOSED ROAD TO THE EXISTING ROAD SHALL BE COMPLETED BY APRIL 1ST.
2. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE CONTRACTOR TO MAINTAIN THE EXISTING ROAD IN GOOD CONDITION AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN THE EXISTING ROAD IN GOOD CONDITION AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN THE EXISTING ROAD IN GOOD CONDITION AT ALL TIMES.
3. FROM THE START OF CONSTRUCTION TO THE END OF CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN THE EXISTING ROAD IN GOOD CONDITION AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN THE EXISTING ROAD IN GOOD CONDITION AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN THE EXISTING ROAD IN GOOD CONDITION AT ALL TIMES.
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5. ALL LANE CLOSURES, BARRIERS OR EXCAVATION SHALL BE COMPLETED BY OCTOBER 1ST. ANY EXCAVATION FROM THE EXISTING ROAD TO THE PROPOSED ROAD SHALL BE COMPLETED BY OCTOBER 1ST. ANY EXCAVATION FROM THE PROPOSED ROAD TO THE EXISTING ROAD SHALL BE COMPLETED BY APRIL 1ST.
6. THE CONTRACTOR SHALL MAINTAIN THE EXISTING ROAD IN GOOD CONDITION AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN THE EXISTING ROAD IN GOOD CONDITION AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN THE EXISTING ROAD IN GOOD CONDITION AT ALL TIMES.
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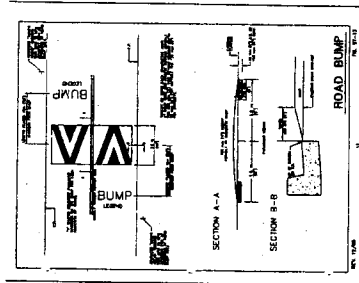
Plan View  
SCALE: 1" = 20'

SEE ROAD BUMP DETAIL ON  
SHEET C-4

Street Improvements Sta. 0+00 to 8+80

# Estimated Earthwork Quantities

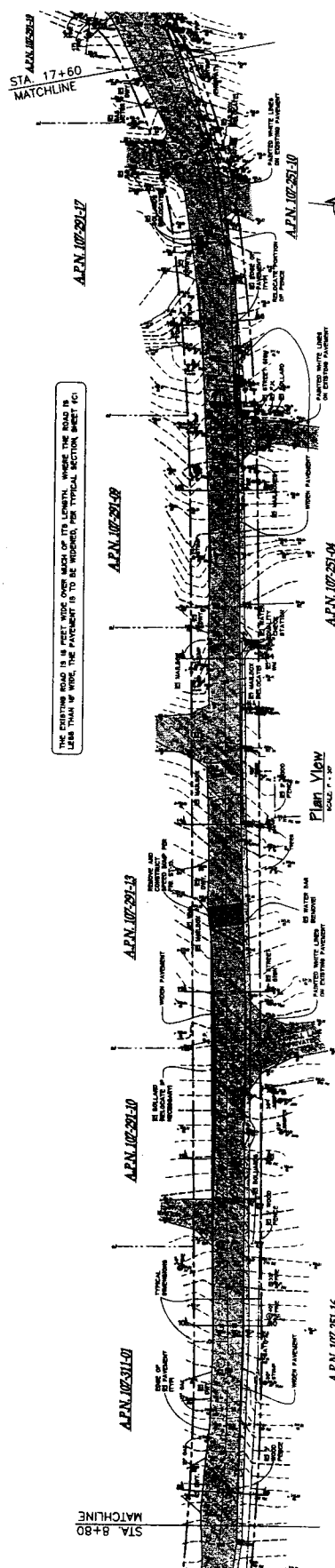
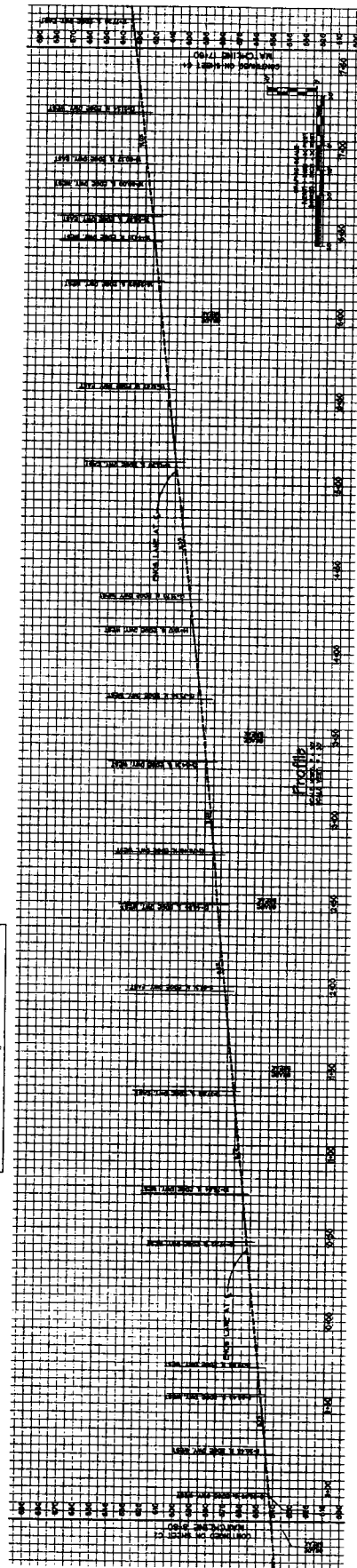
10 CIRC YARD EXCAVATION  
 10 CIRC YARD EXCAVATION  
 10 CIRC YARD EXCAVATION



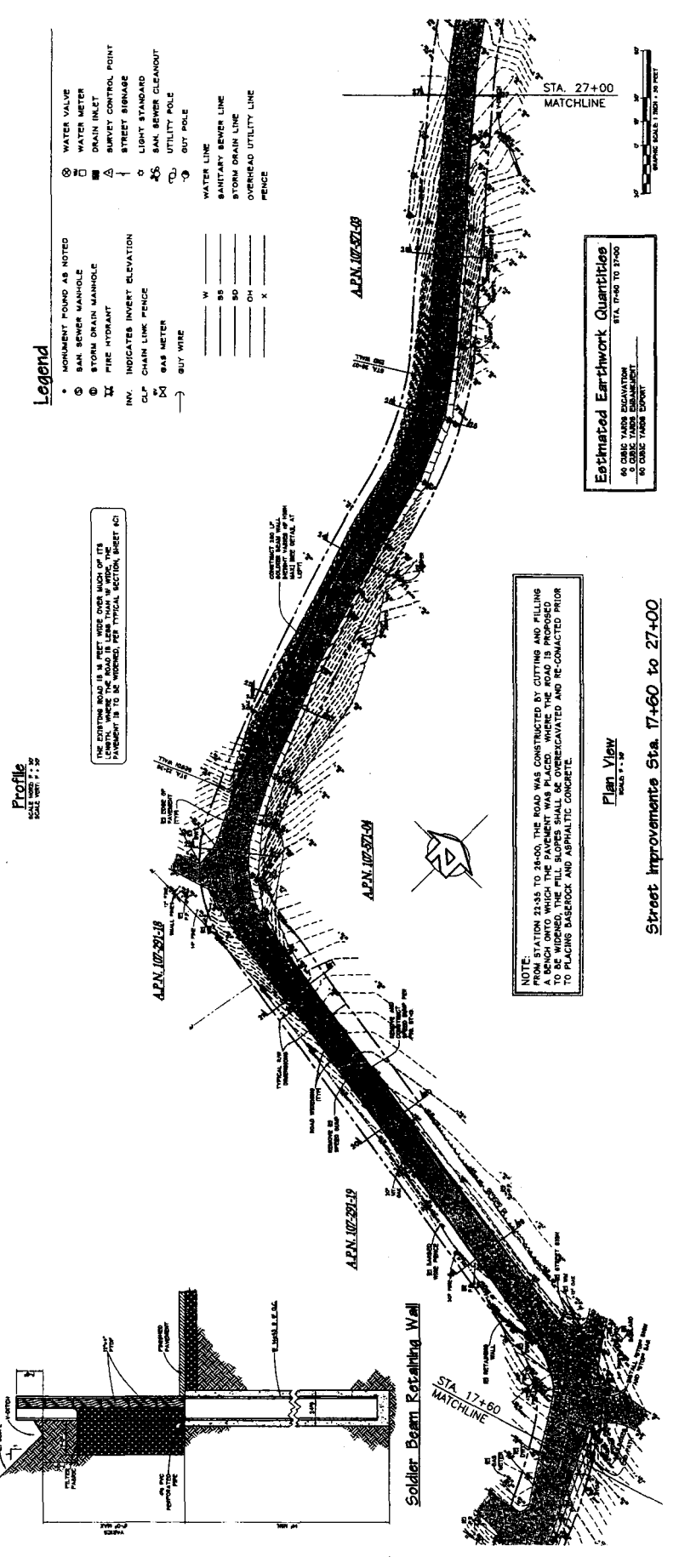
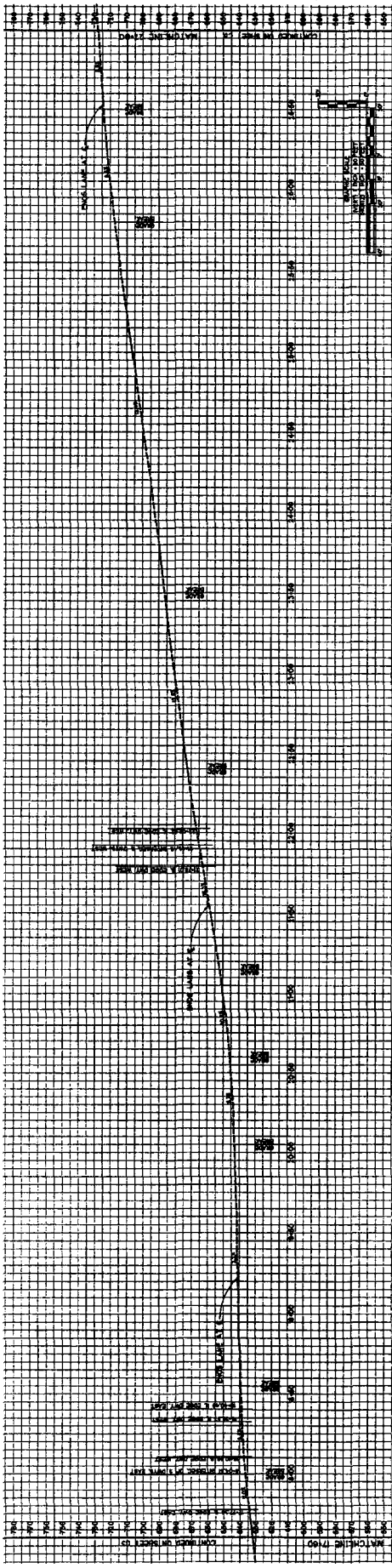
## Legend

- MONUMENT POUND AS NOTED
- BANK SEWER MANHOLE
- STORM DRAIN MANHOLE
- FIRE HYDRANT
- INDICATED INVERT ELEVATION
- CLP CHAIN LINK FENCE
- GAS METER
- GUY WIRE

- WATER VALVE
- WATER METER
- DRAIN INLET
- STREET CONTROL POINT
- LIGHT STANDARD
- BANK SEWER CLEANOUT
- UTILITY POLE
- GUY POLE
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- OVERHEAD UTILITY LINE
- FENCE

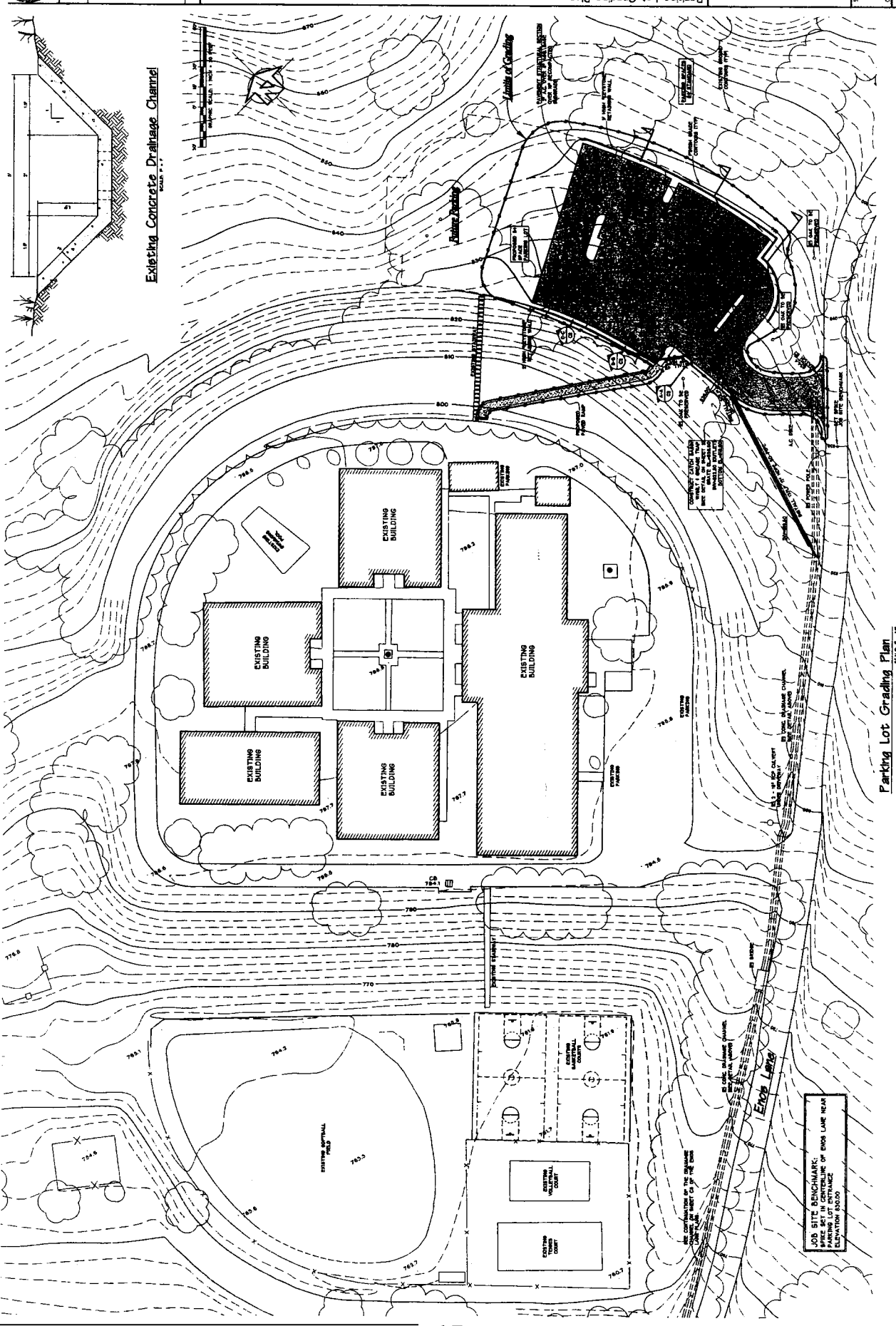


Street Improvements Sta. 8+80 to 17+60









# **Geotechnical Engineering Recommendations from Investigative Report by Baudry Engineering, Job No. 0423-SZ974-J51, Dated July 12, 2004.**

**CERTIFICATE AND READING RECOMMENDATIONS**  
The undersigned, a duly licensed Professional Engineer in the State of California, has read and examined the above-captioned report prepared by Baudry Engineering, Inc. (Baudry) dated July 12, 2004, and the same contains information which is true and correct to the best of my knowledge and belief. I hereby certify that the same contains information which is true and correct to the best of my knowledge and belief. I hereby certify that the same contains information which is true and correct to the best of my knowledge and belief.

**NOTES:** Any additional work required shall be in accordance with the requirements of the County Health Department. The strength of the soil shall be determined by the geotechnical engineer. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**1. Grading:** The site shall be graded to conform with the requirements of the County Health Department. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**2. Foundation:** The foundation shall be designed to support the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**3. Retention:** The retention wall shall be designed to support the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**4. Slope Stability:** The slope stability shall be analyzed to ensure the proposed structure is safe. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**5. Erosion Control:** Erosion control measures shall be implemented to prevent soil erosion. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**6. Drainage:** Drainage measures shall be implemented to prevent water accumulation. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**7. Vegetation:** Vegetation shall be planted to stabilize the soil. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**8. Other:** Other measures shall be implemented to ensure the proposed structure is safe. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**9. Final:** The final design shall be submitted for review. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**10. Approval:** The final design shall be approved by the County Health Department. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**11. Construction:** Construction shall be in accordance with the approved design. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**12. Completion:** Construction shall be completed within the specified time frame. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**13. Final Report:** A final report shall be submitted upon completion. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**14. Archival:** The final report shall be archived for future reference. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**15. Sign-off:** The geotechnical engineer shall sign-off on the final report. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**16. Distribution:** The final report shall be distributed to the appropriate parties. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**17. Review:** The final report shall be reviewed by the County Health Department. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**18. Approval:** The final report shall be approved by the County Health Department. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**19. Construction:** Construction shall be in accordance with the approved design. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**20. Completion:** Construction shall be completed within the specified time frame. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

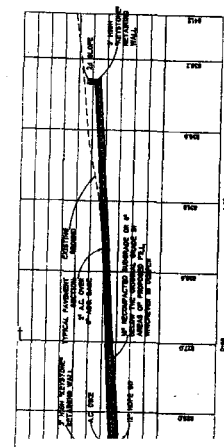
**21. Final Report:** A final report shall be submitted upon completion. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**22. Archival:** The final report shall be archived for future reference. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

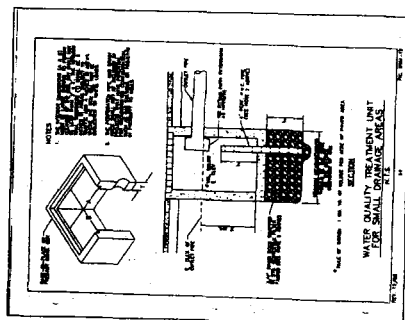
**23. Sign-off:** The geotechnical engineer shall sign-off on the final report. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

**24. Distribution:** The final report shall be distributed to the appropriate parties. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.

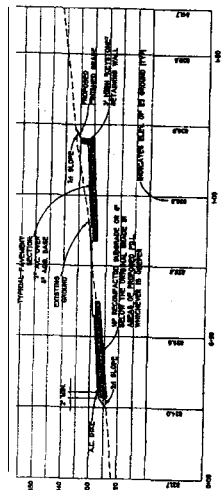
**25. Review:** The final report shall be reviewed by the County Health Department. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.



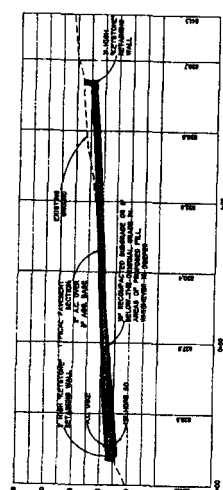
Section B-B



Section C-C



Section A-A

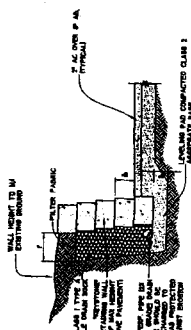


Section D-D

## **Grading Notes**

1. NO CHANGES TO THE PROPOSED GRADING SHALL BE MADE WITHOUT THE APPROVAL OF THE ENGINEER OF PUBLIC WORKS.
2. ALL GRADING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENGINEER OF PUBLIC WORKS.
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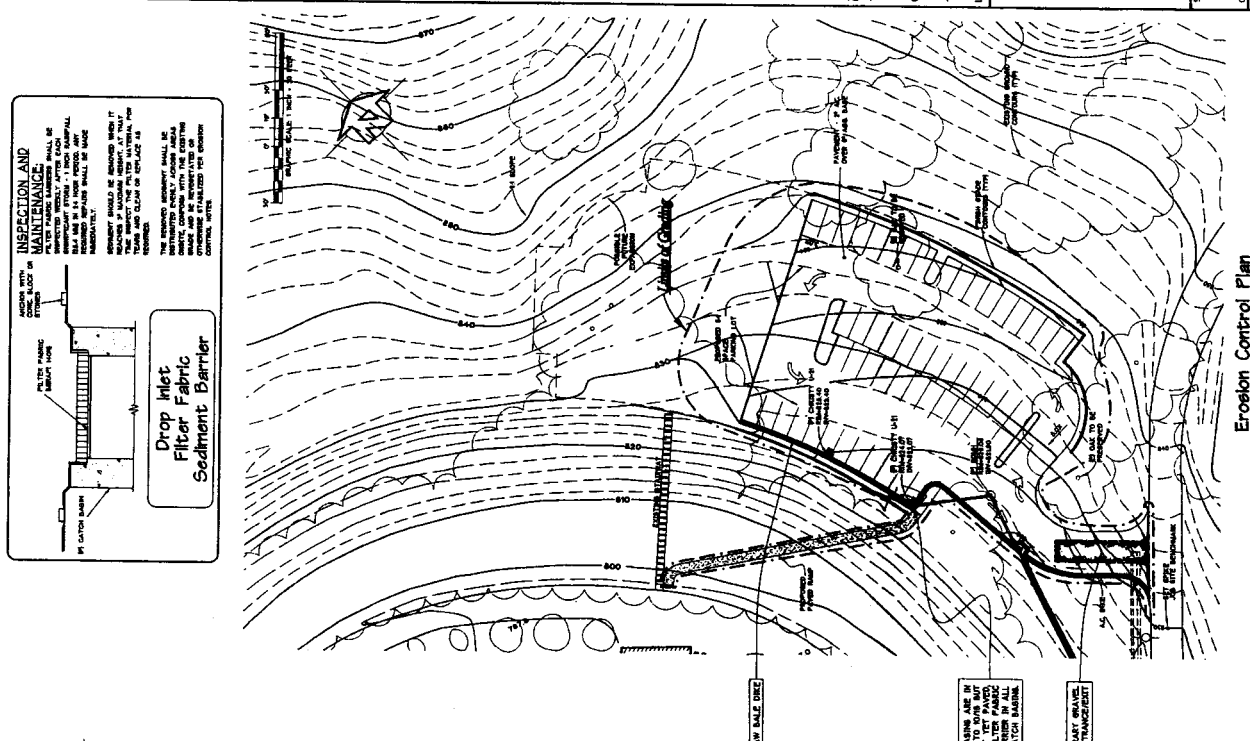
**NOTES:** The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure. The geotechnical engineer shall determine the appropriate foundation type and depth for the proposed structure.



Keynote Retaining Wall

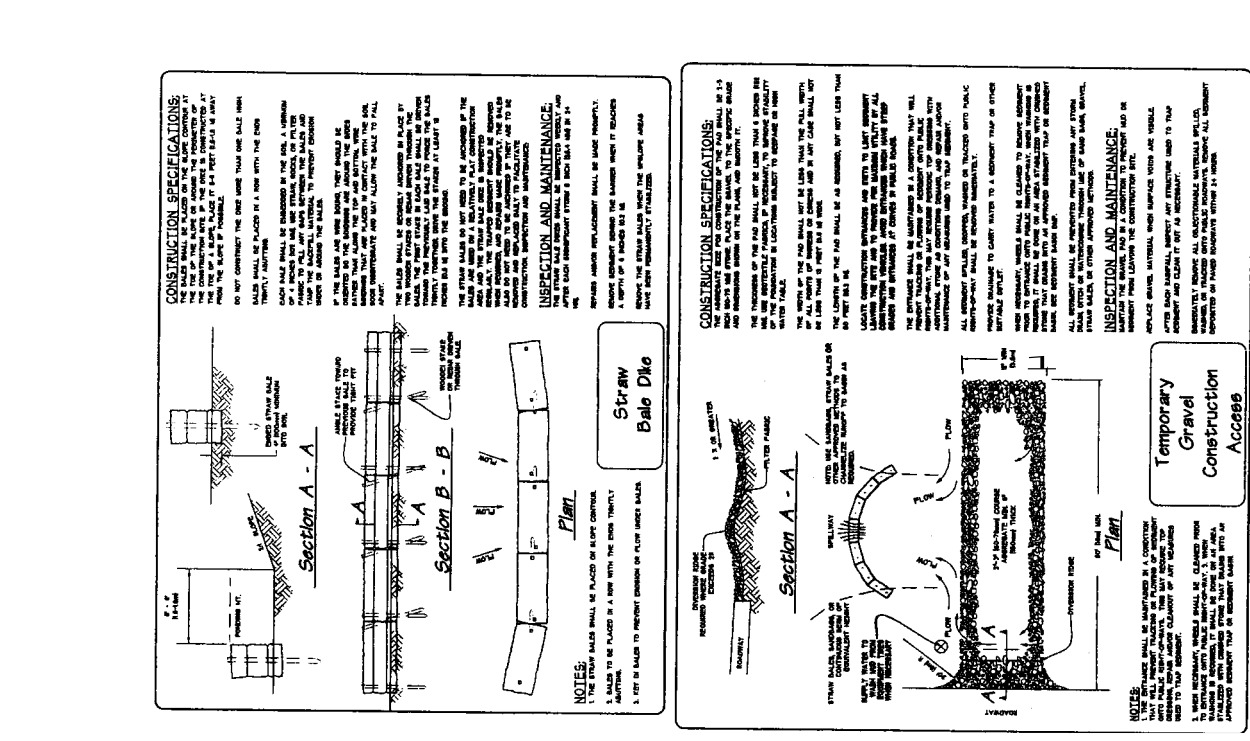
## **Notes & Cross Sections**

SCALE: 1" = 10' HORIZ. 1" = 10' VERT.



### Erosion Control Notes

1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED ACCORDING TO THE SPECIFICATIONS AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE EROSION CONTROL MEASURES SHALL BE REMOVED IMMEDIATELY AFTER CONSTRUCTION IS COMPLETED.
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10. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE EROSION CONTROL MEASURES SHALL BE REMOVED IMMEDIATELY AFTER CONSTRUCTION IS COMPLETED.



## Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated **or** maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses and the existing school is an allowed use within the zone district. Construction will comply with prevailing building technology, the Uniform Building Code, and the County Building and Grading ordinances to insure the optimum in safety and the conservation of energy and resources. Traffic improvements will be installed which will reduce vehicle speed and improve traffic safety on the access roadway, Enos Lane.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the school and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the SU (Special Use) zone district in that the primary use of the property is an existing school, which is an allowed use within the SU zone district when located within a residential General Plan designation.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the existing school is an allowed **use** within the SU (Special Use) zone district, consistent with the use requirements specified for the Mountain Residential (R-M) land use designation in the County General Plan.

The proposal is conditioned to limit traffic volumes and speeds within the rural residential Enos Lane neighborhood as specified in Policy 3.1 13.1 (Limiting Traffic Volumes), in that the required traffic management plan and traffic safety improvements will reduce overall traffic volumes associated with the school and will improve traffic safety on Enos Lane.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the traffic associated with the increased enrollment at the existing school will be subject to a traffic management plan which will limit the number of peak trips to and from the school on Enos Lane.

5. That the proposed project will complement and harmonize with the existing and proposed

land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the school is located within a rural residential neighborhood and has been in existence for over two decades. The existing school is a part of the rural residential neighborhood and the required traffic management plan will allow the existing school to operate in a compatible manner with the existing rural residential **uses** on Enos Lane by establishing limits for the intensity and volume of traffic generated by the existing school.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed improvements will not alter the visual appearance of the existing school and will not reduce or visually impact available open space in the surrounding area.

## Conditions of Approval

**Exhibit A:** Project plans "Salesian Sisters School", 10 sheets, prepared by fland Engineers, dated 3/28/05 & 10/14/05.

- I. This permit authorizes the continued operation of an existing school, summer camp, and associated uses within allowed limits as described in further detail below. This permit amends and replaces Commercial Development Permits 75-600-U, 77-557-U, 78-323-U, 78-1**539-U**, and **88-1** 105. All conditions of the prior permits are replaced by the conditions for this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the **applicant/owner** shall:
  - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Pay the required fee to the Clerk of the Board of the County of Santa Cruz for posting the Negative Declaration as required by the California Department **of** Fish and Game mitigation fees program.
  - C. Obtain a Grading Permit from the Santa Cruz County Planning Department.
  - D. Obtain **a** Building Permit from the Santa Cruz County Building Official, if required, for retaining walls and site improvements.
  - E. Obtain an Encroachment Permit from the Department **of** Public Works for all off-site work performed in the County road right-of-way.
- II. Prior to issuance of a Grading and/or Building Permit the **applicant/owner** shall:
  - A. Submit proof that these conditions have been recorded in the official records of the County of Santa **Cruz (Office of the County Recorder)**.
  - B. Submit final engineering plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. Any changes from the approved Exhibit "A" for this development permit on the plans submitted for the Grading and/or Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Grading and/or Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
    1. Engineered improvement plans for all on-site and off-site improvements prepared, wet-stamped, and signed by a licensed civil engineer.
      - a. The access roadway shall be widened to **a** minimum width of 18 feet between Hames road and the school entrance. Enos Lane shall

be further widened to **24** feet in width for the first **40** feet from the intersection with Hames Road.

- b. Road bumps shall be installed on the lower portion of Enos Lane (between Hames Road and station 17+00). Road bumps shall be designed to limit vehicle speed to 15 MPH along this section of Enos Lane. A minimum of three road bumps are required in order to limit speeds to 15 MPH.
  - c. **A** pedestrian pathway, a minimum of **3** feet in width, shall be installed on the east side of the lower portion of Enos Lane (between Hames Road and station 17+75). The path shall be separated from the roadway a solid white line (or landscaping, if separated from the roadway by over **3** feet) and surfaced with decomposed granite or other aggregate material.
  - d. Provide a survey with the accurate location of the vehicular right of way of Enos Lane relative to existing and proposed site improvements and adjacent property boundaries.
  - e. Delete the proposed crosswalk across Hames Road at the intersection with Enos Lane.
2. Grading, drainage, and erosion control plans, that are prepared, wet-stamped, and signed by a licensed civil engineer. Grading and drainage plans must include estimated earthwork, cross sections through all improvements, existing and proposed cut and fill areas, existing and proposed walls, drainage facilities, and details of devices such as back drains, culverts, energy dissipaters, detention pipes, etc.
- a. Air Quality: In order to ensure that the one hour air quality threshold for the pollutant acrolein is not exceeded during grading and paving, prior to the issuance of the grading permit, the applicant shall modify the grading plans to include notes incorporating the construction conditions given by the Monterey Bay Air Pollution Control District (MBAPCD) as follows:
    - i All pre- 1994 diesel equipment shall be retrofitted with EPA certified diesel oxidation catalysts or all such equipment shall be fueled with B99 diesel fuel;
    - ii Applicant shall retain receipts for purchases of catalysts or b99 diesel fuel until completion of the project;
    - iii Applicant shall allow MBAPCD to inspect receipts and equipment throughout the project.

- iv Alternatively, the applicant may submit a health risk assessment to the MBAPCD for review and approval. Any recommendations and requirements of the MBAPCD will become conditions of constructing the project.
- 3. A parking plan, showing all existing and proposed parking on the subject property.
  - a. Standard parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way.
  - b. All applicable accessibility requirements must be met in the existing and proposed parking areas.
- 4. Details showing compliance with fire department requirements, including all requirements of the Urban Wildland Intermix Code, if applicable.
  - a. The access roadway shall be widened to a minimum width of **18** feet for vehicular and emergency vehicle access.
  - b. The loop roadway around the existing school facility shall be marked as a fire lane, clearly marked as a no parking area to allow free movement of fire equipment around the school buildings.
- 5. Groundwater Recharge: In order to ensure that loss of area for groundwater recharge is less than significant, the applicant shall submit a detailed groundwater recharge plan for review and approval by the Department of Public Works drainage staff and Planning staff. The plan shall provide for recharge, on the subject property, of runoff from the new paved parking area (after it has passed through a silt and grease filter) and also runoff from the sections of Enos Lane that are widened, where the latter is feasible. The plan shall show infrastructure for directing and spreading runoff and measures to prevent erosion at outlets, and shall include calculations quantifying the expected runoff and demonstrating that there is no net loss of recharge capacity as a result of the parking surfacing. The plan shall be accompanied by a letter of approval by the project soil engineer. The plan shall also indicate where excess fill is being placed in order to prevent conflicts with recharge goals.
- 6. Show replacement trees to be located at a 3:1 ratio for all trees removed due to road widening, construction of the parking lot, and other improvements.
- 7. A site plan showing all of the existing buildings on the school campus must be provided which clearly indicates the total number and location of existing residential facilities (including bedrooms and food preparation facilities).

- C. Submit four copies of the approved Discretionary Permit with the Conditions of Approval attached. The Conditions of Approval shall be recorded prior to submittal, if applicable.
  - D. Meet all requirements of and pay Zone 7 drainage fees to the County Department of Public Works, Drainage. Drainage fees will be assessed on the net increase in impervious area.
  - E. Obtain an Environmental Health Clearance for this project from the County Department of Environmental Health Services.
    - 1. All required septic upgrades must be installed within 1 year from the effective date of this permit.
  - F. Meet all requirements and pay any applicable plan check fee of the California Department of Forestry/County Fire.
  - G. Submit 3 copies of a plan review letter prepared and stamped by a licensed Geotechnical Engineer.
111. All construction shall be performed according to the approved plans for the Grading Permit and/or Building Permit. The applicant/owner must meet the following conditions during construction of the project:
- A. Improvements must be installed within the following timeframes:
    - 1. Road bumps must be installed within 90 days from the effective date of this permit.
    - 2. Road widening must occur within 6 months from the effective date of this permit.
    - 3. The new parking lot, the pedestrian pathway, and all other required improvements must be installed within 1 year from the effective date of this permit.
  - B. All work adjacent to or within a County road shall be subject to the provisions of Chapter 9.70 of the County Code, including obtaining an encroachment permit where required. Where feasible, all improvements adjacent to or affecting a County road shall be coordinated with any planned County-sponsored construction on that road. Obtain an Encroachment Permit from the Department of Public Works for any work performed in the public right of way. All work shall be consistent with the Department of Public Works Design Criteria unless otherwise specifically excepted by these conditions of approval.
  - C. No land clearing, grading or excavating shall take place between October 15 and

April 15 unless the Planning Director approves a separate winter erosion-control plan that may or may not be granted.

- D. To minimize noise, dust and nuisance impacts to surrounding properties during construction, the owner/applicant shall or shall have the project contractor, comply with the following measures during all construction work:
1. Limit all construction to the time between 8:00 am and 5:00 pm weekdays unless a temporary exception to this time restriction is approved in advance by the Santa Cruz County Planning Department to address an emergency situation; and
  2. Each day it does not rain, wet all exposed soil frequently enough to prevent significant amounts of dust from leaving the site.
  3. The applicant shall designate a disturbance coordinator and a 24-hour contact number shall be conspicuously posted on the job site. The disturbance coordinator shall record the name, phone number, and nature of all complaints received regarding the construction site. The disturbance coordinator shall investigate complaints and take remedial action, if necessary, within **24** hours of receipt of the complaint or inquiry.
- E. Water Quality: To prevent project drainage discharges from carrying silt, grease, and other contaminants, the applicant shall install silt and grease traps according to the approved plans. The traps shall be maintained by the owners according to the following monitoring and maintenance schedule:
1. The traps shall be inspected to determine if they need cleaning or repair prior to October 15 each year, at a minimum interval of once per year;
  2. A brief annual report shall be prepared by the trap inspector at the conclusion of each October inspection and submitted to the Drainage Section of the Department of Public Works within 5 days of inspection. This monitoring report shall specify any repairs that have been done or that are needed to allow the trap to function adequately.
- F. Prior to final inspection, the applicant/owner must meet the following conditions:
1. All site improvements shown on the final approved Grading Permit and/or Building Permit plans shall be installed.
  2. All inspections required by the Grading and/or Building permit shall be completed to the satisfaction of the County Building Official and Planning Department staff.
  3. The project must comply with all recommendations of the approved soils reports.

- G.** Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.

**IV. Operational Conditions**

- A. Master Occupancy Program (School):** Given the location of the project with respect to existing residential uses, any change of use request will require an amendment to this permit. Only the uses listed below are allowed at the school facility:

Private School: A private school (Kindergarten through 8th grade years only) with an enrollment level based on the performance standards listed below (Condition IV.B) is authorized by this permit. Instruction at the school may not begin before 8 AM and the drop off of students more than one hour before this time is not allowed. Any change in the scheduling of the school which causes instruction to begin prior to 8 AM is not authorized by this permit.

School Related Meetings and Events: Are allowed in conjunction with the private school use. Parent meetings, parent teacher conferences, back to school night, plays, and other events which occur while classes are not in session are allowed without a restriction on total number of vehicle trips. Carpooling is recommended for individuals attending these school related meetings and events.

School related events that occur during regular school hours (grandparents day, parents breakfast, kinder promotion, etc.) are allowed, at a maximum of 8 events per year, without a restriction on total number of vehicle trips. No more than 8 school related events that occur during regular school hours are allowed during any one regular school year.

No sporting events (other than regular practice by Salesian school students) are allowed at the school facility.

Prior to the start of each regular school year, the school must submit to the Santa Cruz Planning Department a calendar that indicates the dates and times of each of the planned school related events.

Summer Camp & Remedial Classes: A summer camp and remedial classes (summer school) outside of the regular school year are authorized based on the following limitations: The total number of campers (both day and overnight) is limited to no more than 90 campers at the school facility at any one time. The

total number of day campers and/or remedial class students is limited to no more than 60 total (day campers and/or remedial class students). Carpooling or busing is required for day campers and/or remedial class students to reduce traffic, with a maximum of 45 school related vehicle trips in and out (90 total trips) of the school facility during any continuous two hour period between 7:30 AM and 5:30 PM.

Retreats: Up to four weekend retreats for a maximum of **60** people at each retreat are authorized by this permit for each one year period. Up to eight one day retreats (occurring only on weekend days) for a maximum of **90** people at each retreat are authorized by this permit for each one year period. Carpooling or busing is recommended for individuals and groups attending the retreats.

Community Meetings: Community meetings are allowed at the school facilities outside of regular school hours. The use of the school facilities for community meetings does not include the renting of the facilities for conferences or other commercial activities.

Religious Services and Prayer Groups: Religious services are allowed at the school facility. Carpooling is recommended for individuals attending religious services and prayer groups.

Residents: The use of the school facility for residential purposes is allowed with all of the residents living as a family unit (sharing cooking facilities and common areas). The construction of additional independent residential units is not authorized by this permit.

Novitiate: The use of the school facility as a novitiate is authorized by this permit. The total number of novices residing on site will be limited by the residential facilities on the project site.

**The following additional restrictions apply to all uses:**

Parking: Parking must occur in approved spaces, and may not at any time block access to the structures or turn-around areas for emergency equipment. Parking for all events shall comply with the approved parking plan and the recommendations of the approved traffic studies.

Scheduling: Uses (school, meetings, events, services, retreats, etc.) can not be scheduled in an overlapping manner which will result in a combined parking demand that can not be met on the project site.

- B. **Enrollment**: Enrollment at the existing school during the regular school year (not including summer remedial classes or summer camp) will be limited by the following:

The initial maximum enrollment will begin at 200 students and will increase or

decrease by 25 student increments, or remain constant, depending on compliance with the traffic performance criteria (as measured by independent random monitoring, at the school's expense, with review by the Planning Department) for each level of enrollment. Any potential enrollment increase or decrease will begin in the third year and will be determined by the Planning Department based on compliance with the traffic performance criteria through the middle of the second year, with reviews continuing at the middle of each following school year. 250 students is the maximum enrollment level that could be allowed at the school based on compliance with the traffic performance criteria.

No enrollment increase will be allowed until all required road improvements (speed bumps, road widening, and pedestrian pathway) have been installed.

Traffic Performance Criteria (the number of **trips** allowed at each enrollment level):

Maximum Enrollment	Traffic Performance Criteria
Up to 125 Students	45 max. trips in and out (90 total trips) per each 2 hour peak period (7-9 AM & 2-4 PM)
150, 175, or 200 Students	50 max. trips in and out (100 total trips) per each 2 hour peak period (7-9 AM & 2-4 PM)
225 Students	55 max. trips in and out (110 total trips) per each 2 hour peak period (7-9 AM & 2-4 PM)
250 Students	60 max. trips in and out (120 total trips) per each 2 hour peak period (7-9 AM & 2-4 PM)

Compliance with Traffic Performance Criteria: Vehicles which transport children to and/or from the school will be counted during each two hour peak period (7-9 AM & 2-4 PM) and no children may be dropped off before 7 AM unless arriving with a teacher or school staff. Vehicles which do not transport children to and/or from the school (teachers, staff, school residents, deliveries, etc.) and vehicles originating from Enos Lane (above or below the school) will not be counted towards the maximum number of allowed trips.

5th Year Review: At the midpoint of the fifth regular school year after approval of this permit, the final maximum enrollment for the school will be established. This will be based on a review of compliance with the performance criteria by the Santa Cruz County Planning Department. The maximum enrollment for the school will be based on the compliance with the performance criteria for the years leading **up** to this review. This review will be performed in addition to the annual reviews leading up to the fifth year. The results of the fifth year review will be heard before the Planning Commission on the consent agenda, and the final maximum enrollment will be determined by the Planning Commission at that time. Annual reporting of traffic counts (performed at the school's expense) will be required each year (per Condition IV.C) up to the fifth year review. Adherence to the performance criteria after the fifth year review is required, and reductions in enrollment will be required if compliance with the performance criteria can not be met. The schedule for continued independent traffic monitoring (performed at the school's expense) will be determined at the fifth year review.

**Enrollment List:** Prior to the start of each regular school year, the school must submit to the Santa Cruz Planning Department a list of all of the students to be enrolled at the school, and displays the total enrollment for the following school year.

**Failure to Comply:** Failure to reduce enrollment when required, or to comply with the required performance criteria at the established level of enrollment, or to supply enrollment information or traffic reports, will be a violation of the terms of this permit. Operating the school at a higher level of enrollment than is authorized by these conditions, or at a higher volume **of** traffic than is allowed for the level of enrollment, is a violation of the terms of this permit. Any violation of the terms of this permit may result in permit revocation.

C. **Traffic Management & Reporting:** A Traffic Management Plan is required for all enrollment levels for the school during the regular school year, subject to the following requirements:

1. Prior to the start of each school year, but after the enrollment level has been established, **a** carpoolhusing plan must be provided to the Santa Cruz County Planning Department which indicates the total number of vehicles and the number of children assigned to each vehicle.
  - a. Carpools may not meet or be formed on Enos Lane or at the intersection of Hames Road and Enos Lane, unless the vehicles originate from Enos Lane (or other roadways directly connected to Enos Lane north of the Hames Road intersection).
2. Reporting of random traffic counts at regular intervals (at the midpoint of each school year) performed at the school's expense by an independent third party traffic consultant (overseen by a licensed traffic engineer) must be provided to the Santa Cruz County Planning Department on an annual basis.
  - a. The school must agree to allow the County of Santa Cruz Planning Department to contract, at the school's expense, with an independent third party traffic consulting firm to perform random traffic counts at the school facility.
    - i A positive at cost account balance with the County of Santa Cruz Planning Department must be maintained by the school, with sufficient funds to allow payments to the traffic consulting firm throughout the contract period and to account for Planning Department staff time.
  - b. Random, unannounced traffic counts are required during the AM peak (7 AM to 9 AM) and PM peak (2 PM to 4 PM) periods

throughout the regular school year.

- C Traffic counts must occur on a minimum of two days per full month that the school is in regular session, up to the fifth year review. The schedule and frequency of continued monitoring (after the fifth year) will be determined at the fifth year review and may be modified at a later date.
    - i Dates will be selected by Planning Department staff and provided to the independent third party traffic consulting firm, who will perform the traffic counts.
  - d. Reports must be submitted by the independent third party traffic consultant directly to the Santa Cruz County Planning Department at the midpoint of each regular school year.
  - e. Additional traffic counts and associated reports may be required by the Santa Cruz County Planning Department at the school's expense, for as long as the school facility is in operation, in order to ensure compliance with permit conditions.
  - f. Compliance with the performance criteria specified under Condition IV.A (Operational Conditions - Enrollment) will be determined based on the traffic counts in the reports submitted and not on other sources of information provided by the school administration or the general public.
  - g. Failure to provide adequate and accurate traffic counts performed by an independent third party traffic consultant will be considered as a lack of compliance with the conditions of this permit and non-compliance for the performance criteria specified under Condition IV.A (Operational Conditions - Enrollment).
3. School Related Vehicle Trips: Vehicles which carry children to and/or from the school facility are considered as school related vehicle trips, with the exception of Enos Lane resident vehicles.
- a. Enos Lane Residents: Vehicles with children originating from Enos Lane (or other roadways directly connected to Enos Lane north of the Hames Road intersection) will not be counted towards the maximum number of allowed trips. These vehicles must be clearly designated as vehicles of Enos Lane origin and each student traveling in an Enos Lane vehicle must be accounted for in the enrollment list and carpooling plan for each school year.
4. Non-Peak and Non-School Related Vehicle Trips: Due to the common occurrence of illness, doctor's appointments, and other unforeseen

circumstances, children which need to be driven to and from school between peak hours are not subject to carpool requirements. Dropping off children prior to the AM peak is not allowed (unless arriving in a vehicle of a teacher or staff person who does not reside at the school facility). Any vehicles bringing children to the school prior to the AM peak will be counted towards the maximum number of trips for the AM peak.

- a. Residents of the school facility (sisters, novices, etc.) may leave and enter the facility without being counted as school related vehicle trips, unless these vehicles are transporting children to and/or from the school facility.
- b. Delivery and service vehicles may leave and enter the facility without being counted as school related vehicle trips, unless these vehicles are transporting children to and/or from the school facility.

V. Road Maintenance: If a road maintenance association (or agreement) is formed, the school will be obligated to participate in the road maintenance equal to extent of their usage of Enos Lane.

VI. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

VII. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.

A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.

B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:

1. COUNTY bears its own attorney's fees and costs; and

2. COUNTY defends the action in good faith.

- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor'(s) in interest, transferee(s), and assign(s) of the applicant.

#### VIII. Mitigation Monitoring Program

The mitigation measures listed under this heading have been incorporated into the conditions of approval for this project in order to mitigate or avoid significant effects on the environment. As required by Section 21081.6 of the California Public Resources Code, a monitoring and reporting program for the above mitigations is hereby adopted as a condition of approval for this project. This monitoring program is specifically described following each mitigation measure listed below. The purpose of this monitoring is to ensure compliance with the environmental mitigations during project implementation and operation. Failure to comply with the conditions of approval, including the terms of the adopted monitoring program, may result in permit revocation pursuant to Section 18.10.462 of the Santa Cruz County Code.

- A. Mitigation Measure: Groundwater Recharge (Condition II.B.5)

Monitoring Program: In order to ensure that loss of area for groundwater recharge is less than significant, the applicant shall submit a detailed groundwater recharge plan for review and approval by the Department of Public Works drainage staff and Planning staff. The plan shall provide for recharge, on the subject property, of runoff from the new paved parking area (after it has passed through a silt and grease filter) and also runoff from the sections of Enos Lane that are widened, where the latter is feasible. The plan shall show infrastructure for directing and spreading runoff and measures to prevent erosion at outlets, and shall include calculations quantifying the expected runoff and demonstrating that there is no net loss of recharge capacity as a result of the parking surfacing. The plan shall be accompanied by a letter of approval by the project soil engineer. The plan shall also indicate where excess fill is being placed in order to prevent conflicts with recharge goals.

- B. Mitigation Measure: Water Quality (Condition III.E)

Monitoring Program: To prevent project drainage discharges from carrying silt, grease, and other contaminants, the applicant shall install silt and grease traps according to the approved plans. The traps shall be maintained by the owners according to the following monitoring and maintenance schedule:

1. The traps shall be inspected to determine if they need cleaning or repair prior to October 15 each year, at a minimum interval of once per year;
2. A brief annual report shall be prepared by the trap inspector at the conclusion of each October inspection and submitted to the Drainage Section of the Department of Public Works within 5 days of inspection. This monitoring report shall specify any repairs that have been done or that are needed to allow the trap to function adequately.

C. Mitigation Measure: Traffic Safety (Conditions II.B. 1, IV.A & IV.C)

Monitoring Program: To prevent traffic from creating and/or exacerbating traffic hazards to vehicles and pedestrians:

1. The school administrators shall submit a transportation management plan, which will effectively limit the total number of vehicles going in and out during the morning and afternoon peak periods to the baseline amount, 45 - 60 cars representing a total of 90 - 120 trips during the peak times. This management may be accomplished by carpooling, staggering class and assembly times, vanpooling, busing, multi modal transport, managing enrollment, etc. The plan shall include monitoring that incorporates periodic unannounced traffic counts by the project traffic engineer to verify that the goal is being met.
2. In addition to implementing the proposed widening of Enos Lane, the applicant shall submit for review and approval a road plan prepared by the project traffic engineer that shows the following: installation of speed bumps that are designed and spaced to limit traffic to 15 MPH, a stop sign and warning sign at the curve at station 18+00 as recommended in the letter of Higgins Associates, December 15, 2005, and a defined walking path on the east side of Enos Lane between Hames and station 17+75 (Jfland Engineers, sheets C2 and C4). The walking path shall be three feet wide, separated from the roadway by a solid white line and surfaced with decomposed granite or other aggregate material. The road plan shall be implemented prior to final approval of any of the other physical improvements and prior to any increase in enrollment.

D. Mitigation Measure: Air Quality (Condition II.B.2.a)

Monitoring Program: In order to ensure that the one hour air quality threshold for the pollutant acrolein is not exceeded during grading and paving, prior to the issuance of the grading permit, the applicant shall modify the grading plans to include notes incorporating the construction conditions given by the Monterey Bay Air Pollution Control District (MBAPCD) as follows:

1. All pre-1994 diesel equipment shall be retrofitted with EPA certified

- diesel oxidation catalysts or all such equipment shall be fueled with B99 diesel fuel;
2. Applicant shall retain receipts for purchases of catalysts or b99 diesel fuel until completion of the project;
  3. Applicant shall allow MBAPCD to inspect receipts and equipment throughout the project.
  4. Alternatively, the applicant may submit a health **risk** assessment to the MBAPCD for review and approval. Any recommendations and requirements of the MBAPCD will become conditions of constructing the project.

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Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

**Please note: This permit expires on the expiration date listed below unless you obtain the required permits and commence construction.**

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

\_\_\_\_\_  
**Mark Deming**  
Assistant Director

\_\_\_\_\_  
Randall Adams  
Project Planner

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Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Planning Commission, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa **Cruz** County Code.

**Mitigated Negative Declaration  
(CEQA Determination)**

**Application Number 04-0384  
Planning Commission Hearing  
3/28/07**



# COUNTY OF SANTA CRUZ

## PLANNING DEPARTMENT

701 OCEAN STREET, 4<sup>TH</sup> FLOOR, SANTA CRUZ, CA 95060  
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123

**TOM BURNS, PLANNING DIRECTOR**

### NEGATIVE DECLARATION AND NOTICE OF DETERMINATION

**Application Number: 04-0384**

**Strategic Construction Management, for  
Daughters of Mary Help of Christians**

Proposal to increase the enrollment at an existing school from 125 students to 250 students, to widen Enos Lane in several locations from the intersection of Hames Road to the entrance of the existing school, and to construct a new parking area with 54 spaces northeast of the existing school. Enos Lane **will** be widened by one to three feet in discontinuous sections totaling 3,500 feet. Project includes approximately 2400 cubic yards of grading and requires an amendment to use permits 75-600-U, 77-557-U, 78-323-U, 78-1539-U, and Commercial Development Permit 88-1 105, a Preliminary Grading Approval, Soils Report Review, exception to road width standards and an Archaeological Site Review. The subject property is located at 605 Enos Lane in Corralitos, California.

**APN: 107-571-01**

**Randall Adams, Staff Planner**

**Zone District: SU (Special Use)**

**ACTION: Negative Declaration with Mitigations**

**REVIEW PERIOD ENDS : February 27, 2006**

**This project will be considered at a public hearing by the Planning Commission. The time, date and location have not been set. When scheduling does occur, these items will be included in all public bearing notices for the project.**

#### Findings:

This project, if conditioned to comply with required mitigation measures or conditions shown below, will not have significant effect on the environment. The expected environmental impacts of the project are documented in the Initial Study on this project attached to the original of this notice on file with the Planning Department, County of Santa Cruz, 701 Ocean Street, Santa Cruz, California.

#### Required Mitigation Measures or Conditions:

☐ None  
☒ Are Attached

Review Period Ends February 27, 2006

Date Approved By Environmental Coordinator October 23, 2006

  
KEN HART  
Environmental Coordinator  
(831) 454-3127

If this project is approved, complete and file this notice with the Clerk of the Board:

#### NOTICE OF DETERMINATION

The Final Approval of This Project was Granted by \_\_\_\_\_

on \_\_\_\_\_. No EIR was prepared under CEQA.

THE PROJECT WAS DETERMINED TO NOT HAVE SIGNIFICANT EFFECT ON THE ENVIRONMENT.

Date completed notice filed with Clerk of the Board: — \_\_\_\_\_

**CALIFORNIA DEPARTMENT OF FISH AND GAME**

**CERTIFICATE OF FEE EXEMPTION**

**De minimis Impact Finding**

**Project Title/Location (Santa Cruz County):**

**Application Number: 04-0384**

**Strategic Construction Management, for  
Daughters of Mary Help of Christians**

Proposal to increase the enrollment at an existing school from 125 students to 250 students, to widen Enos Lane in several locations from the intersection of Hames Road to the entrance of the existing school, and to construct a new parking area with 54 spaces northeast of the existing school. Enos Lane will be widened by one to three feet in discontinuous sections totaling 3,500 feet. Project includes approximately 2400 cubic yards of grading and requires an amendment to use permits 75-600-U, 77-557-U, 78-323-U, 78-1539-U, and Commercial Development Permit 88-1105, a Preliminary Grading Approval, Soils Report Review, exception to road width standards and an Archaeological Site Review. The subject property is located at 605 Enos Lane in Corralitos, California.

**APN: 107-571-01**

**Randall Adams, Staff Planner**

**Zone District: SU (Special Use)**

**Findings of Exemption (attach as necessary):**

An Initial Study has been prepared for this project by the County Planning Department according to the provisions of CEQA. This analysis shows that the project will not create any potential for adverse environmental effects on wildlife resources.

**Certification:**

I hereby certify that the public agency has made the above finding and that the project will not individually or cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the Fish and Game Code.




**KEN HART**  
Environmental Coordinator for  
Tom Burns, Planning Director  
County of Santa Cruz

Date: 10 / 3-3 / 06

**MEMORANDUM**

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Date: February 7, 2007  
To: Randall Adams, File  
From: Paia Levine   
Re: Modification to Mitigation Measures. APP #04-0384

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As part of a group of mitigation measures intended to prevent traffic associated with this project from exacerbating traffic hazards pedestrians, Mitigation measure #3(b) required a cross walk at the intersection of Enos Lane and Hames Road. The purpose was to provide safe passage for children from the afternoon school bus stop on the far side of Hames Road to the walking path on Enos Lane. We have since determined that the crosswalk is both not necessary, and not feasible.

In the morning the school bus picks up children at the base of Enos Lane, right where the walking path will end. In the afternoon, the bus crosses over so that elementary children are dropped off in the same location. The middle and high school children do have to cross Hames Road in the afternoon, however the bus stops, operates blinking lights and signs, and the driver acts as a crossing guard. Given these safeguards for the pedestrians, additional traffic does not represent a significant impact.

In addition, a crosswalk at this location on a hill and a curve would create a traffic hazard and a false sense of security for pedestrians. The County Traffic engineer recommends against formalizing a crosswalk at this intersection.

NAME: Strategic Construction for Daughters of Mary Help for Christians  
APPLICATION: 04-0384  
A.P.N: 105-571-01  
DATE: ~~October 16, 2006~~  
February 7, 2007

**RE E DECLARATION MITIGATIONS**

1. In order to ensure that loss of area for groundwater recharge is less than significant, prior to scheduling the public hearing the applicant shall submit a detailed groundwater recharge plan for review and approval by the Department of Public Works drainage staff and Planning staff. The plan shall provide for recharge, on the subject property, of runoff from the new paved parking area (after it has passed through a silt and grease filter) and also runoff from the sections of Enos Lane that are widened, where the latter is feasible. The plan shall show infrastructure for directing and spreading runoff and measures to prevent erosion at outlets, and shall include calculations quantifying the expected runoff and demonstrating that there is no net loss of recharge capacity as a result of the parking surfacing. The plan shall be accompanied by a letter of approval by the project soil engineer. The plan shall also indicate where excess fill is being placed in order to prevent conflicts with recharge goals.
2. To prevent project drainage discharges from carrying silt, grease, and other contaminants, the applicant shall install a silt and grease traps according to the approved plans. The traps shall be maintained by the owners according to the following monitoring and maintenance schedule:
  - a. The traps shall be inspected to determine if they need cleaning or repair prior to October 15 each year, at a minimum interval of once per year;
  - b. A brief annual report shall be prepared by the trap inspector at the conclusion of each October inspection and submitted to the Drainage Section of the Department of Public Works within 5 days of inspection. This monitoring report shall specify any repairs that have been done or that are needed to allow the trap to function adequately.
3. To prevent traffic from creating and/or exacerbating traffic hazards to vehicles and pedestrians:
  - a. The school administrators shall submit a transportation management plan for review and approval prior to public hearing, which will effectively limit the total number of vehicles going in and out during the morning and afternoon peak periods to the baseline amount, 45 – 60 cars representing a total of -90 -120 trips during the peak times. This management may be accomplished by carpooling, staggering class and assembly times, vanpooling, busing, multi modal transport, managing enrollment, etc. The plan shall include monitoring that incorporates periodic unannounced traffic counts by the project traffic engineer to verify that the goal is being met.
  - b. In addition to implementing the proposed widening of Enos Lane, prior to public

hearing, the applicant shall submit for review and approval a road plan prepared by the project traffic engineer that shows the following: installation of speed bumps that are designed and spaced to limit traffic to 15 MPH, a stop sign and warning sign at the curve at station 18+00 as recommended in the letter of Higgins Associates, December 15, 2005, ~~a cross walk at the intersection of Enos Lane and Hames to facilitate pedestrian movement from the public school bus stop,~~ and a defined walking path on the east side of Enos Lane between Hames and station 17+75 (Ifland Engineers, sheets C2 and **C4**). The walking path shall be three feet wide, separated from the roadway by a solid white line and surfaced with decomposed granite or other aggregate material. The road plan shall be implemented prior to final approval of any of the other physical improvements and prior to any increase in enrollment.

4. In order to ensure that the one hour air quality threshold for the pollutant acrolein is not exceeded during grading and paving, prior to the issuance of the grading permit, the applicant shall modify the grading plans to include notes incorporating the construction conditions given by the Monterey Bay Air Pollution Control District (MBAPCD) as follows:
- a. All pre-1994 diesel equipment shall be retrofitted with EPA certified diesel oxidation catalysts *or* all such equipment shall be fueled with B99 diesel fuel;
  - b. Applicant shall retain receipts for purchases of catalysts or b99 diesel fuel until completion of the project;
  - c. Applicant shall allow MBAPCD to inspect receipts and equipment throughout the project.

Alternatively, the applicant may submit a health risk assessment to the MBAPCD for review and approval. Any recommendations and requirements of the MBAPCD will become conditions of constructing the project.



# COUNTY OF SANTA CRUZ

## PLANNING DEPARTMENT

701 OCEAN STREET, 4<sup>TH</sup> FLOOR, SANTA CRUZ, CA 95060  
(831) 454-2580 FAX: (831) 454-2131 TDD (831) 454-2123

TOM BURNS, PLANNING DIRECTOR

## NOTICE OF ENVIRONMENTAL REVIEW PERIOD

### SANTA CRUZ COUNTY

APPLICANT: Strategic Construction Management, for Daughters of Mary Help of Christians

APPLICATION NO.: 04-0384

APN: 107-571-01

The Environmental Coordinator has reviewed the Initial Study for your application and made the following preliminary determination:

XX Negative Declaration  
(Your project will not have a significant impact on the environment.)

XX Mitigations will be attached to the Negative Declaration.

       No mitigations will be attached.

       Environmental Impact Report  
(Your project may have a significant effect on the environment. An EIR must be prepared to address the potential impacts.)

As part of the environmental review process required by the California Environmental Quality Act (CEQA), this is your opportunity to respond to the preliminary determination before it is finalized. Please contact Paia Levine, Environmental Coordinator at (831) 454-3178, if you wish to comment on the preliminary determination. Written comments will be received until 5:00 p.m. on the last day of the review period.

Review Period Ends: **February 27, 2006**

Randall Adams

Staff Planner

Phone: 454-3218

Date: 1-31-06



# Environmental Review Initial Study

Application Number: **04-0384**

Date: 10/16//06

Staff Planner: Randall Adams

Revised from 01/30/06

## **I. OVERVIEW AND ENVIRONMENTAL DETERMINATION**

**APPLICANT:** Strategic Construction Management.

**APN:** 107-571-01

**OWNER:** Daughters of Mary Help of Christians

**SUPERVISORAL DISTRICT:** 2

**LOCATION:**

Subject property located at 605 Enos Lane in Corralitos, with road widening proposed from the intersection of Enos Lane with Hames Road to the entrance of the existing school.

### **SUMMARY PROJECT DESCRIPTION:**

Proposal to increase the enrollment at an existing school from 125 students to 250 students, to widen Enos Lane in several locations from the intersection of Hames Road to the entrance of the existing school, and to construct a new parking area with **54** spaces northeast of the existing school. Enos Lane will be widened by one to three feet in discontinuous sections totaling **3,466** feet. The project includes consideration of an overall program statement describing the various uses at the school. Project requires an amendment to existing use permits, preliminary grading approval, soils report, and archaeological site review.

**ALL OF THE FOLLOWING POTENTIAL ENVIRONMENTAL IMPACTS ARE EVALUATED IN THIS INITIAL STUDY. CATEGORIES THAT ARE MARKED HAVE BEEN ANALYZED IN GREATER DETAIL BASED ON PROJECT SPECIFIC INFORMATION.**

<input checked="" type="checkbox"/> Geology/Soils	<input type="checkbox"/> Noise
<input checked="" type="checkbox"/> Hydrology/Water Supply/Water Quality	<input type="checkbox"/> Air Quality
<input checked="" type="checkbox"/> Biological Resources	<input checked="" type="checkbox"/> Public Services & Utilities
<input type="checkbox"/> Energy & Natural Resources	<input checked="" type="checkbox"/> Land Use, Population & Housing
<input type="checkbox"/> Visual Resources & Aesthetics	<input type="checkbox"/> Cumulative Impacts
<input checked="" type="checkbox"/> Cultural Resources	<input type="checkbox"/> Growth Inducement
<input type="checkbox"/> Hazards & Hazardous Materials	<input type="checkbox"/> Mandatory Findings of Significance
<input checked="" type="checkbox"/> Transportation/Traffic	

County of Santa Cruz Planning Department  
701 Ocean Street, 4<sup>th</sup> Floor, Santa Cruz CA 95060

**DISCRETIONARY APPROVAL(S) BEING CONSIDERED**

<input type="checkbox"/> General Plan Amendment	<input checked="" type="checkbox"/> Grading Permit
<input type="checkbox"/> Land Division	<input type="checkbox"/> Riparian Exception
<input type="checkbox"/> Rezoning	<input type="checkbox"/> Other:
<input checked="" type="checkbox"/> Development Permit	<input type="checkbox"/>
<input type="checkbox"/> Coastal Development Permit	<input type="checkbox"/>

**NON-LOCAL APPROVALS**

Other agencies that must issue permits or authorizations:

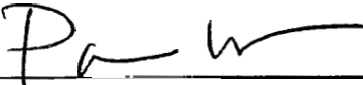
**ENVIRONMENTAL REVIEW ACTION**

On the basis of this Initial Study and supporting documents:

☐ I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.

☒ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the attached mitigation measures have been added to the project. A MITIGATED NEGATIVE DECLARATION will be prepared.

☐ I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

  
\_\_\_\_\_  
Paia Levine

10-23-06  
\_\_\_\_\_  
Date

For: Ken Hart  
Environmental Coordinator

## II. BACKGROUND INFORMATION

### EXISTING SITE CONDITIONS

Parcel Size: 55.83 acres

Existing Land Use: Salesian Sisters School

Vegetation: Grasses and small shrubs

Slope in area affected by project:   X   0 - 30%        31 - 100%

Nearby Watercourses: Corralitos Creek (approx. 3,000 ft. from project site)

Unnamed tributary of Corralitos Creek (approx. 1,000 ft. from project site)

### ENVIRONMENTAL RESOURCES AND CONSTRAINTS

Groundwater Supply: Adequate

Water Supply Watershed: None Mapped

Groundwater Recharge: Mapped Primary

Groundwater Recharge Area

Timber or Mineral: None Mapped

Agricultural Resource: None Mapped

Biologically Sensitive Habitat: None Mapped

Fire Hazard: Mapped Critical Fire Hazard Area -  
away from project site.

Floodplain: None Mapped

Erosion: Low Potential

Landslide: None Mapped

Liquefaction: Low Potential

Fault Zone: Mapped County Fault  
Zone - away from project site.

Scenic: None Mapped

Historic: None Mapped

Archaeology: Mapped

Archaeological Resource

Noise Constraint: None

Electric Power Lines: None

Solar Access: N/A

Solar Orientation: N/A

Hazardous Materials: None

### SERVICES

Fire Protection: CDF/County Fire

School District: Pajaro Valley

Sewage Disposal: Septic

Drainage District: Zone 7

Project Access: Enos Lane

Water Supply: City of Watsonville

### PLANNING POLICIES

Zone District: **SU** (Special Use)

General Plan: R-M (Mountain Residential)

Urban Services Line:        Inside

Coastal Zone:        Inside

Special Designation: None

  X   Outside

  X   Outside

## **PROJECT SETTING AND BACKGROUND:**

The subject property is located in a rural residential neighborhood and is accessed via Enos Lane in Corralitos. The property has been used as a private school since the 1970s and is developed with existing structures and improvements which are consistent with the school use. Much of the approximately 56 acre parcel is not developed and contains low shrubs, grass, and trees.

The school use was authorized by use permits 75-600-U, 77-557-U, 78-323-U, 78-1539-U, and Commercial Development Permit 88-1105. The total number of students authorized by these permits is limited to 125 students as a condition of the original approvals. The school enrollment has been exceeding this limit for an unknown period of time. This application seeks to formalize the enrollment increase for **up** to 250 students. The permit will also specify the extra curricular activities, summer and special events that happen in conjunction with the academic program.

## **DETAILED PROJECT DESCRIPTION:**

The proposed project includes a request to increase enrollment from 125 students to 250 students. As a component of this proposal the applicants have been required by the local fire agency to widen the existing access roadway (Enos Lane - a private road) to a minimum of 18 feet in width. This requirement by the fire agency will be applied to any application that would increase the number of students above 125 or the number of car trips above those associated with 125 students. A total length of 3446 feet will be widened by between one to three feet. Additionally, the applicants have proposed to install a parking area to allow for vehicles to properly exit Enos Lane when parents are dropping off and picking up children from the school. Fifty four spaces are proposed to accommodate parking demand associated with daily school as well as extra curricular activities and special events as specified in the application. No additional structures or improvements are currently proposed to serve the increased student enrollment.

The road widening along Enos Lane will involve the placement of additional paving along the existing road edge. Some excavation will be necessary to accommodate the new paved areas and retaining walls are proposed in some locations. Approximately 144 cubic yards of earth are proposed to be removed for the road widening and two trees will be removed. Additional grading and paving will occur for the proposed parking area to the northeast of the existing school and one tree will be removed. Approximately 650 cubic yards of earth will be moved to create the parking lot site. Excess fill, approximately 210 cubic yards, will be spread on the gentle slope below the existing school.

The existing school operates several extra-curricular activities including a novitiates program, a summer camp (both day and overnight), summer remedial classes, periodic retreats, periodic parent-teacher conferences, and school community events. The

school also serves as a location for periodic religious services, retreats, and community meetings. A full listing of these extra curricular activities is included as Attachment 14.

This proposal requires an amendment to Commercial Development Permits 75-600-U, 77-557-U, 78-323-U, 78-1539-U, and 88-1105, a Preliminary Grading Approval, a Soils Report Review, and an Archaeological Site Review.

### III. ENVIRONMENTAL REVIEW CHECKLIST

#### A. Geology and Soils

Does the project have the potential to:

1. Expose people or structures to potential adverse effects, including the risk of material loss, injury, or death involving:

- A. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or as identified by other substantial evidence?

\_\_\_\_\_ X

- B. Seismic ground shaking?

\_\_\_\_\_ X

- C. Seismic-related ground failure, including liquefaction?

\_\_\_\_\_ X

- D. Landslides?

\_\_\_\_\_ X

All of Santa Cruz County is subject to some hazard from earthquakes. The subject property is located partially within a County mapped fault zone, but the existing school is located at least 300 feet away from the mapped fault zone and no new structures (other than small retaining walls) are proposed as a component of this application.

2. Subject people or improvements to damage from soil instability as a result of on- or off-site landslide, lateral spreading, to subsidence, liquefaction, or structural collapse?

\_\_\_\_\_ X

A geotechnical investigation for the proposed project was performed by Bauldry Engineering, dated 7/04 (Attachment 7). The report evaluated the proposed road widening and parking lot improvements and concluded that geotechnical hazards can

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
-----------------------------------------------------------	-----------------------------------------------------------------	---------------------------------------------	-------------------

be adequately mitigated through the removal of organic topsoil and areas of existing fill material, adequate compaction, placement of engineered fill, limitations on slope height and gradient, and adequate subsurface drainage.

3. Develop land with a slope exceeding 30%?

\_\_\_\_\_ X \_\_\_\_\_

There are slopes that exceed 30% on the property. However, no improvements are proposed on slopes in excess of 30%.

4. Result in soil erosion or the substantial loss of topsoil?

\_\_\_\_\_ X \_\_\_\_\_

Some potential for erosion exists during the construction phase of the project, however, this potential is minimal because standard erosion controls are a required condition of the project. Prior to approval of a grading or building permit, the project must have an approved Erosion Control Plan, which will specify detailed erosion and sedimentation control measures. The plan will include provisions for disturbed areas to be planted with ground cover and to be maintained to minimize surface erosion. Further, the project will be conditioned to comply with measures to control fugitive dust, as specified in the comment letter of Jean Getchell, Monterey Bay Air Pollution Control District. Attachment 15, on file at the Planning Department.

5. Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code(1994), creating substantial risks to property?

\_\_\_\_\_ X \_\_\_\_\_

The geotechnical report for the project did not identify any elevated risk associated with expansive soils.

6. Place sewage disposal systems in areas dependent upon soils incapable of adequately supporting the use of septic tanks, leach fields, or alternative waste water disposal systems?

\_\_\_\_\_ X \_\_\_\_\_

The proposed project will use an onsite sewage disposal system, and County Environmental Health Services has determined that site conditions are appropriate to support such a system. The original septic approval was for a capacity of up to 250 students. Future septic upgrades may require enhanced treatment facilities.

7. Result in coastal cliff erosion?

\_\_\_\_\_ X \_\_\_\_\_

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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## **B. Hydrology, Water Supply and Water Quality**

Does the project have the potential to:

1. Place development within a 100-year flood hazard area?

X

According to the Federal Emergency Management Agency (FEMA) National Flood Insurance Rate Map, dated April 15, 1986, no portion of the project site lies within a 100-year flood hazard area.

2. Place development within the floodway resulting in impedance or redirection of flood flows?

X

According to the Federal Emergency Management Agency (FEMA) National Flood Insurance Rate Map, dated April 15, 1986, no portion of the project site lies within a 100-year flood hazard area.

3. Be inundated by a seiche or tsunami?

X

4. Deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit, or a significant contribution to an existing net deficit in available supply, or a significant lowering of the local groundwater table?

X

The project will obtain water from the City of Watsonville water district and will not rely on private well water. Although the project will incrementally increase water demand, the City of Watsonville has indicated that adequate supplies are available to serve the project (Attachment 9). The project will be required to include a drainage plan which will allow for recharge of storm water runoff from the new impervious surfaces. There is ample undeveloped space in which to accommodate recharge.

5. Degrade a public or private water supply? (Including the contribution of urban contaminants, nutrient enrichments, or other agricultural chemicals or seawater intrusion).

X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
-----------------------------------------------------------	-----------------------------------------------------------------	---------------------------------------------	-------------------

Runoff from this project may contain small amounts of chemicals and other household contaminants. No commercial or industrial activities are proposed that would contribute a significant amount of contaminants to a public or private water supply. Potential sedimentation from the proposed project will be mitigated through implementation of erosion control measures. Silt and grease traps in the proposed parking area and a plan for maintenance will be required to reduce this impact to a less than significant level.

6. Degrade septic system functioning? \_\_\_\_\_ X \_\_\_\_\_

There is no indication that existing septic systems in the vicinity would be affected by the project.

7. Alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner which could result in flooding, erosion, or siltation on or off-site? \_\_\_\_\_ X \_\_\_\_\_

The proposed project is not located near any watercourses, and will not alter the existing overall drainage pattern of the site.

8. Create or contribute runoff which would exceed the capacity of existing or planned storm water drainage systems, or create additional source(s) of polluted runoff? \_\_\_\_\_ X \_\_\_\_\_

A drainage plan and storm water drainage improvements will be required to maximize groundwater recharge and therefore only limited amounts of increased runoff are expected. All runoff from the parking lot will be filtered prior to recharge.

9. Contribute to flood levels or erosion in natural water courses by discharges of newly collected runoff? \_\_\_\_\_ X \_\_\_\_\_

See response B-8.

10. Otherwise substantially degrade water supply or quality? \_\_\_\_\_ X \_\_\_\_\_

Silt and grease traps for the proposed parking area, and a plan for maintenance, will be required to minimize the effects of urban pollutants.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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### **C. Biological Resources**

Does the project have the potential to:

1. Have an adverse effect on any species identified as a candidate, sensitive, or special status species, in local or regional plans, policies, or regulations, or by the California Department of Fish and Game, or **U.S.** Fish and Wildlife Service?

\_\_\_\_\_ X \_\_\_\_\_

According to the California Natural Diversity Data Base (CNDDDB), maintained by the California Department of Fish and Game, there are no known special status plant or animal species in the site vicinity, and there were no special status species observed in the project area.

2. Have an adverse effect on a sensitive biotic community (riparian corridor), wetland, native grassland, special forests, intertidal zone, etc.)?

\_\_\_\_\_ X \_\_\_\_\_

There are no mapped or designated sensitive biotic communities on or adjacent to the project site.

3. Interfere with the movement of any native resident or migratory fish or wildlife species, or with established native resident or migratory wildlife corridors, or impede the use of native or migratory wildlife nursery sites?

\_\_\_\_\_ X \_\_\_\_\_

The proposed project does not involve any activities that would interfere with the movements or migrations of fish or wildlife, or impede use of a known wildlife nursery site. The only physical changes proposed are a new parking lot and limited road widening.

4. Produce nighttime lighting that will illuminate animal habitats?

\_\_\_\_\_ X \_\_\_\_\_

5. Make a significant contribution to the reduction of the number of species of plants or animals?

\_\_\_\_\_

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
-----------------------------------------------------------	-----------------------------------------------------------------	---------------------------------------------	-------------------

6. Conflict with any local policies or ordinances protecting biological resources (such as the Significant Tree Protection Ordinance, Sensitive Habitat Ordinance, provisions of the Design Review ordinance protecting trees with trunk sizes of 6 inch diameters or greater)?

\_\_\_\_\_ X \_\_\_\_\_

Three mature, native trees in excess of 6 inches in diameter are proposed for removal for the construction of the parking area and roadway improvements. These removals will not conflict with any local policies or ordinances. A project condition will require replacement with native species at 3:1 on the property and a plan for maintenance.

7. Conflict with the provisions of an adopted Habitat Conservation Plan, Biotic Conservation Easement, or other approved local, regional, or state habitat conservation plan?

\_\_\_\_\_ X \_\_\_\_\_

#### **D. Energy and Natural Resources**

Does the project have the potential to:

1. Affect or be affected by land designated as "Timber Resources" by the General Plan?

\_\_\_\_\_ X \_\_\_\_\_

The project is adjacent to land designated as Timber Resource. However, the project will not affect the resource or access to harvest the resource in the future.

2. Affect or be affected by lands currently utilized for agriculture, or designated in the General Plan for agricultural use?

\_\_\_\_\_ X \_\_\_\_\_

3. Encourage activities that result in the use of large amounts of fuel, water, or energy, or use of these in a wasteful manner?

\_\_\_\_\_ X \_\_\_\_\_

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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4. Have a substantial effect on the potential use, extraction, or depletion of a natural resource (i.e., minerals or energy resources)?

_____	_____	_____	X
-------	-------	-------	---

### **E. Visual Resources and Aesthetics**

Does the project have the potential to:

1. Have an adverse effect on a scenic resource, including visual obstruction of that resource?

_____	_____	_____	X
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2. Substantially damage scenic resources, within a designated scenic corridor or public view shed area including, but not limited to, trees, rock outcroppings, and historic buildings?

_____	_____	_____	X
-------	-------	-------	---

3. Degrade the existing visual character or quality of the site and its surroundings, including substantial change in topography or ground surface relief features, and/or development on a ridge line?

_____	_____	X	_____
-------	-------	---	-------

The physical changes consist of a new 54 car parking lot and limited road widening. The topography of the project site will not be significantly altered and the project will not result in a significant impact to visual resources in the project area.

4. Create a new source of light or glare which would adversely affect day or nighttime views in the area?  
No new exterior lighting is proposed.

_____	_____	_____	X
-------	-------	-------	---

5. Destroy, cover, or modify any unique geologic or physical feature?

_____	_____	_____	X
-------	-------	-------	---

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
-----------------------------------------------------------	-----------------------------------------------------------------	---------------------------------------------	-------------------

## **F. Cultural Resources**

Does the project have the potential to:

- |    |                                                                                                                |       |       |              |              |
|----|----------------------------------------------------------------------------------------------------------------|-------|-------|--------------|--------------|
| 1. | Cause an adverse change in the significance of a historical resource as defined in CEQA Guidelines 15064.5?    | _____ | _____ | _____        | <u>  X  </u> |
| 2. | Cause an adverse change in the significance of an archaeological resource pursuant to CEQA Guidelines 15064.5? | _____ | _____ | <u>  X  </u> | _____        |

According to the Santa Cruz County Archeological Society site assessment, dated 9/15/04 (Attachment 8), there is no evidence of pre-historic cultural resources. However, pursuant to Section 16.40.040 of the Santa Cruz County Code, if archeological resources are uncovered during construction, the responsible persons shall immediately cease and desist from all further site excavation and comply with the notification procedures given in County Code Chapter 16.40.040.

- |    |                                                                                   |       |       |              |       |
|----|-----------------------------------------------------------------------------------|-------|-------|--------------|-------|
| 3. | Disturb any human remains, including those interred outside of formal cemeteries? | _____ | _____ | <u>  X  </u> | _____ |
|----|-----------------------------------------------------------------------------------|-------|-------|--------------|-------|

Pursuant to Section 16.40.040 of the Santa Cruz County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this project, human remains are discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the sheriff-coroner and the Planning Director. If the coroner determines that the remains are not of recent origin, a full archeological report shall be prepared and representatives of the local Native California Indian group shall be contacted. Disturbance shall not resume until the significance of the archeological resource is determined and appropriate mitigations to preserve the resource on the site are established.

- |    |                                                                           |       |       |       |              |
|----|---------------------------------------------------------------------------|-------|-------|-------|--------------|
| 4. | Directly or indirectly destroy a unique paleontological resource or site? | _____ | _____ | _____ | <u>  X  </u> |
|----|---------------------------------------------------------------------------|-------|-------|-------|--------------|

## **G. Hazards and Hazardous Materials**

Does the project have the potential to:

- |    |                                    |       |       |       |              |
|----|------------------------------------|-------|-------|-------|--------------|
| 1. | Create a significant hazard to the | _____ | _____ | _____ | <u>  X  </u> |
|----|------------------------------------|-------|-------|-------|--------------|

	Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
public or the environment as a result of the routine transport, storage, use, or disposal of hazardous materials, not including gasoline or other motor fuels?	_____	_____	_____	_____
2. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	_____	_____	_____	X
3. Create a safety hazard for people residing or working in the project area as a result of dangers from aircraft using a public or private airport located within two miles of the project site?	_____	_____	_____	X
4. Expose people to electro-magnetic fields associated with electrical transmission lines?	_____	_____	_____	X
5. Create a potential fire hazard?	_____	_____	_____	X
The project will not create a fire hazard. Note that an emergency response plan has been filed with, and accepted by, the local fire agency. The plan deals with emergency events including fire. See Attachment 13, letter of Loreen Borelli, Deputy Fire Marshal.				
6. Release bio-engineered organisms or chemicals into the air outside of project buildings?	_____	_____	_____	X

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
-----------------------------------------------------------	-----------------------------------------------------------------	---------------------------------------------	-------------------

## H. Does the project have the potential to:

Does the project have the potential to:

1. Cause an increase in traffic that is substantial in relation to the existing traffic load and capacity of the street system (i.e., substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?

X

This question refers to the number of increased trips that are expected to be generated by the additional students and staff, and any extracurricular activities, relative to the amount of existing traffic and the capacity of the road system. According to the traffic studies performed by Higgins Associates, dated 8/6/04 & 12/2/04 (Attachment IO), the project, at 250 students, will not create an increase in traffic on nearby roads and intersections that will drop the Level of Service of any intersection below D, which is the minimally acceptable level identified in the County General Plan. This is the case regardless of the number of students in each car.

However, for this project the most useful approach to understanding the impact of the additional trips is not the typical discussion about the capacity of the road network, which is measured in terms of level of service (LOS) at the affected intersection, Hames and Enos, or the performance of the intersection measured in wait time. This is because in the rural environment the overall amount of traffic on a small private road, especially averaged over a time period, does not describe the conditions on the road as they are experienced now or how the conditions may change with the additional trips. In this setting there is a fundamental tension between the school land use and the rural, very low density residential use. A relatively low absolute number of cars, particularly if they arrive/depart in a short period of time or if they drive quickly through the neighborhood, is a noticeable change in a slow paced, less car centered environment.

It is important to note that the baseline condition for this analysis is the number of cars and trips generated by the school with an enrollment of 125 students, the current permitted number of students. That enrollment was achieved in 1979-1980. No traffic counts exist to document the number of cars or trips 125 students and staff generated at that time and therefore there is no single, confirmed data point that accurately states the baseline number of vehicles or number of trips. It is possible however, to look at the available information about the car pooling goals for 1979 and typical car occupancy at that time, and approximate, within a range, a reasonable baseline.

There is a car pool plan submitted by the church for 1979, which anticipated the students would arrive, on average, at 2.38 students per car. Assuming that plan was implemented, the number of vehicles associated with the morning drop off, the peak

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
-----------------------------------------------------------	-----------------------------------------------------------------	---------------------------------------------	-------------------

time for traffic, would have been approximately 52. Accounting for staff trips will increase this number. Accounting for more children in each vehicle will decrease this number. A reasonable range for the baseline, from the available information, is 45 to 60 vehicles, which is the carpool goal with a margin of error of 15%. Traffic counts done in April 2004, when enrollment was approximately 205 students, indicate that each student generates .92 trips (in and outbound combined) during the AM peak period.<sup>1</sup> This ratio of .92 includes staff. At .92 trips per student a student body of 205 (current enrollment) corresponds to 94 vehicles. This is well above the baseline of 45 – 60 vehicles. A student body of 250, which the application envisions, corresponds to 115 vehicles, also well above the baseline.

Excessive speed is currently a hazard at the 205 students level (94 vehicles) that would be expected to be aggravated with increased trips. An increase in trips will not increase the speed but will increase the potential for accidents if individual drivers continue to speed. There are places where the road is narrow enough that two way traffic is problematic if cars have not decreased their speed to pass and some driveways have limited sight distance which is worsened by excessive speed. In addition, there is a public school bus stop at Hames Road and Enos Lane. Residents report that safe access to the bus stop is compromised by the excessive speed of traffic on Enos Lane.

These traffic conflicts are a significant environmental impact in the neighborhood. They are not caused solely by the number of cars, however the potential for conflicts is increased as the number of cars increase. The significant impact is initiated when the number of vehicles reaches a critical point, somewhere above 44 to 60, the baseline, and below 96, the number of cars measured during the morning peak period at 205 students.

This significant impact can be mitigated through implementing the following measures: reducing the number of cars on the road; installing speed bumps on Enos Lane to reduce observed speed to '15 MPH; localized widening of Enos Lane as proposed; installing a new stop sign and warning sign at the curve with two driveways at approximately station 18 + 00 (see letter of Higgins Associates, December 15, 2005, Attachment #12); creating a formal crosswalk at the base of Enos Lane to serve the school bus stop users; and by constructing a walking path where it can be accommodated alongside the road.

This analysis recognizes that the school generates traffic at times other than weekday mornings during the academic year. There are, for example, day camp, residential camp, and remedial educational classes during the summer that generate traffic. This

---

<sup>1</sup> The traffic engineer identified the morning drop off time as the two hour period when the most cars use the road. **This** exceeds the number of cars that arrive for afternoon pick up, even when combined with returning resident traffic, as afternoon **trips** are slightly more distributed in time. Though proposed summer and extra curricular activities generate traffic, the applicant's description of those events indicates that the traffic will not exceed the weekday morning peak count. **This** is discussed more fully in the text.

lack of a seasonal break contributes to the perception that the school has major impacts on the rural nature of the Enos area.. There are academic year "special events", such as Grandparent's Day and Back to School night, that also contribute traffic to Enos Lane. A full listing of summer and special event activities that are proposed as part of the project is included as Attachment 14.

To capture the traffic related impacts of the summer and special activities we have attempted to determine the amount of traffic associated with each of these events in order to ensure that the weekday morning peak time is indeed the "worst case" number of cars associated with the school. However, for the summer camp and remedial summer class season there is no reliable daily traffic peak time. This is because of variations in the drop off/pick up times, staggered schedule, and overlap in the camper and remedial student population. Other extra curricular activities, such as once per year Back To School and two times per year Parent Teacher conferences, will not occur in combination with normal school drop off/pick up hours and are infrequent. The morning weekday drop off period has therefore been confirmed as the worst case scenario for the traffic analysis.

2. Cause an increase in parking demand which cannot be accommodated by existing parking facilities?

\_\_\_\_\_ X \_\_\_\_\_

The project meets the code requirements for the required number of parking spaces and therefore new parking demand will be accommodated on site. Fifty four new spaces, in addition to the 36 existing spaces, will be provided. The project will be conditioned such that extra curricular activities will be limited to using the formal parking spaces available in the lot and elsewhere. Informal parking will not be allowed to accommodate overflow cars.

3. Increase hazards to motorists, bicyclists, or pedestrians?

\_\_\_\_\_ X \_\_\_\_\_

There are existing hazards to motorists and bicyclists on Enos Lane that will be exacerbated by the increase in trips associated with more students. This is a significant impact that may be mitigated by reducing the number of trips on the road, widening the roadway to a minimum width of 18 feet, installing speed bumps to keep observed speeds to 15 MPH, installing a new stop sign and warning sign per the recommendations of the project traffic engineer, by providing formal crosswalk at the base of Enos Road to serve the school bus stop users, by constructing a walking path where it can be accommodated alongside the road, or a combination of these actions. Though the road will not be widened to a full 24 feet, which is the standard width for a rural road, this will not exacerbate the hazards. A 24 foot road would not necessarily provide shoulders and in fact might encourage higher observed speeds. See also H-1.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
-----------------------------------------------------------	-----------------------------------------------------------------	---------------------------------------------	-------------------

4. Exceed, either individually (the project alone) or cumulatively (the project combined with other development), a level of service standard established by the county congestion management agency for designated intersections, roads or highways?

_____	_____	X	_____
-------	-------	---	-------

See response H-I.

### I. Noise

Does the project have the potential to:

1. Generate a permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

_____	_____	X	_____
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Additional children on the project site will result in the generation of additional noise during school hours and extra curricular activities. This increase will be less than significant and similar in character to the existing noise environment.

2. Expose people to noise levels in excess of standards established in the General Plan, or applicable standards of other agencies?

_____	_____	_____	X
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3. Generate a temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?

_____	_____	X	_____
-------	-------	---	-------

Noise generated during construction will increase the ambient noise levels for adjoining areas. Construction will be temporary, however, and given the limited duration of this impact it is considered to be less than significant.

### J. Air Quality

Does the project have the potential to:  
(Where available, the significance criteria established by the MBUAPCD may be relied upon to make the following determinations).

	Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
1. Violate any air quality standard or contribute substantially to an existing or projected air quality violation? Refer to <b>J-3</b> .	_____	_____	_____	<u>  X  </u>
2. Conflict with or obstruct implementation of an adopted air quality plan?	_____	_____	_____	<u>  X  </u>
3. Expose sensitive receptors to substantial pollutant concentrations?	_____	<u>  X  </u>	_____	_____

Use of diesel equipment during grading and paving operations could result in the one hour standard for acrolein, an air pollutant linked with health concerns, being exceeded. The Monterey Bay Air Pollution Control District has stated that the standard will not be exceeded if certain conditions regarding the type of equipment and fuel that is used are met. These conditions are given in the letter of Jean Getchell, dated March 13, 2006 (Attachment 15). The applicant will be conditioned to incorporate these conditions into the grading and paving portions of the project, or alternatively, the applicant may contact the MBAPCD, perform a health risk assessment, and meet any conditions set by the District in response to that specific information to ensure that the standard for acrolein is not exceeded.

4. Create objectionable odors affecting a substantial number of people?	_____	_____	_____	<u>  X  </u>
-------------------------------------------------------------------------	-------	-------	-------	--------------

#### **K. Public Services and Utilities**

Does the project have the potential to:

1. Result in the need for new or physically altered public facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for any of the public services:				
a. Fire protection?	_____	_____	<u>  X  </u>	_____

Significaot Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
_____	_____	_____	_____

b. Police protection?

X

c. Schools?

X

d. Parks or other recreational activities?

X

e. Other public facilities; including the maintenance of roads?

X

While the project represents an incremental contribution to the need for services, the increase will be minimal. Moreover, the project meets all of the standards and requirements identified by the local fire agency or California Department of Forestry, as applicable, and fees to be paid by the applicant will be used to offset the incremental increase in demand for public roads.

2. Result in the need for construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?

X

See response **B-8**.

3. Result in the need for construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?

X

The project will connect to an existing municipal water supply. The City of Watsonville has determined that adequate supplies are available to serve the project (Attachment 9).

The project will be served by an on-site sewage disposal system, which will be

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
-----------------------------------------------------------	-----------------------------------------------------------------	---------------------------------------------	-------------------

adequate to accommodate the demands of the project.

4. Cause a violation of wastewater treatment standards of the Regional Water Quality Control Board?

\_\_\_\_\_ X \_\_\_\_\_

The project's wastewater flows will not violate any wastewater treatment standards.

5. Create a situation in which water supplies are inadequate to serve the project or provide fire protection?

\_\_\_\_\_ X \_\_\_\_\_

The water mains serving the project site provide adequate flows and pressure for fire suppression. Additionally, the local fire agency or California Department of Forestry, as appropriate, has reviewed and approved the project plans, assuring conformity with fire protection standards that include minimum requirements for water supply for fire protection.

6. Result in inadequate access for fire protection?

\_\_\_\_\_ X \_\_\_\_\_

The access roadway will be widened to the minimum allowed width of 18 feet, per the requirements of the local fire agency, to allow access by emergency vehicles.

One lane will remain open at all times during construction. Fire trucks, ambulances and other emergency vehicles will not be blocked from using the road at any time.

The school has an approved emergency response plan which includes response to fire. See response **G-5** and Attachment 13.

7. Make a significant contribution to a cumulative reduction of landfill capacity or ability to properly dispose of refuse?

\_\_\_\_\_ X \_\_\_\_\_

The project will make an incremental contribution to the reduced capacity of regional landfills. However, this contribution will be relatively small and will be of similar magnitude to that created by existing land uses around the project.

8. Result in a breach of federal, state, and local statutes and regulations related to solid waste management?

\_\_\_\_\_ X \_\_\_\_\_

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
-----------------------------------------------------------	-----------------------------------------------------------------	---------------------------------------------	-------------------

## **L. Land Use, Population, and Housing**

Does the project have the potential to:

1. Conflict with any policy of the County adopted for the purpose of avoiding or mitigating an environmental effect?

\_\_\_\_\_ X \_\_\_\_\_

The proposed project does not conflict with any policies adopted for the purpose of avoiding or mitigating an environmental effect. The size of the parking lot, 54 spaces, when combined with the 36 existing spaces, is adequate to provide parking for staff and vehicles that drop off students that may remain on site and for extra curricular activities and special events that are part of this application, but is not so large that it can accommodate vehicles associated with events larger than those that are proposed as part of this application. The volume of grading is not excessive.

2. Conflict with any County Code regulation adopted for the purpose of avoiding or mitigating an environmental effect?

\_\_\_\_\_ X \_\_\_\_\_

The proposed project does not conflict with any regulations adopted for the purpose of avoiding or mitigating an environmental effect. See also L-1.

3. Physically divide an established community?

\_\_\_\_\_ X \_\_\_\_\_

The project will not include any element that will physically divide an established community.

4. Have a potentially significant growth inducing effect, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?

\_\_\_\_\_ X \_\_\_\_\_

The proposed project will not extend the road or increase its capacity or increase the capacity of any other utility infrastructure.

5. Displace substantial numbers of people, or amount of existing housing, necessitating the construction of replacement housing elsewhere?

\_\_\_\_\_ X \_\_\_\_\_

**M. Non-Local Approvals**

Does the project require approval of federal, state, or regional agencies?

Yes \_\_\_\_\_

No   X  

**N. Mandatory Findings of Significance**

1. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant, animal, or natural community, or eliminate important examples of the major periods of California history or prehistory?

Yes \_\_\_\_\_

No   X  

2. Does the project have the potential to achieve short term, to the disadvantage of long term environmental goals? (A short term impact on the environment is one which occurs in a relatively brief, definitive period of time while long term impacts endure well into the future)

Yes \_\_\_\_\_

No   X  

3. Does the project have impacts that are individually limited, but cumulatively considerable ("cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, and the effects of reasonably foreseeable future projects which have entered the Environmental Review stage)?

Yes \_\_\_\_\_

No   X  

4. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

Yes \_\_\_\_\_

No   X

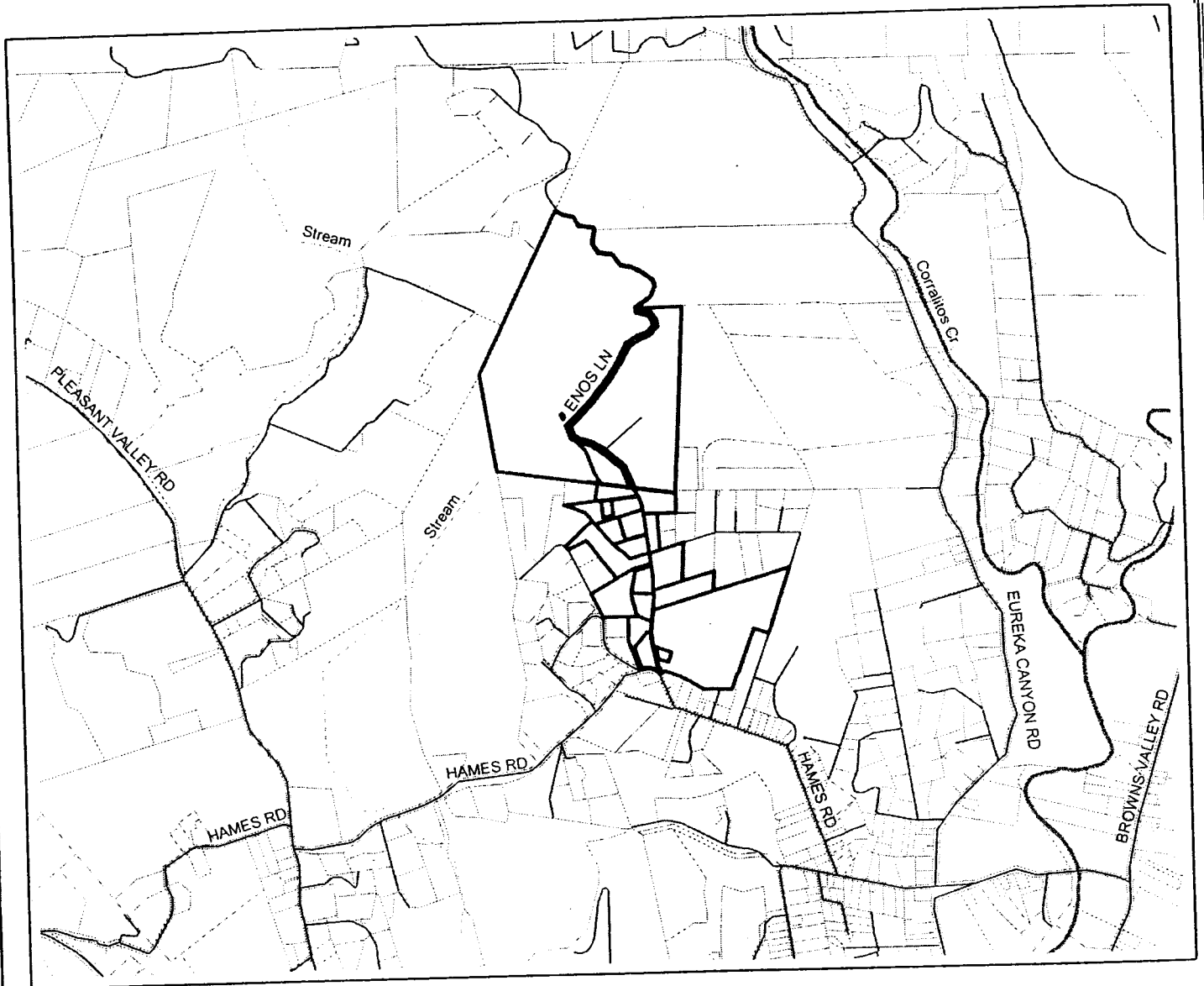
## **TECHNICAL REVIEW CHECKLIST**

	<b><u>REQUIRED</u></b>	<b><u>COMPLETED*</u></b>	<b><u>NA</u></b>
Agricultural Policy Advisory Commission (APAC) Review	_____	_____	_____
Archaeological Review	_____	XXX	_____
Biotic Report/Assessment	_____	_____	_____
Geologic Hazards Assessment (GHA)	_____	_____	_____
Geologic Report	_____	_____	_____
Geotechnical (Soils) Report	_____	XXX	_____
Riparian Pre-Site	_____	_____	_____
Septic Lot Check	_____	_____	_____
Other:	_____	_____	_____
	_____	_____	_____
	_____	_____	_____

### **Attachments:**

1. Vicinity Map
2. Map of Zoning Districts
3. Map of General Plan Designations
4. Assessors Parcel Map
5. Project Plans
6. Geotechnical Review Letter prepared by Kent Edler, dated 8/31/04.
7. Geotechnical Investigation (Conclusions and Recommendations) prepared by Bauldry Engineering, dated 7/04.
8. Archeological Reconnaissance Survey Letter prepared by Elizabeth Hayward, dated 9/15/04.
9. Letter from City of Watsonville water district, dated 10/5/04.
10. Traffic Studies (Conclusions and Recommendations) prepared by Higgins Associates, dated 8/6/04 & 12/2/04.
11. Discretionary Application Comments, dated 8/3/05.
12. Letter of Higgins Associates, Traffic Engineers, dated December 15, 2005
13. Letter of Jean Borelli, Deputy Fire Marshall, dated August 2006.
14. Listing of proposed summer and extra curricular activities
15. Comment letters received during the review period ending 2-27-06 (on file at the Planning Department).

# Location Map

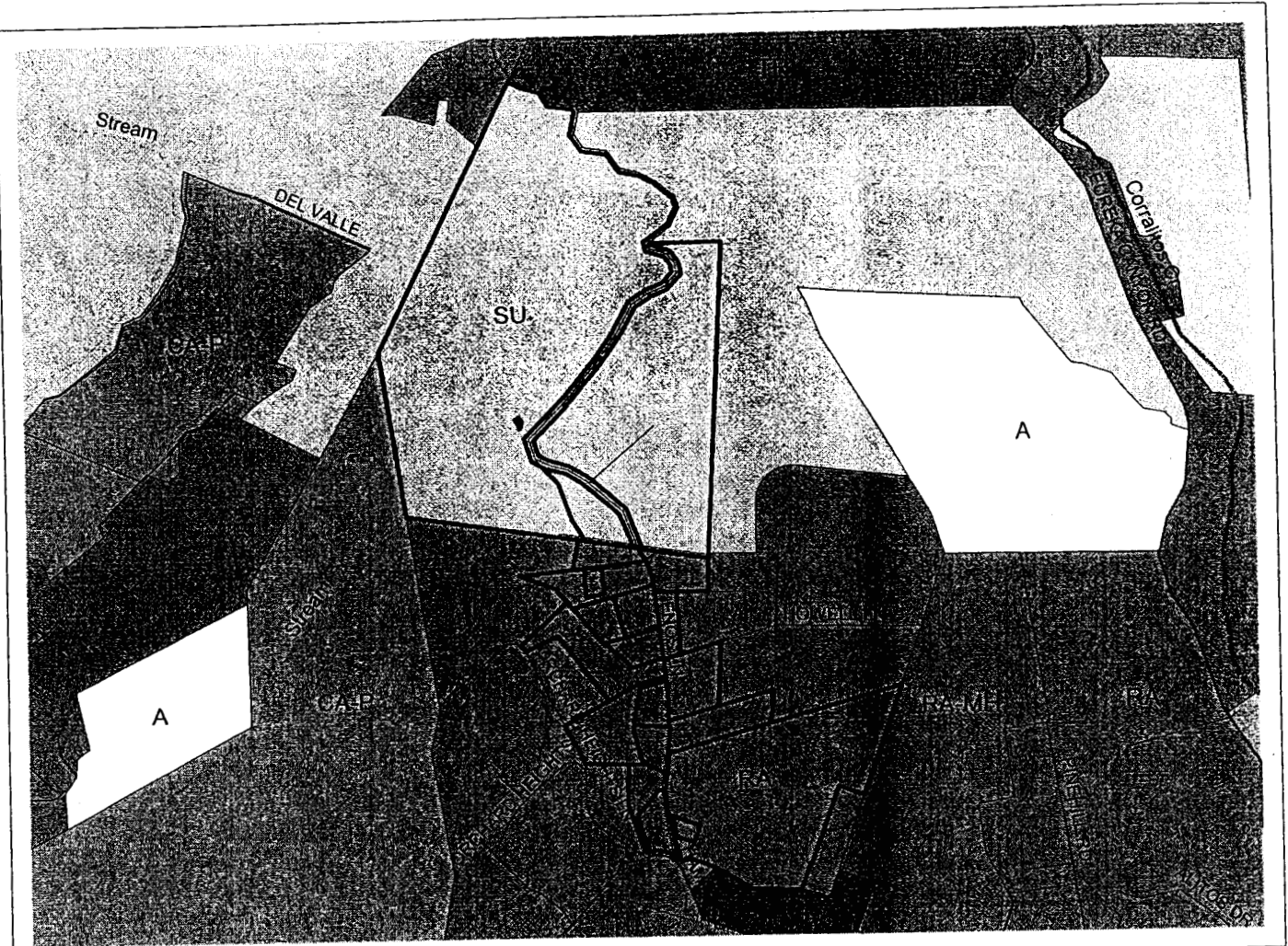


Environmental Review Initial Study  
**ATTACHMENT 1**  
**APPLICATION 04-0384**

Map created by Santa Cruz County  
Planning Department:  
August 2004



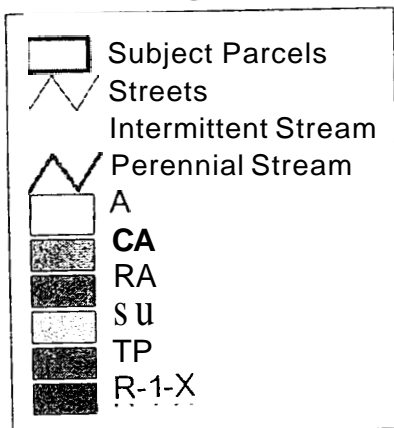
# Zoning Map



0.25 0 0.25 0.5 0.75 Miles

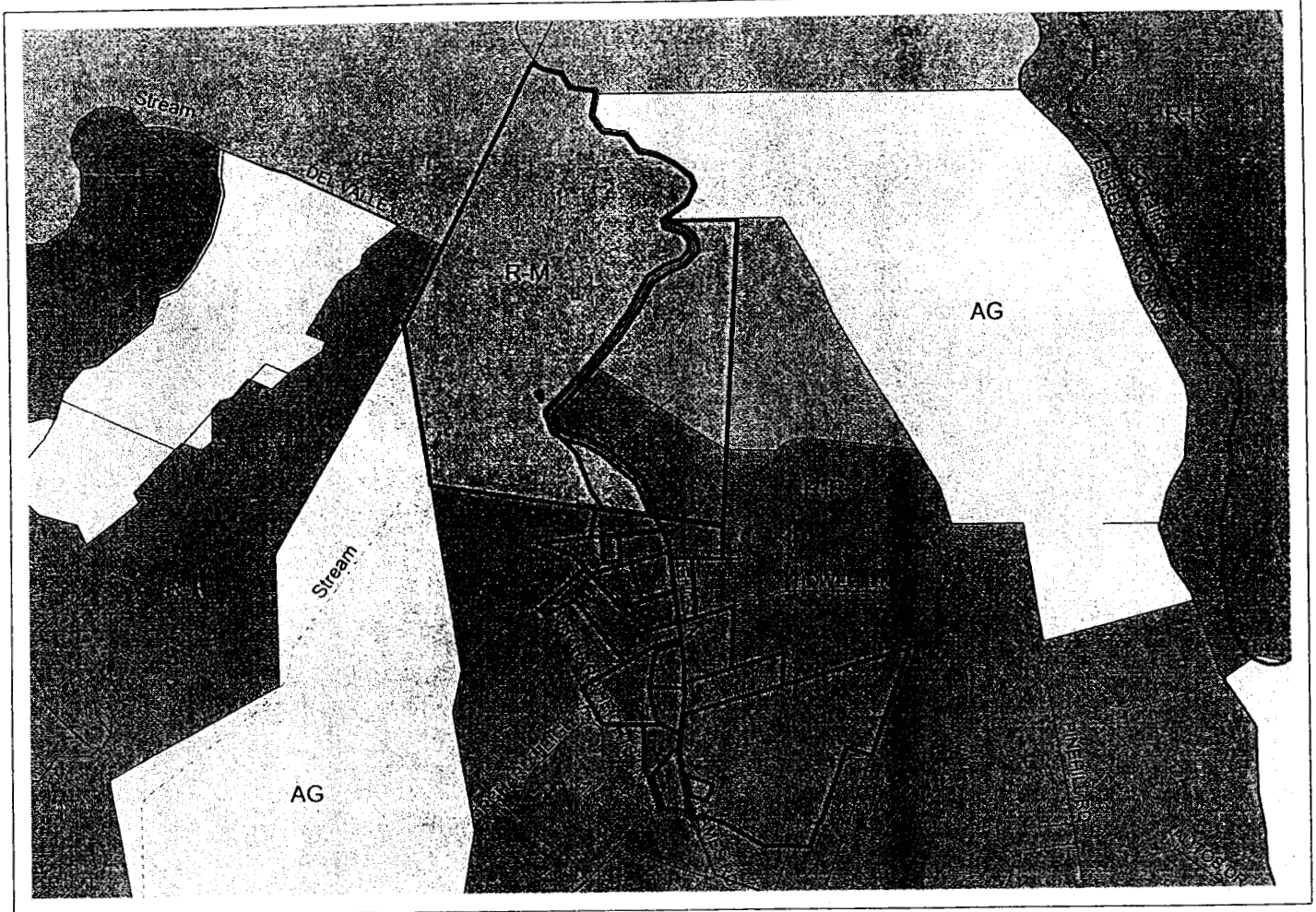
Environmental Review Initial Study  
**ATTACHMENT 2**  
**APPLICATION 04-0384**

## Legend



Map created by Santa Cruz County  
**Planning Department:**  
 August 2004

# General Plan Map



0.25 0 0.25 0.5 0.75 Miles

Environmental Review Initial Stud.  
**ATTACHMENT 3**  
**APPLICATION 04-0024**



## Legend

	Subject Parcels
	Streets
	Intermittent Stream
	Perennial Stream
	Agriculture
	Mountain Residential
	Rural Residential

Map created by Santa Cruz County  
 Planning Department:  
 August 2004



# Enos Lane Improvement Plans for

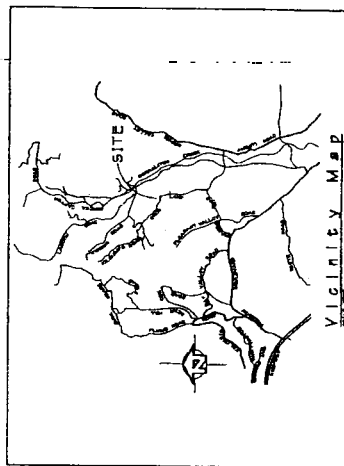
# Salesian Sisters School

Santa Cruz County, California

## Approvals

DEPARTMENT OF PUBLIC WORKS COUNTY OF SANTA CRUZ STATE OF CALIFORNIA	
APPROVED	DATE
CALIFORNIA DIVISION OF FORESTRY STATE OF CALIFORNIA	
APPROVED	DATE

## Vicinity Map



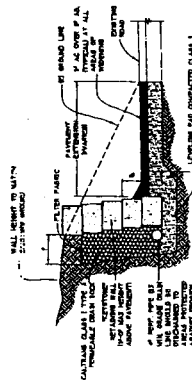
## Index of Sheets

SHEET NO.	DESCRIPTION
C1	COVER SHEET
C2	SHEET INDEX
C3	ROAD PLAN & PROFILE - STA. 0+00 TO 8+80
C4	ROAD PLAN & PROFILE - STA. 8+80 TO 17+60
C5	ROAD PLAN & PROFILE - STA. 17+60 TO 27+00
C6	ROAD PLAN & PROFILE - STA. 27+00 TO END
C7	ROAD CROSS-SECTIONS

## Benchmark

ELEVATIONS ARE BASED UPON COUNTY OF SANTA CRUZ B.M. CH-1 ON TOP OF THE HEADWALL AT ENOS LANE AND HANES ROAD - ELEVATION 1354.6

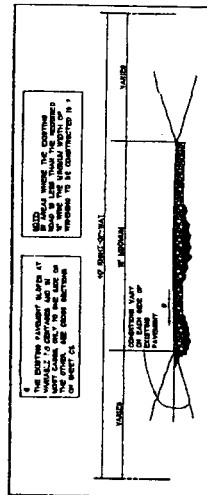
Environmental Review Initial Study  
ATTACHMENT 5  
APPLICATION 041-0384



"Keystone" Retaining Wall @ Road Widening Detail

## Typical Road Cross Section

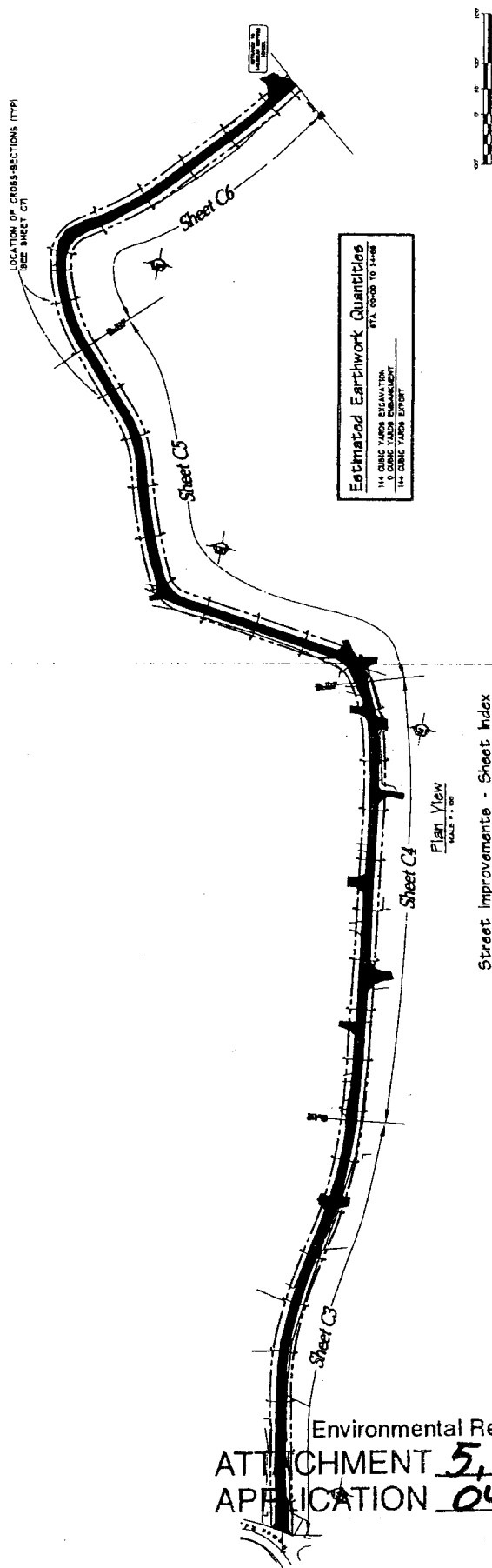
STRUCTURAL SECTION OF ALL NEW HIGHWAYS TO BE 12' WIDE



Geotechnical Engineering Recommendations from Investigative Report  
by Bauldry Engineering Job No. 0423-SZ974-J31. Dated July 12, 2004.

NOTE: THE CONTRACTOR AGREES THAT HE WILL BE REQUIRED TO ASSUME SOLE RESPONSIBILITY FOR THE JOB SITE CONDITIONS. THE CONTRACTOR'S ASSUMPTION OF RESPONSIBILITY FOR THE JOB SITE CONDITIONS INCLUDES THE CONTRACTOR'S OBLIGATION TO OBTAIN ALL NECESSARY PERMITS AND TO OBTAIN ALL NECESSARY INSURANCE. THE CONTRACTOR'S ASSUMPTION OF RESPONSIBILITY FOR THE JOB SITE CONDITIONS INCLUDES THE CONTRACTOR'S OBLIGATION TO OBTAIN ALL NECESSARY PERMITS AND TO OBTAIN ALL NECESSARY INSURANCE. THE CONTRACTOR'S ASSUMPTION OF RESPONSIBILITY FOR THE JOB SITE CONDITIONS INCLUDES THE CONTRACTOR'S OBLIGATION TO OBTAIN ALL NECESSARY PERMITS AND TO OBTAIN ALL NECESSARY INSURANCE.

THE INCREASE IN STORM RUNOFF DUE TO THE WIDENING OF THE PAVEMENT ALONG THE ROAD TO W. PEEET IS APPROXIMATELY 0.5 CFS PER 1000 S.F. OF ROADWAY. THERE ARE NO CHINA TRENDS OR OUTCROPS IN THIS RUNOFF IS NOT CONCENTRATED INTO ONE POINT OF DISCHARGE. IN THE CHINA TRENDS, THE ROAD IS CONSIDERED TO BE THE ONLY SOURCE OF RUNOFF. THE RUNOFF FROM THE CHINA TRENDS IS CONCENTRATED INTO ONE POINT OF DISCHARGE. THE RUNOFF FROM THE CHINA TRENDS IS CONCENTRATED INTO ONE POINT OF DISCHARGE. THE RUNOFF FROM THE CHINA TRENDS IS CONCENTRATED INTO ONE POINT OF DISCHARGE.

[illegible][illegible]

144 CUBIC YARDS EXCAVATION	STA. 00+00 TO 34+66
0 CUBIC YARDS EMBANKMENT	
144 CUBIC YARDS FILL	

### Street Improvements - Sheet Index

Plan View

Environmental Review Initial Study

ATTACHMENT 5, 2 of 10  
APPLICATION 04-0384

60 CUBIC YARDS EXCAVATION
0 CUBIC YARDS EMBANKMENT



NOTE: EXISTING SPEED BUMPS AND WATER BARS ACROSS THE ROAD TO REMAIN. WHERE PAVEMENT IS WIDENED, THE SPEED BUMP IS TO BE EXTENDED. EXISTING ROAD ORNAMENT PATTERNS ARE TO REMAIN AS THEY NOW EXIST. NO NEW SPEED BUMPS OR WATER BARS ARE PROPOSED.



Street Improvements Sta. 0+00 to 8+80

Environmental Review Initial Study  
DOCUMENT 5 3 of 10  
LOCATION 04-0384

- 74 -



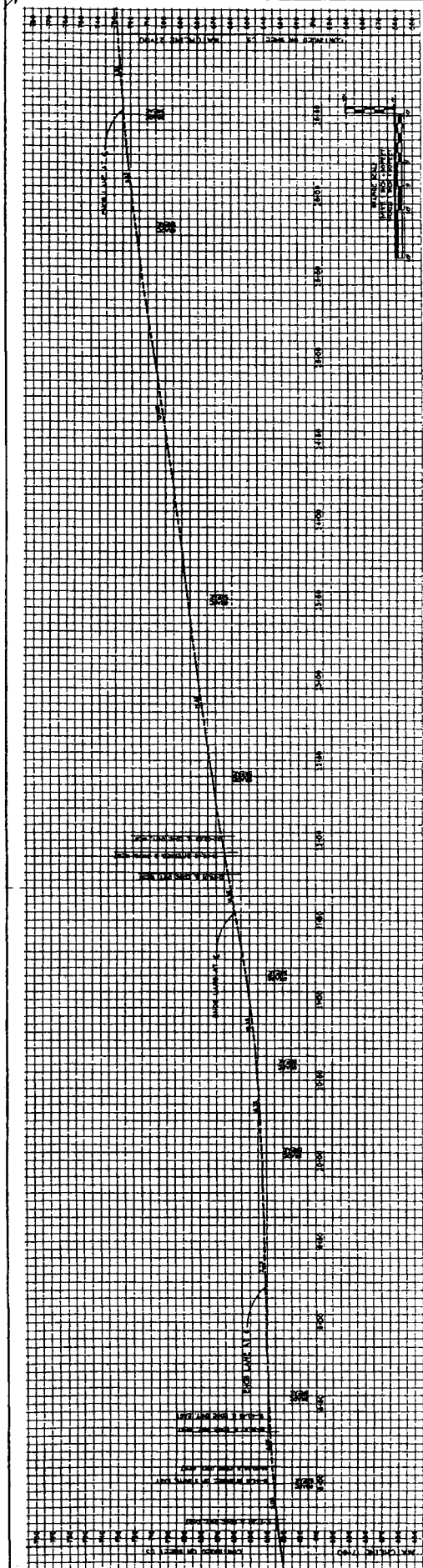
DATE: 03/18/05  
 DESIGNED BY: [Signature]  
 CHECKED BY: [Signature]  
 PROJECT: [Signature]

1100 WATER STREET, SUITE 2  
 SANTA CRUZ, CA 95062  
 (408) 426-1010  
 FAX (408) 426-1011  
 WWW.MIDLAND-ENGINEERS.COM

**Midland**  
 ENGINEERS, INC.  
 CIVIL ENGINEERING

Salasana Sisters School  
 Santa Cruz County, California  
 Error Log - Street Improvements Sta. 17+60 to 27+00

DATE: 03/18/05  
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 PROJECT: [Signature]  
 SHEET: 5 of 10  
 C5

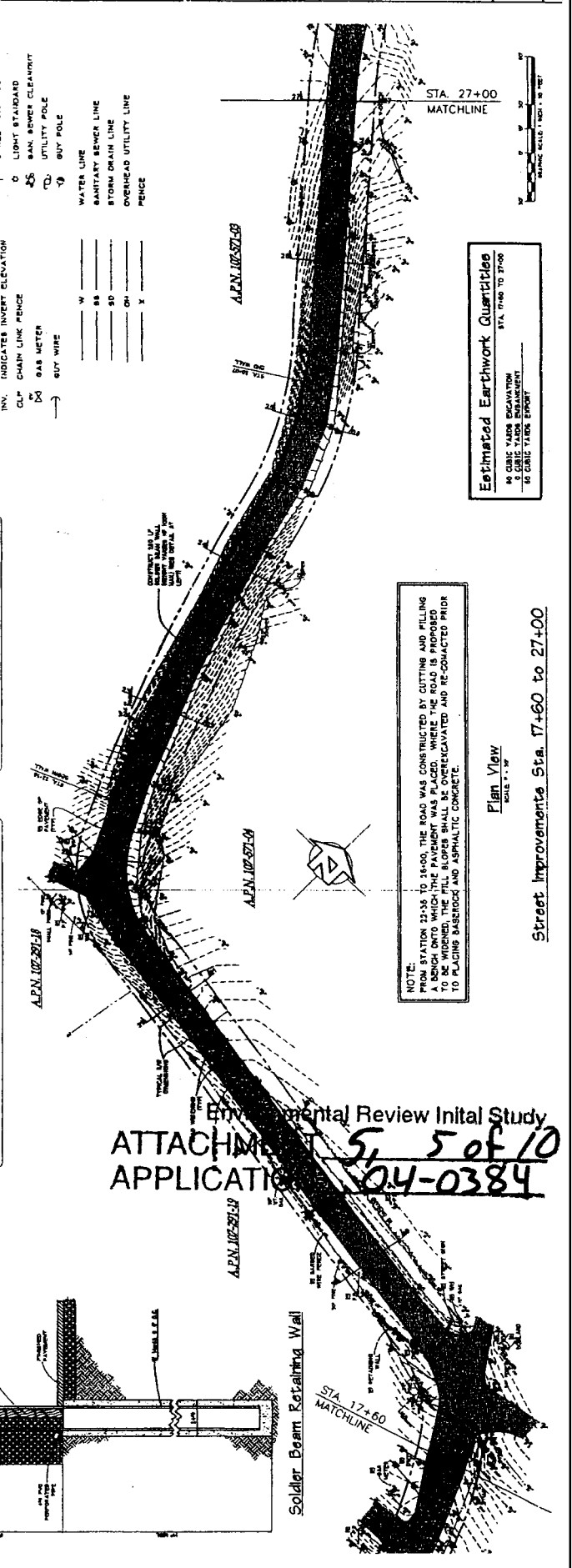


**Legend**

- MONUMENT FOUND AS NOTED
- WATER VALVE
- WATER METER
- RAIN INLET
- STORM DRAIN MANHOLE
- FIRE HYDRANT
- INDICATES INVERT ELEVATION
- CHAIN LINE FENCE
- 8-8.5 METER
- GUY WIRE
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- OVERHEAD UTILITY LINE
- FENCE

**Profile**  
 SCALE: VERT. 1" = 10'  
 HORIZ. 1" = 100'

**NOTE:** EXISTING SPEED LIMITS AND WATER MAINS LOCATIONS ARE SHOWN. WHERE PAVEMENT IS WIDENED, THE SPEED LIMIT IS TO BE DETERMINED. EXISTING ROAD DRAINAGE IS TO BE MAINTAINED. WHERE THE ROAD IS WIDENED, THE PAVEMENT IS TO BE RECONSTRUCTED AND RE-CONTRACTED PRIOR TO PLACING BASECOURSE AND ASPHALTIC CONCRETE.



**Estimated Earthwork Quantities**  
 STA. 17+60 TO 27+00  
 TO CIRCULAR ELEVATION  
 TO CIRCULAR ELEVATION  
 TO CIRCULAR ELEVATION

**Plan View**  
 SCALE: 1" = 100'

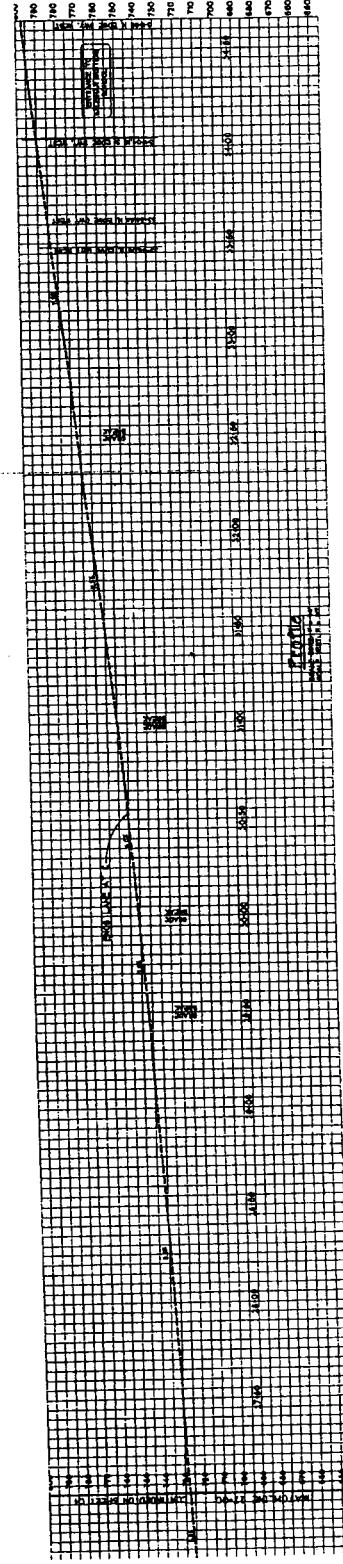
Street Improvements Sta. 17+60 to 27+00

Environmental Review Initial Study  
 ATTACHMENT 5, 5 of 10  
 APPLICATION 04-0384

Legend

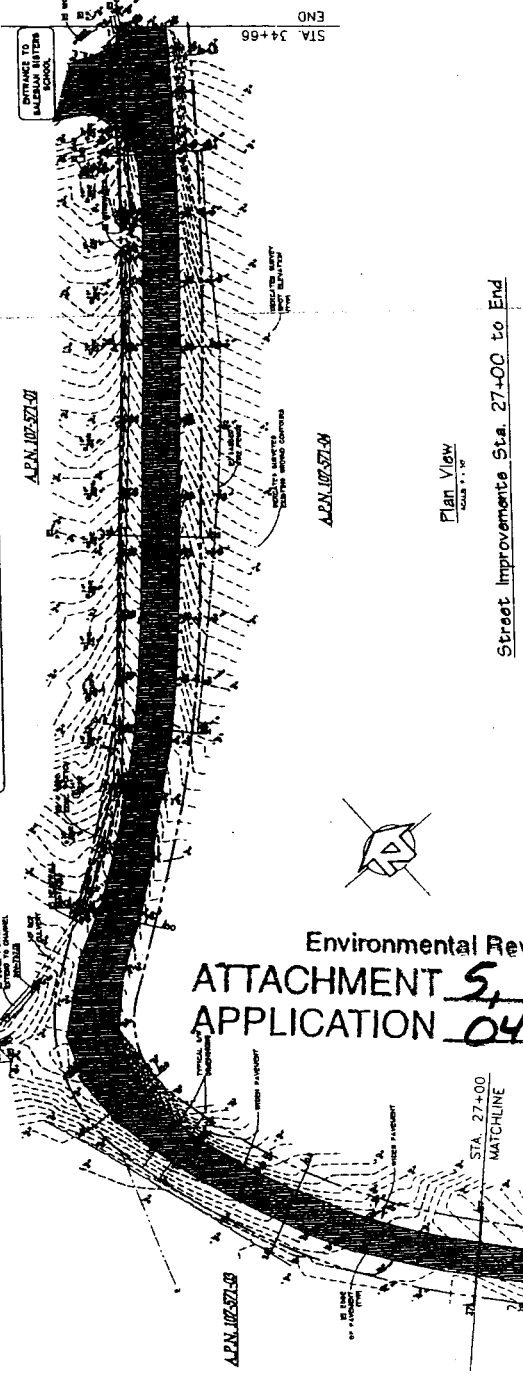
- MONUMENT FOUND AS NOTED  
 ② SAN. SEWER MANHOLE  
 ② STORM DRAIN MANHOLE  
 ✕ FIRE HYDRANT  
 ✕ INDICATED INVERT ELEVATION  
 ✕ CHAIN LINK FENCE  
 ✕ GAS METER  
 ✕ GUT WIRE

- WATER LINE  
SANITARY SEWER LINE  
STORM DRAIN LINE  
OVERHEAD UTILITY LINE  
FENCE



NOTE: EXISTING SPEED BUMPS AND WATER BARS ACROSS THE ROAD TO REMAIN. WHERE PAVEMENT IS WIDENED, THE SPEED BUMP IS TO BE EXTENDED. EXISTING ROAD DRAINAGE PATTERNS ARE TO REMAIN AS THEY NOW EXIST. NO NEW SPEED BUMPS OR WATER BARS

THE EXISTING ROAD IS 18 FEET WIDE OVER EACH OF ITS  
 EDGES. WHERE THE ROAD IS LESS THAN 18 FEET WIDE, THE  
 AVENUE IS TO BE WIDENED PER TYPICAL SECTION SHEET 601



### Plan View

Strat. Improvements Sta. 27+00 to End

Environmental Review Initial Study  
ATTACHMENT 5, 6 of 10  
APPLICATION 04-0384

Estimated Earthwork Quantities

4 CUBIC YARDS EXCAVATION	SY. 27.00 TO 34.00
0 CUBIC YARDS EMBANKMENT	
4 CUBIC YARDS EXPORT	



Richard Glen  
Professional Engineer  
State of California  
License No. 10000  
Civil Engineering

1100 ALAN STREET, SUITE 2  
SANTA CRUZ, CA 95062  
TEL (408) 426-1183  
FAX (408) 426-1182

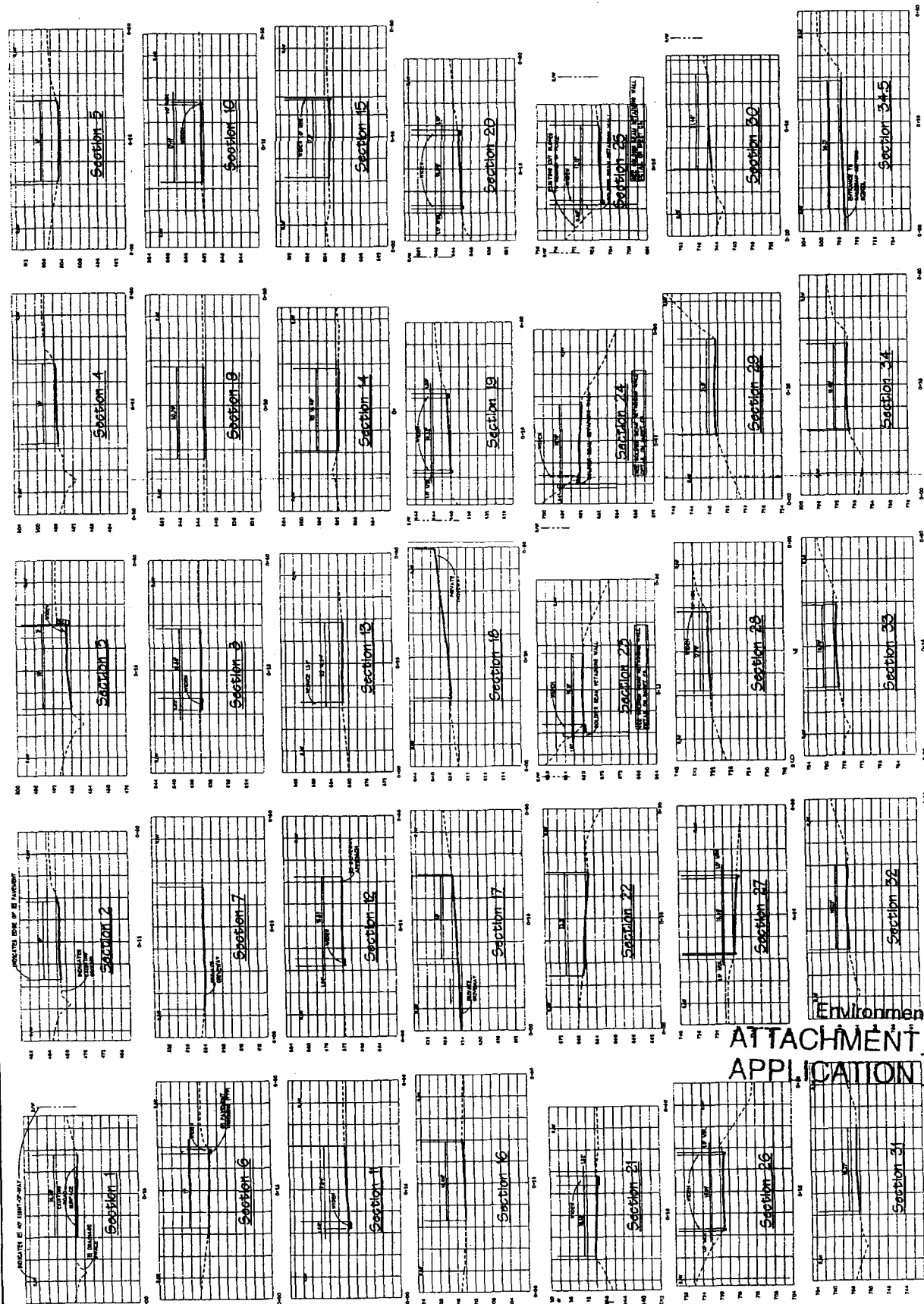
Hand  
ENGINEERS, INC.  
CIVIL ENGINEERING • LAND PLANNING  
CONSTRUCTION MANAGEMENT



Enos Lane - Street Cross Sections  
Salesian Sisters School  
Santa Cruz County, California

DATE: 03/18/05  
DRAWN BY: RICHARD GLEN  
CHECKED BY: RICHARD GLEN  
SHEET: C7  
OF 7 SHEETS  
JOB NO. 04043

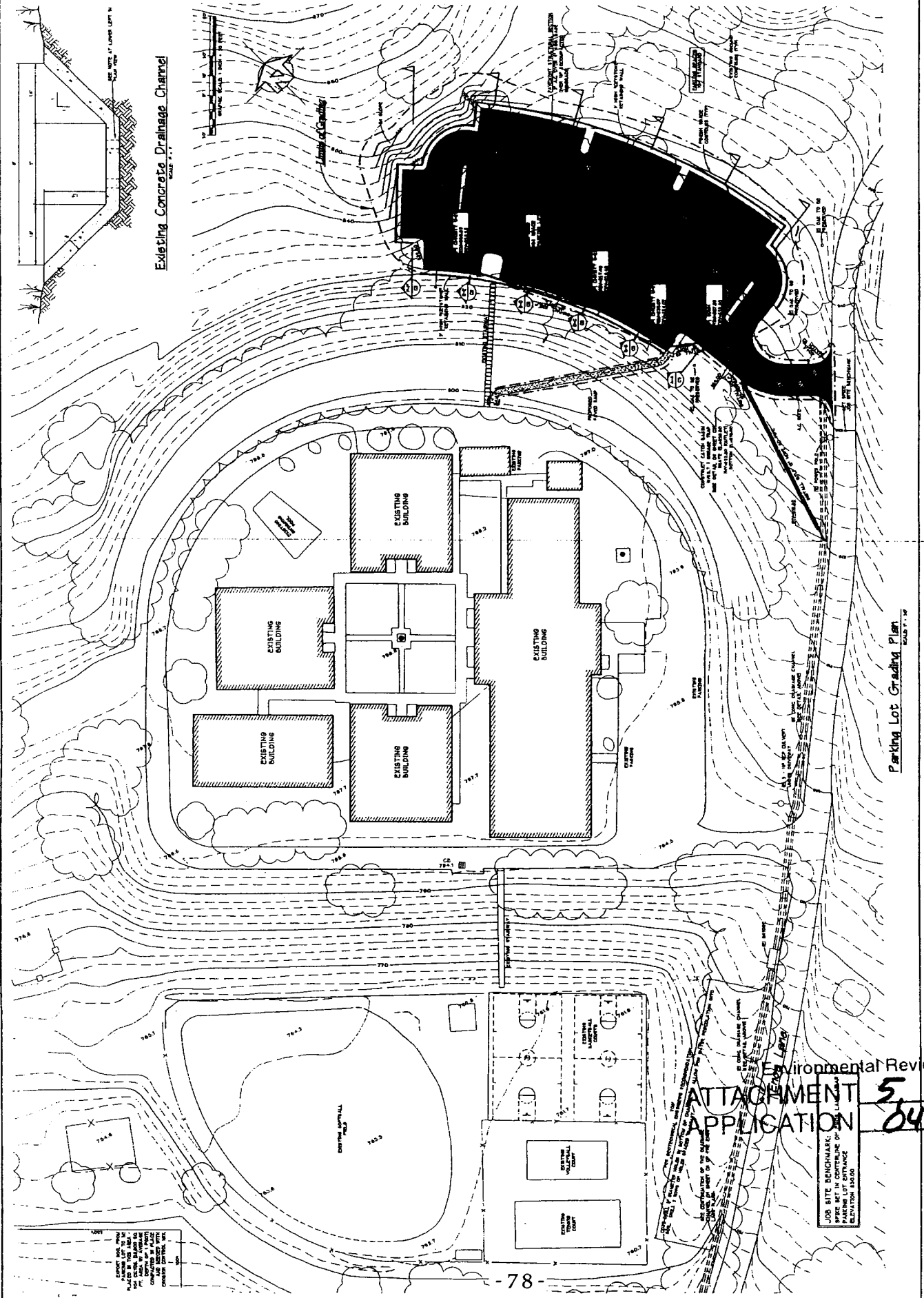
THE EXISTING ROAD IS 16 FEET WIDE OVER EACH OF ITS  
LENGTH. WHERE THE ROAD IS LESS THAN 16 FEET WIDE,  
ADJUST TO 16 FEET TO CORRECT FOR VERTICAL CURVE TAIL



Street Cross Sections

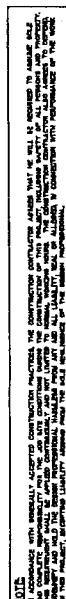
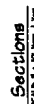
SEE THE THROUGH-ROAD LOCATION OF SECTIONS IN PLAN VIEW

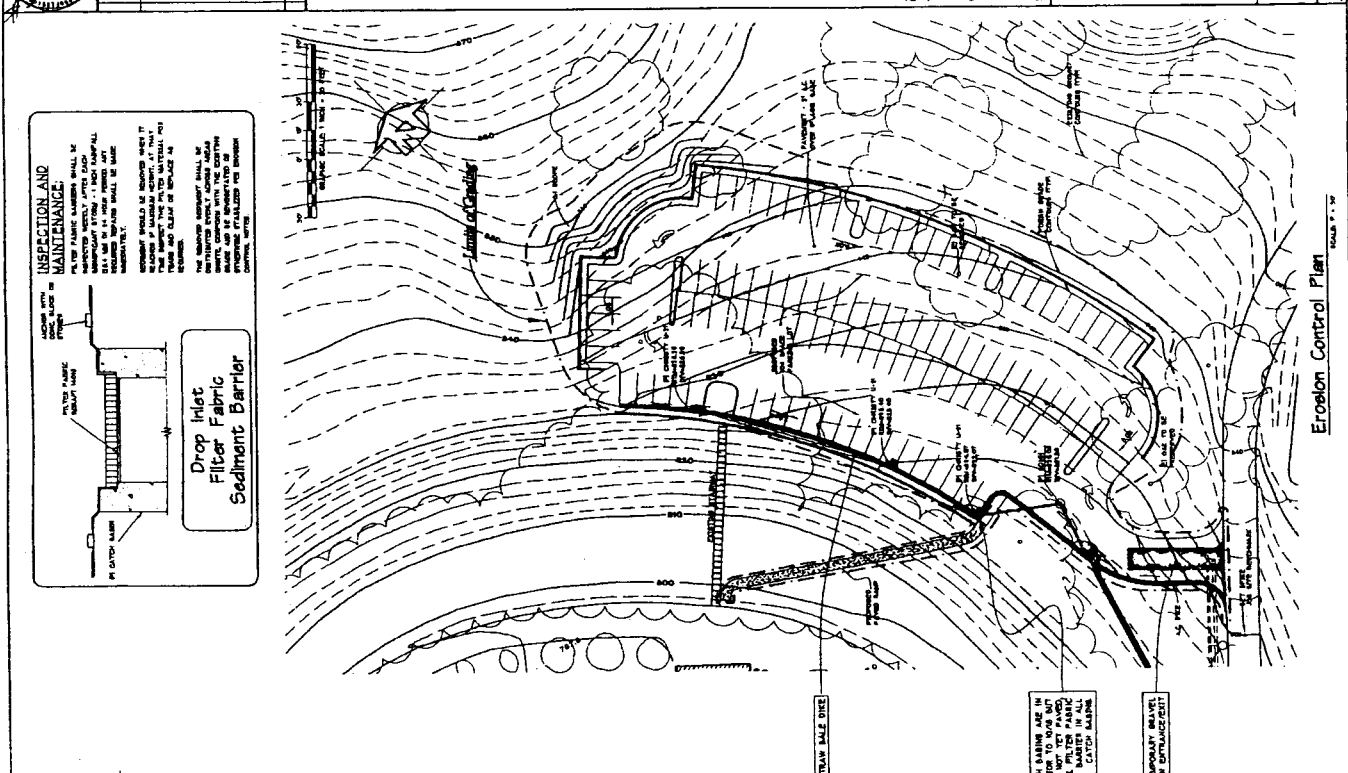
Environmental Review Initial Study  
ATTACHMENT 5, 7 of 10  
APPLICATION 04-0384



Environmental Review Initial Study  
**ATTACHMENT 5**  
**APPLICATION**  
**8 of 10**  
**04-0384**

JOB SITE BENCHMARK:  
 SPOT SET IN CONTINUED OF  
 SURVEY TO THE LOT  
 ELEVATION 840.00





**Inspection and Maintenance**

The filter fabric shall be inspected weekly for any damage or debris. If damaged, it shall be replaced immediately. The sediment barrier shall be inspected weekly for any debris and shall be cleaned as needed. The straw bale dike shall be inspected weekly for any damage or debris and shall be replaced as needed. The gravel access shall be inspected weekly for any debris and shall be cleaned as needed.

**Drop Inlet, Filter Fabric, Sediment Barrier**

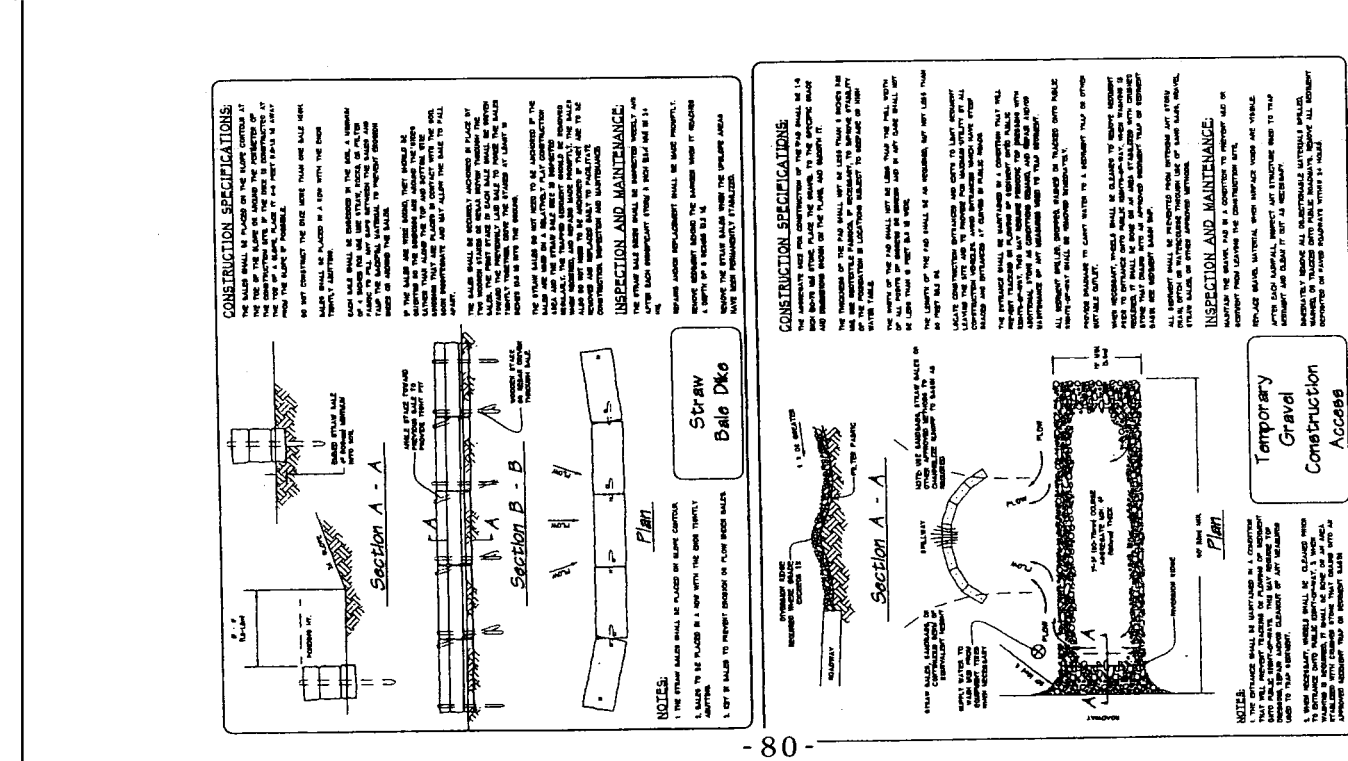
The drop inlet shall be installed in the storm drain to catch sediment and debris. The filter fabric shall be installed in the drop inlet to filter out sediment and debris. The sediment barrier shall be installed in the storm drain to catch sediment and debris.

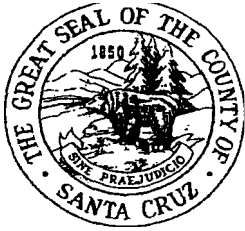
**Small Stream**

The small stream shall be inspected weekly for any debris and shall be cleaned as needed. The stream shall be maintained in its natural state and shall not be altered.

**Gravel Access**

The gravel access shall be inspected weekly for any debris and shall be cleaned as needed. The gravel access shall be maintained in its natural state and shall not be altered.





# County of Santa Cruz

## PLANNING DEPARTMENT

701 OCEAN STREET, 4<sup>TH</sup> FLOOR, SANTA CRUZ, CA 95060-4000  
(831)454-2580 FAX (831)454-2131 TDD: (831)454-2123

TOM BURNS, DIRECTOR

August 31, 2004

Salesian Sisters School  
605 Enos Lane  
Corralitos, CA, 95076

**SUBJECT: Review of Geotechnical Investigation by Bauldry Engineering**  
**Dated: July 12, 2004; Project No. 0423-SZ974-J31**  
**APN: 107-571-01 et. al., Application No.: 04-0384**

Dear Applicant:

Thank you for submitting the soil report for the parcel referenced above. The report was reviewed for conformance with County Guidelines for Soils/Geotechnical Reports and also for completeness regarding site-specific hazards and accompanying technical reports (e.g. geologic, hydrologic, etc.). The purpose of this letter is to inform you that the Planning Department has accepted the report and the following recommendations become permit conditions:

1. All report recommendations must be followed.
2. Final plans shall show the drainage system as detailed in the soils engineering report.
3. Final plans shall reference the approved soils engineering report and state that all development shall conform to the report recommendations.
4. Prior to permit issuance, the soil engineer must submit a brief building, grading and drainage plan review letter to Environmental Planning stating that the plans are in general compliance with the report recommendations. If, upon plan review, the engineer requires revisions or additions, the applicant shall submit to Environmental Planning two copies of revised plans and a final plan review letter stating that the plans, as revised, conform to the report recommendations.
5. The soil engineer must inspect all foundation excavations and a letter of inspection must be submitted to Environmental Planning and your building inspector prior to placement of concrete.
6. For all projects, the soil engineer must submit a final letter report to Environmental Planning and your building inspector regarding compliance with all technical recommendations of the soil report prior to final inspection. For all projects with engineered fills, the soil engineer must submit a final grading report (reference August 1997 County Guidelines for Soils/Geotechnical Reports) to Environmental Planning and your building inspector regarding the compliance with all technical recommendations of the soil report prior to final inspection.

Environmental Review Initial Study  
ATTACHMENT 6, 1 of 2  
APPLICATION 04-0384

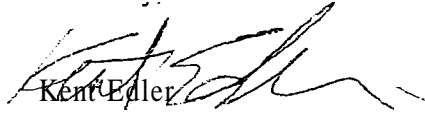
APN: 107-571-01 et. al.

The soil report acceptance is only limited to the technical adequacy of the report. Other issues, like planning, building, septic or sewer approval, etc., may still require resolution.

The Planning Department will check final development plans to verify project consistency with report recommendations and permit conditions prior to building permit issuance. If not already done, please submit two copies of the approved soil report at the time of building permit application for attachment to your building plans.

Please call 454-3168 if we can be of any assistance.

Sincerely,



Associate Civil Engineer

Cc: Randall Adams, Project Planner  
Betty Cost, Richard Beale LUP

Environmental Review Initial Study  
ATTACHMENT 6, 2 of 2  
APPLICATION 04-0384

GEOTECHNICAL INVESTIGATION  
FOR  
ENOS LANE ROAD IMPROVEMENT AND PARKING LOT  
CORRALITOS, CALIFORNIA

FOR  
SALESIAN SISTERS  
CORRALITOS, CALIFORNIA

Environmental Review Initial Study  
ATTACHMENT 7, 10 & 16  
APPLICATION 04-0384

BY  
BAULDRY ENGINEERING  
CONSULTING GEOTECHNICAL ENGINEERS  
0423-SZ974-J31  
JULY 2004

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# Bauldry Engineering

CONSULTING GEOTECHNICAL ENGINEERS

147 S MORRISSEY AVENUE, SANTA CRUZ, CA 95062

(831) 457 1223

FAX (831) 457-1225

0423-SZ974-J31

July 12, 2004

Salesian Sisters  
605 Enos Lane  
Corralitos, California 95076

Attention: Sr. Charlotte Greer FMA Principal

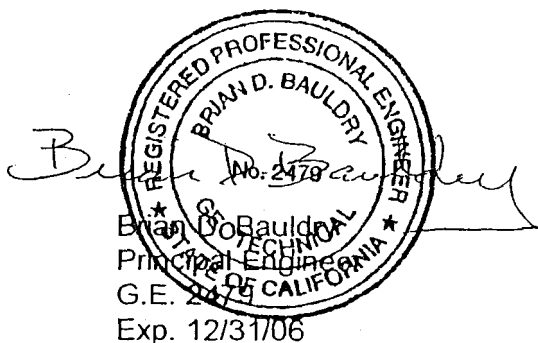
Subject: Geotechnical Investigation  
Proposed Parking Lot and Road Widening Project  
Salesian Sisters School  
Corralitos, California

Dear Sr. Greer,

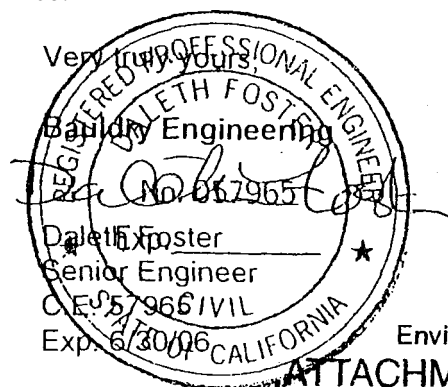
In accordance with your authorization, we have performed a geotechnical investigation for the proposed road improvement and parking lot project, which is located in Corralitos, California.

The accompanying report presents our conclusions and recommendations as well as the results of the geotechnical investigation on which they are based. The conclusions and recommendations presented in this report are contingent upon our review of the plans during the design phase of the project, and our observation and testing during the construction phase of the project.

If you have any questions concerning the data, conclusions, or recommendations presented in this report, please call our office.



Engineering/Projects/0423 GI



Environmental Review Initial Study

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APPLICATION 04-0384

Copies: I to Salesian Sisters, Attn: Sr. Charlotte Greer  
4 to Richard Beale Land Use Planning, Attn: Betty Cost  
I to Strategic Construction Management Attn: David Robison  
1 to Ifland Engineers, Attn: Glen Ifland

July 12, 2004

## GEOTECHNICAL INVESTIGATION

### PURPOSE OF INVESTIGATION

The purpose of our investigation was to explore the subsurface conditions in the area of the proposed development, and based on our findings, provide geotechnical engineering recommendations for the design and construction of the proposed road improvements along Enos Lane, and for the proposed parking lot to the north of the Salesian Sisters School.

### SCOPE OF SERVICES

This report describes the geotechnical investigation and presents results, including recommendations, for the proposed development. The conclusions and recommendations contained in this report must be reviewed and modified in writing if significant changes are proposed for the project.

Our scope of services for the project as currently proposed has consisted of:

- I. Discussions with Betty Cost of Richard Beale Land Use Planners, David Robison of Strategic Construction Management, and Glen Ifland of Ifland Engineers.
2. Review of the following maps and reports:
  - a. Topographic maps prepared by Gary Ifland and Associates.
  - b. Preliminary Parking Lot Site Plan prepared by Ifland Engineers dated May 28, 2004.
  - c. Original Site Grading Plans prepared by Ifland Engineers dated October 14, 1975, for the Salesian Sisters School.
  - d. Geologic Map of Santa Cruz County, California, Brabb, 1989.
  - e. Preliminary Landslide Deposits in Santa Cruz County, California, Cooper-Clark, 1975.
  - f. Map Showing Quaternary Geology and Liquefaction Potential of Santa Cruz County, California, Dupre, 1975.
  - g. Faults and their Potential Hazards in Santa Cruz County, Hall, Sarna-Wojcicki, Dupre, 1974.
  - h. USGS 7.5 Minute Topographic Maps, Watsonville West and Loma Prieta Quadrangle.
3. Field exploration including the drilling, sampling and logging of 11 test borings that range in depth from 11% to 16% feet below the ground surface.
4. Laboratory analysis of retrieved soil samples.
5. Engineering analysis of the field and laboratory results.

Environmental Review Initial Study

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6. Preparation of this report documenting our investigation and presenting recommendations for the design of the project.

## SITE DESCRIPTION

### Proposed Location and Development

The portion of Enos Lane proposed to be improved extends north from Hames Road approximately  $\frac{3}{4}$  mile to the Salesian Sister School. The road improvements may include widening the road to 18 feet, adding drainage facilities, and the construction pedestrian walkways. The widening project may require retaining walls and/or cut and fill slopes along the middle section of the roadway. A parking lot with a 100 car capacity is proposed to be constructed on the terrace above the existing school buildings.

### Site Topography and Setting

The section of Enos Lane proposed to be improved slopes gently in a general southward direction. The lower approximately 2,000 foot section of the roadway appears to have been constructed as a cut surface or at the same grade as the surrounding lots. The middle section of the road, which trends to the northwest, is formed as a compound cut/fill bench, with cut and fill slopes up to about 10 feet in height over central approximately 400 foot section. Longitudinal cracks in the asphalt pavement were observed running parallel to, and about 4 feet from, the crest of the fill slope. These cracks indicate that fill settlement has occurred, and may continue to occur, in areas of previously placed fill. The upper segment of the roadway, which trends northeast as it passes the Salesian Sisters school buildings, is constructed with what appear to be cuts and fills up to about 2 to 4 feet in height. Significant asphalt cracks were not observed along the upper stretch of roadway.

The proposed parking lot will be sited on the gently sloping terrace. The terrace surface is elevated approximately 25 feet above the Salesian Sisters School development. The cut slope, which separates the proposed parking lot from the school development, was constructed in the mid 1970's. This slope, which is 3:1 (horizontal to vertical), is vegetated with mature pine trees and grasses. The terrace above the cut slope is vegetated with grasses, brush and small trees.

### Earth Materials

The project site is mapped on the USGS Geologic Map of Santa Cruz County (Brabb 1989) as being underlain by Continental Deposits and Colluvial Deposits. We encountered silty sand and sand with silt in all of the test borings. The soil was generally loose in the upper 5 to 10 feet. The soil became medium dense in several of the borings below a depth of approximately 8 feet, and dense below a depth of approximately 14 feet. The sand contained approximately 9% to 22% non-cohesive, or slightly cohesive fines.

### Groundwater

Groundwater was not encountered to the maximum depth explored at 16 feet below the ground surface. It should be noted that the borings were open only for a few hours. This may not have been sufficient time for a stabilized water table to develop.

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We have reported the groundwater conditions encountered during our subsurface investigation at the boring locations shown. The perched and regional groundwater tables can vary with rainfall, runoff, irrigation and other sources of subsurface water.

#### DISCUSSION OF GEOTECHNICAL HAZARDS

##### Seismic Shaking and UBC Design Parameters

The site is located in a seismically active region. Mapped active or potentially active faults that may significantly affect the site are listed in the following table. The fault distances are based on a review of the document titled "Maps Of Known Active Faults Near-Source Zones In California And Adjacent Portions Of Nevada" prepared by the California Department of Conservation Division of Mines and Geology and published February 1998.

Fault	Seismic Source Type	Distance to Source (kilometers)
San Andreas	A	3
Sargent	A	9
Zayante	B	<2

The project should be designed assuming that significant seismic shaking will occur during the lifetime of the project. In general, seismic shaking will be more intense closer to earthquake epicenters, however, amplification and attenuation of seismic shaking can occur as a result of the topography of the site, and as a result of the geometry and density of the earth material underlying the site. Structures built in accordance with the latest edition of the Uniform Building Code for Seismic Zone 4 may be damaged during a large magnitude earthquake, but should not collapse. The following values for seismic design at the project site were derived or taken from the 1997 UBC.

Seismic Zone	Zone 4
Seismic Zone Factor	$Z = 0.4$
Soil Profile Type	Stiff soil ( $S_D$ )
Near Source Factor $N_h$	$N_h = 1.4$
Near Source Factor $N_v$	$N_v = 1.9$
Seismic coefficient $C_h$	$C_a = 0.62$
Seismic coefficient $C_v$	$C_v = 1.22$

##### Liquefaction

The site is mapped as having a moderately low potential for liquefaction (Map Showing Quaternary Geology and Liquefaction Potential of Santa Cruz County, California, Dupre, 1975).

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Liquefaction and lateral spreading tend to occur in loose, saturated granular soils generally including sands and non-cohesive silts. The site is underlain by silty sand that is generally medium dense to dense below a depth of about 14 feet below the ground surface. No free groundwater was encountered to the maximum depth explored at a depth of approximately 16½ feet below the ground surface. It is our opinion that there is a low potential for liquefaction to occur and significantly affect the roadway improvement and parking lot project.

### **Slope Stability**

A quantitative analysis of the stability of the slopes on the site was not included in our scope of services for this project. We observed no evidence of slope failures and no landslide deposits are mapped on or in the direct vicinity of the site (Preliminary Map of Landslide Deposits in Santa Cruz County, California, Cooper-Clark Associates).

The existing fill slopes along an approximately 500 foot section of Enos Lane show signs of settlement along the outboard edge. It is unlikely that the wedge of loose fill placed along the outboard edge of the roadway was adequately compacted or engineered during placement. This fill, however, is similar in relative density to the surrounding surface soil. It is our opinion that this fill will continue to settle overtime. Additional maintenance may be required along outboard edge of the roadway to keep the pavements in good condition. We did not observe any failures of this fill slope.

The existing cutslope along the approximately 500 foot section of the roadway is oversteepened to a gradient of about 1:1 (horizontal to vertical) in many locations. It is likely that this cut slopes will erode over time to form a more stable gradient of 1½:1 to 2:1 (horizontal to vertical). Any new cut slopes constructed as part of the road widening should be constructed to a maximum gradient of 2:1 (horizontal to vertical). Retaining walls may be added to the project design if it is desired to minimize grading.

The parking lot is proposed to be constructed near the crest of an approximately 25 foot high cutslope located north of the school buildings. The cutslope has a gradient of 3:1 (horizontal to vertical). It is our opinion that the 3:1 gradient is adequate for the long term stability of the existing cut slope.

It is our opinion that there is a low potential for landsliding to impact the project, as currently proposed.

### **Surface Ground Rupture from Faulting**

The investigation for the potential for ground surface rupture to affect the site was outside our scope of services for this project. The lower approximately 3,000 foot stretch of Enos Lane is located within the Zayante Fault Zone, as indicated by our review of the map entitled Faults and their Potential Hazards in Santa Cruz County (Hall, Sarna-Wojcicki, Dupre, 1974). The investigation of fault rupture related hazards is outside our scope of work for this project. If fault related hazards are required to be addressed for the proposed parking lot and road widening improvements, a Certified Engineering Geologist should address them.

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## CONCLUSIONS AND RECOMMENDATIONS

### PRIMARY GEOTECHNICAL ISSUES

#### 1. Site Viability

The results of our investigation indicate that from a Geotechnical Engineering standpoint the property may be developed as proposed, provided our recommendations are incorporated into the design and construction of the project.

#### 2. Primary Geotechnical Constraints

Based on our field and laboratory investigations, it is our opinion that the primary geotechnical issues associated with the design and construction of the parking lot and roadway improvements along Enos Lane are the following:

- a **Loose Surface Soil.** The upper 5 to 10 feet of fill and native soil underlying the roadway and parking lot area is generally loose, with some areas that are very loose and some areas that are medium dense. Loose subgrade soils may decrease the lifespan of the proposed roadway and parking lot pavement sections.

We recommend that all new pavement sections be underlain by a minimum of 18 inches of adequately compacted engineered fill of the on-site soil.

- b **Road Widening, Along Existing Cut/Fill Section of Enos Lane.** The majority of Enos Lane is formed as a cut and fill surface, with cuts and fills up to about 10 feet in height over the central segment. The fill is loose to very loose and settlement has occurred along segments of the outboard edge, as evidenced by longitudinal pavement cracks. It is likely that this fill, which does not appear to have been adequately engineered or compacted, will continue to settle over time.

We recommend that the roadway be widened along the inboard edge, or cut side, of the existing pavement. The road may be widened to the outboard side if the existing fill is removed and replaced as an adequately compacted engineered fill.

### RECOMMENDED POST REPORT SERVICES

#### 3. Plan Review

Bauldry Engineering should review the grading, drainage, and retaining wall plans during their preparation and prior to contract bidding to insure that the recommendations of this report have been included, and to provide additional recommendations, if needed.

#### 4. Construction Observation and Testing

Bauldry Engineering must be retained to provide field observation and testing services during construction. This work provides us the opportunity: 1) to observe the conditions unearthed during construction to allow us to verify our assumptions regarding the subsurface conditions; 2) to provide additional recommendations, as needed; 3) to form an opinion regarding the adequacy of the site work; and 4) to determine if the work complies with our specifications and requirements.

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Geotechnical observation and testing should be provided for the following:

- a. Site preparation, including demolition, stripping and grading.
- b. Acceptance of native and import fill materials.
- c. Compaction of native and import fill materials.
- d. Retaining wall construction.
- e. Surface, subsurface and retaining wall drainage construction.

Any work related to retaining wall, drainage, earthwork construction, or grading performed without the full knowledge of, and not under the direct observation of Bauldry Engineering, the Geotechnical Engineer, will nullify the recommendations contained in this report.

#### 5. Notification and Preconstruction Meeting

Bauldry Engineering should be notified at least four (4) working days prior to any site clearing and grading operations on the property in order to observe the stripping and disposal of unsuitable materials, and to coordinate this work with the grading contractor. During this period, a pre-construction meeting should be held on the site, with at least the owner's representative, the grading contractor and one of our engineers present. At this time, the project specifications and the testing and construction observation requirements will be outlined and discussed.

### EARTHWORK AND GRADING RECOMMENDATIONS

#### 6. Demolition

The site demolition will consist of the removal of trees as required, including rootballs and debris. Abandoned septic tanks and leaching lines found in the construction area must be completely removed. Tank demolition debris and deleterious soil, as designated by the Geotechnical Engineer in the field, must be removed from the site. Any voids created during the demolition procedures must be backfilled with properly compacted approved native soil or import fill.

NOTE: Any abandoned wells encountered shall be capped in accordance with the requirements of the County Health Department. The strength of the cap shall be equal to the adjacent soil and shall not be located within 5 feet of a structural footing.

#### 7. Stripping

Following the site demolition surface vegetation and organically contaminated topsoil should be stripped from the area to be graded. This organic rich soil may be stockpiled for future landscaping. The required depth of stripping will vary with the time of year and must be based upon visual observations of the Geotechnical Engineer. It is anticipated that the depth of stripping may be 2 to 4 inches.

#### 8. Fill Removal

Sections of the roadway are constructed with a wedge of loose fill along the outboard shoulder. All existing non-engineered fill material should be removed from below the areas of the roadway where widening is proposed. It should be noted that existing areas of non-engineered fill, which are not proposed to be reconstructed as adequately compacted

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engineered fills, may continue to settle. Areas of the roadway underlain by non-engineered fill sections may require increased maintenance with respect to other areas of the roadway.

#### 9. Subgrade Preparation

Following the stripping and backfilling of voids, the exposed soils in the new roadway and parking lot areas should be removed to a minimum depth of 18 inches below existing grade or as designated by the Geotechnical Engineer. The earth materials exposed at the base of the excavation should be scarified, moisture conditioned and compacted. The excavated soil may then be placed in thin lifts. There should be a minimum of 18 inches of recompacted material below all new pavement sections. Recompacted sections should extend 5 feet beyond pavement areas, where possible.

#### 10. Compaction Requirements

The minimum compaction requirements are outlined in the table below:

Minimum Compaction Requirements

Percent of Maximum Dry Density	Location
95%	1) All aggregate base and subbase in pavement areas 2) The upper 8 inches of subgrade in pavement areas 3) All utility trench backfill in pavement areas
90%	All remaining native soil and fill material
The maximum dry density will be obtained from a laboratory compaction curve run in accordance with ASTM Procedure #D1557. This test will also establish the optimum moisture content of the material. Field density testing will be in accordance with ASTM Test #D2922.	

#### 11. Moisture Conditioning

The moisture conditioning procedure should result in soil with a moisture content of 1 to 3 percent over optimum at the time of compaction. If the soil is dry water may need to be added. If grading is performed during or soon after the rainy season, the native soil may require a diligent and active drying and/or mixing operation to uniformly reduce the moisture content to the levels required to obtain adequate compaction. Additionally, the base of excavations may require stabilization treatments prior to placement of fill sections.

#### 12. Engineered Fill Material

The native soil and/or imported fill may be used as engineered fill for the project as indicated below. Samples of any proposed imported fill planned for use on this project should be submitted to the Geotechnical Engineer for appropriate testing and approval not less than 4 working days before the anticipated jobsite delivery.

Re-use of the native soil will require the following:

- a. segregation of expansive soil during excavation and removal of the expansive soil from the construction area under the observation of the Geotechnical Engineer;

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- b. removal of organics, deleterious material, and cobbles larger than 2 inches in size;
- c. thorough mixing and moisture conditioning of approved native soil.

All imported engineered fill material should meet the following criteria:

- a. granular, well graded, with sufficient binder to allow utility trenches to stand open;
- b. minimum Sand Equivalent of 20 and Resistance "R" Value of 30;
- c. free of deleterious material, organics and rocks larger than 2 inches in size;
- d. non-expansive with a Plasticity Index below 12.

### 13. Cut and Fill Slope Height and Gradient

Cut and fill slopes shall not exceed a 2:1 (horizontal to vertical) gradient and a 10 foot vertical height unless specifically reviewed by the Geotechnical Engineer. All fill slopes should be constructed with engineered fill meeting the minimum density requirements of this report. Where the vertical height exceeds 15 feet, intermediate benches must be provided. These benches should be at least 6 feet wide and sloped to control surface drainage. A lined ditch should be used on the bench. The above recommended gradients do not preclude periodic maintenance of the slopes, as minor sloughing and erosion may take place.

### 14. Fill Slope Keyways

Fill slopes should be keyed into the native slopes with a 10 foot wide base keyway that is sloped negatively at least 2% into the bank. The depth of the keyways will vary, depending on the materials encountered. It is anticipated that the depth of the keyways may be 3 to 6 feet, but at all locations shall be at least 2 feet into firm material. Subsequent keys may be required as the fill section progress upslope. The Geotechnical Engineer will designate keys in the field. See the Keyway Detail in Appendix A for general details.

### 15. Subsurface Drainage

Our recommended cut and fill slope gradients assume that the soil moisture is a result of precipitation penetrating the slope face, and not a result of subsurface seeps or springs, which can destabilize slopes with hydrostatic pressure. All groundwater seeps encountered during construction should be adequately drained to maintain stable slopes at the recommended gradients. Drainage facilities may include subdrains, gravel blankets, rock-filled surface trenches or horizontal drains. The Geotechnical Engineer will determine the drainage facilities required during the grading operations.

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## RETAINING WALLS AND LATERAL PRESSURES

### 16. Retaining Walls General

Retaining walls may be required to support cuts along sections of Enos Lane, as needed for widening of the roadway. We recommend that retaining walls be constructed on the inboard, or cut side, of Enos Lane. We should be contacted to provide supplemental recommendations for retaining walls constructed on the outboard edge, or fill side, of Enos Lane if these walls are necessary for the design and construction of the project. The following recommendations should be incorporated into the retaining wall design.

### 17. Retaining Wall Foundations - Inboard Side of Roadway

Spread Footings: Retaining walls may be founded on a spread footing foundation system along the inboard side of Enos Lane. The base of all footings should extend a minimum of

July 12, 2004

18 inches below design finish grade and should be located a minimum of 10 horizontal feet from the face of adjacent descending slopes. The footings should be bedded into firm native soil or engineered fill.

Retaining wall footings in accord with the preceding conditions may be designed for the following allowable bearing capacities. Should the footing dimensions vary significantly from those provided below, supplemental design criteria should be provided.

Footing Width	Embedment Depth	Bearing Capacity
3 feet	18 inches	2,400 psf
4 feet	18 inches	2,800 psf
5 feet	18 inches	3,200 psf
6 feet	18 inches	3,600 psf

Design for a "coefficient of friction" of 0.35 between the base of the foundation and the soil

Piers: Retaining walls may also be founded on piers designed for the following criteria:

- Minimum pier embedment should be 5 feet into the medium dense sand that underlies the upper loose sands. This will necessitate pier depths of about 14 feet below the existing roadway along the inboard edge of the road. Actual depths may be deeper and will depend on a lateral force analysis performed by your structural engineer.
- Minimum pier size should be 18 inches in diameter and all pier holes must be free of loose material on the bottom.
- Passive pressures of 325 psf/ft of depth can be developed, acting over a plane 1% times the pier diameter. Neglect passive pressure in the top 2 feet of soil.
- The allowable end bearing capacity for a 14 foot pier is 6,000 psf, with a 1/3rd increase for wind or seismic loading.
- It is possible that the piers will need to be cased during drilling and that the water will have to either be pumped before steel and concrete placement or the concrete placed through a tremie.
- If the casing is pulled during the concrete pour, it must be pulled slowly with a minimum of 4 feet of casing remaining embedded within the concrete at all times.
- If concrete is placed via a tremie, the end of the tube must remain embedded a minimum of 4 feet into the concrete at all times.
- A representative of Bauldry Engineering must observe all pier construction. Any piers constructed without the full knowledge and

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July 12, 2004

continuous observation of Bauldry Engineering, will nullify the recommendations contained in this report.

- i. The piers should contain steel reinforcement as determined by the Project Structural Engineer.

### 18. Soldier Pile Retaining Walls

Soldier pile retaining walls should be constructed with timber or concrete lagging spanning between steel H beams founded in cast-in-place concrete piers. The timber used as lagging should be preserved in accordance with CALTRANS Standard Specifications, Section 58.

### 19. Lateral Pressures

Retaining walls should be fully drained and designed using the following criteria:

- a. Active and At-Rest Earth Pressures

When walls are free to yield an amount sufficient to develop the active earth pressure condition (about 1/2% of height), design for active earth pressures as listed below. When walls are restrained at the top design for at-rest pressures.

Slope of Backfill	Active Earth Pressure	At-Rest Earth Pressure
Horizontal	40 psf/ft of depth	55 psf/ft of depth
2:1 (H:V)	55 psf/ft of depth	80 psf/ft of depth

Should the slope behind the retaining walls be other than those outlined above, the active earth or at-rest pressures for the particular slope angle may be obtained by interpolation.

- b. Passive Earth Pressures

Retaining walls with shallow spread footings **may be** designed assuming passive earth pressure of 300 psf/ft of depth, neglecting passive pressures in the upper 12 inches of embedment.

Retaining walls with pier foundations may be designed assuming passive pressures of 325 psf/ft. Passive pressures act over a plane 1% times the pier diameter. Neglect passive pressure in the top 2 feet of soil

- c. Surcharge Pressures

For live or dead loads that transmit a force to the wall refer to the Surcharge Pressure Diagram included in Appendix A.

- d. Seismic Force

Retaining walls should be designed for the lateral seismic forces listed in the following table. The resultant seismic force on the wall acts at a point 0.6H up from the base of the wall. H is the height of the retained soil in feet. Lateral seismic forces are based on the Mononobe-Okabe method of analysis.

Environmental Review Initial Study

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Restraint Condition	Resultant Seismic Force (lbs.)
Free to Yield (active pressure condition)	$a H^2$
Non-Yielding (at-rest pressure condition)	$24 H^2$

## 20. Retaining Wall Drains

The lateral pressures given above are based on fully drained conditions. We recommend the retaining wall drain be constructed incorporating **the** criteria numerated below, as shown on the Retaining Wall Drain Detail included in Appendix A.

- The permeable material should meet the State of California Standard Specification Section 68-1.025, Class 1, Type A.
- The permeable material should be a minimum of 12 inches in width and should extend to within 12 inches of the ground surface.
- Mirafi 140 filter fabric, or equivalent, should be placed horizontally over the top of the permeable material and then compacted native soil placed to the ground surface.
- A 4-inch diameter rigid perforated plastic or metal drainpipe should be placed 3 inches above the base of the permeable material.
- The drain line and should be discharged to an approved location away from the footing area.

## 21. Surface Drainage Above Retaining Walls

Water should not be allowed to flow over the top of retaining walls. A lined "V"-ditch should be constructed adjacent to and along the top of walls to collect surface runoff from the slope. The "V"-ditch should transport the collected water to a sold pipe that discharges into a natural drainage swale away from the wall and other structures.

## 22. Compaction of Backfill

The area behind the wall and permeable material should be compacted with approved soil to a minimum relative dry density of 90%.

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## UTILITY TRENCHES

### 23. Utility Trench Set Backs

Utility trenches that are parallel to the sides of the retaining walls should be placed so that they do not extend below a line with a 2:1 (horizontal to vertical) gradient extending from the bottom outside edge of all footings.

### 24. Utility Trench Backfill

Trenches may be backfilled with the native materials or approved import granular material with the soil compacted in thin lifts to a minimum of 95% of its maximum dry density in

July 12, 2004

paved areas and 90% in other areas. Jetting of the trench backfill should be carefully considered as it may result in an unsatisfactory degree of compaction.

#### 25. Shoring

Trenches must be shored as required by the local agency and the State of California Division of Industrial Safety construction safety orders.

### SURFACE DRAINAGE

#### 26. Surface Grades and Storm Water Runoff

Water must not be allowed to pond on parking areas or adjacent to retaining wall foundations. Final grades should slope such that water is rapidly transported to drainage facilities.

Concentrated surface water should be controlled using lined ditches, catch basins, and closed conduit piping, or other appropriate facilities, and should be discharged at an approved location away from structures and graded areas. Discharge locations should be a minimum of 10 feet from retaining wall foundations or fill slopes. Storm water must not be discharged on or adjacent to cut or fill slopes.

#### 27. Protection of Cut and Fill Slopes

Cut and fill slopes shall be constructed so that surface water will not be allowed to drain over the top of the slope face. This may require berms or curbs along the top of fill slopes and surface drainage ditches above cut slopes.

#### 28. Maintenance and Irrigation

The surface drainage facilities must not be altered, and there should be no modifications of the finished grades at the project site without first consulting Bauldry Engineering, the Project Geotechnical Engineer.

Irrigation activities at the site should not be done in an uncontrolled or unreasonable manner. We recommend that landscaping be done with native and drought tolerant plants.

#### 29. Percolation Pits

Percolation pits are acceptable for the disposal of storm water runoff at the project site. Percolation pits should be sited in native soils a minimum of 5 feet from edge of all pavements, and down-gradient of pavement areas.

Care should be taken with the location of percolations pits such that the subsurface flow does not impact other developments outside the roadway easement area.

Environmental Review Initial Study

ATTACHMENT 7, 15 of 16

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### PAVEMENT DESIGN

#### 30. Laboratory Testing Pavement Subgrade Soil

The soils that will comprise the pavement subgrade will in all likelihood be the brown silty sand predominating on the site. The "R" Value results for this material were 63 and we have used this value for the design of the pavement sections noted below. This must be verified in the field and, if necessary, modifications made to **these** tentative sections.

### 31. Recommended Pavement Sections

For design purposes, the following traffic indices are suggested:

- |                      |           |
|----------------------|-----------|
| a. Parking stalls    | T.I. = 4% |
| b. Traffic aisles    | T.I. = 5  |
| c. Truck usage areas | T.I. = 6% |

This value may be modified after we have information on the truck traffic that will use this facility

Using CALTRANS Design Procedure and a 20 year design life, the following minimum pavement sections are suggested, however, design sections may be increased as necessary to meet regulatory agency requirements.

Material	Traffic Index		
	4 %	5.0	6 %
Asphalt Concrete	2 inches	2 inches	2 inches
Class 2 Aggregate Base, R=78	6 inches	6 inches	6 inches

### 32. General Pavement Recommendations

To have the selected pavement sections perform to their greatest efficiency, it is very important that the following items be considered:

- Properly moisture condition the subgrade and compact it to a minimum of 95% of its maximum dry density, at a moisture content 1-3% *over* the optimum moisture content.
- Provide sufficient gradient to prevent ponding of water.
- Use only quality materials of the type and thickness (minimum) specified. **All** baserock must meet CALTRANS Standard Specifications for Class 2 Aggregate Base, and be angular in shape.
- Compact the base and subbase uniformly to a minimum of 95% of its maximum dry density.
- Place the asphaltic concrete only during periods of **fair** weather when the free air temperature is within prescribed limits.
- Maintenance should be undertaken on a routine basis.

Environmental Review Initial Study  
ATTACHMENT 7, 16 of 1  
APPLICATION 04-0384



# COUNTY OF SANTA CRUZ

## PLANNING DEPARTMENT

701 OCEAN STREET, 4<sup>TH</sup> FLOOR, SANTA CRUZ, CA 95060  
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123  
TOM BURNS, PLANNING DIRECTOR

September 15, 2004

Salesian Sisters School  
605 Enos Lane  
Corralitos, CA 95076

**SUBJECT: Archaeological Reconnaissance Survey for APNs along Enos Lane**

To Whom It May Concern,

The County's archaeological survey team has completed the Phase 1 archaeological reconnaissance for the parcel referenced above. The research has concluded that pre-historical cultural resources were not evident at the site. A copy of the review documentation is attached for your records. No further archaeological review will be required for the proposed development.

Please contact me at 831-454-3372 if you have any questions regarding this review.

Sincerely, /

Elizabeth Hayward  
Planning Technician

Environmental Review Initial Study  
ATTACHMENT 8, Lot 3  
APPLICATION 04-0384

Enclosure

**EXHIBIT B**

**SANTA CRUZ ARCHAEOLOGICAL SOCIETY  
1305 EAST CLIFF DRIVE, SANTA CRUZ, CALIFORNIA 95062**

Preliminary Prehistoric Cultural Resource  
Reconnaissance Report

Parcel APN: SEE ATTACHED LIST

SCAS Project #: SE-04-991

Planning Permit #: 04-0384

Parcel Size: 125.302 Acres ±

Applicant: SALESIAN SISTERS SCHOOL

Nearest Recorded Prehistoric Site: CA-SCR-146 .7 MILE SE

On Aug. 30, 2004 (2) members of the **Santa Cruz Archaeological Society** spent a total of (2<sup>+</sup>) hours on the above described parcel for the purposes of ascertaining the presence or absence of prehistoric cultural resources on the surface. Though the parcel was traversed on foot at regular intervals and diligently examined, the Society cannot guarantee the surface absence of prehistoric cultural resources where soil was obscured by grass, underbrush or other obstacles. No core samples, test pits, or any subsurface analysis was made. A standard field form indicating survey methods used, type of terrain, soil visibility, closest freshwater source, and presence or absence of prehistoric and/or historic cultural evidence was completed and filed with this report at the Santa Cruz County Planning Department.

The preliminary field reconnaissance did not reveal any evidence of prehistoric cultural resources on the parcel. The proposed project would therefore, have no direct impact on prehistoric resources. If subsurface evidence of such resources should be uncovered during construction the County Planning Department should be notified.

Further details regarding this reconnaissance are available from the Santa Cruz County Planning Department or from Rob Edwards, Director, Archaeological Technology Program, Cabrillo College, 6500 Soquel Drive, Aptos CA 95003, (831) 479-6294, or email redwards@cabrillo.cc.ca.us.

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Environmental Review Initial Study  
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APPLICATION 04-0384

SCAS PROJECT SE - 04 - 991

n

APN LIST

107-251-04	107-291-10	107-311-02	107-461-25
107-251-10	107-291-13	107-311-03	107-571-01
107-251-16	107-291-17	107-311-04	107-571-03
107-251-25	107-291-19	107-311-06	107-571-04
107-291-09	107-311-01	107-461-02	

Environmental Review Initial Study  
ATTACHMENT 8 3 of 3  
APPLICATION 04-0384

# CITY OF WATSONVILLE

*"Opportunity through diversity; unity through cooperation"*



## ADMINISTRATION BUILDING

215 Union Street  
Second Floor  
Fax 831.761.0736

□

## MAYOR & CITY COUNCIL

215 Union Street  
831.728.6006  
CITY MANAGER  
831.728.6011  
CITY ATTORNEY  
831.728.6013  
CITY CLERK  
831.728.6005  
PERSONNEL  
831.728.6012

October 5, 2004

Randall Adams  
Project Planner – Development Review  
County of Santa Cruz  
Planning Department  
701 Ocean Street – 4<sup>th</sup> floor  
Santa Cruz, CA 95060

## CITY HALL OFFICES

250 Main Street

■

### COMMUNITY DEVELOPMENT

831.728.6018  
Fax 831.728.6173

### FINANCE

831.728.6031  
Fax 831.763.4066

### PUBLIC WORKS & UTILITIES

831.728.6049  
Fax 831.728.4065

### PURCHASING

831.728.6029  
Fax 831.763.4066

## REDEVELOPMENT & HOUSING

831.728.6014  
Fax 831.763.4114

### AIRPORT

100 Aviation Way  
831.728.6075  
Fax 831.763.4058

### FIRE

115 Second Street  
831.728.6060  
Fax 831.763.4054

□

### LIBRARY

310 Union Street  
831.728.6040  
Fax 831.763.4015

□

## ARKS & COMMUNITY SERVICES

30 Maple Avenue  
831.728.6081  
Fax 831.763.4078

Subject: Water Service for APN: 107-571-01 (Application # 04-0384)

Dear Mr. Adams:

This letter is to inform you that City of Watsonville (City) water is currently being supplied to the Mary Help of Christian School located at 605 Enos Lane, and that City water may be provided to serve the proposed expanded enrollment. The Mary Help of Christian School is currently served by a 1" water meter; should additional meters or an upgraded meter be required, additional fees payable to the City of Watsonville will be assessed.

Please contact me at (831) 725-6127 if you have any questions or concerns.

Yours truly,

A handwritten signature in black ink, appearing to read "Joy Bader", written over a horizontal line.

Joy Bader, Assistant Engineer  
Community Development Department

Environmental Review Initial Study  
ATTACHMENT 9  
APPLICATION 04-0384



HIGGINS ASSOCIATES

CIVIL &amp; TRAFFIC ENGINEERS

August 6, 2004

Ms. Betty Cost  
 Richard Beale Land Use Planning  
 100 Doyle Street, Suite E  
 Santa Cruz, CA 95062

Re: Salesian Sisters School Expansion Traffic Impact Analysis, Santa Cruz County,  
 California

Dear Ms. Cost:

This letter documents a traffic analysis for the Salesian Sisters School located in Santa Cruz County, California. The **existing** school is located on the west side of Enos Lane about 0.7 miles north of Hames Road. The location of the school with respect to the local road network is shown on Exhibit 1.

The enrollment of the existing K-8 school is currently about 200 students and an enrollment of 250 students is proposed. The school's existing use permit allows a maximum of 125 students. The school is proposing to construct a new parking area to improve parking and on-site circulation before school and after school dismissal. In addition, the school will widen Enos Lane to 18 feet as required by the fire marshal. The widening will include additional **width** for pedestrians and bicyclists. A site plan of the project site showing the location and design of the new parking lot is shown on Exhibit 2.

The school operates 180 days per year between August and May. Current enrollment is about 200 students. The school faculty consists of 17 full-time and 5 part-time people. A camp is conducted over a 4-week period during the summer with varying attendance each week varies. Exhibit 3 provides a summary of the various existing uses at the project site.

The traffic analysis documented in this letter includes an analysis of existing traffic operations at the Hames Road/Enos Lane and Enos Lane/Project Driveway intersection, a calculation of the existing **trip** generation for the project site, an analysis of average vehicle occupancy required to meet various school trip generation objectives and a review of the **parking** requirements for the school.

Environmental Review Initial Study  
 ATTACHMENT 10, 1 & 19  
 APPLICATION 04-0384

## EXISTING CONDITIONS

### Roadway Network

The project site is accessed from a single driveway to Enos Lane. Enos Lane is a two-lane private road that extends to the north from Hames Road and serves a rural-residential developed area. The width of Enos Lane varies along its length, with widths as narrow as 14 to 15 feet with no shoulders or pedestrian/bicycle facilities. The cross section of Enos Lane immediately north of Hames Road is particularly constrained. This segment is 16 feet wide with no shoulders available for pedestrian traffic. Hames Road is a two-lane road that extends between Freedom Boulevard and Browns Valley Road.

### Existing Intersection Operations

The school day begins at 8:00 AM and ends at 2:45 PM. School related traffic generation is concentrated in the 7:30 AM to 8:00 AM period and the 2:30 PM to 3:00 PM period.

Intersection turning movement counts were collected on Wednesday, April 28, 2004 at the Hames Road/Enos Lane and the Enos Lane/Salesian School Driveway to establish existing traffic volume conditions at these intersections. The counts were conducted from 7:00 AM to 9:00 AM and from 2:00 PM to 4:00 PM. The peak one-hour of traffic volume at the two study locations during the AM peak period was determined to be between 7:15 AM and 8:15 AM and the peak one-hour traffic volume during the afternoon peak period was determined to be between 2:30 PM and 3:30 PM. The existing AM and afternoon peak hour volumes are shown on Exhibit 4.

Traffic operations were analyzed at the two study intersections using technical procedures documented in the *2000 Highway Capacity Manual*. Intersection operations are based upon the average vehicular delay at the intersection. The average delay is then correlated to a level of service. Level of service (LOS) is a qualitative description of an intersection's operation, ranging from LOS A, or free-flow conditions, to LOS F, or jammed conditions. Appendix A provides a description of the level of service categories for unsignalized intersections.

The existing intersection levels of service are shown on Exhibit 4. Level of service calculations are included in Appendix B. Both intersections currently operate at LOS A during the AM and afternoon peak hours. The Enos Lane approach to Hames Road operates at LOS B during the AM and afternoon peak hours and the school driveway approach to Enos Lane operates at LOS A during the AM and PM peak hours. The study intersections currently operate at satisfactory levels of service during the AM and afternoon peak hours. Capacity related improvements and modifications to the existing traffic control at these intersections are not required for existing conditions.

Betty Cost  
 August 6, 2004  
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### Drop-Off/Pick-up Operations

Student drop-off and pick-up occurs in the parking area located on the east side of the **facility**. In the morning, vehicles enter the site from Enos Lane and circulate on the perimeter circulation road in a clockwise direction around the campus buildings to the drop-off area where students exit the vehicle. School staff monitor drop-off operations, provide traffic control and assist student egress as required. When observed on April 28, **all** student drop-offs occurred on the school site. No drop-offs occurred on Enos Lane. In addition, traffic flow from Enos Lane onto the school site was continuous and vehicle queues did not extend from the campus onto Enos Lane.

In the afternoon, vehicles enter the site from Enos Lane and circulate clockwise around the campus buildings to the drop-off area where students are picked up. Vehicles queue on the circulation road that surrounds the school buildings prior to the dismissal of school. The circulation roadway is a one-lane road and the vehicle queue on this roadway effectively blocks the roadway for other traffic. Students remain in their classrooms and are called to the **pick-up** area when their parent or carpool arrives at the pick-up area. School staff monitor pick-up operations, provide traffic control and assist student to the vehicles as required. When observed on April 28, all student pick-ups occurred on the school site. No pick-ups occurred on Enos Lane. Traffic flow from Enos Lane onto the school site was continuous and vehicle queues did not extend from the campus onto Enos Lane.

### Existing Trip Generation

Exhibit 5 provides a summary of the school vehicle trip generation during on April 28, 2004 when the traffic volume counts were conducted. During the AM peak period, the school generated 191 vehicle trips, with 106 inbound trips and 85 outbound trips. The highest one-hour of traffic volume at the school driveway during the AM peak period occurred between 7:15 AM and 8:15 AM, which is also the **peak** one-hour of traffic at the two study intersections. Between 7:15 AM and 8:15 AM, the school generated 177 vehicle **trips**, with 100 inbound and 77 outbound. The trips shown on Exhibit 5 include trips generated by students being dropped off and picked up and trips generated by staff.

During the **afternoon** two-hour peak period, the school generated 190 vehicle trips, with 91 inbound trips and 99 outbound trips. The highest one-hour of traffic volume at the school driveway during the afternoon peak period occurred between 2:00 PM and 3:00 PM. During this period, the school generated 157 total trips, with 79 inbound trips and 78 outbound trips. During

Betty Cost  
August 6, 2004  
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the 2:30 PM to 3:30 peak hour of the **study** intersections, the school generated 150 vehicle trips, 63 of which were inbound and 87 of which were outbound.

The lower **half** of Exhibit 5 shows the calculation of peak hour trip generation rates for the school based on the April 38, 2004 counts. In the morning, the school generated vehicle trips at the rate of 0.92 **trips** per student, with 56% of the trips inbound and 44% of the trips outbound. During the afternoon peak hour of school **trip** generation (2:00 PM to 3:00 PM) the school generated trips at the rate of 0.81 trips per student, with 50% of the **trips** inbound and 50% of the trips outbound.

The two study intersections were counted again after the Salesian Sisters School had dismissed for the year to show intersection volumes without the school trips. The second count was conducted on Thursday, June 3, 2004. The results of the second count are shown on Exhibit 6. The second count shows 91 less vehicles turning from Hames Road to Enos Lane and 76 less vehicles turning from Enos Lane to Hames Road compared to the **April** 28 count during the AM peak hour. **During** the PM peak hour, the second count shows 50 less vehicles turning from Hames Road to Enos Lane and 77 less vehicles turning from Enos Lane to Hames Road.

The school provided carpool vehicle occupancy statistics and this data is summarized on Exhibit 7. Of the 124 families with students attending the school, 104 families have organized a carpool with at least one other family. The distribution of vehicles by student occupancy per vehicle is as follows:

<u>Students Per Vehicle</u>	<u>No. of Vehicles</u>
1	20
2	31
3	13
4	10
5	3
6	<u>2</u>
Total	79

Overall, the average number of students per vehicle is 2.38.

Under a worst-case situation in which there would be no ridesharing, potentially 124 inbound and outbound trips could be generated in the morning to drop students at the school and the same number of **trips** could be generated in the afternoon after school has dismissed. The current carpool program reduces the worst-case **trip** generation condition by about 36%.

Betty Cost  
 August 6, 2004  
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## PROJECT CONDITIONS

The school is approved for an enrollment level of 125 students, but has an enrollment of about 200 students at this time. The school proposes to ultimately increase the enrollment to 250 students. Based on the existing carpool plan and an enrollment of 188 students, 79 vehicles are used to transport students to and from school. Assuming that the existing student occupancy per vehicle ratio is maintained (2.38), at an enrollment level of 125 students, 52 vehicles would be used to transport the students and at an enrollment level of 250 students, 104 vehicles would be used to transport the students. These comparisons are summarized on Exhibit 8.

If the school were required to meet the carpool vehicle occupancy ratio established by the 1978 carpool **plan** (i.e., 3.8 students per vehicle), **33** vehicles would be used to transport students at the 125 student enrollment level, 49 vehicles would be used to transport students at the 188 student enrollment level, and **66** vehicles would be used to transport students at the 250 student enrollment level.

If the school were required to not exceed the student related vehicle trip generation associated with the 1978 use permit, an average vehicle occupancy of 5.2 students per vehicle would be required to transport students at the 125 student enrollment level, an average vehicle occupancy of 7.8 students per vehicle would be required to transport students at the 188 student enrollment level, and an average vehicle occupancy of 10.4 students per vehicle would be required to transport students at the 250 student enrollment level.

Current passenger vehicle designs include an air bag in the front passenger seat, which prohibits children from sitting in the front passenger seat. Under this condition, it is not certain that an average vehicle occupancy of 3.8 students per vehicle could be met unless the vehicle fleet predominately consisted of mini-vans and SUV's.

To achieve an average vehicle occupancy of 3.8 students per vehicle under existing enrollment conditions would minimally require organizing all of the students currently arriving as single occupants and as 2 person carpools into carpools of at least 4 students, while maintaining the existing number of vehicles carrying 3, 5 and 6 students. To achieve the high student per vehicle ratios associated with transporting the existing student enrollment in 33 vehicles or less (125 students at 3.8 students per vehicle) or 24 vehicles or less (the 1978 carpool plan) would require student occupancy rates of over 5.7 and 7.8 students per vehicle, respectively. To achieve the high student per vehicle ratios associated with transporting the proposed 250-student enrollment in 33 vehicles or less or 24 vehicles or less would require the student occupancy rates of over 7.6 and 10.4 students per vehicle, respectively. To achieve these occupancy rates would require the establishment of a bussing program.

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## PARKING

The County of Santa Cruz zoning code only requires 0.3 parking spaces per staff per staff person at elementary schools. Given the rural location of the Salesian Sisters School and the lack of on street parking adjacent to the school, 0.3 spaces per staff person would not be adequate for the school. Minimally, at least one space per staff person plus an allowance for visitor parking should be provided at the school. In addition, drop-off and pick-up operations require sufficient parking/queuing and drop-off/pick-up areas to adequately function. Under existing conditions, the one-lane circulation road surrounding the school is used for vehicle queuing during the pick-up operation. If the existing circulation system were to be maintained for the site, the circulation road would need to be widened to provide one through lane and a parking lane,

To address the inadequate parking area provided for the pick-up operation, the school will construct a new 102 space parking area immediately north of the school site. The new parking area will provide adequate parking for parents to park prior to school dismissal. Also, the new parking area will provide the school with additional parking for special events.

## SUMMARY

The Salesian Sisters School proposes to construct a new parking area to provide additional parking for the facility and a new area for student pick-up operations. Also, the school will widen Enos Lane to a minimum 18- foot width and provide additional width for pedestrians and bicyclists.

This letter has documented vehicle occupancy requirements for various levels of enrollment and maximum numbers of vehicles to transport students to and from school. If the school is required to limit the number of vehicles transporting students to either the number of transport vehicles approved with the original 90 student permit (24 vehicles) or the number of vehicles required to transport 125 students at an occupancy rate of 3.8, it is likely that a bussing program would be required to achieve the average occupancy rates associated with these limitations.

If you have any questions regarding this proposal, please do not hesitate to contact me.

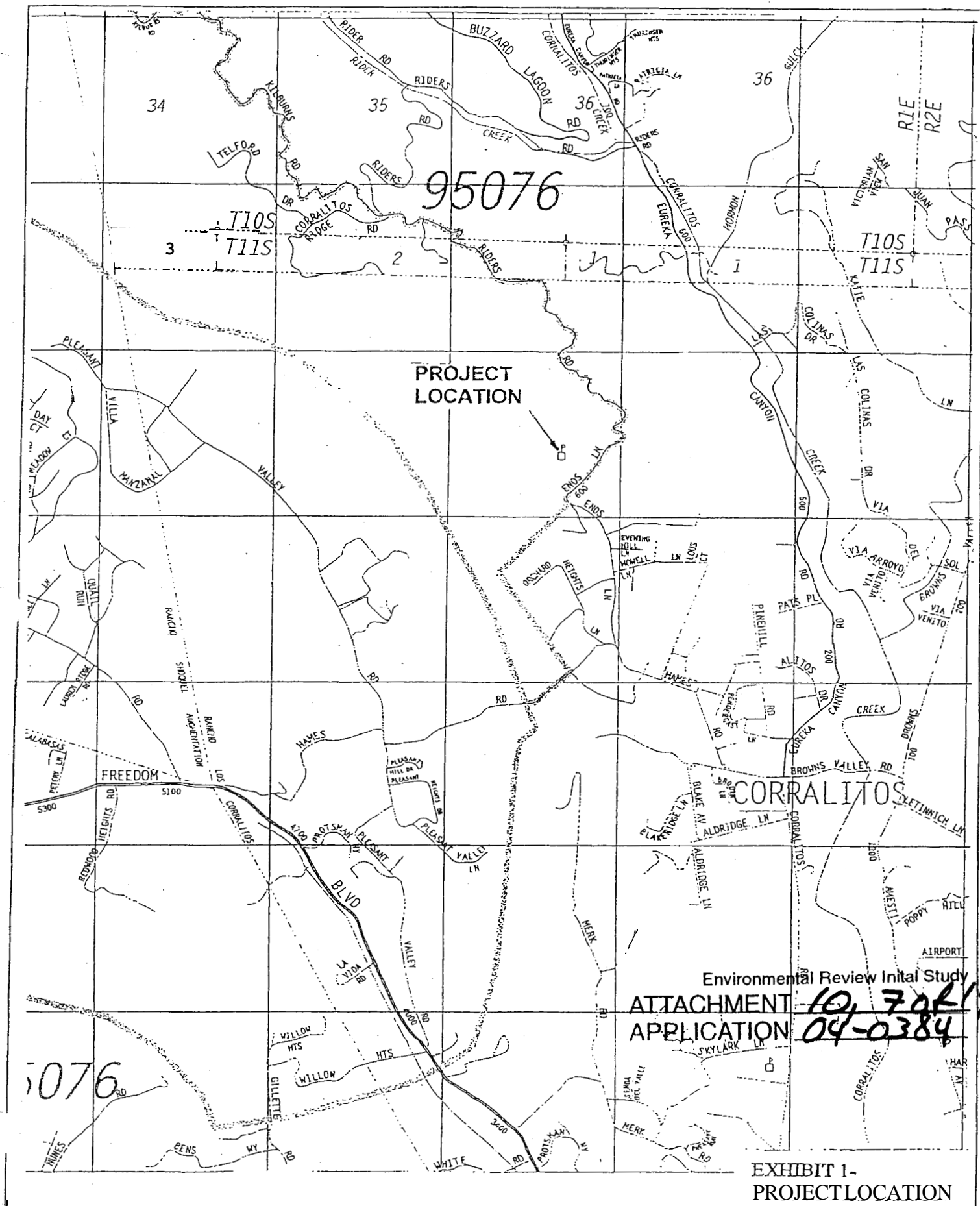
Respectfully submitted,

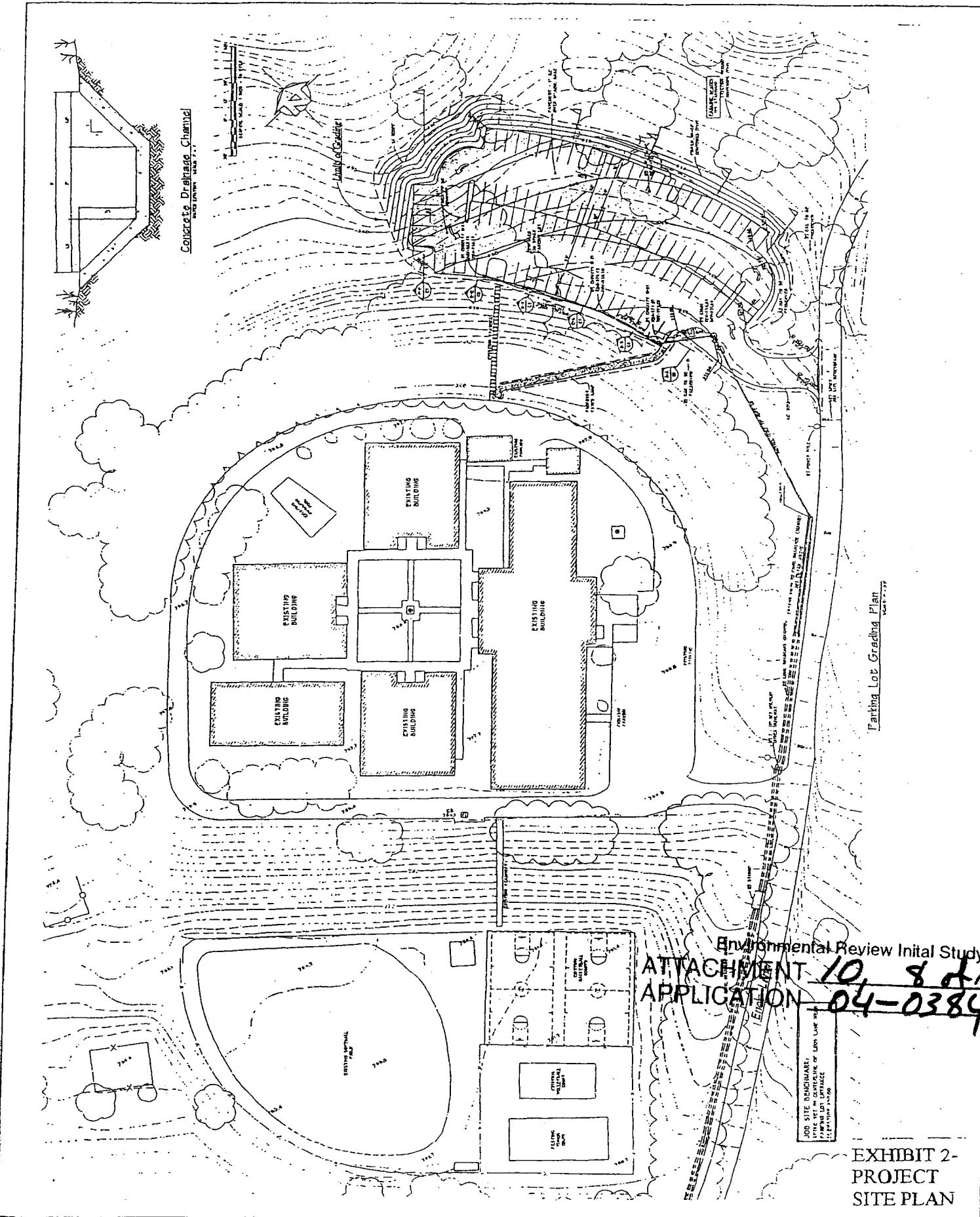


J. Daniel Takacs, TE

attachments

Environmental Review Initial Study  
ATTACHMENT 10, 6 of 19  
APPLICATION 04-0384





**MARY HELP OF CHRISTIANS YOUTH CENTER**  
**USE AND POPULATION**     2004

**RESIDENTS:**     10 during the year; an average of 15 during summer

**SCHOOL:**     180 days per year

**Students:** Capacity 250 – enrollment 200 - 210

**Faculty 2nd staff:** full time 17

Part time 5

**CAMP:**     Four weeks duration

**Enrollment 2003:**

Wk.1 –Residents	18	Wk.3 –Residents	24
Day	17	Day	23
Counselors	11	Counselors	10
Total	46	Total	57
Wk.2 –Residents	17	Wk.4 –Residents	25
Day	32	Day	20
Counselors	11	Counselors	7
Total	60	Total	52

**NOVITIATE:**     (capacity, see per Use Permit – residing none at present)

**RETREATS:**     Capacity     Week-end     22  
                                                  Day - between 30/80  
                                                  Attendance     Unpredictable (last year two or three week ends  
                                                  Five or six one day retreat)

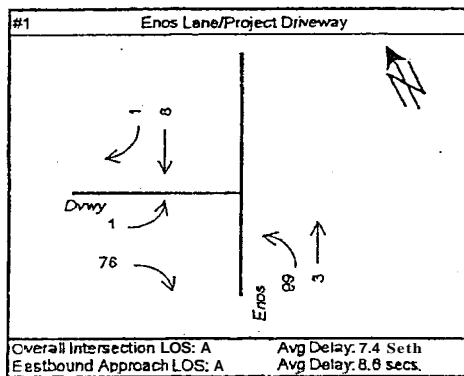
N.B. Some time we offer the use of the place to community groups for prayer, meetings, or the use of the parking space to our neighbors for special events.

Environmental Review Initial Study  
 ATTACHMENT 10, 9 of 10  
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EXHIBIT 3-  
 SUMMARY OF EXISTING USES

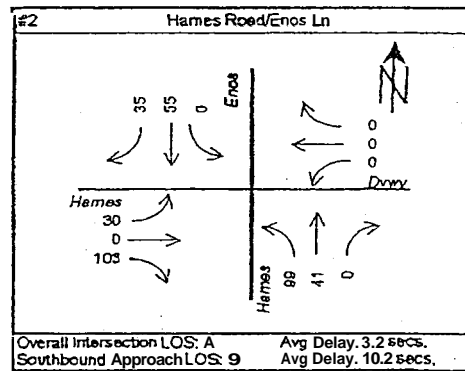
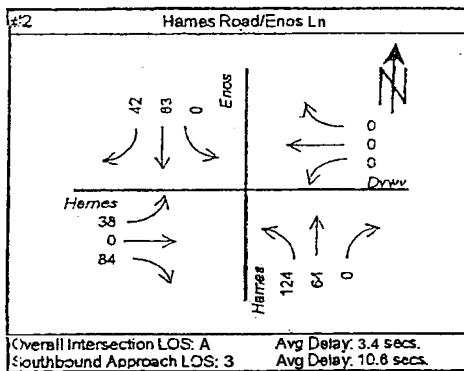
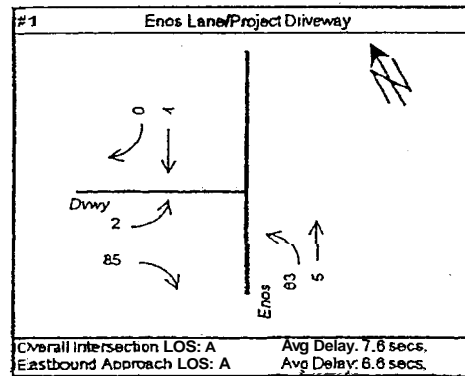
### AM PEAK HOUR

7:15 AM to 8:15 AM



### AFTERNOON PEAK HOUR

2:30 PM to 3:30 PM



Source: 7:00 to 8:00 AM and 2:00 to 4:00 PM counts collected on Wednesday April 28, 2004.

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ATTACHMENT 10, 10 of 11  
APPLICATION 04-0384

## SCHOOL TRIP GENERATION

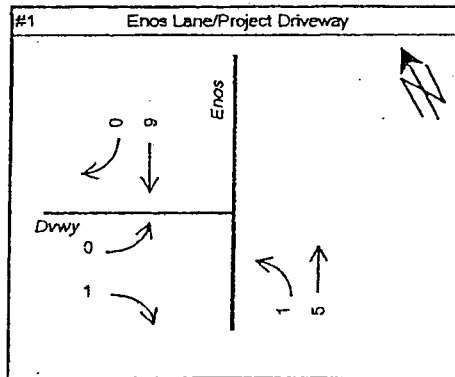
Study Period	Time	School Generated Trips			
		In	Out	Total	
<u>AM Trip Generation</u>					
Two <b>Hour</b> Count Period	7:00 AM to <b>9:00</b> AM	106	85	191	
Peak Hour of School Driveway	7:15 AM to 8:15 AM	100	<b>77</b>	177	
Peak Hour of <b>Study</b> Intersections	7:15 AM to 8:15 AM	<b>100</b>	<b>77</b>	<b>177</b>	
<u>PM Trip Generation</u>					
Two <b>Hour</b> Count Period	2:00 P M to <b>4:00</b> P M	91	99	<b>190</b>	
Peak Hour of School Driveway	2:00 P M to <b>3:00</b> <b>P M</b>	79	78	<b>157</b>	
Peak Hour of <b>Study</b> Intersections	2:30 P M to <b>3:30</b> <b>P M</b>	63	87	150	

## SCHOOL TRIP GENERATION RATES

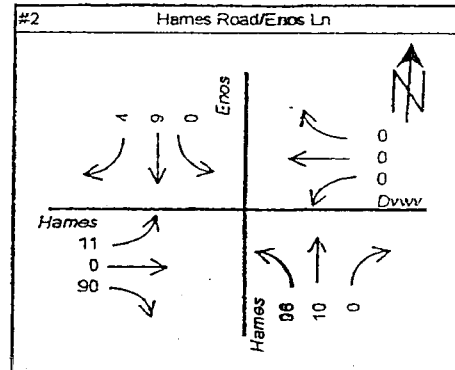
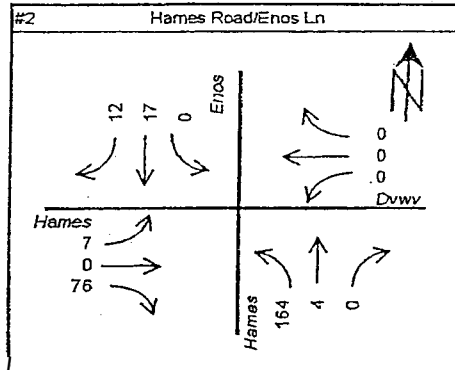
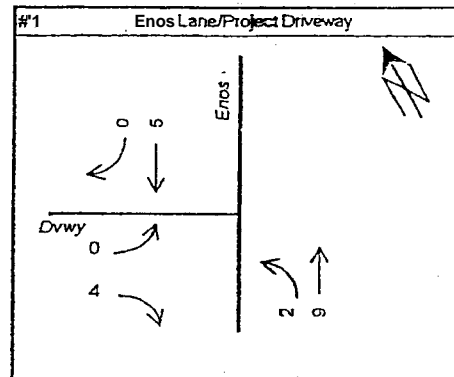
		School Trip Generation			
Study Period	Time	In	Out	Trip Per Student	
<u>AM Trip Generation</u>					
Peak Hour of School Driveway	7:15 AM to 8:15 AM	56%	44%	0.92	
Peak Hour of Study Intersections	7:15 AM to 8:15 AM	56%	44%	0.92	
<u>PM Trip Generation</u>					
Peak Hour of School Driveway	2:00 P M to 3:00 P M	50%	50%	0.81	
Peak Hour of Study Intersections	2:30 P M to 3:30 P M	42%	58%	0.78	

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**AM PEAK HOUR**  
7:15 AM to 8:15 AM



**AFTERNOON PEAK HOUR**  
2:30 PM to 3:30 PM



Source: 7:00 to 9:00 AM and 2:00 to 4:00 PM counts collected on Thursday June 3, 2004.

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SALESIAN SISTERS SCHOOL  
2004 CARPOOLS

Vehicle/ Carpool #	Families	Children
1	3	4
2	2	4
3	1	2
4	1	2
5	1	2
6	2	2
7	2	4
8	1	1
9	1	1
10	2	4
11	1	1
12	1	1
13	2	4
14	1	2
15	2	4
16	1	3
17	2	2
18	1	1
19	1	1
20	2	3
21	3	6
22	1	1
23	2	2
24	2	2
25	1	2
26	2	2
27	2	3
28	1	2
29	2	2
30	2	2
31	1	1
32	1	3
33	1	1
34	2	3
35	1	2
36	3	5
37	2	4
38	1	1
39	2	3
40	1	2
41	2	3
42	3	3
43	1	3
44	2	2
45	2	3
46	1	1
47	2	2
48	1	1
49	3	6
50	2	3
51	1	1
52	3	5
53	2	4
54	1	1
55	1	1
56	1	1
57	1	2
58	1	2
59	2	2
60	1	1
61	2	2
62	2	5
63	2	4
64	1	2
65	2	2
66	2	4
67	2	3
68	2	3
69	1	2
70	1	2
71	1	2
72	2	2
73	2	2
74	1	1
75	1	2
76	1	2
77	1	2
78	1	1
79	1	1
Total	124	188

2.38 Students/Vehicle

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Enrollment	With Existing		With 1978 Carpool Plan		With 1978 Carpool Plan	
	Vehicle Occupancy		Vehicle Occupancy		Vehicles	
	Students Per	Vehicles	Students Per	Vehicles	Students Per	Vehicles
90	2.38	38	3.8	24	3.8	24
125	2.38	53	3.8	33	5.2	24
188	2.38	79	3.8	49	7.8	24
250	2.38	105	3.8	66	10.4	24

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## APPENDIX A

### LEVEL OF SERVICE (LOS) DESCRIPTION UNSIGNALIZED INTERSECTIONS WITH TWO-WAY STOP CONTROL (TWSC)

TWSC intersections are widely used and stop signs are used to control vehicle movements at such intersections. At TWSC intersections, the stop-controlled approaches are referred to as the minor street approaches; they can be either public streets or private driveways. The intersection approaches that are not controlled by stop signs are referred to as the major street approaches. A three-leg intersection is considered to be a standard type of **TWSC** intersection if the single minor street approach (i.e. the stem of the T configuration) is controlled by a stop sign. Three-leg intersections where two of the three approaches are controlled by stop signs are a special form of unsignalized intersection control.

At TWSC intersections, drivers on the controlled approaches are required to select gaps in the major street flow through which to execute crossing or turning maneuvers on the basis of judgement. In the presence of a queue, each driver on the controlled approach must use some time to move into the front-of-queue position and prepare to evaluate gaps in the major street flow. Capacity analysis at TWSC intersections depends on a clear description and understanding of the interaction of drivers on the minor or stop-controlled approach with drivers on the major street. Both gap acceptance and empirical models have been developed to describe this interaction.

Thus, the capacity of the controlled legs is based on three factors:

- the distribution of gaps in the major street traffic stream;
- driver judgement in selecting gaps through which to execute the desired maneuvers; and
- the follow-up time required by each driver in a queue.

The delay experienced by a motorist is made up of a number of factors that relate to control, geometrics, traffic and incidents. Total delay is the difference between the travel time actually experienced and the reference travel time that would result during base conditions, in the absence of incident, control, traffic or geometric delay. Average control delay for any particular minor movement is a function of the capacity of the approach and the degree of saturation and referred to as level of service.

#### LEVEL OF SERVICE (LOS) CRITERIA FOR TWSC INTERSECTIONS

(Reference Highway Capacity Manual 2000)

Level of Service	Control Delay (seconds / vehicle)
A	0 - 10
B	>10 - 15
C	>15 - 25
D	>25 - 35
E	>35 - 50
F	>50



HIGGINS ASSOCIATES

CIVIL & TRAFFIC ENGINEERS

December 2, 2004

Ms. Betty Cost  
Richard Beale Land Use Planning  
100 Doyle Street, Suite E  
Santa Cruz, CA 95062

Re: Salesian Sisters School Expansion Traffic Impact Analysis, Santa Cruz County,  
California

Dear Ms. Cost:

This letter documents additional traffic analyses for the Salesian Sisters School Expansion project located in Santa Cruz County. In particular, additional operational analyses of the Hames Road/Enos Lane intersection are documented in this letter.

The school currently has an enrollment of 205 students and is requesting to increase the enrollment to 250 students. The school is planning to construct improvements to Enos Lane between Hames Road and the school site to improve traffic conditions on this segment of roadway. The improvements include widening Enos Lane on the approach to Hames Road to a width of 24 feet. Exhibit 1 shows the proposed improvements for the Hames Road/Enos Lane intersection.

A letter documenting existing traffic conditions at the Hames Road/Enos Lane is documented in an August 6, 2004 letter to you. The analysis of existing conditions was based on traffic counts obtained in April 2004. The existing AM and afternoon peak hour Hames Road/Enos Lane traffic volumes are shown on Exhibit 2. Note that the existing intersection levels of service have been recalculated to include the intersection peak hour factor. In the level of service calculation, the peak hour factor is used to adjust the hourly volumes to represent traffic volumes during the 15-minute period with the highest intersection volumes. With the peak hour factor incorporated into the level of service calculation, the level of service results better reflect traffic operations during the worst 15-minute period of the morning peak hour before school starts and the afternoon peak hour after school is dismissed. Adjusting the hourly volumes based on the peak hour factor does not change the level of service results documented in the August 2004 letter.

This letter documents level of service and other operational analyses for the Harnes Road/Enos Lane intersection using a forecast of intersection volumes that accounts for the additional trips that will be generated by the school with an enrollment of 250 students. The traffic forecasts documented in this letter are based upon existing intersection volumes collected in April 2004 and projections of new school generated trips based upon the school carpool program that was in place in Spring 2004. At that time, the carpool program achieved an average occupancy of 2.38 students per vehicle. The school has continued to improve the effectiveness of the school carpool program and the current carpooling program has increased the vehicle occupancy ratio (students per vehicle). The average occupancy is now 4.49 students per vehicle during the

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morning drop-off and 4.36 students per vehicle during the afternoon pick-up. The Project Condition traffic volumes documented in this letter for an enrollment of 250 students are based on a vehicle occupancy ratio of 2.38 students per vehicle. Therefore, the level of service results described in the sections below overstate future operating conditions given the improved student per vehicle occupancy ratio that is now being achieved.

### **Project Condition Volumes**

The school currently has an enrollment of 202 students and desires to increase the enrollment to 250 students. This section includes traffic projections for the Hames Road/Enos Lane intersection based upon an enrollment of 250 students.

The school provided a description of the carpool program that was in place in Spring 2004 that indicated 124 families with 188 students had formed 79 carpools to transport the students to school. The average vehicle occupancy at that time was 2.38 students per vehicle. The desired school enrollment of 250 students would add 62 students to the enrollment described in the Spring 2004 carpool program. Assuming that the 2.38 students per vehicle occupancy ratio is maintained, the additional students would be transported to the school in 26 vehicles ( $62/2.38$ ).

Exhibit 3 shows an assignment of new school generated traffic to the Hames Road/Enos Lane intersection. The trip distribution pattern at the intersection is based upon existing turning movement volumes at the intersection.

Existing Plus Project peak hour volumes were obtained by combining the existing intersection volumes with the project trip assignment. The results are shown on Exhibit 4.

### **Project Condition Operations**

The Existing Plus Project intersection levels of service are also shown on Exhibit 4. The Existing Plus Project intersection levels of service are unchanged from Existing Conditions. The intersection of Hames Road and Enos Lane will operate at a satisfactory level of service with the school enrollment increased to 250 students and a vehicle occupancy ratio of 2.38 students per vehicle. A description of the unsignalized intersection levels is provided as Appendix A. Intersection levels of service calculation worksheets are attached in Appendix B.

### **2004-2005 School Year Carpool Program**

As previously stated, the school is now achieving occupancy ratios of 4.4 to 4.5 students per vehicle during the morning drop-off and afternoon pick-up. Exhibit 5 presents a summary of the school's carpool program. The existing enrollment of 202 students is being transported to the school in 45 vehicles resulting in an average occupancy ratio of 4.49 students per vehicle. During the afternoon pick-up, the students are also transported from the school in 45 vehicles.

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Expanding the school enrollment to 250 students would add **48** students to the existing enrollment. Assuming that the 4.49 students per vehicle occupancy ratio is maintained, the additional students would be transported to the school in 11 vehicles. The number of vehicles required to transport the students to the school would increase from 45 to 56, which is less than the 79 vehicles that were used to transport students to the school in Spring 2004.

### **Hames Road/Enos Lane Intersection Design**

Warrants for left turn channelization on the eastbound Hames Road approach to Enos Lane were evaluated using warrant criteria documented in NCHRP Report 279. Left turn channelization on the eastbound intersection approach is not warranted based upon Existing and Existing Plus Project volumes. A worksheet showing the left turn channelization analysis is attached as Appendix C.

At intersections of public roads and private roads, Caltrans allows the minimum corner sight distance to be equal to the stopping sight distance. The posted speed limit on Hames Road is 25 miles per hour (mph). Enos Lane intersects Hames Road at an approximate 90-degree curve in Hames Road and warning signs are posted on the northbound Hames Road and eastbound Hames Road approaches to the curve with a 20 mile per hour advisory speed. However, vehicles were observed traveling through the intersection on eastbound Hames Road at speeds of between 30 and 35 miles per hour. The Caltrans stopping sight distance for a 30 mph design speed is 200 feet and the stopping sight distance for a 35 mile per hour design speed is 250 feet. A sight distance of 300 feet was measured looking to the west from a point located 8 feet behind the proposed location of the stop bar on the southbound Enos Lane approach to Hames Road. This sight distance will meet the stopping sight distance required for a 35 mph speed.

The vehicle stopping distance was also calculated using American Association of State Highway and Transportation Officials (AASHTO) standards. The AASHTO stopping distance equation includes an adjustment to account for the grade of the approaching roadway. Hames Road descends as it approaches Enos Lane, with the grade decreasing in severity as it approaches Enos Lane. A grade of 10% was used in the calculation, which is the grade on Enos Lane west of Orchard Heights Lane. As shown on Exhibit 6, the required stopping sight distance based on the AASHTO equation is 231 feet based upon a 30 mph design speed and 293 feet based on a 35 mph design speed. Based upon the available sight distance of 300 feet to the west, this direction meets AASHTO standards for sight distance. The sight distance looking to the south from the Enos Lane approach to Hames Road exceeds 300 feet and is satisfactory. Environmental Review Initial Study

### **Summary**

Increasing the enrollment of the Salesian Sisters School to 250 students will not significantly impact traffic operations at the Hames Road/Enos Lane intersection during the AM and

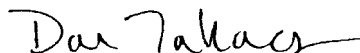
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afternoon peak hour. The school has continued to increase the average number of students per vehicle used to transport students to and from the school. **Assuming** that the existing vehicle occupancy rates are maintained into the future, the school with an expanded enrollment of 250 students will generate fewer vehicle trips during the morning drop-off and afternoon pick-up than was generated at the end of the 2003-2004 school year. Left turn channelization is not required on the eastbound Hames Road approach to Enos Lane. The corner sight distance looking from the Enos Lane approach to Hames Road will be satisfactory. The school plans to improve Enos Lane to at least 18 feet in width and include a pedestrian walkway on a significant length of the road. This will improve traffic operations and conditions for pedestrians and bicyclists using the road.

Please contact me if you have any questions regarding this study.

Sincerely,



J. Daniel Takacs, TE  
Principal Associate

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C O U N T Y   O F   S A N T A   C R U Z  
D I S C R E T I O N A R Y   A P P L I C A T I O N   C O M M E N T S

Project Planner: Randal Adams  
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Environmental Planning Completeness Comments

===== REVIEW ON AUGUST 23, 2004 BY KENT M EDLER =====

1. A site plan should be submitted that shows all parcels on one sheet that have grading proposed to be done on them.
2. On sheet C2, C3 and C4 show all property lines and label the APN's
3. The grading plans must show all proposed contours where grading is proposed
4. The limits of grading needs to be clearly defined.
5. A note on sheet C2 states, "Where the road is less than 18' wide, the pavement is to be widened." - The plans need to clearly show where the road is less than 18' feet wide and how the road will be widened at those locations.
6. Indicate on plan view where all retaining walls will be constructed. Also include the top of wall and bottom of wall elevations.
7. Indicate the slope grades on the typical road cross section
8. Provide grading quantities for both the improvements to Enos Way as well as the new parking lot grading. Environmental Review Initial Study
9. Include a profile of Enos Way. ATTACHMENT  
APPLICATION - 04-0384
10. On the Parking Lot Grading Plan (Sheet 1 of 3), the proposed contours appear to be missing at the entrance to the parking lot from Enos Lane. Clarify grades in this location.
11. Recommendation 13 of the Earthwork and Grading recommendations of the soils report states that cut slopes shall not have a vertical height greater than 10 feet, unless specifically reviewed by the geotechnical engineer. The slope above the northern edge of the proposed parking lot has a slope that is greater than 10 feet in height. Therefore the soils engineer must specifically approve this slope or the plans need to be revised accordingly.
12. Include an erosion control plan for the work along Enos Lane.
13. The grading quantities on sheet 2 of 3 indicate that there will be 3582 cy's of material distributed onsite. The plans need to indicate where this material will be distributed onsite. A grading plan must be submitted for the area to receive the excess material. Alternatively, it would be preferable to alter the design so that cut and fill are balanced.

===== UPDATED ON AUGUST 31, 2004 BY KENT M EDLER ===== The soils report has been accepted.

===== UPDATED ON DECEMBER 29, 2004 BY KENT M EDLER ===== 1. On Enos Lane sheets C2 and C3, show the property lines for the parcels on the east side of the road.

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2. The retaining walls depicted in sections 23, 24 and 25 don't make sense. Show how the slope will be graded behind the walls. It appears that a taller wall should be utilized.

3. Submit an erosion control plan for the Enos Lane improvements

4. Show locations where the loose fills under the roadway along Enos Lane will have to be removed and recompact.

5. Submit a grading plan (with existing and proposed contours) for the placement of excess soil generated from the grading.

===== UPDATED ON APRIL 13, 2005 BY KENT M EDLER ===== 1. There should be one sheet that shows the entire length of the improvements and a summary of grading quantities.

2. The plans should indicate, on plan view, the wall heights.

3. The plans should indicate where loose material identified in the soils report will need to be over-excavated and recompact.

4. There are several locations shown on plan view where the Enos Way will still be less than 18' wide. The approximate stations are: 4+43 to 4+90, 6+22 to 6+47, 6+67 to 6+85, 15+83 to 15+95, 25+60 to 26+30, 27+07!!!! to 27+48!!!, 28+27 to 28+67, 30+59 to 30+66.

5. A plan review letter must be submitted.

6. None of the comments on the grading for the parking lot were addressed in this re-submittal package.

===== UPDATED ON JULY 25, 2005 BY KENT M EDLER =====

1. The Enos Way road widening plans are complete as far as Environmental Planning issues.

2. The parking lot plans should show proposed contours for the area. Environmental Review Initial Study  
cy's of excess material will be hauled to.

ATTACHMENT 14, 2 of 8  
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Environmental Planning Miscellaneous Comments

===== REVIEW ON AUGUST 31, 2004 BY KENT M EDLER ===== 1. Specify structural sections of all paved areas.

2. On the Concrete Drainage Channel detail shown on sheet 1 of 3, indicate the thickness of the concrete.

3. The phone number on note 9 in sheet 2 of 3 should be 831-454-3168.

4. A plan review letter from the soils engineer will be required once all comments have been addressed.

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===== UPDATED ON AUGUST 31, 2004 BY ROBERT S LOVELAND =====

This project involves grading and a soils report review. Please address all comments made above by Kent Edler.

===== UPDATED ON DECEMBER 29, 2004 BY KENT M EDLER ===== 1. Submit a plan review letter from the soils engineer.

Code Compliance Completeness Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON SEPTEMBER 2, 2004 BY GUSTAVO A GONZALEZ =====  
NO COMMENT

Code Compliance Miscellaneous Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON SEPTEMBER 2, 2004 BY GUSTAVO A GONZALEZ =====  
NO COMMENT

Dpw Drainage Completeness Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON SEPTEMBER 8, 2004 BY CARISA REGALADO =====

Not enough drainage information has been given to consider acceptance of this application. To be approved by this division at the discretionary application stage, all potential off-site impacts and mitigations must be determined; therefore, proposed projects must conclusively demonstrate that (see drainage guidelines):

- The site is being adequately drained.
- Site runoff will be conveyed to the existing downstream drainage conveyance system or other safe point(s) of release, if taken off-site.
- The project will not adversely impact roads and adjacent or downslope properties if taken off-site.

Please address the following comments:

Environmental Review Initial Study

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1) This project is for development of impervious areas greater than 500 sf in a Groundwater Recharge Zone; therefore, it is required that on-site runoff generated by new impervious and semi-impervious areas from new development be retained on-site. New impervious areas include roofed structures, driveways, parking areas, turnarounds, walkways, patios, etc. It must be conclusively demonstrated that the post-development runoff rate does not exceed the pre-development rate and that the completed project does not adversely impact roads or downslope properties.

2) If it is determined that resulting runoff from the proposed development cannot be

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handled on-site, an offsite analysis by an engineer is required. Such determinations (unfeasibility) should be included in documentation or plans submitted for this application. Offsite analysis includes making use of any existing offsite drainage systems. All existing and proposed drainage systems and connections must be shown. Amount of runoff to be added to the existing offsite drainage system, along with the system condition and adequacy should be clarified.

3) Per the plans dated 7/15/04. a proposed drainage system is shown for the new parking area which will be tied into an existing concrete channel. Does this outlet on-site? Please show on the plans. (Submit information per item #1.)

4) **I**f this channel eventually goes offsite, an analysis will be needed. (See item #2.)

5) **I**t is not clear how much area of new impervious pavement will be added to Enos Lane. Please show on the plans. **H**ow will the increase in runoff be dealt with?

Further drainage plan guidance may be obtained from the County of Santa Cruz Planning website: <http://sccounty01.co.santa-cruz.ca.us/planning/brochures/drain.htm>

All subsequent submittals for this application must be done through the Planning Department. Submittals made directly to Public Works will result in delays.

Please call or visit the Dept. of Public Works, Stormwater Management Division, from 8:00 am to 12:00 pm if you have any questions.

===== UPDATED ON JANUARY 5, 2005 BY RACHEL J FATOOHI =====

Second submittal comments: 1. Please submit drainage calculations including the tributary drainage area. drawn on a USGS map or equivalent, for the 48" storm drain line across Hames Road. 2. Please quantify the flow and the drainage area at the easterly side of Enos Lane at Hames Road and show how it is being handled. 3. Identify any restriction on Enos Lane that may get further adversely impacted by the road widening. The statement " The existing system can handle it per Glen Island" is not sufficient to address the above issues. All drainage analysis and necessary mitigation measures proposals shall be completed by a licensed civil engineer and prepared per the Design Criteria requirements. More comments may arise following the review of the submitted materials.

===== UPDATED ON JULY 7, 2005 BY CARISA REGALADO =====

Revised plans dated 3/28/05 were received. However comments from the January 5, 2005 review remain outstanding. In order to consider approval of this application. these comments must be addressed.

As previously noted, additional items may need to be addressed once above information is submitted before the application can be deemed complete. Environmental Review Initial Study

Dpw Drainage Miscellaneous Comments

ATTACHMENT 11, 4 of 5  
 APPLICATION 04-0384

LATEST COMMENTS HAVE **NOT** YET BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON SEPTEMBER 8, 2004 BY CARISA REGALADO =====

No comment. ===== UPDATED ON JANUARY 5, 2005 BY RACHEL J FATOOHI =====

Please quantify the increase in the runoff from the proposed parking lot and show

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how that increase is being retained in the proposed trench using percolation rates/storage volumes and all relevant parameters. The proposed silt and grease trap and percolation trench shall be maintained by the property owner and a recorded maintenance agreement, per Figure SD-17 of the County Design Criteria, shall be in place prior to issuing the building permit. Applicable drainage fees shall be assessed on the net increase of impervious area. ===== UPDATED ON JULY 7, 2005 BY CARISA REGALADO =====  
No comment.

**Dpw Driveway/Encroachment Completeness Comments**

===== REVIEW ON AUGUST 17, 2004 BY RUTH L ZADESKY =====  
No Comment, project adjacent to a non-County maintained road.

**Dpw Driveway/Encroachment Miscellaneous Comments**

===== REVIEW ON AUGUST 17, 2004 BY RUTH L ZADESKY ===== Environmental Review Initial Study  
No comment. ATTACHMENT 11, 5 of 8  
APPLICATION 04-0384

**Dpw Road Engineering Completeness Comments**

===== REVIEW ON SEPTEMBER 7, 2004 BY GREG J MARTIN =====  
Enos Lane is a non-County road with forty feet of right-of-way in a rural area. The recommended road standard for this road is a rural local street with 24 feet of pavement for two-way traffic. Pedestrian facilities are recommended to be grade separated and separated from the roadway by a minimum of four feet of landscaping. ADA requirements must be met. An at-grade pedestrian walkway directly adjacent to the road is not recommended, especially if the roadway will not meet road standards. The current proposal is to widen the roadway to 18 feet.

The intersection of Enos Lane and Hames Road is recommended to be improved with 20 foot radius standard returns. The adjacent driveways within this intersection should be removed and access accommodated outside of the intersection at least 10 feet from the end of the returns.

We have reviewed the Traffic Study from Higgins Associates dated August 6, 2004. The study adequately evaluates road and parking capacity for the proposed expansion. The study should include an operational evaluation of the intersection of Hames Road and Enos Lane. Sight distance for vehicles turning left from Hames Road to Enos Lane needs to be verified and must meet standards.

Enos Lane must be improved to at least 24 feet in width minimum to accommodate two-way traffic at the Hames Road intersection. Vehicles turning left and right from Hames Road cannot be restricted from entering Enos Lane due to vehicles exiting Enos Lane. This 24 foot width improvement must be at least 40 feet down Enos Lane to accommodate two vehicle lengths.

Enos Lane is currently a non-County maintained roadway. There are substandard road bumps on this road. There is no legal posted speed limit, and the basic speed law prevails. It is recommended that the road bumps be reconstructed to meet County design criteria standards. Public Works staff can help identify the actual locations

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for new road bumps. It is recommended that a road maintenance agreement be initiated to help build and/or maintain the roadway. There may be other options available to help finance the maintenance of the roadway such as a County Service Area (CSA).

Existing and proposed signing and striping must be shown on the plans for the next review. If you have any questions please contact Greg Martin at 831-454-2811.

===== UPDATED ON DECEMBER 27, 2004 BY GREG J MARTIN =====

The current proposed improvements for Enos Lane are an eighteen wide road and a 4 foot asphalt concrete walkway. The walkway does not appear to have a destination as it ends before the school and does not connect with any existing walkway.

Public Works does not recommend the proposed improvements. The recommended road standard for this road is a rural local street which require? 24 feet of pavement for two-way traffic.

If pedestrian facilities are required, then they are recommended to be grade separated and separated from the road by a minimum of four feet of landscaping. The walkway should be on west side of the road and railings may be required if a dropoff exists. The limits of the walkway should be from Hames Road to the school. ADA requirements must be met. ===== UPDATED ON APRIL 11, 2005 BY GREG J MARTIN =====

No plans were included in the latest submittal. Please provide plans to allow for a complete review.

#### Dpw Road Engineering Miscellaneous Comments

===== REVIEW ON SEPTEMBER 7, 2004 BY GREG J MARTIN =====

===== UPDATED ON DECEMBER 27, 2004 BY GREG J MARTIN =====

===== UPDATED ON APRIL 11, 2005 BY GREG J MARTIN =====

Environmental Review Initial Study  
 ATTACHMENT 11, 6 of 8  
 APPLICATION 04-0384

#### Environmental Health Completeness Comments

===== REVIEW ON AUGUST 26, 2004 BY JIM G SAFRANEK ===== The applicant's septic consultant will be required to submit and receive approval for an onsite sewage disposal permit application to upgrade the existing septic system. The septic design shall include wastewater flow calculations, an increase in septic tank capacity, and enhanced sewage treatment based on sewage flow rates of 2500 gallons or more per day. Contact Brian Blease of EHS for septic permitting consultation at 454- 2736, 8-9:30 AM.

===== UPDATED ON JANUARY 4, 2005 BY JIM G SAFRANEK ===== Applicant needs to submit an alternative sewage disposal application to B. Blease of EHS for review and approval.

===== UPDATED ON APRIL 8, 2005 BY JIM G SAFRANEK =====

As communicated to Mark Deming, the applicant must supply EHS with a preliminary design of the required alternative onsite sewage proposal, but the actual permit application can be applied for at the building phase of the project. Submit proposal to Brian Blease, 454-2736, for review and comment.

===== UPDATED ON JULY 5, 2005 BY JIM G SAFRANEK ===== As per Brian Blease of EHS, the preliminary septic system proposal for an alternative onsite sewage disposal system is acceptable. An approved septic application will be required prior to

Project Planner: Randall Adams  
 Application No.: 04-0384  
 APN: 107-571-01

Date: August 3, 2005  
 Time: 14:43:19  
 Page: 7

building permit application approval. Contact B. Blease of EHS for specifics on permit reqs.454-2736

#### Environmental Health Miscellaneous Comments

===== REVIEW ON AUGUST 26, 2004 BY JIM G SAFRANEK =====  
 NO COMMENT

===== UPDATED ON JANUARY 4, 2005 BY JIM G SAFRANEK =====  
 NO COMMENT

===== UPDATED ON JULY 5, 2005 BY JIM G SAFRANEK =====

===== UPDATED ON JULY 5, 2005 BY JIM G SAFRANEK =====

The proposed project requires that septic system be upgraded to meet current standards. Applicant must obtain an approved sewage disposal permit for an upgrade. Contact the appropriate Land Use staff of Environmental Health at 454-2736, B. Blease.

===== UPDATED ON JULY 5, 2005 BY JIM G SAFRANEK =====

Cal Dept of Forestry/County Fire Completeness Comm

Environmental Review Initial Study

ATTACHMENT 11, 7 of 9

APPLICATION 04-0384

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON AUGUST 26, 2004 BY COLLEEN L BAXTER =====

===== UPDATED ON AUGUST 26, 2004 BY COLLEEN L BAXTER ===== DEPARTMENT  
 NAME:CDF/COUNTY FIRE Add the appropriate NOTES and DETAILS showing this information on your plans and RESUBMIT, with an annotated copy of this letter: Note on the plans that these plans are in compliance with California Building and Fire Codes (2001) as amended by the authority having jurisdiction. The job copies of the building and fire systems plans and permits must be onsite during inspections. The access road shall be 18 feet minimum width and maximum twenty percent slope. All bridges, culverts and crossings shall be certified by a registered engineer. Minimum capacity of 25 tons. Cal-Trans H-20 loading standard. The access road shall be in place to the following standards prior to any framing construction, or construction will be stopped:

- The access road surface shall be "all weather". a minimum 6" of compacted aggregate base rock, Class 2 or equivalent, certified by a licensed engineer to 95% compaction and shall be maintained. - ALL WEATHER SURFACE: shall be minimum of 6" of compacted Class II base rock for grades up to and including 5%, oil and screened for grades up to and including 15% and asphaltic concrete for grades exceeding 15% but in no case exceeding 20%. The maximum grade of the access road shall not exceed 20%. with grades greater than 15% not permitted for distances of more than 200 feet at a time. The access road shall have a vertical clearance of 14 feet for its entire width and length, including turnouts. A turn-around area which meets the requirements of the fire department shall be provided for access roads and driveways in excess of 150 feet in length. Drainage details for the road or driveway shall conform to current engineering practices, including erosion control measures. All private access roads, driveways, turn-around and bridges are the responsibility of the owner(s) of record and shall be maintained to ensure the fire department safe and expedient passage at all times. All Fire Department building requirements and fees will be addressed in the Building Permit phase. Plan check is based upon plans submitted to this office. Any changes or alterations shall be re-submitted for review prior to construction. 72 hour minimum notice is required prior to any inspection

Discretionary Comments - Continued

Project Planner: Randall Adams  
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and/or test. Note: As a condition of submittal of these plans, the submitter, designer and installer certify that these plans and details comply with the applicable Specifications. Standards, Codes and Ordinances. agree that they are solely responsible for compliance with applicable Specifications. Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review. subsequent review, inspection or other source, and, to hold harmless and without prejudice, the reviewing agency. ===== UPDATED ON AUGUST 26, 2004 BY COLLEEN L BAXTER =====

Cal Dept of Forestry/County Fire Miscellaneous Com

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON AUGUST 26, 2004 BY COLLEEN L BAXTER =====

Environmental Review Initial Study  
ATTACHMENT 11, 9 of 8  
APPLICATION 04-0384



HIGGINS ASSOCIATES

CIVIL & TRAFFIC ENGINEER

December 15, 2005

David Robison  
Strategic Construction Management  
350 Coral Street, Ste E  
Santa Cruz, CA 95060

RE: Daughters of Mary Help of Christians School. Environmental Application No. 04-0384

Dear Mr. Robison:

This letter provides responses to the County of Santa Cruz letter dated November 18, 2005 regarding the application for amendment to the use permit for the Daughters of Mary Help of Christians School on Enos Lane. Our responses are provided below.

1. What year did the school reach the 125-student level?

The school has indicated that the 125-student level occurred at about the 1979-1980 school year.

2. How many cars would have been used to serve the school when it had 125 students and estimate the average number of students per car at the time there were 125 students?

It is estimated that there were approximately 3.75 students per vehicle at the time (1979-1980 school year) or approximately 34 vehicles.

3. How might the number of cars estimated for 125 students be different if those 125 students were being transported today?

Seatbelt laws now limit the number of people that can sit in a vehicle and small children are not supposed to sit in the front passenger seat equipped with an airbag. However, that does not mean that the school cannot achieve an overall student occupancy ratio of between 3 and 4 students per vehicle. The vehicle fleet today consists of sport utility vehicles and mini-vans. Based on visual observations of the vehicles used in the current carpool- these vehicles consist primarily of mini-vans and sports utility vehicles. These vehicles can sit up to 6 students.

Attachment 1  
1 of 2

**4. Evaluate the benefits and drawbacks of stop sign control at intersections of Enos Lane and the side streets.**

Traffic operations on Enos Lane were observed on Tuesday December 6, 2005 from 7:15 AM to 8:30 **AM**. During this period, traffic generation by the school was concentrated within an approximate 5 to 10 minute period. The volume of traffic carried on Enos Lane during peak conditions is low, however Installation of temporary traffic control devices on Enos Lane for this time period is not recommended since school generated traffic does not create significant delays to side street traffic.

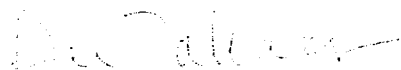
Additional traffic control at the intersection of Enos Lane **and** the two driveways located where Enos Lane curves to the west is recommended. **At** this location, Enos Lane curves from to the west and driveways intersect Enos Lane on the north and on the east forming a four-leg intersection. There is no traffic control at this intersection at the current time. The corner sight distance between the north intersection leg and the west intersection leg is obstructed by trees and other vegetation in the northwest quadrant of the intersection. The sight line between the west intersection leg and the north intersection leg is **not** adequate under the existing no traffic control condition. Installation of a stop sign on the southbound intersection approach is recommended at this location. A modified W4-4p warning sign plaque stating ONCOMING TRAFFIC DOES NOT STOP should be installed below the stop sign.

**Currently, do driveways become blocked frequently enough or long enough to create a safety hazard due to lack of emergency ingress and egress?**

School generated traffic does not block driveways frequently enough or long enough to create such a safety hazard.

Please contact me if you have any questions with regards to this information.

Sincerely,



J. Daniel Takacs  
Principal Associate

Attachment 1  
2 of 2  
04.0384



**COUNTY OF SANTA CRUZ**  
**SANTA CRUZ COUNTY FIRE DEPARTMENT**  
**OFFICE OF THE FIRE MARSHAL**

6059 HIGHWAY 9, P O DRAWER F-2, FELTON, CA 95018, (831)335 6748

JOHN FERREIRA  
FIRE CHIEF

August 1, 2006

Sr. Charlotte Greer  
605 Enos Lane  
Watsonville, CA 95076

Dear Sr. Charlotte,

I have received the Emergency Preparedness and Evacuation Plan for the Salesian School located at 605 Enos Lane. In review, the plan meets the California Fire Code section 1303 – Emergency Plans and Procedures and 1303.3.3 Group E occupancies. It also follows OSHA guidelines for emergency action plans and procedures.

I would like to review your traffic management plan and discuss how it will be implemented in case the emergency evacuation plan is put into use.

If you have any questions please call me at (831)335-6748.

Sincerely,

Loreen Borelli  
DEPUTY FIRE MARSHAL

Cc: Chron

## Program Statement/Master Plan

- I Operation of Salesian School (K-8) including the following:
  - A. Kindergarten through 8<sup>th</sup> Grade (currently 205 students, but to be capped at 250)
  - B. Parent Meetings – 5 times per year in the evening
  - C. All-in-One Day – once per year in from 10am -2pm
  - D. Back-to-School Night – once per year in September
  - E. Grandparents' Day – once per year in October or November (75± +students/staff)
  - F. School Masses – 2± per month
  - G. Schoolday Morning Breakfasts - 4 times per year (any net proceeds to Catholic foreign missions)
  - H. Parent-Teacher Conferences – two 3-day sessions per year (November and March 1pm-6pm; with upper grade families one at a time)
  - I. Science Expo – once per year in February
  - J. Passion Play – once per year on the Wednesday before Easter in evening
  - K. Kindergarten Promotion/8<sup>th</sup> Grade Baccalaureate Mass/Graduation – once per year for 3 days in a row in May (20-50+/- families)
  - L. Remedial Classes – running concurrently with summer camp – 4 weeks in June/July (20-50±)
  - M. Designation as a Red Cross Emergency Location pending
- \* *The students and parents participate in outreaches such as:*

Toys for Tots (sponsored by the United States Marine Corp, the CDF and the Watsonville City FD); Food Drives & Turkey Drives (sponsored by the Second Harvest Food Bank); Letters to the Troops (sponsored by the USMC); "Adopt a Family" (sponsored by Families in Transition); Feeding the Homeless (sponsored by the Satellite Shelter Program through the Salvation Army); Visiting Convalescent homes (eg: Aegis..); collection for tsunami victims; collection for Katrina victims
- II Novitiate and Summer Camp including:
  - A. Days of recollection and retreats, such as St. Joseph's Women retreat
  - B. Prayer groups, such as the Tuesday Rosary group and a Catholic charismatic group
  - C. Times of prayer
  - D. Candidates – apostolic training (6 in 2006)
  - E. Campers – typically last week of June through the third week of July
- 111 Possible Future Needs:
  - A. An all-purpose room to use for PE and other school related purposes (This could be open on occasion for the local community upon request.)
  - B. A larger parking lot
- \* *There are other missions the Sisters carry out for the good of the people of Santa Cruz County:*
  - A. Teaching at St. Francis Central Coast Catholic High School in Watsonville
  - B. Work at Valley Church (Our Lady Help of Christians Parish) in Watsonville
    1. Hispanic Ministry
    2. Religious Education
    3. Summer Day Camp for disadvantaged kids
  - C. Work with Migrant families at Pinto Lake under the auspices of Holy Eucharist Parish

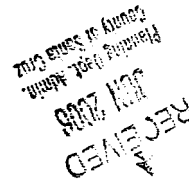
Also, our Salesian Sisters' stated purpose is to educate through "reason: religion and loving kindness" thereby strengthening family bonds and civic responsibility. We encourage ethnic diversity with almost a quarter of our students being Hispanic.. The Sisters also come from diverse ethnic cultures. Further, we provide an affordable religious education to children including those of working parents and children of single working mothers by offering our contributed services and helping families in financial crisis when necessary.

# Salesian



## Serving Youth Worldwide

Santa Cruz County Planning Department  
Tom Burns, Planning Director and  
Randall Adams, Project Planner  
701 Ocean Street, Room 400  
Santa Cruz, CA 95060-4068



June 23, 2006

Dear **Mr. Burns** and **Mr. Adams**,

The following is responding to **Mr. Adams'** questions dated April 19, **2006**, a copy of which I have included for your convenience. Please contact me if you have any questions.

### **I. Operation of Salesian School including:**

- I. A. School operates from 7:50 A.M. to 3:00 P.M.  
Children are dropped off from about 7:30 to 8:00AM in the morning and are picked up from about 3:00 to 3:30 in the afternoon.  
We have a school extension program that runs from about 3:00 to 5:00PM Monday through Thursday, for students who remain after school. Attendance varies.  
No sports' competitions take place on our campus, only sports practices for our school teams. Sports practices usually run from about 3:00 to 4:30PM.
- I. B. Parent meetings occur on a week night about five times a school year. Typically about 45 parents attend, but some of them are both parents from the Same family.
- I. C. About 70 to 75 families come for "All-in-One-Day". They **arrive** at different times between 10:00AM to 1:00PM to pick up uniforms, to sign up **for** different volunteer services, to complete school forms, and to pick up the new handbook and calendar. This occurs once a year before school begins.
- I. D. On "Back-to School-Night", an average of about 70 families, parents and children attend from about 5:00 to 8:00PM. This occurs once a school year in September.
- I. E. Grandparents Day occurs once a school year in the fall on a regular school day. The students and staff are already on campus. Typically, **45** cars **are** associated with this event.
- I. F. School Masses are usually around 11:00AM. Besides the student body and teachers we usually have few parents (10 to 12) who come to pray with us.
- I. G. The breakfast takes place between about 7:00 to 7:50AM with some of the parents of the carpool and the children attending. This occurs about 4 times a year.
- 1 H. Parents/teachers conferences are staggered on three afternoons **from** about 1:00 to 6:00PM for around 20 minutes per child. This occurs twice a year.

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04-0384

Attachment 14

2 of 5

# Salesian



## Serving Youth Worldwide

Parents meetings are general meetings as described on I B.

- I. I. Science Expo is held for grades 5-8 every other year, with an attendance of about 40 to 45 families from about 6:00 to 8:00 PM. In the past, this was held every year in February. This year we did not have this event.
- I. K. Kinder promotion is during school time, in the morning from about 9:00 to 11:00AM. Parents and ~~some~~ friends come with about 20 to 25 families in attendance. Eighth grade Graduation occurs on a Saturday afternoon between about 2:00 and 3:00PM. Parents and friends with about 30 families are in attendance.
- I. L. Remedial classes are in addition to the summer camp. They run from 10:00 in the morning to 1:00 in the afternoon. The classes are only for our students who need improvement. We anticipate about 20 students for the summer of 2006.
- I. M. The Red Cross emergency location is only in case of emergency crisis; in the neighborhood and local area. It will utilize the existing facilities until the state of emergency passes. It will not engage in any regular services offered by shelters. Red Cross emergency designation is not a use or an additional use. (If this creates a problem with the County or the neighbors; we will ask the Red Cross to decertify the school; but such a designation will be a benefit to the County and the neighbors.)

## II Novitiate and Summer Camp including:

- II The Novitiate can accommodate up to 20 candidates. For the last decade we had from zero to ten candidates from time to time. They are added to the resident number.
- II. A. Periodic days of recollection take place on weekends, either Saturday or Sunday. Participants vary from 15 to 40 in number. They use the chapel and cafeteria. In 2005, we had four days of recollection. In 2006, we've had one. There are no overnight stays on days of recollection. Retreats are on week-ends, involving overnight stays. This year we've had none. In 2005, there were three. The average attendance is about 25 people. Those attending days of recollection and retreats are requested to carpool.
- II. B. The prayer **groups** include the Rosary group which comes every Tuesday from 10:00 A.M. to 12:00 noon, of about 20 adults who gather to pray the Rosary in our Chapel, and a Catholic Charismatic group which comes once or twice a month during the year either on a Saturday or a Sunday afternoon. They pray in our chapel for a couple of hours. There are about 30 families, and they carpool as families. There are no overnight stays.
- II. C. The sisters and the candidates pray everyday, and use the chapel daily. See II. B.
- II. D. See II.

Application 04-0384  
Attachment 14



## Serving Youth Worldwide

11. E. The sisters and candidates stay overnight. See I.

No overnight stays for remedial class students See I. L.

There is capacity for up to 90 summer campers. Nevertheless, over the last three years, we had only about 50 campers of which approximately 50% are overnight campers and 50% are day campers. (see below)

The overnight campers sign in on Sunday afternoon and sign out on Saturday morning, unless they stay more then one week then they stay also on weekends.

Day campers are here from Monday through Friday from about 8:00 A.M. to 5:00 P.M. We encourage carpooling for day campers.

Year	Week	Residents	Day	Counselors	Total
2003	1	18	17	11	46
	2	17	32	11	60
	3				57
	4	25	20	7	52
2004	1	22	15	12	49
	2				
	3	9	15	6	30
	4	15	23	6	44
2005	1	23	15	5	43
	2	22	9	7	38
	3	19	26	12	57
	4	27	17	5	49

### III Possible Future Needs including:

- III. There are approximately 10 sisters living in the convent. On a periodic basis only, there are 0-10 candidates that live on the campus from time to time.
- III. A. We have no specific plans for the all purpose room. It may provide a cover over the head of the children for P.E. during rainy weather. If this is pursued, it will be subject to another application with the County.
- III. B. Unknown; this will be subject to another application with the County, if we pursue this.

Sincerely,

Sr. Charlotte Greer, FMA  
Principal

Application 04-03  
Attachment 14

Activity/Event	Frequency	Hours	Number of People	Number of Vehicles
<b>School</b> K-8th grade 250 students max	180 days/year <b>August</b> - June	7:50 <b>AM</b> - 3 PM + Extended day to 5 PM	Students: up to 250 2005-2006 school year Students: 205 Faculty: 17 (full) 5 (part)	2006-2007 school year 205 students) Carpool: 45 cars Teacher Carpool: 3 cars Staff w/children: 4 cars Extended Care: 1 car Upper Enos Ln.: 2 cars <b>55 vehicles total</b>
Parent Meetings	5x/year	Evening	45 parents (typical)	up to 45 cars + faculty/staff
Parent/teacher conferences	2x/year	3 afternoons 1 PM - 6 PM (20 min/child)	40 families/day	40 cars
Back to School Night	1x/year - Sept.	5 PM - 8 PM	70 families	70 cars + faculty/staff
All-in-One Day	1x/year - early Fall	10 AM - 1 PM	70-75 families	70-75 cars + faculty/staff
Grandparents Day	1x/year - Fall	During school day	75 grandparents	45 cars (typical)
School Masses	2x/month	11 <b>AM</b>	School + 10-12 parents	9-10 cars
Breakfast	4x/year	7 <b>AM</b> - 7:50 AM	Carpool parents	Carpool + 3-5 cars
Science Expo	1x/2 years	6 PM - 8 PM	40-45 families	40-45 cars
Kinder promo.	1x/year - weekday	9 AM - 11 <b>AM</b>	20-25 families	20-25 cars
8th grade grad.	1x/year	Sat. 2 PM - 3 PM	30 families	30 cars
<b>Summer Camp</b>	4 weeks duration end of June-July	Both Overnight & Day  Day Camp: 8 AM - 5 PM	Campers: up to 90 2003-2005 years: Overnight: 9-27 Day: 9-32 Counselors: 5-12 (in residence)	2003-2005 years: Day Campers: 5-16 cars
Remedial Classes	4 weeks duration end of June-July	10 AM - 1 PM	Students: 20-25 Faculty: 2	Students: 10 cars (carpools) Faculty: 2 cars
<b>Retreats</b>	2 weekends/year  5 one day/year	Weekend: Fri. PM-Sun. AM One day: Sat. 9 <b>AM</b> - 4 PM	Weekend: 22  One day: 25-45	Weekend: 11 cars One day: 15-25 cars
Prayer Groups	Rosary: every Tues. Charismatic: 1x-2x/month on Sat. or Sun.	Rosary: 10 AM - 12 PM Charismatic: Afternoons	Rosary: 14 adults Charismatic: 25 families	Rosary: 7 cars Charismatic: 25 cars
Residents	year round	N/A	10 (school year) 15 (summer)	Occasional trips only
Novitiate	year round	N/A	(added to resident number)	Occasional trips only

Application 04-0:  
Attachment 14

## Attachment 15

Comment letters are on file at the Planning Department. Please call the Project Planner at 454-3218 to arrange to view this Attachment.

Application 04-0386  
Attachment 15

**Mitigated Negative Declaration  
(CEQA Determination)**

**Public Comments  
on file with Planning Department  
(not printed in packet)**

**Application Number 04-0384  
Planning Commission Hearing  
3/28/07**

4

County of Santa Cruz  
Planning Department  
701 Ocean Street  
Santa Cruz, CA 95060  
Attention: Paia Levine  
Subject: Salesian Sisters' School-Application 04-0384  
Initial Study and Preliminary Determination

Dear Ms. Levine:

I have lived at 300 Enos Lane for almost 3 years now. We moved into what we thought was a safe and friendly neighborhood. In 2003 with a child on the way we noticed the amount of vehicles traveling on our private rural road to be in excess for the amount of houses on the street and for the amount of students that are going to the private school up the street. I thought it to be dangerous for my family and for my dog. We also noticed the speed in which the cars drove to be unsafe for everyone living on and off Enos Lane especially those living below the school.

In a friendly and neighborly way my wife and I thought we would introduce ourselves to the school and to discuss the speed at which the cars traveled past our house. The first few minutes of our conversation with Sister Maria of the Salesian School could not have been nicer. My wife and I thought how idealic our new life was and what a great neighborhood we moved into. Much better than Cupertino. We thought how great it would be when our boy reached school age how he could just go to school right up the street. When we mentioned the amount of cars and the speed at which they traveled to and from the school to Sister Maria the conversation quickly deteriorated. The Sister actually asked us why we hated Catholics so much and why we would want to persecute the Catholic Church. For hundreds of years Catholics have been attacked by people like us. That any pets and wild animals killed by traffic from the school was "Gods will". My wife and I looked at each other in amazement. We only wanted the parents of the students to slow down. Being Catholic we could not believe what this Nun was saying to us. Immediately a wall went up by the school and we could not get answers from anyone up at the school. We tried repeatedly to talk to someone in charge at the school with no luck. Being new to the neighborhood we slowly introduced ourselves to other neighbors and we started to ask questions about the school. We soon found out that we were not an isolated case but this was the schools standard operating procedure. Welcome to the neighborhood. The school had been doing this to all our neighbors for years. Unbelievable. Our little home in the country was slowly becoming an unwanted drama.

We started to do some research ourselves and became totally astonished how this school actually became into being and how the county allowed a private business to take control of a neighborhood through lies, deception and faulty premise. Unbelievable. We talked to our neighbors and showed them what we discovered and our beautiful neighborhood is united in our outrage at the way we all have been treated by the county, by the school, by those in power from business and all the way up to County Supervisor Board Members. All the way to Supervisor Board Members! The Board of Supervisor member had personal interest in the school since her child/children attended the school.

Please understand that I harbor no ill-will toward the school, its staff, or attendees and have tried to be on friendly terms with no luck. We have found some of the parents/drivers to be careful and courteous. This has been especially true when planning deadlines or when the county makes its appearance to our neighborhood. Once the county leaves the school reverts to standard operating procedures of high speed and limited carpooling.

Reviewing the history of how the school was established we found it hard to believe the school was even allowed to be built in the first place.

Please see Attached Chronological Summary of Documents marked **A B C and D.**

The area in question was denied a building permit because the soil was deemed unsafe. Within several months a plan was approved to build a Novitiate for no more than 25 persons including staff and faculty. How did this happen so quickly? How did the earth suddenly repair it self and now it was safe to build?

A Novitiate is essentially a training school for Nuns to learn their vocation. A quiet place Nuns would pray. The Salesians never intended to have a Novitiate in the first place. The facility immediately became a school.

The Salesian School has violated its USE PERMIT over and over again. The Salesian School has no intention of ever complying with any USE PERMIT it has been issued or any in the future based on their history.

Since we discovered the all the violations of their USE PERMIT we have become a target of the school, the parents of the students, those with vested interest in the school, and friends of the school.

- We have been spit at
- Have had trash thrown into our yard by School Commuters
- Been yelled at and harassed
- Have had parents trespass onto our property and threaten us. Also had a parent refuse to leave our deck demanding a confrontation with my pregnant wife.
- We have has a County Sheriff pound on my Front Door at 8 am demanding why I was not walking on my street this morning. Have had the same Sheriff threaten me and my family and try to intimidate me.
- Have had the school lie to us and ignore our request for traffic control.
- Many of the residents have been brushed or hit by School traffic.
- Neighborhood pets have been hit and killed by School Traffic

In March of 2004 the weather finally broke and became nice out. My wife suggested that we should start walking before I go to work to get some exercise and enjoy our rural neighborhood in the mountains. That it would be fun to walk a block down our street

with our new boy in his new jogging stroller. How nice. We started walking and by the 4<sup>th</sup> day a County Sheriff stopped me 50 yards from my house and told me I was not allowed to walk down the side of my private road. My road. We were only walking to just the other side of our next door neighbor's house and up Howell Lane. One block was all and on the side of the road. My road. He said he might arrest us for child endangerment. Child Endangerment! How dare him! We talked to our close neighbor Gary Smith, Fire Chief and President of the Aptos Chamber of Commerce and he suggested that we stop walking for a while. So we stopped. Very sad that we could not even walk down our own street because school commuters did not want to drive safe up and down our street. I can not walk down the side of my own street!

That same week I went out of the state for 4 days to play an Ice Hockey Tournament and came home Monday morning at 3 am after driving 10 hours. At 8 am I hear someone banging on my front door and there was a Uniformed County Sheriff waving a letter in my face and asking why I was not waking this morning. This is nearly a week since we stopped walking. First of all it is none of his business whether I am going to walk or not. The letter was a slanderous and fictitious letter from a Salesian Parent stating that I was walking down the middle of road essentially playing chicken with my son in his stroller. Why would I? The Sheriffs friend attended the school. The Sheriff was stationed in Scotts Valley and he drove all the way down to my house to hassle me? How dare him. I love my son more than anything and I will do anything to protect his safety from anyone. The Sheriff actually came to my house and told me to watch myself. Next time he was going to take me in. For What!? We immediately called our neighbors to document his actions and quickly we had a group of neighbors in front of my house trying to defuse a rouge sheriff from his Gestapo like tactics.

We notified Ellen Piere, the Current Head Sheriff Mark Tracy and others of his actions. We tried to file an incident report but the sheriffs department refused to do so.

One Sheriff who has become a so called buffer between the neighborhood and the school, Sgt. Slanick told us to document everything and to take pictures of any unusual activities.

One evening I was coming home from work and noticed a car driving at a high rate of speed up Hames and cut in front of me driving up Enos in excess of 50 mph. I quickly lost him but I went up the street anyway past my house to see if it was a School commuter. I could not fathom someone driving that fast up our road because he was late for a after school function. The car in question turned into the Salesian School. When I drove up to the Salesian School I noticed over a hundred plus cars parked all over the place and several hundred people and children having some kind of event at the school. I went home and grabbed my camera as instructed by the Sheriff and took pictures of the large gathering of vehicles. Since I was noticed driving by the Nuns said that I was most likely taking pictures of the children and might be a pedophile. How dare them! I was doing what I was instructed to do by the Sheriffs department and get accused of being a pedophile. Sgt Slanick can testify to this incident.

In three short years the Nuns have had parents point and yell at us. Have had a Sheriff threaten me and my family, accuse me of being a child abuser, a bad father, a pedophile,

a catholic hater and it keeps going. Had a Salesian parent actually threaten my pregnant wife and refuse to get off our property.

We have had just about every school commuter yell at me and my family if we are standing outside of our house waving and trying to communicate to us in their own way. Why can't we be just left alone? Do we have to move? Some of the School traffic actually makes a point of gunning their engines so I can hear it. We have tried to have the Sheriff department and the California Highway Patrol enforce the posted speed limit of 15 MPH with no luck. Both agencies refuse to do so. The Sheriffs department will try and intimidate me but will not assist the neighborhood in curbing the schools speeders who endanger all the residents.

Soon after we moved to the community we attempted to go to church at Holy Eucharist in Corralitos to be a part of the community. We even had our son baptized there. Again it seemed like an ideal church in the country. Soon after the Sheriff incident we started to notice that Salesian parents of the students who went to Holy Eucharist were pointing us out. We were quickly getting a feeling of being unwelcome. We have stopped attending Holy Eucharist. The Nuns are telling the parents one story, planning another story and their neighbors yet another.

When are the lies and Gestapo like tactics of the school and their friends going to stop? They are not going to stop until they get their way, until they are gone or we are gone. They have no reason to stop since it has worked in their favor for 30 years. It is how they operate. Just because we caught the School, the Board of Supervisors and others in a huge lie why do we as a neighborhood have to pay a price?

The neighborhood is too small and unsafe to have a school in its present location. The school has to be relocated and or closed and the land it sits on returned to its prior agricultural state.

The School has never abided by its USE PERMIT from day one and for the Salesians to be given another pass would be a crime against the happiness and well being of the Enos Lane Neighborhood.

APN 107-571-01 is not an appropriate location for a school for many reasons, not the least of which is the obvious lack of adequate access. In fact, if this currently permitted 125-student school was to be proposed for this location as a new project today, it would likely be denied, in large part due to its single, narrow, windy, 3500-foot-long access road through a rural residential neighborhood. ~~Lack~~ of a secondary access road and lack of adequate safety. County staff is now recommending approval of a 100% expansion in enrollment of this very same project with no significant improvement to access and without mitigations that would effectively address the project's impacts. The recommendation is solely based on facts by consultants hired by the Salesian School just like from day one. The traffic counts, the Civil engineers, and consultants of local businesses are all hired by the Salesian School. Has any member of planning ever called or attempted to contact me about how any school expansion would affect me and my neighborhood? Not at all. Do they accept our accurate traffic counts as valid? No. This

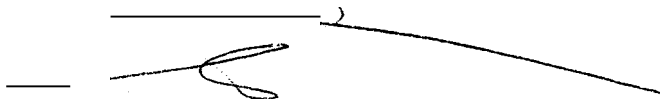
makes no sense. It makes even less sense given the school's long history of consistent non-compliance with its County Use Permit.

County approval of this project would also be extremely inconsistent with the permit denials and severe restrictions placed by the County on far more modest projects proposed by nearby residents. Even simple lot splits require higher standards than those proposed for this large project. If there is any reasonable basis for County zoning and development standards, there can be no rational justification for approval of a 100% expansion in enrollment for this school. I do not believe that it is appropriate for the County to allow any expansion in student enrollment at a school that lacks an adequate and appropriate access road. If any action should take place let the school abide by the first USE PERMIT 78-323-U where as a maximum of 90 students and carpooling limit of 25 cars per day and a secondary access road. Let them comply for the same amount of years they have been out of compliance. There is no rational basis for County to allow any expansion without first talking to the home owners who would be directly affected. Why does the Salesian Sister School get a free pass? Why does a business get a pass for aver 30 years? Who are they paying to get such a pass? Lots of questions I see unanswered.

The County Required the school that **the establishment, maintenance or operation of the use or building will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of the proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.**

The Salesian School has become detrimental to the health, safety, peace, morals, comfort and general welfare of me and my family.

Sincerely,

A handwritten signature in dark ink, appearing to read 'Andrew Fidandis', is written over a horizontal line. The signature is stylized with a large, sweeping loop at the end.

Andrew Fidandis  
300 Enos Lane  
Corralitos, CA  
95076

Cc: Supervisor Ellen Pirie; Robin Musitelli, County Supervisor's Analyst; Steve Robbins, Sheriff-Coroner; Sergeant Christine Swannack; Mr. Tom Bums, Planning Department; Mr. David Lee, Planning Department; Randall Adams, Planning Department, Cathy Graves, Planning Department; Gustavo Gonzales, Inspector; Gary E. Hazelton, Assessor; California Insurance Commissioner John Garamendi; California Department of Insurance Legal Division; American Civil Liberties Union and ACLU/NC Free and Safe Campaign; Santa Cruz Fire Department Ron Prince, Fire Chief; Corralitos Fire Station; FMA Provincial, Sr. Sandra Neaves, Salesian Sisters West

A

**CHRONOLOGICAL SUMMARY OF DOCUMENTS PERTAINING  
TO SALESIAN SISTERS SCHOOL, 605 ENOS LANE, CORRALITOS  
Revised 2-16-2006**

<b>DATE</b>	<b>DOCUMENT AND/OR ACTION</b>
<b>4-18-74</b>	<b>Environmental Assessment</b> <ul style="list-style-type: none"> <li>•1 Developer Jack Wagner proposed 39 lots (<b>1.46</b> acre each) on 57 acres; developer would be responsible for improving road (<b>Enos Lane</b>)</li> <li>•2 Adverse environmental changes identified: <ul style="list-style-type: none"> <li>•3 Geological: unstable slopes; seismic hazard</li> <li>•4 <b>Soils:</b> highly erodable soils</li> <li>•5 Water: area of prime aquifer recharge</li> <li>•6 Fire: area of extreme fire hazard, <b>minimum</b> fire protection</li> <li>•7 Inadequate road (<b>Enos Lane</b>)</li> </ul> </li> </ul>
<b>5-1-75</b>	<b>Planning Commission Staff Report</b> <ul style="list-style-type: none"> <li>•1 Proposal for <b>39</b> lots denied due to density and inconsistency of use <b>with</b> the general plan</li> </ul> Proposed split into <b>4</b> lots: <ul style="list-style-type: none"> <li>•1 This proposal denied <b>as</b> it was not consistent with agricultural designation</li> <li>•2 Stated that development of the upper portion of the property (where the school now sits) was not desirable due to geologic and seismic hazards</li> </ul>
<b>6-16-75</b>	<b>Proposal for Novitiate</b>
<b>6-23-75</b>	<b>Vegative Declaration</b> All hazards and adverse changes seem to have disappeared. <b>HOW AND WHY?</b>
<b>8-6-75</b>	<b>Planning Commission Staff Report</b> <ul style="list-style-type: none"> <li>•1 <b>Original</b> novitiate would have <u>no more than 25 persons in residence (including staff and faculty)</u></li> <li>•2 Summer camp would be for 6 weeks with 70-90 <b>girls</b>; ½ <b>kids</b> would be bussed, ½ would be carpooled</li> <li>•3 Petition for novitiate included 119 signatures, but <b>only 6</b> were neighborhood residents (<b>4</b> dwellings)</li> <li>•4 Page <b>4</b> – the resident and summer densities specified</li> </ul>

	<p>were <u>higher than</u> those denied in May 1975 (39 units on 57 acres, or 4 units on 57 acres)</p> <ul style="list-style-type: none"> <li>•1 There would be 1 retreat a year (30-40 sisters)</li> <li>•2 There would be no weekend retreats</li> <li>•3 Road would be resurfaced and widened to 18 feet –</li> </ul> <p><b>THIS NEVER HAPPENED</b></p>
<b>8-14-75</b>	PERMIT <b>75-600-U</b> issued for Novitiate
<b>5-9-77</b>	<p>PERMIT <b>77-557-U</b> to amend permit 75-600-U to construct a storage building</p> <p>An attachment by the zoning administrator stated:</p> <p>“The establishment, maintenance or operation of the use or building will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of the proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.”</p>
<b>6-16-78</b>	<p>PERMIT <b>78-323-U</b> to amend Permit 75-600-U to allow operation of school for K,1,5,6,7,8 for a <u>maximum</u> of 90 students. “Prior to exercising <b>any rights</b> granted by this permit”:</p> <ul style="list-style-type: none"> <li>•1 Enos Lane shall be improved</li> <li>•2 Applicant will submit a plan for carpooling or busing to minimize school traffic on Enos Lane (a plan was submitted)</li> <li>•3 Applicant shall comply with County Fire Marshall conditions</li> </ul> <p>Planning Commission Staff Report, June <b>7,1978</b>:</p> <ul style="list-style-type: none"> <li>•1 Again, the above finding was attached: “That the establishment, maintenance or operation of the <b>use</b> or <b>building</b> will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of the proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.” The remedy stated for this finding was: “This proposal will not be</li> </ul>

(C)

	<p>detrimental to the area or the safety of the future students if proper conditions are applied for improving and widening Enos Lane, for restricting road use by a system of busing and carpooling, by providing emergency egress and by insuring the geologic stability of the site.”</p> <ul style="list-style-type: none"><li>•2 A secondary access road <del>was</del> deemed impassable, and the area surrounding the school property was designated a critical <b>fire</b> hazard.</li></ul>
<b>5-2-79</b>	<p>Traffic Concerns for approval to 125 students. “The safety of Enos Lane for resident drivers, pedestrians (public school children catching the <b>bus</b>) and the Salesians’ students is questionable.” Use Permit recommendations and conditions – <b>staff</b> recommendations:</p> <ul style="list-style-type: none"><li>•1 Road width (#1)</li><li>•2 Road maintenance agreement (#3) – <u>there is none</u></li><li>•3 Carpool (#4)</li><li>•4 Bus</li><li>•5 <u>Conditions to expand to 250:</u><ol style="list-style-type: none"><li>1. <u>Road width/pedestrian walkway</u></li><li>2. <u>Carpool</u></li><li>3. <u>Bus to transport 50-75% of students</u></li></ol></li></ul>
<b>5-15-79</b>	Road concerns by Department of Forestry
<b>5-16-79</b>	<p>Planning Commission Staff Report</p> <ul style="list-style-type: none"><li>•1 Now the school has one retreat/month (stated one/year before)</li><li>•2 Summer camp now 7 weeks (instead of 6 weeks)</li><li>•3 Discussion about anticipated expansion</li><li>•4 Page 4: Several commissioners opposed having 125 or more students; wanted secondary access road; had safety concerns; didn’t feel residents should be forced to improve road beyond what they needed.</li></ul>
<b>7-3-79</b>	<p><b>USE PERMIT 78-1539-U</b> and supporting documentation</p> <ul style="list-style-type: none"><li>•1 125 students</li><li>•2 Continuance of carpooling</li><li>•3 Planning Commission Notes (5-16-79)<ol style="list-style-type: none"><li>1. No secondary road access feasible</li><li>2. Impossible for <b>sisters</b> to upgrade and <b>maintain</b></li></ol></li></ul>

(D)

	road 3. Resident concerns – 5 <u>opposition</u> letters
7-3-79	Supervisor Marilyn Liddicoat motioned to delete the Fire Marshal Requirements (deletion of road requirements, secondary access, etc.) WAS THAT LEGAL? <b>CONFLICT OF INTEREST – SHE HAD A STUDENT AT SALESIAN SISTERS SCHOOL</b>
10-26-87	Rural Density Matrix – copies of previous permits
6-9-98	Reauest to build residence for sisters
7-29-2003	Letter from County to Salesian Sisters School regarding alleged building, <b>zoning</b> , or environmental code violations
1-23-2004	Investigation Findings and General Instructions on How to Correct the Emergency Access and Evacuation Violations and the Over-Enrollment Use Permit Violation The Salesian Sisters School was found to be: <ul style="list-style-type: none"> <li>•1 Violating the Fire Marshal’s access requirements: “emergency and evacuation access around the rear of the school is routinely obstructed during school commute hours.”</li> <li>•2 Increasing traffic: “It is clear that the number of vehicles <b>driving</b> students to and <b>from</b> school has increased significantly since 1979 with the increase in student enrollment.”</li> <li>•3 Decreasing safety: “The increase in enrollment beyond the allowed enrollment level has added traffic to Enos Lane and the internal circulation roads <u>within</u> the school which has compounded the emergency access and evacuation issues identified by the Fire Department.</li> <li>•4 <b>Violating</b> Use Permit 78-1539-U by exceeded allowed student population (<b>125</b>) by at least 80 students. “Over enrollment at the school has contributed to increased traffic on Enos Lane.”</li> </ul>
8-11-2004	Use Permit Amendment Application The Salesian Sisters School is seeking to: <ul style="list-style-type: none"> <li>•1 Increase student enrollment to <b>from</b> 125 to 250 students</li> <li>•2 Construct a parking lot</li> <li>•3 Widen Enos Lane</li> </ul>

February 25, 2006

County of Santa Cruz Planning Department  
701 Ocean Street 4<sup>th</sup> Floor  
Santa Cruz, Ca. 95060

Paia Levine, Environmental Coordinator

Re: Application #04-0384  
Negative Declaration Comments  
Supplemental Comments to Letter of 2/24/06

After review of the public record documents concerning the Salesian Sister School parcel APN 107-571-01, we would like to supplement our initial Negative Declaration comments. (Attachment A) of 2/24/06. The issue of safety and traffic has dominated the historic records for this site as far back as the original approval for a Novitiate of 90 students (Attachment B). Somehow, the Novitiate/summer camp turned into a grade school K-8 which obtained a use permit only after it was disclosed that they were in violation of the original use permit. (Attachment C) All the use permits for 90, 125, or 250 students rely upon a proposed "non-optional" carpooling system administered and monitored by the applicant. The proposed Negative Declaration mitigation recommends a 104 trip (52 vehicles) limit in the morning. This raises the following questions: What would happen to the school children and staff during an emergency, since no vehicles would be on site (or very few). The Initial Study and other environmental documents designated this area an "extreme fire hazard" (Ca. Division of Forestry J. Rosasco 4/18/74 Environmental Assessment Associates for Corralitos Estates CPUD). The Geotechnical Investigation of Bauldry Engineers of 7/04 (Initial Study 7) clearly identifies that "lower Enos Lane" is located in the Zayante Fault Zone. It is stated in the report that investigation of fault rupture was not conducted because it was outside the scope of work for this project. However, they did identify the site "seismically active" with mapped "active or potentially active faults that may affect the site". (Initial Study 7) In this same area, the entrance of Hames Road and Enos Lane, ~~our~~ own home and several buildings, roads, fences, and fields were moved, collapsed, and devastated as a result of the Loma Prieta 7.2 earthquake which occurred at 5:07 pm, October 17, 1989. (See Santa Cruz County Earthquake Reconstruction Permit Files) This is not a question as to whether there will be fault movement and rupture in our area, but rather a question of when it will happen. You cannot feasibly design and build a *rural* country road for potential vertical and lateral movement associated with an earthquake. However, since a private school has previously been permitted in a high fire hazard valley and a seismically active area on a dead-end rural road that could become impassable, the Salesian Sister School is limited on alternatives for safe evacuation of 200+ school children. The conclusion seems obvious to us. If Enos Lane were to become impassable, the school would have no exit route. Rescue vehicles and emergency equipment would not be able to reach the site. This is only one of the reasons that the Planning

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Commission conditional Use Permit 78-1539-U (Attachment D) included a secondary access. During the public hearing in 1979, the Sister's legal representative concurred that a secondary access could "be worked out" (Attachment E). Later, however, the Board of Supervisors, in 1979 at a hearing (without notice to the public that participated in the Planning Commission hearing) deleted this condition, as well as two conditions to improve Enos Lane with paving to 16 feet in width from Hames Road to the school. (Attachment F).

## **Negative Declaration: Suggested Amendments to Proposed Mitigations**

- No. 3 Modify mitigation 3 to require the applicant to prepare an Emergency Disaster Preparedness Plan (EDPP) for the school for review and approval by the Office of Emergency Services and the Santa Cruz County Planning Director.
- Part of the EDPP should require vehicles capable of transporting all students and staff in an event of an emergency. This could be accomplished by vans and buses being available during the school day and after school events.
- No.3 Revise the mitigation for Enos Lane back to the original Use Permit Conditions of 1979. Paving the road to 16 feet in width, repairing the wooden guard rail along the open drainage ditch at the first 300 ft. of Enos Lane (Attachment F), and install 15 MPH speed bumps.
- Require secondary emergency access: Either repair the landslide on upper Rider Ridge Road to connect to Eureka Canyon Road, or install a new road as was required in Use Permit 78-323-U (Attachment F).
- Widening Enos Lane does not solve the safety problem and is not desired by the local neighborhood (see Petition submitted by the neighborhood). The Sisters do not have a right of way to perform road work beyond the existing road state (which is already 18 ft. in many locations). In a letter (Sept. 21, 2005) from Mr. Burns, the Planning Director, refers to the applicants deed showing a ~~40ft~~ right of way along Enos Lane based on an unrecorded 1883 Viewer's Report which was approved by the Board of Supervisors to establish "this" private road. The application for this project has a drawing to show "Rider Road" in 1883.. In reviewing the applicant's deed and the submitted road plans, it is shown that it is actually a fictitious road "over the existing route of Rider Road ~~as~~ re-aligned ...on the center line of said Rider Road ~~as~~ the same existed on or about Jan., 1 1963" (Attachment G). A re-aligned road in 1963 is not the old Rider Road ~~from~~ 1883. Not even the Santa Cruz Public Works knows where the original 1883 "Rider Road" on Rancho Corralitos is located (personal conversation)! In 1979, the Salesian Sisters' legal representative testified before the Planning Commission that there is only a 20 ft. right of way along the Tindall property. The facts are that ~~this~~ is the old 1930's 16 ft. road easement and a 4 ft concrete drainage ditch easement along the western edge of Enos Lane ~~as~~ part of a land conveyance of our property. (The drainage ditch was installed in the 1930's as part of a WPA experimental erosion control system that runs throughout this area). The

proposed development does not have a **40 ft** right of way **in** this area. They testified and acknowledged a 20 ft easement for the first **300 ft** of Enos Lane in 1979. This is why the original Use Permits are all conditioned for a 16 ft road. Review the application files and minute records of the past hearings. We are only giving you the facts that deal with the Negative Declaration Mitigations which deal with safety and traffic in our community. There is **a** great deal of environmental and planning information on record **from** 1975-1979 when the Novitiate/Camp/School/High School was first discussed.

## Conclusion:

This application should be unfilled for inadequate information **and** erroneous drawings.

Solve the real problems, think of the safety of all of the neighborhood kids who use the local bus stop and all the kids way up the valley at the Salesian **School**. **A** disaster will happen at some time!!! It may not always be at 5:07 pm when **the** kids are home from school. Why spend over a million dollars trying to make a rural tree lined road into an urban street when that doesn't solve the real issues? How do **you** evacuate a school **full** of kids if there was a wildfire in the canyon? You can't wait for all the drivers to pick up their children. Buses and vans and a limit of total vehicles for **special** events to **104** (52 vehicles) would **solve** the problem you identified in the initial **study**. Why a magic number of students triggers the need for a million dollar road is unclear to **us**. **A** reduction in vehicles for safety and traffic management is logical ,environmentally consistent, and conforms to policies in the General Plan for Rural Agricultural Areas where there is a Special Use like a school and would alleviate **the** concerns raised by the neighborhood.

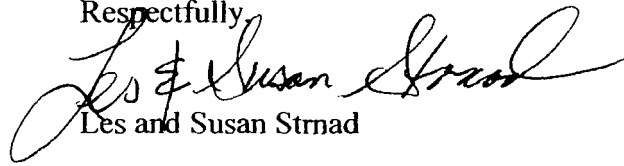
## Summary:

- Unfile the application as being filed in error. **40 ft right of** way does not exist and there was use of fictitious road alignment from 1963.
- Use conditions from previous permits **as** mitigations. Improve Enos Lane from Hames Road to the Salesian School to 16 feet, repair and restore guard rail along drainage ditch.
- Require preparation **of** an EDPP for review and approval **by** OES and the Planning Director.
- Require sufficient vehicles on site (vans and **or** buses) to provide safe and efficient emergency evacuation **of** all students and staff.
- Require secondary emergency road egress for evacuation vehicles from this rural school site. Either restore old Rider Ridge Road **as** a thru road to Eureka canyon or provide other secondary emergency access as was suggested **by** the applicants' representative in 1979 hearings.(see Attachment E&F).

Please evaluate these comments in combination **with** our initial letter of 2/24/06 (Attachment A).

Please feel free to contact us to discuss any of the information **we** have provided you to reevaluate the Negative Declaration, or for other historical information related to this project **or** our Corralitos Community.

Respectfully,

A handwritten signature in black ink, appearing to read "Les & Susan Strnad". The signature is fluid and cursive, with the names "Les" and "Susan" written in a larger, more prominent script, and "Strnad" written in a smaller, more compact script below them.

Les and Susan Strnad

cc: Richard Allen, Attorney At Law  
Ellen Pirie, Supervisor  
Tom **Bums, Planning** Director  
Randall Adams, Project Planner

2/27/06

County of Santa Cruz Planning Department  
701 Ocean Street  
4<sup>th</sup> Floor  
Santa Cruz, Ca 95060

Ms. Paia LeVine  
Environmental Coordinator

Re: Application 04—0384  
Negative Declaration Comments

We are the owners of property at the corner of Hames Road and Enos Lane (APN 107-31 **1-04**). We have owned this property since April 1977. We are opposed to the proposed Negative Declaration mitigations and the expansion of the students **from** 125 to 250 by the Daughters of **Mary** Help of Christian (Salesian Sisters School). The Negative Declaration/Project description fails to properly notify the public that the applicant is in current violation of the existing use permits and conditions (due to a current enrollment of more than 200 students) and fails to identify the specifics of the proposed expansion of the school. i.e., what grade levels would be taught at the enlarged school of 250 students, what extracurricular activities are planned (for a high school?), and if the school would have weekend sporting events, etc.. These are crucial issues relative to assessing project impacts and appropriate mitigations. The environmental document **further** fails to identify which Use Permits will be amended, what specific amendments will be included in the affected Use Permits and what existing Use Permit conditions remain in effect and which conditions will be amended in addition to the recommendations of the Negative Declaration mitigations .

The problems associated with the illegal intensification (primarily traffic and pedestrian safety of our neighborhood children) have become **an** unreasonable burden on our **rural** community. The school **has** violated their use permits Without regard to the law and without regard to the neighborhoods' land owners' feelings. They know **full** well that they are violating their use permits and have treated the whole issue in an un-Christianly manner. The Sisters have spoken to us in person numerous times and we have told them over and over that they do not have a **right** of way across our property, yet they proceed as if they haven't even heard us. This is a prime example of what happens when a business is run in a corporate manner rather than in an ethical business manner. It saddens us to **think** that Sisters would behave in such a way to others. The current application which asks for a doubling of the size of the school is the perfect example....it is an unreasonable burden on our rural community and the Sisters just don't care how we feel and are proceeding with disregard to the law.

## Specifically the Negative Declaration concerns are:

No. 3a: Fails to address afternoon peak periods

- **An** effective monitoring program would be to adopt something similar to the traffic monitoring for Lonestar Quarry in Felton.
- The traffic engineering analysis doesn't discuss conflicts with the public school bus (Pajaro Valley School District) elementary, middle school and high school bus stop at the corner of Enos Lane and Hames Road.
- No intensification of use beyond the 1978 use permit (104 trips and 52 vehicles combined car and bus ) should be approved.

No. 3b: Speed bumps

- Speed bumps at 25 MPH are too fast for our community. Installation of speed calming bumps at 15 MPH would be the only deterrent.

No 3b: Stop signs

- The mitigations call for a stop sign at Station 18. According to the Sheriff's office, neither the sheriff nor the CHP can enforce Ca. Vehicle code on "private roads". (Chapter 9.24). A posted speed limit for Enos Lane, including speed bumps should be 15 MPH.

No. 3b :Road widening

- The school enlargement requires the widening of Enos Lane and the removal of five mature native oak trees.

No. 3b: No Right of Way

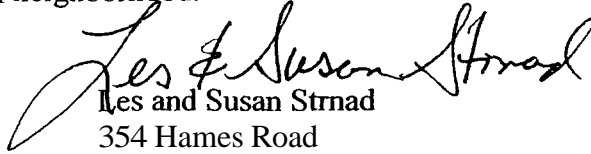
- The applicant is relying upon an 1883 unrecorded "Viewer's Report" approved by the Board of Supervisors as a "private road" in order to accomplish the proposed road improvements, yet their own deed only refers to some unknown "re-aligned Rider Road" as of 1963. We (APN 107-311-04) are not a co-applicant to this project; no forty foot right of way exists on our deed.  
The applicant's consultant, Ifland Engineers, Inc. acknowledged that no 40 foot right of way shows on our deed (see Attachment A-sheet C3 "5,3 of 7"). The applicant has failed to follow normal development application procedures of showing property ownership for the proposed development improvements. The proposed development is based upon an "assumed center line according to the engineering consultant for "Rider Road" on Enos Lane. No Recorder's Book and Page describes the location of Rider Road in 1883. The County cannot legally approve an applicant's development, including road improvements, on another person's property; such action constitutes a "taking" and subjects the County to being sued for inverse condemnation

We, in good faith, gave use of a 16 foot easement across our property in 1978 to the Salesian Sisters to accommodate a maximum of 125 students. The fact that

they **now** have violated the use permit in no way gives them justification of asking for more development.

Conclusion:

Mitigate the impacts without road expansion, tree removal, **or** doubling of the school size. Limit traffic to 104 trips morning and afternoon year round and enforce the existing Use Permit conditions to correct the impacts this large illegal urban school has had on our rural neighborhood.

  
Les and Susan Strnad  
354 Hames Road  
Corralitos, Ca 95076-0207

cc: Ellen Pine, Supervisor  
Tom Burns, Planning Director  
Randall Adams, Project Planner  
Richard H. Allen, Attorney At Law

COUNTY OF SANTA CRUZ

USE

**-PERMIT-**

NUMBER 75-600-44

ISSUED TO G. W. Davis

2600 East Lake Avenue

Watsonville, CA 95076

PARCEL NO.(S) 107-121-00

**LOCATION OF USE**

on the west side of Enos Lane, one mile north of Enos Corralitos Area

**PERMITTED USE**

To establish a novitiate consisting of a chapel, staff quarters, kitchen, and dining room and three dormitories containing 30 units each, and to operate a summer camp with recreation facilities (including swimming pool) for 70 to 90 girls on 37 acres approved subject to the conditions listed on attached page 2



THIS PERMIT WILL EXPIRE ON August 14, 1976 IF IT HAS NOT BEEN EXERCISED.

NOTE: APPLICANT MUST SIGN, ACCEPTING CONDITIONS, OR PERMIT BECOMES NULL & VOID.

*G. W. Davis*  
**SIGNATURE OF APPLICANT**

SANTA CRUZ COUNTY ZONING ADMINISTRATOR

BY *George A. Posth* DATE 8/14/75

GEORGE A. POSTH, Chief/  
Development Processing

COUNTY OF SANTA CRUZ

USE

**-PERMIT-**

NUMBER 77-323-

ISSUED TO Georgia Davis for Salesian Sisters2500 East Lake AvenueWatsonville, CA 95076PARCEL NO.(S) 107-121-60

**LOCATION OF USE** On the west side of Enos Lane about 1 mile north of Hanes Road, Corralitos Area.

**PERMITTED USE** Use Permit to amend Use Permit No. 75-600-U by allowing the operation of a school (in existing buildings) for grades K, 1, 5, 6, 7, and 8 for a maximum total of 90 students, subject to the following conditions:

Prior to exercising any rights granted by this permit:

1. Enos Lane shall be improved per Exhibit A. The first 300 feet of Enos Lane shall be widened to 16 feet in width with oil and screenings over 5 inches of base rock. A barrier shall be provided for the drainage ditch along the west side of Enos Lane, subject to CRA Director review and approval.
2. The applicant shall submit a plan for staff approval for busing or carpooling of all students from Enos Lane to a safe facility. It is the intent of the plan to minimize school traffic on Enos Lane. The approved plan shall remain in effect during the operation of the school.
3. The applicant shall place a standard stop sign on Enos Lane at its intersection with Hanes Road.
4. The applicant shall comply with all conditions of the County Fire Marshal.
5. Prior to consideration of any further Use Permit, the applicant shall apply to rezone the property to the appropriate district.

JW:gh

THIS PERMIT WILL EXPIRE ON June 16, 1979 IF IT HAS NOT BEEN EXERCISED.

NOTE: APPLICANT MUST SIGN, ACCEPTING CONDITIONS, OR PERMIT BECOMES NULL & VOID.

SIGNATURE OF APPLICANT

SANTA CRUZ COUNTY ZONING ADMINISTRATOR

BY

Richard Pearson  
RICHARD PEARSON, CHIEF OF  
DEVELOPMENT PROCESSING

DATE

May 2, 1979

USE PERMIT RECOMMENDATIONS AND CONDITIONS

*Amended by* (See attached findings.)

*Planning Commission*

*5/16/79. Staff Recommendation:* Approval of use permit to allow expansion of school to 100 students (grades K-8) during 1979-80, and subsequent expansion to include 125 students, grades K-8, with the following conditions to be completed prior to the beginning of school year 1979-80, expansion to 125 students beyond 100 students.

1. Enos Lane shall be improved to a minimum width of 16 feet up to the Salesian Sisters' driveway into the grounds.

*Amended by*  
*Planning*  
*Commission*

*5/16/79.*

2. The 16-foot wide travelled roadbed shall be constructed with 5 inches base rock, class 2, with oil and screenings seal coat, and an engineered drainage plan shall be submitted to and approved by the Department of Public Works.
3. Notorized road maintenance agreement shall be submitted for Community Resources' Agency staff review and approval.
4. Continuance of car pool, program.

*Added by*  
*Planning*  
*Commission*  
*on 5/16/79.*

5. There shall be no parking on Enos Lane blocking the road when parking exceeds the 30-space capacity of the parking lot.
6. When more than 200 people are in residence, sewage clearance shall be obtained from Environmental Health.
7. The applicant shall obtain a secondary access from Enos Lane to Hames Road.

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1 be limited to the 1978

cars) and the

ences.

ON MAY 16, 1979, THE PLANNING COMMISSION RECOMMENDED APPROVAL OF THE REZONING APPLICATION 78-935-Z TO THE BOARD OF SUPERVISORS AND APPROVED USE PERMIT APPLICATION 78-1539-U WITH AMENDED CONDITIONS.

COUNTY OF SANTA CRUZ

USE

**-PERMIT-**

NUMBER 78-1539-U

ISSUED TO George Davis for Salesian Sisters  
2600 E. Lake Avenue 605 Enos Lane  
Watsonville, CA 95076 Watsonville, CA 95076

PARCEL NO.(S) 107-121-60

LOCATION OF USE On the west side of Enos Lane, about 1 mile north of Hames Road, Corralitos Area.

PERMITTED USE Use Permit to allow expansion of school to 125 students (grades K-8), subject to the following conditions:

1. At the time a maintenance agreement is established, a notarized copy shall be submitted for Community Resources Agency staff review and approval.
2. Continuance of car pool program.
3. There shall be no parking on Enos Lane blocking the road when parking exceeds the 30-space capacity of the parking lot.
4. When more than 200 people are in residence, sewage clearance shall be obtained from Environmental Health.

DB:gh

Note: This use permit amends Use Permit 78-323-U.



THIS PERMIT WILL EXPIRE ON \_\_\_\_\_ IF IT HAS NOT BEEN EXERCISED.

NOTE: APPLICANT MUST SIGN, ACCEPTING CONDITIONS, OR PERMIT BECOMES NULL & VOID.

SIGNATURE OF APPLICANT

SANTA CRUZ COUNTY ZONING ADMINISTRATOR

BY Susan Blair / DEB - DATE 7/13/79  
SUSAN BLAIR, CHIEF  
DEVELOPMENT PROCESSING

maintained properly, and widened. Regarding the fire hazard, the school has an 80,000 gallon tank and they feel they have excellent fire protection. He asked the Commission to allow Grades K-8 with continued carpooling and tile high school after Enos Lane is improved. Commissioner Gotthold asked if the road maintenance district is being established. Mr. Davis replied that it is.

Attorney representing the Salesian Sisters in 1979 said they only had 20' on our property.

Ray Amrhein is working on a maintenance district. The upper portion of Enos Lane is a drainage way as well as road. He described the maintenance options in order of cost: private maintenance, County maintenance, and assessment district. Commissioner Eberly asked how they planned to solve the problem of width of the right-of-way. Mr. Amrhein replied that it is a 40' right-of-way past the Tindall property. Along the Tindall property it is 20', but there is a possible additional 10' that could be contributed. Commissioner Rowe asked if there has been an estimate of the cost of bring the road up to County standards, has that cost been compared with other costs, and what has been the response to these proposals. Mr. Amrhein replied that, roughly speaking, County maintenance costs twice as much of contract maintenance, and assessment district maintenance costs three or four times as much. Commissioner Von der Muhll asked if there is a feasible secondary access. Mr. Amrhein thinks so, and is sure something can be worked out.

Chris Enmy of Howell Lane spoke of her desire for her daughter to go to the Salesian Sisters' school and of the need for maintenance of Enos Lane.

Jake Head of Enos Lane stated that the road is hard to maintain, because each winter damages it. The drainage problem is bad, with 50 homes on Enos Lane with drainage systems. There is a traffic problem on the road, not only from the school. He is reluctant to improve the road, since heavy equipment has ruined it in the past. Regarding the ISO fire rating, it was granted with a Salsipuedes tanker present which is not always there. Commissioner Gotthold asked if the area pays into a drainage district. Mr. Head replied they did not; the County twice cleaned out the drainage ditch, but will not do it anymore.

Monica Baronovich, a 7th grader at the Salesian Sisters' School, told the Commission how pleased she is with her education at the school.

Les Strnad, who lives at the corner of Enos Lane and Hames Roads, stated that the Sisters are an asset to the community, but he does not believe the high school should be approved and wonders how many traffic-inducing school-related activities a high school would generate. Regarding the road, carpooling has been working. Regarding drainage, they pay into the Resource Conservation District, but they no longer maintain the drainage ditches. The right-of-way is on their property and Tindall's property, but they were not contacted for regarding an assessment district, and are wondering how it would work. They agree that secondary access is necessary.

Sister Cesira, principal of the school, stated that the high school would be a small girls' high school program. The school does not want student traffic and they do not think they can offer traffic-inducing programs. They got very good cooperation with their carpool program and parent meetings are staggered so all do not arrive at once. Commissioner Eberly asked where the expansion of the school will stop. Sister Cesira explained that financially it is not possible to expand to a large school; there are no plans beyond what is here in these applications. Commissioner Von der Muhll asked about summer camp. Sister Cesira

COUNTY OF SANTA CRUZ

USE

**-PERMIT-**

NUMBER 75-600-0

ISSUED TO Georgia Davis for Salesian Sisters

2503 East Lake Avenue

Watsonville, CA 95076

PARCEL NO.(S) 107-121-60

LOCATION OF USE On the west side of Enos Lane about 1 mile north of Hanes Road, Corralitos Area.

PERMITTED USE Use Permit to amend use Permit No. 75-600-0 by allowing the operation of a school (in existing buildings) for grades K, 1, 5, 6, 7, and 8 for a maximum total of 90 students, subject to the following conditions:

Prior to exercising any rights granted by this permit:

1. Enos Lane shall be improved per Exhibit A. The first 300 feet of Enos Lane shall be widened to 16 feet in width with oil and screenings over 5 inches of base rock. A barrier shall be provided for the drainage ditch along the west side of Enos Lane, subject to CRA Director review and approval.
2. The applicant shall submit a plan for staff approval for busing or carpooling of all students from Enos Lane to a safe facility. It is the intent of the plan to minimize school traffic on Enos Lane. The approved plan shall remain in effect during the operation of the school.
3. The applicant shall place a standard stop sign on Enos Lane at its intersection with Hanes Road.
4. The applicant shall comply with all conditions of the County Fire Marshal.
5. Prior to consideration of any further Use Permit, the applicant shall apply to rezone the property to the appropriate district.

JW:gh

THIS PERMIT WILL EXPIRE ON June 16, 1979 IF IT HAS NOT BEEN EXERCISED.

NOTE: APPLICANT MUST SIGN, ACCEPTING CONDITIONS, OR PERMIT BECOMES NULL & VOID.

SIGNATURE OF APPLICANT

SANTA CRUZ COUNTY ZONING ADMINISTRATOR

BY

RICHARD PEARSON, CHIEF OF DEVELOPMENT PROCESSING

DATE

• NOTE • THIS IS NOT A BUILDING PERMIT.

In **August of 1975**, the Planning Commission approved Use Permit 75-600-U for a noviatiate, consisting of a main building with a chapel, **staff** quarters, kitchen and dining room, and three dormitories with **30** rooms each, and to operate a six-week summer camp for **70-90** girls. This present proposal will convert a portion of the main building, which is under construction, to classrooms. The entire development is located near the center of the 57 acres.

In January of 1976 the Board of Supervisors rezoned the southerly 14 acres with an apple orchard to A-10 and rezoned the remainder to the REC district. The rezoning action was a condition of Use Permit 75-600-U.

A conditional use in the REC district is an organized camp, which is defined as "a site established for the purpose of providing an educational or spiritual experience, with social and recreational elements and having a supervised program." It is not clear that the intent of the above provision for an educational experience in conjunction with the REC district translates into elementary school classrooms. In fact, the Planning Commission may not have yet made that interpretation under the new REC district. In this particular case, the school use appears to be consistent with the intent of the Use Permit for the noviatlate and the condition for rezoning.

The property is located between two areas of the Zayante fault which are assigned a moderate surface rupture potential on the Seismic Element. In those locations the Zayante fault is designated by the State and County as potentially active. On site the fault has an unknown surface rupture potential. This may be due to the presence of Aromas sands which are easily modified. The structures are placed on level areas on cut slopes and the landslide potential does not appear to be great. (See attached map from staff geologist).

The property is about one mile north of Hanes Road on Enos Lane, which is narrow (12-16 feet) and is designated inadequate on the Safety Element. The applicant is proposing to widen portions of Enos Lane and provide turnouts (see attached Exhibit A). The applicant is also proposing a system of busing/car pooling using the grounds of Holy Eucharist Parish about 1 1/2 miles south on Corralitos Road as a meeting and transfer point. The County Fire Marshal has reviewed the building plans and has recommended approval subject to seven conditions. About 3 miles north of the site, Enos Lane connects with Eureka Canyon Road through Rider Road and with Fern Flat Road. The right-of-ways are uncertain and the roadway is unpaved and impassible during winter months. The area surrounding the property is designated a critical fire hazard due to flammable vegetation and steep slopes.

RECORDED AT THE REQUEST OF.

GUARANTEE LAND TITLE COMPANY

WHEN RECORDED RETURN TO

DAUGHTERS OF MARY HELP OF CHRISTIANS

c/o G. W. DAVIS, INC.

2600 East Lake Avenue

Watsonville, California 95076

MAIL FUTURE TAX STATEMENTS TO

GRANTEE

Above Address

BOOK 2554 PAGE 398

COMPARED

500

GUARANTEE LAND TITLE CO

RECORDED AT REQUEST OF

OCT 30 4 16 PM '75

OFFICIAL RECORDS  
SANTA CRUZ COUNTY  
RICHARD C. NEAL  
RECORDER

41565

041565

BOOK 2554 PAGE 398

**Grant Deed**  
(INDIVIDUAL)

Order No.

Escrow No. 13374 DJM

RECORDER'S USE ONLY  
DOCUMENTARY TRANSFER TAX \$ 220.00

- ☒ Computed on full value of the property conveyed, or  
☐ Computed on full value, less liens and encumbrances  
remaining thereon at the time of the sale, or  
☐ Computed on a consideration less than \$100.00

GUARANTEE LAND TITLE COMPANY

Signature of declarant or agent determining tax • Firm name

THIS FORM PROVIDED BY GUARANTEE LAND TITLE COMPANY

FOR A VALUABLE CONSIDERATION,

GEORGE P. LEONARD and WILMA LEONARD, his wife,

GRANT(S) TO

DAUGHTERS OF MARY HELP OF CHRISTIANS

830-75-1413-000100 • 6 \*\*0.220.00

that real property in the

County of Santa Cruz

, State of California, described as:

PARCEL ONE:

BEGINNING at a stake marked "S" at the Northwest corner of the tract of land of Nancy French, heretofore known as the Mathews Tract; thence due South 26 45/100 chains to a stake "N", the Southwest corner of said tract; thence North 83" West 26 12/100 chains to a stake "S" on the West boundary of a tract of land conveyed to Teresa S. Gonzales by George Walker by Deed dated October 31st, 1883, and recorded in said County Records of Deeds, Volume 36 at Page 339; thence North 10° West 16 78/100 chains to post "N" in fence on Eastern boundary of land of Mrs. Hussey; thence North 25" East 7 47/100 chains along the Eastern boundary of said Hussey land to a stake "S" in fence; thence leaving last named boundary East 25 70/100 chains to the place of beginning, containing an area of 67 852/1000 acres, more or less, and being the North part of the tract of land conveyed to said Teresa L. Gonzales, by said Walker by the deed hereinbefore mentioned.

EXCEPTING THEREFROM all that portion thereof lying Easterly of the centerline of "Rider Road" a private road, as the same existed on or about January 1, 1963.

ALSO EXCEPTING THEREFROM all that portion thereof described as follows:

BEGINNING at the point of intersection of the Southerly line of the parcel of land first hereinabove referred to with the centerline of "Rider Road", said point being the Northeast corner of the parcel of land described in the deed to William C. McGarvey, et ux, recorded August 28, 1963, in Volume 1563 of Official Records, at page 87, Santa Cruz County Records; running thence along said Southerly line, North 83° 00' West 375 feet, more or less, to a point which bears South 81° 58' West 404.56 feet and North 3° 59' 30" West 165 feet, more or less, from the South 25° corner of the parcel of land described in said Deed to McGarvey; running thence along the centerline of the existing traveled route of "Rider Road", as re-aligned, North 3° 59' 30" West 11 feet, more or less, to an angle

of Rider Road, as re-aligned, North 7° 20' 25" East 12.21 feet, more or less, to an angle point therein; thence continuing along said re-aligned centerline, North 28° 54' West 141.21 feet, North 19° 50' West 199.93 feet, North 41° 27' West 189.52 feet and North 7° 20' 25" East 12.21 feet, more or less, to the point of intersection of said re-aligned centerline with the centerline of said "Rider Road" as the same existed on or about January 1, 1963; running thence along the centerline of said "Rider Road" as the same so existed, Southeasterly and Southerly to the point of beginning.

ALSO EXCEPTING THEREFROM any portion of said "Eider Road" as the same existed on or about January 1, 1963 lying between the Northerly termination of the course set forth as "North 7° 20' 25" East 12.21 feet, more or less," in the foregoing description and the Southerly line of the parcel of land first described herein.

PARCEL TWO:

BEING a part of the Corralitos Rancho and bounded on the North and East by a private road leading from the Hussey Ranch to the ranch of J. F. Ennis and known as the Rider Road, and on the West by lands of Hussey, and on the South by the North line of land formerly of J. F. Ennis, containing about 10 acres of land, more or less.

SUBJECT TO and TOGETHER WITH a right of way, 40 feet wide, over the existing traveled route of "Rider Road" the centerline of which is described as follows:

BEGINNING at a point on the centerline of said "Rider Road", a private road, at the most Northerly corner of "Parcel Two" hereinabove described; running thence along the centerline of said "Rider Road" as the same existed on or about January 1, 1963 in a general Southerly direction to the Northerly terminus of the course set forth as "North 7° 20' 25" East 12.21 feet, more or less," in the foregoing description; running thence along the centerline of said "Rider Road" as realigned, South 7° 20' 25" West 12.21 feet, more or less, to an angle point therein; thence South 41° 27' East 189.52 feet, South 19° 50' East 199.93 feet, thence South 28° 54' East 141.21 feet and South 3° 59' 30" East 11 feet, more or less, to a point on the North line of the parcel of land described in said deed to McGarvey, hereinabove referred to.

ALSO SUBJECT TO and TOGETHER WITH a right of way, 40 feet wide, over the existing route of "Rider Road" as re-aligned, the Southerly line of which is described as beginning at the most Southerly terminus of the right of way last hereinabove referred to, and running thence South 83° 00' East, 375 feet, more or less, to a point on the centerline of said "Rider Road" as the same existed on or about January 1, 1963.

ALSO TOGETHER WITH a Right of Way over "Rider Road", a private road, 40 feet wide, from the Southeasterly terminus of the right of way last hereinabove referred to, Southerly to Hames Road, a County Road.

ALSO EXCEPTING FROM PARCELS ONE and TWO hereinabove described all right, title and interest in those water rights as described in the Judgment entered in the Superior Court of the State of California, entitled, "A. T. Enos, et al, Plaintiffs vs. MARLOUS I. KARLICH, Defendant," which was recorded November 19, 1949 in Volume 746 of Official Records, at Page 435, Santa Cruz County Records.

ALSO EXCEPTING THEREFROM the following:

BEING a well lot bounded by a line described as follows:

BEGINNING at the Station "A" described in the Deed from George D. Leonard, et ux, to John S. Tate, et ux, recorded April 17, 1973, in Volume 2303 of Official Records, at Page 427, Santa Cruz County Records; running thence North 21° 33' East 31.92 feet to the Eastern corner of said well lot from which a 1/2 inch pipe "LS 2265" bears North 30° 00' West 13.33 feet distant; thence North 30° 00' West 40.00 feet to a 1/2 inch pipe "LS 2265" at the Northern corner of said well lot; thence South 60° 00' West 25.00 feet to the Western corner of said well lot from which a bored and cased well bears South 30° 00' East 20.00 feet and North 60° 00' East 10.00 feet distant; and thence South 30° 00' East 59.85 feet to a Station "A" and the point of beginning.

300 Enos lane  
 Corralitos, CA 95076  
 February 27, 2006

County of Santa ~~Cruz~~  
 Planning Department  
 701 ~~Ocean~~ Street  
 Santa Cruz, CA 95060

Attention: Paia Levine

Subject: Salesian Sisters' School-Application **04-0384**  
 Initial Study and Preliminary Determination

Dear Ms. Levine:

I have lived at 300 Enos Lane almost three years now. I understand that to most, three years would not be considered a very long time, but considering the events that have surrounded my home since moving to this neighborhood, sometimes it seems like a lifetime. That is, a lifetime of duress due to the nuisance deriving from our neighbors the "Salesian Sisters" at 605 Enos Lane and the business they run. These neighbors of mine, the "Salesian Sisters" may have a few women reside there, for a period of time, but they are actually all "temporary residents" with a Provincial in Texas.

My husband and I on the other hand worked very hard for many years striving for the day we would start a family and buy a home in a safe, private neighborhood where we could set down roots and whereby our children could thrive. Moving here was a big event for us. I was with-child and not only new to the neighborhood, but new to the state of California. I was very much looking forward to moving to what I thought would be a progressive and intelligent state whereby we could all grow according to our dreams and our US Civil Rights as citizens of this great country of ours, i.e., safe, free and pursuing our happiness.

We spent a lot of money purchasing our home, we pay a lot of taxes for it and we planned on spending even more money on future renovations to improve our quality of life and that of our neighborhood. We looked forward to being a vibrant part of our community. Instead, sadly, what I have found here due to the shocking behaviors of the "Salesian Sisters", the administrators of the businesses being run there and by many of their patrons, resembles more WWII Germany, circa 1933 – 1942 or Selma, Alabama circa 1965. Honestly, we have been so maliciously targeted by them for solely expecting them to adhere to the law like everyone else is expected to do, (i.e. "pay to Caesar what is Caesar's") and to drive courteously on our road, that I have felt that burning cross on my front lawn or that yellow star on my lapel for almost three years now. It is heartbreaking.

During the summer of 2003, while they were conducting their illegal summer camp (their permit is for 20-30 girls bussed in and 1 retreat – not hundreds of day campers and

dozens of children sleeping over in classrooms called “bungalows”), I called to inquire about their traffic plan. By that time, I had already been run off the road several times while pregnant and walking my dog and at several different times of the day. I’d also been cursed at to get off the road by parents picking up their children. That’s right, told to get off MY road with expletives. I, at that time counted literally hundreds of cars daily commuting to and from the school from 6am until 9pm, 7 days a week. My phone call was not well received. My husband and I paid a visit in person to get acquainted hoping they would welcome us and perhaps invite us to participate in a resolution to the problem. Instead we were lied to by a “Sister” Maria there and accused of persecution for simply requesting information. Left puzzled, I then made several telephone calls to the principle, Ms. Greer, leaving detailed messages. She returned not one of my calls. I was only called once, by the school secretary, who called out of amusement, just to harass me by pompously reiterating that the principle, Ms Greer, was in Texas and not available to return my call. Again, I was left puzzled by this bizarre behavior. I then spoke finally with the Mother Superior, “Sister Theresa”, and invited her over to my home several times for coffee and to talk about a solution. She was always very pleasant and agreed to my invitation yet then never returned a phone call or came over to my house! I really was beginning to wonder about the women up there and at first just attributed it to old age. We then also inquired if there was anyone on site to discuss this situation, yet was told there was no one on site at the school (with all those children there every day) responsible for the facility. Therefore, after no attempt was made by the principle or by the Mother Superior of the “residence” to discuss this situation with me and since there was no possibility for discussion with anyone on site, needless to say, I became very concerned. I called the Diocese of Monterey for help. That is where I was told that the “Salesian Sisters” up the street from me have absolutely no affiliation whatsoever with the Diocese of Monterey. I was also told that they are aware of the many problems plaguing the “Salesian Sisters” up on my road. I was told that they have received many complaints in the past and I was advised to call the County Supervisor’s Office, County Planning Office, Santa Cruz County Board of Education and the Sheriffs Office. Yes, the Diocese of Monterey evidently knew there was a problem and tried to steer me in the right direction, to which I am very grateful.

It was only through reading the pages in the Planning Department that I came to see that the women owning the property at 605 Enos Lane have been terrorizing my neighborhood for years. They have been utilizing power like the Mafia, infiltrating high ranking officials in government whose child may be enrolled, manipulating the truth, deceiving the public, the County and the neighbors with their true plans for the property since they initially purchased it. They use intimidation and bullying tactics to quell any resistance to their plan, no matter how old or frail their opponent.

They bought the property and requested a permit for a novitiate. The neighbors were concerned but agreed to that thinking it would be a quiet retreat for young girls to contemplate, never knowing that their builder would attempt to manipulate a right of way into the county plans that never existed before. Funny how just a couple months after the building was finished they decided to apply for a camp/school permit. What, no vocations that year? They just **happened** to build a home that **could** function as a school? The neighbors objected yet were bullied by deceit and greed. The “Salesian Sisters” lawyer at that time also had interest in the school and property lines and told the Enos

Lane residents he would shove the school down their throats. Those hearings were dominated by the "Salesian Sisters" creating drama in the hearing room. They had a parade of children testifying on how they *loved* their teacher "sister so and so", as if that should matter one bit! The transcripts are ridiculous and we paid for the audio tapes, which I have in my possession with every sordid word. The tapes also include the wording of the permit they abuse now and the implied continuation of the initial carpooling and bussing program. They made the Planning hearing into a carnival and exposed children to what I would consider abuse. They *used* those children for their own personal benefit. They used the parents as well by getting them all riled up with the same rhetoric and absurd petitions signed by people that didn't even live in the vicinity to make a numbers game for the hearing. It was nothing more than an absurd show, one which I wouldn't put it past them to *try* and repeat again here with us. Abusing their power over weak individuals and warping parents' perceptions of the truth to their plan seems to be part of their agenda. Again, I find their business morals and ethics in practice so bad that it is truly revolting to me (and others). Nonetheless, the Planning department granted a temporary permit with strict guidelines. When virtually none of the guidelines were adhered to, the Planning Department did the right thing: they denied their permit. I reiterate, the Planning Department at that time did the right **thing: they denied their permit.** The "Salesian Sisters" appealed to the Board of Supervisors whereby Ms. Liddicoat should have abstained since she had personal interest in the school, evidently her child was enrolled there. Instead, not only did Liddicoat participate, but eliminated the necessity of a secondary access road among other provisions that call into question the very legality of their existing permit to date. I wonder if the Insurance Commissioner or their Insurance Carrier was ever notified that there was to be no emergency access road for the children and staff at the school. Was the Health Department notified for an inspection? I don't think so. Also, there is a little thing called FIRE SAFETY. It is not a matter of IF there is a fire; it is a matter of WHEN there will be fire. When there is a fire, it will bum fast there since the school is built on an area designated as an extreme fire hazard. In my opinion, it is tantamount to child abuse keeping children closed up on that hill the way they do with no way out in *an* emergency. They are literally playing with fire, playing with the lives in their care and playing with the lives and property of every single person residing on our lane. Thus, they have become nothing more than a nuisance. I can promise that when that dreaded day comes, if one hair on my son's head is injured, or an inch of our property damaged, there will be billions of dollars in retribution sought. I will dig from the culprits at the very beginning of this mess all the way through government agencies responsible. I will dig through the "Salesians", the Catholic Church, their insurance carrier and even the clients of the school who knowingly break the law daily by driving up our lane whilst over the number limit and possibly blocking an emergency vehicle or exit route.

Once I contacted Supervisor Pirie's office concerning this situation, the principle at the "Salesian Sisters" school began a malicious and irresponsible campaign against me personally. I have many documented occasions of her malicious attacks. A few of the examples of her personal attacks towards me are: whilst not knowing me at all, she has called me a "Catholic Hater" and other negative references to public officials and neighbors; she has abused her position to try and threaten my family, even my newborn child with false accusations to the law; while 7 months pregnant and in my home, she has

sent a parent representative to terrorize me, she has slandered the good name of my family, she has been instrumental in marginalizing my family from the parish church and she has abused her position of authority at the school by inciting hatred and aggression toward me and my family by the parents at the school. Because of her false witness against her neighbor – me, to her clients the parents, people with whom I am a complete stranger, I have been spit at by parents while pregnant and getting my mail; I have had trash thrown at me by parents while walking in front of my home; I have been cursed at by parents; yelled at by parents; stared at by parents; had harassing letters written to me by parents – complete strangers mind you; my dog was mysteriously poisoned... and the list goes on. These are the odd, shocking, strange and scary behaviors of the “Salesian Sisters” school towards my family, and me solely after questioning their traffic numbers. It has been a horrific ordeal. I was made aware that she was upset because she was attempting to obtain a permit for a new auditorium for the property to allow interscholastic sporting events. Perhaps my timing put a monkey wrench in her plan and she took it out on me personally. One would have thought the responsible thing would instead have wanted to begin attempts at compliance. That is what any other responsible honest, ethical and forthright business would be expected to do.

So, the journey began, and to no one’s surprise that has dealt with our neighbors on 605 Enos Lane, the “Salesian Sisters”, instead of trying to comply, instead of respecting their neighbors as themselves, instead of attempting a Christian brotherhood, instead of trying to meet with the neighbors and discuss a solution, they have continued their status quo and instead applied to enlarge their enrollment to 250! Almost triple of what their use permit was granted. It is truthfully a shameful display of greed and disdainful business morals and practice. Instead of buying a few buses and re-paving our road as a good gesture after years of illegal use and abuse, they want to increase the number of vehicles. Not one single day has passed since this began that they have complied with their temporary decrees. **NOT ONE DAY IN COMPLIANCE!** They are making a mockery of the County Planning Department without a shred of respect. They may attempt to carpool in the morning, but the traffic starts at 6:15. The busiest time may be from 7:15 am until around 8:30 with a daily car count during just that one hour that consistently over their allowed maximum number and with drivers over the speed limit. Then the pick-ups start at 11:15. This goes on all day long from 11:15 until about 5:30 our road is busy with cars picking up children **from** school. There are vans, SUV’s even a Hummer picking up one or maybe two students at a time. There has **NEVER** been an afternoon “busy hour” of carpooling in the past years that I have observed. Also, without notifying the neighbors **OR** the Planning Department, they have **after** school, interscholastic sporting events with a small league of private schools. I **am** sure that point was concealed to you whilst making your review. They also have many other events in the evening and weekends that they do not make public. They again are conducting business in the same deceitful, secretive, false and ethically immoral way that they have for the past almost 30 years. Look at this letter! We neighbors didn’t even get notice until last week of the review period! I have had to write this letter overnight due to the tight time restraint. What other secrets are they hiding? What are the facts concerning a retired priest that was living there for a short stint? Was he in contact with the children? What are the facts concerning his living conditions/departure? Were there illegalities?

I do NOT know why now the Planning Department would take it upon themselves, *with our tax dollars*, to devise a working business plan for them. Could you provide me of a list of other businesses that you do the same for? If one does not want to accept the fact that the "Salesian Sisters" deliberately manipulate the truth, then one must conclude that they are completely incompetent and unable to run a safe, trustworthy and lawful business. They are NOT forthright on any issue I have observed to date.

They have paid a lot of good money for consultants amving at this juncture. I must say, that a good consultant, may have instead told them to save their money, and realize that they have run an illegal business for almost 30 years and made millions of dollars doing it. They made their money while running over the backs of the meek and elderly in their neighborhood – perhaps now it's time to close the door. The "good old boy network" is gone and **we expect transparency**. Because of the past infractions, I expect transparency in the County's Planning Department concerning this issue as well, to include the names of anyone working on this project that may have a personal agenda or personal interest in it. Transparency also in the parents of students at the school that any hold government position in Santa Cruz County/Watsonville that may be putting on pressure concerning this issue where they shouldn't be. There is a new breed of savvy owner entering this neighborhood and we are paying a lot of money for our privacy and rights. We would be hard pressed to allow our civil rights to be trampled on. We care about our environment as well and it is well noted here that the **traffic** and school noise depletes the number of wildlife we have in our neighborhood. The noise and traffic is horrible to us humans, the wildlife here just runs fi-om it – if it can. I have witnessed parents' cars running over small animals and salamanders in the lane here right in fi-ont of my house!

If the "Salesian Sisters" want to enlarge their school, good for them! Why don't they save us the drama and do the right thing – purchase a piece of commercial land on a public road – like other businesses do. Wow, doesn't that seem simple? They may covet their neighbor's land, but they can't have it. A suggestion is they can use the existing property as a retirement home for their aged or impaired. There seems to be a need for that. Why would they be willing to spend millions of dollars for another 30 students? The tuition for an additional 30 students wouldn't most likely cover the cost. Is there something in Planning to do with the number 250 that we need to know about? Why the magic number 250? Do they still have plans for their auditorium and sporting events? If they have so many rich and wealthy patrons who are willing to support them, why don't they get together and buy the land for them. There could even be a Monte **Sports Stadium** attached in the back! Patrons could even have supporters' signs and plaques or even statues placed in their honor. Maybe even a designated main entrance driveway named after them for their support. Just an idea I thought I'd throw out there.

You, Ms. Levine, must do the right thing here and deny the amended permit and red tag the facility. You should make them re-file for a new permit of 90 students since they have never complied with their original. You should require them to re-pave and recondition our road due to almost 30 years of illegal use and abuse. You must do this NOW so the parents can enroll their children in a good school for the fall. Bradley and Rio Del Mar have some of the highest test scores in the nation! That's right, some of the highest test scores in the NATION! Which again brings to question, why do parents bring their children to the "Salesian Sisters" school? Could it be for the religion? They

aren't affiliated with the diocese and from what I've seen, they have nothing to do with the Catholic Christian ethic. In fact I find their business morals, ethics and behaviors to be downright shameful as a Catholic and an embarrassment to all religious Catholics in general. I most certainly would not ever contaminate *my* son in that presence. It can't be for the scholastic properties because they aren't noted for that either. It definitely can't be for their diversity because virtually everyone I see driving to the school is Caucasian and driving an expensive vehicle. Is there truth in the talked about "white flight" theory whereby some don't want their children to go to school with the troublesome Mexicans and Hispanics at the public schools? If so, then Planning should definitely NOT be involved in helping build such a business. Diversity is something California and Santa Cruz should embrace and be proud of! Deny, deny, and deny this application - then red tag this nuisance. They cannot be trusted to ever comply with any safety standards you in the Planning Department put in place. They have not shown good form or business practice in the past **and** have never complied for any steady period of time in the past almost 30 years. Planning does not treat other businesses with kid gloves and I would not expect Planning to extend any favorable opinions upon a business that so blatantly disregards Planning's standards on a daily basis to date. Deny, Deny, deny and red tag.

We just want a safe and free place to live, which is guaranteed us by the Constitution of the United States. Brilliant minds agree and understand with this concept, in fact, in his latest online message, the present Sheriff-Coroner, Steve Robbins states, "I also recognize the community for their continued partnership in making Santa Cruz County a place where all people can live safely and without fear." That is a profound statement **and** that is what my husband and I are all about. That is also what we, along with our good neighbors here in our little neighborhood on Enos Lane are all about. That is the kind of partnership we are asking of the Planning Department to provide. Please, help us. Just do the right thing, again, deny, deny, deny their request and red-tag them like every other dangerous and illegal business in the county.

Sincerely,



Dianne Castellanos

Cc: Supervisor Ellen Pirie; Robin Musitelli, County Supervisor's Analyst; Steve Robbins, Sheriff-Coroner; Sergeant Christine Swannack; Mr. Tom Bums, Planning Department; Mr. David Lee, Planning Department; Randall Adams, Planning Department, Cathy Graves, Planning Department; Gustavo Gonzales, Inspector; Gary E. Hazelton, Assessor; California Insurance Commissioner John Garamendi; California Department of Insurance Legal Division; American Civil Liberties Union and ACLU/NC Free and Safe Campaign; Santa Cruz Fire Department Ron Prince, Fire Chief; Corralitos Fire Station; FMA Provincial, Sr. Sandra Neaves, Salesian Sisters West

February 25,2006

County of Santa Cruz  
Planning Department  
701 Ocean Street  
Santa Cruz, CA 95060

ATTN: Paia Levine

RE: Preliminary Determination of a Negative Declaration for Salesian  
Sisters School Application 04-0384

Dear Ms. Levine,

We were surprised to read the county's negative declaration on Application 04-0384 and to learn that the Salesian Sisters School's doubling their permitted enrollment would not have a negative impact on our neighborhood. The school is presently exceeding its permitted enrollment of 125 by at least 80 students, and this definitely has a negative impact on the safety, peace, comfort, and general welfare of our neighborhood.

We have lived at 270 Evening Hill Lane for almost 20 years. We knew there was a school up the hill when we moved here, however, it was (and still is) a school permitted for 125 students. Since 1986 enrollment has grown to at least 205 students and the resulting traffic and safety concerns cannot be ignored. We have made calls to the county and the school regarding unsafe driving, the large volume of traffic, near misses with pedestrians, and rudeness of drivers. The traffic situation worsened until neighborhood residents wrote a letter to the school and formal complaints were filed with the county in 2003. We have written letters to and met with school officials, Ellen Pirie, planning department staff, and law enforcement. No one has been able to explain why the school has been permitted to continue violating its permits while there has been no effective and lasting solution to traffic volume and resident safety. By entering into a compliance agreement with the school in August of 2004, and again in August 2005, the county effectively granted the school a new use permit and legitimized its violation of Use Permit 78-1539-U without due process or public hearings.

The Negative Declaration Mitigations included with the Notice of Environmental Review Period are woefully inadequate to address traffic and safety issues in our neighborhood. When the county granted Salesian Sisters School Use Permits 77-323-U and 78-1539-U, each carried a stipulation that a carpool plan would be submitted each year. Only one such plan was on file (1978). At the beginning of each school year, morning carpooling is enforced, but the number of cars gradually increases throughout the year. There are even more cars in the afternoon with students staying after for sports or other activities. The school also hosts after-school sporting events attended by other schools. Add to this special day, evening, and weekend events and meetings, and summer camp for 6-7 weeks, and it is obvious that the neighborhood is unfairly burdened. How can a carpool plan even be enforced? It should not be up to the neighborhood residents to count cars every day.

At present, Enos Lane is adequate for resident ingress and egress. If the road is widened, we fear people will drive even faster. Even with a wider road, the sheer volume of traffic will block the road at times, especially if there is a large truck (such as a garbage truck) on the road. This definitely impacts residents in terms of emergency evacuation and access. In the late 1990's a tree fell across Enos Lane and blocked the road for approximately eight hours. Had this not happened during the school's spring break, the logistics of getting all the kids down the hill would have been a nightmare. Since the school is located in a high-fire-hazard area, a fire requiring evacuation of students and neighborhood residents could be lethal.

Our neighborhood children cannot safely walk to the public school bus stop at Enos and Hames due to the heavy school traffic. When walking our own children to the bus stop, my neighbor and I were hit by car mirrors numerous times. Residents have witnessed many near misses when school traffic has passed other cars or run off the edge of the road. Recently, a child was almost hit as a Salesian "carpooler" went around a school bus that had its flashing red lights on. We do not want to have a child injured or killed before this safety issue is taken seriously by the county.

If a school of 125 students were proposed today in this location, it would surely be denied due to poor access and its impact on a rural residential neighborhood. Attached is a summary of county documents pertaining to Salesian Sisters School. It is interesting to note that the county even rejected a proposal for 4 home sites on that same property because the impact on the

environment and the neighborhood would be too great. One month later, the proposal for a novitiate was submitted and all hazards and adverse changes seem to have disappeared. On July 3, 1979, Use Permit 78-1539-U was granted, with Supervisor Marilyn Liddicoat (who had a child at the school) motioning to delete many of the Fire Marshal requirements for the school, including a secondary access road.

It makes no sense to allow the Salesian Sisters School to violate its use permits or for the county to recommend approval of a 100% increase in enrollment when no mitigations have been proposed that will effectively address safety and traffic concerns. Individual residents who have built homes here, done remodeling, or proposed lot splits have been subjected to close scrutiny and rigorous regulation. Why would a business in a rural neighborhood be allowed to not only violate its use permits, but be granted a permit to expand? We **look** to the county for a fair, safe, and non-political solution to this problem.

Sincerely,

Gary Smith  
Barbara Smith  
270 Evening Hill Lane  
Corralitos, CA 95076

Attachments: Chronological Summary of Documents Pertaining to Salesian Sisters School

Letter to Randall Adams, 10-12-04

Letter to Ellen Pirie, 4-23-04

Letter to Sister Charlotte Greer, 8-25-03

cc Tom Burns, Planning Director  
Ken Hart, Principal Planner  
Supervisor Ellen Pirie  
Supervisor Tony Campos  
Planning Commissioner Dennis Osmer

**CHRONOLOGICAL SUMMARY OF DOCUMENTS PERTAINING  
TO SALESIAN SISTERS SCHOOL, 605 ENOS LANE, CORRALITOS**  
**Revised 2-16-2006**

<b>DATE</b>	<b>DOCUMENT AND/OR ACTION</b>
<b>4-18-74</b>	<b>Environmental Assessment</b> <ul style="list-style-type: none"> <li>Developer Jack Wagner proposed 39 lots (1.46 acre each) on 57 acres; developer would be responsible for improving road (Enos Lane)</li> <li>Adverse environmental changes identified:</li> </ul>
	<ul style="list-style-type: none"> <li>protection</li> <li>Inadequate road (Enos Lane)</li> </ul>
<b>5-21-75</b>	<b>Planning Commission Staff Report</b> <ul style="list-style-type: none"> <li>Proposal for 39 lots denied due to density and inconsistency of use with the general plan</li> </ul> Proposed split into 4 lots: <ul style="list-style-type: none"> <li>This proposal denied as it was not consistent with agricultural designation</li> <li>Stated that development of the upper portion of the property (where the school now sits) was not desirable due to geologic and seismic hazards</li> </ul>
<b>6-16-75</b>	<b>Proposal for Novitiate</b>
<b>6-23-75</b>	<b>Negative Declaration</b> All hazards and adverse changes seem to have disappeared. <b>HOW AND WHY?</b>
<b>8-6-75</b>	<b>Planning Commission Staff Report</b> <ul style="list-style-type: none"> <li>Original novitiate would have <u>no more than 25 persons in residence (including staff and faculty)</u></li> <li>Summer camp would be for 6 weeks with 70-90 girls; ½ kids would be bussed, ½ would be carpooled</li> <li>Petition for novitiate included 119 signatures, but only 6 were neighborhood residents (4 dwellings)</li> <li>Page 4 – the resident and summer densities specified were <u>higher than those denied in May 1975</u> (39 units on</li> </ul>

	<p>57 acres, or 4 units on 57 acres)</p> <ul style="list-style-type: none"> <li>• There would be 1 retreat a year (30-40 sisters)</li> <li>• There would be no weekend retreats</li> <li>• Road would be resurfaced and widened to 18 feet –</li> </ul> <p><b>THIS NEVER HAPPENED</b></p>
8-14-75	PERMIT 75-600-U issued for Novitiate
5-9-77	<p>PERMIT 77-557-U to amend permit 75-600-U to construct a storage building</p> <p>An attachment by the zoning administrator stated:</p> <p>“The establishment, maintenance or operation of the use or building will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of the proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.”</p>
6-16-78	<p>PERMIT 78-323-U to amend Permit 75-600-U to allow operation of school for K,1,5,6,7,8 for a <u>maximum</u> of 90 students. “Prior to exercising any rights granted by this permit”:</p> <ul style="list-style-type: none"> <li>• Enos Lane shall be improved</li> <li>• Applicant will submit a plan for carpooling or busing to minimize school traffic on Enos Lane (a plan was submitted)</li> <li>• Applicant shall comply with County Fire Marshall conditions</li> </ul> <p>Planning Commission Staff Report, June 7,1978:</p> <ul style="list-style-type: none"> <li>• Again, the above finding was attached: “That the establishment, maintenance or operation of the use or building will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of the proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.” The remedy stated for this finding was: “This proposal will not be detrimental to the area or the safety of the future</li> </ul>

	<p>students if proper conditions are applied for improving and widening Enos Lane, for restricting road use by a system of busing and carpooling, by providing emergency egress and by insuring the geologic stability of the site.”</p> <ul style="list-style-type: none"> <li>• A secondary access road was deemed impassable, and the area surrounding the school property was designated a critical fire hazard.</li> </ul>
5-2-79	<p>Traffic Concerns for approval to 125 students. “The safety of Enos Lane for resident drivers, pedestrians (public school children catching the bus) and the Salesians’ students is questionable.” Use Permit recommendations and conditions – staff recommendations:</p> <ul style="list-style-type: none"> <li>• Road width (#1)</li> <li>• Road maintenance agreement (#3) – <u>there is none</u></li> <li>• Carpool (#4)</li> <li>• Bus</li> <li>• <u>Conditions to expand to 250:</u> <ol style="list-style-type: none"> <li>1. <u>Road width/pedestrian walkway</u></li> <li>2. <u>Carpool</u></li> <li>3. <u>Bus to transport 50-75% of students</u></li> </ol> </li> </ul>
5-15-79	Road concerns by Department of Forestry
5-16-79	<p>Planning Commission Staff Report</p> <ul style="list-style-type: none"> <li>• Now the school has one retreat/month (stated one/year before)</li> <li>• Summer camp now 7 weeks (instead of 6 weeks)</li> <li>• Discussion about anticipated expansion</li> <li>• Page 4: Several commissioners opposed having 125 or more students; wanted secondary access road; had safety concerns; didn’t feel residents should be forced to improve road beyond what they needed.</li> </ul>
7-3-79	<p>USE PERMIT 78-1539-U and supporting documentation</p> <ul style="list-style-type: none"> <li>• 125 students</li> <li>• Continuance of carpooling</li> <li>• Planning Commission Notes (5-16-79) <ol style="list-style-type: none"> <li>1. No secondary road access feasible</li> <li>2. Impossible for sisters to upgrade and maintain road</li> <li>3. Resident concerns – 5 opposition letters</li> </ol> </li> </ul>

<b>7-3-79</b>	Supervisor Marilyn Liddicoat motioned to delete the Fire Marshal Requirements (deletion of road requirements, secondary access, etc.) <b>WAS THAT LEGAL?</b> <b>CONFLICT OF INTEREST – SHE HAD A STUDENT AT SALESIAN SISTERS SCHOOL</b>
<b>10-26-87</b>	Rural Density Matrix – copies of previous permits
<b>6-9-98</b>	Reauest to build residence for sisters
<b>7-29-03</b>	Letter from County to Salesian Sisters School regarding alleged building, zoning, or environmental code violations
<b>1-23-04</b>	Investigation Findings and General Instructions on How to Correct the Emergency Access and Evacuation Violations and the Over-Enrollment Use Permit Violation The Salesian Sisters School was found to be: <ul style="list-style-type: none"> <li>• Violating the Fire Marshal’s access requirements: “emergency and evacuation access around the rear of the school is routinely obstructed during school commute hours.”</li> <li>• Increasing traffic: “It is clear that the number of vehicles driving students to and from school has increased significantly since 1979 with the increase in student enrollment.”</li> <li>• Decreasing safety: “The increase in enrollment beyond the allowed enrollment level has added traffic to Enos Lane and the internal circulation roads within the school which has compounded the emergency access and evacuation issues identified by the Fire Department.</li> <li>• Violating Use Permit 78-1539-U by exceeded allowed student population (125) by at least 80 students. “Over enrollment at the school has contributed to increased traffic on Enos Lane.”</li> </ul>
<b>8-4-04</b> and <b>8-24-05</b>	Compliance Agreements between County and Salesian Sisters School <ul style="list-style-type: none"> <li>• Student enrollment not to exceed 205 students</li> <li>• 50 cars total during peak commute periods</li> <li>• School is not required to comply with existing permits, or even apply for a permit to have 205 students</li> <li>• School must submit application for 250 students</li> <li>• County has effectively granted school a new use permit without due process or public hearings</li> </ul>

<b>8-11-04</b>	<b>Use Permit Amendment Application</b> The Salesian Sisters School is seeking to: <ul style="list-style-type: none"><li>• Increase student enrollment to from 125 to 250 students</li><li>• Construct a parking lot</li><li>• Widen Enos Lane</li></ul>
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October 12, 2004

Randall Adams  
Planning Department  
701 Ocean Street, Room 400  
Santa Cruz, CA 95060

Dear Mr. Adams,

We are writing to you with concerns regarding the application for an amended Use Permit by the Salesian Sisters School (APPN 107-571-01), dated August 11, 2004. The application outlines plans to construct a parking lot at the school, widen Enos Lane to 18 feet, and construct a four-foot pedestrian walkway.

1. According to County Counsel (per conversation with Robin Musitelli on 9-23-04), the onus is on Salesian Sisters School to prove they have the legal right to widen Enos Lane to 18 feet and add a four-foot pedestrian walkway. The school claims it has a continuous 40-foot right-of-way from Hames Road to the School at 605 Enos Lane. The deeds of several Enos Lane residents do not support this. Les Strnad and Jake and Marilyn Head have already sent copies to your office of their deeds.

Taking into consideration that:

- Enos Lane is presently wide enough for the ingress and egress of the residents. In rural areas such as ours, roads are generally 16 feet wide;
- Many residents (including the undersigned) do not want the road widened or a sidewalk added; and
- One entity (the Salesian Sisters School) should not be able to dictate the size of the road for the 33 homes below the school in order to further their own business plan;

we respectfully request to be provided with copies of the codes and/or laws that give the Salesian Sisters School the legal right to proceed with the road widening over the expressed opposition of residents below the school. It would seem imprudent for the County to consider this application if it is not legally feasible.

The road widening is **only** an issue because the school is out of compliance with their 1979 Permit. If they were in compliance with the permit, the road size would be adequate. The School's claim that having 125 students would not be a viable business option is not a responsibility of

the residents. Increasing the school population should, likewise, not be a burden on the residents.

2. The Salesian Sisters School is presently in violation of their Use Permit 78-1539-U which allows for 125 students (they have approximately 205). The school has not been visibly red tagged, nor has the County required them to comply with their current Use Permit (or even apply for an amended use Permit to **fix** current violations) before applying for an amendment to expand the school. Instead, the County is legitimizing the school's violation by allowing the school to remain out of compliance while the application for expansion, not compliance, proceeds.
3. The Compliance Agreement between the County and the Salesian Sisters School, signed by Sister Charlotte Greer on July 28, 2004 and David Lee on August 4, 2004, would seem to be illegal in that it basically amends Use Permit 78-1539-U and increases the number of students allowed without an amended use permit application process or public hearings having been completed.
4. The survey of Enos Lane by Gary Ifland is not accurate. Inaccuracies have already been pointed out by Les Strnad and Jake and Marilyn Head. This survey, then, would make an accurate plan for the widening of Enos Lane impossible, thus wasting more time and money for both the County and the school.

Please let us know if we can provide you with any pertinent documentation regarding this application for an amended Use Permit. You may contact Les Strnad (722-3750) or Barbara Smith (724-7665) if you have any questions.

Sincerely,

A sampling of the concerned residents  
of the lower Enos Lane neighborhood  
(signature sheet attached)

cc Ellen Pirie, Supervisor  
David Lee, Assistant Planning Director  
John Ferreira, Santa Cruz County Fire Chief  
Dana McRae, County Counsel

AN

Gloria P. Pope

Roy Nelson

Elaine Wilson

The Head

Marilyn Head

Robert C. Ingham


Res. Arnold

Suzan Strnad

Sg B

*W. J. Davis*

Prüfung

 ANDY FIDOWS

Betty Fairhurst

Robert Jackson

Gary Wilson

W. H. Jones

*[Handwritten signature]*

Winifred Jones

Richard Jones

James B. B. -

Steph Balazs

Andrea Koch

My Shopping

3rd Bldg

Barbara Smith

Andy Fidandis	300 Enos Lane
Bernie Shapiro	261 Enos Lane
Sally Stoik	295 Enos Lane
Steve Boracca	245 Lou's Court
Susan Strnad	354 Hames (borders Enos Lane)
Les Strnad	354 Hames
Robert Ebeling	231 Enos Lane
Marilyn Head	25 Enos Lane
Jake Head	25 Enos Lane
Eloise Wilson	296 Hames (borders Enos Lane)
Roy Wilson	296 Hames
Gloria P. Pope	240 Enos Lane
Robert Porter	240 Enos Lane
Matt Zemny	76 Howell Lane
Gary Wilson	100 Howell Lane
Richard Fairhurst	235 Lou's Court
Betty Fairhurst	235 Lou's Court
Gary W. Smith	270 Evening Hill Lane
Winifred G. Jones	250 Enos Lane
Richard Jones	250 Enos Lane
Karyn Bokariza	220 Howell Lane
Steve Bokariza	220 Howell Lane
Andrea Koch	277 Enos Lane
Frank B. Dyer	290 Evening Hill Lane
Ivy Shapiro	261 Enos Lane
Barbara Smith	270 Evening Hill Lane

April 23, 2004

Supervisor Ellen Pirie  
Second District  
701 Ocean Street  
Room 500  
Santa Cruz, CA 95060

Dear Supervisor Pine,

We'd like to **thank** you again for **taking** the time to come to our meeting of concerned neighbors on Tuesday, March 30. We would like to reiterate the following safety concerns **for** the Enos Lane neighborhood below Salesian Sisters School:

1. **Correction of permit violations** – Concerns were voiced about the school remaining out of compliance in terms of student population, carpooling, and fire safety issues for the indeterminate time period **while** these issues are being addressed. We respectfully request that the county enforce the existing Use Permits and conditions for the Salesian School by code compliance or formal review of the existing **permits**. We were pleased **by** your assurance that these corrections need to be done in a timely manner and no later than the beginning **of** the next school year. **Such** action will not interfere with the Salesian Sisters School growth plans that they can pursue by separate permit action over the next year.
2. **High volume of traffic** – A recent car count showed 125 cars going up Enos Lane in a one-hour, fifty-three minute period. That's just the **morning** commute, not ancillary school **traffic** throughout the day, the afternoon pick up, or various night and weekend functions. This high volume of traffic and the narrowness of the road preclude our own residents from safely walking on the road or getting to the school bus stop at Hames and Enos.
3. **Lack of carpooling** – The **high** number of vehicles clearly shows that carpooling of the 205 students is not happening. Immediate enforcement of **carpooling/bussing** pursuant to the Use Permit should be in place.
4. **Lack of a secondary access road for the school** – Emergency access and escape are clearly compromised **for** neighborhood residents and the school by the **high** volume of **traffic**, and the narrowness of Enos Lane. Ideally, another road could be constructed **to** be the **primary** access, with Enos Lane becoming a secondary, emergency access road only.
5. **Summer camp** – The permit implies that the neighborhood could expect buses and cars to bring the children to **camp**, with 20 visiting cars **on** three intervening Sundays. Nowhere does it lead us to expect daily **traffic** for **6 or 7** weeks in the summer.

Thank you for your time and attention in helping **us** resolve these issues. Please keep **us** apprised of **the** school's progress in complying with its use **permits**. Attached please find the signatures of those who attended the meeting **as well as** some of the other concerned neighbors who were unable to attend.

cc Tom Bums, Planning Director  
Gustavo Gonzalez, Code Compliance Investigator

Winifred Jones	250 Enos Lane
Richard L. Jones	250 Enos Lane
Frank Dyer	290 Evening Hill Lane
Marilyn Head	25 Enos Lane
M. Macambridge	21 Enos Lane
Jake Head	25 Enos Lane
Karl Keaschall	150 Howell Lane
Jodie Keaschall	150 Howell Lane
Karyn <b>Bokariza</b>	220 Howell Lane
Steve <b>Bokariza</b>	220 Howell Lane
Betty Fairhurst	235 Lou's Court
Richard Fairhurst	235 Lou's Court
Steve Boracca	245 Lou's Court
Marlene Boracca	245 Lou's Court
Marcie Murphy	215 Lou's <b>Court</b>
Ilene Wilson	100 Howell Lane
Gary Wilson	100 Howell Lane
<b>Susan</b> Dotson	87 Howell Lane
Leonard Dotson	87 Howell Lane
Shaun Reid	87 Howell Lane
Carol Ebeling	231 Enos Lane
Robert Ebeling	231 Enos Lane
<b>Miguel Millan</b>	231 <b>Enos</b> Lane
<b>Andy</b> Fidandis	300 Enos Lane
Dianne Castellanos	300 Enos Lane
Les Strnad	354 Hames
Susan Stmad	354 Hames
Barbara Smith	270 Evening Hill Lane
<b>Gary</b> Smith	270 Evening Hill Lane

August 25, 2003

Sr. Charlotte Greer, **FMA**, Principal  
Salesian Sisters School  
605 Enos Lane  
Corralitos, California 95076

Dear Sister Charlotte,

Many of the community members who live on and in the vicinity of Enos Lane are very concerned about the automobile traffic generated by the Salesian Sisters School. We are now organizing a Safety Committee to address our concerns about traffic, community safety, and emergency readiness. We provide you the following findings that indicate a need to address our concerns about the traffic impact of your school:

- **Speeding and reckless drivers:** We fear that some of the drivers who transport kids to your school endanger the lives and safety of pedestrians (many who are very young). One child and several adults have been brushed by the mirror of a passing car driven by a Salesian parent (who never stop and check the victims) and there have been many near-miss vehicle-versus-pedestrian incidents. Several of our residents have lost pets to a speeding driver going to or from the school.
- **Rude attitudes of some of the drivers:** Some of our residents (including children) have been yelled at and sworn at by adult drivers who transport **kids** to and from the Salesian Sisters School.
- **Traffic jams:** There are many more automobiles transporting children to and **from** school than the 25 vehicles per day allowed in the school's use permit. We are especially concerned that this traffic will make it difficult for emergency responders to travel to an emergency in a timely manner. We are also concerned about delays and difficulties in getting to and from our homes, especially if residents face the need to evacuate because of an emergency. We are sure that the traffic impact created by the School is greater than is allowed under current permits.
- **Poor response to our complaints:** Historically resident complaints have not been given due consideration by the Salesian Sisters School Administrators. Our complaints have been laughed off or, for the most, **part**, ignored.
- **Emergency evacuation and access:** We understand that in **1978** the Board of Supervisors approved **an** amended Use Permit that countermanded emergency access road requirements established by the County Fire Marshal Mel Angel. We believe that this action by the Board is not legal in that the Fire Code requirements enforced by the local Fire Marshal are established in State Law (Title 19 of the California Administrative Code) and are not subject to amendment by local government. We are now experiencing a serious impact associated with the fact that the School **has** not complied with the State law and suggest that you once again address the State Fire Code requirements for emergency access.

We are writing this letter to let you know that we choose to make our position formal **and** will pursue a course of action that guarantees us relief from the Salesian School **traffic** and emergency access impacts. The following is a list of our expectations:

- Improved Signage: Posted Speed Limit Signs – “Private Road -15 MPH” and “Caution – Children at Play” signs. We want **your** support and proportionate funding to purchase and install these signs.
- There are far too many vehicles transporting kids to Salesian School than approved in the **Santa Cruz County Use Permit**. We want you to implement a plan to become compliant to the Use Permit requirements **as soon as** possible. We intend to push **this** issue very hard if we do not see the implementation of **an** acceptable plan for the school and camp by December 1, 2003.
- **Driver Courtesy:** We want a new and improved written policy that every driver who transports children to and **from** the Salesian School will receive **from** you and your administration explaining the importance of being considerate of resident safety while driving on our privately owned lane. The policy must also include a method of filing a complaint by residents and the method **you** will use to follow up the complaint. We expect to see **some** form of consequence associated with the follow up of a valid complaint. **Our** bottom line is that we expect civil and respectful driving attitudes from drivers who **use our** lane.
- We understand that **Santa Cruz County** is investigating the **status** of the Use Permit allowing **the** Salesian School to **operate**. We are concerned that **many**, if not **all**, of **the** conditions adopted in the 1978 and 1979 **Use Permits** **are** currently **being** violated. We also expect that the **County** Fire Marshal will once again **look** at the fire access requirements established in Title 19 and enforce those **regulations** appropriately.

The residents who have signed this letter will organize and aggressively pursue a remedy to the issues identified in this letter. We welcome the opportunity to meet with you to discuss **our** concerns. Feel free to contact Gary Smith at 724-7665 or Diane Castellanos at 763-1842 for a meeting time and location. We also expect a written response explaining your action plan to address our concerns. Please direct **your** written response to Diane Castellanos, 300 Enos Lane, Corralitos, CA 95076 no later **than** September 10, 2003.


Sincerely,

Diane Castellanos  
 Gary W. Smith  
 Barbara Smith  
 Mary Kay Kelley -  
 Stephanie Bette  
 Jeff Garthall  
 John Marshall  
 RICHARD FAIRHURST  
 SE TS

Madeline Brouard  
 Gary Wilson  
 Anne Wilson  
 Jo Sue Hines  
 Kenneth L. Jones  
 Richard Jones  
 Jack & Kelly Ryan

Ron D. Ponsie  
 Connie Ponsie  
 Linda Ponsie  
 Steve Ponsie  
 Richard Ponsie

Cc: Supervisor Ellen Pine  
 Santa **Cruz** County Fire Chief John Ferreira  
 Alvin James, Planning  
 Captain Pat Camara, California Highway Patrol



Dianne Castellanos	300 Enos Lane
<b>Gary Smith</b>	270 Evening Hill Lane
Barbara Smith	270 Evening Hill Lane
Karyn Bokariza	220 Howell Lane
Steve <b>Bokariza</b>	220 Howell Lane
Jodi Keaschall	150 Howell Lane
Kal Keaschall	150 Howell Lane
Richard Fairhurst	235 Lou's Court
Steve Boracca	245 Lou's Court
Marlene Boracca	245 Lou's Court
Gary Wilson	100 Howell Lane
Ilene Wilson	100 Howell Lane
Les Strnad	Enos and Hames
Susie Strnad	Enos and Hames
Winifred Jones	250 Enos Lane
<b>Richard Jones</b>	250 <b>Enos</b> Lane
Frank Dyer	290 Evening Hill Lane
Kathy Dyer	290 Evening Hill Lane
<b>Andy</b> Fidandis	<b>300</b> Enos Lane
Robert Porter	240 Enos Lane
Connie Pybrum	455 Enos Lane
John <b>Pybrum</b>	455 Enos Lane
Sally Stoik	295 Enos Lane
Reid Seidler	295 Enos Lane

County Of Santa Cruz  
Planning Department  
701 Ocean Street  
Santa Cruz, CA  
95060

Subject: Salesian Sisters' School Application 04-0384

Dear Ms. Levine,

I am responding to the posting on the utility pole at the bottom of Enos Lane regarding the proposed revision of the use permit for Salesian Sisters' School. You are the contact person listed.

Up until now, I have chosen to remain in the background with regard to the school enrollment issue because I was a teacher at Salesian Sisters' School for approximately 8 years and I have maintained close friendships with members of the staff and some parents. I was hoping that the local neighbors and the school community would reach a reasonable compromise, assisted by the **impartial** intervention of the Santa Cruz County Planning Department. After reading the posted notice, I realize that a reasonable compromise is not in the offing and I now feel compelled to express my opinion as a resident of Enos Lane. Furthermore, because of my past association with the school, I feel I can offer a unique historical perspective regarding school policy.

First of all, an increase in enrollment of 100% is not an acceptable amendment to their use permit. It does not represent a fair and reasonable compromise between the school community and the home owners on Enos Lane. When I first taught at Salesian Sisters' School in the spring of 1988, most of the classes had 20 or fewer students. My first thought was that the class sizes were small because parents were unwilling to commute up our hill on Enos Lane. But later I was told by Sister Lupe Sandino that the County use permit limited the school enrollment. The school administrators have always known about the use permit enrollment limitations and, at one time, adhered to this requirement.

The decision to increase the school enrollment was a conscious one made when Sister Martina Ponce took over as the Mother Superior/Principal in the fall of 1988. She specifically stated at a faculty meeting that she needed to increase enrollment to generate more money for the school. I have kept my school yearbooks that will show that the school was out of compliance as early as the 1988-1989 school year.

Secondly, the notice that was posted indicates that the widening of the street would be piecemeal. But a partial widening here and there will not allow for an adequate and safe walkway for the neighborhood school children who walk this road daily to the Pajaro Valley Unified School District bus stop at the bottom of Enos Lane where it intersects Hames Road. (I invite you and Mr. Bums to personally visit the bus stop at this traffic site.) At the time that I was a teacher at Salesians Sisters' School and concurrently a parent whose children attended the local public school, I personally drove my children to and from Bradley Elementary School rather than have them dodge the Salesian traffic while walking to and from the bus stop. I felt it was an unsafe situation. Other neighborhood children who did walk to and from the bus stop were sometimes hassled by Salesian parents who stopped their vehicles to tell our neighborhood children to move over and walk single file so they could pass by.

Furthermore, as a teacher at Salesian Sisters' School I was required to "walk the carpool" each day to ensure that the Salesian students were placed in the correct car, and not injured in the process by a few parents who didn't have enough sense to slow down even when they were on school property. Just for fun, the students and I would often count the cars in the carpool. I never counted fewer than 85. I do not know what their use permit states with regard to this matter, but I am sure it is a lot less than 85.

I would think that since the County of Santa Cruz is allowing the school to operate in violation of their use permit ( with over 200 students), they would be legally responsible for any lawsuits that should arise if any neighborhood residents or children are injured by a car commuting to or from the school. This piecemeal approach to widening the road is, once again, not a compromise, but appears to be an attempt on the part of the County to require the absolute minimum in terms of mitigations with little regard to the impact on the neighborhood community. The residents of our neighborhood deserve better than that.

Should the County choose to allow the Salesian order to continue to operate in violation of their permit or to further expand enrollment, you are setting a precedent of lax standards and enforcement that, in all fairness, should also be extended to the neighboring homeowners as well. Specifically, my husband and I have often thought of building a granny-unit on our property and letting one of our children, who could never afford to buy a home in this County, live in the main house. We have only been deterred by the County's ordinance that states that we would only be allowed to build an 800 square foot unit. Surely if the County can bend the rules for Salesian Sisters' School, with the tremendous impact that it has had and will continue to have on our neighborhood, I would think it would only be fair on the County's part to bend the rules a little and allow my husband and I to build a 1000 square foot granny unit that will have virtually no additional impact on the neighborhood. I am not being facetious about this. I am quite serious.

This is an uncomfortable letter for me to write. Up until now, I have not contacted any County Supervisors or staff regarding this project. Nor have I attended any neighborhood meetings regarding the school/road compliance issues. And, having been a teacher at the Salesian Elementary and Junior High School ( a private school, not parochial) for a number of years, I bear no ill will toward the Salesian Sisters or anyone associated with the school. I cherish the many friendships I made while at the school and I continue to wish them well in their endeavor to promote the spiritual and educational growth of the children in their religious community. But after reading the posted notice, I decided that I had to make a stand for a principle, even if it is uncomfortable for me and makes me unpopular with my Salesian neighbors.

The Santa Cruz County Planning Department does not appear to be doing their job in a fair and impartial manner. As public servants, you are called upon to competently and objectively review project applications. I am hoping that political pressure is not the force behind what appears to be such blatant partiality.

Sincerely,

Maryann Koch  
277 Enos Lane  
Corralitos, CA  
95076

C. Tom Bums, Planning Director  
Ken Hart, Principal Planner  
Supervisor Ellen Pirie  
Supervisor Tony Campos  
Planning Commissioner Dennis Osmer

FAXED TO PAIA

454-2131

8:30pm 2/26/06

February 26, 2006

Paia Levine  
 (Count) Planning Dept.  
 701 Ocean Street, 4<sup>th</sup> Floor  
 Santa Cruz, CA 95060  
 FAX: 454-2131

RE: SALESIAN SISTERS Application Permit 04-0384 Initial Study and Prelim Report

The following schedule lists after school sporting events such as the one scheduled for March 6<sup>th</sup> at 3:45pm at Salesian Sisters School. This copy is advertised at other schools for the 2006 Sporting Events for Salesian Sisters. It proves that we as neighbors are forced to endure after hours traffic to include afternoon sporting events up at Salesian Sisters school. This can be as late as 8pm for sporting events and 10-11pm for Meetings of other kinds. Other events include Parent Teacher Night, Grandparents night, Rosary Meetings, Prayer Meetings, etc. The so-called commute hours really extend up until after these games end which depends upon their start times. It adds to the afternoon commute numbers and should be included in the carpooling program #'s in the current Compliance Agreement. This additional traffic includes many more cars besides just the 104 cars including Salesian families traveling Enos Lane. The increased traffic can in no way be estimated at simply the 104 commute cars, nor simply be monitored for the school commute hours only.

I have sent previous copies of letters addressed to Sr. Charlotte practically begging her to meet with residents to put a stop to the aggressive driving and speeding on Enos Lane. Copies were sent directly to Randall Adams, Tom Burns, Code File for the review process. It is my request that you take copies of the current CODE FILE as those letters are absolutely relevant and were intended to be part of this review process. That is why they were sent directly to the attention of the Project Planner, Randall Adams.

We have had Salesian parents pass the PWSD school bus with it's flashing red lights and stop signs out, as recent as weeks ago. There was a formal complaint filed with the PWSD District Office. That parent was followed up to the school and verbally reprimanded by the child's parent who was almost hit that day. Blatant acts such as this need to be considered when looking at the entire picture here. Residents were again disheartened to find out the original posting was done in just the same manner as the Sisters have chosen to operate. Secretively! Not notifying the neighbors as they are required. Randall Adams promised a local resident, Barbara Smith we would be mailed copies including all properties below the school. Still waiting by the mailbox for that notice. Tomorrow is the deadline! We know that by law they only have to notify residents within 300ft, however, we took Randall at his word that he would see that the notice procedure would include us. We are continually reminded by Planning that the Salesian parents are writing letters.. This is a compliance issue. This is a private road being monopolized for a private business. I wonder why the County is so pre-occupied with what the Salesian parents think? This private road is controlled by only those parcel owners whose land is adjacent to or who utilize Enos to reach their properties. These are the people whose letters you need to be talking about. The Salesian Sisters have a say, when it comes to Enos Lane, as they own rights to this private road, THE SALESIAN PARENTS DO NOT. They are simply visitors who abuse the privilege to pass, by not abiding by the posted limit, the majority of the time. They do not deserve, nor have ANY right to respond to the review process on these issues. We have to financially maintain, upkeep and pay for the wear and tear that the excessive ongoing and unlimited amount of usage requires both today and in the future. Especially, if they are allowed to increase enrollment to 250.

The Planning Department is now forcing a 40ft right of way upon residents along Enos Lane who wish to build on their parcels. THIS IS ILLEGAL as there is NO 40ft right of way along the bottom portions of Enos Lane. It only extends up from the Y as you turn up to the left to head up to Salesians. If you look at the map, you can see where the road thickens from that point on ONLY! So, unless you would like to portrayed as taking peoples land by forcing a non existent right of way and then banding it over to the Salesians, to build their business financially, you best hear the residents? You cannot deny that there are many residents with comments to make regarding several facets of this project. Mainly they are focused on the negative effect this school has had on our small neighborhood over the past several years that they have been in violation of their carpooling numbers, which includes currently.

This isn't a situation you can sum up with simple car counts done by Traffic Engineers hired by the Salesians. **Fire Evacuation and Safety are at the top of our list.** There were no Fire comments on the report. Why weren't the Salesians required to provide a secondary access road when they acquired the permit for 125 students (as stated as part of the requirements for that permit) Both Planning commission and Supervisors were all in favor of demanding the secondary access road

How can you justify the density figures for this one way in, one way out critical fire area with a school at the top? Other pertinent information was conveniently **omitted from** proposed Improvement plan for **this** project as well. The declaration is also ambiguous in many areas. Just to mention one; a **VERY IMPORTANT PUBLIC SCHOOL BUS STOP AT ... THE END OF ENOS LANE.** I would hope that you would require a **more** complete drawing to include such factors in this mitigation process. And it shouldn't be up to me to **educate** you as to **these** facts. **Paia**, how much time, **PERSONALLY**, have you spent on Enos Lane during these times? **It seems that being** the head of this "review a person, would be required to spent a **specified amount** of time to research the facts onsite in the area of concern!

If Planning wishes to continue to make it next to impossible for residents to respond **within** unrealistic notice and **deadlines** regarding this issue, we **will** have no choice but to **seek** Counsel. I have spoken with a very informed ex-County Counsel who stated **he was** very familiar with this case. He has agreed to review all of documents. The **County** has put the residents in a very compromised position, clearly the **County** isn't looking out for resident children. What are **our** taxes **paying for?** Those of us who weren't against the school's increase in enrollment up until now are being forced against it, as we are given no other choice but to protect our children's **safety as ANY RESPONSIBLE PARENT WOULD.** We are tired of being left out of the BIG PICTURE. Both the County and Salesian Sisters are liable in this case. We are no longer in a position to just sit back and allow this to happen.

The residents are beginning to feel as though their comments and concerns have **fallen upon deaf ears.** We no longer want to hear from **County Planning**, "there will be more opportunities to respond". "There will be more hearings". We've waited **three** long years for a safe resolution to this Red Tag situation. **Residents ARE MORE THAN RESTLESS.** The next letter you will receive will be from **Jonathon Witwer, Ex County Counsel.** We as residents have been extremely patient when it comes to waiting for the **County** to enforce the laws put into place to protect the peace and safety of the residents. Perhaps we should inquire about having the **County** pay for our attorney fee's, as they have forced us into hiring **counsel** to be taken seriously in this **matter** and get some communication going between residents and the County.

We have compiled a chronological file including all **permits** and compliance agreements to **date** for the **Salesian Sisters**, every **step** of the way, since 1975. We can prove our case with factual **RECORDED** documents. **Please** be forewarned that our next step as residents is to get the truth out to the public via a public radio show on KSCO. That is not a threat, that is the next approved step with **will** collectively take towards a resolution. It has already been planned with the Station.

This letter is **my** last effort to communicate to you that **our** Safety concerns need to be at the forefront of this project, whether received **within**, before or after the so called review period! We have been crying out to the County Planning Dept. for years and have documents to prove just that. You can no longer deny the residents of this neighborhood their **rights**, by claiming paperwork wasn't sent to the right contact person. **County Planning** is in receipt of **ALL** of these **documents** and it would behoove you to sit down as regular departments do, whether in a departmental **meeting** or defined group of involved decision makers. You need to start compiling **the masses** of documents sent to various persons involved at the times the letters were sent. Just do the research and you will find **your own** chronological file. **Educate yourselves as to the previous letters and concerns sent by residents** and add them into the review at this time.

A 15 passenger bus with restraint belts and **regulated for school children transportation** is \$49K. Much less expensive than an entire road improvement. The Salesians need to purchase a **minimum** of **two buses** so that they can **evacuate those children** in case of an emergency in 6-7 trips. **Why they haven't been required to do so in the past is absolutely ludicrous!** They can use those buses to pick children up at the Holy Eucharist Church, which is their **current** location for carpool pick up/drop off. This would limit the AM/PM commute to 7 trips for the school. Since they only paid for an equivalent of about **5 parcels worth** towards the **current** road (**not their actual wear and tear usage of 104+ curs per day**) so that would equal their fair share of usage.

We do NOT WANT TO HAVE TO FIGHT 100+ VEHICLES RUSHING TO THE SCHOOL IN THE CASE OF AN EVACUATION OR EMERGENCY. RESCUE VEHICLES NEED ACCESS TO THIS ROAD IN THAT SITUATION AND WOULD BE INHIBITED FROM REACHING THE DISASTER SITE IN A TIMELY MANNER, DUE TO TRAFFIC CONGESTION.

I am waiting for brochures from this bus company via US Mail and would be more than happy to pass them along to Salesians and the County for consideration. The residents demand that buses BE REQUIRED as part of any permit issued in the future for this private BUSINESS. Buses were supposed to be part of the requirement in the first place. Why were those requirements never enforced? Just like the line in the Declaration that states speed bumps should be installed but, yet, don't have to be...??? We can at the least be assured that a bus driver who MUST pass various testing and certifications for safety procedures would be more inclined to respect our pedestrians, rather than our pedestrians having to fight for space on Enos with 50+ cars each morning and 50+ cars each and every afternoon. We all know it will be 50+ another 25 for sporting events at the very least in the afternoons. We feel a bus driver would be much more mindful of safety when it comes to neighborhood children and pedestrians on our private road. Bus drivers transporting school children to Salesian Sisters will finally give the residents the ACCOUNTABILITY FACTOR WE'VE BEEN MISSING ALL THESE YEARS as they MUST obey ALL traffic laws whether on a private or public access road, BY LAW!

Sincerely,

Jodi Keaschall

CC: Jonathon Witwer  
Enos Neighbors  
Sheriff Department,  
S.C. Fire Marshall

4 pgs total

encl. schedule

# March 2006



Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
			Wavecrest Girls Volleyball @ 3:30 PCS	Wavecrest Flag Football 3:45 Mission Hill.... Cypress Class Play - 7 pm @ Louden Nelson Center	Wavecrest Gr. Volleyball 3:30 @ GBK Cypress Class Play - 7 pm @ Louden Nelson Center	
			1	2	3	4
	Wavecrest Flag Football 3:45 @ Salesian Sisters..	Wavecrest Gr. Volleyball 4:45 @ Green Valley Christian		Wavecrest Flag Football 3:45 @ Waldorf...  Junior Class Play - 7 pm @ Louden Nelson Center	Junior Class Play - 7 pm @ Louden Nelson Center	
5	6	7	8	9	10	11
	Wavecrest Gr. Volleyball 3:15 @ Good Shepherd	Wavecrest Gr. Volleyball 3:45 @ Gateway	CONTRACTS DUE TODAY!!! DEADLINE FOR YEAR BOOK ORDERS Wavecrest Flag Football 3:45 Good Shepherd		Evergreen Science Fair 9:00 - 11:00  Jr. Class goes to Natural History Museum	
12	13	14	15	16	17	18
	Wavecrest Gr. Volleyball 3:45 PCS.	Wavecrest Flag Football 4 pm Mt. Madonna	Wavecrest Flag Football 3:45 Pacific Collegiate			Winter Arts Dinner 7 PM Seascape Resort
19	20	21	22	23	24	25
			Wavecrest Flag Football 3:30 Holy Cross	Spring Concert 7 PM at Mt. Calvary Luthern Church reception following @ Wavecrest		
26	27	28	29	30	31	

6

County of ~~santa cruz~~  
Planning Department  
701 Ocean Street  
**Santa Cruz, CA 95060**  
Attention: Paia **Levine**

Ms. Levine,

I **just finished** reading the 90+ page report **on** the proposed plan to enlarge the Salesian Sister's school and widen Enos Lane. What an amazing report. And how amazing **that** this information **had** to be dug out of the **hands** of the Planning Department **so** that we who **will** be affected might know about it! How **amazing** that although I OWN a home on **Enos Lane**, **NOT A WORD, NOT ONE SHEET OF PAPER**, **has** come to me to **inform** me of these plans either from the Salesian School itself **or from my own** **government...which I fund faithfully with my taxes.**

**The** project has your approval and the approval of many others. It looks like it is a "Slam Dunk." You see no reason why it shouldn't go through. Obviously much work has been done to research the impact **this** project will have on the environment. What I found absolutely heartbreaking is that **human** life is given such a low **priority** in these investigations. Great importance is placed **on guarding** fish, wildlife, fossils, **plants**, water, **sacred burial grounds**. **But** human life and the quality of life **are** incredibly low on your **lists**. The only reference to human life found on page 21 item **4** under the heading "**Mandatory Findings of Significance**," **asks** the following question:

"**Does the** project have environmental effects which will **cause** substantial adverse effects on human beings, either directly or indirectly?"

The answer to this question was marked with an "X" by the word, "NO."

Who had the audacity to **answer** this question **with** a simple, "**NO?**" It is appalling that it wasn't even **an** option to put, "POSSIBLY" or "LIKELY" or "POTENTIALLY" The only options were "Yes" or "No." **And** whoever answered, "No," has **no** understanding of the people who live on Enos Lane. Perhaps I can give you some insight into what kind of **human beings might** be **affected** by **your** "slam dunk" approval of the project.

I purchased **240** Enos Lane for my elderly father to live in after my mother passed away. He is **87** and for the past **three** years **has** endured more physical trials and pain than I think anyone **should** have to endure. **This** home is situated closer to the **road** than **other** homes on the lane. **The** increase in traffic **which you** state will not impact anyone's life along the lane will absolutely impact my father's life. The traffic analysis which states that there Will be FEWER trips with an increase enrollment is a physical impossibility **and** is nothing more **than a** lie which will help the Salesian School achieve its desire. The only explanation for such **a** lie is **that** the person doing the **report was** hired by the **school**.

An increased **enrollment** will not mean fewer cars. They will be more cars. They will produce more pollution. There will be more dust. There will be more respiratory danger. There will be more noise. There will be more stress. There will be more potential for injury and death from car/pedestrian accidents. There will be a lessened quality of life for my father. Anyone who denies these things seeks to ~~distort~~ or ignore the truth.

My dad is only a human being, Ms. Levine. He is not an endangered species, ~~nor~~ a fossil that archeologists would determine too precious to disturb. He's ~~just~~ an old man. A human being. But he's my dad. If he were *your* dad, I really think you would be viewing this project through eyes that had a bit ~~more~~ compassion.

Sincerely,

A handwritten signature in cursive script that reads "Gloria P. Pope". The signature is fluid and elegant, with a large initial "G" and a long, sweeping underline.

Gloria Pope  
109 Esmeralda Ct.  
~~Smta~~ Cruz, CA 95060

H

County of Santa Cruz Planning Department  
701 Ocean Street  
4<sup>th</sup> Floor  
Santa Cruz, Ca 95060

Ms. Paia LeVine  
Environmental Coordinator

Re: Application 04—0384  
Negative Declaration Comments

We are the owners of property at the corner of Hames Road and Enos Lane (APN 107-311-04). We have owned this property since April 1977. We are opposed to the proposed Negative Declaration mitigations and the expansion of the students from 125 to 250 by the Daughters of Mary Help of Christian (Salesian Sisters School). The Negative Declaration/Project description fails to properly notify the public that the applicant is in current violation of the existing use permits and conditions (due to a current enrollment of more than 200 students) and fails to identify the specifics of the proposed expansion of the school. i.e., what grade levels would be taught at the enlarged school of 250 students, what extracurricular activities are planned (for a high school?), and if the school would have weekend sporting events, etc.. These are crucial issues relative to assessing project impacts and appropriate mitigations. The environmental document further fails to identify which Use Permits will be amended, what specific amendments will be included in the affected Use Permits and what existing Use Permit conditions remain in effect and which conditions will be amended in addition to the recommendations of the Negative Declaration mitigations .

The problems associated with the illegal intensification (primarily traffic and pedestrian safety of our neighborhood children) have become an unreasonable burden on our rural community. The school has violated their use permits without regard to the law and without regard to the neighborhoods' land owners' feelings. They know full well that they are violating their use permits and have treated the whole issue in an un-Christianly manner. The Sisters have spoken to us in person numerous times and we have told them over and over that they do not have a right of way across our property, yet they proceed as if they haven't even heard us. This is a prime example of what happens when a business is run in a corporate manner rather than in an ethical business manner. It saddens us to think that Sisters would behave in such a way to others. The current application which asks for a doubling of the size of the school is the perfect example... it is an unreasonable burden on our rural community and the Sisters just don't care how we feel and are proceeding with disregard to the law.



## Specifically the Negative Declaration concerns are:

No. 3a: Fails to address afternoon peak periods

- 9 An effective monitoring program would be to adopt something similar to the traffic monitoring for Lonestar Quarry in Felton.
- The traffic engineering analysis doesn't discuss conflicts with the public school bus (Pajaro Valley School District) elementary, middle school and high school bus stop at the corner of Enos Lane and Hames Road.
- 9 No intensification of use beyond the 1978 use permit (104 trips and 52 vehicles combined car and bus ) should be approved.

No. 3b: Speed bumps

- Speed bumps at 25 MPH are too fast for our community. Installation of speed calming bumps at 15 MPH would be the only deterrent.

No 3b: Stop signs

- 9 The mitigations call for a stop sign at Station 18. According to the Sherriff's office, neither the sheriff not the CHP can enforce Ca. Vehicle code on "private roads". (Chapter 9.24). A posted speed limit for Enos Lane, including speed bumps should be 15 MPH.

No. 3b : Road widening

- 9 The school enlargement requires the widening of Enos Lane and the removal of five mature native oak trees.

No. 3b: No Right of Way

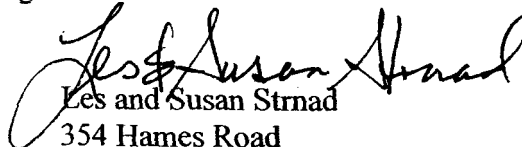
- The applicant is relying upon an 1883 unrecorded "Viewer's Report" approved by the Board of Supervisors as a "private road" in order to accomplish the proposed road improvements, yet their own deed only refers to some unknown "re-aligned Rider Road" as of 1963. We (APN 107-311-04) are not a co-applicant to this project; no forty foot right of way exists on our deed. The applicant's consultant, Ifland Engineers, Inc. acknowledged that no 40 foot right of way shows on our deed (see Attachment A-sheet C3 "5,3 of 7"). The applicant has failed to follow normal development application procedures of showing property ownership for the proposed development improvements. The proposed development is based upon an "assumed center line according to the engineering consultant for "Rider Road" on Enos Lane. No Recorder's Book and Page describes the location of Rider Road in 1883. The County cannot legally approve an applicant's development, including road improvements, on another person's property; such action constitutes a "taking" and subjects the County to being sued for inverse condemnation

We, in good faith, gave use of a 16 foot easement across our property in 1978 to the Salesian Sisters to accommodate a maximum of 125 students. The fact that

they now have violated the use permit in no way gives them justification of asking for more development.

Conclusion:

Mitigate the impacts without road expansion, tree removal, or doubling of the school size. Limit traffic to 104 trips **morning** and afternoon year round and enforce the existing Use Permit conditions to correct the impacts this large illegal urban school has had on our rural neighborhood.

  
Les and Susan Strnad  
354 Hames Road  
Corralitos, Ca 95076-0207

cc: Ellen Pirie, Supervisor  
Tom Burns, Planning Director  
Randall Adams, Project Planner



Feb 21 2006

Ms. Paia Levine  
County of Santa Cruz  
701 Ocean St  
Santa Cruz, Ca 95061

Re: Salesians Sisters Use permits.

Dear Ms. Levine

We are residents of the neighborhood where the Salesians Sisters operate their school in Corralitos, Ca

In 1976 the neighbors received information there was going to be a "NUNS RETREAT", built on the property where 39 homes had previously been turned down, due to earthquake faults and seismic issues, along with hazardous traffic. Which we defiantly have now!

I recall the applicant was Jack Wagoner Real Estate

I was in the construction business at the time and recall having a conversation with Mr George Davis. the general contractor that built the retreat He stated at that time there were plans to get a school in after the final was given on the facility. At the time of his comment, it never hit home with regards to what he had just said, except the facility was not what we all thought

I must comment on the issue of trustworthiness We *don't* trust the sisters to do anything the?; say, with out ongoing supervision

I was on the committee to pave the road back in 1978 or so **There** were about 9 or ten meetings. The agreement was the Salesians would pay for about 1/3 the cost to repave the road We received the check about 2 days before sister Charlotte became head nun We had just cashed the check and was told by a parent, she said, **if** she had been their sooner, the sisters would have never agreed to it, or paid a penny to improve the road.

From day one she was uncooperative!

Now, as far as we can see, under the original pennit, there was never any secondary excess rd, for fire emergency and the children's protection. I would **require a disclosure** from the sisters at a time of enrollment to let the parent know they are putting their children at risk This should be part of approval.

I also think with the ongoing aggression from the parents has gotten out of control

The sheriff has been called on several occasions There has been intimidation to neighbors by parents. and on one occasion, an out of district Sheriff. did a favor for another **parent.** that is also with the sheriff department,† and came to a property owner and tried to **start** an argument, about road rights, according to witnesses

The parents don't seem to give a hoot about our **neighborhood**. or quality of life. They seem as though they are **entitled** to do what ever. since they pay to have their kids taught the ethics of the sisters.

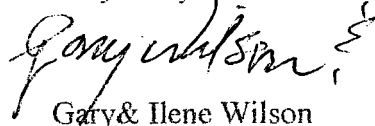
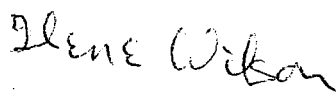
**Under the original permit, a commercial zoning would have to be approved to operate this business. That wasn't done!** There would have been public meetings, as you see in the papers all the time. Agriculture, rezoned to commercial. as in Watsonville

We are also aware. at the time of the approval; Mrs Marlyn Lidicote was a supervisor and had a child ready to attend the school. We feel she was able to encourage her fellow supervisors to omit the safety issues and help transform our neighborhood into the problem we now have

I encourage you to apply the original **rule** of the approval, and do what (**you would force any other property owner**) to do, complete the permit process to the letter, do the improvements and supply the fire protection plan

Thanks for reading.

Very Truly

 & 

Gary & Ilene Wilson  
100 Howell Lane  
Corralitos, Ca  
724-4609

Feb 21 2006

Ms. Paia Levine  
County of Santa Cruz  
701 Ocean St.  
Santa Cruz, Ca 95061

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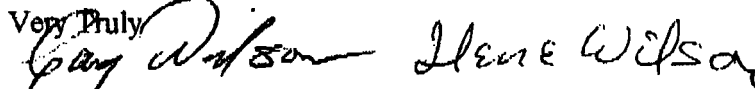
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~~We~~ are also aware, at the time of the approval; Mrs. Mariyn Lidicote was a supervisor and had ~~a~~ child ready to attend the school. We feel she was able to encourage her fellow supervisors to omit the safety issues and help transform our neighborhood into the ~~problem~~ we now have.

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Thanks for reading.

Very Truly



Gary & Ilene Wilson  
400 Howell Lane  
Corralitos, Ca  
724-4609

J

Sally Stoik  
295 Enos Lane  
Corralitos, CA  
95076

February 27, 2006

County of Santa Cruz Planning Department  
701 Ocean Street, 4<sup>th</sup> floor  
Santa Cruz, CA 95060

Attention: Paia Levine

**Regarding: SaIesian Sister's School - Application 04-0384, APN 107-571-01**

Dear Ms. Levine,

I oppose the proposed 100% enrollment expansion at the existing school from 125 students to 250 students, **as** well **as** the location of the proposed 54 car parking lot, due to the impacts the expansion will have on the residents and surrounding environs of Enos Lane.

I have owned and resided at 295 Enos Lane since November 1997. Before I purchased my home, I knew there was a school operating hrther up the road from my home and was told by a few Corralitos residents that traffic was a problem on Enos Lane and Hames Road due to the Salesian Sister School. The same residents informed me that the School was only permitted for 125 students and that the School was required to minimize vehicle travel on Enos Lane by use of a busing plan noting that the plan didn't seem to be in use due to the volume of cars backed up on Harnes Road at peak hours. **My** family has counted, on numerous occasions since 1997 when the school has been limited to 125 students, approx. 90-100 cars going up the hill to the school past our home at "morning peak hours". Equally large numbers of cars would pass at various times in the afternoon and occasionally in the evenings as well, and continue to do so now even under the School's current Compliance Agreement with the County. I am noting my history with traffic on Enos Lane to highlight what I perceive **as** the Salesian Sisters School long term violation of and disregard for the terms of the conditional use permit that allows them to operate their business on land not zoned for such a use. I believe the Salesian Sister School will require firm, regular monitoring by Governmental agencies in order to guarantee the residents of Enos Lane and the greater Corralitos community compliance with terms of any permitted uses and related mitigations on a daily basis. It is inappropriate for a land use to be allowed by special use permit that would require the level of monitoring the Salesian Sister School requires.

The traffic mitigation measures outlined in the County's "Negative Declaration Mitigations" are not strong enough to ensure compliance because there are no provisions for daily monitoring; no provisions to regulate and limit afternoon, evening and weekend school traffic; and traffic monitoring is to be performed by a consultant contracted by the School. I believe it is critical to limit the number of School related vehicles traveling Enos Lane at any given time due to the rural nature **of** the private road. However, I do not think a traffic management plan that relies solely on reducing total vehicular trips will protect any neighborhood from school related traffic **as** it requires the participation of too many individuals complying with the plan and such participation will always be

discretionary at best based on human nature. It seems apparent to me that the only way to limit traffic to and from a school is to limit enrollment.

It is faulty to only require 25 mph speed bumps be installed after reviewing the first year performance of the traffic management plan. Again, the type of driver who will travel Enos Lane to the School will forever be dynamic and to think speeding will be controlled by a traffic management plan defies common sense. Agencies can try to regulate traffic volumes all they want but it seems in vain when the current parenting trend is for parents to drive their children to and from school and not utilize mass transportation. Any speed limit posted on Enos Lane is unenforceable by CHP and the County Sheriff due to Enos Lane being a private road. Physical means such as speed bumps seem to be the only way to truly implement much needed speed controls on Enos Lane thus protecting all parties in the long term.

The Enos Lane Street Improvement Plan prepared by Ifland Engineers indicates that most of Enos Lane below the School is currently 18' wide. Plans show occasional widening of the existing roadway. I believe widening the existing roadway to 18' will not make the road safer for drivers and pedestrians: I understand the 18' road width is required by the overseeing Fire Agency to ensure emergency vehicular access based on the agency's current design standards. There is a corner in the roadway south of station 22+30 near property APN 107-291-18 where south bound vehicles routinely do not negotiate the corner due to the steep roadway incline north of the corner, the severity of the corner radius, excessive speed and oncoming traffic. Vehicles, including emergency vehicles, have run off the road and down the embankment south of the corner numerous times. It concerns me that the Street Improvement Plans do not indicate any improvements to this corner to correct this portion of the roadway. The Improvement Plan does not show a much needed retaining wall along the northern roadway edge adjacent to an avocado orchard on APN 107-571-04. Currently the unsupported cut slope has been eroded by vehicles traveling west who encounter east bound traffic. Westbound vehicles, typically SUV's and large pick-ups, travel up on the slope in order to avoid side swiping oncoming traffic while continuing to travel forward. The use of the cut slope for added road width creates extraordinary amounts of dust most of the year and exacerbates the erosion of the sandy slope.

The Enos Lane Street Improvement Plan and the "Negative Declaration Mitigations" fails to address pedestrian safety. With the current roadway and the proposed Improvement plan pedestrians are still left to walk in the road and seek refuge as necessary as vehicles approach. Whether the School expansion is approved or not, I believe the installation of a pedestrian path system should be required of the School that would separate pedestrians from traffic by means of a raised path adjacent to the roadway. I believe this path would best serve all residents of Upper and Lower Enos Lane if it extends continuously from Hames Road to a location east of the Salesian Sister School vehicular entrance.

Another critical impact of the proposed improvements to Enos Lane that will negatively alter the character of Enos Lane environs is the removal of Coast Live Oak Trees near the intersection of Enos Lane and Hames Road. The County "Environmental Review Initial Study" - **Section E. Visual Resources and Aesthetics** does not identify how removing these sizable trees would severely impact the rural character of Enos Lane. These trees add a calming aesthetic character to the entrance of Enos Lane providing a precursor to the experience one will have above the School on Enos Lane and Corralitos Ridge Road. Nowhere in the "Environmental Review Initial Study" or in the "Negative Declaration Mitigation" is it recommended that the removed trees be replaced in some manner

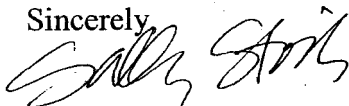
acceptable to owners of property on which the trees are located. However, I think it is unreasonable to think these trees could be replaced in any manner in which the existing visual and environmental resource would be replicated; therefore the neighborhood would suffer another long-term negative impact of having a business such as a school improperly located on a private, residential road.

Since it took numerous complaints by Enos Lane residents over many years for the County to realize the School was not complying with the terms of its current Use Permit, terms that were in place to protect the safety of Enos Lane residents **as** well as the rural character of the neighborhood. I do not believe the County is capable of regulating a school with greater enrollment, if at all, in the future given the usual changes to agency funding and politics that effect County Government. Regardless **of** whether the school is permitted to grow or not, the residents of Enos Lane will ultimately be left again to monitor the school's compliance with the terms of the various permits it operates by. This sets the stage for continued tensions between the Salesian Sister School Community and Enos Lane residents.

I find it hard to believe that if the Salesian Sister's were to start from scratch and go before Enos Lane residents, the County Planning Commission and Board **of** Supervisors with a proposal to build their school facility at their current location that the project would be approved since the project does not comply with the property zoning, is incompatible with surrounding land uses, and lacks its own primary access roadway. Therefore I see no reason the currently proposed School expansion should be approved. Perhaps, **as** is the case with other businesses in our County who cannot comply **with** Zoning regulations and therefore must close or relocate, the School should cease to operate at its current location correcting a planning blunder originating some **30** years ago.

However if the school is allowed to continue to operate at the current permitted enrollment of 125 students, I believe that speed bumps, a pedestrian path, a roadway surface maintenance agreement and a daily traffic monitoring system along with a strict, enforceable, traffic management plan be required and implemented in order to reduce future conflicts between the School operations and the surrounding neighborhood and above all improve safety for all parties.

Sincerely

A handwritten signature in black ink, appearing to read 'Sally Stoik', written in a cursive style.

Sally **Stoik**

February 22, 2006  
25 Enos Lane  
Corralitos, CA 95076

Santa Cruz Co. Planning Dept  
601 Ocean St  
Santa Cruz, CA 95060

K

ATTN: PAIA LEVINE

RE: ENVIRONMENTAL REVIEW  
APPL. #04-0384

AS A PROPERTY OWNER ON ENOS LANE FOR OVER 40 YEARS. WE NEED TO LET YOUR OFFICE KNOW OUR OBSERVATIONS AND PROBLEMS WITH THE ACTIVITY AT THE SALESIAN SCHOOL THAT IS NOW APPLYING TO AMEND THEIR CURRENT PERMIT FOR 125 STUDENTS.

AS YOUR OFFICE IS AWARE, THIS FACILITY STARTED IN 1975 AS A NOVITIATE BECAUSE THEY HAD SOLD THEIR PROPERTY IN APTOS ACROSS FROM CABRILLO COLLEGE THAT WAS BEING USED BY THE NUNS. AT THE TIME, WE FELT THIS WAS A VERY GOOD IDEA BECAUSE IT WAS A NICE QUIET AREA WHERE THEY COULD STUDY IN PEACE AND QUIET.

BUT THREE YEARS LATER, THE FIRST AMENDMENT FOR A SCHOOL FOR 90 STUDENTS AND THEN IN 1979 ANOTHER AMENDMENT FOR 125 STUDENTS. WE HAVE BEEN TO THE MEETINGS FOR THESE AMENDMENTS AND ARE AWARE THAT EACH TIME THERE WAS CONCERN BY THE PLANNING COMMISSIONERS ABOUT THE SAFETY OF STUDENTS ON A NARROW PRIVATE ROAD.

BECAUSE WE HAVE SEEN THE INCREASE IN TRAFFIC AND THE LACK OF CONCERN FOR THE NEIGHBORHOOD AND THE STUDENTS THAT WALK TO CATCH THE BUS FOR PUBLIC SCHOOLS, WE DO NOT FEEL IT IS RECOMMENDABLE TO INCREASE ENROLLMENT TO 250. THE PERMIT WAS ISSUED FOR 125 STUDENTS, WITH CONDITIONS, BUT THESE CONDITIONS WERE APPARENTLY NOT FOLLOWED BUT THE COUNTY WAS NOT AWARE UNTIL A COMPLAINT WAS MADE. WE NOTICED RIGHT AWAY IN 1979 THAT THE NUMBER OF CARS GOING TO THE SCHOOL HAD INCREASED A LOT AND CAR POOLING OR BUSES WERE NOT BEING USED.

BECAUSE WE WERE HAVING A PROBLEM IN BACKING OUT OF OUR DRIVEWAY TO GET ONTO ENOS LANE, WE HAD TO HAVE A NEW DRIVEWAY MADE SO THAT WE COULD DRIVE AROUND AND COME OUT ONTO ENOS LANE FRONTWARDS. EVEN AFTER THIS WAS DONE, WE HAVE TO BE VERY CAREFUL OF CARS COMING DOWNHILL BECAUSE THEY ARE USUALLY GOING FASTER THAN THEY SHOULD.

WE HAVE ALSO KNOWN OF CARS RUNNING OFF THE SIDE OF THE ROAD AND HOLDING UP TRAFFIC AND A CDF FIRE TRUCK ONE TIME ROLLED TO THE SIDE OF THE ROAD WHEN THEY WERE MAKING JUST A TEST RUN. THIS IS WHY WE ARE CONCERNED WITH THE SAFETY OF SO MANY STUDENTS BEING THERE WHEN THERE IS THE POTENTIAL FOR A FIRE OR THE ROAD CLOSED AND EMERGENCY VEHICLES CANNOT GET UP TO THE SCHOOL OR CARS MAY BE TRYING TO COME DOWN. THE CDF FIRE DEPT MADE A TEST RUN IN 2004 AND REPORTED THAT THEY WOULD HAVE HAD TROUBLE GETTING THROUGH TRAFFIC IF THERE HAD BEEN AN EMERGENCY. THIS IS DOCUMENTED IN ONE OF THEIR LETTERS.

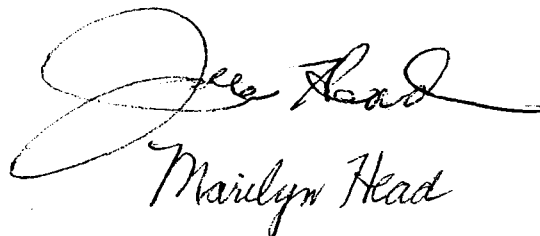
WE NOTICE IN THE NEW APPLICATION FOR AMENDMENT TO THEIR PERMIT THAT NO MENTION IS MADE OF THE AFTERNOON TRAFFIC. THE MORNING TRAFFIC IS SUPPOSED TO BE CONTAINED TO A PEAK TIME BUT THE AFTERNOON TRAFFIC GOES ALL AFTERNOON LONG. ALSO THE TRAFFIC DURING THE WEEKEND AND HOLIDAYS IS VERY DIFFERENT THAN THE TRAFFIC DURING WEEKDAYS. THE TRAFFIC ON THE WEEKEND IS NORMAL FOR A RURAL NEIGHBORHOOD LIKE ENOS LANE.

ALSO NO MENTION IS MADE ABOUT HOW HIGH SCHOOL STUDENTS WILL BE ALLOWED TO DRIVE THEIR OWN CARS. AS WE KNOW, THIS IS GOING TO BE ANOTHER PROBLEM FOR ENOS LANE IF THIS AMENDMENT IS APPROVED.

WE BELIEVE THAT THE PEOPLE RESPONSIBLE FOR THE SALESIAN FACILITY SHOULD HAVE BEEN RESPONSIBLE FOR SEEING THAT ALL OF THE CONDITIONS FOR THE PERMIT FOR 125 STUDENTS SHOULD HAVE BEEN FOLLOWED. THIS IS REQUIRED OF ALL OTHER PEOPLE THAT ASK FOR A PERMIT TO RUN THEIR AFFAIRS AND WOULD NEED TO CORRECT A VIOLATION BEFORE ADDING TO IT. BECAUSE THERE HAS BEEN NO COMPLIANCE TO THE PERMIT THEY HAD FOR 125 STUDENTS, WE THINK THEY SHOULD COMPLY WITH THAT BEFORE MOVING ON. IF 125 STUDENTS WERE NOT ENOUGH FOR THEM TO OPERATE ECONOMICALLY, THEN THEY SHOULD NOT HAVE GONE FOR THAT PERMIT.

ALSO THERE IS THE ISSUE OF THE "40 FT R/W". THE INFORMATION THE SALESIANS HAVE FURNISHED FOR THEIR R/W IS FOR A DOCUMENT THAT IS NOT RECORDED AND DOES NOT SHOW IN OUR PROPERTY DEEDS. WE ARE AWARE THAT ENOS LANE WAS RE-ALIGNED FURTHER UP THE ROAD AND THAT IS DESCRIBED AND RECORDED. THEREFORE, OUR TITLE INSURANCE CO. DOES NOT RECOGNIZE THE UNRECORDED DOCUMENT.

WE FEEL THE SALESIANS WANT TO CONTINUE TO GROW AND THAT THEY ARE GOOD PEOPLE BUT THEY HAVE TO RECOGNIZE THAT WE TOO ARE NICE PEOPLE AND WE DID A LOT OF RESEARCH BEFORE WE COULD BUILD OUR HOME ON ENOS LANE. WE WERE AWARE OF THE SMALL NARROW ROAD BUT WHEN IT IS DRIVEN PROPERLY, IT IS NOT A PROBLEM. BUT NOT FOR 100 CARS. PLEASE CAREFULLY LOOK AT WHAT IS HAPPENING AND ACT ACCORDINGLY.

  
Marilyn Head

25 Enos Lane  
Corralitos, CA

Phone (831) 724-3362

L

FAX 454-2131

Date: 23 February 2006

From: Matt Zemny  
76 Howell Lane  
Corralitos CA 95076

To: Randall Adams  
Staff member  
Santa Cruz Co. Planning Dept.

CC: Paia Levine  
Environmental Review Staff

Subject: School Expansion - Daughters of Mary of Christians  
Applic. No. 04-0384 (Salesian Sisters School)

As a property owner of 28 yrs, in the neighborhood affected by the proposed expansion of the Salesian Sisters School, I would like to be on record as NOT supporting this project. My main concern is Safety; both for neighborhood residents and the children attending the school.

ROAD - Enos Lane is a private "Shady Lane" type, rural road - adequate for normal needs of a rural community.

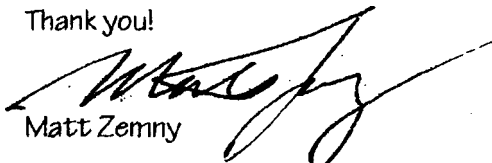
- many parts are only one lane with significant distance between turnouts
- widest part (approximately 10ft.) still requires slowing down to pass approaching vehicles safely
- there are no walkways or road shoulder for pedestrians when vehicles pass on road. Pajaro School's bus stops at the corner of Enos and Hames.
- severe erosion potential exists of un-surfaced shoulders (light sandy soil). Unsupported pavement edges are damaged when vehicles pull off to let cars pass. No maintenance plan exists.
- road never engineered for high capacity use - width, supportive base rock or turn radius
- many driveways opening on to narrow roadway requiring vehicles crossing both lanes for access
- wider areas encourage faster speeds - 'speed humps' (wide speed bumps) needed to slow traffic
- large numbers of vehicles concentrated at short intervals of time severely impact roadway capacity - both AM and PM.
- development of area above school, although limited, adds to trip count also

EMERGENCY ACCESS - an alternative exit seems necessary as Enos Lane, the only access, could get cut off by fire, earthquake, landslides (liquefaction) - the large number of children would need to be evacuated safely or adequately cared for by the school until reunified with parent. A reunification site also needs consideration.

Other concerns:

- County Sheriff states traffic laws cannot be enforced on private roads. Suggested speed limit and stop signs mitigations are not effective without enforcement.
- If a High School level is added; school events would include sports with the additional traffic impact from the competing school teams & supporters. Also High School student may drive but carpooling would be limited due to California's youth driver law preventing passengers for first year for under 18 yrs drivers.
- Doubling school size will exacerbate the above problems. In addition to the transportation requirements of the children, it would require more support staff (teachers, maintenance workers, etc). Required safety improvements (e.g. widening) are only necessary due to the overburden created by the transportation requirements of the school.
- History since the 1975 beginnings show a pattern of the same planning staff concerns & recommendations either not being applied to the use permit or the mitigations implemented. The new Use Permit, doubling enrollment, contains many of the same requirements as the first. The lack of previous Use Permit conditions enforcement has led to the safety and traffic problems of today.

Thank you!



Matt Zemny

M

**Paia Levine**

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**From:** Randall Adams  
**Sent:** Tuesday, February 21, 2006 4:10 PM  
**To:** Paia Levine  
**CC:** Cathy Graves  
**Subject:** 04-0384 comments from Supervisor Pirie

Hi Paia,

Cathy and I were in our regularly scheduled meeting today with Supervisor Pirie. She had the following two comments regarding the Initial Study and the proposed mitigations for 04-0384 (Salesian Sisters):

- 1) The number for trips required by the mitigation should be clarified further in order to identify the 104 trips as the total of in and out trips (equivalent to 52 vehicles traveling **in** and out) and not as 104 combined in/out trips (104 vehicles).
- 2) Why is only the AM peak addressed? The PM peak is equally important and should be addressed as well (same number of trips would **be** appropriate).

She may follow up with formal comments of her own, but she asked me to pass these along to you. I know that written comments are best, so I have provided them in this format.

Randall

Paia Levine  
Environmental Coordinator  
701 Ocean Street, 4<sup>th</sup> Floor  
S. C. Ca 95060

February 14<sup>th</sup>, 2006

RE: Enos Lane Traffic Safety Issues

Dear Ms. Levine:

Please include the following letter and attachments of previous letters sent to Salesian Sisters as part of your review process. This letter takes issue with the current safety hazards on Enos Lane both due to increased number of vehicles, and the manner in which some people **are** driving.

We are in desperate need of the law enforcement to take an active role is diffusing the current aggression being taken out by drivers while on Enos Lane. The attached letters state very clearly these incidents' as such occurrences are happening even up to the recent past. There have been many others that went unreported, over the years, as the residents and Salesians' seem to have lost open lines of communication. Some neighbors have tried complaining via the County. Others simply have lost hope. Some even threatened. My intent is to regain a peaceful and safe co-existence so that this neighborhood **can** focus on **SAFETY!**

**I have no issues with Salesian Sisters. I am** Catholic and believe that they serve a very important role in this community. The manner in which things have taken place, however, has really led me to question how this been allowed to happen? I don't care if they want to increase their enrollment, yet, it's quite apparent that busing these children, so as not to put the residents at risk, **is the only solution** to the ongoing issues at hand. **They** now have 1/2 of Bradley Elementary attendance at Salesian Sisters and should uphold the same criteria in relation to busing as well as carpooling to diminish the safety concerns.

It was never my intention to get involved with this situation. But, after a few blatant acts described in my previous letters to Sister Charlotte, I could no longer close my eyes to what was happening in my **own** neighborhood. My children are in my vehicle and that's where I must draw the line at this bullying ~~type~~ of behavior. This has been put into a "light" that all residents **are** against the school growing it's attendance. **That isn't the case.**

The children shouldn't have to **bear** the brunt of these angry parents and residents'. This lack of communication and common respect needs to be re instilled. If the County continues to allow the blatant disregard and direct threat to the neighborhood, I don't ~~see~~ how you can ward off a class action law suit. This is **what I am** trying to avoid. A sign which reads, "oncoming traffic does not stop" IS NOT THE SOLUTION TO **THIS** PROBLEM. I would like to **see** the safety issues **be** brought up IN A PUBLIC **HEARING** prior to decision making on transportation issues.

These issues need to be addressed immediately. **YOU CAN'T MITIGATE THIS BEHAVIOR!**

I would like to know why these ongoing problems weren't disclosed as part of the purchase transaction of my property as recent as 2000. I had no idea I was moving into a "war zone", Nor would I have wanted to. I only gained knowledge over time, **by** witnessing the many close calls and aggressive behaviors of various parents traveling to and from the school. When I began to question people, I started to realize that this **has** been really snowballing for years.

It is my understanding that the Water district will be planting shrubs and redwood trees (taking up what exists now as a small pull out at Hames/Enos. This is the only space the local children have off of the street for bus transportation to local public schools. Are there any plans in this "upgrading of Enos" for a safe place for the children to wait, now? Due to the bottom parcels building and reconstruction that portion of the right of **way**, is raises more concerns **as** to where these kids will go?

Currently, I **am** forced to drive my 7 year old son to Bradley, because I can not have him sharing Enos Lane with the current number of cars, especially given the manner in which they drive. The older **kids** who do walk, do it at a substantial risk, everyday.

I am hoping to somehow bridge the gap between the local residents and Salesian Sisters, at the very least to alleviate some of the tension.. So, you see, some residents have property rights issues, others simply have safety concerns.

What would happen during an evacuation? How would the children be evacuated? If the residents will have to compete **with** school traffic heading up Enos during such an event, as well **as** the rescue vehicles, in order for us to get our own families out, then we wouldn't stand a chance and **it would be catastrophic**. Are you aware that we have already lost an emergency vehicle during an emergency call up Enos Lane. It tumbled down the hillside, as it was too narrow for travel. These are real facts! Is the County willing to take responsibility for the risk you are placing us in?

Is it your suggestion that we will have to yield to **all** downhill traffic? That isn't the solution! When people drive 35 mph going in both directions in Enos Lane, it poses great danger. There isn't **ANY** reason to widen the road a few feet and encourage **an** increased speed in this already sacrificed neighborhood. The **40'** right of way **only** stands above Evening Hills Road on Enos Lane. Not below. It was attached to a specific property, only. There is documentation showing just that with the line being twice the width on the map at that property.

Again, please do not leave the resolution of this situation in the hands of the people who are currently causing the trouble. To allow the traffic issues to go on as they have would be unlawful. Where is the protection of the "rights of the residents" in this **community**. This is a business. They should be required to have a sense of responsibility for upholding peace.

Never is it mentioned to have a "crossing **guard/traffic** directory physically out there, thus forcing accountability. That's what this neighborhood **Sodd** like to &e. We can no longer wait for these people to behave reasonably and safely. How **wouldn't** having such a representative benefit in this instance?

Your comments are very much welcomed.

Sincerely,



Judi Keaschall  
150 Howell Lane  
Watsonville CA 95076  
(408) 859-4939

Sr. Charlotte  
Salesian Sisters Catholic School  
605 Enos Lane  
Watsonville Ca 95076

November 15<sup>th</sup>, 2005

Dear Sr. Charlotte:

My family and I have lived on Howell Lane since 1999 and have experienced an ongoing and increasing amount of aggressive behavior while driving on Enos Lane, from several parents driving children to and from your facility. I have not been involved, thus far, in any meetings, information or activity involved with the current dispute issues which have arisen over the past 5 years regarding the increased traffic on our small private road. I have only heard about it from several neighbors. By choice, I stayed out of it. However, **because of the recent behavior of some (not all) of your parents, I am forced, now, to become heavily involved.** I have been a victim and a witness of several acts of "blatant disregard" and downright rudeness from drivers traveling to and from your school. As a parent of two small children this is extremely disturbing considering these people have children in their vehicles while acting in this manner. What kind of example does this behavior set for youngsters, in all of this? This "us" against "them" behavior has got to stop! This issue is **NOT an "us" against "them"**. The neighbors have not united together against Salesian Sisters! The residents who depend on Enos Lane for their only evacuation route in case of an emergency **have very valid concerns** ESPECIALLY given the manner in which those who come and go from your facility choose to act. **Many** of these drivers not only exceed the speed limit by 10-20 miles per hour (especially coming down hill), but they **also** do not yield to cars waiting patiently to pull out onto Enos. I don't know if you're aware of the fact that it is very hard to see downhill traffic when pulling onto Enos from Howell Lane. Given their downhill speed, it is currently a hazard! They travel right behind one another, purposely **so as** not leave ample room for sharing the road with local residents.

In the beginning of the year, I witnessed a white Mercedes race down Enos (right down the middle) and stopped abruptly at the knees of two local resident children walking up Enos. This was totally uncalled for as these children live here. I don't personally know them, but as residents they have a right to walk safely home without threat from your visitors. **This** really angered me! I've been wanting to sit down and write to you ever since. I have personally experienced two **threatening experiences in just the past 30 days** of this very type of behavior. **One being this morning, I pulled** out onto Enos Lane and proceeded slowly down, when, an oncoming oversized pewter color truck with a male driver started pretending he was going to turn his steering wheel into me, by pretending to turn the wheel rapidly in my direction. **This** was very unnecessary and really childish. My six year old son screamed "**look out Mom, he's going to hit us!**" I couldn't believe my eyes. (2) Two maybe three weeks ago a lady wearing a black ball cap and driving a black BMW traveling up the hill, when she saw I was pulling out, she sped up really fast as if she was going to hit my driver side door and nearly missed me. **What are these Darents thinking?** Last year, I was passed by a parent who decided that 20 mph was too slow so she tailed my down the hill then passed while I was stopped at the stop sign at the bottom of Enos and went into the oncoming lane of traffic ON A BLIND CORNER, GOING UP Hames Road. She almost caused a head on collision! **It has become increasingly out of control!** I have recently questioned only a couple of my neighbors regarding recent experiences they might have had, and they all agree it is time for us **NOW** to get involved **because of the behavior of your guests.** Up until now, I haven't been involved but, **Sister Charlotte, we need to come together to find a happy co-existence for the safety of all concerned, here.** I personally would like to know what has been said to these parents to make them feel as though we are ALL THE ENEMY? What are YOU doing to keep this behavior in check? You **do** have some responsibility towards your neighbors to "**keep the peace**". After all, it isn't our fault you are in violation of your own permits, **nor was it me who turned you in!** I **am starting** to really resent the fact that somehow you have painted a picture for your parents that it is somehow "our fault". Your violation issues, are simply that. **Your** issues, not mine or "ours". Please direct your visitors to keep me and my family out of it! Let me make myself perfectly clear. My two concerns here are safety in case of an evacuation or fire, and the current behavior of some of your parent drivers who feel they have a right to act in this manner. We are all responsible adults who owe it to our children to set a good example of how we tackle diversity and disagreement on certain issues. **These children, be it resident children or passengers in your parent vehicles DO NOT DESERVE to bare the brunt of this issue** and now I am forced to **speak** for them. This behavior is as far from "loving your neighbor" as it can be AND IT NEEDS TO STOP! So, I come to you as a resident, as a fellow Catholic and God loving person and concerned parent for help in finding a

PEACEFUL CO-EXISTENCE and to do what is "right" to alleviate the mounding frustration between travelers on Enos Lane. If I do not hear ~~from~~ you regarding this very real concern, I will be forced to seek other actions in alerting the public of the "real" goings on here in our small community. Perhaps a copy of this letter needs to be published for the public to get a real birds eye view of the facts of this matter, And not simply just your opinion.

Do not lump everyone who lives in this neighborhood together as "being against Salesians" that couldn't be farther from the truth. I suggest you put out a letter to the people who financially support your facility and let these particular parents **know** that they are doing you **a GREAT INJUSTICE** by acting this way. They are causing a real stir **amongst** the very neighbors you and those children may come to depend on, in the very case of an Emergency! We are **NOT THE ENEMY** and I don't take kindly to the fact that these people, **whom I've never met, are making me the enemy and are acting this aggressive towards myself and my passengers, as well as my neighbors. simply because they live here!** What **can** we as neighbors do to alleviate some of this anger? I will be eagerly awaiting your response to come together to resolve these issues which have been allowed to grow increasingly dangerous **because** of the lack of communication on all of our parts. We as adults bare the something horrible happens and we are all asking for God's

Sincerely,

Jodi Keaschall

Jodi Keaschall

CC: Randall Adams  
Ellen Pirie  
Gary and Barbara Smith  
Enos and Howell neighbors

PERSONALLY DELIVERED 11/15/2005 by  
Jodi KEASCHALL.  
(831) 724-2754

February 8<sup>th</sup>, 2006

Sr. Charlotte  
Salesians Sisters School  
605 Enos Lane,  
Watsonville CA 95076

**RE:** Immediate request for your follow-up assistance regarding Traffic & Safety Concerns

Regretfully, I ~~am~~ reporting, **per your request**, that **things** are not getting any better from the neighbor's perspective. ~~Last~~ we spoke, you were to send out a document to your parent's, insistinn that they slow down and obey posted speed limit signs. I asked you to please copy me **so** that I could prove to the neighborhood that you were showing due diligence, I have not received any of such documents being sent out, to date. Also, a few more blatant acts have been made against residents, just since December. It's simply unbelievable to me.

I haven't installed a reflective mirror on the pole #1, because the shrubs no longer **pose** a visibility issue as they've **been** trimmed and #2 it is \$400. However, I do anticipate the need in the future..

It has taken me a couple of days to *draft* **this** letter as I have had two deaths in my family since we last spoke and do have a full plate! You had also stated that **you would be dealing with the "irresponsible behavior," personally**, and make sure these parties were made aware they risked losing the privilege of attending your school.

Just days ago, **one of your parents boldly broke the law and passed a PWS D School Bus as it was dropping neighborhood children off at the end of Enos Lane. The driver of the car passed and nearly struck a child exiting the bus.** It's a prime example of why some local residents view your parents **as** acting "above the law" with their blatant disregard for others on the road, when simply **passing through** our neighborhood. Those people are **soon** to receive restraining orders if this behavior persists. We as a neighborhood do not want a lawsuit, but we also will not back down to your parents' bullying tactics.

**Once again, this reiterates our concerns and puts SAFETY ISSUES ON ENOS LANE at the forefront of this issue.**

The parent of the child, who also happened to be an ex- bus driver, followed the person all the way to your school and chewed them out! Do you suggest that we **start** calling the Sheriff to report such cases? It's a terrible shame, but auite honestly, that WILL be our next step forward towards a resolution. This situation puts us in a very uncomfortable and unfair position to stand up for our rights **as residents** and protect our children.

When I reported to you personally, in writing, about the driver who pretended to **turn** his truck into my vehicle, you stated you would research it. Did you ever make an attempt to locate and **talk** with **this** person? It certainly doesn't take a detective to **see** that truck every single day around 7:40am like clockwork. I've described the Caucasian Male driving a pewter/tan or brown colored oversized truck with the 7S in the lic. Plate. I would have liked to have heard what his explanation was for that! **Salesian parents would NEVER STAND FOR THIS IN THEIR OWN NEIGHBORHOODS.** **Parents** are allowing children to roll down their windows and make rude comments teasing local children while driving up our private road to your school. At what point do your parents begin an active responsible role in **diffusing this situation and be held accountable?**

The same black BMW that has been aggressive towards SEVERAL **local** residents was again involved in another incident with the neighbor just weeks ago. This act was **acknowledged and witnessed by one of your teachers!** What is the course of action that you have taken thus far to add consequence to these actions? Can you provide proof that this communication **has been** made? Although it places me in a very compromising position, once again, placing the burden upon residents to "report these people", isn't the best way to handle this as it pits your parents against us. I'm sure, you agree it's not helping matters. Perhaps you can hire an employee or independent officer who is qualified to stand as a **"safety officer"** who can be the person to keep this behavior in check during busy commute hours. Something needs to be done **NOW - TEMPER ARE FLARING!**

Today, 2/10/06, I was #13 car in a line of bumper to bumper traffic heading up Enos Lane at 7:40am. Obstruction of the weekly garbage pick up, along with a Semi truck behind it was a recipe for high tempers with your parents, **as** they are

always in a hurry! With bunches of cars attempting to pass the garbage truck and downhill traffic totally steady, it's total mayhem every Friday morning. There is NO VISIBILITY on these days. Perhaps, **If** you had a "safety officer" directing such traffic, it could alleviate such a heavy downhill flow, thus gaining more room in **between** cars to allow passing of the garbage truck. Waste Management even had an extra man, usually it's one poor guy out there running the entire time just to get out of peoples way. The road is simply too small for **this** number of vehicles, it's too narrow and offers no visibility of oncoming traffic for passing safely. A head-on collision is imminent!

What direct steps have you taken to mitigate the current traffic dangers and aggressive actions from your parents? I agreed to let you know, **per your request**, when something happens. I **am** making good on my part of the deal, even though it jeopardizes my **own** safety by doing so. We verbally made an agreement, so I **will** stick **to** that. I would like to hope that you are **STILL** interested in helping come together as neighbors to better the situation that has escalated out of control. **Once again, for a final time**, I would like to extend to you an invitation to get together and discuss options, & person and **try** to iron out some of these issues **as** best we can. Safety first, like we agreed.

I understand you are busy. Or, perhaps the delay is due to your attorney's recommendations. I *can* assure you it's NOT helping the situation. **It puts out the impression that SAFETY comes second behind your financial agenda.** This neighborhood can NO LONGER WAIT for your "legal processes" to come **to** a resolution because **our children are paying the price and are most at risk**, here. PLEASE, work with us... NOT AGAINST US. We are NOT the enemy. **OUR CHILDREN ARE NOT YOUR ENEMY**. I **am** begging you to do whatever is in your power, Sister. If we are unable to come together before March 1<sup>st</sup>, I will be forced to **ask** the Sheriff's Department to take an active role in **this** matter. Perhaps they can get us closer to a safe resolution. Once again, I await your response to come together to resolve these IMPORTANT ISSUES.

Sincerely,

  
JoAnn Keaschall

cc:

Randall Adam, Project Planner  
Tom Burns, Planning Director  
**Santa** Cruz County Sheriff  
Ellen Pine, Supervisor  
Dana McCrae, County Counsel  
Santa Cruz County Fire Battalion Chief  
Register Pajaronian/ Santa Cruz Sentinel  
Neighbors  
CODE FILE

6

County of Santa Cruz  
 Planning Department  
 701 Ocean Street, 4<sup>th</sup> floor  
 Santa Cruz, CA 95060  
 FAX: 454-2131

Attn: Paia Levine

Subject: Salesian Sisters' school- Application 04-0384  
 Initial Study and Preliminary Determination

Dear Ms. Levine:

Thank you in advance for taking the time to read my letter. My family and I live at 245 Lou's Court. I'm going to try to keep this brief. I cannot address everything I would like to, but I will address a couple of the most pressing issues.

The impact of the already excessive (violation of Use Permit) enrollment, is obvious. The study of traffic (car counts and speed) is a joke. This data was compiled by a company, hired and paid for by the school. As a person who's travel time coincides with the Schools' commencement and exit times, I can tell you the numbers reflected in the Traffic Engineers Report for how many cars are currently, and will futuristically (if expansion permitted) travel Enos, and surrounding roads, is understated. You should also note that with the upcoming decision regarding the enrollment expansion, the school has been on its "best behavior" with all eyes on carpool numbers and speed limits. Prior to attention being drawn to this, the number of cars traveling the road, exceeded the proposed carpool number agreement.

I don't have a degree in engineering, but I can count. Not every vehicle coming up and down the road is carrying "4.49 students". To state that only eleven more cars will be the impact, is insulting to my intelligence. My third grade son can do the math. Using true number of cars, true number of enrollment, and proposed expansion enrollment, the impact will be more than eleven vehicles traveling Enos and surrounding roads. Even if it were to be eleven, the current number is excessive.

One point I found particularly amusing was the information about how fast traffic travels on Harnes Rwd. Talk to anyone who lives on Harnes Road (and the mobile home park) and find out what they have to say about how it is to pull out of their own driveway. The current staging area for carpooling is at the Catholic church on Corralitos Road. This directly impacts Corralitos Road, as well as Harnes Road. To this point, the increase in cars - past, present and future, not only effect Enos Lane and Harnes Road, but Howell, Lou's Court, Orchard Heights, Molnar, Evening Hill and Freedom Blvd. are also impacted by the various activities at the Salesian School.

The idea that some how they will adhere to mandatory carpooling, after the Permit process, is naive, (They have already thrown out "the religion card").! Using RLUPA (Religious Land Use and Institutionalized Persons Act of 2000), if necessary. Parents have sent letters to the County stating that is was important to them and their families that they can take their child to school and can pray with them. They also mentioned that carpooling was a hardship and interfered with their family's religious life and the schools ministry.

(I guess their right to pray with their children at School, somehow supersedes my right to efficiently and timely get my child to school, or if need be, evacuate in an emergency!)

The Applicant and parents, operate as if they are above the law. Rules do not apply to them. And by the County's actions, or lack thereof, it appears to be the case. While I do not believe the school should be discriminated against, nor do I feel they should be given preferential treatment!

My final point of concern is the **safety of all of us!** School, parents, children and residents !

What **would** happen in the event of disaster? Earthquake, **fire, etc.?** **How** are we all going to **evacuate** efficiently? will Emergency Vehicles **be competing** for access on **Hames Road** and **Enos Lane**, while parents are trying to get to their child in an emergency? Do you think **these** parents are going to go to the **carpool** staging site and wait for their children in a disaster?

As a parent, I can **tell** you, NO!

**What about the Property Owners ability** to **evacuate timely?** We **also** would like to think that the fire trucks had a shot at **getting** up the road to **try** to **save** our property!!!

Widening **Enos Lane** will only allow **traffic** to flow at a **faster, unsafe** speed. And where do you get the land to widen **Enos**? Take it from tax **paying Property Owners?** Lets not forget, we are on **private** property, this is a **private** road, and **Salesian School** is a Private business.

Any other business operating under **these** conditions would have **been "red tagged & shut down"** a long time ago. Every **one** knows if it were one of us in violation, we would have been **"red tagged & shut down."**

**Consider** the neighbors completely and totally **fed** up with lack of enforcement from the county on the various **permit/code** violations. The **safety** of all residents (**the school children as well**) is in jeopardy as long as this situation is allowed to continue and be **promoted**. (By allowing this to go further).

You have not heard from surrounding property owners, **i.e. Hames Road**, because they don't know about it, yet. I believe the intent of **the School and County** was to "fly under the radar" and get this passed.

Be assured, other residents who will **be impacted** by the Planning Dept decision, **will** be informed. We are not going away **quietly**. We will spread the word, and the **residents of Corralitos will be** heard.

**"Roll the Stone Away, Let the Guilty Pay"!** Well, **the rock** has been **pulled back**, and this matter **exposed** to the **light of** day. **Accountability** when? now? or when God forbid, its **too late?**

You will send a **message** and set precedent. All **Corralitos** eyes will be on the County Planning Dept. We hope you will **do the Right and Lawful thing to protect us all**.

Sincerely,



Marlene Boracca  
245 Lou's Court  
Corralitos, CA  
95076

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February 27, 2006

**VIA FAX 831-454-2131**

County of Santa Cruz  
Planning Department  
Attn: Paia Levine  
701 Ocean Street  
Santa Cruz, CA 95060

Ref: Salesian Sisters' School (Daughters of Mary of Christians) Application 04-0384  
Initial Study and Preliminary Determination

Dear Ms. Levine:

We as neighbors have many concerns With the schools application for expansion as well as the schools current permit and compliance thereto, or shall we correctly state lack of compliance with their current (and past) permits.

As other neighbors have and will be addressing these issues, we will reiterate the main safety issues of concern:

1. To widen Enos Lane would not only increase the volume of vehicular traffic, but would most definitely increase the traffic speed as well.
2. Widening Enos Lane would also continue to put pedestrians in harms way of faster vehicular traffic and not provide "safe refuge" for pedestrians. The school (and county) seem to have lost sight of the fact that students attending PWSD do traverse Enos Lane, both mornings and afternoons, enduring potentially dangerous situations with discourteous Salesian school traffic. The same is true with other pedestrians taking advantage of the wonderful country ambiance any time of the day, any day of the week, whether on foot, horseback, bicycle, etc.
3. With Enos Lane being a private road, speed limits (posted or otherwise) and vehicles not stopping at the stop sign are not enforceable by Sheriff or CHP. Historically, voluntary compliance with the speed limit and stopping at the stop sign cannot be expected and these are critical safety concerns.
4. We are constantly picking up trash along the Enos Lane side of the property consisting mainly of fast food wrappers, bottles and cans. An expansion of students will potentially equal more trash.
5. The proposed 25 mph speed limit is way too liberal for a rural neighborhood with children and pets at play.
6. Speed bumps should be installed and spaced accordingly to achieve a maximum 15 mph speed limit and should be installed taking the water diverting drainage bars into consideration.
7. What happened to the secondary access the school was required to have in their permit?
8. Should a school-wide emergency or disaster occur, how would the current permitted 126 students and staff evacuate and still have provision for emergency vehicles? Enos Lane would become grid-locked making it nearly impossible for the needed emergency personnel and vehicles to get to the school site, let alone in a timely manner.

Also of concern is a statement written on the proposed project drawings stating a 40 foot easement or right of way from Hames Road to the school is on record on all parcels along Enos Lane. This is NOT true! Nowhere is this 40 foot right of way stated in the deed or chain of title on the Tindall family property located at Enos Lane and Hames Road intersection and continuing up Enos Lane. In March of 1988, Alan Tindall did agree to dedicate a strip of land allowing an 18-foot passage for foot traffic as well as auto traffic. The measurement being taken from the existing concrete drainage ditch to the area needed to create the width mentioned. Please note this land dedication INCLUDED foot traffic. This agreement was made with the property owners of Enos Lane, the Enos Lane Improvement Association, and the Enos Lane Road Maintenance Association also known as the "Association". This dedication was given in good faith assuming the school would comply with their permits, which they have not done to date,

Stated on the same project drawings is another note that existing oak trees will be removed to widen the road. These oak trees have been in existence far longer than the school has been in its location and are a part of the country rural neighborhood and the neighborhood ambience. To remove these trees would not only be a tragedy but a great injustice.

The school and the County appear to have lost sight of the fact that the rural neighborhood was well established BEFORE the school applied for their first permit requesting a training ground. The safety and wishes of the neighbors seem to be being pushed aside to once again allow the school what they want with seemingly no follow up or follow through on the County's part to be sure the school is, has been, and will be in compliance with their permits.

In closing:

1. Several neighbors with adjoining parcels to Enos Lane have over the years dedicated land to the road for the benefit of the school in good faith assuming the school would operate and comply with their permit(s).
2. The school's track record of complying with their permits is non-existent. Why would the neighbors continue to cooperate with road widening, yet this has not been done by the school to date?
3. To double the school's current student base of 125 to 250 students would be detrimental to the existing rural neighborhood and safety would no longer have any priority.
4. Bringing the school in compliance with their existing permit for 126 students, lowering the speed limit to 15 mph, installing speed bumps, and instilling carpooling or bussing students to the limit of the existing rural neighborhood without undue impact on the schools surrounding rural neighbors.
5. The rural neighborhood was in existence and well established BEFORE the school came along.
6. Education is important, but NOT at the expense of safety!

Sincerely,

The Tindall Family Descendants  
 Roy and Eloise Wilson  
 Robert and Janet Mattos  
 Doug and Kim Mattos  
 350 Hams Road  
 Corralitos, CA 95078

S

2-26-06

County of Santa Cruz Planning Dept.  
 701 Ocean St.  
 Santa Cruz, CA 95076  
**Attn:** Paila Levine  
 Subject: Salesian Sister's School-Application #04-0384

Dear Paila,

Once again, I am sending a letter to the county in regards to Salesian Sister's School. If you haven't received copies of letters, which were written by myself and many other concerned residents in our area over the past years, from Supervisor Ellen Pierre in regards to this important matter, please request the file.

My family has lived at 220 Howell Lane since October 1986. We have had many conversations with Sister Charlotte and her staff at Salesian Sister's thru the years in regards to speeding vehicles, lack of respect to resident drivers by Salesian parent drivers, and most importantly, the safety of my children walking to and from the bus stop. In case you are not familiar with our area, the bus stop for PVUSD elementary school (Bradley), Aptos Jr. High and Aptos High school is at the corner of Hames Rd. and Enos Ln.

I strongly agree with my fellow residents that the location of the school is not where a school should be. A sister's home, yes, but not a school. I believe the property is not zoned for a school and can not figure out why they haven't been "red-tagged" and requested to re-locate to a more suitable location.

I have the following comments in regards to the proposed and necessary mitigations:

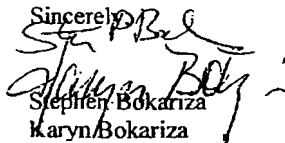
Road Widening-this is not a "fix" to the problem. It will definitely increase poor relations with neighbors, Salesian Sister's staff and parents. Parents will most likely drive faster creating more fear in pedestrians (children especially). If the school is allowed to continue to operate, a pedestrian walkway must be installed.

Limiting trips-car-pooling-This is not working now nor has it every worked for a significant time period. Residents have done their own car count and it didn't match the school's car count records. /

Speed bumps-again, if the school is allowed to continue operation, installing speed bumps must be done immediately. Although we who live here are not happy about having speed bumps installed, if we have to live with them, we will. /

Paia, please remember that the families who are attending Salesian Sister's School are here for a few years and then gone. They will most likely never look back and think of our neighborhood again. The damages and ill-will they will have created will remain with us for as long as we reside here. For some, it will be most of our lives. If you haven't driven out to our lovely rural area of Corralitos, please do. I believe you and your fellow committee members will agree that a school doesn't belong at the top of Enos Lane.

Sincerely,



Karyn Bokariza  
 220 Howell Ln.  
 Corralitos, CA 95076

T

County of Santa Cruz  
Planning Department  
701 Ocean Street  
Santa Cruz, CA 95060

Attention: Paia Levine

Subject: Salesian Sisters' School-Application 04-0384  
Initial Study and Preliminary Determination

Dear Ms. Levine:

I have lived at 277 Enos Lane for nearly 20 years and have an intimate familiarity with the many issues and local impacts associated with the operation of Salesian Sisters' School. Please understand that I harbor no ill-will toward the school, its staff, or attendees and have always been on friendly terms with many of the teachers and administrative staff. I even find the majority of the parents/drivers to be careful and courteous. This has been especially true in recent weeks as the decision point for the proposed enrollment expansion draws near. However, having said all this, I have a number of comments that I would like to make regarding the proposed project, the preliminary determination and the proposed project mitigations. I also have identified mitigations that are absolutely necessary to address impacts from the school operating at the currently permitted enrollment, even without the proposed expansion.

### **Proposed Project**

I think most everyone would agree that APN 107-571-01 is not an appropriate location for a school for many reasons, not the least of which is the obvious lack of adequate access. In fact, if this currently permitted 125-student school was to be proposed for this location as a new project today, it would likely be denied, in large part due to its single, narrow, windy, 3500-foot-long access road through a rural residential neighborhood. Amazingly, County staff is now recommending approval of a 100% expansion in enrollment of this very same project with no significant improvement to access and without mitigations that would effectively address the project's impacts. This makes no sense. It makes even less sense given the school's long history of consistent non-compliance with its County Use Permit.

County approval of this project would also be extremely inconsistent with the permit denials and severe restrictions placed by the County on far more modest projects proposed by nearby residents. Even simple lot splits require higher standards than those proposed for this large project. If there is any reasonable basis for County zoning and development standards, there can be no rational justification for approval of a 100% expansion in enrollment for this school.

### **Project Impacts and Proposed Mitigations**

The most significant project impacts are related to traffic and traffic safety, specifically 1) an increase in traffic volume, 2) an increase in high-speed traffic, and 3) an increase in potential conflicts between vehicles and between vehicles and pedestrians. The proposed Negative Declaration contains a number of

mitigations intended to address traffic impacts. These include: widening the road to 18 feet; a permit condition limiting morning peak period trips to a maximum of 104 with periodic traffic counts (performed by the applicant's traffic engineer?!) to monitor compliance; and a plan for speed bumps that do not need to be installed if some undefined traffic conflict reduction criteria is met after the first year. While I am certain that these proposed mitigations are well-intended, I am also every bit as certain that these mitigations will not effectively address project traffic safety concerns. The following are my concerns about the proposed mitigations:

**1) Widening of Road to 18 Feet:** While this will slightly improve emergency access, road widening will likely increase speeding; numerous transportation studies have proved that wider roads and travel lanes promote higher vehicle speed. Therefore, if anything, this mitigation will increase the potential for serious accidents by increasing vehicle speed. Also, simply widening the road will not provide a defined "safe refuge" for pedestrians. Neighborhood children walking to the PVUSD school bus stop and other pedestrians will continue to have to scramble to a safe location when cars approach. (Note that the Initial Study does not even acknowledge the existence of the school bus stop at Enos Lane and Hames Road). This problem will be even greater if vehicle speeds increase along with the road widening.

**2) Limiting Morning Peak Trips:** While this is an important project condition, one only needs to review past history to conclude that compliance will be transient at best. As time passes, there are new school administration staff, new parents, and differing emphasis on carpooling and other trip-limiting efforts. The Initial Study clearly illustrates that there is often a stark contrast between carpool goals and actual results and further, that actual results vary significantly over time. So-called "unannounced" traffic counts conducted by the traffic engineer, hired and paid by the applicant, will obviously not provide an effective means of monitoring compliance. In conclusion, while limiting trips is an important project condition, it cannot be relied upon to consistently address traffic safety issues.

**3) Speed Bump Plan - But No Installation:** This proposed mitigation calls for a road plan that includes speed bumps but states that speed bumps "may not be required to be installed" if, after the first year, "it is demonstrated that the plan (trip reduction) has significantly reduced traffic conflicts between vehicles and vehicles and pedestrians". This proposed "performance" criteria for reducing traffic conflicts is so vague as to be meaningless and will do nothing but perpetuate the current traffic safety problems and the endless complaints and debates regarding speeding vehicles and the resulting safety issues. In addition, while effective and consistent trip reduction would positively impact traffic safety to some extent, we have to keep in mind that the applicant's proposal is to *double* student enrollment. Any sustained net reduction in traffic volumes is likely to be relatively small and is not likely to significantly reduce current speeding problems. A County Sheriffs representative recently stated that speed limits on private roads are not enforceable. Based on historical experience, voluntary compliance with speed limits cannot be expected to adequately address this critical safety concern.

### Necessary Mitigations

There are a number of additional mitigations and/or modifications to the proposed mitigations that are absolutely necessary to address even the impacts of the currently permitted school enrollment. These measures, which would become even more critical in the event of an expansion in enrollment, are described as follows:

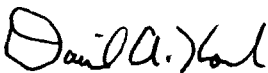
**1) Installation of Pedestrian Walkway:** This would include the installation of a 6-inch high, four-foot wide asphalt pedestrian walkway along one side of Enos Lane. This raised pedestrian walkway would provide a defined, safe-refuge pathway for neighborhood children walking down Enos Lane to the school bus stop at Hames Road as well as for other pedestrians.

**2) Reduced Roadway Width:** The four-foot wide pedestrian walkway could combine with a reduced width, 16-foot wide vehicle travel lane to provide up to 20 feet of road width for emergency vehicles to use if necessary. (Emergency vehicles would have the capability of utilizing the walkway for extra width if necessary in restricted areas.) The narrower roadway would still provide adequate width for two cars to pass but would encourage slower traffic speeds.

**3) Installation of Speed Humps:** The speed humps identified in the proposed "road plan" should be installed immediately. I think everybody realizes that speeding will continue to be a problem. As previously indicated, the County Sheriffs office has stated that speed limits are not enforceable on private roads. The only effective way to "enforce" speed limits is by installing speed humps in accordance with County standards that will allow vehicles to comfortably drive over at 15 mph. This would immediately put an end to current (and future) speeding problems and the safety hazards caused by excessive speed. The existing "drainage bars" should be converted to traffic humps in a way that preserves the existing drainage diversion function. Currently, they cross the road diagonally and are a hazard as they could cause bicycles and other vehicles to lose control.

In conclusion, I do not believe that it is appropriate for the County to allow a 100% expansion in student enrollment at a school that lacks an adequate and appropriate access road. If there is any rational basis for County development standards, there can be no reasonable justification for approval of this project. In addition, I would request that the necessary mitigations identified above be imposed to address even current traffic safety conditions. These additional mitigations become even more critical to neighborhood traffic safety should any level of expansion ultimately be allowed.

Sincerely,



David A. Koch  
277 Enos Lane  
Corralitos, CA  
95076

C. Tom Burns, Planning Director  
Supervisor Ellen Pirie  
Supervisor Tony Campos  
Planning Commissioner Dennis Osmer



## MONTEREY BAY

Unified Air Pollution Control District  
serving Monterey, San Benito, and Santa Cruz counties

24580 Silver Cloud Court • Monterey, California 93940 • 831/647-9411 • FAX 831/647-8501

AIR POLLUTION CONTROL OFFICER  
Douglas Quetin

### DISTRICT BOARD MEMBERS

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March 13, 2006

Mr. Randall Adams, Staff Planner  
County of Santa Cruz  
Planning Department  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060

Sent by Facsimile to:  
(831) 454-2131.  
Original Sent by  
First Class Mail.

SUBJECT: MND FOR SALESIAN SISTERS SCHOOL – ENROLLMENT INCREASE

Dear Mr. Adams:

Staff has reviewed the Mitigated Negative Declaration and has the following comment:

#### Impacts of Diesel Emissions from Grading, Construction and Paving Equipment

Given the current operation of the school, please contact the District to determine if a diesel health risk assessment is necessary. Depending on the type of equipment used, the State 1-hour standard for acrolein may be exceeded. The District suggests the following, which would eliminate the need to prepare an assessment:

1. All pre- 1994 model year diesel equipment used for grading, construction, and paving of the project shall be retrofitted with EPA-certified diesel oxidation catalysts, or all such diesel equipment shall be fueled with B99 biodiesel fuel;
2. Project Applicant shall retain receipts for either all purchases and installation of diesel oxidation catalysts, or purchases of B99 biodiesel fuel, until completion of the project.
3. Project Applicant shall allow the Monterey Bay Unified Air Pollution Control District to inspect such equipment and said receipts throughout the construction of the project.

#### Fugitive Dust Generated by Grading and Construction Work

Given the uncertainty of the amount of grading or construction to be done at any time, the District suggests the following mitigation measures to reduce the amount of fugitive dust to a less than significant level:

+ Limit grading to 8.1 acres per day, and grading and excavation to 2.2 acres per day.

+ Water graded / excavated areas at least twice daily. Frequency should be based on the type of operations, soil and wind exposure.

\*Prohibit all grading activities during periods of high wind (over 15 mph)

+ Apply chemical soil stabilizers on inactive construction areas (disturbed lands within construction projects that are unused for at least four consecutive days)

\*Apply non-toxic binders (e.g., latex acrylic copolymer) to exposed areas after cut and fill operations, and hydro-seed area.

- \*Haul trucks shall maintain at least 2'0" of freeboard.
- \*Cover all trucks hauling dirt, sand, or loose materials.
- \*Plant vegetative ground cover in disturbed areas as soon as possible.
- Cover inactive storage piles.
- \*Install wheel washers at the entrance to construction sites for all exiting trucks.

Transportation/Traffic Hazards and Mitigations

The mitigations specified on page 16 of the Initial Study include the installation of "speed bumps to keep observed speeds to 25 MPH". The District suggests that *speed bumps* be replaced with *speed humps*. The possibility that drivers might stop and accelerate between the *bumps* instead of proceeding at 25 MPH would not only create a traffic hazard, but might also increase emissions. District staff also recommends deleting the suggested road widening to 18 feet, as this would encourage lower travel times and greater vehicle trips.

Thank you for the opportunity to review the document.

Yours truly,

A handwritten signature in black ink, appearing to read 'J. Getchell', with a long horizontal line extending to the right.

Jean Getchell  
Supervising Planner  
Planning and Air Monitoring Division

County of Santa Cruz  
Planning Department  
701 Ocean Street  
Santa Cruz, CA 95060  
Attention: Paia Levine  
Subject: Salesian Sisters' School-Application **04-0384**  
Initial Study and Preliminary Determination

Dear Ms. Levine:

I have lived at **300** Enos Lane for almost 3 years now. We moved into what we thought was a safe and friendly neighborhood. In 2003 with a child on the way we noticed the amount of vehicles traveling on our private rural road to be in excess for the amount of houses on the street and for the amount of students that are going to the private school up the street. I thought it to be dangerous for my family and for my dog. We also noticed the speed in which the cars drove to be unsafe for everyone living on and off Enos Lane especially those living below the school.

In a friendly and neighborly way my wife and I thought we would introduce ourselves to the school and to discuss the speed at which the cars traveled past our house. The first few minutes of our conversation with Sister Maria of the Salesian School could not have been nicer. My wife and I thought how idealic our new life was and what a great neighborhood we moved into. Much better than Cupertino. We thought how great it would be when our boy reached school age how he could just go to school right up the street. When we mentioned the amount of cars and the speed at which they traveled to and from the school to Sister Maria the conversation quickly deteriorated. The Sister actually asked us why we hated Catholics so much and why we would want to persecute the Catholic Church. For hundreds of years Catholics have been attacked by people like us. That any pets and wild animals killed by traffic from the school was "Gods will". My wife and I looked at each other in amazement. We only wanted the parents of the students to slow down. Being Catholic we could not believe what this Nun was saying to us. Immediately a wall went up by the school and we could not get answers from anyone up at the school. We tried repeatedly to talk to someone in charge at the school with no luck. Being new to the neighborhood we slowly introduced ourselves to other neighbors and we started to ask questions about the school. We soon found out that we were not an isolated case but this was the schools standard operating procedure. Welcome to the neighborhood. The school had been doing this to all our neighbors for years. Unbelievable. Our little home in the country was slowly becoming an unwanted drama.

We started to do some research ourselves and became totally astonished how this school actually became into being and how the county allowed a private business to take control of a neighborhood through lies, deception and faulty premise. Unbelievable. We talked to our neighbors and showed them what we discovered and our beautiful neighborhood is united in our outrage at the way we all have been treated by the county, by the school, by those in power from business and all the way up to County Supervisor Board Members. All the way to Supervisor Board Members! The Board of Supervisor member had personal interest in the school since her child/children attended the school.

Please understand that I harbor no ill-will toward the school, its **staff, or** attendees and have tried to be on friendly terms with no luck. We have found some of the parents/drivers to be **careful** and courteous. This has been especially true when planning deadlines or when the county makes its appearance to our neighborhood. Once the county leaves the school reverts to standard operating procedures of high speed and limited carpooling.

Reviewing the history of how the school was established we found it hard to believe the school was even allowed to be built in the first place.

Please see Attached Chronological Summery of Documents marked A **B C and D.**

The area in question was denied a building permit because the soil was deemed unsafe. Within several months a plan was approved to build a Novitiate for no more than 25 persons including staff and faculty. How did this happen so quickly? How did the earth suddenly repair it self and now it was safe to build?

A Novitiate is essentially a training school for Nuns to learn their vocation. A quiet place Nuns would pray. The Salesians never intended to have a Novitiate in the first place. The facility immediately became a school.

The Salesian School has violated its USE PERMIT over and over again. The Salesian School has no intention of ever complying with any USE PERMIT it has been issued or any in the future based on their history.

Since we discovered the all the violations of their USE PERMIT we have become a target of the school, the parents of the students, those with vested interest in the school, and friends of the school.

- We have been spit at
- Have had trash thrown into our yard by School Commuters
- Been yelled at and harassed
- Have had parents trespass onto our property and threaten us. Also had a parent refuse to leave our deck demanding a confrontation with my pregnant wife.
- We have had a County Sheriff pound on my Front Door at 8 am demanding why I was not walking on my street this morning. Have had the same Sheriff threaten me and my family and try to intimidate me.
- Have had the school lie to us and ignore our request for traffic control.
- Many of the residents have been brushed or hit by School traffic.
- Neighborhood pets have been hit and killed by School Traffic

In March of 2004 the weather finally broke and became nice out. My wife suggested that we should start walking before I go to work to get some exercise and enjoy our rural neighborhood in the mountains. That it would be **fun** to walk a block down our street

with our new boy in his new jogging stroller. How nice. We started walking and by the 4<sup>th</sup> day a County Sheriff stopped me 50 yards from my house and told me I was not allowed to walk down the side of my private road. My road. **We were only** walking to just the other side of our next door neighbor's house and up Howell Lane. One block was all and on the side of the road. My road. He said he might arrest us for child endangerment. Child Endangerment! How dare **him!** We talked to our close neighbor Gary Smith, Fire Chief and President of the Aptos Chamber of Commerce and he suggested that we stop walking for a while. So we stopped. Very sad that we could not even walk down our own street because school commuters did not want to drive safe up and down our street. I can not walk down the side of my own street!

That same week I went out of the state for 4 days to play an Ice Hockey Tournament and came home Monday morning at 3 **am** after driving 10 hours. At 8 **am** I hear someone banging on my front door and there was a Uniformed County Sheriff waving a letter in my face and asking why I was not walking this morning. This is nearly a week since we stopped walking. First of all it is none of his business whether I **am** going to walk or not. The letter was a slanderous and fictitious letter from a Salesian Parent stating that I was walking down the middle of road essentially playing chicken with my son in his stroller. Why would I? The Sheriff's friend attended the school. The Sheriff was stationed in Scotts Valley and he drove all the way down to my house to hassle me? How dare him. I love my son more than anything and I will do anything to protect his safety **from** anyone. The **Sheriff** actually came to my house and told me to watch myself. Next time he was going to take me in. For What!? We immediately called our neighbors to document his actions and quickly we had a group of neighbors in front of my house trying to defuse a rouge sheriff from his Gestapo like tactics.

We notified Ellen Piere, the Current Head Sheriff Mark Tracy and others of his actions. We tried to file an incident report but the sheriff's department refused to do so.

One Sheriff who has become a so called buffer between the neighborhood and the school, Sgt. Slanick told us to document everything and to take pictures of any unusual activities.

One evening I was coming home from work and noticed a car driving at a high rate of speed up Hames and cut in front of me driving up Enos in excess of 50 mph. I quickly lost him but I went up the street anyway past my house to see if it was a School commuter. I could not fathom someone driving that fast up our road because he was late for an after school function. The car in question turned into the Salesian School. When I drove up to the Salesian School I noticed over a hundred plus cars parked all over the place and several hundred people and children having some kind of event at the school. I went home and grabbed my camera as instructed by the Sheriff and took pictures of the large gathering of vehicles. Since I was noticed driving by the Nuns they said that I was most likely taking pictures of the children and might be a pedophile. How dare them! I was doing what I was instructed to do by the Sheriff's department and get accused of being a pedophile. Sgt Slanick can testify to this incident.

In three short years the Nuns have had parents point and yell at us. Have had a Sheriff threaten me and my family, accuse me of being a child abuser, a bad father, a pedophile,

a catholic hater and it keeps going. Had a Salesian parent actually threaten my pregnant wife and refuse to get off our property.

We have had just about every school commuter yell at me and my family if we are standing outside of our house waving and trying to communicate to us in their own way. Why can't we be just **left** alone? Do we have to move? Some of the School traffic actually makes a point of gunning their engines so I can hear it. We have tried to have the Sheriff department and the California Highway Patrol enforce the posted speed limit of 15 MPH with no luck. Both agencies refuse to do so. The Sheriffs department will try and intimidate me but will not assist the neighborhood in curbing the schools speeders who endanger all the residents.

Soon after we moved to the **community** we attempted to go to church at Holy Eucharist in Corralitos to be a part of the community. We even had our son baptized there. Again it seemed like an ideal church in the country. Soon after the Sheriff incident we started to notice that Salesian parents of the students who went to Holy Eucharist were pointing us out. We were quickly getting a feeling of being unwelcome. We have stopped attending Holy Eucharist. The Nuns are telling the parents one story, planning another story and their neighbors yet another.

When are the lies and Gestapo like tactics of the school and their friends going to stop? They are not going to stop until they get their way, until they are gone or we are gone. They have no reason to stop since it has worked in their favor for 30 years. It is how they operate. Just because we caught the School, the Board of Supervisors and others in a huge lie why do we as a neighborhood have to pay a price?

The neighborhood is too small and unsafe to have a school in its present location. The school has to be relocated and or closed and the land it sits on returned to its prior agricultural state.

The School has never abided by its USE PERMIT from day one and for the Salesians to be given another pass would be a crime against the happiness and well being of the Enos Lane Neighborhood.

**APN** 107-571-01 is not an appropriate location for a school for many reasons, not the least of which is the obvious lack of adequate access. In fact, if this currently permitted 125-student school was to be proposed for this location as a new project today, it would likely be denied, in large part due to its single, narrow, windy, 3500-foot-long access road through a rural residential neighborhood. Lack of a secondary access road and lack of adequate safety. County staff is now recommending approval of a 100% expansion in enrollment of this very same project with no significant improvement to access and without mitigations that would effectively address the project's impacts. The recommendation is solely based on facts by consultants hired by the Salesian School just like from day one. The traffic counts, the Civil engineers, and consultants of local businesses are all hired by the Salesian School. Has any member of planning ever called or attempted to contact me about how any school expansion would affect me and my neighborhood? Not at all. Do they accept our accurate traffic counts as valid? No. This

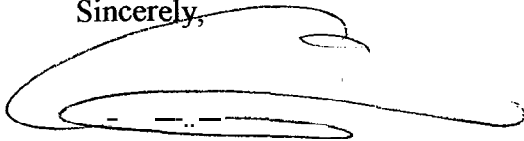
makes no sense. It makes even less sense given the school's long history of consistent non-compliance with its County Use Permit.

County approval of this project would also be extremely inconsistent with the permit denials and severe restrictions placed by the County on far more modest projects proposed by nearby residents. Even simple lot splits require higher standards than those proposed for this large project. If there is any reasonable basis for County zoning and development standards, there can be no rational justification for approval of a 100% expansion in enrollment for this school. I do not believe that it is appropriate for the County to allow any expansion in student enrollment at a school that lacks an adequate and appropriate access road. If any action should take place let the school abide by the first USE PERMIT 78-323-U where as a maximum of 90 students and carpooling limit of 25 cars per day and a secondary access road. Let them comply for the same amount of years they have been out of compliance. There is no rational basis for County to allow any expansion without first talking to the home owners who would be directly affected. Why does the Salesian Sister School get a free pass? Why does a business get a pass for over 30 years? Who are they paying to get such a pass? Lots of questions I see unanswered.

The County Required the school that **the establishment, maintenance or operation of the use or building will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of the proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.**

The Salesian School has become detrimental to the health, safety, peace, morals, comfort and general welfare of me and my family.

Sincerely,



Andrew Fidandis  
300 Enos Lane  
Corralitos, CA  
95076

Cc: Supervisor Ellen Pirie; Robin Musitelli, County Supervisor's Analyst; Steve Robbins, Sheriff-Coroner; Sergeant Christine Swannack; Mr. Tom Burns, Planning Department; Mi. David Lee, Planning Department; Randall Adams, Planning Department, Cathy Graves, Planning Department; Gustavo Gonzales, Inspector; Gary E. Hazelton, Assessor; California Insurance Commissioner John Garamendi; California Department of Insurance Legal Division; American Civil Liberties Union and ACLU/NC Free and Safe Campaign; Santa Cruz Fire Department Ron Prince, Fire Chief; Corralitos Fire Station; FMA Provincial, Sr. Sandra Neaves, Salesian Sisters West

0

Date: February 27,2006

Subject: Letter **of concern** regarding proposed improvement **by Daughter** of Mary Help for Christians (Selesian Sister School)

Dear Paia:

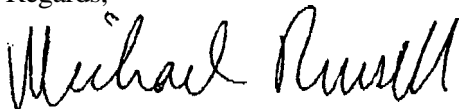
I would **like** to voice my concern about **the** proposed improvements submitted by the Daughter of **Mary** Help for Christians (**Selesian** Sisters School). **As** a resident **of** Howell Lane, Corralitos I **am in support** of the services the Selesian **Sisters** School provide to their **students**, but not without some major safety concerns.

**As** a resident **my family** and I travel Enos Lane daily **and safety is my** highest priority. **On many** occasions families **driving** their children **to** the Selesian **Sister** School have driven well beyond the posted 15mph speed limit (with speed probably exceeding **35-40mph**) have **forced** my wife (and children in car) **to swerve to** avoid **getting hit by** them. These **types of** incidents **are common** occurrences **and** not isolated incidents. I have spoke **to other neighbors** and **they** too have experienced the **same** situation with **parents driving up and down** from the Selesian School. My other concern is **the** amount of **traffic** going up and **down** Enos Lane **to** the school. With **more** traffic **the** likely chance of an accident is greatly **increased** if people do not obey the speed limit or respect **others on the road**. **As a rural** community **with** one road **to** traverse it **is** imperative that everyone drive safely and with respect to others.

The proposed improvements by the Daughter of **Mary** Help for Christians (Selesian Sister School) **pose great** concern for me and my family because with the **proposed** improvement will **increase** student **enrollment** and traffic **thus** making **an** unsafe road dangerous. Therefore I opposed any proposed improvements until the **necessary** mitigations **to** address **my** family's **safety concerns** as well **as** other residents of Enos/Howell Lane are met. If **this mitigation** is not handled properly I **can** envision injury liabilities **and lawsuits** in the **future**. I hope **you** include feedbacks **from** residents of Enos/Howell lane when making **your** decisions.

If you have **any** questions please do not hesitate to call or **email me**.

Regards,



Michael Russell  
50 Howell Lane  
Corralitos, CA 95076  
831-728-5833

Date: February 27, 2006

**Subject:** Letter of concern regarding proposed improvement by Daughter of Mary Help for Christians (Selesian Sister School)

Dear Paia:

I would like to voice **my concern** about **the** proposed improvements submitted by **the** Daughter of **Mary** Help for **Christians** (Selesian **Sisters** School). **As** a resident of Howell Lane, Corralitos I am in **support** of the services the Selesian Sisters School provide **to** their students, but not **without** some major **safety** concerns.

**As** a resident **my** family and I travel Enos Lane daily **and** safety is my **highest priority**. **On many** occasions **families** driving their children **to** the Selesian Sister School have driven well **beyond** the posted 15mph **speed** limit (**with** speed probably exceeding 35-40mph) have forced **my** wife (and children in car) to **swerve** to avoid getting hit **by** them. These **types** of incidents **are** common occurrences and not isolated incidents. I have spoke **to** other **neighbors** and they too have experienced the **same situation** with parents **driving** up and down **from** the Selesian School. **My** other concern is the **amount** of traffic going up and down **Enos** Lane **to** the school. With more traffic the likely chance of **an** accident is greatly increased if people do not **obey** the **speed** limit or respect others **on** the road. As a rural community with one road to traverse it is imperative that everyone drive safely and with **respect** to others.

**The** proposed improvements by the Daughter of **Mary** Help for Christians (Selesian **Sister** School) pose **great** concern for me and my **family** because with the proposed improvement will increase student **enrollment** and traffic thus **making an** unsafe road **dangerous**. Therefore I opposed any proposed improvements **until** the necessary mitigations to address **my** family's safety **concerns** **as well as other** residents of Enos/Howell Lane are **met**. If **this** mitigation is not handled properly I can envision injury liabilities **and** lawsuits in the future. I hope you include feedbacks **from** residents of Enos/Howell lane when **making your** decisions.

If you have **any** questions please do not hesitate to call or email me.

Regards,



Michael Russell  
50 Howell Lane  
Corralitos, CA 95076  
831-728-5833



February 27, 2005

Paia Levine  
Environmental Coordinator  
county of Santa Cruz  
701 Ocean Street  
4<sup>th</sup> Floor  
Santa Cruz, CA 95060

**Re:** Application **Number: 04-0384** APN 105-371-01  
Owner: Daughters of **Mary** Help of Christians  
Environmental Review Initial **Study**, Dated 1/30/2006

Dear Ms. Lavine,

With respect to page 14, article H. and proposed NEGATIVE DECLARATION MITIGATION, Paragraph 3 regarding traffic, the limitation to 104 trips is overly restrictive for the circumstance applicable here. If there is to be a number it should be at least 125 trips for student carpool. I would like to talk with you and your staff in order to come to a mutually agreeable reasonable number.

Please contact me,



David L. Robison  
Principal

**Cc:** Dennis J. Kehoe, Attorney at Law  
Sister Charlotte Greer

**FAX**

To: *Paia Levine*  
*County of Santa Cruz*  
13  
Fax: *454-2131*

cc. 2-27-2006  
Pages: 1

David L. Robison  
Strategic Construction  
Management  
(408) 466-2777  
(408) 466-2776 Fax

December 5, 2005

~~25 Enos Lane~~

Watsonville, CA

County of Santa Cruz Planning Dept

Attn: Mr. Ken Hart

Environmental Coordinator/Principal Planner

RE: Environmental Review of  
Application No. 04-0384

Gentlemen:

We have just received a copy of your letter to the persons regarding the above application.

Because we were one of the first to build our home on Enos Lane, we feel we should let you be aware of our concerns for the application for a school for 250 students.

As you are aware, a permit was issued in 1978 for 125 students. There were also conditions with that permit that were supposed to be complied with. One of these was regarding car-pooling and you will see that at that time a report was compiled and submitted to the County showing how the car-pooling was supposed to happen. This started out good but it soon dropped off and traffic began to increase during the school days. This was only about a couple of months after the permit had been issued.

In your letter, you are asking for when the school reached 125-student level but the school doesn't seem to have clear-cut documentation of this but from the increase in traffic after that, it is believed that the school was ready to increase the enrollment as soon as the permit was approved. This can be confirmed by car counts that we did after that which shows between 90 and 100 cars were transporting students to the school during the years the school was not being monitored. It was only when a new neighbor began to be aware of the traffic that the enrollment was checked and found to be over 200 students. Therefore, it appears that the enrollment for 125 students was never complied with.

It has been very frustrating to the neighbors on Enos Lane that the Planning Dept has now accepted the document the owners presented as to the width of Enos Lane as being acceptable, although it was never recorded in the County Recorders Office and no description of that width is described. Our title insurance and our neighbors all show our property goes to the center of Enos Lane and the center line is EIGHT feet from an axle, which is a surveyors point. County Planning has sent a letter to our attorney indicating that an error was made in our Title Insurance Policies.

We purchased our property in 1964 but because there was no water available in this area, we had to buy into a neighbor's well and bring water to our property and began to build our house in 1967. At this time, Enos Lane was a dirt road and only one other family using it to their home, therefore, we were looking forward to living in the country, away from traffic and any major development. We knew that eventually there would be other homes built but we felt it would be limited and that our area would remain rural. If we had know that a school of this size would be allowed to build on a narrow private road, we would have looked elsewhere to build our home.

Also, when this organization applied for their first permit in 1975, it was for a "novitiate" with permission to "operate a summer camp". At that time, the property that belonged to this organization was sold and the nuns who were living there were moved to the quarters on Enos Lane. There was no mention of any plans for a school at that time and we felt that was a nice plan to have a nice quiet retreat for these people to live and to study in a rural area.

It was in 1978 that the next permit was approved for 90 students and then in 1979 when the next permit went to 125 students. We attended the hearings at that time and it was stated by each of the Planning Commissioners at that time that there was a concern about the road. They were told that a second access road would be obtained. As has been stated to us recently by someone from the Planning Dept., this was a school that should never had been allowed to start. They should have bought property that had their own private road to the school or been located on a county road. This neighborhood just was not the right area for an elementary school where the children could not walk to or ride their bikes to school as students do in other areas.

Over the years, we have had difficulty with the people driving to and from the school when they seem to be challenging us for the right to use the road. We used to be able to back out of our driveway and go the short distance to Hames Road without any difficulty. That became impossible about ten years ago when the traffic up and down the road made it unsafe and nearly impossible to back out so we had to re-do our driveway and made a new way to access Enos Lane driving forward. Even now, we have to be very careful when entering Enos Lane from our property and often we have a family member to walk out to make sure there are no vehicles coming down hill.

Going up hill, the vehicles seem to go at a lower rate of speed but coming down hill is different. That is why we were happy to see the Highway Patrol bring a speed trailer out and set it up just above our place so that drivers could see what their speed was. But it had just been put in place when three cars stopped coming down from leaving their kids at school and the three ladies were discussing the situation. In a couple of hours, a Highway Patrol officer came and was picking the trailer up when I went out to ask about it. He stated that they had received three complaints that the trailer was on private property. Apparently, the Highway Patrol did not know that Enos Lane was a private road. We would have liked for it to stay there just over the weekend as there are many cars that come down from above the school that travel way too fast and this trailer had been placed on a Friday morning so the intention was to check ALL traffic going down Enos Lane.

Another concern we have is if there should be any kind of problem with fire on the hills or trees down across the road from a storm or earthquake with buildings destroyed, how would emergency vehicles get up the road and vehicles coming down in a hurry? The County Forestry made a trip up there a couple of years ago and their report showed that there would be a problem meeting and passing oncoming traffic because there was no where to pull off Enos Lane. Of course, there has never been a need for emergency vehicles up there yet but we know that doesn't mean it couldn't happen and that plans should be made to make sure there aren't victims because proper access was not provided. This should be a concern of the County.

We should also mention that if a forty foot road is approved, there are two properties that we know of that would mean the road would go through the garage or would be right at their front door. We don't understand how the County would issue a permit to build a home if they knew there was a forty foot easement there. Also the City of Watsonville built their water tank close to Enos Lane just off Hames Road so forty feet would come very close if not part of the water tank. It just doesn't seem feasible that anyone knew the road was any wider than the sixteen feet that has been used for over 100 years.

We have been continually frustrated by what has been said the school would do and what actually happens. We notice that the traffic during the peak time the school starts and lets out, seems to conform with what they have been told to use, however, there is still a lot of vehicles not using the carpool program. This is true especially in the afternoon when there are classes that let out at different times and the times are staggered so that car-pooling is not possible. We see many vehicles with only one student and that happens a lot if the vehicle is a pick-up. Also, there is a luxury convertible that picks up one student in the afternoon. There are bound to be problems that parents can't car-pool and we see it seems to be happening a lot.

Because we have lived here and put up with all the increased traffic over the past 25 years and written letters to the Planning Dept. and to our county supervisor, we are getting very tired and frustrated that it is not getting any better. Only worse. We had thought we could live here in our retirement years in a nice peaceful place but it has turned into constant turmoil. We used to be able to walk up Enos Lane with our two dogs but this is no longer possible because of the vehicles passing very close. One of our dogs was hit and killed and other neighbors have lost their cat and a dog. Also, there are children who walk down to catch the bus to public school and return in the afternoon. There have been times when these children were gently hit by a side-view mirror. We have pictures of two vehicles side by side on Enos Lane which shows there is no space for a person to walk when two cars are meeting.

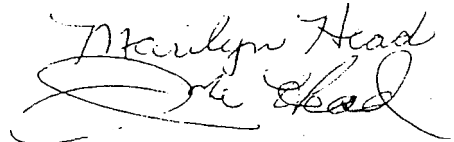
Therefore, it is recognized that the road needs to be widened to accommodate the increase in traffic, which would be a costly thing for the school to do. We can't see that adding 50 students to their current enrollment is going to make the difference in paying for that improvement. And we do not want the trees and plants removed from our property which have been put there for the purpose of marking our property line and reducing the noise of vehicles, etc.

We hope you will read our complaint and concern for the safety of our area and recognize the problems that could arise with the increase in traffic and enrollment. If we could have seen compliance with previous permits, we might be able to believe that safety issues would be done but past history has not shown compliance. We are still puzzled that a violation has not been dealt with.

As you can tell, we are very upset with the continued problem with dealing with a "business" that should have been monitored many years ago and now we are being told that our property is not where our title insurance says it is because an unrecorded document has been presented which came from an office rather than the County Records Office.

Thank you for any consideration given to our concern regarding this Permit Application.

CC: Tom Burns, Planning Director  
Ellen Pirie, Supervisor 2nd District  
Santa Cruz County Counsel

A handwritten signature in dark ink, appearing to read "Marilyn Head". The signature is fluid and cursive, with a large, sweeping initial "M".

**Mitigated Negative Declaration  
(CEQA Determination)**

**Public Comments  
on file with Planning Department  
(not printed in packet)**

**Application Number 04-0384  
Planning Commission Hearing  
3/28/07**



# County of Santa Cruz

## PLANNING DEPARTMENT

701 OCEAN STREET, SUITE 400, SANTA CRUZ, CA 95060-4073

(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123

TOM BURNS, PLANNING DIRECTOR

January 23, 2004

Sr. Charlotte Greer, FMA, Principal  
Salesian Elementary & Junior High School  
605 Enos Lane  
Corralitos, California 95076

Dear Sister Charlotte:

**RE: MULTI-AGENCY INVESTIGATION FINDINGS FOR ASSESSOR'S PARCEL  
NUMBER 107-571-01 (SALESIAN ELEMENTARY AND JUNIOR HIGH  
SCHOOL); AND GENERAL INSTRUCTIONS ON HOW TO CORRECT THE  
EMERGENCY ACCESS AND EVACUATION VIOLATIONS AND THE OVER  
ENROLLMENT USE PERMIT VIOLATION**

This letter is to convey to you the findings of the recent multi-agency investigation conducted by the Santa Cruz County Planning Department, California Department of Forestry (CDF)/Santa Cruz County Fire Department, and the Santa Cruz County Environmental Health Department in response to multiple complaints received from neighborhood residents regarding the Salesian Elementary and Junior High School. The investigation verified that the school is in violation of the Fire Marshal's access requirements established in Use Permit 78-323-U and various fire code provisions because the access around the rear of the school is routinely obstructed. The school is also in violation of exceeding the 125-student limit established by Use Permit 78-1539-U. Incorporated in this letter are general instructions from the fire department on how to proceed to correct the emergency access and evacuation violation. Also included are general instructions from the Planning Department on how to correct the over enrollment use permit violation.

The basis of neighbors' complaints alleged that the following conditions or activities at the school violate use permit conditions and/or specific provisions of the Santa Cruz County Code and/or state regulation:

COMPLAINT#	COMPLAINT DESCRIPTION
Complaint # 1	The Salesian School access road, Enos Road, is unsafe and does not provide adequate emergency access for safe evacuation of neighborhood residents or school students.

COMPLAINT # (continued)	COMPLAINT DESCRIPTION (continued)
Complaint # 2	Salesian School parents employed by the Watsonville Fire Department <b>perform</b> the school fire-safety inspections at the school.
Complaint # 3	The Salesian School failed to obtain Environmental Health Department sewage clearance to exceed the 200-person limit established by the Santa Cruz County Environmental Health Department in Use Permit 78-1539-U, Condition # 4.
Complaint # 4	The Salesian School failed to comply with carpool and busing requirements established by the Santa Cruz County Planning Department; students are not bused to school <b>as</b> required; and school traffic exceeds the 25 vehicles per day limit.
Complaint # 5	The Salesian School has exceeded the 125-student enrollment limit established by Use Permit 78-1539-U; and over enrollment <b>has</b> caused increased traffic on Enos Lane.
Complaint # 6	The Salesian School failed to comply with their summer camp use permit (Use Permit 75-600-U), which <b>limits</b> student population to 90 students; and summer camp traffic exceeds the 20 vehicles allowed.
Complaint # 7	The Salesian School is using dormitories <b>as</b> classrooms without County approval.

Complaint # 1:

The Salesian School access road, Enos Road, is unsafe and does not provide adequate emergency access for safe evacuation of neighborhood residents or school students.

Investigation Findings:

The Salesian school is in violation of the Fire Marshal's access requirements attached to Use Permit 78-323-U, California Fire Code § 902.2.4; California Code of Regulations, Title 19§§ 3.05 and 1273; and Santa Cruz County Code § 7.92.190 because the emergency and evacuation access around the rear of the school is routinely obstructed during school commute hours. This violation requires corrective action by the school.

Please refer to the letter from Deputy Fire Marshal Clare Frank to Code Compliance Investigator Gustavo Gonzalez and Sister Charlotte Greer and the corrective order attached and incorporated into this letter as **Attachment A**. The letter shows that the stream of vehicles to the school during commute hours negatively impacts traffic flow on Enos Lane at certain times but does not appear to constitute a hazard under fire code definitions. However, the Emergency and Evacuation Access around the rear of the school is obstructed during school commute hours by school parents' vehicles when picking-up or dropping-off school children. This vehicular impediment violates the Fire Marshal's requirements attached to Use Permit 78-323-U (**Attachment B**), county regulation, state law, and constitutes a hazard under the California Fire Code and Santa Cruz County Code sections. To correct this violation, the school must comply with the corrective order of the Fire Marshal and abate the fire access and public evacuation

hazard created by the school-related traffic that obstructs the ingress and egress routes to, from, and around the Salesian Sisters School.

Complaint # 2:

Salesian School parents employed by the Watsonville Fire Department perform the school fire-safety inspections at the school.

Investigation Findings:

The City of Watsonville Fire Department does not perform fire-safety inspections at the Salesian School and does not have jurisdiction over the school. Fire-Safety inspections at the school fall under CDF/Santa Cruz County Fire Department jurisdiction. The CDF Corralitos Fire Station or the Fire Marshal's Office conduct fire-safety inspections at the school. Please refer to the letter from Deputy Fire Marshal Clare Frank to Code Compliance Investigator Gustavo Gonzalez and Sister Charlotte Greer attached and incorporated into this letter as **Attachment A**.

Complaint # 3:

The Salesian School failed to obtain Environmental Health Department sewage clearance to exceed the 200-person limit established by the Santa Cruz County Environmental Health Department in Use Permit 78-1539-U, Condition # 4

Investigation Findings:

The Salesian School did not obtain explicit Environmental Health clearance for 200 persons. However, the Salesian School is in substantial compliance with Use Permit 78-1539-U, Condition #4 because the 1983 septic system upgrade improved sewage capacity to accommodate a school population of 250. No enforcement action will be initiated by the Environmental Health Department. However, any future use permit will require that the septic system be evaluated and brought up to standards for the proposed level of use.

Please refer to the memo from Land Use and Water Quality Program Coordinator John Ricker of the Santa Cruz County Environmental Health Department attached as **Attachment C**.

Complaint # 4:

The Salesian School failed to comply with carpool and busing requirements established by the Santa Cruz County Planning Department: students are not bused to school as required: and school traffic exceeds the 25 vehicles per day limit

Investigation Findings:

The Salesian School maintains an ongoing carpool program and is in compliance with Condition #2 of Use Permit 78-323-U. Students are not strictly required to be bused to school; and county use permits do not limit school traffic to 25 vehicles.

Use Permit 78-323-U was obtained on June 16, 1978 to allow the operation of a school in existing buildings for grades K, 1,5,6,7, and 8 for a maximum of 90 students. Please refer to **Attachment B**. Condition #2 of this permit shows: *"The applicant shall submit a plan for staff approval for busing or carpooling of all students from Enos Lane to a safe facility. It is the intent of the plan to minimize school traffic on Enos Lane. The approved plan shall remain in effect during the operation of the school."* On July 3, 1979, Use Permit 78-1539-U was obtained to allow expansion of the school to 125 students (grades K-8). Please refer to **Attachment D**. Condition #2 shows: *"Continuance of a carpool program."*

The Salesian School is in compliance with carpool conditions set forth in Use Permit 78-323-U and 78-1539-U. County records show that on September 6, 1978, the school submitted a carpool schedule to fulfill Use Permit 78-323-U, Condition #2. Please refer to **Attachment B**. At the time, student enrollment was limited to 90 students. The schedule shows a total of 15 carpools and names of parent drivers. At the time, 9 parents were exempt from carpool participation because of unique circumstances. In total, it was represented that there were at least 24 vehicles driving students to and from school. The schedule was submitted as evidence that a carpool plan was implemented and accepted by Santa Cruz County as fulfilling the intent of Condition #2. The school complied with Use Permit 78-323-U, Condition #2, so no further evidence of a school carpool plan was required thereafter.

On August 13, 2003, prior to the start of the academic school year, Code Compliance Investigator Gustavo Gonzalez met with Salesian School officials and discussed the school's carpool program. School officials stated there are 208 students registered for the 2003-2004 academic year and represented that the majority of students carpool to school in compliance with school policy. Only those families living outside of the area are exempted from participation. Student drop-off is staggered on the 1<sup>st</sup> day of class to allow parents to acquaint themselves with children's classrooms. A typical morning drop-off was described as fluid- parents driving around the school's circular driveway, stopping to let students out of the vehicles, and then driving off. A typical afternoon pick-up was described as less fluid, but organized to a high degree- parents arrive ½ hour early and stage vehicles around the circular driveway. Students get in to their designated vehicles upon dismissal. When all staged vehicles are loaded, the vehicles leave the site as a caravan down Enos Lane, leaving the circular driveway open for any remaining vehicles. On occasion, school traffic spills onto Enos Lane and is directed to park off to the side of the road.

Investigator Gonzalez was provided with a copy of a school questionnaire sent to parents to facilitate carpooling to the school as evidence of the school's commitment to carpooling. No precise figures were provided on the number of carpools participating or the number of families exempted. However, it is clear that the number of vehicles driving students to and from school has increased significantly since 1979 with the increase in student enrollment.

Student busing is not mandatory. Use Permit 78-323-U, Condition #2 allowed the option of busing or carpooling students to the school. School officials said that they opted for a carpool program over busing in response to input from neighbors at the 1979 Planning Commission and Board of Supervisors Public Hearings. Use Permit 78-1539-U required the continuance of a carpool program. The Santa Cruz County Planning Commission heard use Permit Application 78-1539-U on May 2, 1979 and May 16, 1979. The Santa Cruz County Board of Supervisors heard the application on July 3, 1979. Staff reports show that both the Planning Commission and Board of Supervisors considered, but declined to incorporate alternative conditions, which would have strictly required the busing of students. Thus, use permits do not mandate student busing.

School traffic is not limited to 25 vehicles per day. Staff reports for Use Permit Application 78-1539-U show an alternative condition was considered by the Planning Commission and the Board of Supervisors, which would have limited carpool traffic to 25 cars for the 1978-79 school year. The hearing bodies declined to incorporate this condition into the Use Permit 78-1539-U. Therefore, no 25-vehicle limitation was ever established.

While the Salesian School is not in violation of the express condition of their Use Permit that deals with carpooling and busing, the increase in enrollment beyond the allowed enrollment level has added traffic to Enos Lane and the internal circulation roads within the school which has compounded the emergency access and evacuation issues identified by the Fire Department.

Complaint # 5:

The Salesian School has exceeded the 125-student enrollment limit established by Use Permit 78-1539-U: and over enrollment has caused increased traffic on Enos Lane.

Investigation Findings:

The Salesian School is in violation of exceeding the 125-student enrollment limit established by Use permit 78-1539-U. Over enrollment at the school has contributed to increased traffic on Enos Lane.

School officials represented that there were 208 students currently registered at the school. The face of Use Permit 78-1539-U shows: "*Use Permit to allow expansion of school to 125 students (grades K-8) ...*"

Use Permit Application 78-1539-U shows that the school's original plan was to expand enrollment to 250 students to include grades K-12 in existing buildings. Planning staff recommended deferring the high school portion of the project. Minutes from the May 16, 1979 Planning Commission Hearing and alternative conditions shown in the Use Permit 78-1539-U staff report show that both the Planning Commission and Board of Supervisors considered, but declined to approve the 250-student enrollment expansion. Instead, approval was granted to expand enrollment to 125 students (grades K-8).

On August 13, 2003, school officials provided Investigator *Gonzalez* with a copy of the Negative Declaration prepared for Use Permit Application 78-1539-U and copies of executed road improvement contracts. The Negative Declaration project description shows the school's original proposal- to increase enrollment to 250 (grades K-12) in existing buildings. Condition #2 of the Negative Declaration **shows** that the number of students may be increased to 250, grades K-12, when the roadway **is** improved or when an assessment district to accomplish road improvements was formed. It appears school officials have mistakenly relied on the Negative Declaration document to increase school enrollment beyond the 125 students limit. A Negative Declaration **is** not an entitlement. The express language of the Use Permit, which was subsequently approved by the County Board of Supervisors, Use Permit 78-1539-U, clearly limits student enrollment to 125 students (grades K-8) and is the controlling legal document in this matter.

School traffic on Enos Lane has increased over the years as a result of over enrollment and will be addressed by any future use permit amendment.

Complaint # 6:

The Salesian School failed to comply with their summer camp use permit (Use Permit 75-600-U). which limits student population to 90 students: **and** summer camp traffic exceeds the 20 vehicles allowed.

Investigation Findings:

The Salesian School is in substantial compliance with Use Permit 75-600-U. There is no evidence that the school is exceeding the 90-student summer camp limit. Summer camp traffic was not limited to 20 vehicles.

Use Permit 75-600-U was obtained on August 14, 1975 to establish a novitiate consisting of a chapel, staff quarters, kitchen, dining room, three dormitories containing 30 units each, and to operate a summer camp with recreation facilities (including a swimming pool) for 70 to 90 girls. Please refer to Attachment E.

School officials assert that their summer camp program has continuously been limited to 90 students in compliance with Use Permit 75-600-U. No substantive evidence was produced to refute this assertion. There are 8 conditions of approval attached to this permit. None of the conditions limit traffic. The discussion section of the Planning Commission Staff Report dated August 6, 1975 shows campers would be bused or driven in cars to the camp. 20 cars were anticipated to visit campers on intervening Sundays. The discussion does not mention limiting traffic to a specific number of vehicles. It appears the current summer traffic has increased from that anticipated in 1975. Absent a traffic study, it is unclear by how much. Summer traffic now includes increased traffic from functions related to the summer camp, retreats, and other extracurricular school functions. However, this traffic increase does not violate conditions of Use Permit 75-600-U.

Complaint # 7:

The Salesian School is using dormitories as classrooms ~~without~~ County Approval.

Investigation Findings:

Salesian School's use of buildings intended as dormitories for classrooms is an approved use.

Records show that Use Permit 75-600-U was obtained on August **14**, 1975 to establish a novitiate. This included, among other things, the construction of three dormitories containing 30 units each. On June 16, 1978, Use Permit 78-323-U **was** obtained to allow the operation of a school in existing buildings. On July 3, 1979, Use Permit 78-1539-U was obtained to increase enrollment. No new buildings were proposed. Minutes from the Planning Commission Hearing on May **16**, 1979 for Use Permit 78-1539-U show that School Representative Sister Cesira informed the Planning Commission that a portion of the sisters' residence (dormitories) had been previously converted for use as classrooms. This is consistent with the intent of Use Permit 78-323-U, which allowed classrooms to be conducted in then existing buildings, including dormitories. Thus, County approval was obtained to use dormitories as classrooms.

**CORRECTIVE ACTION IS REQUIRED TO RESOLVE THE OVER ENROLLMENT  
USE PERMIT VIOLATION**

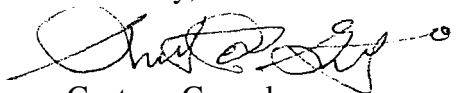
Our investigation has documented *two* violations at the Salesian school- fire safety violations and student enrollment in excess of the allowed limit. Both of these violations must be corrected.

To resolve the fire safety violation, you must comply with the corrective order issued by the Fire Marshal.

To resolve the over enrollment use permit violation, the Salesian '**School**' must either reduce school enrollment to 125 students or obtain a Use Permit Amendment to exceed the 125-student limit.

Please contact me within 10 days of receipt of this letter to arrange a meeting between school officials, fire officials, and county officials in order to establish a plan and timeline to achieve compliance. Thank you in advance for your cooperation.

Sincerely,



Gustavo Gonzalez,  
Code Compliance Investigator

Enclosures

CC: County Supervisor Ellen Pine  
Clare Frank, Deputy Fire Marshal  
John Ricker, Land Use and Water Quality Program Coordinator  
David Lee, Assistant Planning Director  
David Laughlin, Code Compliance Principal Planner  
Cathy Graves, Project Review Principal Planner



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# COUNTY OF SANTA CRUZ

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## SANTA CRUZ COUNTY FIRE DEPARTMENT

6059 HIGHWAY 9  
P.O. DRAWER F-2  
FELTON, CA 95018  
(831)335-5353

**JOHN FERREIRA**  
FIRE CHIEF

Gustavo Gonzalez, Code Compliance Investigator  
County of Santa Cruz Planning Department  
701 Ocean Street, Suite 400  
Santa Cruz, **CA** 95060

Sister Charlotte  
Salesian Elementary and Junior High School  
605 Enos Lane  
Corralitos, CA 95076

Subject: *Complaint Regarding the Salesian Sisters School*

This letter sets forth the Fire Marshal's Office response to the citizens' complaint about the Salesian Sisters School on Enos Lane in Corralitos. While the complaint mentions several issues, only two fall within the purview of this office: (1) emergency evacuation and access, and (2) fire inspection jurisdiction. This letter addresses both of those issues and sets forth potential solutions for compliance and future use/growth. It also includes a corrective order requiring the school to remedy existing fire code violations.

1. Emergency Access and Evacuation

The citizens' complaint states that the traffic congestion created by the school "will make it difficult for emergency responders to travel to an emergency in a timely manner." The complaint also raises concerns about "delays and difficulties in getting to and from our homes especially if residents face the need to evacuate."

After receiving this complaint, CDF/County Fire officials investigated the access and evacuation allegations by driving up to the school on numerous occasions to determine whether traffic congestion in the area constituted a fire code violation. The engine company from the CDF Corralitos Fire Station conducted the first site inspection during the afternoon "school commute." The engine company reported that it was caught-up in a severe traffic jam and could not get back down Enos Lane without a significant delay due to the number of cars obstructing Enos Lane and the access driveway around the school. They indicated that there was no room to pass so that even if they had used the lights and sirens, there would have been a serious delay.

EXHIBIT E

Attachment A

The same engine with different staff conducted the next site inspection the following week. This engine company found no problems with the traffic on Enos Lane, reporting that traffic kept flowing and that the school was very organized. This engine company, however, did not report on the access road around the back of the school.

After these somewhat conflicting reports, the Deputy Fire Marshal drove to the school and found no obstruction on Enos Lane, but observed that the access route behind the school was impassable due to the number of cars parked along it. The Battalion Chief for that area confirmed that this was typical for any given school day.

Shortly thereafter, Sister Charlotte from the Salesian Sister's School called the Fire Marshal's Office to discuss the traffic problem. She spoke with the Deputy Fire Marshal and stated that the school has an organized carpool program that uses the access road around the school to stage the cars, which in turn keeps Enos Lane free from undue congestion. Sister Charlotte also reported that the access road around the school was never intended to be a fire access road and it therefore need not be kept clear.

The Deputy Fire Marshal followed-up on this by reviewing some older building plans for the site to determine if the driveway around the school was for emergency access or for a dedicated carpool route as stated by Sister Charlotte. The Deputy Fire Marshal made a clear finding that the driveway was designed and approved as an emergency access route around the rear of the school. This is bolstered by the fact that there are three hydrants located at various points along this access road, and there are "No Parking" signs located along the access road, both indicating that the road was designed and approved to accommodate fire apparatus, not cars staged for a carpool program.

The investigation revealed that the access road behind the school is repeatedly obstructed with cars to the extent that emergency response and evacuation is hindered. This violates numerous applicable code provisions.<sup>1</sup>

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<sup>1</sup> There are four specific fire code provisions that address road obstructions:

- (1) California Fire Code § 902.2.4 ("The required width of a fire apparatus access road shall not be obstructed in any manner, including parking of vehicles. **Minimum** widths and clearances ... shall be maintained at all times.")
- (2) California Code of Regulations, Title 19, § 3.05 ("Required access roads from every building to a public street shall be ... unobstructed and maintained **only as** an access to the public street.")
- (3) California Code of Regulations, Title 19, § 1273 (Road and street networks, whether public or private ... shall provide for safe access for emergency wildland **fire** equipment and civilian evacuation concurrently, and shall provide unobstructed traffic circulation during a wildfire emergency....")
- (4) Santa Cruz County Code §7.92.190 (Fire apparatus access roads shall have an unobstructed width ....")

EXHIBIT

E

Attachment A

When the Fire Marshal's Office is aware of such violations, it has the authority and duty to issue a corrective order to ensure timely abatement of the ensuing hazard.<sup>2</sup> Accordingly, the Fire Marshal's Office intends to issue a corrective order notifying the school that it is required to abate the fire access and public evacuation hazard created by the school-related traffic that obstructs the ingress and egress route around the Salesian Sisters School.

The Fire Marshal's Office understands that this is not a simple issue for the school administrators who will have to come up with some feasible alternatives in a relatively short period of time. As such, the Fire Marshal's Office would like to work in a collaborative manner with the school and County Code Compliance office to explore overlapping solutions that may resolve all of the issues raised in the citizens' complaint letter. In this same vein, the Fire Marshal's Office would like to present its corrective order in conjunction with any corrective orders other agencies need to issue with regard to this matter so that all parties are working on the same timeline and sharing solutions.

## 2. Fire Inspection Jurisdiction

The citizens' complaint voices concerns about Watsonville Fire Department personnel performing the fire-safety inspections at the Salesian Sisters School. The inference is that Watsonville Fire Department personnel are signing-off on fire-safety inspections at the school because those personnel have children who attend the school and they do not want to see the school shut-down. This inference and all related allegations are false.

The school is within CDF/Santa Cruz County Fire jurisdiction, and as such CDF/Santa Cruz County Fire has the sole responsibility and authority to conduct the fire-safety inspections. Oftentimes the engine company at Corralitos will conduct these inspections, while other times (depending on staffing levels) the Santa Cruz County Fire Marshal's Office will conduct the inspection. The Fire Marshal's Office conducted the last inspection and the report indicated that there were no deficiencies with aspects unrelated to fire access. Passing the inspection on all other counts did not, however, resolve the access road issue we are addressing here.

## 3. Solutions for Future Use/Growth

From the fire department perspective, the main issue here is the danger of impeding emergency services or evacuation. Currently, the congestion on Enos Lane does not appear to rise to the level of a fire code violation. Presumably, this is because the traffic is diverted from Enos Lane onto the access driveway surrounding the school. But if the cars are not allowed to park along the back driveway, they will spill

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<sup>2</sup> See e.g., Cal. Fire Code § 103.4.1.1; Santa Cruz County Code § 7.92.300 *et seq.*

onto Enos Lane. This means that the present infrastructure is insufficient to handle the number of cars presently traveling to and from the school.

This leaves two solutions: (1) reduce the number of cars that travel the road during peak periods, or (2) increase the dimensions of the road to allow for increased traffic flow. To decrease the number of cars, the school may wish to consider an enhanced carpooling or busing program. To increase the traffic flow, the school could widen either Enos Lane or the driveway surrounding the school to meet current fire access code requirements. Widening the access road around the school may be the most feasible because it involves a single parcel instead of an entire road (Enos Lane). If the school can widen the access driveway around the school so that cars can park along the side without impeding emergency ingress or egress, this might provide a sufficient infrastructure for the current traffic.

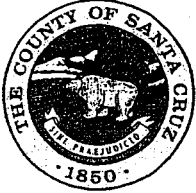
These solutions, however, only apply to maintaining the presently allowable enrollment. If the school pursues obtaining a use permit for more than the current 125 allotted students or a permit for any new buildings, this office will be obligated to impose all current fire code requirements. This means that the school would likely have to widen Enos Lane as well as the access road that surrounds the school from the current 16' in width to 20' in width. It also means that parked cars would not be allowed on any portion of that width, as it would be dedicated solely for ingress and egress. Additional parking turnouts would be required to accommodate the carpool staging.

\* \* \* \* \*

Hopefully, this clarifies the extent of the fire-safety issues at Salesian Sisters School and the action needed to abate current hazards and avoid future infringements. The corrective order setting forth applicable deadlines for curing the noted violations is set forth on the following page. If you have further questions regarding this matter, please do not hesitate to contact the Fire Marshal's Office.

EXHIBIT E

Attachment A



# COUNTY OF SANTA CRUZ

## SANTA CRUZ COUNTY FIRE DEPARTMENT

6059 HIGHWAY 9  
P.O. DRAWER F-2  
FELTON, CA 95018  
(831) 335-5353

**JOHN FERREIRA**  
FIRE CHIEF

### **CORRECTIVE ORDER**

This corrective order addresses emergency ingress and egress problems presented by the increased traffic congestion at your facility, as set forth in the attached letter. The emergency ingress and egress problems violate the following code sections:

- California Fire Code § 902.2.4
- California Code of Regulations, Title 19, § 3.05
- California Code of Regulations, Title 19, § 1273
- Santa Cruz County Code §7.92.190

When such violations exist, this office has the duty and the authority to issue a corrective order to ensure timely abatement of the hazard. (See Cal. Fire Code 103.4.1.1; Santa Cruz County Code § 7.92.300 *et seq.*)

Accordingly, you are hereby required to abate the fire access and public evacuation hazard created by the school-related traffic that obstructs the ingress and egress routes to, from, and around the Salesian Sisters School. This means that the fire access routes leading to, from, and around the Salesian Sisters School cannot be obstructed by school-related parked vehicles or traffic or other obstructions that will delay ingress/egress on those access routes.

Because the hazard presents serious emergency access and evacuation issues, imminent corrective action is necessary. Therefore, you are required to make a hazard abatement plan that will cure the noted violations. The plan must be prepared and ready for joint review by this agency and the County Planning Department by February 2, 2004. The plan shall provide for the hazard to be completely abated by March 1, 2004. If the hazard is not permanently abated by this date, you will be cited under the applicable state and local laws. (See e.g., Santa Cruz County Code §§ 1.12, 1.14; Santa Cruz County Bail Schedule; Cal. Fire Code 103.4.4.)

We do understand that compliance with this order may cause some operational issues for the school, but life safety must remain our paramount concern. We will make ourselves available to answer any questions you may have or to otherwise assist you so that together we can ensure the safety of the students, staff, and community members at and near the Salesian Sisters School on Enos Lane. Thank you for your cooperation.

Sincerely,

John Ferreira, Fire Chief

By Clare Frank, Deputy Fire Marshal

Attachment A

5 EXHIBIT E  
- 152 -

# COUNTY OF SANTA CRUZ

USE

# - PERMIT -

NUMBER 78-323-U

ISSUED TO George Davis for Salesian Sisters  
2600 East Lake Avenue  
Watsonville, CA 95076

PARCEL NO.(S) 107-121-60

LOCATION OF USE On the west side of Enos Lane about 1 mile north of Hanes Road, Corralitos Area.

PERMITTED USE Use Permit to amend Use Permit No. 75-600-U by allowing the operation of a school (in existing buildings) for grades K, 1, 5, 6, 7, and 8 for maximum total of 90 students, subject to the following conditions:

Prior to exercising any rights granted by this permit:

1. Enos Lane shall be improved per Exhibit A. The first 300 feet of Enos Lane shall be widened to 16 feet in width with oil and screenings over 5 inches of base rock. A barrier shall be provided for the drainage ditch along the west side of Enos Lane, subject to CRA Director review and approval.
2. The applicant shall submit a plan for staff approval for busing or carpooling of all students from Enos Lane to a safe facility. It is the intent of the plan to minimize school traffic on Enos Lane. The approved plan shall remain in effect during the operation of the school.
3. The applicant shall place a standard stop sign on Enos Lane at its intersection with Hanes Road.
4. The applicant shall comply with all conditions of the County Fire Marshal.
5. Prior to consideration of any further Use Permit, the applicant shall apply to rezone the property to the appropriate district.

JW:gh

THIS PERMIT WILL EXPIRE ON June 16, 1979 IF IT HAS NOT BEEN EXERCISED.

NOTE: APPLICANT MUST SIGN, ACCEPTING CONDITIONS, OR PERMIT BECOMES NULL & VOID.

SIGNATURE OF APPLICANT

SANTA CRUZ COUNTY ZONING ADMINISTRATOR

BY

RICHARD PEARSON, CHIEF OF DEVELOPMENT PROCESSING

DATE 6-16-78

EXHIBIT E

March 10, 1978

March 10, 1978

Salesian Sisters Novitiate  
605 Enos Lane  
Corralitos, California 95076

Subject: Construction of Educational Unit  
A.P.N. 107-121-60

Dear Sisters:

Upon review of the plans for the above proposed, the following are the requirements of this office in conjunction with the California Department of Forestry.

1. Public Access: Develop Enos Lane to not less than 16 feet in width, all weather surface from the 3 way intersection to the developed access fronting on the Salesian Sisters project. (Intersection Point - sign indicating Salesian Sisters to the left).
2. Fire Alarm System: Install an approved fire alarm system as per Section B 810, Part 2, Title 24, California Administrative Code. Every group C occupancy, including buildings used for assembly purposes, shall be provided with a dependable method of sounding an alarm of fire.
3. Portable Fire Extinguishers: Install three (3) 2-A rated Multi-Purpose fire extinguishers. Extinguisher locations to be approved by the California Department of Forestry and this office. Exterior mounted extinguishers will be mounted in approved extinguisher cabinets. Extinguishers will be wall mounted so that the top of the extinguisher handle is not greater than 60 inches from finished floor or grade.

Extinguisher Location:

- 1- extinguisher center of office area corridor
- 2- each side of classroom unit - units 1 & 2 at common wall.

4. Interior Wall and Ceiling Finish:

- |                               |           |
|-------------------------------|-----------|
| a: Enclosed Vertical Exitways | Class I   |
| b: Room or Areas              | Class III |

5

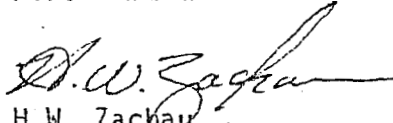
- 6 -

EXHIBIT E

5. Decorative Materials: All drapes, hangings, curtains, drops and all other decorative materials including Christmas trees that **would** tend to increase the **fire** and panic hazard, shall be made from a **non-flammable** material, or shall be treated and maintained in a flame-retardant condition **by** means of a flame-retardant solution or process approved by the State Fire, Marshal.
6. Smoking will not **be** permitted in any public, **private** or parochial school building.
7. Access Roads: Required **access** roads from every building to a **public** street **shall** be all-weather **hard surface** (suitable for use by fire apparatus) **right-of-way** not less than 20 feet in width. Such right-of-way **shall** be unobstructed and maintained **only** as access to the public way.

If this office may be of further assistance, please contact us at (408) 425-2626.

Sincerely,  
Mervin M. Angel  
Fire Marshal

  
By H W Zachary  
Senior Fire Inspector

MMA/HWZ :rm

cc: California Department of Forestry  
G.W. Davis Inc.  
Ifland Engineering Inc.

Jan 10,

Sister Mary Helen

Dear Mr. Pearson,  
This is to fulfill  
item #2 of our permit  
All parents are willing  
to cooperate

Thanking you -  
Mrs. Helen Pearson



POOL NO. 1 - APTOS - MEETS AT INDIVIDUAL HOUSES - 4 children

Mrs. Kimes, Cuesta Drive, 688-6282 (8th)  
Mrs. Holley, 190 Thunderbird Drive, 688-3572 (5th)  
Mrs. Brown, 109 Baldwin Drive, 688-1432 (5th)  
Mrs. Morello, 415 Lock Drive, 688-6507 (8th)

POOL NO. 2 - SANTA CRUZ - MEETS AT INDIVIDUAL HOUSES - 2 children

Mrs. Mathias, 698 Graham Hill Rd., Santa Cruz 426-0231 (8th)  
Mrs. Meyer, 126 La Canada Way, Santa Cruz, 438-3286 (8th)

POOL NO. 3 - CORRALITOS - MEETS AT MRS. LESTER'S HOUSE - 7 children

Mrs. Lester, 1015 Pleasant Valley Rd., 724-6772 (6th)  
Mrs. Lineaweaver, 80 Pleasant Heights Dr., 722-8876 (1st)  
Mrs. Bernal, 1333 Hames Rd., 722-6613 (1st)  
Mrs. Carroll, 479 McDonald Rd., 684-1230 (Kindergarten, all day)  
Mrs. Benich, 122 Ranchitos del Sol, 684-1412 (Kindergarten)  
Mrs. Liddicoat, 400 Skylark Lane, 722-4049 (Kindergarten)  
Mrs. Gallagher, 384 Hames Rd., 722-6301 (Kindergarten)

POOL NO. 4 - CORRALITOS - PRE-SCHOOL CAR POOL - MEETS AT MRS. LESTER'S HOUSE

Mrs. Lineaweaver, 80 Pleasant Heights Dr., 724-6772  
Mrs. Brookins (?), 33 Quail Way - unlisted telephone  
Mrs. Benich, 122 Ranchitos del Sol, 684-1412

POOL NO. 5 - CORRALITOS - MEETS AT INDIVIDUAL HOUSES - 5 children

Mrs. McKiernan, 310 Orchard View, 724-5990 (3 children - Kindergarten, 6th, 5th)  
Mrs. Daly, 747 Amesti Rd., 724-2702 (2 children - 8th and 5th)

POOL NO. 6 - CORRALITOS - MEETS AT INDIVIDUAL HOUSES - 6 children

Mrs. Grizich, 75 Brodin Lane, 724-7936 (2 children - Pre-school and Kindergarten)  
Mrs. Barrett, 93 Brodin Lane, 724-6611 (2 children - 1st and 8th)  
Mrs. Anderson, 220 Hames Rd., 722-1761 (1st)  
Mrs. Morikawa, 400 Hames Rd., 724-4309 (5th)

POOL NO. 7 - CORRALITOS - MEETS AT INDIVIDUAL HOUSES - 5 children

Mrs. McGinnis, 22 Corrala Vista Dr., 724-9248 (2 children - 5th and 7th)  
Mrs. Statua, 6 Vallecitos Lane, 724-3898 (2 children - 5th and 6th)  
Mrs. Brautovich, 19 Corrala Vista Dr., 724-2113 (7th)

POOL NO. 8 - CORRALITOS - MEETS AT ALLEN LANE AND POPPY HILL - 5 children

Mrs. Magas, 218 Allan Lane, 722-5428 (Kindergarten)  
Mrs. Hickey, 470 Poppy Hill, 728-2488 (Kindergarten)  
Mrs. Madesko, 466 Eureka Canyon Rd., 722-5991 (Kindergarten)  
Mrs. Adam, 365 Eureka Canyon Rd., 688-4361 (Kindergarten)  
Mrs. Cinelli, 205 Allan Lane, 722-4359 (Kindergarten)

VOLS. NOS. 9 and 10 - CORRALITOS - MEETS      FOUR CORNERS MARKET - 10 children

rs. Davis, 175 Mt. Madonna Rd., 722-5304 (K) (she has a van)  
rs. Dolly, 120 Amesti Rd., 722-5951 (5th)  
rs. Galassi, 487 Poppy Hill, 722-4938 (7th)  
rs. August, 280 Allan Lane, 724-0987 (7th)  
rs. Beller, 124 W. Phillips Rd., 722-1191 (7th)  
rs. Van Over, 137 Pannell Ct., 722-8259 (3 children-7th, 5th, 1st) (she has a va  
rs. Sida, 18 Corrala Vista, 722-1168 (1st)  
rs. Little, 36 Littleway Lane, 722-6238 (1st)

VOLS NOS. 11 and 12 - FREEDOM - MEETS AT P. V. SHOPPING CENTER - 11 children

rs. Treseler, 286 Sunny Hills Dr., 728-3204 (5th) would like to drive a.m.  
rs. Gomez, 34 Shady Oaks Dr., 722-5681 (2 children-6th and an all day Kindergart  
rs. Cunha, 6 Valdez Ln., 724-9067 (1st)  
rs. Newell, La Casa Court, 722-8404 (2 children - 7th and 6th)  
rs. Carloni, 33 La Casa Court, 724-9196 (8th) would like to drive p.m.  
rs. Murray, 103 Buena Vista Dr., 724-9372 (7th)  
rs. Skiscim, 160 Arthur Rd., 724-4247 (8th) (she doesn't drive - Mrs. Gomez is  
going to take responsibility for her in pool)  
rs. Gallardo, 725 Larkin Valley Rd., 724-6094 (2 children - 7th and 8th)  
she works and would like to drive a.m.

POOL NO. 13 - FREEDOM - MEETS AT INDIVIDUAL HOUSES - 5 children

rs. Clifton, 270 Bowker Rd., 724-1647 (2 children - 5th and 7th)  
rs. Cordero, Calabasas Rd., 722-5559 (2 children - 5th and 7th)  
rs. Valentine, 314 Buena Vista Dr., 724-7185 (7th)

POOL NO. 14 - MEETS AT EAST LAXE SHOPPING CENTER - 6 children

rs. Wood, 516 San Miguel Canyon Rd., 724-5415 (6th)  
rs. Daniel, 518 San Miguel Canyon Rd., 722-4904 (6th)  
rs. Skemp, 136 Becker Pass Rd., 722-1850 (2 children - 7th and 8th)  
rs. W. Alaga, 45 Eaton Ave., 722-1600 (6th)  
rs. Erbe, 880 Lake Village Dr., 728-3098 (1st)

POOL NO. 15 - MEETS AT INDIVIDUAL HOUSES - 6 children

rs. P. Alaga, 18 Vallecitos Ln., 722-5108 (3 children 5th, 5th and Kindergarten)  
rs. J. Alaga, 261 Corralitos Rd., 722-5920 (Kindergarten)  
rs. Kidd, 641 Amesti Rd., 728-1111 (5th)  
rs. Ertz, 671 Lakeview Rd., 722-6154 (Kindergarten)

PRE-SCHOOL MOTHERS THAT WILL BE DRIVING THEIR OWN CHILDREN UP AT 1:00

Mrs. Sullivan, 598 Green Valley Rd., 728-1258  
Mrs. Davidson, 350 Redwood Rd., 724-8182  
Mrs. Allen, 378 Corralitos Rd., 722-0618  
Mrs. Kreiberg, 2745 Tierra Way, 724-5431

PARENTS THAT CAN'T HOOK INTO CAR POOLS FOR VARIOUS REASONS (i.e. personal  
schedules, working hours, etc.)

Mrs. Bassman, 17 Stender, 724-7970 (6th)  
Mrs. Imlay, 131 Old Adobe, 722-5770 (1st)  
Mrs. Sagundel, 416 San Juan Rd., 722-2869 (2 5th graders) will car-pool in Oct  
Mrs. Beckett, 199 Eureka Canyon, 722-4393 (7th) child will walk up Enos Lane  
Mrs. Hove, 1855 Enos Lane, 724-7931 (K) child will walk down Enos Lane


EXHIBIT E

**COUNTY OF SANTA CRUZ  
HEALTH SERVICES AGENCY  
Environmental Health Service**

**INTER - OFFICE MEMO**

DATE: December 17, 2003

TO: Dave Laughlin, Planning

FROM: John Ricker, Environmental Health 

**SUBJECT: Salesian Sisters School**

---

You have requested a follow-up memo on the status Environmental Health concerns with regard to the Salesian Sister School, specifically regarding compliance with use permit 78-1539-U, condition #4, which states: "When more than 200 people are in residence, sewage clearance shall be obtained from Environmental Health." Although the school never obtained explicit approval for the current population level, I believe the school is in substantial compliance with this condition because the 1982 septic system upgrade improved sewage capacity to accommodate a school population of 250. The septic system is performing adequately and no enforcement action is required by the Environmental Health Services at this time. However, any substantial use permit amendment will require that the septic system be evaluated and brought up to standards for the proposed level of use as necessary.

Our files show that the septic system was initially installed in the 1970's, with an addition in 1982. In 1979, EHS staff recommended that the system would need to be upgraded if the population went over 200 (memo from L. Raynor Talley, Environmental Health Director to Don Bussey, Community Resources Agency, dated May 4, 1979). The leach field was doubled in size in 1982 (memo from Kenneth Titus, Titus Septic Tank Service to Robert D. Carey, R.S., Santa Cruz County Supervising Public Health Sanitarian, dated October 1, 1989). This addition would have brought the system up to standards at that time for 250 students. In 1989, the school received approval from EHS to add a 12-bedroom dwelling for the sisters, with the finding that the septic system for the overall facility met current standards at that time. The student population at that time is not indicated, but it had been projected to be at 250 in earlier documents (the 1979 memo). It would thus appear that approval of the facility, septic system, and population as they existed in 1989 was obtained from our office at that time, although they have not obtained explicit clearance for a specific student population number.

The leach field presently appears to meet current standards for size, but the septic tank is undersized and we would likely require enhanced treatment if there was a need to bring the system up to current standards. This would only be required in the event of a septic failure, or expansion of use. The tank has been pumped regularly and no septic problems have been noted by the pumper or by our staff. An inspection of the septic system was conducted by staff earlier this summer. In the past the school has routinely obtained annual permits to operate a summer day camp and the onsite food facilities. We have performed annual inspections of those facilities.

Please contact me if you need any more information on this topic.

May 7, 1979

Community Resources Agency, Attention: **Don Bussey**

L. Raynor Talley, Director, Environmental Health

**SEWAGE DISPOSAL FOR SALESIAN SISTERS' SCHOOL**  
**APN 107-121-60 (CRA APPLICATIONS 78-1539 U & 78-96352)**

**107-571-01**

The following is our appraisal of the existing septic tank system serving the facility in relation to the proposed incremental increase in usage:

**SEPTIC TANK SYSTEM FACTORS**

Septic tank = **4,500** gallons  
Leaching area = **5,024** square feet  
Allowed sewage loading rate = **1** gallon of sewage per square feet of sidewall area per day.  
Sewage loading estimates from County regulations

- residents = **50** gallons per person per day
- day use = **20** gallons per person per day

Note: The additional weekend occupancy estimated at 15 persons is not included in the calculations because of the intermittent loading and some residents leave the premises on weekends.

**PRESENT LOADING FACTORS**

87 day use persons @ 20 gallons per capita per day (gcd)	- 1,740
11 residents @ 50 gcd	----- 550
Total daily volume	<u>2,290 gals.</u>

Sewage leaching rate = **0.5** gals per square foot per day  
required septic tank size = **2,843** gallons.

**1979-1981 USAGE**

125 day use persons, @ 20 gcd	----- 2,500
11 residents @ 50 gcd	----- 550
Total daily volume	<u>3,050 gallons</u>

Sewage leaching loading rate = **0.6** gallons per square foot per day.  
required septic tank size = **3,413** gallons.

**1981-1982 USAGE**

150 day use persons @ 20 gcd	----- 3,000
11 residents @ 50 gcd	----- 550
Total daily volume	<u>3,550 gallons</u>

Sewage leaching loading rate = **0.7** gallons per square foot per day.  
required septic tank size = **3,788** gallons.

May 7, 1979

1988 - 1989 USAGE

250 day use persons @ 20 gcd -----	5,000
20 residents @ 50 gcd -----	<u>1,000</u>
Total daily volume	6.000

Sewage leaching loading rate = 1.2 gallons per square foot per day.  
required septic tank size = 5,625 gallons.

CONCLUSIONS AND RECOMMENDATIONS

The existing septic tank system should adequately serve the proposed occupancy to the year 1982. The proposed ultimate occupancy will not comply with County regulations based on the sewage loading estimates.

It is recommended that the use permit contain a condition that prior to occupancy by more than 200 persons, including both residents and day use persons, the permittee shall obtain approval for sewage disposal from the Environmental Health Service.

LRT:ljb

cc: D. Roger Houston, District Sanitarian

# TITUS SEPTIC TANK SERVICE

Kenneth W. Titus, Owner  
SANITATIONS SYSTEMS CONTRACTOR

(408) 688-2245 4 License No. 207735

Mailing Address: 5800 Freedom Boulevard, Aptos, California 95003,

Re: ~~APN 107-121-60~~

107-571-01

Oct. 1, 1989

Santa Cruz County  
Environmental Health Service  
701 Ocean Street  
Santa Cruz, Calif. 95060

Attention Mr. Robert D. Carey, R. S.  
Supervising Public Health Sanitarian

Dear Mr. Carey,

This letter is regarding the work we have done for the Salesian Sisters School at 605 Enos Lane, Watsonville, Calif.

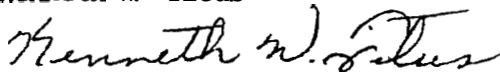
We **pumped** the septic tank the first time Dec. 14, 1978, 4,500 gallons.

We **pumped** the septic tank the second time Aug. 27, 1982, 4,500 gallons. At this time we installed four new leach lines with a total of 6,000 square feet of leaching area. See as built drawing. We **pumped** the tank the third time Dec. 3, 1986, 3,000 gallons. Did not **pump** rear compartment. On Sept. 29, 1989 we **pumped** the septic tank and installed a concrete block riser on the rear compartment lid. See pumping and inspection report.

I will discuss their proposed addition of a twelve room sleeping quarters in person. There would be no more occupants than at the present time.

Thank you for this opportunity of serving you and the Salesian Sisters.

Kenneth W. Titus



cc: Salesian Sisters School  
605 Enos Lane  
Watsonville, Calif. 95076

DATE: 11/20/89 APN 107-571-01  
107-121-60

To: SANTA CRUZ COUNTY PLANNING DEPARTMENT

From: ENVIRONMENTAL HEALTH SERVICE

Re: LAND USE DISCRETIONARY PERMIT APPLICATION

Applicant/Agent Sister Lupe - Salesian Sisters  
Application # 3253-6  
Location 605 Engo Lane, Corralitos  
Subject: New structure to connect to  
existing septic system  
(brief description of proposed land use)

\*\*\*

(present land use)

This application has been reviewed by this Service and we find:

- ☒ That approval will not have an adverse effect on the public health or environment.
- ☐ That approval will be dependent upon the successful completion of the following requirements:

☐ We must recommend denial for the following reasons:

☒ Comments: all septic requirements have been met

*Robert Evans*

DIANE L. EVANS, R. S.  
Director of Environmental Health

CC:  
CC:  
CC:

HSA-482  
5/87

COUNTY OF SANTA CRUZ

USE

**-PERMIT-**

NUMBER 78-1530-U

ISSUED TO George Davis for Salesian Sisters  
2600 E. Lake Avenue 605 Enos Lane  
Watsonville, CA 95076 Watsonville, CA 95076

PARCEL NO.(S) 107-121-60

LOCATION OF USE On the west side of Enos Lane, about 1 mile north of Hames Road, Corralitos Area.

PERMITTED USE Use Permit to allow expansion of school to 125 students (grades K-8), subject to the following conditions:

1. At the time a maintenance agreement is established, a notarized copy shall be submitted for Community Resources Agency staff review and approval.
2. Continuance of car pool program.
3. There shall be no parking on Enos Lane blocking the road when parking exceeds the 30-space capacity of the parking lot.
4. When more than 200 people are in residence, sewage clearance shall be obtained from Environmental Health.

DB:gh

Note: This use permit amends Use Permit 78-323-U.



THIS PERMIT WILL EXPIRE ON \_\_\_\_\_ IF IT HAS NOT BEEN EXERCISED.

NOTE: APPLICANT MUST SIGN, ACCEPTING CONDITIONS, OR PERMIT BECOMES NULL & VOID.

Geo. Davis  
SIGNATURE OF APPLICANT

SANTA CRUZ COUNTY ZONING ADMINISTRATOR

BY Susan Blair DATE 7/12/79  
SUSAN BLAIR, CHIEF/  
DEVELOPMENT PROCESSING

EXHIBIT E

-164-

COUNTY OF SANTA CRUZ

USE

**-PERMIT-**

NUMBER 75-600-D

ISSUED TO G. W. Davis  
2600 East Lake Avenue

Watsonville, CA 95076

PARCEL NO.(S) 107-121-50

LOCATION OF USE

on the west side of Enos Lane, one mile north of Hames Road,  
Corralitos Area

PERMITTED USE

To establish a novitiate consisting of a chapel, staff  
quarters, kitchen, and dining room and three dormitories containing  
30 units each, and to operate a summer camp with recreation facili-  
ties (including swimming pool) for 70 to 90 girls on 57 acres,  
approved subject to the conditions listed on attached page 2.



THIS PERMIT WILL EXPIRE ON August 14, 1976 IF IT HAS NOT BEEN EXERCISED.

NOTE: APPLICANT MUST SIGN,  
ACCEPTING CONDITIONS, OR PERMIT  
BECOMES NULL & VOID.

George A. Davis  
SIGNATURE OF APPLICANT

SANTA CRUZ COUNTY ZONING ADMINISTRATOR

BY George A. Posth DATE 8/14/75  
GEORGE A. POSTH, Chief/  
E-165 - ment Processing

EXHIBIT E

Use Permit No, 75-600-U  
G. W. Davis for Salesian Sisters Novitiate  
APN 107-121-60  
Page 2

#### GRADING

1. Grading shall be kept to a minimum. If more than 100 cubic yards are to be moved, a County grading permit shall be obtained before work begins:
2. Topsoil shall be stockpiled and spread for re-vegetation of cut and fill areas.
3. All graded areas shall be replanted by October 1 of any year in which construction occurs.
4. To minimize erosion, grading and building construction proposed between November 1 of any year and April 1 of the following year shall be subject to review and approval by the Environmental Review Committee.

#### BUILDING PERMITS

5. Before obtaining any building or grading permit, the applicant shall:
  - A. Submit final plans for Planning staff approval; said plans shall include; site plan, elevations, colors, finishes, roof materials, driveways, parking areas for 30 cars, paving, landscaping, and irrigation provisions.
  - B. Submit a written statement from the California Division of Forestry that water storage on the site will be adequate for structural fire protection.
  - C. A sewage disposal system shall be designed and located to meet Environmental Health Service requirements.

#### FINAL INSPECTION

6. Before final inspection of any structure:
  - A. All driveways and parking areas associated with that structure shall be surfaced.
  - B. Planting along Enos Lane shall be completed.
  - C. Water storage for fire protection shall be installed to the approval of the California Division of Forestry.
  - D. Enos Lane from the south property boundary to the entrance driveway opposite the novitiate building shall be improved with a minimum surface 18 feet wide consisting of an oil and screenings seal coat, medium type, on at least 5 inches of aggregate base, Class 2.

#### CONTINUING REQUIREMENTS

7. All vehicles visiting the site shall be parked clear of the Enos Lane 50-foot right-of-way..
8. All Environmental Health Service requirements for the kitchen and food service shall be met.

February 9, 2007

Ella Bisconti  
Strategic Construction Management, Inc.  
350 Coral Street Ste. E  
Santa Cruz, CA 95060

RE: Salesian School Transportation Plan

Dear **Ms.** Bisconti,

The Salesian **Sisters** School, **located** on Enos Lane in **Santa Cruz** County, currently has a maximum enrollment of 205 students and is seeking approval **to** increase the maximum allowable enrollment to 250 students. The Revised Negative Declaration Mitigations: dated October 16, 2006, for the school expansion project requires the project applicant **submit** a transportation management plan prior to public hearing that would limit the total number of vehicles going in and out during the morning and afternoon **peak** periods to the baseline amount, 45-60 vehicles. This letter documents **the** transportation management plan for the **Sdesian Sisters School**.

### **Existing Transportation Management Plan**

The school is currently required to implement a carpool program that limits the number of vehicles bringing students to the school in the morning and **transp**orts students from the school in the afternoon to **45 vehicles**. **This** limitation does not include vehicles driven by school staff and vehicles transporting students that live in the immediate Enos Lane neighborhood. To **meet** this requirement, the school developed and implemented a transportation management **plan**. Attached is a copy of the Salesian Traffic Management Plan for the 2006-2007 school year. The plan consists of the following elements:

1. Carpool Committee: A carpool committee consisting of school administrative staff and school parents **was** formed to oversee the **carpool** program.
2. Carpool Rules Agreement: All parents are provided the Carpool Rules Agreement **and** a copy of the County Compliance Agreement. Parents are required to sign the agreement, which binds the parents to comply with the program. Parents **are** fined when they disregard the agreement and if the parent continues to disregard the agreement, the parent would be asked **to** withdraw their student from the school.
3. Parent/Student Handbook: The carpool program is also described in the Parent/Student Handbook that is distributed to the parents and students at the beginning **of** the school **year**.

6-218  
11r2

1300 B First Street - Gilroy, California - 95020-4738 - (408) 848-3122 - (408) 848-2202 - [www.kbhiggins.com](http://www.kbhiggins.com)

4. Weekly School Bulletin: Carpool program updates and other relevant information is distributed weekly to parents via the school newsletter.
5. Vehicle Count Program: **School** staff counts the number of vehicles used to transport students to school **in** the morning and transport students from school in the afternoon at least once per **week**. These counts **are** submitted to **the** County **at** once per month. A traffic engineering consultant has been retained to perform a maximum of six counts per semester to **additionally** verify that the carpool **program** goals are being met. **The** count **dates arc** not announced to the school.
6. Neighborhood Liaison Committee: This committee interacts with neighborhood **representatives to** address issues of mutual concern.

For the 2006-2007 school year, 43 carpools were set up to transport 190 students. The 2006-2007 transportation program is summarized **on** Exhibit 1. Besides the 43 student carpools, 8 students are transported in five school staff vehicles and 3 local students **are** transported by their parents. These vehicles are **not** subject to **the** carpool program goals. School staff has been directed to arrive at school before 7:30 AM and parents driving students to school have been directed to arrive after 7:30 AM.

**As** shown on Exhibit 2, 95% of the **students** are included in the **43** carpools. **The** average vehicle occupancy for the 43 carpools is 4.4 students per vehicle (190/43).

#### **Transportation Management with Expanded School Enrollment**

With **the** school enrollment expanded **to** 250 students, the school will **be** limited **to** 60 vehicles for student transport, excluding students arriving with school **staff and** Enos Lane neighborhood students. With **the** school enrollment expanded to 250 students, **less** that 60 vehicles would be required to transport the students assuming **that** the existing vehicle occupancy ratio of **4.4** students per vehicle is maintained. **As** shown on Section B of Exhibit 2, assuming that the carpool program continues to achieve **4.4** students per vehicle **anti** assuming that 95% of the school students are subject to the carpool **program**. 54 vehicles would be required to transport the students **to and from** school.

It is possible that in the future none of the students will **be** transported by staff or **live** in the immediate vicinity of the school. In this case, all of the students would have to participate in the carpool program. As shown on Section C of Exhibit 2, assuming that the carpool program continues **to** achieve 4.4 students per vehicle, 57 vehicles would be required to transport 250 students **to and from** school.

Vehicle counts performed by Higgins Associates at the school indicate **that** the school is currently achieving the goal of transporting students to and from **the** school in less than **45** vehicles. On December 7, 2006, 40 vehicles were counted transporting students to school during the **AM** period and 37 vehicles were observed transporting students from school in the afternoon. On December 13, 2006, 42 vehicles were counted transporting students to school during **the AM** period and 44 vehicles were observed transporting

Ella Bisconti  
February 9, 2007  
Page 3

students from school in the afternoon. **These counts** exclude staff **vehicles** and **local** Enos Lane **neighborhood students**.

The existing transportation management plan has achieved existing carpool goals for the school. Continued application of the plan with the enrollment of the school expanded to 250 students would result in continued achievement of carpool goals.

Please contact me if you have any questions regarding this information.

Sincerely,

A handwritten signature in dark ink, appearing to read "Dan Takacs". The signature is fluid and cursive, with a large initial "D" and a stylized "T".

J. Daniel Takacs, TE  
Principal Associate

Carpool No.	No. of Student
<b>STUDENT CARPOOLS</b>	
1	4
2	7
3	4
4	5
5	5
6	2
7	4
8	4
9	5
10	3
11	4
12	6
13	5
14	2
15	4
16	5
17	4
18	4
19	4
20	4
21	6
22	3
23	3
24	3
25	4
26	6
27	4
28	4
29	4
30	5
31	5
32	6
33	5
34	5
35	4
36	5
37	4
38	6
40	6
41	3
42	4
43	3
44	7
<b>Sub-total</b>	<b>190</b>
<b>STAFF CARPOOLS</b>	
Staff 1	2
Staff 2	1
Staff 3	1
Staff 4	1
Extended Care	3
<b>Sub-total</b>	<b>8</b>
<b>ENOS LANE LOCAL STUDENTS</b>	
Local 1	1
Local 2	1
Local 3	1
<b>Sub-total</b>	<b>3</b>
<b>Total</b>	<b>201</b>

**Motes**

before 7:30 AM and are scheduled to depart after 3:30 PM.

2. Staff and local carpools are not subject to the vehicle count restriction

Higgins Associates

6-218 Salesian Carpool Program 2006 Carpools

**EXHIBIT 1-  
SALESIAN CARPOOL PROGRAM  
2006-2007**

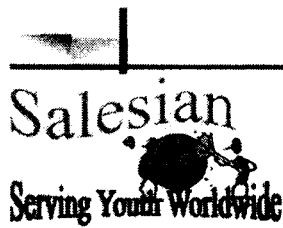
<b>A. EXISTING (2006)</b>	
Carpools	43
Carpool Students	190
Total Students	201
Avg. Students Per Carpool	4.4
Percentage of Students in Carpools	95%

Avg. Students Per Carpool	4.4
Percentage of Students In Carpools	95%
Total Students	250
Carpool Students	238
Carpools (238/4.4)	54

<b>C. MTH EXPANSION (250 Students, 0% Staff/Local)</b>	
Avg. Students Per Carpool	4.4
Percentage of Students In Carpools	100%
Total Students	250
Carpool Students	250
Carpools (250/4.4)	57

**Notes:**

1. Estimate assumes that the existing average number of students per vehicle is maintained with the enrollment increase.



**Salesian Traffic Management Plan  
for the 2006-2007 year  
December 11, 2006**

Salesian Elementary School (K-8) has implemented an extensive carpool system in order to comply with the Santa Cruz County Second Amended Compliance Agreement, which requires us to reduce student related traffic on Enos Lane between the peak hours of 7:30 to 8:30 am and 2:30 to 3:30 ~~pm~~ to a maximum of 45 vehicles based on an enrollment of 205.

During the summer of '06 administration and parents formed a car pool committee which has contacted each family with children enrolled in the school and assigned each student to a carpool. Attached is a Salesian carpool list as of December 11, 2006.

All families were given a Carpool Rules Agreement and a copy of the County Compliance Agreement (see attached). The parents were required to sign the agreement before school begins. If a parent breaks **this** agreement, there will be a fine assessed, and if the parent continues to disregard the agreement, (s)he will be asked to withdraw **his/her** student from the school.

The carpool rules are **also** outlined in the Parent/Student Handbook for which each family signs a receipt acknowledgement before school starts. {see Handbook, pg. 3-*Carpool* section and pg. 14-*Tardiness* section attached}

Hopefully, when the County approves the school's application for 250 students and the enrollment increases by 45 students, we may consider adding a bus for the additional 45 students, based on the feasibility from a cost standpoint considering such items as bus purchase price, maintenance, insurance, and bus driver's expenses. Carpooling would be based on maintaining the currently agreed to ratio of students to cars

The school community **will** receive updates and reminders of carpool compliance **in** the weekly school bulletin. The administration and parent committee will monitor the traffic management plan and maintain records. School officials will do morning and afternoon unannounced, peak- **period** vehicle counts **on** the **school** driveway once a week, and will submit these traffic counts to the County by the 15<sup>th</sup> day of each month for the prior month. We submitted carpool counts by the 15<sup>th</sup> of each month beginning on Sept 15<sup>th</sup> and will continue through **the** end of the school year. The school has also hired **Higgins** Traffic Engineers who have performed and will **continue** to perform traffic counts on the school driveway, when requested by the County, with a maximum of 6 in the fall and 6 in the spring. In addition, the school has a standing three member committee, chaired by parent Andrew Kreeft, to participate in mutual problem solving meetings with neighborhood representatives.



September 13, 2006

Mr. David Lee  
Assistant Planning Director  
County of Santa Cruz  
701 Ocean Street, Room 400  
Santa Cruz, California **95060-4068**

Re: Application No. **04-0348**; Second Amended Compliance Agreement

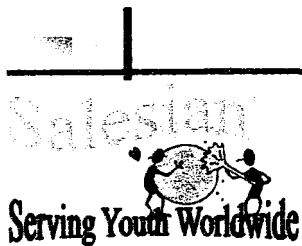
Dear Mr. Lee,

Pursuant to the Second Amended Compliance Agreement, enclosed is **the** traffic count **for the** half month **of** August 2006. School commenced on August 16<sup>th</sup>. Please call if you have any questions.

Sincerely,

Katie Davis  
For the Administrative Team

Cc: Tom Burns  
Randall Adams



### Peak Period Vehicle Count Report for Month of August: 8/16-8/31

<b>A.M.</b>	Date/Time 8/21/06 7:30-8:30	Date/Time 8/30/06 7:30-8:30	Date/Time	Date/Time
Parents	42	43		
Other w/ description	2 One Sr. left for Dr. appt One extra parent			
Total Non-exempt	43	43		

<b>P.M.</b>	Date/Time 2:30-3:30	Date/Time 7:30-8:30	Date/Time	Date/Time
Parents	44	43		
Other w/description	1 Janitor left	1 Television installer		
Total Non-exempt	45	44		



# HIGGINS ASSOCIATES

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## CIVIL & TRAFFIC ENGINEERS

September **25, 2006**

Mr. David Lee, Assistant Director of Planning  
County of Santa **Cruz Planning** Department  
**701 Ocean Street, 4<sup>th</sup> Floor**  
Santa Cruz, **CA** 95060

RE: Salesian Sister School Traffic Counts

Dear Mr. **Lee**:

Staff from **Higgins** Associates **counted** the number of vehicles arriving at the Salesian Sisters School between **7:30 AM and 8:30 AM** and **departing** the school between **2:30 PM and 3:30 PM** on Wednesday, September 13, 2006. In the **morning**, 44 vehicles arrived between **7:30 AM and 8:30 AM** and in the afternoon, **40** vehicles departed between **2:30 PM and 3:30 PM**.

Please note that the counts include vehicles that originated on upper **Enos** Lane and its side streets. The vehicle count ~~that~~ the school must not exceed is not to include vehicles originating on upper Enos Lane or its side streets. Therefore, **the** counts should be adjusted for these vehicles.

At some point, during the September 13<sup>th</sup> count, our counter was made aware that at least one vehicle that should be excluded from the count was included in the count. At the time, the counter was not aware of the exclusion and **was** not sure of how to identify the vehicles that should be excluded. Therefore, all vehicles were counted and the totals are presented above. For future counts, if the **County** would like us to report the non-Enos Lane vehicles, **our** counter **will** need direction **from** school officials to identify those vehicles that should be excluded **from** the count. Evidently, these vehicles carry a sign in the window that identifies **them as** originating **from** the **Enos** Lane **area**. If **all** **Enos** Lane vehicles **carry** identification sign, our counter **will** know to **look** for these vehicles and they **will** be counted as a separate category of vehicle.

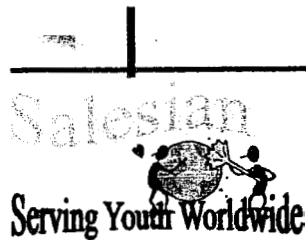
Please ~~contact~~ me if you have any questions.

Sincerely,

**Dan** Takacs, **TE**  
Principal Associate

6-147-ltr1.doc

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October 11, 2006

Mr. David Lee  
Assistant Planning Director  
County of Santa Cruz  
701 Ocean Street, Room 400  
Santa Cruz, California 95060-4068

Re: Application No. **04-0348**; Second Amended Compliance Agreement

Dear Mr. Lee,

Pursuant to the Second Amended Compliance Agreement, enclosed is the traffic count for September 2006. Please call if you have any questions.

Sincerely,

Katie Davis  
For the Administrative Team

Cc: Tom Burns  
Randall Adams

Salesian



1

## Vehicle Count Report for Month of September

<b>A.M.</b>	Date/Time 9/7/06 7:30-8:30	Date/Time 9/12/06 7:30-8:30	Date/Time 9/20/06 7:30-8:30	Date/Time 9/28/06 7:30-8:30
Parents	43	45	44	44
Other w/ description	2 late teachers			
Total Non-exempt	45	45	44	44

<b>P.M.</b>	Date/Time 9/7/06 2:30-3:0	Date/Time 9/12/06 2:30-3:30	Date/Time 9/20/06 2:30-3:30	Date/Time 9/28/06 2:30-3:30
Parents	43	43	<b>43</b>	44
Other w/description	1 errant <b>driver</b> (not a parent) 1 delivery			
Total Non-exemut	43	43	43	44



November 13, 2006

Mr. David Lee  
Assistant Planning Director  
County of Santa Cruz  
701 Ocean Street, Room 400  
Santa Cruz, California 95060-4068

Re: Application No. 04-0348; Second Amended Compliance Agreement

Dear Mr. Lee,

Pursuant to the Second Amended Compliance Agreement, enclosed is the traffic count for October 2006. Please call if you have any questions.

Sincerely,

Katie Davis  
For the Administrative Team

Cc: Tom Burns  
Randall Adams



1

## Vehicle Count Report for Month of October

<b>A.M.</b>	Date/Time 10/2/06 7:30-8:30	Date/Time 10/10/06 7:30-8:30	Date/Time 10/20/06 7:30-8:30	Date/Time 10/26/06 7:30-8:30
Parents	45	43	45	44
Other w/ description	I-Second Harvest Food bank			
Total Non-exempt	46	43	45	44

<b>P.M.</b>	Date/Time 10/2/06 2:30-3:0	Date/Time 10/10/06 2:30-3:30	Date/Time 10/20/06 2:30-3:30	Date/Time 10/20/06 2:30-3:30
Parents	45	45	44	45
Other w/description		1- Coach left 1-RV		
Total Non-exempt	45	47	44	45



December 11, 2006

Mr. David Lee  
Assistant Planning Director  
County of Santa Cruz  
701 Ocean Street, Room 400  
Santa Cruz, California 95060-4068

Re: Application No. 04-0348; Second Amended Compliance Agreement

Dear Mr. Lee,

Pursuant to the Second Amended Compliance Agreement, enclosed is the traffic count for November 2006. Please call if you have any questions.

Sincerely,

Katie Davis  
For the Administrative Team

Cc: Tom Burns  
Randall Adams



1

## Vehicle Count Report for Month of November 2006

<b>A.M.</b>	Date/Time 11/1 7:30-8:30	Date/Time 11/6 7:30-8:30	Date/Time 11/17 7:30-8:30	Date/Time 11/21 7:30-8:30	Date/Time 11/30 7:30-8:30
Parents	44	45	44	44	44
Enos Ln. Residents (exempt)					
Other w/ description	0	0	2 teachers arriving late	0	1 teacher arriving late
Total Non-exempt	44	45	46	44	45

<b>P.M.</b>	Date/Time 11/1 2:30-3:30	Date/Time 11/6 2:30-3:30	Date/Time 11/17 2:30-3:30	Date/Time 11/21 2:30-3:30	Date/Time 11/30 2:30-3:30
Parents	44	42	42	44	44
Enos Ln. Residents (exempt)					
Other w/description	1 priest leaving	1 coach arriving	0	1 priest leaving	1 teacher leaving early
Total Non-exempt	45	43	42	45	45



HIGGINS ASSOCIATES

CIVIL & TRAFFIC ENGINEERS

December 21, 2006

Mr. David Lee, Assistant Director of Planning  
County of Santa Cruz Planning Department  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060

RE: Salesian Sister School Traffic Counts

Dear Mr. Lee:

Staff from Higgins Associates performed vehicle counts at the Salesian Sisters School on Thursday December 7, 2006 and Wednesday December 13, 2006. The results of the counts are being transmitted with this letter.

During the morning period, the number of students in each arriving vehicle were counted and recorded. Vehicles driven by school staff were also counted. During the afternoon dismissal, the number of students in each departing vehicle were counted and recorded. During both periods, vehicles driven by school staff and other vehicles were counted and recorded. The morning count began at 7:00 AM and ended at 7:55 AM. The afternoon count began at 3:00 PM and ended at 3:30 PM.

Exhibit 1 shows the count results for December 7<sup>th</sup> and Exhibit 2 shows the count results for December 13<sup>th</sup>. The count data is summarized by 15-minute periods on Exhibits 1 and 2. The vehicle count data was classified according to the number of students transported in each vehicle. In addition, the counts are segregated by the following trip types:

1. Vehicles Driven by School Staff
2. Vehicles Driven by Parents (Not Local)
3. Vehicles Driven by Parents (Local)
4. Other Vehicles

"Local" trips are trips by parents that live in the immediate vicinity of the school, in the Enos Road area.

Exhibit 3 provides a summary of the data presented on Exhibits 1 and 2. A summary of the December 7<sup>th</sup> morning count is presented below:

- 11 staff people arrived driving alone;
- 5 staff people arrived with a total of 22 students in their vehicles;
- 40 parents from outside of the local neighborhood arrived carrying a total of 163 students;
- 2 parents from the local neighborhood arrived carrying 2 students; and
- One other vehicle arrived during the morning period.

A summary of the December 7<sup>th</sup> afternoon count is presented below:

- No staff people left the school driving alone during the count period;
- 3 staff people left carrying a total of **13** students in their vehicles;
- **37** parents from outside of the local neighborhood departed carrying a total of 154 students;
- e 2 parents from the local neighborhood departed carrying 5 students; and
- e No other vehicles departed during the afternoon period.

A summary of the December 13<sup>th</sup> morning count is presented below:

- e 11 staff people arrived driving alone;
- 3 staff people arrived with a total of **11** students in their vehicles;
- e 42 parents from outside of the local neighborhood arrived carrying a total of 168 students;
- e 2 parents from the local neighborhood arrived carrying 2 students; and
- 2 other vehicles arrived during the morning period.

A summary of the December 13<sup>th</sup> afternoon count is presented below:

- e One staff person left the school driving alone during the count period;
- e No staff people left carrying students in their vehicles;
- 44 parents from outside of the local neighborhood departed carrying a total of **164** students;
- e 1 parent from the local neighborhood departed carrying 2 students; and
- e No other vehicles departed during the afternoon period.

Please contact me if you have any questions regarding these counts.

Sincerely,



Dan Takacs, TE  
Principal Associate

**EXHIBIT 1**

EXHIBIT G

**EXHIBIT 2**  
**SALESIAN SISTERS SCHOOL AND YOUTH CENTER**  
 Traffic Count Data  
 Wednesday  
 December 13, 2006

Time	Vehicle Driven By School Staff										Vehicle Driven by Parent (Not Local)										Vehicle Driven by Parent (Local)										Other Vehicles		TOTAL
	# of Students Per Vehicle										# of Students Per Vehicle										# of Students Per Vehicle										Inbound	Outbound	
	0	1	2	3	4	5	6	7	Total	1	2	3	4	5	6	7	Total	1	2	3	4	5	Total										
7:00 - 7:29	2	0	0	0	0	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2		
7:15 - 7:29	9	0	1	0	1	0	0	0	12	0	0	0	2	1	0	0	3	0	0	0	0	0	0	0	2	0	0	0	0	0	17		
7:30 - 7:44	0	0	0	0	0	0	0	0	0	1	4	4	7	5	3	0	24	1	0	0	0	0	1	0	0	0	0	0	0	0	25		
7:45 - 8:00	0	0	0	0	0	0	0	0	0	0	3	1	5	3	2	1	15	1	0	0	0	0	1	0	0	0	0	0	0	0	16		
TOTAL VEHICLES	11	0	1	0	1	1	0	0	14	1	7	5	14	9	5	1	42	2	0	0	0	0	2	2	0	0	0	0	0	0	60		
TOTAL STUDENTS	0	0	2	0	4	5	0	0	11	1	14	15	56	45	30	7	168	2	0	0	0	0	2	0	0	0	0	0	0	0	181		
3:00 - 3:14	1	0	0	0	0	0	0	0	1	1	4	7	5	5	2	1	25	0	1	0	0	0	1	0	0	0	0	0	0	0	27		
3:15 - 3:29	0	0	0	0	0	0	0	0	0	0	3	7	3	3	2	0	18	0	0	0	0	0	0	0	0	0	0	0	0	0	18		
3:30 - 3:44	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	1	0	0	0	0	0	0	0	0	0	0	0	0	0	1		
TOTAL VEHICLES	1	0	0	0	0	0	0	0	1	1	7	14	9	8	4	1	44	0	1	0	0	0	1	0	0	0	0	0	0	0	46		
TOTAL STUDENTS	0	0	0	0	0	0	0	0	0	1	14	42	36	40	24	7	164	0	2	0	0	0	2	0	0	0	0	0	0	0	166		

Trip Type	December 7, 2006			
	AM Arrival		PM Dismissal	
	Students		Students	
	Vehicles	Transported	Vehicles	Transported
School Staff Arriving/Departing With No Students	11	0	0	0
School Staff Arriving/Departing With Students	5	22	3	13
Parent Driven Vehicles Transporting Students (Not Local)	40	163	37	154
Parent Driven Vehicles Transporting Students (Local)	2	2	2	5
Other Vehicles	1	0	0	0
TOTAL	59	187	42	172

Trip Type	December 13, 2006			
	AM Arrival		PM Dismissal	
	Students		Students	
	Vehicles	Transported	Vehicles	Transported
School Staff Arriving/Departing With No Students	11	0	1	0
School Staff Arriving/Departing With Students	3	11	0	0
Parent Driven Vehicles Transporting Students (Not Local)	42	168	44	164
Parent Driven Vehicles Transporting Students (Local)	2	2	1	2
Other Vehicles	2	0	0	0
TOTAL	60	181	46	166



January 16,2007

Mr. David Lee  
Assistant Planning Director  
county of ~~santa~~ Cruz  
701 Ocean Street, Room 400  
~~Santa Cruz~~, California 95060-4068

Re: Application No. **04-0348**; Second Amended Compliance Agreement

Dear Mr. Lee,

Pursuant to the Second Amended Compliance Agreement, enclosed is the traffic count for December **2006**. Due to the ~~Christmas~~ vacation schedule there **are only** two weeks to report. School dismissed **from** this locale on December 19<sup>th</sup> and commenced **again** on **January 3,2007**. Please call if you have any questions.

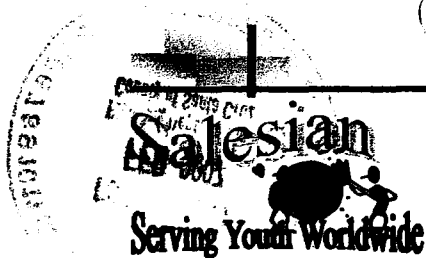
Sincerely,

Katie Davis  
For the Administrative Team

Cc: Tom Burns  
Randall Adam

<b>A.M.</b>	<b>Date/Time</b> 12/7 7:30-8:30	<b>Date/Time</b> 12/11 7:30-8:30	<b>Date/Time</b> N/A 7:30-8:30	<b>Date/Time</b> N/A 7:30-8:30
<b>Parents</b>	44	44		
Enos Ln. Residents (exempt)	2	2		
<b>Other w/ description</b>	2 teachers arriving at 7:35	2 teachers arriving at 7:35		
<b>Total Non-exempt</b>	44	44		

<b>P.M.</b>	<b>Date/Time</b> 12/7 2:30-3:0	<b>Date/Time</b> 12/11 2:30-3:30	<b>Date/Time</b> N/A 2:30-3:30	<b>Date/Time</b> N/A 2:30-3:30
<b>Parents</b>	42	43		
Enos Ln. Residents (exempt)	2	1		
<b>Other w/description</b>		1 coach arriving for practice		
<b>Total Non-exempt</b>	42	44		



February 14, 2007

Mr. David Lee  
Assistant Planning Director  
county of santa cruz  
701 Ocean Street, Room 400  
Santa Cruz, California 95060-4068

Re: Application No. 04-0348; Second Amended Compliance Agreement

Dear Mr. Lee,

Pursuant to the Second Amended Compliance Agreement, enclosed is the traffic count for January 2007. Please call if you have any questions.

Sincerely,

Katie Davis  
For the Administrative Team

Cc: Tom Burns  
Randall Adams

Cc: Tom Burns  
Randall Adams



1  
Vehicle Count Report for Month of *January 2007*

A.M.	Date/Time 1/3 7:30-8:30	Date/Time 1/10 7:30-8:30	Date/Time 1/22 7:30-8:30	Date/Time 1/30 7:30-8:30
Parents	42	43	44	45
Enos Ln. Residents (exempt)	1	2	1	2
Other w/ description			1 teacher @ 7:35 1parent 8:00	3 teachers Arrived after 7:30
Total Non-exempt	42	43	45	45

P.M.	Date/Time 1/3 2:30-3:30	Date/Time 1/10 2:30-3:30	Date/Time 1/22 2:30-3:30	Date/Time 1/30 2:30-3:30
Parents	43	43	44	44
Enos Ln. Residents (exempt)	1	1	1	1
Other w/description			Coach left @ 3:20	
Total Non-exempt	43	43	44	44

Road No. - 50 -

RO. CORRALITOS

Sec. 3E- T.10-1-E.

D. A. RIDER PRIVATE ROAD

Pajaro

Road District

DATE			PROCEEDINGS. TERMINAL POINTS. ETC	Supervisors Record	
Month	Day	Year		Book	Page
			<p>Begins at a gate on the boundary of lands now or formerly of Rider and estate of Placide Periquet said point of beginning being in the middle of the Rider Grade so called about 1/4 of a mile from Rider's dwelling near place called "the Chuchitas" and runs in a general southerly direction through lands of Periquet and lands now or formerly of Riley, Blackford, S. Hussey, Fred French, George Walker, Samuel Cleveland and terminates in lands formerly of Hames County Road leading from Quatro Leguas to Corralitos</p> <p>--00000--</p>		
				ROAD	REC.
Aug.	4	1879	Viewers appointed - - - - -	1	163
OCT.	6	"	Hearing of Viewers Report postponed - - - - -	1	172
Nov.	3	"	Order for damages - - - - -	1	173
July	9	1883	Viewers appointed - - - - -	1	250
Aug.	7	"	Viewers Report set for hearing - - - - -	1	250
Sept	3	"	Viewers' Report heard - - - - -	1	253
"	4	"	Viewers report confirmed and damages awarded - - - - -	1	254
Oct.	2	"	Suit ordered to condemn land - - - - -	1	256
Nov.	6	"	Declared a private road - - - - -	1	260
"	"	"	Description of private road - - - - -	1	260

Viewer's  
Report #50  
7/16/1883

It is therefore ordered by this Board that the Report of said Viewers be and the same is hereby in all things approved and confirmed.

It is further ordered and determined by this Board that said Road be and the same is hereby declared a private Road, and the said D. A. Rider is hereby authorized and directed to build construct erect and maintain a private Road over and across the lands aforesaid and on and along the line and route aforesaid, and to use occupy and enjoy the same for the uses and purposes of a common highway, and that the width thereof be and is hereby fixed at forty (40) feet, ~~being twenty (20) feet on each side of said center line thereof described as aforesaid~~

40' Wide →  
Private Road

The Board does now adjourn.

Attest

S. E. Makinney  
Clerk

By S. H. Wauzer  
Deputy 192- Clerk

EXHIBIT H

**Neighborhood Comments & Correspondence  
on file with Planning Department  
(not printed in packet)**

**Application Number 04-0384  
Planning Commission Hearing  
3/28/07**

**Neighborhood Comments & Correspondence  
on file with Planning Department  
(not printed in packet)**

**Application Number 04-0384  
Planning Commission Hearing  
3/28/07**

A note from...  
Ms. Marilyn Head

RE: Salesian School  
APN 107-571-01

Mr. Adams-

Thank you for talking to me  
on the phone earlier this week.

I am getting together a packet  
of information re: the Permits  
for the Salesian School.

We have lived here for 40 years  
so were here before the novitiate  
was put in and have been to  
the hearings re: the Amendments.

Enclosed is copy of description  
of our property and also copy of  
Assessor's Map #107-31 showing  
the road coming off Haines Road  
as 16' wide and description of  
center line on our deed which  
matches lines shown on map.

Hope this is of value to you  
and we will have more letters  
and get to you!

Thanks, again,

Marilyn Head

H d

APN 10731101

25 Enos Lane

"EXHIBIT A"

PARCEL ONE:

BEING a portion of the Rancho Corralitos and more particularly described as follows:

BEGINNING at a 3/4" iron pipe on the centerline of Rider Road from which a 3/4" pipe at the most Northerly corner of that 3.006 acre parcel as shown upon the Record of Survey Map filed for record in Map Book 41, page 48 Santa Cruz County Records, bears North 6° 20' 50" West 25.36 feet distant; thence from said point of beginning along the Southerly and Easterly boundaries of said 3.006 acre parcel, South 73° 58' 10" West 169.25 feet to a 3/4" pipe, South 9° 42' 40" West 187.44 feet to a 3/4" pipe and South 0° 04' 00" East 22 feet to a point; thence leaving said parcel, Easterly in a direct line 215 feet, more or less, to a 3/4" iron pipe on the centerline of Rider Road from which the point of beginning bears North 3° 49' West 155 feet and North 6° 49' West 113.82 feet distant; thence along said centerline North 3° 49' West 155 feet to a 3/4" iron pipe and North 6° 49' West 113.82 feet to the point of beginning.

TOGETHER with and SUBJECT to a right of way over Rider Road the centerline of which is described as follows:

BEGINNING at a 3/4" pipe at the Northeasterly corner of the lands above described; thence from said point of beginning South 6° 49' East 113.82 feet to a 3/4" pipe, South 3° 49' East 155 feet to a 3/4" pipe and South 6° 55' West 170 feet to a 3/4" pipe from which an axle bears North 72° 03' East 8 feet distant.

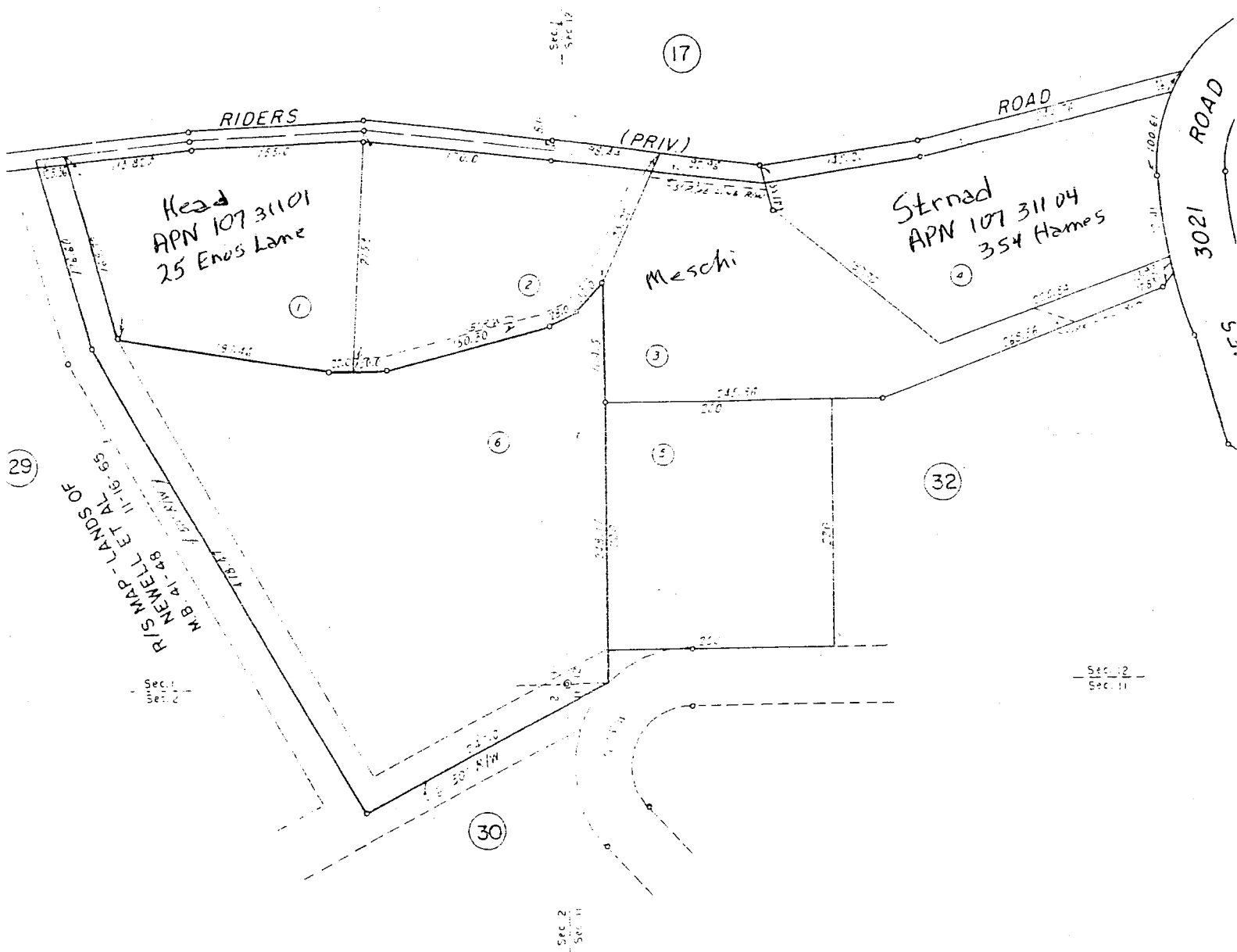
ALSO TOGETHER with a right of way over the continuation of said Rider Road the Easterly line of which begins at the axle hereinabove mentioned and running thence South 7° 30' West 98.44 feet to a 3/4" pipe, South 7° 30' West 92.96 feet, South 7° 30' East 145.20 feet and South 14° 00' East 244.76 feet to Hames Road.

PARCEL TWO:

AN UNDIVIDED 1/2 interest in and to the Northeasterly 15 x 20 feet of the following described parcel of land:

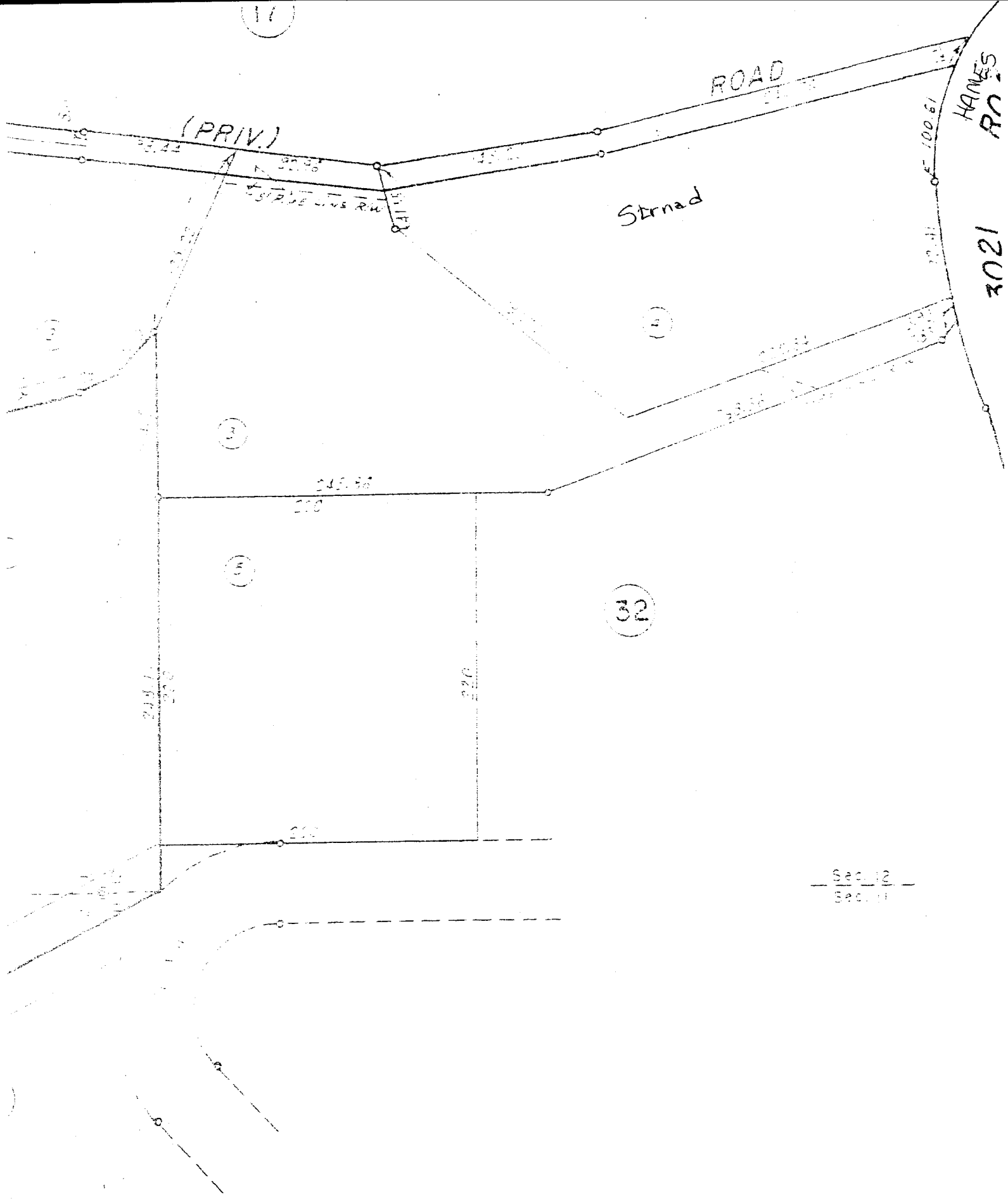
BEGINNING at a station from which the Southwest corner of parcel 2 in the deed to Antone Joseph Rodrigues, recorded November 30, 1934 in Volume 278, page 255, official Records of Santa Cruz County, bears North 58° 6' East 348.35 feet distant; thence from said point of beginning North 50° 0' West 20 feet; thence south 40° 0' West 30 feet; thence South 50° 0' East 20 feet; thence North 40° 0' East 30 feet to the point of beginning.

(A) TOGETHER WITH the right to take water for domestic purposes from the well situated on above 15 x 20 foot parcel property and the joint usage of the pipe line and right of way as set out in said deed to Rodrigues, running from said well North 40° 00' East 350 feet, more or less, to parcel 2 hereinabove referred to.



Note - Assessor's Parcel Block 8  
Lot Numbers Shown in Circles.

Assessor's  
Map #107-31



Sec. 2  
Sec. 11

FOR TAX PURPOSES ONLY (12) RANCHO DE LOS CORRALITOS  
POR. SECS. 1 & 2, T. 11S., R. 1E., M.D.B. & M. PROJECTED  
27.5.75

PUBLIC  
107-29  
Tax Area Code  
69-070

CANCELLED  
DATE  
NEW MAP NO. 107-29  
10-10-75

REVISED  
DATE MAR 25 1975  
OLD MAP NO. 107-29

Assessor's Map No. 107-29  
County of Santa Cruz, Calif.  
Apr. 1967

Note - Assessor's Parcel Block B  
Lot Numbers Shown in Circles.

(16)

(30)

(31)

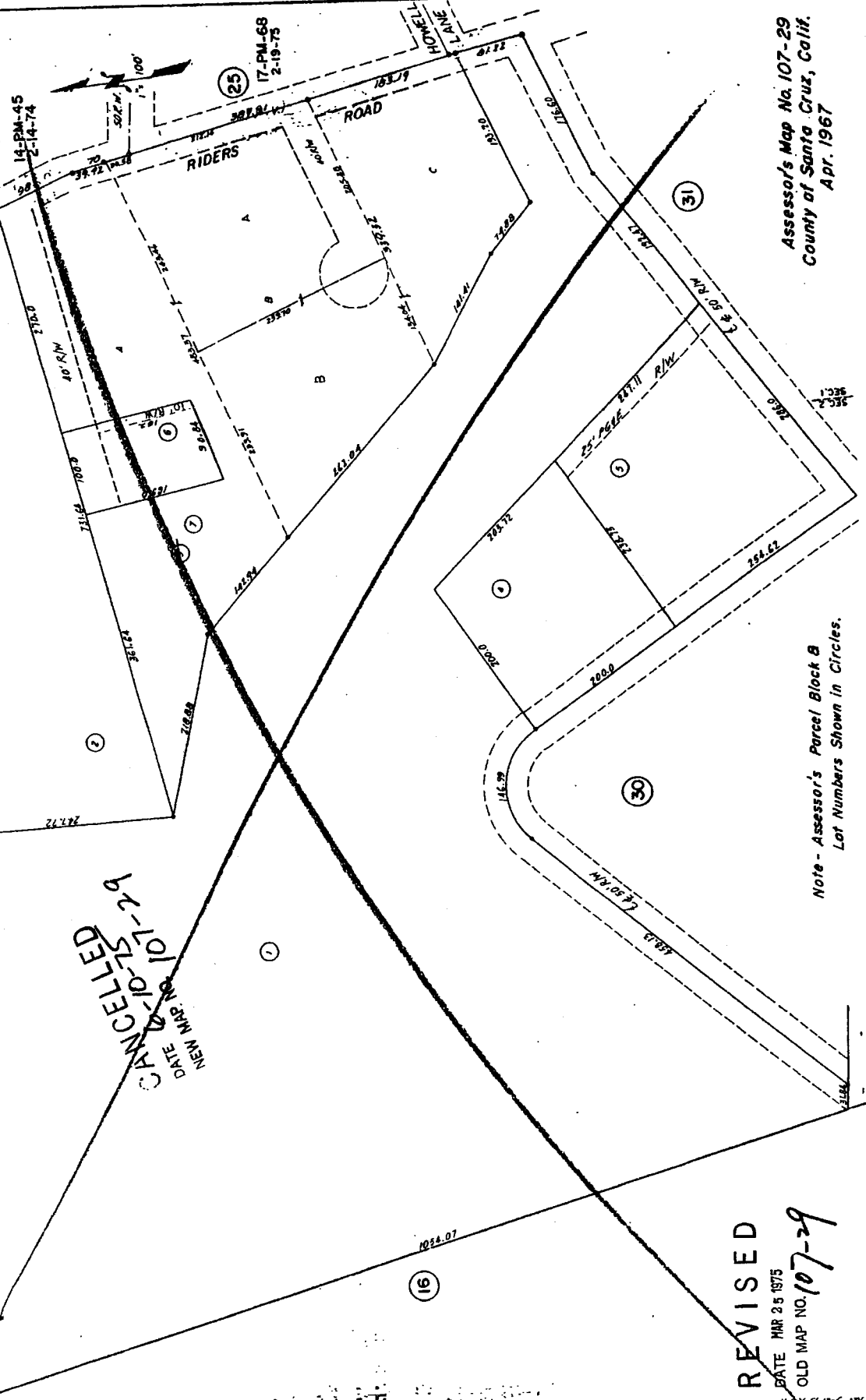
(25)

(2)

(7)

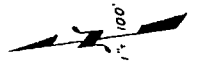
(1)

(5)



PUBLIC  
107-29  
Tax Area Code  
69-070

(12) RANCHO DE LOS CORRALITOS  
POR SECS. 1 & 2, T. 11S., R. 1E., M.D.B. & M. PROJECTED  
REVISED  
DATE 3/23/71  
OLD MAP NO. 107-29  
C/P



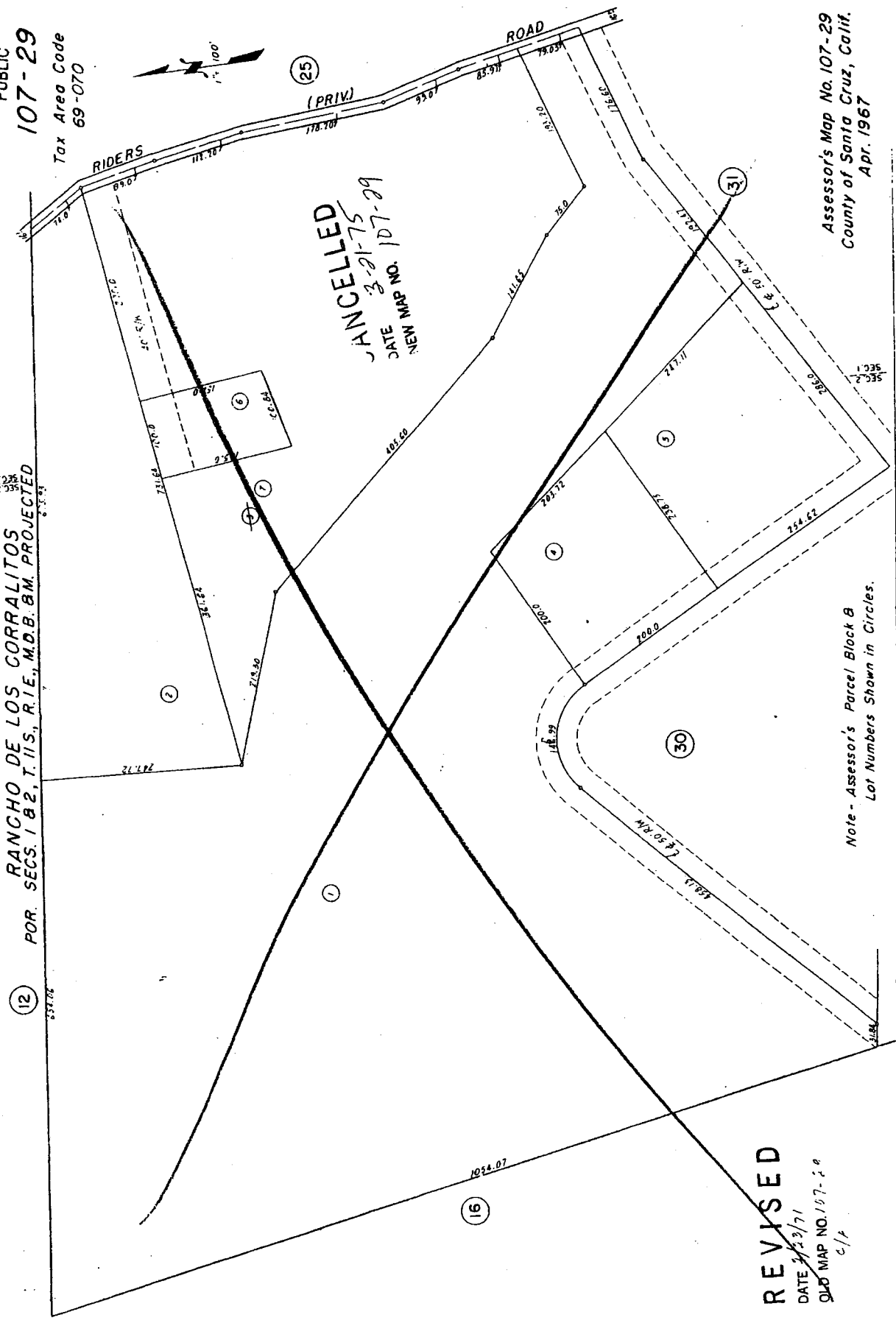
**CANCELLED**  
DATE 3-21-75  
NEW MAP NO. 107-29

Assessor's Map No. 107-29  
County of Santa Cruz, Calif.  
Apr. 1967

Note - Assessor's Parcel Block &  
Lot Numbers Shown in Circles.

**REVISED**  
DATE 3/23/71  
OLD MAP NO. 107-29  
C/P

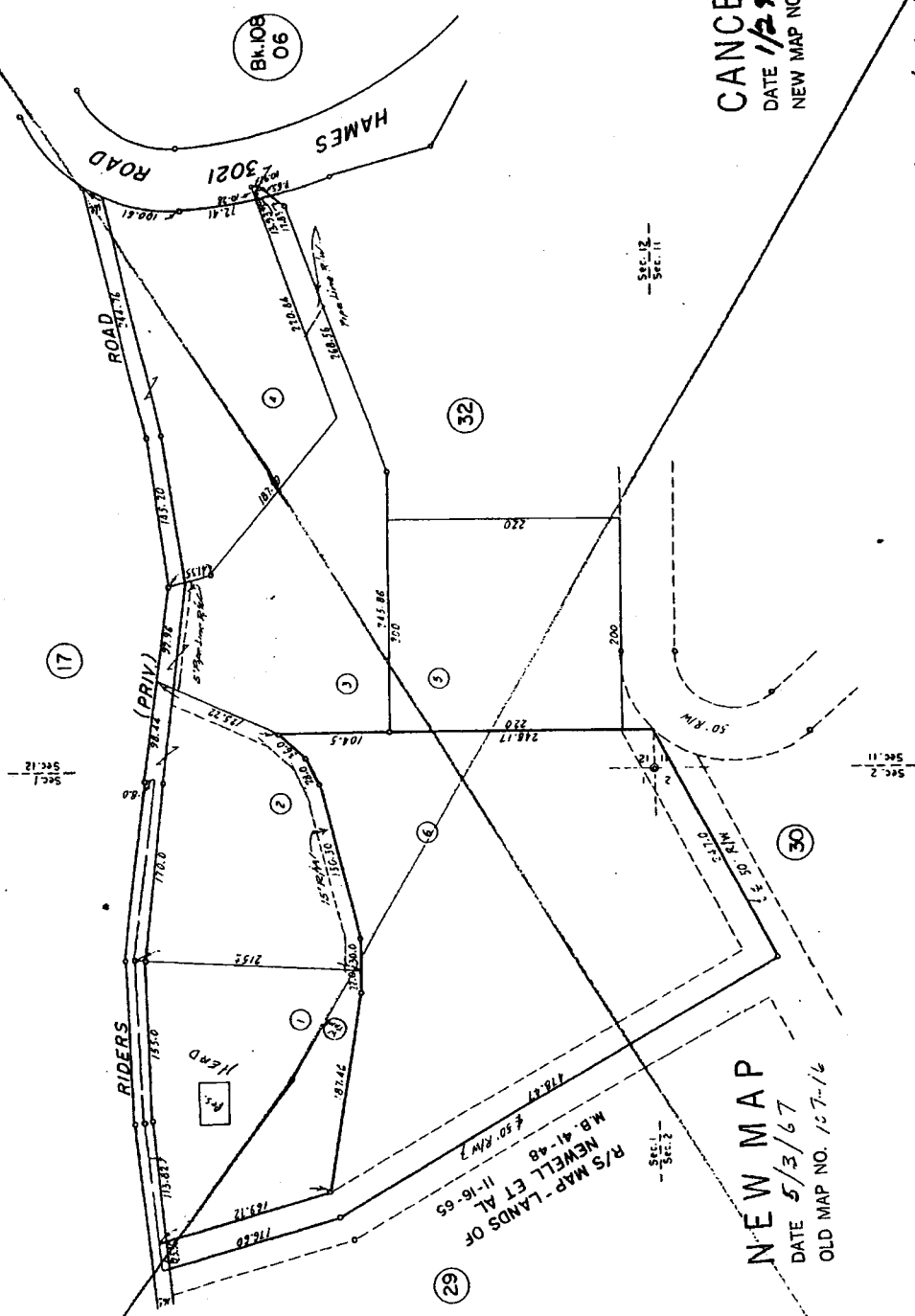
Drawn by S.H. Apr. 67  
Rev. 11/19/71 A



RANCHO DE LOS CORRALITOS  
 POR SECS. 1, 2 & 12 T. 11S., R. 1E., M.D.B. & M. PROJECTED

107-31

Tax Area Code  
 69-078 STRUCTURES



CANCELLED  
 DATE 1/29/69  
 NEW MAP NO. 107-31

Assessor's Map No. 107-31  
 County of Santa Cruz, Calif.  
 Apr. 1967

Note - Assessor's Parcel Block &  
 Lot Numbers Shown in Circles.

NEW MAP  
 DATE 5/3/67  
 OLD MAP NO. 107-16

# FOR TAX PURPOSES ONLY

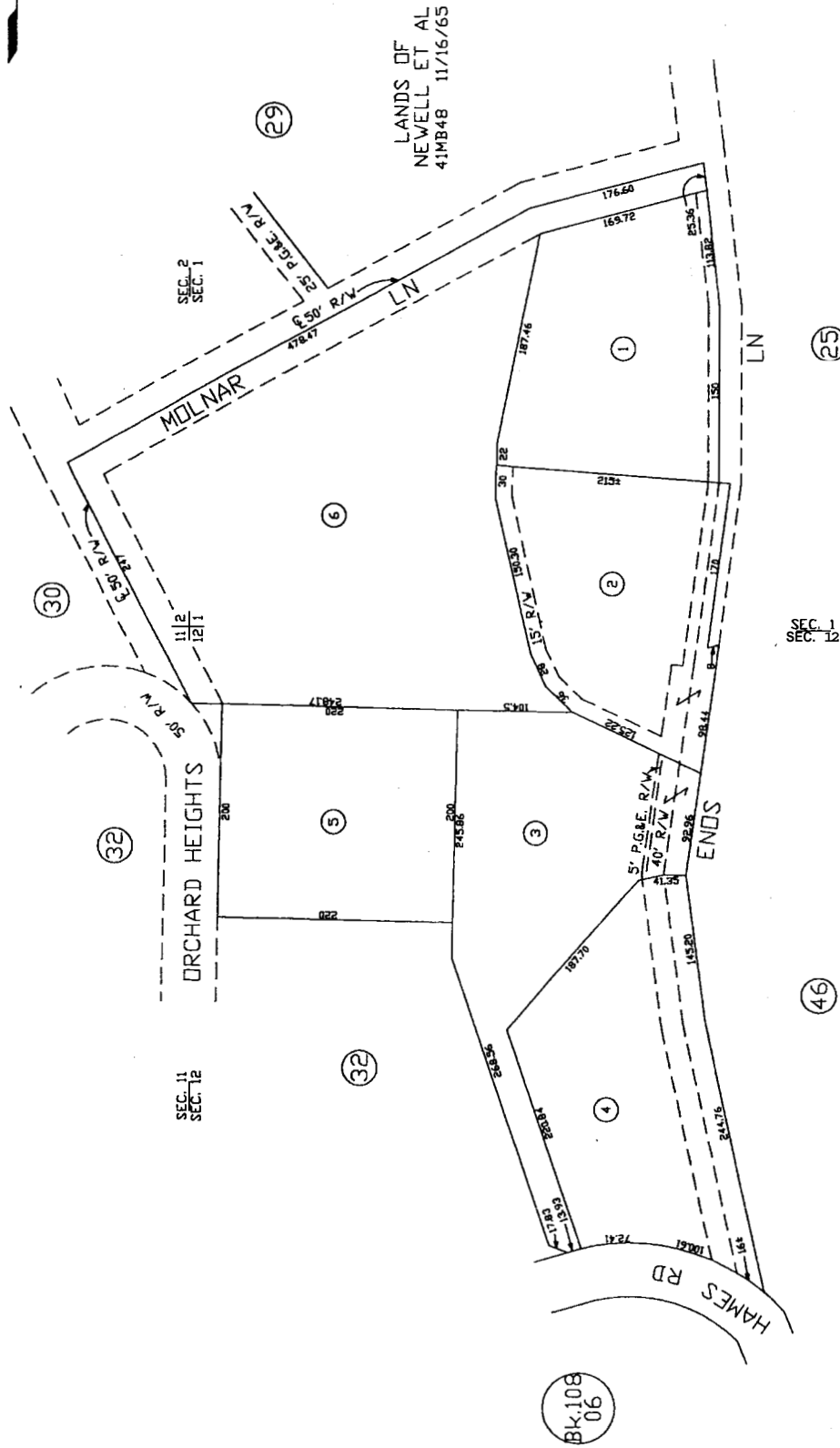
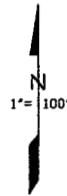
THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.

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RANCHO DE LOS CORRALITOS  
POR. SECS. 1, 2, 11 & 12, T.11S., R.1E., M.D.B. & M.

Tax Area Code  
69-262

107-31



Note - Assessor's Parcel & Block Numbers Shown in Circles.

Assessor's Map No. 107-31  
County of Santa Cruz, Calif.  
Jan. 1998

Electronically drawn 1/3/98 KSA  
Rev 4/9/98 (8 (Tax Consolidation)  
Rev 8/30/00 (Street names) NVM  
Rev 10/3/01 NVM (Changed page refs.)  
Rev 3/19/02 NVM (SC name)

Sept. 27, 2004  
25 Enos Lane  
Watsonville, CA.  
95076

Planning Commission  
701 Ocean St.  
Santa Cruz, CA. 95060

Attention: Randall Adams

RE: Salesian School  
Permit #78-1539 U  
Parcel APN 107-121-60

Gentlemen:

Per my telephone conversation with you, I would like to enclose information we have regarding our experience living on Enos Lane for the past 40 years.

Because we were here long before the Salesian School started, we have had a lot of experiences. One of the biggest problems we have had before **anyone** else **built** on Enos Lane, was because of how the water would rush down **the dirt**. road when it rained and come through our yard **which** would wash out ruts and be a general nuisance. Therefore, **Jake** would go out in the **rain with a shovel** and ditch the water from one side **of the road to the** other. This helped to slow down the **water** and to carry the water off to the side of the road.

Later on, when Jack Howell built his home, he and Jake went together to buy a pickup load of black-top and started up at the top of Enos lane and began to put in berms back and forth across the road to direct the water again to cross the road and to slow down the rush. We used to have large ruts washed out alongside the road and have bought loads of rock and gravel to fill in these ruts. Therefore, it is recognized that these berms are very helpful to direct the water and to control the wash-outs.

We have enclosed copies of letters that were written 25 years ago by people who lived on Enos Lane and were opposed to the School expanding at that time. This was something that the five Planning Commissioners recognized and asked questions of the school representatives at the hearings for the permit. **Also**, there were seven conditions recommended by the Planning Commissioners but there were three of these deleted when the permit went to the Board of Supervisors.

There is also an environmental report done which indicates the fire hazard is very high and would be hard to control if it got started. Also, about three years ago, a CDF fire truck had gone up Enos Lane on a routine run and coming down, they apparently took too wide a turn and the fire truck went off the road and turned over onto the side of the hill. We have learned since then that there have been many cars that miss the turn and run into the property below. This does not seem like a very good situation in case of an emergency when vehicles would be rushing to an emergency.

We see that the school now has someone monitoring traffic and the number of students in each car in the morning, which has slowed traffic down quite a bit. However, there is no monitoring of traffic in the afternoon and there is almost a steady flow of cars coming and going to the school. We have counted the seconds between cars passing our house and it is usually between eight and fifteen seconds between cars in the afternoon between about 2:30 and 4:30 P.M. So the number of cars in the afternoon is considerably more with many not car-pooling.


Enclosed is a copy of the count that was made at our property of the number of cars going up to the school in the afternoon on ~~three~~<sup>two</sup> different days.

Also, when the school first began car-pooling back in 1979, it was done very well for the first couple of months. But after a short time, it became very difficult for the people involved and it soon became forgotten. Therefore, how can we believe that it won't happen again?

It was unfortunate that the school was allowed to get started on a narrow private road way back when they got the permit for 90 students. The people making the plans should have recognized the problem of putting a large school on a narrow country road. It does not fit in a rural area. We hope you will recognize the safety of the students and also the affect it has on the neighborhood.

The addition of more students and increased traffic is detrimental to our neighborhood.

Very truly yours,

Marilyn Head  


Count of Cars  
going up Enos Lane

---

9/24/03 — 93 cars

10/22/03 — 84 cars

3. 5

This is count of cars going up Enos Lane  
on Mon. 9/27/03 between 2:30 and 3:15 P.M.

Wed 10/22/03

$$\begin{array}{r} 24 \\ 25 \\ 15 \\ 32 \\ 13 \\ \hline 99 \end{array}$$

Total cars going up Enos Lane

2.15 2.30 2.45

[illegible]

87 Total cars coming down

This is count of cars going up Enos Lane on Wed 10/22/03  
between 2:15 and 3:15 P.M.

And count of cars coming down between 2:30 and 3:30 PM

# SALESIAN SISTERS SCHOOL

605 ENOS LANE • CORRALITOS, CALIFORNIA 95076 • (408) 728-4700

February 14, 1979

TO WHOM IT MAY CONCERN:

Previous to the opening of school in September, 1978, parents were individually informed of the necessity of carpooling. A schoolwide carpool schedule was carefully set up by Mrs. Brenda Wood, who, in the process of organizing it, personally contacted each parent of our school children. The schedule was then submitted to the planning commission for approval.

Through periodic observation of incoming and outgoing cars at the school, and through a recent survey sent to each school family, we have carried on a careful evaluation of the carpooling program. Our conclusion has been that the program has been effective. Except for those few families who were originally listed as being unable to hook into carpools, and except for one student whose family schedule obliges her to arrive a few minutes late, and except for an occasional variation due to emergency reasons--we find that parents have faithfully adhered to the carpool stipulations.

A count of cars delivering students made on random days between 8:00 and 8:30 a.m. has shown a regular daily total of 20 or 21 cars. Three cars or so come for the 1:00 p.m. pre-school session. Pick-up times are automatically staggered due to the difference in dismissal times: 11:45 for kindergarten, 3:00 for those leaving at regular dismissal time, and 4:30 for those electing to stay for studyhall three days a week. Cars coming to pick up students wait single file along the school driveway till all students have boarded. They then leave in orderly caravan style, thus clearing Enos Lane in a minimum of time.

Our projections for the future are as follows. The school will continue its policy of non-optional carpooling requirements for all students. To assist in the efficient continuation and the improvement of the carpool system for the coming year, we have a standing carpool committee headed by Mrs. Brenda Wood, assisted by Mrs. Gloria Daniel and Mrs. Marilee Alaga. Also, should it appear advisable for any reason, the school is prepared to change its 8:30 a.m. starting time. It can also consider a staggered schedule for primary students to the extent that such an arrangement is possible, if that should be deemed necessary.

The carpool committee will work throughout the summer arranging carpool accommodations and will assist in monitoring during the school year. With the cooperation received this year from the parents, and with the experience gained in carpool organization, we are confident that next year's program will be even more successful.

Sincerely yours,

*Sister Cesira, F.M.A.* -14-  
Sister Cesira, F.M.A.

*Heard / 1/15/79*

7

Meeting Minutes of Neighborhood Meeting  
3/31/04

Notes from Meeting at Salesian School  
5/5/04

Letters written to Supervisor Pirie  
April & May 2004

# MEETING MINUTES

## Salesians Elementary & Junior High School / Enos Lane

DATE: March 31, 2004

TIME: 9:00 AM

PLACE: Gary and Barbara Smith's Home  
Evening Hill Lane

### ATTENDEES:

Les & Susie Strnad  
Dick & Betty Fairhurst  
Steve Boracca  
Frank Dyer  
Jake Head  
Robert Porter  
Leonard & Susan Dotson  
Ellen Piere, Supervisor

fake & Marilyn Head  
Andy Fidandis & Dianne Castellanos  
Linda Ebeling  
Bob & Carol Ebeling  
Stephen & Karyn Bokariza  
Alfred Peisher  
Gary & Ilene Wilson  
Betty Cost

NOTES BY: Betty Cost

### ITEM DISCUSSION - NEIGHBORHOOD

1. 1979 permit - want County to make the school comply with these requirements
3. No mad association now that anyone bows of.
4. Who's the Owner of the school, it's just a franchise, a business, and the sisters are employees. The neighbors have called the sisters over time about their children walking on road and the dangers associated with school traffic and incidents.
5. water tank / Bus stop / water conservation District - maintenance of the water ditch can not just cover it to widen road
6. Want buses to reduce traffic.  
Sisters said couldn't afford buses - 1970

16. Health and safety issue - Betty Cost said can review existing permit now - Les said to Ellen that he would want buses in place before day camp 2004
19. Caravans of parents cars- won't let anyone out at Hames until they are all gone no traffic break.
20. End of existing permit - any resident can ask for review of Use Permit of any project.
21. Backing out from driveways at Enos a problem.
22. School should show Good faith effort = start of reducing number of students.
23. Check into alternate roads to school
24. Is red tag recorded? Who said not to red tag them?
25. Report enrollment every year?
26. Short term: rent buses now - between now and end of school year and reduce traffic of cars to equal 125 students for next school year.
27. Second access road for 250 students
28. Road is hardly wide enough for neighborhood without school traffic.
29. Reduce students now for next year shouldn't be continuing enrollment when the school is in violation.
30. Buses now for violation to show good faith for over 125
31. 1990- 24 passenger bus in 3 trips - \$6,500 One in paper, school should buy.
32. Second road access - Should be A requirement, not safe without out. rider road route?
33. Thirty-three homes on Enos Lane per mail delivery.  
5 miles to dead end?
34. Betty to generate note and describe a process for all parties to review that will take place at the County and next steps notes from meeting to be sent Ellen Piere @ the County and Gary Smith via email
35. Suggested that Salesians Sisters Sell property and move to St. Francis Site. Long term.
36. Stop scapegoat-ing Diane & Andy - the whole community is involved in the concern over the use permit violations
37. Shuttle service to kids from bus stop - short term  
Traffic going down hill is worst. Won't use turn outs and let local go by.  
Five cars at a time at two minute intervals.  
Don't stop at stop sign.

-----Original Message-----

From: Barbara Smith [mailto:searead@charter.net]

Sent: Friday, April 23, 2004 11:12 AM

## Notes - SPA Meeting - 5/5

### CURRENT USE PERMIT FOR SALESIAN ELEMENTARY & JR. HIGH :

- \* ~~Use~~ permit is **needed** if the **use** is a conditional use  
(in our case, a school **in** a residential neighborhood is a conditional **use**)
- \* Last valid permit (1979) for the school **was** for **125** students;  
At that time, road **condition** was not adequate for **250** students; environmental documents said a **16'** wide road would be adequate for **250 students**.  
Salesians repaired the **road**, but failed (due **to** poor communication) to submit **an** amendment to the use permit **to** allow 250 students. (circa 1988)
- \* Currently, Salesian Elementary & Jr. **High** hosts approximately 200 students;  
**but** our goal is **to** offer Salesian education to 50 more in the community;  
proposing a total of 250 **students**.
- \* County requirement for the road **has** changed since 1988.  
**Road requirement is now 18' wide plus a pedestrian path or sidewalk.**
- \* Local neighbors have **finally** reached a point over the years where the growth of **traffichas** become **a** detriment. Definition of detriment is very subjective **but** basically comes down to **whether** or not the neighbors **are** satisfied **with the** reduction in traffic. The **County** has **to** make a **Use** Permit **finding that** the conditional use is not **detrimental** to the neighborhood

### THE SCHOOL'S OBLIGATION:

1. Propose a temporary solution for **the traffic** by 6/2.
2. Propose a permanent solution (concept plan) by 6/2. And apply for the Use Permit for the permanent **solution by the** deadline the County **sets on** 6/2.

### TEMPORARY SOLUTION:

Near term handling of the **traffic** problem (which **is** the current primary **issue**):  
reduce the **number** of **cars** going to the **school during** carpool **hours from** current 80-100 (including teacher's **cars**) down to around 40. Sr. **Charlotte** **will notify** parents and faculty of **this** right away **so** we **can** show a good faith effort to bring the school into compliance. A Traffic **Committee** will be formed immediately to do this. Ellen Pirie felt that 40 **cars** was reasonable ( for 200 **students** for **next** year) although it would still come **down to what** the **County staff decides** is appropriate. May want to consider have school carpoolers place **stickers** on their automobiles to clearly **show neighbors the cars that are Salesian parents vs. upper Enos or just guests or friends** visiting the school.

### LONG TERM SOLUTION :

- \* The long **term** solution should work toward a **Use Permit that** works toward **perpetuity**: the **ability to have events**, weekend **retreats**, a **gym**.

\* Secondary egress might be *required* based on the student population and safety guidelines.

- If we widen **Enos Lane** to 18', the school is responsible for the cost of widening. Homes next to **the** road must be accepting of the widening since **there is a 40' easement** (so **technically** we could widen the road to 40').

### PROPOSED LONG TERM SOLUTIONS:

(sidenote: just to have engineers investigate possible solutions is costing the school approximately \$100K)

1. **Traffic Reduction by more** efficient carpooling
  - *can* be **initiated** right away, but **my** not **reduce** traffic **sufficiently** in long term
2. Traffic reduction by busing
  - heavy recurring **operational** cost (\$58K for one **bus** for 180 **days**)
  - requires significant increase in **tuition** to cover the cost
  - *can* be implemented next year
3. Build a new private road **from** Hames to **Salesian Elementary & Jr. High**
  - road would need to meet **county** requirements for safe **roadway**
  - road would need to meet property owner's requirements for setbacks and **fencing** of vineyards.
  - cost is very **high** (~\$1.5M) + **parking** lot at school (\$50K)
  - estimated time to complete planning and implement: -2-3 years

### NOTE TO COUNTY:

Reducing the student population to **125** is NOT **an** option because **school** would *then* become **elitist**.

### NEXT STEPS:

\* Sr. Charlotte to contact the school parents about **creating** a more effective carpool **system**. Traffic **Committee** to be set **up**. **Goal** is **40 cars**.

\* Betty **Cost** will be helping the **school** submit a short term solution **and** a concept plan for the **Use** Permit; to be submitted by 6/2. (should plan **to** have **these** sent to parents by Mon **5/24** and have a school **meeting** on **Wed 5/26**).

\*Betty Cost will be helping the school submit a **Use** Permit application for 250 students. In order to submit **this**, the school **needs** to have decided **on** the long **term** solution **and** have plans for it. Also plan for the parking **lot**. The deadline for **this** will probably be **set** by **the** planning department at **the** June 2 **meeting**.

**As** part of a new use **permit**, the Salesians **would** like to request some exemption **days** from carpooling or **busing** for special events (**-12-15 days** per **school year**):

April 23, 2004

Supervisor Ellen Pine  
Second District  
701 Ocean Street  
Room 500  
Santa Cruz. CA 95060

Dear Supervisor Pirie,

We'd like to **thank** you again for taking the time to come to our meeting of concerned neighbors on Tuesday, March 30. We would like to reiterate the following safety concerns for the Enos Lane neighborhood below Salesian Sisters School:

1. **Correction of permit violations** – Concerns were voiced about the school remaining out of compliance in terms of student population, carpooling, and fire safety issues for the indeterminate time period while these issues **are** being addressed. We respectfully request that the county enforce the existing Use Permits and conditions for the Salesian School by code compliance or formal review of the existing permits. We were pleased by your assurance that these corrections need to be done in a timely manner and no later than the beginning of the next school year. Such action will not interfere **with** the Salesian Sisters School growth plans that they can pursue by separate permit action over the next **year**.
2. **High volume of traffic** – A recent **car** count showed 125 cars going up Enos Lane in a one-hour, fifty-three minute period. That's just the morning commute, not ancillary school traffic throughout **the** day, the afternoon pick up, or various night and weekend functions. **This** high volume of traffic and the narrowness **of** the road preclude our own residents from safely walking on the road or getting to the school bus stop **at** Haines and Enos.
3. **Lack of carpooling** – The high number of vehicles clearly shows that carpooling of the **295** students **is** not happening. Immediate enforcement of carpooling/bussing pursuant to the Use Permit should be in place.
4. **Lack of a secondary access road for the school** – Emergency access **and** escape **are** clearly compromised for neighborhood residents and the school by the high volume of traffic, and the narrowness of Enos Lane. Ideally, another road could be constructed to be the primary access, with Enos Lane becoming a secondary, emergency access road only.
5. **Summer camp** – The permit implies that the neighborhood could expect buses and cars to bring the children to camp, with 20 visiting cars on three intervening Sundays. Nowhere does it lead us to expect daily traffic for 6 or 7 weeks in the summer.

*Thank* you for your time and attention in helping us resolve these issues. Please keep us apprised of the school's progress in complying with its use permits. Attached please find the signatures of those who attended the meeting **as** well **as** other concerned neighbors **who** were unable to attend.

cc Tom Bums, Planning Director  
Gustavo Gonzalez, Code Compliance Investigator

*/s/ Signed by 25 residents  
of Enos Lane + area*

July 5, 2003

To Whom It May Concern -



Mr. and Mrs. Jake Head  
25 Enos Lane  
Watsonville, CA 95076-0201

Because we have lived at our address on Enos Lane for almost 40 years, we have watched Enos Lane grow from a narrow, dusty, country road to a much traveled road.

We used to be able to safely back out our driveway onto Enos Lane without fear of being hit, but with increased traffic and several near misses, we put in a circular drive-way and even now, have had close calls from vehicles going too fast and again causing us to carefully enter onto Enos Lane. We have lost 2 dogs, our neighbor lost their cat and another neighbor lost their dog. This is just within a short distance on Enos Lane so we're not sure how many more animals have been hit.

The traffic to the Salesian School has increased considerably and makes it almost impossible to use Enos Lane when the school has scheduled start time and pick-up time and when extra activities are in progress. We try to schedule our use at a different time in order to avoid the congestion on Enos Lane. Some vehicles do consider others using the road but many are going way too fast for a narrow country road and many do not share the road.

We have been concerned for a long time as we see more and more cars coming to the school, almost no car-pooling and no bus, as was a condition on the Use Permit. Also there are several young children walking on Enos Lane and it has only been a miracle that they have not been injured.

It would seem that with the increased activity at the Salesian School, that it would be to their advantage to obtain a private road to their school. Enos Lane is being over-used for a narrow private road.

Please honor our request to ask the school to honor the Use Permit conditions or control the traffic to and from the school.

Respectfully submitted,

Marilyn Head

7-10-03

To whom it may concern:

My family has lived on Howell Lane for almost seventeen years (17) and for the most part, we thoroughly love the area and enjoy raising our children in a small town, country environment. However, the past 7-10 years have been difficult in regards to the traffic and problems created by the Salesian Sister's School.

We were not aware that there was a school at the top of Enos Ln. when we purchased our home in 1987. As far as we knew, there was a sister's home somewhere up on the ridge, not a school.

Our first encounter of difficulty with the school was when my children started walking from our home to the green water tank, which is at the corner of Enos Lane and Hames Rd. This is a bus stop for both Bradley Elementary and Aptos Jr. High. This should be a very safe walk, as Enos Lane is a private road with hardly any traffic. Unfortunately, we were sadly mistaken. Upon numerous occasions, I made calls to Sister Charlotte at Salesian Sisters and complained about the speed of the cars/vehicles. The first few calls seemed welcomed from Sister Charlotte, as she wanted to know if we had the license plate of the car (which we did not), make and color and I was assured a new notice on "slowing down" would go in the weekly bulletin which is given to all parents of children attending this school. Continual calls to her were received less happily. She seemed very annoyed and couldn't wait to get off the phone. To date, we have not seen a change for the better. In fact, during school season a mirror on a car transporting children to/from the school brushed my son's arm. Thankfully there was not an injury from this.

My last conversation with Sister Charlotte was in the early spring of this year. I had almost been run off the road by a car rushing up Enos Ln. to take their children to school. I was furious, to say the least, and had a very long, detailed conversation with Sister. I was told the following:

*Approx. 200 children attend school (how can this be?)*

*Car-pooling is required (who is monitoring this?)*

*A bus was not approved by homeowners in our area and there isn't a place to pick up and drop off at (when was this vote and why can't they use Holy Eucharist for a bus stop?)*

*Use of another road? (no other road. How can this be approved by the Fire Dept? are these parents aware of the risk of fire and only one way in/out for these children?)*

*Enos Lane is not wide enough for two huge SUV's to pass one another let alone normal cars*

*Summer Camp for 2003 (who approved this?)*

My main concern are for the safety of my family and my neighbors. I strongly recommend a full investigation into this school, that their permits are up to date and up to code, and a requirement to purchase a small bus that meets at Holy Eucharist. I would also strongly recommend that if they continue to operate as a school that they look into purchasing property for their own road and a larger site specifically for a school. We need to all respect each other and the safety of one another should be of the utmost importance.

The Stephen Bokariza Family

*Step Bokariza*

*Stephany Bokariza*  
Stephany, Matt, Matthew and Shanelle  
720 Howell Ln

*Matthew Bokariza, Shanelle Bokariza*

Corralitos, CA 95076

831-724-8239 home

831-763-3226 work

September 24, 2003

25 Enos Lane  
Watsonville. CA. 95076

County of Santa Cruz  
Board of Supervisors  
701 Ocean Street. Suite 500  
Santa Cruz, CA. 95060-4069

Attn: Ellen Pirie, Supervisor  
Second District

Dear Ms Pirie,

Thank you for taking the time to write the letter to me regarding the speed trailer on Enos Lane. However, my complaint was not to you about jurisdiction over the trailer but because of the people that made the complaint to get the trailer removed.

As you will recall, the representative from Public Works spoke that he would see if he could find the **speed** trailer and have it set on Enos Lane, therefore, we were surprised that CHP was the department responsible for getting the trailer placed on Enos Lane. However, soon after the trailer was **set** down, there were three cars stopped **by** it and three women, who had apparently just left their children at the school, were out looking the situation over.

When I saw the CHP patrolmen picking up the trailer a few hours later, he indicated that they had received three complaints to remove it and he had to take it away. I expressed my disappointment because it was our hope that when it was left over the weekend, that it would give traffic that goes up and down at that time an indication of just how fast they were going on a narrow country road. And as the patrolman stated, we often mis-judge how fast traffic is going so the speed trailer would have given us an honest answer. The trailer was not intended to intimidate the school traffic but rather to let others know when they are going too fast.

So again we are disappointed that people who are associated with the school do not like to comply with our request to monitor traffic up and down Enos Lane. This is a problem we have had with the actions of the school ever since the beginning. The road has always been a problem and we do not understand why they are not required to have their own private road or else move to an area that is served by a public road.

County of Santa Cruz  
Board of Supervisors  
701 Ocean St, Suite 500  
Santa Cruz, Ca. 95060

Rttn: Ellen Pirie

Dear Ms Pirie,

First of all, thank you for answering our letter back in February of this year. The only problem we have, is that we were here in 1979 when we attended public meetings by the planning commissioners for the Use Permit for the school at that time. At these hearings, it was clear that all five planning commissioners recognized the problem of a narrow private road and issued suggested conditions for making the road safe for vehicles going to and from the school. At these hearings, several questions were asked of the person representing the school, if there was something being done regarding another road or a road association and the commissioners were assured that this **was** being taken care of. But when the permit went to the Board of Supervisors for approval, two of the conditions were deleted. At that time the supervisor from our district had a **son** who **was** enrolled at the school and it apparently **was** recognized that the school could not continue unless these two conditions were removed.

Because the people who now represent the school, and at the meeting of the neighbors on Enos Lane. it was stated that there **was** a Road Association and as **you** will recall, this **was** immediately corrected as no one has ever had a Road Association in our area. Therefore, you became aware at that time that there was misinformation being given to you and the people speaking for the school.

That is why we feel it necessary to let **you** know that information that was printed in the notes of the meeting at the school on May 5th had misinformation. Under the paragraph titled "Long Term Solution", it is stated that "homes next to the road must be accepting of the widening since there is a 40' easement (so technically we could widen the road to 40')". No where in our property deed or our neighbor's property deed is there a described 40' easement and we have done a lot of research on this particular problem and can find no where **that** there is a described easement or right of way written in the county records. Therefore, to use the school's words, widening the road is NOT an option.

Last week, after being gone for a few days, when we returned, we found that someone **had** placed two steel survey stakes in the road, one across from our property **and** the other down by the water tank. These in no way represent any property lines as recorded ~~in the county records.~~

From the wording of the notes of the meeting at the school, it is clear that no plans are being made to limit the enrollment to the limits in the current Use Permit but plans are being made to increase the enrollment by 50 more students.

Because we were aware that there was a narrow private road here when we purchased our property and built our home, we knew it would be difficult for the area to develop into a lot of homes and would remain a nice quiet rural area. In fact, the Planning Dept turned down a request by the owner of that property to develop 35 homes because the Planning Dept said it was too high density for the area. We now recognize that it would have been far better to have had 35 homes there with one or two cars to each home using the road than to have over 200 cars daily travel the road.

Also, we would like to mention that on February 4th this year at about 2:00 P.M. there was a car went off the road and got stuck in the ditch alongside the road. This caused a back-up of cars coming down from the school because they couldn't get around it. What would happen if an emergency vehicle were coming up the road and meeting traffic at a narrow spot in the road? In case of emergency, is there a safe way for vehicles to exit the school?

We don't like this to be a personal problem but we feel this is something that has gotten clear out of control. There should have been better planning right from the beginning and also, there should have been some kind of monitoring of what was going on during all the years the enrollment has increased. We feel allowing this Use Permit to be amend-24- include more and more students is detrimental to the neighborhood and we trust you will give us some kind of considerat

**BOARD OF SUPERVISORS**

701 OCEAN STREET, SUITE 500, SANTA CRUZ, CA 95060-4069

(831) 454-2200 FAX: (831) 454-3262 TDD: (831) 454-2123

JANET K. BEAUTZ  
FIRST DISTRICTELLEN PIRIE  
SECOND DISTRICTMARDI WORMHOUDT  
THIRD DISTRICTTONY CAMPOS  
FOURTH DISTRICTMARK W. STONE  
FIFTH DISTRICT

June 7, 2004

Jake and Marilyn Head  
25 Enos Lane  
Watsonville, CA 95076

RE: SALESIAN SISTERS SCHOOL USE PERMIT

Dear Mr. and Mrs. Head:

Thank you for your letter of May 25, 2004, concerning the possible amendment of the use permit for Salesian Sisters School. Allow me to try to summarize the situation and where I expect it to go from here.

As you probably know, the school has a use permit from the 1970s allowing it to have a student population of 125. Over the course of the last 25 years or so the student population has grown to 205 students. When the County became aware that the school had exceeded its allowed population limit, it notified the school that it had to either reduce the population to 125 students or apply for and receive an amendment to its use permit. The school is choosing to apply for an amended use permit. I expect that their application will be to allow them to have up to 250 students.

Consideration of any amendment request will take some time and it is imperative that the school reduce the traffic immediately. According to school representatives, at the very end of the school year the school instituted an aggressive car pooling program. They proposed to continue that car pooling program through the next school year. In addition, no additional students will be enrolled at the school.

The school's representatives say that their long-term solution is to build a new driveway to the school off of Hames Road. I will support their efforts to do that. The expectation, however, is that accomplishing that solution will take a few years. In the meantime, they expect to propose to widen Enos Lane to 18 feet. They are also discussing the possibility of creating an asphalt pathway for pedestrians which would be located next to the roadway. Naturally, widening the road or creating this pathway will require that they have an easement over the property from their land to Hames Road. If they do not in fact have an easement that is at least 18 feet wide, they would have to purchase the additional easement from each adjoining property owner in order to be able to accomplish the widening.

I agree with your sentiments that the initial planning for this school and for access to the school was not done well. On behalf of the County I apologize for that. We need to be sure that a much more thorough job is done this time.

Again, thank you for writing.

Very truly yours,

ELLEN PIRIE, Supervisor  
Second District

EP:lg

1817C2

# Fire & Environmental Reports

In August of 1975, the Planning Commission approved Use Permit 75-600-U for a noviatlate, consisting of a main building with a chapel, staff quarters, kitchen and dining room, and three dormitories with 30 rooms each, and to operate a six-week summer camp for 70-90 girls. This present proposal will convert a portion of the main building, which is under construction, to classrooms. The entire development is located near the center of the 57 acres.

In January of 1976 the Board of Supervisors rezoned the southerly 14 acres with an apple orchard to A-10 and rezoned the remainder to the REC district. The rezoning action was a condition of Use Permit 75-600-U.

A conditional use in the REC district is an organized camp, which is defined as "a site established for the purpose of providing an educational or spiritual experience, with social and recreational elements and having a supervised program." It is not clear that the Intent of the above provision for an educational experience in conjunction with the REC district translates into elementary school classrooms. In fact, the Planning Commission may not have yet made that interpretation under the new REC district. In this particular case, the school use appears to be consistent with the intent of the Use Permit for the noviatlate and the condition for rezoning.

The property is located between two areas of the Zayante fault which are assigned a moderate surface rupture potential on the Seismic Element. In those locations the Zayante fault is designated by the State and County as potentially active. On site the fault has an unknown surface rupture potential. This may be due to the presence of Aromas sands which are easily modified. The structures are placed on level areas on cut slopes and the landslide potential does not appear to be great. (See attached memo from staff geologist).

The property is about one mile north of Hames Road on Enos Lane, which is narrow (12-16 feet) and is designated inadequate on the Safety Element. The applicant is proposing to widen portions of Enos Lane and provide turnouts (see attached Exhibit A). The applicant is also proposing a system of busing/car pooling using the grounds of Holy Eucharist Parish about 1 1/2 miles south on Corralitos Road as a meeting and transfer point. The County Fire Marshal has reviewed the building plans and has recommended approval subject to seven conditions. About 3 miles north of the site, Enos Lane connects with Eureka Canyon Road through Rider Road and with Fern Flat Road. The right-of-ways are uncertain and the roadway is unpaved and impassible during winter months. The area surrounding the property is designated a critical fire hazard due to flammable vegetation and steep slopes.

Any disturbance or removal of brush or grass will increase surface water runoff and erosion and decrease natural revegetation potential.

#### Fire Hazard

The site vegetation of grasslands and chaparral is extremely flammable. Once a fire begins in these biotic communities, it will travel rapidly. Containment of such a fire is difficult, particularly in areas of less than 20 foot road width with insufficient fire hydrant availability. The area does not appear to have burned over recently and there is a thick and highly flammable understory composed of manzanita, dead oak, bacheris and various european grass types.

.. - ..

#### Tate Minor Land Division (MLD):

The provision of vehicular access roads to the MLD parcels is problematical, particularly to the most northerly parcels. County Standards for a MLD indicate a minimum 16 foot width road (additional specifications available from the Department of Public Works) to be provided by the developer to each parcel,

#### - Recommendations of Districts:

The California Division of Forestry recommends minimum 20' 'all service' mads to provide sufficient access to the PUD and MLD parcels.

Water: City of Watsonville Water Department, Department of Public Works,  
Mr. P. Covell

#### - Provision of Services:

Existing Service: There is presently no public water service to the site though there is a well and pump on the property. Parcels to the north and west are served by private wells; to the south by the City of Watsonville Water Department.

Existing Service Area: The proposed projects are on the north-western boundary of the City of Watsonville water service area.

As the parcels are within the proposed future service area, provision of City water is (1-28-19) agent upon approval by the City Council, The Council has given its approval for the pump

on Enos Lane. This means that the present infrastructure is insufficient to handle the number of cars presently traveling to and from the school.

This leaves two solutions: (1) reduce the number of cars that travel the road during peak periods, or (2) increase the dimensions of the road to allow for increased traffic flow. To decrease the number of cars, the school may wish to consider an enhanced carpooling or busing program. To increase the traffic flow, the school could widen either Enos Lane or the driveway surrounding the school to meet current fire access code requirements. Widening the access road around the school may be the most feasible because it involves a single parcel instead of an entire road (Enos Lane). If the school can widen the access driveway around the school so that cars can park along the side without impeding emergency ingress or egress, this might provide a sufficient infrastructure for the current traffic.

These solutions, however, only apply to maintaining the presently allowable enrollment. If the school pursues obtaining a use permit for more than the current 125 allotted students or a permit for any new buildings, this office will be obligated to impose all current fire code requirements. This means that the school would likely have to widen Enos Lane as well as the access road that surrounds the school from the current 16' in width to 20' in width. It also means that parked cars would not be allowed on any portion of that width, as it would be dedicated solely for ingress and egress. Additional parking turnout would be required to accommodate the carpool staging.

Hopefully, this clarifies the extent of the fire-safety issues at Salesian Sisters School and the action needed to abate current hazards and avoid future infringements. The corrective order setting forth applicable deadlines for curing the noted violations is set forth on the following page. If you have further questions regarding this matter, please do not hesitate to contact the Fire Marshal's Office.

Attachment A

- ① Until the roadway is improved to Fire Marshal standards of 16-foot width or until the formation of an assessment district to accomplish the required road improvements, the school operation shall be limited to Grades K-8 with a maximum of 125 students. There is a continuing requirement for carpooling or busing.
2. When the roadway is improved per Condition #1 (above) or when an assessment district to accomplish the improvements is formed, the total number of students may be increased to 250 students, Grades K-12."

### ANALYSIS

Although the applicant is proposing a current expansion to 125 students K-8, the school desires to accommodate 250 students in grades K-12 as part of its long range plans. With a school for 90 students already permitted and in operation, it seems reasonable to conclude that any noise problem already exists. In fact, the initial noise change (from existing rural sounds to school yard sounds) was probably more objectionable than a noise increase would be from this proposal (from 90 students to 125 or 250 students).

3.8/car

5/10/78 The school traffic situation is the major concern. The safety of Enos Lane for resident drivers, pedestrians (public school children catching the bus) and the Salesians' students is questionable. With the road narrow and only minimally improved in some areas, it seems the addition of 35 students now and a future addition of 160 students (nearly three times the current load) warrants complete road improvements. Even if the applicants can continue their carpool program, the additional 35 students will result in approximately 36 more trips to and from the school each day for a total of 132 trip ends per day. This traffic is equivalent to the traffic coming from 13 single-family residences. - 33

If the school continues with its expansion plans and includes 250 students eventually, that would create 262 trip ends per day (3.8 students/car, 4 trips/car) or the equivalent of the traffic coming from 26 single-family dwellings (assuming 10 trip ends per unit). In April 1978, in the area north of Times Road and south of the Salesian Sisters property, there were about 53 parcels which could use Enos Lane for access. About 1/2 (or 26) had single-family dwellings. Apparently, then, the eventual expansion of the school will create traffic equal to that currently coming from all the existing developed parcels.

### REZONING FINDINGS

1. Churches, convents, and schools are conditional uses in the "U" zone; therefore, the proposed U-BS zone is appropriate to the permitted existing uses.
2. The school was originally found to be consistent with the General Plan as the facilities are clustered to conserve open space and the school is appurtenant to the surrounding rural residential use. Therefore, the U-BS zone is consistent with the General Plan.
3. With previous and proposed conditions for road improvements, the site will be physically suitable for the school facilities. Therefore, the U-BS designation will not be detrimental to public health, safety, or welfare.

RECOMMENDATION: Approval of U-BS-4-30-e zoning.

NUMBER OF OBSERVATION AND NUMBER OF DETERMINATION

APN: 107-121-60

File No.

78- 935-2

78-1539-U

**Staff Person:**

---

Suzanne Kulick

Telephone:

(408) 425-2191 Y  
425-2286

**Mitigation Measures or Conditions:**

Until the roadway is improved to Fire Marshall Standards of 16-foot width or until the formation of an assessment district to accomplish the required road improvements, the school operation shall be limited to Grades K-8 with a maximum of 125 students. There is a continuing requirement for carpooling or busing.

Date approved by Environmental Review Committee: 3-5-79,

Review period ends: 3-15-79

Chairperson, Environmental Review committee  
Jan Winters

NOTICE OF DETERMINATION (If project is approved, complete and file this notice with Clerk of the Board.)

The final approval of this project was granted by:

\_\_\_\_\_ or \_\_\_\_\_. No EIR was prepared under CEQA.  
(Decision-making body)

Date completed notice filed  
with Clerk of the Board:

By Clerk of decision-making body

Title:



SOCIO-ECONOMIC SYSTEMS

PUBLIC SERVICE CONSIDERATIONS

The following public service information relates primarily to the two land development proposals, except as water supply is an issue, and where provision of services may help define future area water needs.

As the Corralitos Estates (CPUD) proposal calls for more intensive development, its impact on the service base will be greater than the Tate Minor Land Division.

Fire: California Division of Forestry, Mr. J. Rosasco

- Fire Hazard Rating



Orchard: 6-8, moderate to high hazard

Slopes and Brushlands: 9-10, extreme hazard

- Response time: 4 minutes

- Provision of Services

November 1 - May 1: Division of Forestry on contract to the County of Santa Cruz. Equipment during these months consists of one truck, with a 250 gal/min volume (capacity), and team of four men. Mutual aid agreements exist between the California Division of Forestry and the City of Watsonville and Salsipuedes Fire Departments.

May 1 - October 30: Division of Forestry is responsible to the State of California. Equipment during these months consists of two trucks, with a 250 gal/min volume, and a team of eight men and a 1000 gallon capacity pump truck. Structure fires are given high priority, particularly in areas of severe fire hazard from brush and timber.

- Recommendations by District:



Minimum 20' wide, "all service" access roads to all parcels.

Provision of fire hydrants (particularly to M.L.D. parcels) with a capacity of 500 gpm for two hours.

Excerpts from S.C. Planning Commission  
meeting minutes 5/16/79

7 conditions were recommended  
by all planning commissioners. 5/16/79

3 conditions were deleted  
by Board of Supervisors  
per Supervisor's Order dated 7/3/79

EXCERPTS OF SANTA CRUZ COUNTY PLANNING COMMISSION MEETING MINUTES OF MAY 16, 1979, HELD AT 7:00 PM, IN THE COUNTY ADMINISTRATOR'S CONFERENCE ROOM, ROOM 520, GOVERNMENTAL CENTER, SANTA CRUZ, CALIFORNIA

COMMISSION PRESENT: Gotthold, Von der Muhll, Eberly, Kelley, Dixon  
STAFF MEMBERS PRESENT: Niebanck, Winters, Eymard, Van de Veer, Fleissner, Bussey,  
Eymard, Dening  
CHIEF DEPUTY COUNTY COUNSEL: Ritchey

All legal requirements for items set for public hearing on the Santa Cruz County Planning Commission agenda for the meeting of May 16, 1979 have been fulfilled before the hearing as follows: Legal notice published in the newspaper as required by law for a public hearing; Supervisors of the Districts notified; property owners within a radius of 300 feet notified of the proposals; the property posted where applicable.

AGENDA ITEM NO. A . 78-935-Z & 78-1539-U . SALESIAN SISTERS

Rezoning and Use Permit applications to rezone property from the REC (Recreational) District to the U-BS-40-Acre (Special Use, 40-acre minimum building site area) District or other appropriate district, and to amend Use Permit 78-323-U to operate a school for Grades K, 1, 5, 6, 7, & 8 by expanding the school facilities to include Grades 2, 3, 4, 9, 10, 11, and 12 in existing buildings, on property located on the west side of Enos Lane (605 Enos Lane), one mile north of Hames Road. (Continued from 5/2/79 for lack of hearing time.)  
A.P.N. 107-121-60 EUREKA CANYON AREA Second Supervisorial District

Don Bussey, staff planner, stated that a letter from the California Department of Forestry indicates that the school has a good fire rating. He recommended deferring the high school portion of the use permit since that expansion is so far in the future. Regarding the rezoning application, he stated that last year the Planning Commission felt that REC zoning is not appropriate for this use.

Commissioner Von der Muhll pointed out that the roads would be disrupted during an earthquake and that secondary access would be needed. She asked if there is a possible secondary access, Mr. Bussey replied that there is none that is feasible.

Commissioner Von der Muhll asked for a density calculation for determination of consistency with the General Plan, and asked what part of the property is in the "Conserved" designation and what part in the "Rural Residential" designation. Mr. Winters explained the basis for determining densities for the REC district and school. Mr. Bussey replied that the property is 50/50 in the two designations.

Commissioner Gotthold asked if any effort is being made to establish a road maintenance district, Mr. Bussey replied that efforts have been made, but he does not know if it has been accomplished.

Chairman Cixon opened the public hearing.

George Davis, contractor who has worked with the Sisters since they sold the facility at Cabrillo, stated that conditions involving improvements to Enos Lane have been required and completed in the past, but it is impossible for the Sisters to upgrade and maintain the whole road. Since carpooling would continue and the student population would increase gradually, the school's impact on the road would be minimal. He would like to see the road engineered

maintained properly, and widened. Regarding the fire hazard, the school has an 80,000 gallon tank and they feel they have excellent fire protection. He asked the Commission to allow Grades K-8 with continued carpooling and the high school after Enos Lane is improved. Commissioner Gotthold asked if the road maintenance district is being established. Kr. Davis replied that it is.

Ray Amrhein is working on a maintenance district. The upper portion of Enos Lane is a drainage way as well as road. He described the maintenance options in order of cost: private maintenance, County maintenance, and assessment district. Commissioner Eberly asked how they planned to solve the problem of width of the right-of-way. Mr. Amrhein replied that it is a 40' right-of-way past the Tindall property. Along the Tindall property it is 20', but there is a possible additional 10' that could be contributed. Commissioner Rowe asked if there has been an estimate of the cost of bringing the road up to County standards, has that cost been compared with other costs, and what has been the response to these proposals. Mr. Amrhein replied that, roughly speaking, County maintenance costs twice as much of contract maintenance, and assessment district maintenance costs three or four times as much. Commissioner Von der Muhll asked if there is a feasible secondary access. Mr. Amrhein thinks so, and is sure something can be worked out.

Chris Emmy of Howell Lane spoke of her desire for her daughter to go to the Salesian Sisters' school and of the need for maintenance of Enos Lane.

Jake Head of Enos Lane stated that the road is hard to maintain, because each winter damages it. The drainage problem is bad, with 50 homes on Enos Lane with drainage systems. There is a traffic problem on the road, not only from the school. He is reluctant to improve the road, since heavy equipment has ruined it in the past. Regarding the ISO fire rating, it was granted with a Salsipuedes tanker present which is not always there. Commissioner Gotthold asked if the area pays into a drainage district. Mr. Head replied they did not; the County twice cleaned out the drainage ditch, but will not do it anymore.

Monica Baronovich, a 7th grader at the Salesian Sisters' School, told the Commission how pleased she is with her education at the school.

Les Strnad, who lives at the corner of Enos Lane and Hanes Roads, stated that the Sisters are an asset to the community, but he does not believe the high school should be approved and wonders how many traffic-inducing school-related activities a high school would generate. Regarding the road, carpooling has been working. Regarding drainage, they pay into the Resource Conservation District, but they no longer maintain the drainage ditches. The right-of-way is on their property and Tindall's property, but they were not contacted for regarding an assessment district, and are wondering how it would work. They agree that secondary access is necessary.

Sister Cesira, principal of the school, stated that the high school would be a small girls' high school program. The school does not want student traffic and they do not think they can offer traffic-inducing programs. They got very good cooperation with their carpool program and parent meetings are staggered so all do not arrive at once. Commissioner Eberly asked where the expansion of the school will stop. Sister Cesira explained that financially it is not possible to expand to a large school; there are no plans beyond what is here in these applications. Commissioner Von der Muhll asked about summer camp. Sister Cesira

explained the summer camp program. Commissioner Von der Muhll asked if they planned a summer school. Sister Cesira replied they were not. Commissioner Von der Muhll asked for confirmation that the high school would not be added until 1988. Sister Cesira confirmed that. Commissioner Von der Muhll then asked if Sister Cesira minded not getting the permit for the high school now. Sister Cesira replied that they are interested in filling in the elementary school now, and asked for the high school expansion only to be open about their future plans. Chairman Dixon asked if a permit for 150 students would allow Grades K-8. Sister Cesira replied that it would; the number of high school students would depend on the need. Commissioner Gotthold asked if the school has a waiting list. Sister Cesira replied that it does. Chairman Dixon asked if there would be additional construction for K-8 and the high school. Sister Cesira replied that there would not, since the school has capacity for 250 students and cannot afford physical expansion. Commissioner Von der Muhll asked if the dormitories have been converted. Sister Cecelia replied that part of the residence for the sisters was converted into classrooms.

Matthew Grizich, parent of two children at the school, thinks he speaks for a lot of parents. The school fills a need for a quality Christian education and they are asked to complete the school. The road needs to be improved by all.

Susan Dotson of Howell Lane is concerned about the traffic and does not see why she should help pay for a 40' road. Commissioner Rowe asked if she would be willing to contribute to a 20' or 16' road. She replied that she would be.

Marilyn Head stated that she is concerned about traffic and speed on the narrow road and does not believe that this is the best site for a school.

Anthony Liles, president of the student council at the school, told the Commission that there are only a few private high schools in the area and this is a good opportunity for girls to get a good private high school education.

George Davis stated the major problem is the road. The school's primary request is to fill in the missing three elementary grades. They asked for the high school to save another application. Small class size is what the school desires. Chairman Dixon asked Mr. Davis if he thought the road would be improved within the next year or two. Mr. Davis said it cannot be done by September. Commissioner Von der Muhll asked if there would be more than 200 persons at the school for any event. Mr. Davis replied there would not. Commissioner Von der Muhll asked about parking capacity. Mr. Davis replied that there are 30 spaces without parking on the road; they use the baseball field for overflow parking.

Mr. Amrhein stated that he has no question in his mind that a road maintenance agreement can be worked out. A court-appointed referee can help apportion cost if necessary.

Commissioner Eberly asked County Counsel how many people have to agree to a district. Mr. Ritchey said if there is a contract, all would have to agree; for maintenance districts, there would have to be a majority vote; for assessment districts, a 2/3 vote. Commissioner Eberly asked if there can be another access from Eureka Canyon or Pleasant Valley Road. Mr. Amrhein replied that there is a possibility of going down Pleasant Valley.

Chairman Dixon complemented the young people who spoke and congratulated the Sisters. He thinks that nothing was done with the road while growth was going on and it is time for residents to take care of the road; the school should take the lead in doing this. He is willing to support amendment of the permit to include grades K-8 for 150 students.

Commissioner Von der Muhll asked if road improvements would be necessary to allow 150 students. Mr. Winters replied that they would be. Commissioner Rowe asked about the language of "assessment district" in the Negative Declaration. Mr. Winters agreed that some form of improvement is meant.

Commissioner Von der Muhll expressed her feeling that it is regrettable that the school use was not foreseen four years ago. She is not comfortable with more than 125 students until there are road improvements and secondary access. She is supportive of the school, but public safety is a concern of the Commission.

Commissioner Gotthold is satisfied that effort is being made to improve the road. He does not favor allowing more than 125 students.

Commissioner Eberly does not feel that any significant effort has been made to improve the road; the area is not adequate to handle the proposed size of the project. He is worried about a seismic problem, but does not think residents should be required to widen the road beyond what they need. He will go along with 125 students if the Environmental Review Committee's concerns are met.

Commissioner Rowe believes that addition of Grades 9-12 is premature at this time. He would be in favor of adding grades 2, 3, and 4.

Commissioner Gotthold asked Sister Cesira about the urgency of the application. She stated that they have 8 students moving to the second grade next year. Nine will be graduating from the 8th grade. She believes that they can handle 125 children in the same number of cars in the carpool program.

Discussion followed regarding possible conditions for approval of the use permit. Mr. Winters suggested using the conditions on page 4 of the original staff report as a model for possible approval.

Commissioner Von der Muhll moved that the Commission recommend approval of rezoning application 78-935-2 to the Board of Supervisors and approve use permit application 78-1539-U to allow expansion of the school to 100 students in Grades K-8 during 1979-80, and to allow subsequent expansion to 125 students in Grades K-8 providing the following conditions are met:

1. Enos Lane shall be improved to a minimum width of 16' up to the Salesian Sisters' driveway into the grounds.
2. The 16' wide travelled roadbed shall be constructed with 5" base rock, class 2, with oil and screenings seal coat and an engineered drainage plan be submitted and approved by the Department of Public Works.
3. Notorized road maintenance agreement shall be submitted for Community Resources Agency staff review and approval.
4. The car pool program shall be coordinated.

5. There shall be no parking on Enos Lane blocking the road when parking exceeds the 30-space capacity of the parking lot.
6. When more than 200 people are in residence, sewage clearance shall be obtained from Environmental Health.
7. The applicant shall obtain a secondary access from Enos Lane to Hanes Road.

Commissioner Gotthold seconded the motion, which passed by a unanimous vote.

Mr. Amrhein objected to a notarized road maintenance agreement, as he feels he precludes all his other options. Mr. Ritchey did not agree. Mr. Amrhein explained the civil right of declaratory relief action. Commissioner Rowe stated that any method that works is the Commission's intent and that no memorandum to that effect is necessary as the Commission's intent is part of the record.

PLEASE NOTE: THESE MINUTES HAVE NOT BEEN APPROVED BY THE PLANNING COMMISSION  
AS OF THIS DATE, JUNE 22, 1979.

Planning Com  
7-Condin

GALE FLEISSNER, RECORDING SECRETARY  
PLANNING COMMISSION  
COUNTY OF SANTA CRUZ

COUNTY OF SANTA CRUZ  
STATE OF CALIFORNIA

IN THE BOARD OF SUPERVISORS

CERTIFIED..... COPY  
SUPERVISOR'S ORDER

On the date of ..... July 3, 1979

ITEM NO. 44

(Ordinance No. 2726 adopted rezoning property of  
(Salesian Sisters and Use Permit approved as amended  
(to allow expansion of school facilities . . .

Supervisor Patton moves, duly seconded by Supervisor Matthews, to  
delete condition No. 7 - The applicant shall obtain a secondary access from  
Enos Lane to Hames Road.

State of California, County of Santa Cruz—ss.

Richard C. Neal, County Clerk and Ex-officio Clerk of the Board of Supervisors of the County  
of Santa Cruz, State of California, do hereby certify that the foregoing is a true and correct copy  
of the same as made and entered in the Minutes of the said Board of Supervisors. In witness whereof  
I have hereunto set my hand and affixed the seal of said Board of Supervisors.

RICHARD C. NEAL, County Clerk

....., Deputy Clerk

VOLUME 79

May 2, 1979

USE PERMIT RECOMMENDATIONS AND CONDITIONS

Amended by (See attached findings.)

Planning Commission

on 5/16/79. Staff Recommendation: Approval of use permit to allow expansion of school to 100 students (grades K-8) during 1979-80, and subsequent expansion to include 125 students, grades K-8, with the following conditions to be completed prior to the beginning of school year 1979-80, expansion to 125 students.

Deleted

1. Enos Lane shall be improved to a minimum width of 16 feet up to the Salesian Sisters' driveway into the grounds.

Amended by  
Planning  
Commission  
5/16/79.

2. The 16-foot wide travelled roadbed shall be constructed with 5 inches base rock, class 2, with oil and screenings seal coat, and an engineered drainage plan shall be submitted to and approved by the Department of Public Works.
3. Notorized road maintenance agreement shall be submitted for Community Resources Agency staff review and approval.
4. Continuance of car pool program.

Added by  
Planning  
Commission  
on 5/16/79.

5. There shall be no parking on Enos Lane blocking the road when parking exceeds the 30-space capacity of the parking lot.
6. When more than 200 people are in residence, sewage clearance shall be obtained from Environmental Health.

Deleted

7. The applicant shall obtain a secondary access from Enos Lane to Hames Road.

As an alternative to the above three conditions, the Commission may wish to consider the following:

- a. Carpooling program will be limited to the 1978-79 program (25 cars) and the additional 35 students shall be transported by one bus.

The expansion of the school to 250 students, grades K-12, may be permitted with the following conditions:

1. Road shall be paved to 16-foot width with 2-foot improved graveled oil and screening shoulders on both sides and a continuous pedestrian path along one side separated from the roadway.
2. Carpooling shall continue.
3. A busing program shall be developed to transport 50% to 75% of the students, depending upon the distribution of their residences.

SK:gf  
4/27/79

ON MAY 16, 1979, THE PLANNING COMMISSION RECOMMENDED APPROVAL OF THE REZONING APPLICATION 78-935-Z TO THE BOARD OF SUPERVISORS AND APPROVED USE PERMIT APPLICATION 78-1539-U WITH AMENDED CONDITIONS.

COUNTY OF SANTA CRUZ

USE

**-PERMIT-**

NUMBER 78-1520-U

ISSUED TO George Davis for Salesian Sisters  
2500 E. Lake Avenue #15 Enos Lane  
Watsonville, CA 95076 Watsonville, CA 95076

PARCEL NO.(S) 107-121-60

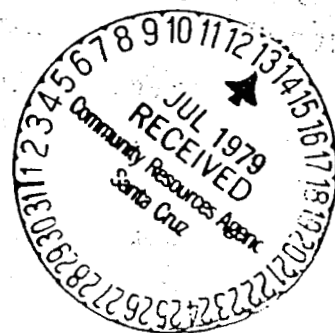
LOCATION OF USE On the west side of Enos Lane, about 1 mile north of Hames Road, Corralitos Area.

PERMITTED USE Use Permit to allow expansion of school to 125 students (grades K-8), subject to the following conditions:

1. At the time a maintenance agreement is established, a notarized copy shall be submitted for Community Resources Agency staff review and approval.
2. Continuance of car pool program.
3. There shall be no parking on Enos Lane blocking the road when parking exceeds the 30-space capacity of the parking lot.
4. When more than 200 people are in residence, sewage clearance shall be obtained from Environmental Health.

DB:gh

Note: This use permit amends Use Permit 78-323-U.



THIS PERMIT WILL EXPIRE ON \_\_\_\_\_ IF IT HAS NOT BEEN EXERCISED.

NOTE: APPLICANT MUST SIGN, ACCEPTING CONDITIONS. OR PERMIT BECOMES NULL & VOID.

SANTA CRUZ COUNTY ZONING ADMINISTRATOR

BY Susan Blair, Chief DATE 7/12/79

SUSAN BLAIR, CHIEF

-41- ELOPMENT PROCESSING

SIGNATURE OF APPLICANT

Letters written 1979

regarding problem of traffic  
on narrow road which still  
applies today - only worse!

May 2, 1979

To: Planning Commission  
701 Ocean St.  
Santa Cruz, Ca.

This letter is being written in reference to Application #78-1539-U & #78-935-Z being considered Wed. evening, May 2nd.

As a property owner at 21 Enos Lane, Corralitos, I wish to go on record as opposing any more expansion of the facilities at the Salesian Sisters School unless adequate steps are taken for <sup>advance &</sup> egress.

I personally feel that another right of way is necessary if there is to be any more ~~numerical~~ growth at the school.

-6-

A

The sixteen foot right-of-way of Enos Lane is totally inadequate to handle the traffic created by both increased enrollment and well as newly constructed single-family homes.

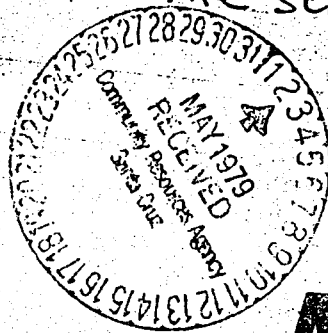
Again I would like to emphasize that Enos Lane is already inadequate to handle the present traffic flow. If any expansion at the Salesian Sisters School is to take place, either a lot of work has to be done on Enos Lane or a new route <sup>from</sup> to the school must be found.

Thank you.

Sincerely,

Houy Tatala

21 Enos Lane  
Corralitos, Ca.



**A**

Watsonville, Calif.  
May 1, 1979

San Cruz County Planning Commission  
San Cruz, California

Re Salesian Sisters Application # 78-1539 U

en;

near the location of the Salesian School and Enos Lane is our road to Hames Rd. We are opposed to the above application for following reasons:

- 1) As you state in the Analysis the safety of Enos Lane is indeed questionable. Two autos cannot pass in many areas and a deep gully caused by erosion runs along each side of the road. If it is unsafe for us resident drivers then it is for the children who walk to and from the school bus on Hames Rd. and for the Salesian students and their drivers who may not be as familiar with its pitfalls. You recommend that the road be improved and that a notarized road maintenance agreement be submitted for approval. Who will guarantee in the future that the maintenance agreement standards are met and the road kept safe through our wet winters with all the run off down Enos Lane?
- 2) The increase in traffic attending the Salesian School only increases the traffic to students and their trips to school. There is bound to be much additional traffic when parents visit the school, attend school functions and other normal school activities.
- 3) We question that the Division of Forestry can adequately supply fire protection to a school located on such a narrow road. We hope that the Commission will not hastily amend this use permit only to find later in case of fire or other disaster that it would regret its action.

San Cruz County feels the increased number of students is essential. Is school should they not make Enos Lane a county road and maintain it?

Respectfully,

Delbert & Irene Smith  
150 Howell Lane  
Watsonville, Calif.





Re: Application  
#78-1539-U  
#78-935-Z

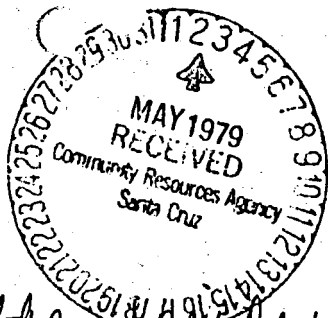
8/2/79

, A The: County of Santa Cruz  
Board of Supervisors

I should like to be on record as opposing further expansion of the "schooling" activities at the Mary Help of Christians Youth Center on Ens Road in Conalitos for the following reasons: .... I believe it is beyond the concept of fairness to expand & change from an initial & limited concept of summer camp for children and "retreat" for the Sisters to a program that not only vastly increases the noise and upset of traffic in a rural neighborhood, but proposes the local residents pay for road expansion.

Sincerely  
Robert Begg

June 30, 1979



Sirs,

We are the residents of 354 Humes Road, Elites, and are very concerned about a project by the Salesian Sisters to change a temporary recreational summer camp and a united school of 90 students (K-8<sup>th</sup> grade) to a permanent high school (K-12) with 200 students.

Last year, we were personally assured by the Sisters that they never intended to have more than 150 students (K-12) when the facility was fully developed. We were shocked when we heard of these major expansion changes from one of our neighbors.

Concern grew when we learned of a meeting with the Sisters which recently took place with a select group of residents living in the immediate area. This meeting was held to discuss road improvements to facilitate the school expansion (Enos Lane). -10- The discussion apparently included the possibility

In order to obtain additional information regarding this project, we contacted Community Resources Agency office and were assisted by Mr. Don Bussey. Although Mr. Bussey's excellent professional assistance, we were told of the history, analysis, and impacts of the Sister's seed project. Once again we were used to learn that part of the C.R.A. recommendation for the zoning change and permit included improvements to Lane and/or the formation of an assessment district. He would like to point out that the first 300' of Enos (from Hames Road) is a right of way entirely on our property. We find the concept of an assessment district condition of a rezoning or use it for a school or the discussion of an assessment district a rude and moderate attempt to exclude our lot into a neighborhood issue.

Last year we expressed our concerns on the first phase of the school improvements, as well as personally offered our support and assistance to Sister Mary Helen in achieving a reasonable expansion of the school in the future. Apparently, the applicants' interest in their original "rural" school atmosphere has been set aside for larger and larger growth plans. The full expansion plan, in our ~~opinion~~ opinion, would be much more appropriate in an urban area where adequate facilities could provide the needs for a high school.

Another concern of ours deals with the summer recreation camp. Will the school expansion be in addition to the existing "camp" and, if so, what would be the total impact of the combined uses on this area of rural Corralitos? **A** How many weekend or after school events will be associated

-12-

The rural area of Coralitos has no sewer facilities, adequate transportation system, or full time fire department. The Division of Forestry Fire Equipment is frequently not available and the lack of an emergency road exit to the school would create an extremely difficult and potentially disastrous situation.

For these reasons we cannot support the expansion of the Salesian Sisters school to 250 students. Further, we feel that the proposed findings for a rezoning and the high school expansion are inconsistent with the County's General Plan.

We ask that the Planning Commission limit the expansion to a maximum of 125 students (K-8) and that the road maintenance (of Enos Lane) should be the responsibility of the Salesian  
 C. A. ...

A

for considering our  
thoughts and concerns.

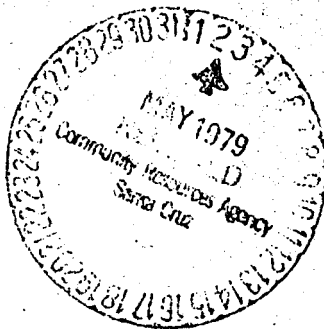
Sincerely,

Les and Susan Strnad  
354 Hames Road  
Corralitos.

CC: Supervisor Marilyn Fiddicost  
Salesian Sisters

Planning Commission please enter  
this into the Salesian Sisters File.

**A**



May 1, 1979

25 Enos Lane  
Watsonville, Ca. 95076

Planning Commission  
701 Ocean Street  
Santa Cruz, Ca.

Attention: Ms. Suzanne Kulick

Re: Application #78-1539-U  
and #78-935-Z

Gentlemen:

Being property owners at 25 Enos Lane for the last 12 years, we would like to go on record as being opposed to any more expansion of facilities at the Salesian Sisters School as requested in the above applications. We are opposed to it for what we feel are many valid reasons. First of all; the access road is narrow and this was pointed out to the planning commission at the time the first permit was being considered to construct recreational facilities for temporary occupancy during the summer months. The permit was issued at that time on the basis of the above conditions.

About five or six years ago, the City of Watsonville obtained a right of way for an access road to build a water tank approximately 1000 feet north of Hames Road on Enos Lane and at that time, they constructed a very nice rural road using base rock, oil and screening seal coat, which at that time served approximately twelve to fifteen family dwellings. That road was well constructed and in a condition that would have lasted for years with normal usage by autos and pick-ups. It was never constructed to handle heavy equipment that was brought up by a construction company to start building the Salesian Sisters recreational facilities. At the time this equipment was brought in, it was brought to the attention of the construction company that the road was beginning to show signs of breaking down because of the excessive weight put on a rural road and they came out and choked on it but denied there was any problem. Since then, the road has gradually broken down at those points where there are now large chuck holes and break-offs along the sides which has been enlarged by the run-off of water and vehicles pulling over to pass.

Another problem is fire protection by the Division of Forestry and with a school this size with so many young lives involved, a lot of consideration should be given to this problem in case of emergency. For your information, during the winter months, Santa Cruz County contracts with the State Division of Forestry for rural fire protection, at which time the Corralitos Forestry Station is manned by one truck and one driver. Other protection is provided by a volunteer fire team.

Under winter conditions, this creates a very low fire protection coverage because this one truck can be called to any place in Santa Cruz County not protected by a fire district because it is leased by the County of Santa Cruz. During the summer months, The Division of Forestry is responsible for all State lands at which time there is more equipment and manpower based at Corralitos Station but there have been times that Santa Cruz County based State Division of Forestry trucks have been called to other counties on major forest fires leaving our area unprotected for limited times. At this time there have been only two or three trucks available to serve the whole Santa Cruz County area,

During the past sixteen years while I served as assistant fire-chief of the volunteer team, I have seen this happen many times and can recall the State Division of Forestry Station at Corralitos being manned by trucks from other counties to cover Santa Cruz County while our trucks have been on another assignment. I personally know that these people are not familiar with our area and could not possibly respond as quickly to a call as our locally based personnel. Also if the local based truck is out on a call and there is no equipment available at the station when a call comes in, mutual aid has to be called in from another station which takes longer for them to arrive on the scene. Another point is that during the summer months, the Division of Forestry is responsible to fight a fire on forest land and that is their major concern. The other problem would be blockage of the road with people leaving the area and fire equipment not being able to get in to fight the fire with no other access road, which has occurred in other counties.

Car pooling is another problem at the beginning of Enos Lane, creating a traffic hazard on a blind curve on Hames Road with cars parked alongside Hames Road blocking one lane at a peak period in the morning and parking on private property. There is no area available for them cars to congregate and wait for the car pool which is creating a traffic problem for people who travel Hames Road every morning and we have heard numerous complaints about having to wait to get by these cars parked alongside the road,

The turn-out that was required to be put in part way up Enos Lane has been of no value whatsoever, since a vehicle has to be 600 feet into Enos Lane from Hames Road before visual contact of another vehicle coming down is made in order for that vehicle to be able to pull into the existing turnout or the other vehicle to back down 600 feet to Hames Road as there is no other place to pull off. If a vehicle should meet a bus at any point between Hames Road and this existing turn-out, one or the other would have to back up to get by.

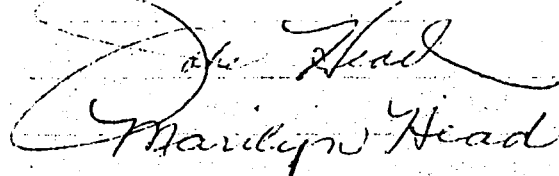
Another problem exists when activities are planned for an evening program or weekend flea market or plant sale which makes it almost impossible for residents to go up or down the road without having to wait for traffic to pass or to back down or up.

May 1, 1979

It seems that in the beginning this was proposed to be only a temporary summer recreational school and the permit was issued at that time even though the road was very narrow and now it has grown to the point that we feel another right of way should be considered. It is our recommendation that a right of way be considered from the Southwest corner of the Salesian property, running parallel to the west boundaries of property belonging to Andrew Thomas, which would bring them back to Hames Road at another point. It seems if such a right of way could be obtained, it would alleviate all problems of congested traffic on one narrow road and would give the school its own private drive to do with as they see fit.

We appreciate the good work the Sisters are doing and want no hard feelings with individuals but we feel the road is saturated now and there was poor planning in the beginning to allow the school to get started in this location without clear cut facilities for possible expansion, which surely should have been expected in the beginning. As individuals looking into building a home here twelve years ago, we had to do a lot of research before we could get clear right of ways to build our house and it is hard for us to understand why a school was not required to do similar research and make better plans for possible future expansion.

Respectfully submitted,



25 Enos Lane  
Watsonville, Ca. 95076  
Phone: 724-3362

cc: Ms. Marilyn Liddicoat  
Supervisor, 2nd Supervisorial District

cc: Salesian Sisters School

A

9/18/04

Ifland Engineers  
1100 Water Street Suite B  
Santa Cruz, CA 95060  
Attn: Glen Ifland


RE: Salesian Sisters School Enos Lane Street Improvement

Dear Glen,

It was good talking to you last week after all these years and it wasn't even about a Coastal Commission project! **As** we discussed, the current Ifland drawings submitted to the county dated 8/10/04 which show a forty foot right of way on our parcel APN 107-311-04 were preliminary drawings. You mentioned that your staff used the center line of Enos Lane (**Rider Road**) and then drew lines 20 feet from the center. You recall that I discussed the right of way problem with your field team and you indicated that you knew that there isn't a 40ft R/W on our parcel. To resolve this problem, we agreed that any future drawings submitted to the Santa Cruz Planning Department for the Salesian Sisters Project would delete the 40ft R/W reference on our parcel and reflect the accurate easement area for Enos Lane/ Rider Road according to our deed **as** found in the Santa Cruz County Recorder's office. To help your staff now, I have attached the easement descriptions and map recorded with our deed.

Glen, I want to thank you again for taking the time to discuss this R/W issue. This issue isn't new for the county or the Salesian Sisters. My wife and I brought up the fact that no 40R R/W exists on our property at the original use permit hearings in 1979. At the original hearings, widening the road was limited to **16** feet because of the easement on our property and a couple of other properties up Enos Lane. It's unclear to me why your firm was asked to design a 18ft wide road with a 4A sidewalk when the right of way doesn't exist to build such a project. In any event, thank you **for** your cooperation in this matter. I look forward to seeing revised drawings.

Sincerely,



Ken Strnad

Richard Allen Wyckoff & Allen  
Supervisor Ellen Pirie Second District  
David Lee Assistant Planning Director  
Sister Charlotte Salesian Sisters School

DESCRIPTION

ALL that certain real property situate in the County of Santa Cruz, State of California, described as follows:

PARCEL ONE

BEING a part of the Rancho Corralitos, and

BEGINNING on the East side of the Rider Road, so called, and at a station from which the Northwestern corner of lands conveyed by Nora and H. B. Moffitt to Edward L. Kell, et ux, by Deed dated December 15, 1930 and recorded in Volume 193 of Official Records at Page 94, Santa Cruz County Records, bears North 7° 30' East 191.40 feet distant; and running thence from said point of beginning along the East side of said Rider Road, South 7° 30' East 145.20 feet and South 14° 0' East 264 feet to the middle of the Castro Leagues Road, so called; thence along the center line of said last named road, North 82° 0' West 113.52 feet and South 71° 30' West 64.50 feet; thence leaving road North 19° 50' West 255.98 feet; North 39° 28' East 187.70 feet and North 72° 3' East 41.35 feet to the place of beginning, and

EXCEPTING therefrom the lands described in the Deed to the County of Santa Cruz Recorded June 2, 1966 in Book 1767 Page 721 Official Records.

PARCEL TWO

An undivided 1/2 interest in and to the Northeasterly 15 by 20 feet of the following described parcel of land:

BEGINNING at a station from which the Southwest corner of Parcel 2 in the Deed to Antonio Joseph Rodriguez, recorded November 30, 1934 in Volume 278, Page 255 Official Records of Santa Cruz County, bears North 58° 0' East 348.35 feet distant; thence from said point of beginning North 50° 0' West 20 feet; thence South 40° 0' West 30 feet; thence South 50° 0' East 20 feet; thence North 40° 0' East 30 feet to the point of beginning.

TOGETHER with the pipe line Right of Way as set out in said Deed to Rodriguez.

EXCEPTING therefrom the right to take water as contained in the Deed to Jake Head et ux, recorded August 29, 1967 in Volume 1836 Page 527 of Official Records of Santa Cruz County.

107-311-04

Sec. 1  
Sec. 2

R/S MA.  
NEWELL E.  
M.B. 41-48

50' R/W

478.47

187.46

1

215.1

13.82

155.0

RIDERS

170.0

8.0

Sec. 1  
Sec. 12

17

(PRIV.)

98.44

92.98

145.26

ROAD

APD 104-311-04

4

220.534

268.56

77.41

100.61

3021

ROAD

HAMES

57

30

247.0

50' R/W

2.0

50' R/W

200

248.17

220

5

104.5

200

245.86

220

32

Sec. 12  
Sec. 11

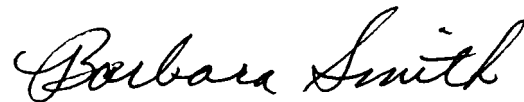
September 27, 2004

Gary Ifland, Surveyor  
Gary Ifland and Associates  
1100 Water Street  
Santa Cruz, CA 95062

Dear Mr. Ifland,

I am writing to request that your company repair the numerous holes your surveyors made in Enos Lane. The survey was done last summer and the holes are still there. The rainy season is approaching, and these holes will cause road damage, deterioration, and erosion of the road bed. I urge you to make the repairs now to avoid being held responsible for more extensive damage.

Sincerely,

A handwritten signature in cursive script that reads "Barbara Smith".

Barbara Smith  
270 Evening Hill Lane  
Corralitos, CA 95076  
724-7665

cc: Randall Adams, Santa Cruz County Planning Department  
Supervisor Ellen Pirie

Oct. 10, 2004

RANDAL ADAMS  
Project Manager  
Santa Cruz Planning Department  
701 Ocean Street  
Rm. 400  
Santa Cruz, CA. 95060

Dear Mr. Adams,

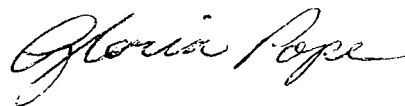
In 1998 I purchased a home for my elderly father to live in. The reason-I selected Enos Lane in Corralitos is because it promised to provide the country ambience that he needed in his declining years. I was not aware at that time that the Salesian School posed a threat to the peace and quiet of the neighborhood. This lane should never have had a school built on it in the first place, and certainly should never have been allowed to expand to the population it now has! The residents have patiently endured a plethora of cars twice a day on their tiny lane and now the school threatens to EXPAND the lane into a large thoroughfare for their personal needs.

I believe that the Santa Cruz Planning Department has contributed to the degeneration of this small country community by granting this school leniency rather than holding them to the law. Allowing the Salesian School to double its population based on a promise that they would obtain a permit at **a later date** for such an increase is just unbelievable. According to the information I received at neighborhood meetings, this is what was done. If I am wrong, please correct me. But if this information is correct, there is something rotten in Santa Cruz.

Mr. Adams, I have been through some major reconstructions on my own property at 109 Esmeralda Ct., Santa Cruz and have ALWAYS and WITHOUT FAIL responded to the strict demands of the Planning Department. I have met the terms of each permit process. I have been completely honest in my dealings with Santa Cruz County. Let me give you an example: Three years ago, we put a swimming pool in our backyard. We wanted to install a shower in the changing room so guests could wash off before dressing...an item that would have zero impact on our neighbors. The County rejected our request based on the fear that with a fully functioning bathroom inside this changing room, we might turn it into a "rental", which would indeed impact our neighborhood. Even though we have no intention or need to ever rent our changing room to obtain extra income, we bowed to the demands of the County and left the room unfinished and less than satisfactory. Now I realize that placing my frivolous need for a completed pool cabana next to the very worthy need of delivering education to children is ridiculous in the extreme. But the principle of obedience to law is not ridiculous and that is at the basis of this comparison.

So my question is this: "Is it okay for all of us to "sin" and get "forgiveness" later?" Please let me know. I'm excited with the prospect of showering after I swim.

Sincerely,

A handwritten signature in cursive script that reads "Gloria Pope".

Gloria P. Pope  
109 Esmeralda Ct.  
Santa Cruz, CA 95060  
831-457-8933  
[porterpope@sbcglobal.net](mailto:porterpope@sbcglobal.net)

cc: David Lee

October 12,2004

Randall Adams  
Planning Department  
701 Ocean Street, Room 400  
Santa Cruz, CA 95060

Dear Mr. Adams,

We are writing to you with concerns regarding the application for an amended Use Permit by the Salesian Sisters School (APPN 107-571-01), dated August 11,2004. The application outlines plans to construct a parking lot at the school, widen Enos Lane to 18 feet, and construct a four-foot pedestrian walkway.

1. According to County Counsel (per conversation with Robin Musitelli on 9-23-04), the onus is on Salesian Sisters School to prove they have the legal right to widen Enos Lane to 18 feet and add a four-foot pedestrian walkway. The school claims it has a continuous 40-foot right-of-way from Hames Road to the School at 605 Enos Lane. The deeds of several Enos Lane residents do not support this. Les Strnad and Jake and Marilyn Head have already sent copies to your office of their deeds.

Taking into consideration that:

- Enos Lane is presently wide enough for the ingress and egress of the residents. In rural areas such as ours, roads are generally 16 feet wide;
- Many residents (including the undersigned) do not want the road widened or a sidewalk added; and
- One entity (the Salesian Sisters School) should not be able to dictate the size of the road for the 33 homes below the school in order to further their own business plan;

we respectfully request to be provided with copies of the codes and/or laws that give the Salesian Sisters School the legal right to proceed with the road widening over the expressed opposition of residents below the school. It would seem imprudent for the County to consider this application if it is not legally feasible.

The road widening is only an issue because the school is out of compliance with their 1979 Permit. If they were in compliance with the permit, the road size would be adequate. The School's claim that having 125 students would not be a viable business option is not a responsibility of

the residents. Increasing the school population should, likewise, not be a burden on the residents.

2. The Salesian Sisters School is presently in violation of their Use Permit 78-1539-U which allows for 125 students (they have approximately 205). The school has not been visibly red tagged, nor has the County required them to comply with their current Use Permit (or even apply for an amended use Permit to fix current violations) before applying for an amendment to expand the school. Instead, the County is legitimizing the school's violation by allowing the school to remain out of compliance while the application for expansion, not compliance, proceeds.

3. The Compliance Agreement between the County and the Salesian Sisters School, signed by Sister Charlotte Greer on July 28, 2004 and David Lee on August 4, 2004, would seem to be illegal in that it basically amends Use Permit 78-1539-U and increases the number of students allowed without an amended use permit application process or public hearings having been completed.


4. The survey of Enos Lane by Gary Ifland is not accurate. Inaccuracies have already been pointed out by Les Strnad and Jake and Marilyn Head. This survey, then, would make an accurate plan for the widening of Enos Lane impossible, thus wasting more time and money for both the County and the school.

Please let us know if we can provide you with any pertinent documentation regarding this application for an amended Use Permit. You may contact Les Strnad (722-3750) or Barbara Smith (724-7665) if you have any questions.

Sincerely,

A sampling of the concerned residents  
of the lower Enos Lane neighborhood  
(signature sheet attached)

cc Ellen Pirie, Supervisor  
David Lee, Assistant Planning Director  
John Ferreira, Santa Cruz County Fire Chief  
Dana McRae, County Counsel

 ANDY FIDANDIS

SEENIE SHAPIRO  
Eddy Stas

St TB  
Susan Stenad  
As Stenad

Robert Aveling  
Marilyn Head  
~~Jane Head~~  
Eloise Wilson

Roy Wilson

Gloria Pope

Ron D. Porter

Matt Jemmy

Gary Wilson

John Lee Hunt

Betty Furber -63-

Angus

Winifred C. Jones

Richard Jones

James B. Key

Stef B. Edge

Andrea Koch

Ernest C. Oger

My Shapiro

Barbara Smith

Andy Fidandis	300 Enos Lane
Bernie Shapiro	261 Enos Lane
Sally Stoik	295 Enos Lane
Steve Boracca	245 Lou's Court
Susan Strnad	354 Hames (borders Enos Lane)
Les Strnad	354 Hames
Robert Ebeling	231 Enos Lane
Marilyn Head	25 Enos Lane
Jake Head	25 Enos Lane
Eloise Wilson	296 Hames (borders Enos Lane)
Roy Wilson	296 Hames
Gloria P. Pope	240 Enos Lane
Robert Porter	240 Enos Lane
Matt Zemny	76 Howell Lane
Gary Wilson	100 Howell Lane
Richard Fairhurst	235 Lou's Court
Betty Fairhurst	235 Lou's Court
Gary W. Smith	270 Evening Hill Lane
Winifred G. Jones	250 Enos Lane
Richard Jones	250 Enos Lane
Karyn Bokariza	220 Howell Lane
Steve Bokariza	220 Howell Lane
Andrea Koch	277 Enos Lane
Frank B. Dyer	290 Evening Hill Lane
Ivy Shapiro	261 Enos Lane
Barbara Smith	270 Evening Hill Lane

November 9, 2004

Supervisor Ellen Pine  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie,

We are **writing** to express our support of the Salesian Sisters' work, community presence and mission. We are their neighbors, school parents, and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are **grateful to send our** children to a school which teaches and practices our faith. With *the* presence of a chapel on campus **and** the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares our children to enter the world and face **its** problems with clear moral vision.

The key **of** Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel **and** social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such **as** Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored **by** the **USMC**. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, **staff**, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the **tuition**. To restrict **the** student population to **less** than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, **Sr.** Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt **by us** and **the** entire school community. We would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you.

Best Regards,

Juan C. Celia Martinez

Thanks

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

November 9, 2004

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We would appreciate a response to this letter. Thank you.

Best Regards,

*Lisa Cadenasso*

3105 Wallace Ave.  
Aptos, CA 95003

cc. Jan Beautz, **County** Supervisor  
Tony **Campos**, County Supervisor  
Mark Stone, **County** Supervisor  
Mardi Wormhoudt, **County** Supervisor  
Tom Bums, Director of County **Planning**  
Clerk to the Board of Supervisors, Application # 04-0384

November 9, 2004

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2<sup>nd</sup> Supervisorial District

County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
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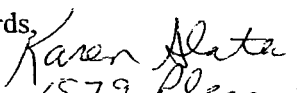
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We would appreciate a response to this letter. Thank you.

Best Regards,  
  
1579 Pleasant Valley Rd  
Aptos 95003

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County **Planning**  
Clerk to the **Board** of Supervisors, Application # 04-0384

November 9, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application # 04-0384

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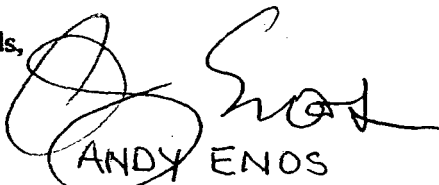
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We would appreciate a response to this letter. Thank you.

Best Regards,



ANDY ENOS

112A ALTA DR  
La Selva Beach, CA  
95076

cc. Jan Beantz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

November 9, 2004

Supervisor Ellen Pirie  
2nd Supervisorial District

County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application # 04-0384

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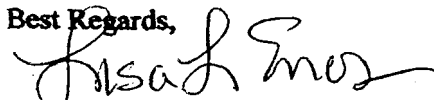
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We would appreciate a response to this letter. Thank you.

Best Regards,

  
Lisa Enos

112A ALTA Dr.  
La Selva Beach, CA 95076

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Bums, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

November 9, 2004

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Santa Cruz, California 95060  
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We would appreciate a response to this letter. Thank you

Best Regards,

*Ronald De Groote*  
*Salesian Parent*

*743 Nevada St.*  
*Watsonville, CA*  
*95076*

cc. Jan Beautz, County Supervisor  
Tony **Campos**, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Bums, Director of County Planning  
Clerk to the Board of Supervisors. Application # 04-0384

November 9, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian sisters School Application #04-0384

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Family spirit is an important part of the Salesian philosophy. The parents are involved and together with the school, are educating their children, and teaching important moral values, so important in our society today. The sense of family spirit goes well beyond the school, **to the** local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest **food** Bank, Families in Transition, and Toys for Tots sponsored by the **USMC**. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

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It is so important to **so** many families who depend on Salesian as their child's school of choice.

We would appreciate a response to this letter. Thank **you**.

Best Regards,

Sandy and Kim Gunther  
310 Emerald City Way,  
Watsonville, Ca. **95076**

cc. Jan Beautz, County Supervisor,  
Tony Campos, County Supervisor  
Mark **Stone**, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director **of** County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

November 9, 2004

Supervisor Ellen Pine  
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County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
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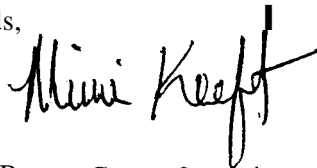
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We would appreciate a response to this letter. Thank you.

Best Regards,



cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
~~Mark~~ Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
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Clerk to the Board of Supervisors, Application # 04-0384

November 9, 2004

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We would appreciate a response to this letter. Thank you.

Best Regards,

Gloria P. Gregg  
cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

Ryan Gregg  
705 Roble Street  
Watsonville, CA 95076

November 9, 2004

Supervisor Ellen Pirie

2<sup>nd</sup> Supervisorial District

County Government Center

701 Ocean Street, Room 500

Santa Cruz, California 95060

Re: Salesian Sisters School Application #04-0384

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We would appreciate a response to this letter.

Thank you.

Best Regards  
Cathy Felip

cc. Jan Beautz, County Supervisor

Tony Campos, County Supervisor

Mark Stone, County Supervisor

Mardi Wormhoudt, County Supervisor

Tom Burns, Director of County Planning

Cherk to the Board - 77 - Supervisors; Application #04-08

November 9, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie,

We are writing to express our strong support of the Salesian Sisters efforts to amend their use permit.

This is a wonderful school, which we are grateful to be able to send our children to, not only for the exceptional academic program but also for the teachings and practicing of our faith. With The presence of a chapel on our campus and the regular religious services held therein; we treasure the freedom to **speak**, assemble and worship together with our children.

Presently the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the amount of cars traveling on Enos Lane. We believe Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly reduces our ability to exist as an educational family of faith.

There has also been a great financial burden placed on the Salesian Sisters School and the parents paying tuition to meet the County's requirements. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental rights to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We believe that our principle, Sister Charlotte Greer has done an exceptional job in diffusing the frustration and concerns felt by us and the entire school community. We would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you

Best Regards,

Karen **M.** Barigian  
114 Pauline Drive  
Watsonville, Ca. 95076

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

November 9, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060

# 04-0384

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a school which teaches and practices our faith. With the presence of a  
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The school's excellent academic program prepares our children to  
with clear moral vision.

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In good faith, the Sisters have responded and continue to respond to the demands of the County. We have  
attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has  
done an exceptional job in diffusing frustration and concern felt by us and the entire school community. We  
would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you.



cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors Application # 04-0384

William M. May  
832 BALBA AVE  
CAPITOLA CA.

95010

November 9, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are their neighbors, school parents, and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are grateful to send our children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you.

Best Regards,



Lynn Macey  
832 Balboa Ave.  
Capitola, CA  
95010

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

Supervisor Ellen Pine  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

November 9, 2004

Suzette Modeste  
3300 Greenbrae Ln  
Soquel, CA, 95073

Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie,

This letter will serve as a strong recommendation and acknowledgement for the outstanding educational work of the Salesian Sisters school. This school is an educational beacon in the world of education as evidenced by its outstanding pedagogy, standards of behavior, ethics, involvement in the community, familial orientation, extra-curricular activities, and clear moral vision.

The roadway restriction has a definite impact on the overall school efforts and interferes with the ability to *maximize* the aforementioned attributes. The Salesian sisters have been most cooperative in their efforts to accommodate all parties--no small task.

Families that sacrifice to send their children to private schools are involved families. They involve themselves in the school, their own families and of course the community at large. They are informed, aware and seek the greater good and the welfare of the community.

It is with these standards in mind that we *urge* you to support the amended use permit application.

Quite frankly, in the well thought out final analysis it will be a benefit to all.

Sincerely,



Suzette Modeste

Cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor

Tom Bums, Director of County  
Planning  
Clerk of Board of Supervisors  
Application #04-0384

NOVEMBER 2, 2004

Supervisor Ellen Pirie  
2nd Supervisorial District  
County Government Center  
701 Ocean Street, Room 1700  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are their neighbors, school parents, and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are grateful to send our children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition and Toys for Tots sponsored by the USMC. They also share their time to feed the Homeless at the local parish and contribute to needs throughout the world.

Presently, the sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars ongnos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you.

Best Regards,

Gam and Dolara Hivra  
1060 Oak Creek Dr  
Honister, Ca 95023

cc: Jan Beantz, County Supervisor  
Tony Campog, County Supervisor  
Mark Stone, County Supervisor  
Mari Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisor, Application #04-0384

November 10, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisor District  
County Government Center  
701 Ocean Street Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application #04-0384

Alan & Denise Henderson  
344 Los Altos Dr.  
Aptos, CA 95003

Dear Supervisor Pirie,

I am writing to express my support of the Salesian Sisters' School, Their mission is one of compassion and **love** for our children. I not only support them, but I support their mission and presence in our community. I completely support the Sisters in their efforts to amend their use permit.

**My** husband and I are grateful for the opportunity to send our children to a school, like Salesian Sisters that teaches and practices our faith. We are pleased that we have a chapel on campus that offers regular church services. The Sisters' teach our children the importance of being able to speak freely and to worship **God** as a community. The school as an excellent academic program with teachers that not only teach, but provide excellent role models. When my children go to school in the morning I know that we be cared for and treated as *if* I were taking care of them myself. The Salesian philosophy is one of family spirit. They partner with the family to too teach your child Godly and social values. The children are taught how important it is to reach out to the community through many social programs. For example; Second Harvest Food Bank, Families in Transition, and Toys for Tots.

**The** Sisters, staff, parents, and the children have made many sacrifices to comply with the County's requirements. We adhere to a strict carpool. We have **been able** to carpool approx. 200 student in **45 cars daily**. Unfortunately these restrictions have interfered with our school to exist as an **educational** family of faith. The county has burden the Sisters financially and as **well as** the parents with tuition increases. To restrict the number of students **would** financially strain my right **to** choose a faith-based education for my children.

The Sisters have done everything that the county as **demand of them**. We have discontinued our old carpool system that allowed us to communicate to each other **on** a more consistent **basis**. We have attended meetings concerning all the issues brought up by the county. Sister Charlotte has done **an** exceptional job in complying with the county and in calming and reassuring the parents. We would appreciate your support in approving the amended use permit application to insure that an excellent school will continue in your community.

Thank you for your prompt response to **this** letter.

Regards,

Handwritten signatures of Alan and Denise Henderson. The signature on the left is 'Alan' and the signature on the right is 'Denise Henderson'.

Alan and Denise Henderson

77 Vista Pointe Drive  
Watsonville, CA 95076  
November 10, 2004

Supervisor Ellen Pine,  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Rm 500  
Santa Cruz, CA 95060  
RE: Application #04-0384

Dear Supervisor Pirie,

We are writing to express our support of the Salesian Sisters' work, community presence, and mission. **As** school parents, we completely **support** the Salesian Sisters in their efforts to amend their use permit. We are grateful to be able to send our children to a school that teaches and practices our faith. With a chapel on campus in which regular religious services are held, we treasure the freedom to speak, assemble and worship together with our children. The school's academic programs are also exemplary, preparing our children to enter the world and face its problems with clear moral vision.

The key to the Salesian philosophy is family spirit. The Sisters and staff create a community atmosphere in which our children are educated in gospel and social values. It has been our experience that this sense of family extends beyond the school's borders to the local community, as well **as** to the global community. Students participate in such programs as Second Harvest Food Bank, Families in Transition and Toys for Tots. They also share their time feeding the homeless at the local parish and raising funds for less fortunate children around the world.

**Thus** far all of us—the Sisters, staff, parents and children—have made tremendous sacrifices to adhere to County requirements, particularly in regard to the restrictive carpooling. Through this combined effort, we have significantly and consistently reduced the number of cars on Enos Lane. It seems that Salesian Sisters School is the only school in the county to be **so** severely restricted and this requirement is significantly interfering with our ability to exist as an educational family of faith. Obviously, the Sisters are not in business to make money, and meeting the county requirements *so far* has already been a financial burden for them—not to mention for us, the parents. If the student population is restricted to less than requested, the increase in tuition necessitated just to keep the school open would financially impact all of us and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In **good** faith, the Sisters have responded, and continue to respond to the demands of the County. In particular, our principal, Sr. Charlotte Greer, has done a tremendous job in diffusing the frustration felt by the entire school community. We would appreciate **your** support in approving the amended use permit.

Thank you in advance. We look forward to hearing from you.

Respectfully,

  
Suzanne and Javier Zavala

Cc: Supervisors Jan Beautz, Tony Campos, Mark Stone, and Mardi Wormhoudt  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application #04-0384

**JAMES and BARBARA SMITH**  
**50 VIA DEL SOL**  
**CORRALITOS, CA 95076**  
**(831)722-8326**  
e-mail: [Barbshank08@aol.com](mailto:Barbshank08@aol.com)

November 10, 2004  
Supervisor Ellen Pirie  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060

Re: Salesian Sisters' School Application # **04-0384**

Dear Supervisor **Pine**,

We are writing to express our support for the application for the amended use permit of Salesian Sisters' School. As parents of students who attended Salesian Sisters' School, went on to graduate from Aptos High School, eventually finished college, and are now contributing members of the community, we know the great influence that the school had in forming strong values in our children. Not only did the school prepare them academically, but it also taught them the importance of reaching out to others in the local community and the world at large. For more than twenty-five years, the school has had a tremendous positive impact on many other students and families and has benefited the community in many ways.

In light of this, we find it inconceivable that the county has placed both restrictive and financial burdens on the school, and is threatening its ability to operate. We know that the Sisters, teachers and families have made great sacrifices to adhere to the new restrictions, and that **much** energy and expense have gone into this issue. This has been a tremendous drain on the school and is interfering with its goal of educating the children, academically, physically, morally, and spiritually. We need to **put** the children as the first priority in this matter.

As members of your district, we urge you to support the approval **of** the use permit application. Thank you for your consideration.

Sincerely,

The block contains two handwritten signatures. The first signature is for James B. Smith, written in dark ink with a stylized, cursive script. The second signature is for Barbara Smith, also in dark ink, written in a more fluid, cursive style. Both signatures are positioned one above the other.

James B. Smith  
Barbara Smith

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wonnhoudt, County Supervisor  
Tom Bums, County Supervisor  
Clerk to the Board of Supervisors, Application # **04-0384**

November 10, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060  
**RE: Salesian Sisters School Application # 04-0384**

Dear Supervisor Pirie,

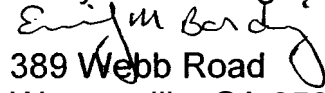
I am writing on behalf of the sacredness of sisters and the heartfelt education that the sisters of Salesian offer the children of our community. My daughter and her Salesian classmates have shared a faith based education, which is significantly transforming not only their relationship with themselves, but with their community. I see the impact that this permit process has had on the children and the positive attitude that they express in their support for their school. The children are clearly demonstrating their involvement in a solution, by organizing into tight carpool structures, outreach to the community, feeding the hungry, collect toys for the less privileged, raising money, and finally keeping the faith despite the current challenges.

Their efforts indicate that they are trying to do whatever **is** necessary to keep their school secure, not only for their future, but the future of their children. **As** a community member, I encourage you to see the foundation of excellence that the Salesian Sisters have established and continues to celebrate in our children. Please see your way to support the amended use permit application.

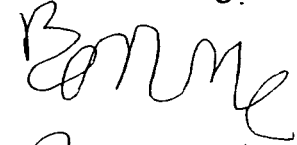
Thank you for your support,

Sincerely,

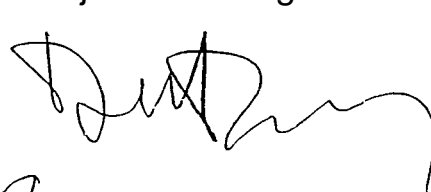
Emily M. Bording

  
389 Webb Road  
Watsonville, CA 95076

Bonnie Bording

  
Bording

Benjamin Bording



November 10.2004

Supervisor Ellen Pirie  
2nd Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie,

I am writing this letter to express my support for the Salesian Sisters' community presence and mission. I am one of their school parents and community members. I completely and entirely support the Salesian Sisters in their efforts to amend their use permit.

I am grateful to send my son to a school which teaches and practices our faith. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesian and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sister Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you.

Sincerely,

  
Stacey Martinez  
550 McKenzie Avenue  
Watsonville, CA 95076

cc: Director of County Planning,  
Tom Barns

Marilynn and Larry Bastian  
960 Green Valley Road  
Watsonville, CA 95076

November 10, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

RE: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie:

We are writing to express our support of the Salesian Sister's work, community presence and mission. We are their neighbors, school parents, and community members. We completely support the Salesian Sisters in their effort to amend their use permit.

We are grateful to send our children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.

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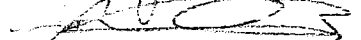
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Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you.

Best regards,

*Marilynn Bastian*

  
Marilynn and Larry Bastian

cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk of the Board of Supervisors, Application # 04-0384

November 10,2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie,

I am writing to express my support of the Salesian Sisters' work, community presence and mission. They are neighbors, school parents, and community members. I completely support the Salesian Sisters in their efforts to amend their use permit.

I am grateful to send my children to a school which teaches and practices my faith. With the presence of a chapel on campus and the regular religious services held therein, I treasure the freedom to speak, assemble and worship together with my children. The school's excellent academic program prepares our children to enter the world and face its problems with a clear moral vision.

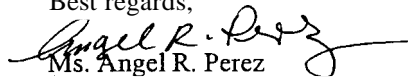
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In good faith, the Sisters have responded and continue to respond to the demands of the County. I have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by us and the entire school community. We would appreciate your **support** in approving the amended use permit application.

I would appreciate a response this letter. Thank you

Best regards,

  
Ms. Angel R. Perez  
494-A Beck St.  
Watsonville, CA 95076

Cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

11/10/04

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie,

Our family has been a member of the Salesian Sister's school community for the last five years. We moved our children from the local public school to Salesian Sisters in order to provide our children with an education that better reinforced our family values. We are so thankful to have a school like Salesian Sisters available to our children within Santa Cruz County. Although there are other Catholic schools in the area the Salesian philosophy is unique to Salesian Sisters School and is the reason our children are there. We wholeheartedly support The Salesian Sisters' work, their community presence and mission. We completely support the Salesian Sisters in their efforts to amend their use permit.

We feel very blessed to be a part of a school community which teaches our children reverence to God and love of one another, not only within our community but for the world beyond Salesian Sisters' school. I appreciate that my children can go to school every day and practice their faith, openly and with pride. I believe that the moral values, strong sense of family and community along with the education my children have received from Salesian Sisters' school will help them make positive contributions to the world, making it a better place to live and grow.

Although we have joined together as a community to adhere to the County's stringent requirements that allow our school to continue, it is with great sacrifice that we do so. Our community is forever changed; these requirements greatly hinder our ability to exist as an educational family of faith. To reduce our population not only affects the schools ability to survive financially but impacts the lives of the families who are not allowed to be a part of such a special faith community.

In good faith, the sisters have and continue to respond to all demands by the county. Our principal, Sister Charlotte Greer has provided strong leadership by example. She has helped our community rally together to work towards the common good of the school and the community beyond our walls.

We ask for and appreciate your support to complete the permit process and request a response from you concerning this matter.

Thank you,

*Cynthia Heier*  
Cynthia and Greg Heier,  
Jacob, Whitney and Brett  
940 Columbus Drive  
Capitola, CA 95010

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
~~Mark~~ Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Bums, Director  
Clerk to the Board of Supervisors, Application #04-0384

November 10,2004

Ellen Pirie, Supervisor-  
2<sup>nd</sup> Supervisory District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

**RE: Salesian Sisters School Application #04-0384**

Dear Ms. Pirie,

This letter is to express to you my personal interest in regards to the road and permit issues we have come up against.

I live in Aptos and my two daughters have attended the school for the past 6 years. My daughters and I have chosen to continue our affiliation with Salesian for many reasons: the quality academic education, the dedicated teachers and staff, the Sisters' and their hard work and devotion, the spiritual and humanitarian education, the family atmosphere, the facility and grounds, the manageable size, and the fact that it is a private parochial school in our vicinity. I, like the other parents, have chosen to send our children to a private school such as Salesian; we pay our hard-earned money in tuition; because we fully believe in the power of such an education. We are **all** interested and committed to the betterment, **if** you will, for the children, the community, and the world. And we are thankful to have the right to chose and to have a school such as Salesian to attend.

And the school has grown some with the **times**. Now, due to the recent battery of complaints and restraints concerning the road and number of cars, we, the families and the sisters, have all done our best to cooperate. We've made compromises, sacrifices, while also being financially burdened with demands. I think to widen the road could cause faster driving by all users of the road. As it is, we are constantly aware of driving slowly and carefully in our carpools. We are considerate of the neighbors. Sister Charlotte has done an excellent job, through the strength of her faith and commitment, of handling the demands, frustrations, and concerns felt by all involved in the community regarding this problem. We all need to compromise, cooperate, and choose the best option in this very difficult situation.

I urge you to support the efforts of Salesian School to amend the use permit as requested. To restrict the student population to less than requested will have a huge negative impact on the Sisters, students, families, and Salesian School. We acknowledge the responsibility to comply with laws, to cooperate with neighbors and the community, and to fulfill the educational needs of the children and families of this community.

Thank you for taking the time to read my letter.

Sincerely,

A handwritten signature in cursive script that reads "Marisa Johnson". The signature is written in black ink and is positioned above the printed name.

Marisa Johnson  
128 Camino Pacifico  
Aptos, CA 95003

CC: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
~~Mark~~ Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application #04-0384

Robin and Valjean Albright  
31 Uia firroyo  
Corralitos, Ca. 95876

November 18, 2014  
Superuisor Jan Beautz  
County Government Center  
781 Ocean St., Rm 588  
Santa Cruz, Calif. 95060  
RE: Salesian Sisters School Application #04-0384

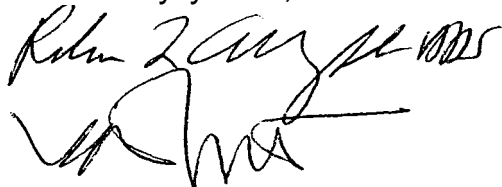
Dear Superuisor Pirie:

We are writing to express our tremendous support of Salesian Sisters' work, community presence and mission! We have 6 children, all have attended the school, four having graduated, with two still in attendance. We have been at the school for the past 19 years! We are a local family in Corralitos.

We are grateful, first and foremost, to have our children at a school which teaches and practices our faith. The academic excellence found at the school has prepared our older children extremely well for high school and college. Our children have been encouraged by the school to extend themselves into the community in a wide variety of outreaches, such as Second Harvest Foodbank, as well as feeding the homeless at our local parish of Holy Eucharist.

In good faith, the sisters have responded and continue to respond to the demands of the County. As it is, meeting the County requirements has been financially burdensome for the Sisters and to all the parents paying the tuition. To restrict the student population to less than requested, will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based educational experience. We support Sr. Charlotte Greer, our principal. We have great faith in her as she leads the school. We would appreciate greatly your support in approving the amended use permit application.

Sincerely yours,

A handwritten signature in black ink, appearing to read "Robin Albright", with a stylized flourish at the end.

November 10, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
RE: Salesian Sisters School Applicataion #04-0384

Dear Supervisor Ellen Pirie,

I ~~am~~ writing to express my support of the Salesian Sisters' work, community presence and mission. I am a parent and community member. Both my husband and myself completely support the Salesian Sisters in their efforts to amend their use permit.

We are very grateful to be able to send our child to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our child. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food **Bank**, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. Salesian Sisters' have significantly reduced the number of cars on Enos Lane. I believe that Salesian Sisters School is the onl school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters ~~as~~ well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on **our** ~~fundamental~~ right to choose a faith-based education for **our** children in the Salesian style.

In good faith, ~~the~~ Sisters have responded and continue to respond to the demands of the County. They have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by us and the entire school community. We would appreciate Your support in approving the amended use permit application.

My husband and I would greatly appreciate a response to this letter. Thank You.

Best Regards,

Frank and Cheryl Horst  
126 Ocean ~~Mt~~  
La Selva Beach, CA 95076  
(831) 761-1122

cc. Jan Beautz, County Supervisor  
Tony Campos, **County** Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, Conty Supervisor  
Tom Burns, Director of County Planing  
Clerk to the Board of Supervisors, Application #04-0384

11/10/04

Supervisor Ellen Pine  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pine,

Our family has been a member of the Salesian Sister's school community for the last five years. We moved our children from the local public school to Salesian Sisters in order to provide our children with an education that better reinforced our family values. We are so thankful to have a school like Salesian Sisters available to our children within Santa Cruz County. Although there are other Catholic schools in the area the Salesian philosophy is unique to Salesian Sisters School and is the reason our children are there. We wholeheartedly support The Salesian Sisters' work, their community presence and mission. We completely support the Salesian Sisters in their efforts to amend their use permit.

We feel very blessed to be a part of a school community which teaches our children reverence to God and love of one another, not only within our community but for the world beyond Salesian Sisters' school. I appreciate that my children can go to school every day and practice their faith, openly and with pride. I believe that the moral values, strong sense of family and community along with the education my children have received from Salesian Sisters' school will help them make positive contributions to the world, making it a better place to live and grow.

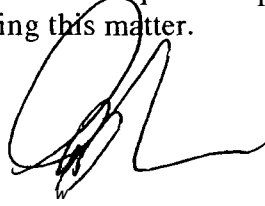
Although we have joined together as a community to adhere to the County's stringent requirements that allow our school to continue, it is with great sacrifice that we do so. Our community is forever changed; these requirements greatly hinder our ability to exist as an educational family of faith. To reduce our population not only affects the schools ability to survive financially but impacts the lives of the families who are not allowed to be a part of such a special faith community.

In good faith, the sisters have and continue to respond to **all** demands by the county. Our principal, Sister Charlotte Greer has provided strong leadership by example. She has helped our community rally together to work towards the common good of the school and the community beyond our walls.

We ask for and appreciate your support to complete the permit process and request a response from you concerning this matter.

Thank you,

*Cynthia Heier*  
Cynthia and Greg Heier,  
Jacob, Whitney and Brett  
940 Columbus Drive  
Capitola, CA 95010



cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Bums, Director  
Clerk to the Board of Supervisors, Application #04-0384

November 10, 2004

To: Supervisor Ellen Price  
2nd Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, Ca. 95060

From: George and Roxann Kovacs  
237 Via Lantana  
Aptos, Ca. 95003

Re: Salesian Sisters School  
Application # 04-0384

Dear Supervisor Price,

I am writing to express my family's support of the Salesian Sisters' School. We strongly support their work, community presence and mission. We completely, confidently support and want to strongly encourage all efforts to amend their use permit, application #04-0384.

We are grateful to send our child, Joseph Kovars, to a school which represents and teaches our belief system. In choosing this school for our children, we found that the Chapel on campus, regular religious services held therein, the academics, the entire program, was the very best for our children's future. Salesian Sisters' School will prepare our children to

2

enter the world, the work force,  
and problems with a clear  
and sound moral vision.

The key of Salesian philosophy  
is the family spirit. I will  
never forget Sister Charlotte's  
words at my first orientation.  
She said "You are no longer the  
only one who cares about your child,  
he/she is now under my wings  
too and together we will love  
and teach your child." The whole  
school works together, much  
like a family, to achieve  
mutual goals. These goals can  
only better our world with  
clear and moral adults for  
our future. This atmosphere  
and learning environment is  
so wonderful. I just want the  
best for my children and I do  
know I am achieving that  
at Salesian Sisters School. The  
school does partner with

1  
parents to educate the whole child in gospel, academics and social values. This sense of family extends beyond the schoolyard.

The school actively supports the local community and the world at large. The students are the power behind various programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share time to feed the homeless and contribute to needs throughout the world.

Actually, the school does very well and runs smoothly, bypassing many problems and conflicts through their underlining commitment to the "family spirit". Presently, the one and only major problem is the <sup>pending</sup> application # 04-0384. Tremendous time, energy, and

resources goes towards the County requirements. Quite frankly, all of this above could be going towards our children. All the requirements significantly interferes with our ability to exist as an educational family of faith. Through personal research and personal experience, I know our school, Salesian Sisters' School, is the only school to be so severely restricted by this County. I believe our freedom to speak, assemble and worship is being jeopardized. These restrictions cripple our ability to exist as a private educational religious family. The County requirements <sup>have</sup> ~~has been~~ financially burdensome for both the sisters and parents. To restrict the student population would definitely have a major

5

impact financially, and ultimately the very fundamental right to choose a faith-based education for my children.

In good faith, the Sisters have responded and continue to cooperate and respond to All County demands. I have personally made every effort to comply. It is my utmost belief that our principal, Sister

Charlotte Puer, has done an excellent job in diffusing frustration and concern felt by all parties concerned. I would appreciate your support and any efforts needed toward amending the use permit applications.

We would appreciate a response to my letter or at the least your thoughts pertaining to this important matter. Thank you  
and  
Regards, Roxanne R Kovacs  
mead

November 10, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
Santa Cruz CA 95060

Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie,

I am writing to express my support of the Salesian Sister's work, community & mission. My family are their school parents and community members. I completely support the Salesian Sisters in their efforts to amend their use permit.

With the presence of a chapel on campus and the regular services held there, we treasure the freedom to speak, assemble and join together with our children. The school's excellent academic program has given my children the skills and opportunities to enter future challenges.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restriction on carpooling. We have significantly reduced the number of cars on Enos Lane. This requirement significantly interferes with our ability to exist as an educational family of faith. As is, meeting the County Requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will have a financially impact

in Solisian community and cause undue  
restraints on our fundamental right to  
choose a faith-based education for our  
children.

In good faith, the sisters have responded  
and continue to respond to the demands of  
the County. We have attended the meeting  
concerning this issue. Our principal,  
Sr. Charlotte Greer, has done a great  
job in diffusing frustration and concern  
felt by the entire school community.  
Your support is greatly appreciated  
in approving the amended use permit  
application.

I would appreciate a response to this  
letter.

Sincerely

H  
HILDA BERRA  
3580 VIOLA DR  
AROMAS CA 95004

CC. Jan Beatty, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors,  
Application #04-0384

Louis & Geneva Ivanovich  
727 California St.  
Watsonville, CA 95076-3324

November 10, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean St, Room 500  
Santa Cruz, CA 95060

Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie:

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are parents of two current Salesian students, and our family's admiration for and relationship with the Salesian Sisters pre-dates the establishment of the school and convent on Enos Lane ~~so~~ many years ago. We completely support the Salesian Sisters in their efforts to amend their use permit.


Louis currently serves as the Chairman of the Finance Council of Our Lady Help of Christians Church in Watsonville, operated by Salesian priests, under the supervision of the Diocese of Monterey. These ~~same~~ priests travel to the school to provide religious services for the Sisters and our children on a regular basis. Geneva currently serves on the board of Salesian Elementary and Junior High's advisory council. Through ~~our~~ participation in these endeavors, we are offered a unique look at the good works the Salesians quietly perform for our children, children of the world and our community on a daily basis. We thus feel compelled to help protect this precious gift to our children and community.

The Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially with regard to carpooling. Traffic has been significantly reduced on Enos Lane. Of greater concern, is the financial burden the Sisters have been forced to endure to address County concerns. Should the school be forced to reduce the student population, ~~it~~ would translate into significantly higher tuition, and thus, would exclude many families from their right to provide their children with a faith-based education. Already, monies that could have been used to provide scholarships for needy families are being spent to meet the new bureaucratic demands placed upon the school.

Your approval of the amended use permit application would be a fitting recognition of the selfless works these servants of God have provided our County and its children for ~~so~~ many years.

A response to this letter would ~~be~~ appreciated

Very truly yours,

  
Louis & Geneva Ivanovich

CC: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application #04-0384

November 11, 2004

Director of County Planning Tom Burns  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060  
Re: Salesian Sisters School Application #04-0384

Dear Mr. Burns:

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are school parents and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are grateful to send our child to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our child and our friends. The schools excellent academic program is preparing our child to enter the world with a great education base and with clear morals.

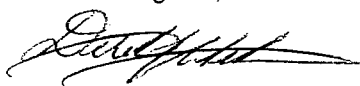
The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the area.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that the Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. **As** it is, meeting the County requirements has been financially burdensome for the sisters as well as the parents paying the tuition. To restrict the student population to less than requested **will** financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our child in the Salesian style.

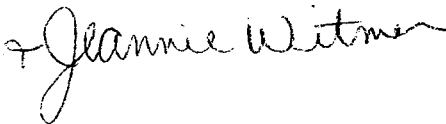
In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning the issues. It is our utmost belief that our principal, Sr. Charlotte Greer has done an exceptional job in *diffusing* frustration and **concern** felt by **us** and the entire school community. We would appreciate your support in approving the amended use permit application

We would appreciate a response to this letter. Thank you

Best Regards,



Derek and Jeannie Witmer



97 Hecker Pass Road Watsonville CA 95076

CC. County Supervisor, Jan Beautz, Tony Campos, Mark Stone, and Mardi Wormhoudt

Tom Burns. Director of County Planning, and Clerk to the Board of Supervisors, application #04-0384

November 11, 2004

Supervisor Ellen Pirie  
2nd Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz California 95060

Re; Salesian Sisters School Application # 04-0384

Dear Supervisor Ellen Pirie,  
This letter is regarding the Salesian Sister use permit>

We are Salesian Parents and active community members supporting the efforts to amend the use permit, Application # 04-0384.

Our children have attended school at Salesian for many years, with the presence of the chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble and worship with our children.

~~Our~~ families have participated in many community service programs and outreach projects such as the Second Harvest Food Bank, Families in Transition and others. Through these projects our educational family of faith has contributed to needs throughout the county.

We have made many sacrifices to adhere to County requirements, especially the restrictive carpooling; we have gone to great lengths to significantly reduce the number of cars on Enos Lane.

These requirements interfere with our ability to exist as an educational family of faith.

To reduce the student population to less than requested, will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

We believe the Salesian Sisters have responded in good faith and continue to respond to the demands of the county. We have attended several meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done ~~an~~ exceptional job in diffusing the severe frustration and profound concern felt by us and the entire school community. We would appreciate your support in approving the amended use permit.

We would appreciate a response to this letter.

Best regards,



Roy & Annette Avila  
132 Zils Road  
La Selva Beach, CA 95076

Cc Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
~~Mark~~ Stone, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

November 11, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060

Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie:

We are writing to express our support of the Salesian Sisters' work, community presence, and mission. We are parents of a Salesian kindergartener, and we are also both educators in the ~~Santa~~ Santa Cruz County community. Both as parents and educators, we support the Salesian Sisters in their efforts to amend their use permit.

We are grateful to send our children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares children to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents, and children have made **tremendous** sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying tuition. To restrict the population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based, Salesian education for our children.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration

and concern felt by us and the entire school community. We would appreciate your support in approving the amended permit application.

We would appreciate a response to this letter and thank you for your time.

Best regards,

A handwritten signature in black ink, appearing to read "Letitia Scott-Curtis". The signature is fluid and cursive, with the last name "Curtis" being particularly prominent.

Letitia Scott-Curtis 67 Peppertree Lane  
Conrad Scott-Curtis Watsonville, CA 95076

cc: Jan Beauty, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormwood, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

November 11, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95076  
Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie,

We are writing to express our support of the Salesian Sisters' work and mission. I am a school parent, and a community member. We strongly support the Salesian Sisters in their efforts to amend their use permit.

We are grateful to send our children to a school which teaches and practices our faith. The school is a safe place to practice our faith, freedom to speak, assemble and worship.

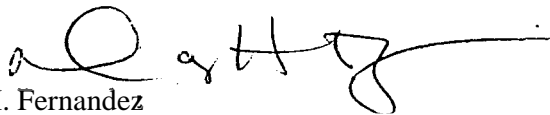
The key philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. The students are the power behind our participation in programs such as Second Harvest food bank, Families in transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless.

The Sisters, staff, parents, and children have made extreme sacrifices to adhere to all the County's requirements, especially the restrictive carpooling and the significantly reduced number of enrollment. We believe that the Sisters School is the only school to be severely restricted by the County. For example Monte Vista Christian School has an illegally high enrollment number. The traffic on School Way is far more dangerous to maneuver your way around due to higher speed limits and commuting to and from work. I have witnessed several accidents due to high traffic congestion and the reckless driving by young high school students arriving to school. This requirement has been a financial hardship for the Sisters as well as the parents paying tuition.

In good faith, the Sisters have responded and continue to abide all County requirements. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concerns. We would appreciate your support in approving the amended use permit application

Your response is greatly appreciated. Thank you.

Regards,



Nancy H. Fernandez  
129 Madison St.  
Watsonville, ca 95076

cc. Jan Beautz, County Supervisor  
Tony Campos County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Bums, Director of County Planning

November 11, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
701 Ocean Street  
Santa Cruz, CA 95060

Dear Supervisor Pirie:

We are writing to support Salesian School's effort to amend their use permit (Application number 04-0384).

We will not have a child at the school next year so we will not realize any personal gain or convenience if the application is approved.

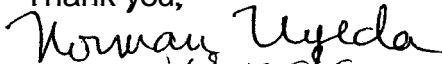
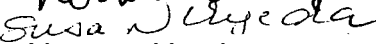
We do have a child in the school this year and we, and all the families we know at Salesian, have made many sacrifices to meet the **County's** requirements. We think that the life-style changes made by all the adults and children associated with the school have been extreme and would be surprising to anyone not familiar with the details. We drive by three other County schools on a regular basis and do not see the same restrictions applied to these other schools.

Please consider that there is no doubt that reducing the number students and other restrictions will financially impact the Salesians and will cause undue restraints ~~on~~ our right to choose a faith-based education. I am convinced that these restrictions interfere with our ability to exist as an educational family of faith. There is a chapel on campus and religious services. We need to be able to speak, assemble and worship together with our children.

We visited many schools, and attended another excellent public school for many years, before placing our child in Salesian. So we are aware that Salesian School is an asset to our entire community.

We would be happy to document or discuss in detail any of our personal experiences.

Thank you,

  
  
Norman Uyeda  
Susan Uyeda

208 Plum Hill Drive  
Watsonville, CA 95076  
(831) 724-3757  
[nsuveda@charter.net](mailto:nsuveda@charter.net)

cc: County Supervisors  
Jan Beautz  
Tony Campos  
Mark Stone  
Mardi Wormhoudt  
Tom Bums, County Planning

November 11,2004

Supervisor Ellen Pine  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

Re: Salesian Sisters School Application #04-03**84**

Dear Supervisor Pine,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are their neighbors, school parents, and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are grateful of the presence of a school for children in the county which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the children's freedom to speak, assemble, **and** worship. The school's excellent academic program prepares the children to enter the world **and** face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. **Through** outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such **as** Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive car pooling. Their efforts have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with the school's ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on their fundamental **right** to choose a faith-based education for our children in the Salesian style.

We would appreciate your support in approving the amended **use** permit application.

We would appreciate a response from you regarding this letter. Thank you.

Regards,

*Nitz' Hill RN CC.C  
3001 Baronian Ct  
Soquel CA 95073*

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk of the Board of Supervisors, Application #04-0384

November 11,2004

Supervisor Ellen Pine  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Smta Cruz, CA 95060

Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pine,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are their neighbors, school parents, and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are grateful of the presence of a school for children in the county which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the children's freedom to speak, assemble, and worship. The school's excellent academic program prepares the children to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive car pooling. Their efforts have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with the school's ability to exist as an educational family **of** faith. **As** it is, meeting the County requirements has been financially burdensome for the Sisters **as** well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on their fundamental right to choose a faith-based education for our children in the Salesian style,

We would appreciate your support in approving the amended use permit application.

We would appreciate a response from you regarding this letter. Thank you.

Regards,

*Janet Arnett*  
*277 Sheldon Ave*  
*Santa Cruz Ca. 95060*

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Bums, Director of County Planning  
Clerk of the Board of Supervisors, Application #04-0384

November 11, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are their neighbors, school parents, and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are grateful of the presence of a school for children in the county which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the children's freedom to speak, assemble, and worship. The school's excellent academic program prepares the children to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive car pooling. Their efforts have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with the school's ability to exist as an educational family **of** faith. **As** it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on their fundamental right to choose a faith-based education for our children in the Salesian style.

We would appreciate your support in approving the amended **use** permit application.

We would appreciate a response from you regarding this letter. Thank you.

Regards,



9885 Monroe Ave Ext.  
Aptos, Ca. 95003

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
**Clerk of the Board of Supervisors, Application #04-0384**

November 11,2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95076  
Re: Salesian Sisters School Application #04-0384

Supervisor Pirie,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are school parents and we completely support the Salesian Sisters' in their efforts to amend their use permit.

We are grateful to send our children to a school that teaches and practices our faith. With the presence of a school chapel on campus we are able to have regular religious services as part of our school curriculum. Our children and we treasure the freedom to practice our faith at Salesian Sister's School. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. Through classroom based fund-raisers like bake sales and "penny wars" our children take the initiative to raise money and contribute it to Salesian missions throughout the world.

Presently, the Sister;) staff, parents, and children have made tremendous sacrifices and commitment to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that our school is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of parents paying tuition. Parents at Salesian Sisters' are required to put in 30 hours of volunteer time each school year. The majority of us exceed those hours due to the love of our children, the Sisters and the School community. Now it seems to me that we have to be concerned about not upsetting our Enos Lane neighbors. So this year we have limited the times we go up to the school in order to reduce the traffic on Enos Lane. Therefore, we have had to limit our volunteer time at the school, that has saddens us.

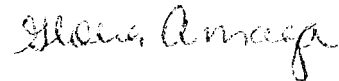
Further more to reduce the student population to less than requested, will financially impact the Salesians. This will surely cause undue restraints on our fundamental right to choose a faith based education for our children in the Salesian style. What many people

do not realize that Salesian Sisters' School is not necessarily for the privileged but for everyday folk like us. Our family, like many other Salesian families are making sacrifices in order to provide our children with the best elementary and junior high school education in the Monterey Diocese.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meeting concerning this issue and are doing all it takes to comply. Sister Charlotte Greer, has done a great job in diffusing frustration and concerns felt by us and the entire school community. We would appreciate your support in approving the amended use permit application 04-0384.

Most importantly, I invite you to come to our school and experience the SALESIAN way.

Leo and Gloria Amaya  
714 Casserly Rd. Watsonville



cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director County Planning  
Clerk to the Board of Supervisors, Application #04-0384

November 11, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie,

I am writing to express my support of the Salesian Sisters' work, community presence and mission. I am a school parent and community member. I completely support the Salesian Sisters in their efforts to amend their use permit.

I am grateful to send my children to a school which teaches and practices my faith. With the presence of a chapel on campus and the regular religious services held therein, I treasure the freedom to speak, assemble, and worship together with my children. The school's excellent academic program prepares my children to enter the world and face its problems with clear moral vision.

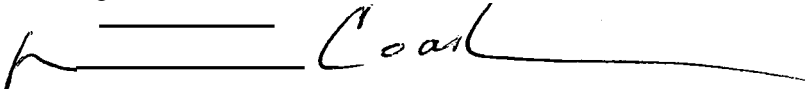
The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by myself and the entire school community. We would appreciate your support in approving the amended use permit application.

I would appreciate a response to this letter. Thank you.

Best Regards,

A handwritten signature in black ink, appearing to read "Melissa Coash", with a long horizontal line extending to the right.

Melissa Coash

420 Lore Way  
Aptos, CA 95003

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of county Planning  
Clerk to the Board of Supervisor, Application #04-0384

Barbara & Rodney Io  
64 Devon Court  
Watsonville, CA 95076  
(831) 761-0941

November 11, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are their neighbors, school parents, and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are grateful to send our children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares our children to enter the world and face the problems with clear moral vision.

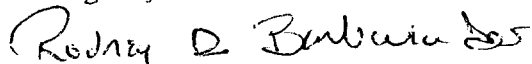
The key of Salesian philosophy is the family spirit. This is achieved by partnering with the parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive car pooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. The requirement significantly interferes with our ability to exist as an educational family of the faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you.

Best Regards,

  
Barbara & Rodney Io

cc: Jan Baeutz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Bums, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

Andrew & Mary Brint  
135 Palomino Court  
Watsoville, CA 95076  
(831) 761-0302

November 11, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa **Cruz**, CA 95060

Re: Salesian Sisters School Application # 04-0384

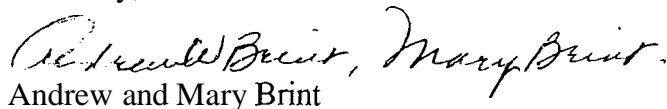
Dear Supervisor Pine:

We are writing to express our support of the Salesian Sisters work, community presence and mission. **As** school parents and community members, we completely support the Salesian Sisters in their effort to amend their use permit.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. **As** it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. The school principle, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended use permit application.

Sincerely,

  
Andrew and Mary Brint

Cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wonnhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

# Alex and Michelle Calvo

24 Elena Road  
La Selva Beach, CA 95076  
831.688.1944

November 11, 2004

RE: Salesian Sisters School Application # 04-0384

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

Dear Supervisor Pirie:

We are writing in regards to the Salesian Sisters School Application # 04-0358 and the efforts of the school to amend the use permit. We fully support their efforts in this regard.

We chose to send our children (Olivia age 12 and Joseph Age 10) to Salesian Sisters School for two reasons. First, because of the strong academic education they receive at the school. Second, to build on our families religious beliefs and values. With the presence of a chapel on campus, and the regular religious services held therein, we treasure the freedom to speak, assemble and worship with our children.

The Sisters, staff, parents and children have made tremendous sacrifice to adhere to the County requirements, especially the restrictive car pooling. We have significantly reduced the number of cars on Enos Lane. There requirement interfere with our ability to exist as an educational family of faith.

To reduce the student population to less then requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

We are appreciate your support to complete the permit process and request a response from you concerning this matter.

Sincerely,



Alex and Michelle Calvo

cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Bums, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

Mr. & Mrs. John E. Eiskamp  
J. E. Farms, Inc.  
360 Treichel Lane  
Watsonville, CA 95076

November 11, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We support their mission of educating our children, Michael & Jennifer, and we appreciate and welcome their presence and contribution *to* our community. We are in complete support of their efforts to amend their use permit # 04-0384.

We are grateful to be able to send our children to local school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The excellent academic program prepares our children to enter the world *as* educated, active, and moral members of their community. The family spirit which is key to the Salesian philosophy is achieved by partnering with parents to educate the whole child in gospel and social values. Our chddren participate in community giving programs such as Second Harvest Food Bank and Toys for Tots. They also share their time by participating with our local parish, Holy Eucharist, to feed the homeless.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all of the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of our cars on Enos Lane. We firmly believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters and parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. As parents and concerned community members, we have attended meetings concerning these issues. Our principal, Sr. Charlotte Greer continues to do an exceptional job in difising the frustration and concern felt by ourselves and the entire school community as we continue to comply with these demands. It is our desire to be allowed to return our focus to that of the faith-based education of our children instead of the tortuous path of permit approval.

We would appreciate your support in approving the amended use permit application.

Sincerely,

  
John & Caroline Eiskamp

cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Marti Wormhoudt, County Supervisor  
Tom Burns, County Supervisor  
Clerk to the Board of Supervisors, Application #04-0384  
Sr. Charlotte Greer, **F.M.A.**

November 11, 2004

Stuart and Joanne Young  
101 Westley Street  
Capitola, CA 95010

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are their neighbors, school parents, and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are grateful our grandchildren attend a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our grandchildren. The school's excellent academic program prepares our grandchildren to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

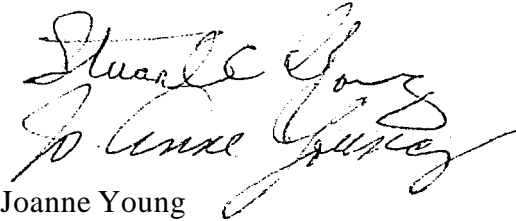
Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive car pooling.. The school has significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education

for our children in the Salesian style.

We would appreciate your support in approving the amended use permit application.

We would appreciate a response from you regarding this letter. Thank you.

Regards,

Handwritten signatures of Stuart Young and Joanne Young. The signature of Stuart Young is written above the signature of Joanne Young.

Stuart Young

Joanne Young

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk of the Board of Supervisors, Application #04-0384

November 11, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

Dear Ellen,

I ~~am~~ writing to express my support of ~~the~~ Salesian Sister's education effort, community presence and mission. We are school parents and community members, and I teach English ~~as~~ a second language to the Hispanic community in Santa Cruz County on a volunteer basis.

The Salesian school teaches and practices our faith. In their effort to amend their use ~~permit~~, we completely support their effort to amend the use permit; Application #04-0384. With the presence of a chapel on campus and the daily religious services practiced there, we appreciate the freedom to speak, assemble and worship together with our two children. This school's excellent academic program prepares our children for the real world.

We have personally made tremendous daily sacrifice to adhere to the county carpooling practice on Enos Lane. We believe there is some arcane discrimination against the Salesian Sisters School and seek the assistance of the County

In good faith, the Sisters have responded and continue to respond to the demands of the County. I have attended the meetings and have met you at one of them. It is our utmost belief that ~~our~~ principal, Charlotte Greer has been working hard to communicate the school's benefit to the community, where I would prefer she have her full attention to our academic state, not the political state. We would appreciate your support in approving the amended use permit application. These requirements interfere with our ability to exist ~~as~~ an educational family of faith. We quietly, slowly access our school from north Santa Cruz County, Monday ~~through~~ Friday. For my fourth year, I respect the neighbors on Enos Lane.

To reduce the student population will financially impact the Salesian school and cause undue restraints on our fundamental right to choose a faith-based education for our children. Please also consider the catastrophe of this student population reverting to the county public school system in the next year or two.

I would appreciate a response to this letter,  
Cheers,

Steven J. Balbo  
831-475-1924

Steven J. Balbo & Librada Alar  
4130 COURT DRIVE  
SANTA CRUZ, CA 95062

Santa Cruz resident, Salesian member and parent

**Cc:** County supervisor(s):

Jan Beautz

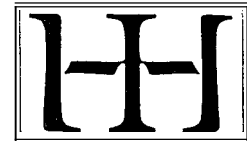
Tony Campos

Mark Stone

Mardi Wormhoudt

Director of Planning: Mr. Tom Burns

& Clerk to the Board of Supervisors, Application #04-0384



2425 Porter Street, Suite 14  
Soquel, California 95073  
Telephone: 831.475.4679  
Facsimile: 831.462.0724

**Britt L. Waselton, Esq.**  
**Joseph G. Haselton, Esq.**

November 11, 2004

Supervisor Ellen Pine  
2<sup>nd</sup> Supervisorial Distri  
County Government Center  
701 Ocean St., Room 500  
Santa Cruz, CA 95060  
Re: Salesian Sisters School Application #04-0384

Dear SupervisorPirie:

I am writing to express our support of the Salesian Sisters' work, community presence and mission in ~~Santa~~ Cruz county. I am a Salesian student parent and member of the Corralitos community. My husband and I support the Salesian Sisters in their efforts to amend their use permit.

We are grateful that we can send our children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we enjoy the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares our children to enter the world and face its problems with clearer vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in religious and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement greatly interferes with our ability to exist as a religious and academic institution. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greeer, has done an exceptional job in diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended use permit application.

Very truly yours,

A handwritten signature in cursive script that reads "Britt Haselton".

Britt Haselton,  
Haselton & Haselton

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application #04-0384

November 11, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District

County Government Center  
701 Ocean Street, **Room 500**  
Santa Cruz, CA **95060**

Re: Salesian Sisters School Application # **04-0384**

Dear Supervisor Pirie,

I ~~am~~ a parent at Salesian School. I support the school's efforts to amend the use permit, Application # 04-0384. I am thrilled to send my child to a school that teaches and practices the Catholic faith. The key to Salesian philosophy is ~~the~~ family spirit, which is achieved by including parents and educating the whole child.

The students participate in community programs, by volunteering with the Second Harvest Food Bank and Families in Transition. In having to adhere to County requirements the parents and staff have experienced a great hardship to reduce the number of cars on Enos Lane.

These County requirements restrict my ability to visit the school in order to participate in my child's educational process. These requirements have been financially burdensome for the school and difficult for those parents who have to drive a long distance to pick their children up at carpool sites. We believe that Salesian Sisters School is the **only** school to be so restricted by the County. Please support the permit process and thank **you** for your understanding.

Sincerely,

*Marcel Washburn*

P.O. Box 18  
San Juan Bautista, CA  
95045

cc. Jan Beantz, Tony Campos, Mark Stone, Merli Wormhoudt  
Tom Burns  
Clerk B.O. - Supervisors App. #04-0384

November 11<sup>th</sup>, 2004

Supervisor Ellen Pirie  
2nd Supervisorial District

County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
RE: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are their school parents, alumni and patrons of the Corralitos community. We completely support the Salesian Sisters in their efforts to amend their use permit.

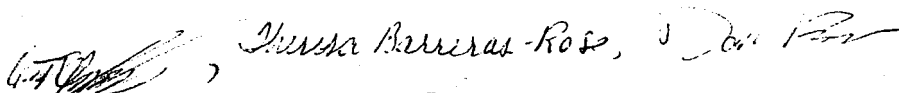
We are grateful to send our children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education of our children in the SALESIAN style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended use permit application. We would appreciate a response to this letter. Thank you.

Best Regards,

  
Cain Ramirez, Theresa and David Rose  
7645 Benassi Drive  
Gilroy, CA  
95020

cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application #04-0384

November 11, 2004

Supervisor Ellen Pirie  
2nd Supervisorial District  
County Government Center  
701 Ocean Street, Room #500  
Santa Cruz, Ca. 95060

Michelle Malone Keith  
423 Hecker Pass Road  
Watsonville, Ca. 95076

**RE: SALESIAN SISTERS SCHOOL APPLICATION #04-0384**

Supervisor Pirie:

I am writing to express my support of the Salesian Sisters' and their commitment to their mission and working with children from all areas of our county to teach and help develop them into bright outstanding individuals. I find their presence in our community invaluable. I fully support the Salesian Sisters in their efforts to amend their Use Permit.

I am grateful we can send our children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the United States Marine Corp. The children also spend time feeding the homeless at the local parish and contribute to needs throughout the world.

Currently, the Sisters, staff, parents, and children are making tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have continuously responded to the demands of the County. I have attended several of the meetings, along with majority of the parents, concerning the issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has performed an exceptional job on diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended Use Permit Application.

I would very much appreciate a response to this letter. Thank you for your time and consideration in this matter

Regards,



Michelle Malone Keith

cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt County Supervisor  
Tom Bums, Director of County Planning  
Clerk to the Board of Supervisors, Application #04-0384

November 11, 2004

Desiree Young and Joshua Fleck  
139 Alta Drive  
La Selva Beach, CA 95076

Supervisor Ellen Pine  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are their neighbors, school parents, and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are grateful to send our children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

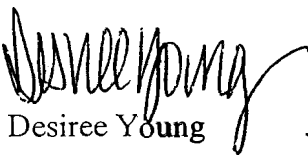
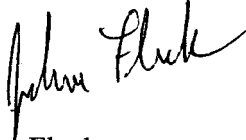
Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive car pooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education

for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sister Charolette Greer, has done an exceptional job diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended use permit application.

We would appreciate a response from you regarding this letter. Thank you.

Regards,

   
Desiree Young Joshua Fleck

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk of the Board of Supervisors, Application #04-0384

November 11, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
RE: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie,

We are writing to express **our** support of the Salesian **Sisters'** work, community presence and mission. We are their neighbors, school parents, and community members. We completely support the Salesian Sisters in their efforts to amend their use **permit**.

We **are** grateful to send **our** children to a school which teaches and practices our faith. With the presence of a chapel on campus **and** the regular religious services held therein, we treasure the **freedom** to speak, assemble, and worship together with our children. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit **This** is achieved by partnering with parents to educate the whole child in gospel and social values. **Through** outreach, this **sense** of family extends beyond the school to the local civic community and the world **at** large. The students are the power behind our participation in programs such **as** Second Harvest food **bank**, Families in Transition, and Toys for Tots **sponsored** by the USMC. **They** also share their time to feed the homeless at the local parish and contribute to **needs** throughout the world.

Presently, the Sisters, **staff**, parents and children have made tremendous sacrifices to adhere to all the County's requirements, **especially** the restrictive carpooling. We have **significantly** reduced the **number of cars** on Enos Lane. We believe **that** Salesian Sisters School is the **only** school to be so severely restricted by the County. This requirement **significantly** interferes with **our** ability to exist **as** an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters **as well as** the parents paying the tuition. To **restrict** the student population to less than requested will financially impact the Salesians and cause undue restraints on **our** **fundamental right** to choose **a** faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond **to** the demands of the county. We have attended the meetings concerning **this** issue. It is **our utmost** belief that **our** principal, Sr. Charlotte Greer, has done **an** exceptional job in diffusing **frustration** and **concern** felt by us and the entire school community. We would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you.

Best Regards,

*Ramon and Cristina Suarez*

Ramon and Cristina Suarez  
111 Hathaway Ave.  
Watsonville, CA 95076

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
/Tom Bums, Director of County Planning  
Clerk to the Board of Supervisors, Application# 04- 0384

November 11, 2004

Anthony and Irene Young  
29 Alta Drive  
La Selva Beach, CA 95076

Supervisor Ellen Pine  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pine,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are their neighbors, school parents, and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are grateful our grandchildren attend a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our grandchildren. The school's excellent academic program prepares our grandchildren to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Tcys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

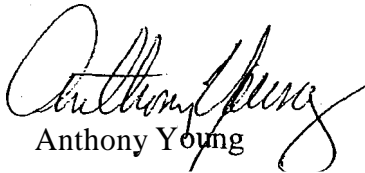
Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive car pooling. The school has significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as **an** educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education

for our children in the Salesian style.

We would appreciate your support in approving the amended use permit application.

We would appreciate a response from you regarding this letter. Thank you.

Regards,



Anthony Young

Irene Young



cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk of the Board of Supervisors, Application #04-0384

**Mark and Shelly Evans**  
**630 Wildwood Dr**  
**Watsonville, CA 95076**

November 11, 2004

Supervisor Ellen Pine

2<sup>nd</sup> Supervisional District  
County Government Center  
701 Ocean St., Room 500  
Santa Cruz, CA 95060  
Re: Salesian Sisters School Application # 04-0384



Dear Ellen Pine:

We are writing you regarding the amendment of the Salesian Sister School Use Permit, Application #04-0384. It is our belief that the Salesian Sister School has consistently evidenced good-faith in complying with the county requirements, especially with regard to carpooling. We have dramatically decreased the number of cars transporting both children and faculty to the school. In order to operate in a financially feasible way, it is imperative that the school be allowed enough student enrollment to offset the potentially restrictive expenses of conducting an elementary and junior high school.

Salesian Sisters represents to us, the parents (and community members ourselves), a safe, morally sound environment where the students are allowed to express religious freedoms while simultaneously achieving firm academic standards. Our children are taught to love all others, in the "Salesian spirit", despite any racial, economic, or religious differences. In this spirit of love, we, as adults, are reminded to do the same. Sometimes innocent children can influence us to strive to be the best adults that we can be. We want to be good parents, and simultaneously be respectful and respected neighbors in the community.

Thank you for your thoughtful consideration in our efforts to amend the use permit, Application # 04-0384. We feel it is vital for the future success of our beloved school.

Sincerely,

  
Mark B. Evans  
  
Shelly L. Evans

Proud Parents of Mathew (7<sup>th</sup> grade) and Gregory (3<sup>rd</sup> grade)  
Salesian Sister Students

cc. Jan Beautz, County Supervisor     Mark Stone, County Supervisor  
Tony Campos, County Supervisor     Mardi Wormhoudt, County Supervisor

Tom Burns, Director of County Planning     Clerk to the Board of Supervisors, Applic. #04-0384

**James & Michele Garza**  
**43 Evelyn Ave.**  
**Watsonville, CA 95076**  
**(831) 761-8120**

November 11, 2004

**Sup**ervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060

Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pine,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are the parents of a third grade student at Salesian School. We completely support the Salesian Sisters in their efforts to amend their use permit.

Our faith is very important to us. We are grateful to send our children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.


The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They **also** share their time to **feed the** homeless at a local parish and **contribute** to needs throughout the world.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental **right** to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by us and the entire school community. **We would appreciate your support in approving the amended use permit application.**

We would appreciate a response to this letter. Thank you.

Best Regards,

A handwritten signature in cursive script, reading "James & Michele Garza".

James & Michele Garza

c c            Jan Beautz, County Supervisor  
                 **Tony Campos, County Supervisor**  
                 Mark Stone, County Supervisor  
                 Mardi Wormhoudt, County Supervisor  
                 Tom Bums, Director of County Planning  
                 Clerk to the Board of Supervisors, Application # 04-0384

Richard & Joni Scurich  
400 Brooktree Ranch Road  
Aptos, Ca 95003

November 11, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian School Application # 04-0384

Dear Supervisor Pirie-

We are writing you in support of the Salesian Sisters work, local presence, and mission.

We are fortunate enough to be able to send our son to such a fine school, which also teaches and practices our faith. With the convenience of a chapel at the school we are able to attend religious services held there, as well as assemble, while worshipping along with our children. The schools advanced academic program coupled with a positive message, prepares our children well for the next phase of life.

The key to a Salesian based philosophy is the promotion of the family spirit! Through family participation and outreach programs the school sponsors, we are able to help the community and world in general. We will be once again aiding Families in Transition, Toys for Tots, and Second Harvest Food Bank. We also feed the homeless at our local parish, and help wherever a need arises.

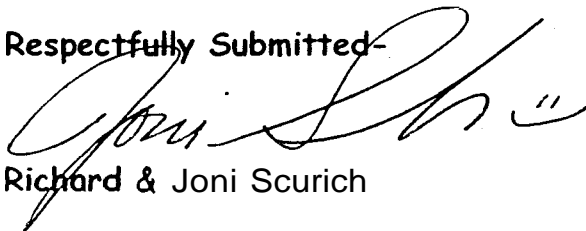
Everyone is working desperately to adhere to the county requirements. The Sisters, Staff, Parents, and Students have made great sacrifices to help, even though there is a restrictive carpooling mandate. We have shown good faith and reduced the number of cars using Enos Lane. These requirements interfere with our ability to function as an

educational family of faith. We believe that Salesian Sisters is the only school to be so severely restricted by the County.

We also want to address the financial burden that has been put upon the sisters. To try and remove families from our school will financially impact the school, and the children, while putting undue restraints on our fundamental right to choose a faith based education for our children.

The Sisters have shown good faith in a continued effort to respond to all the demands of the County. Our principal, Charlotte Greer, has worked hard to diffuse any frustration and concern felt by the entire school community. We would appreciate your support to complete the permit process! We would also like to request a response from you concerning this matter. Thank you!

**Respectfully Submitted-**

A handwritten signature in black ink, appearing to read "Joni Scurich", with a stylized flourish at the end.

**Richard & Joni Scurich**

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application #04-0384

November 11, 2004

Supervisor Ellen Pine  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pine:

I am writing to express my support of the Salesian Sisters' work, community presence and mission. This is my grandsons' second year at Salesian. This school has provided the most amazing experience for them. They are thriving academically and socially in this unique, safe environment. I completely support the Salesian Sisters in their efforts to amend their use permit.

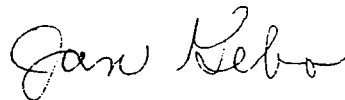
With the presence of a chapel on campus and the regular religious services held therein, I treasure the freedom of speech, assembly and worship. I am pleased that our family's moral values are echoed to them daily at school.

Presently, the Sisters, staff, parents (including grandmothers) and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. I believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. It is my utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by me and the entire school community. I would appreciate your support in approving the amended use permit application.

I would appreciate a response to this letter.

Best regards,



Jan Gebo  
1375 42<sup>nd</sup> Avenue #1  
Capitola, CA 95010

Cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Bums, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

November 11, 2004

320 Loyola Drive  
Aptos, CA 95003

Supervisor Ellen Pirie  
2nd Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060  
Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie,

I have had the pleasure of meeting you on several occasions through your excellent work on the Hidden Beach proposed development, your Measure J efforts, and during your communication visits to Salesian School. Our family appreciates your hard work on behalf of your constituents. I am writing to inform you of our unequivocal support of the Salesian Sisters in their efforts to amend their use permit.

If you remember our conversation on the day of your St. Patrick's Day visit, I told you how my husband and I wept upon discovering Salesian for our son. We were so grateful to have found a school that freely teaches our faith through daily religious instruction, through regular religious services in the campus chapel, and through worship, prayer, celebration and discussion in the classroom. The community service projects in which we have participated through Salesian, such as Families in Transition and the Second Harvest Food Bank, have helped to teach our son how his faith must be lived through tangible works of charity and service in his community.

The news this summer that we must adhere to the restrictive carpooling requirements was a huge disappointment. One of the pillars of Salesian's strength has been the welcome the sisters have always given to the families, community members, and alumni to participate in the ceremonies of our faith. Our son has had the unforgettable experience of reading scripture at a mass presided over by Bishop Ryan, at which his father played music, and his mother and grandmother attended. These new requirements interfere with our ability to exist as an educational family of faith. Further, the requirements drastically reduce the number of hours that parents can work at the school and they have added tremendous inconvenience to the lives of Salesian families. I think we are a fairly typical family juggling two work schedules, a school schedule, an after-school activity schedule, homework, and volunteer work. Now we must also coordinate that schedule with the schedules of at least three other families with similar demands on their time in order to comply with the rigid carpool rules. Our principal, Sr. Charlotte Greer, has been vigilant and uncompromising about enforcement of the restrictions, while working hard to keep a positive attitude that a solution to this problem will be found.

(1)

We have been happy to support Salesian with our time and fundraising efforts because we have received back a thousand times what we have given through the unique and loving education provided by the Salesian Sisters. However, to reduce the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our child in the Salesian style.

Thank you for your help in completing the permit process. We look forward to your response in this matter.

Sincerely,



Jeanne and Tom Milnes

cc: County Supervisor Jan Beautz  
County Supervisor Tony Campos  
County Supervisor Mark Stone  
County Supervisor Mardi Wormhoudt  
Planning Director Tom Burns  
Clerk to the Board of Supervisors, Application # 04-0384

(2)

November 11, 2004

Supervisor Ellen Pine  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pine:

I am writing to express my support of the Salesian Sisters' work, community presence and mission. This is my family's second year at Salesian. I currently have children in 4<sup>th</sup> and 7<sup>th</sup> grade. This school has provided the most amazing experience for my two sons. They are thriving academically and socially in this unique, safe environment. I completely support the Salesian Sisters in their efforts to amend their use permit.

I am fortunate to have the opportunity to send my children to a school which teaches and practices a strong faith. With the presence of a chapel on campus and the regular religious services held therein, I treasure the freedom of speech, assembly and worship. I am proud that my family's moral values are echoed to them daily at school.

Presently, the Sisters, staff, parents (including me) and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. I believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. I have attended the meetings concerning this issue. It is my utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by me and the entire school community. I would appreciate your support in approving the amended use permit application.

I would appreciate a response to this letter.

Best regards,



Brian Houser  
340 Santana Lane  
Aptos, CA 95003

Cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Bums, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

November 11, 2004

Supervisor Ellen Pirie  
2nd Supervisorial District

County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie,

I am writing to express my support of the Salesian Sisters' work, community presence and mission. I am a school parent and community member. I completely support the Salesian Sisters in their efforts to amend their use permit.

I am grateful to send my children to a school which teaches and practices my faith. With the presence of a chapel on campus and the regular religious services held therein, I treasure the freedom to speak, assemble, and worship together with my children. The school's excellent academic program prepares my children to enter the world and face its problems with clear moral vision.

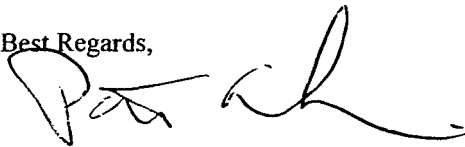
The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by myself and the entire school community. We would appreciate your support in approving the amended use permit application.

I would appreciate a response to this letter. Thank you.

Best Regards,



Pat Coash  
420 Lore Way  
Aptos, CA 95003

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wonnhoudt, County Supervisor  
Tom Burns, Director of county Planning  
Clerk to the Board of Supervisor, Application #04-0384

November 11, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie,

My wife and I are proud parents of two Salesian Sisters School students, and are writing to express our support of the Salesian Sisters' work, community presence, and mission. We support the efforts to amend their use permit, application #04-0384.

We are grateful to send our children to a school that provides such excellent education and practices **our** faith. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children.

The Salesian School provides us the opportunity to work closely with the Sisters and our children educating them in gospel and social values. Our school also benefits the local community and world at large with its outreach programs. The students participate in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently Sisters, the staff, children, and we have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have reduced the number of cars on Enos Lane significantly. This requirement interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been a financial burden for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by the entire school community and us. We would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you.

Matt and Sally McCollum  
Salesian School parents  
[mccollumhill@msn.com](mailto:mccollumhill@msn.com)

733 Rebecca Cir.  
Aromas, CA 95004

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wonnhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

November 11, 2004

Supervisor Ellen Pirie  
2nd Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060  
Re: Salesian Sister School Application #04-0384

Dear Supervisor Pirie,

On behalf of my family, we are writing to express our support of the Salesian Sisters' work, community presence and mission. We are their neighbors, school parents and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are delighted and grateful to send our children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble and worship together with our children. The school's superb academic program prepares our children to enter the world and face its problems with clear moral vision.

Family spirit is the key of Salesian philosophy.

This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in the programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their times to feed the homeless at the local parish and contribute to needs throughout the world.

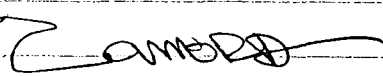
Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have done an excellent job, and significantly reduced the number of cars on Genos lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the

Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in discussing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you.

Best Regards,

AMV & MRS. 

cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Warmhouth, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors,  
Application # 04-0384

November 11, 2004

Supervisor Ellen Pirie:  
2nd Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie,

I am **writing** as a parent in full support of the Salesian Sisters efforts to amend their use permit. **As** a parent of a seven year old son currently attending Salesian Sisters Elementary and Junior High School, I value not only the excellent academic and religious educational curriculum offered to its students but just as importantly, I value the faith **based** philosophy and foundation upon which the school was established many years ago. **A** philosophy which is based on the Salesian Order of **the** Catholic Church and prides itself on educating the whole child in gospel and social values and in nurturing a spirit of family, of community and of **a** connectedness to the world at large. **It's** participation in such programs as Second Harvest Food Bank, Families In Transition, Toys for Tots, and Relief efforts overseas are examples of the school's positive community outreach efforts.

I believe the current situation has put unnecessary **stress** on the lives of all involved: the Sisters, **staff**, parents and students. **All** have made tremendous sacrifices to adhere to all the county's requirements, especially the restrictive carpooling. To further restrict the student population to less than what the school is requesting at this time would only further burden the **school** financially.

Salesian Sisters have responded in good faith to the demands of the County. **As** a member of the Salesian community I am respectfully asking that you respond in good faith to all the families and students that make up the Salesian School community at this time by supporting and approving the amended use permit application # 04-0384.

Thank you for your time and consideration.

Sincerely,

  
Esther C. Palacios

529 Oregon St.  
Watsonville, CA 95076

**MR. AND MRS. MATTHEW P. RYAN**

508 Riverside Road  
P.O. Box 478  
Watsonville, Ca 95077

Supervisor Ellen Pine-2nd District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, Ca 95060

November 11, 2004

Re: Salesian School Application #04-0384

Dear Supervisor Pine,

We are writing to express our support of the Salesian Sisters in their efforts to amend the use permit, application # 04-0384. We do not live in Corralitos, but are one of your community members as we frequent Corralitos Market very often, attend the Pancake Breakfast annually, send our children to Salesian School and are members of the Corralitos Cub Scout troop which is sponsored by the Corralitos Padres Hall. We also have birthday parties at Aldridge Park and attend on occasion events held at the Grange Hall.

I am a member of the Student Parent Association Advisory Committee [the equivalent of P.T.A.) and my husband is the president of the Booster Club (similar to a Father's Guild) at Salesian School. These commitments demand a lot of extra time and energy from us, but we are willing to make these commitments because we feel the school, its staff, teachers, environment and its educational philosophy is more than worth the effort. With the presence of a chapel on campus, and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship with our children.

However, as of late our ability to function and assemble has been greatly impacted. Many, many parents cannot meet with their child's teacher in person because of the restrictive carpooling. Fundraisers, after school sports and community projects have been affected. We believe that these requirements interfere with our ability to exist as an educational family of faith, and further that to reduce our student population will financially impact the Salesians and cause undue restraint on our fundamental right to choose a faith-based education for our children in the Salesian style.

Salesian School is an asset to your community as its parents patronize and support local businesses and produce well educated and service oriented youth. I am hopeful that you will judge the school on its own merits and vote to amend its use permit.

Sincerely,

  
Monica O. Ryan

cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
✓ Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application #04-0384

November 11, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District

County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060

Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie:

We are writing to express our support of the Salesian Sisters' work, community presence, and mission. We are parents of a Salesian kindergartener, and we are also both educators in the Santa Cruz County community. Both ~~as~~ parents and educators, we support the Salesian Sisters in their efforts to amend their use permit.

We are grateful to send our children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares children to enter the world and face its problems with clear moral vision.

The **key of** Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense **of** family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second **Harvest** Food Bank, Families in Transition, and Toys for Tots sponsored by the **USMC**. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents, and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well **as** the parents paying tuition. To restrict the population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based, Salesian education for our children,

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration

and concern felt by us and the entire school community. We would appreciate your support in approving the amended permit application.

We would appreciate a response to this letter and thank you for your time.

Best regards,

A handwritten signature in black ink, appearing to read "Letitia Scott-Curtis". The signature is fluid and cursive, with the last name "Curtis" being more prominent.

Letitia Scott-Curtis 67 Peppertree Lane  
Conrad Scott-Curtis Watsonville, CA 95076

cc: **Jan** Beauty, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormwood, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

Jose & Amelia Espinoza  
285 Skylark Lane  
Corralitos, CA 95076

November 11, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean St. Room 500  
Santa Cruz, CA 95060  
Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie,

We are writing to express our support or the Salesian Sisters' work, their community presence and their mission. We are Salesian neighbors, parents of that school and also community members. We support the Salesian Sisters in their efforts to amend their use permit.

We are very grateful to be able to send our son, Andre, to this school which teaches and practices our faith. We are blessed to have a chapel at this school where we can attend religious services with our children. We treasure the freedom to speak, assemble, and worship together with our children and community. The school has an excellent academic program which prepares children to enter the world and face its problems with a clear moral vision.


The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local community and the world at large. The students are the power behind our participation in programs such as The Second Harvest Food Bank Drive, Families in Transition, and Toys for Tots sponsored by the **USMC**. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Salesian Sisters, Staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe

that Salesian Sisters School is the only School to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Salesian Sisters as well as the parents paying the tuition. To restrict the student population to **less** than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning the issue. We believe that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended use permit application.

Respectfully submitted,



Jose & Amelia Espinoza

Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application #04-0384

November 11, 2004  
899 Calabasas Road  
Watsonville, California 95076  
(831)685-1015

Supervisor Ellen Pirie  
701 Ocean Street: Room 500  
Santa Cruz, California 95060  
Re: Salesian Elementary & Jr. High Application #04-0384

Dear Supervisor Pirie:

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are school parents and community members and completely support their efforts to amend their use permit.

We are grateful to send our child to a school that teaches and practices our faith. It is an amazing community of Sisters, teachers, students and parents. We have not seen anything like it before.

With the presence of a chapel on campus, and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship with our child.

Everyone, including the students, has made tremendous sacrifices to adhere to all the County requirements, especially the restrictive carpooling. These requirements have significantly interfered with our ability to exist as an educational family of faith.

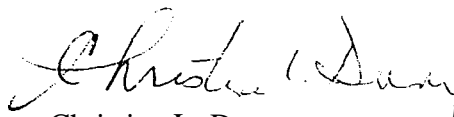
Meeting the County requirements has been financially burdensome for the Salesian Sisters as well as community parents. Restricting student population will financially impact the Salesian Sisters and cause undue restraints on our fundamental right to choose a faith-based education for our child in the Salesian style.

The Sisters have acted in good faith. We have attended the meetings concerning this issue. Sr. Charlotte Greer has done exceptional job diffusing our frustration and concerns as well as the entire school community.

We would appreciate your support to complete the permit process and request a response from you concerning this matter.

Sincerely,

  
Stephen H. Denny

  
Christine L. Denny

cc: County Supervisors Jan Beautz, Tony Campos, **Mark** Stone, Mardi Wormhoudt  
Director of County Planning Tom Bums

November 11, 2004

Supervisor Ellen Pirie  
Second District Supervisor  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie:


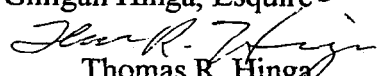
We are writing to express our enthusiastic support of the Salesian Sisters' above-referenced application to amend their use permit. Our sixth child is in the Sisters' school where the Sisters provide excellent academics while developing the whole person.

As a constitutional lawyer, I, together with my husband and children, truly appreciate our freedom to exercise our First Amendment rights to speak, assemble, associate and worship at the Sisters' school. We are proud that the Sisters have led us in positive participation and generous contribution to our local area. Very few schools, with so few students, can boast of a tradition of donations and outreach to those in need locally and globally.

Although the county has imposed difficult restrictions, the Sisters and school families have endured the financial and logistical difficulties in the Salesian spirit of patience, understanding, and cooperation. Sister Charlotte has been a model of diffusing frustration and promoting a continuing positive spirit toward all who oppose this application.

We trust that you realize that denying this application would severely, adversely impact our ability to obtain our constitutionally-protected right to a Salesian education. Moreover, due to the fact that the county has not burdened similarly-situated public schools in the same manner as Salesian Sisters' School, equal protection rights are also implicated.

Thank you very much for your anticipated support of this application. In the unlikely event that you do not plan to support this application, kindly contact us to discuss your proposed opposition.

Sincerely,  
  
Margaret Gilligan Hinga, Esquire  
  
Thomas R. Hinga

28 Playa Boulevard  
La Selva Beach, CA 95076  
(831) 684-0953

cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

Patrick and Evette Rose

525 Oregon Street  
Watsonville, CA 95076  
Phone (831) 724-5306  
[Everose@Pacbell.net](mailto:Everose@Pacbell.net)

November, 11, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pine,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are proud parents of a Kindergarten student, and also a 1983 graduate (Evette) from Salesian. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are grateful to send our son to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble and worship together with our children. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meeting concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer has done an excellent job in diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you.

Sincerely,



Evette V. Rose



Patrick A. Rose

Cc: Jan Beautz, Tony Campos, Mark Stone, Mardi Wormhoudt • County Supervisors Tom Bums, Director of County Planning, Clerk to the Board of Supervisors, Application # 04-0384

November 11.2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room #500  
Santa Cruz, Ca. 95060

Kevin A. Keith  
161 Red Hawk Place  
Watsonville. Ca. 95076

**RE: SALESIAN SISTERS SCHOOL APPLICATION #04-0384**

Supervisor Pirie:

I am writing to express my support of the Salesian Sisters' and their commitment to their mission and working with children from all areas of our county to teach and help develop them into bright outstanding individuals. I find their presence in our community invaluable. I fully support the Salesian Sisters in their efforts to amend their Use Permit.

I am grateful we can send our children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank Families in Transition, and Toys for Tots sponsored by the United States Marine Corp. The children also spend time feeding the homeless at the local parish and contribute to needs throughout the world.

Currently, the Sisters, staff, parents, and children are making tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the **only** school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as **an** educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well **as** the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have continuously responded to the demands of the County. I have attended several of the meetings, along with majority of the parents, concerning the issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has performed an exceptional job on diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended Use Permit Application

I would **very** much appreciate a response **to this** letter. **Thank you** for your time and consideration in this matter

Regards,



Kevin A. Keith

cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Bums, Director of County Planning  
Clerk to the Board of Supervisors, Application #04-0384

November 11,2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean St., Santa Cruz, California 95060  
Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie,

We are writing to express our complete support of the Salesian Sisters in their effort to amend their use permit application #04-0384.

We have made a choice to send our daughter to a school which teaches and practices our faith. With the presence of a chapel on campus, and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children.

Family spirit is the key to the Salesian philosophy and it is achieved by partnering with parents to educate the whole child. The school's excellent academic program is preparing our daughter to enter the world and face its problems with clear moral vision. Our students participate in outreach programs such as Second Harvest Food Bank, Families in Transition and Toys for Tots sponsored by the USMC. They also share time to feed the homeless at the local parish.

Tremendous sacrifices by the Sisters, staff, parents and the children are being made to adhere to all County requirements, especially the restrictive carpooling. This requirement significantly interferes with our ability to exist as an educational family of faith. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. To restrict the student population to less than requested will financially impact Salesian School and cause undue restraints on our fundamental right to choose a faith-based education for our daughter in the Salesian style.

When it was needed, the community asked the Salesian Sisters to open a school and they responded to that request. We gratefully support their work and their dedication to our children, our families and our community.

We ask for your support in approving the amended use permit application. We would appreciate a response to this letter. Thank you.

Sincerely,

Ronald and Stephanie Gibson  
155 Azure Lane, Watsonville, Ca 95076

cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application #04-0384

November 11, 2004

Supervisor Ellen Pirie  
2nd Supervisorial District

County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

RE: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie,

We are writing this letter to express our support for the Salesian Sisters **in** their effort to amend their use permit. **As** parents **of** three children who attend the **school**, neighbors of the school, and tax paying community members, we consider it very important to allow the school to move forward with the amended use permit.

Having joined this community in the last eighteen months, a significant consideration of locating in Aptos was the proximity to the school, which teaches our faith and allows our family to actively practice that faith. With the chapel on campus and regular religious services held therein, we highly value the opportunity to worship together with our children in this wonderful environment.

We also value the excellent academic environment provided by the school. Salesian Sisters provides an outstanding learning experience balanced with clear moral standards. Another important aspect to the school is the partnership between the teachers and parents, which provides a community of learning and involvement **so** critical to the growth and social values of our children. This includes community outreach through programs such **as** the Second Harvest Food Bank, Toys for Tots, Families in Transition and other charitable programs, such **as** feeding the homeless.

Today, the Sisters, staff, parent sand children are making significant sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. **As** a group, we have significantly reduced the number of cars on Enos Lane, a road the school helped finance. We believe that the Salesian Sisters School is the only school **in** the county **so** severely restricted by the County. As such, these restrictions interfere with our ability to educate our children **as** part of practicing our faith. In addition, meeting the County requirements places **an** undue financial burden on the School and therefore the parents who financially support the School. Restricting the student population to less than requested will place and unfair financial burden on the School and the parents **of** the students who are exercising our fundamental right of faith-based education.

The Sisters and the parents have continued to respond to the demands of the County acting in good faith. We have participated in the meetings concerning this issue and it is our utmost belief that our principal, Sister Charlotte Greer, has done an exceptional job of managing the frustration and concern felt by the entire school community. Consequently, we would appreciate your support in approving the amended use permit application.

We would also appreciate a response to this letter. *Thank* you for your attention to this important matter.

Regards,

Edward & Linda Murrer  
1583 Pleasant Valley Road  
Aptos, CA 95003

CC: Jan Beautz, County Supervisor  
Tony **Campos**, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director **Of** County Planning  
Clerk to the Board of Supervisors, Application #04-0384

November 11, 2004

Supervisor Ellen Pine  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pine:

I am writing to express my support of the Salesian Sisters' work, community presence and mission. This is my family's second year at Salesian. I currently have children in 4<sup>th</sup> and 7<sup>th</sup> grade. This school has provided the most amazing experience for my two sons. They are thriving academically and socially in this unique, safe environment. I completely support the Salesian Sisters in their efforts to amend their use permit.

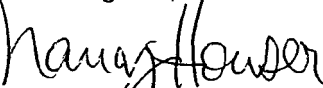
I am fortunate to have the opportunity to send my children to a school which teaches and practices a strong faith. With the presence of a chapel on campus and the regular religious services held therein, I treasure the freedom of speech, assembly and worship. I am proud that my family's moral values are echoed to them daily at school.

Presently, the Sisters, staff, parents (including me) and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. I believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. I have attended the meetings concerning this issue. It is my utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by me and the entire school community. I would appreciate your support in approving the amended use permit application.

I would appreciate a response to this letter.

Best regards,



Nancy Houser  
340 Santa Lane  
Aptos, CA 95003

Cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

November 11,2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are their neighbors, school parents, and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are grateful to send our children to a school which teaches and practices our faith. With the presence of a chapel of campus and the regular religious services held therein, we treasure the freedom to speak, assemble. And worship together with our children. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.


The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents and chddren have made tremendous sacrifices to adhere to all the County's requirements. Especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meeting concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you.

Best Regards,



Carmen Lua  
P.O. Box 281  
Freedom, CA 95019

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wonnhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application #04-0384

November 11, 2004

Supervisor Ellen Pirie  
Second Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, Ca 95060

Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie:

We are writing to express our support of the Salesian Sisters' work, community presence and their mission. We are their neighbors, school parents and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are grateful to send our children to a school which teaches and practices our religious values. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as the Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish as well as contribute to needs world wide.

Presently, the sisters, staff, parents and children have made tremendous sacrifices to adhere to all of the county's requirements, especially the restrictive car pooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters is the only school to be so severely restricted in the county. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the sisters. To restrict the student population to less than what has been requested, will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith based education for our children in the Salesian style.

In good faith, the sisters have responded and continue to respond to the demands of the County. We have attended all open meetings concerning this matter. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing the frustration and concern felt by ourselves and the entire school community. We would appreciate your support in approving the amended use permit application. We respectfully request a response from you concerning this matter.

Best Regards,



Brian and Marguerite Nicholson  
2800 Pleasant Valley Rd.  
Aptos, Ca 95003

cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wonnhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application #04-0384

November 11, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060

Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pine,

We are the proud Grandparents of a third grade student at Salesian School. We have witnessed first hand the special, family spirit that is present among the Salesian Sisters, staff, students and parents at the school. Over the past four years, we have had the privilege of attending mass at the school's chapel on several occasions. We treasure the freedom to speak, assemble, and worship with our Grandson and the rest of the members of this fine community.

We completely support the Salesian Sisters in their efforts to amend their use permit. It appears Salesian Sister School is the only school to be so severely restricted by the County. We are troubled by this and wonder why. We have seen the tremendous sacrifices made by the Sisters, staff, parents, and children to adhere to the County's demands including the restrictive carpooling. We are proud of all they have done to comply with the County's demands however; these requirements are interfering with the school's ability to exist as an educational family of faith. In addition, the County requirements have been financially burdensome for the sisters as well as the parents that pay tuition.

As lifelong members of this county we have faith that the elected county officials will be fair in their actions and amend Salesian School's use permit. *Thank* you for your time, we look forward to hearing from you with a response to this letter.

Sincerely,



John and Patty Martinez  
320 California Street  
Watsonville, CA 95076

c c

Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County **Planning**  
Clerk to the Board of Supervisors, Application # **04-0384**

November 11.2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie,

I am writing to express my support of the Salesian Sisters' work, community presence and mission. I am a school parent as well as a community member and I completely support their efforts to amend their purpose.

I am grateful to send my children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, I treasure the freedom to speak, assemble, and worship together with my children. The school's excellent academic program prepares our children for the world and faces its problems with a clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters' School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an excellent job in diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter, Thank You.

Best Regards,

A handwritten signature in black ink, appearing to read 'J. Peterson', with a long horizontal flourish extending to the right.

Jeff Peterson  
830 Via Gaviota  
Aptos, CA 95003

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

November 11, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060  
Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie,


I am a parent at Salesian School. I support the school's efforts to amend the use permit, Application # 04-0384. I am grateful to send my child to a school that teaches and practices the Catholic faith, with a chapel on campus, so I can worship with my child.

The students participate in outreach programs. They share their time feeding the homeless at local parishes and contribute to other global needs. It is a hardship for parents to adhere to County requirements, especially the restrictive carpooling to reduce the number of cars on Enos Lane.

These requirements restrict our ability to visit the school, talk with the teachers and be a part of our child's education. County requirements have been financially burdensome for the sisters and a great hardship for working parents who have to drive long distances to remote carpool sites. To reduce the student population to less than requested, will financially damage the school and interfere with our fundamental right to choose a faith-based education for our children.

Thank you for your consideration and support with regard to this urgent matter.

Sincerely,



118 Via Novella  
Aptos, CA 95023

Linda Hovis

cc. Jan Bocantz, Tony Campos, Mark Stone, Mardi Wormhaelt  
Tom Burns  
Clerk B. O. Supervisors App. #04-0384

November 11, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060  
Re: Salesian Sisters School Application #04-0384

Dear Ms Pirie,

This letter is in support of the Salesian Sisters' work, community presence and mission. We have been parents there since 1994 when our daughter transferred there in the 7<sup>th</sup> grade from an Iowa school, and our son has been a student since Kindergarten. We completely support the Salesian Sisters in their efforts to amend their use permit.

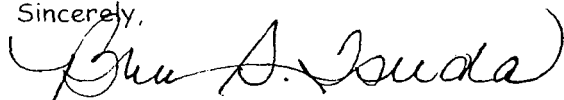
We are so grateful that we have an option to send our children to a school where we trust and believe in the faith, love and environment. We are also grateful for the presence of a chapel on site and regular religious services with the freedom to speak, assemble and worship together. The school's excellent academic program prepares our children to enter the world with a clear moral vision.

The key of Salesian philosophy is the family spirit achieved by partnering with parents to educate the child in gospel and social values. The sense of family extends beyond the school to local civic community. Our children, the students, have participated in outreach programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots. They share time to feed the homeless at the local parish and contribute to needs throughout the world.

The sisters, staff, parents and children have made TREMENDOUS sacrifices to adhere to County requirements, especially the restrictive carpooling. We have significantly REDUCED the number of cars on Enos Lane. These requirements interfere with our ability to exist as an educational family of faith. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. These requirements have been financially burdensome for the Sisters. To reduce the student population to less than requested, will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the sisters have and continue to respond to all demands by the county. Sister Charlotte Greer, our principal, has worked to diffuse frustration and concern felt by the entire school community. We appreciate your support to complete the permit process and request a response from you concerning this matter.

Sincerely,



Bale & Brenda Tsuda, Salesian Parents

9121 Padova Dr.  
Gilroy, CA 95020

Cc: Jan Beautz, County Supervisor  
Cc: Tony Campos, County Supervisor  
Cc: Mark Stone, County Supervisor  
Cc: Mardi Wormhoudt, County Supervisor  
Cc: Torn Burns, Director of County Planning  
Cc: Clerk to the Board of Supervisors, Application #04-0384

Keith and Linda Miller  
139 Anderson Dr..  
Watsonville Ca 95076  
831-761-2055

Dear Supervisor Pirie,

We are writing to express our support for the Salesian Sisters' work, community presence and mission we are school parent and community members. We completely support the Salesian Sisters' in their efforts to amend their use permit.

We are grateful to send our children to a school that teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school prepares our children for moral and ethical battles they will face when entering into high school.

The family spirit that overwhelm the school is the key philosophy of salesian. This is accomplished by partnering with parents to educate the whole child in social and gospel values. These children learn that they can donate their time and service to community programs such as second harvest food bank, Families in transition and toys for tots sponsored by the USMC. They also donate time to the parish which benefits people all over the world.


Presently, the sisters staff, parents and children have made tremendous sacrifices to adhere to the county's requirements, restrictive carpooling, we have reduced the number of cars on Enos Lane. We are taking great strides to see that Salesian Sisters is cooperating with the community and to reduce the number of students that the school is allowed to accept would be devastating financially.

In good faith, the sisters have responded and continue to respond to the demands of the county. We have attended all the meetings concerning this issue. We believe that Sr. Charlotte Greer is doing the best she can for our school community. We would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you.

Best regards,

Keith and Linda Miller



Linda Miller

310 Pestana Avenue  
Santa Cruz, CA 95065

Friday November 12, 2004

Supervisor Ellen Pirie  
2nd District Supervisorial District  
County Governmental Center  
701 Ocean Street Room 500  
Santa Cruz, CA 95060

Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie:

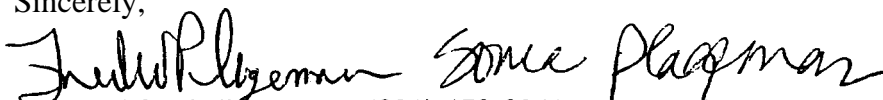
We are writing in support of the proposed amendment for a use permit at the Salesian Sisters Elementary and Junior High School in Corralitos. It was with great care that we selected this school for our daughter, a kindergartner. The school has a high level academic program combined with ethics, religion and the Salesian philosophy. With the presence of a chapel on campus, and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship with our children. Salesian School provides this unique environment.

The Sisters, staff, parents and children have made tremendous sacrifices to adhere to County requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that the County has selectively targeted Salesian Sisters School. The requirements of the County significantly interferes with our ability to exist as an educational family of faith. The County requirements have already posed a burden to the Sisters. To reduce the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have and continue to respond to all demands by the County. Sister Charlotte Greer, our principal, has worked to diffuse frustration and concern felt by the entire school community. The use permit amendment is fair and reasonable. We would appreciate your support in approving the amended use permit application.

Please share this letter with the entire Board. We are hoping for a response to this letter and our concerns.

Sincerely,

  
Fred and Sonia Pageman (831) 479-9341

Cc: Supervisors Jan Beautz, Tony Campos, Mark Stone, Mardi Wormhoudt, Clerk of the Board Application #04-0384, Director of Planning Tom Bums

COPY

November 14, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

RE: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie:

As your constituent, I am writing today to ask for your full support and affirmative vote on the Salesian Sisters' above referenced amended use permit application.

From my earliest memories I have been involved with the Salesian Sister's School. I received all of my elementary education, from pre-kindergarten through the eighth grade under the tutelage of the Salesian Sisters. The school community was a place of safety and warmth for me, almost like a second home. The Sisters prepared me for success in high school and college, and more importantly, along with my parents, they helped me to make good decisions along the way.

Now, my own ten year old daughter is repeating my same experience. She began her educational journey at Salesian Sisters in pre-kindergarten and she is now in the fifth grade.

I, my daughter, and my brothers and sisters have benefited significantly from our strong Salesian educational experience. I very much want this same opportunity to be available to other children in the future. I ask for your affirmative vote in favor of the school's amended use permit application.

Sincerely,

  
Joy E. Flynn  
650 Amesti Road  
Watsonville, CA 95076

cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoundt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

301 Golf View Road  
Watsonville, California 95076  
November 17, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
RE: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie,

We are writing to express our support for the work, community presence and mission of the Salesian Sisters. We support the Salesian Sisters in their efforts to amend their use permit, Application #04-0384 and continue the important job of educating children both academically and spiritually at the school on Enos Lane.

We chose to send our children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble and worship together with our children. Also the school's high academic standards are preparing our children for the future.

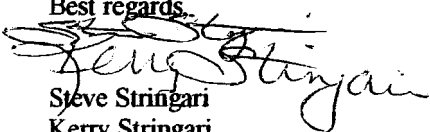
The key of Salesian philosophy is the family spirit. Parents wish to educate their children with these gospel and social values preparing them with a clear moral vision. It is very important to us to have a choice in the education of our children. The students at Salesian have learned many things besides classroom education. These students have reached out to the community and participated in programs such as the Second Harvest Food Bank, Families in Transition, Toys for Tots, Monte Foundation, visiting the elderly and confined in local rest homes, and others. This is the Salesian way.

In good faith, the sisters, parents and staff have made sacrifices to adhere to the County's requirements, especially the restrictive carpooling. The numbers of cars on Enos Lane have been significantly reduced. We have continued to respond in a positive manner to the demands of the County. We have attended meetings concerning the issue.

Allow us to continue the important academic and religious education that has been taking place for many years at Salesian Elementary and Junior High. We are asking you to please support the approval of the amended use permit application # 04-0384.

Thank you for your time and consideration

Best regards,

  
Steve Stringari  
Kerry Stringari

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

Deborah Wright  
3008 McGlenn Drive  
Aptos, California 95003

November 12, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District

County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie,

I am writing to express my support of the Salesian Sister's work, community presence and mission. I am a school parent and community member. I completely support the Salesian Sisters in their efforts to amend their use permit.

I am grateful to send my children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, I treasure the freedom to speak, assemble, and worship together with my children. The school's excellent academic program prepares my children to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. I have attended the meetings concerning this issue. It is my utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by me and the entire school community. My children and I would appreciate your support in approving the amended use permit application.

I would appreciate a response to this letter. Thank-you.

Best Regards,



Deborah Wright

CC     Jan Beautz, County Supervisor  
       Tony Campos, County Supervisor  
       Mark Stone, County Supervisor  
       Mardi Wormhoudt, County Supervisor  
       Tom Bums, Director of County Planning  
       Clerk to the Board of Supervisors, Application # 04-0384

November 12, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are their neighbors, school parents, and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are grateful to send our children to a school which teaches and practices our faith- With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.

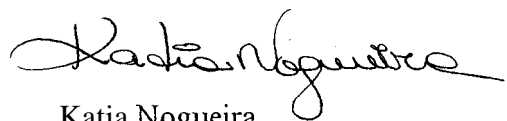
The key of Salesian philosophy is **the** family spirit. **This** is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The **students are** the power behind our participation in programs such **as** Second Harvest Food **Bank**, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish **and** contribute **to** needs throughout the world.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as **an** educational family of faith **As** it is, meeting the County requirements has been financially burdensome for the Sisters **as** well **as** the parents paying the tuition. To restrict the student population to less **than** requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by **us** and **the** entire school community. We would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you.

Best Regards,



Katia Nogueira  
1648 Woodrose Avenue  
Santa Cruz, CA 95062

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
~~Mark~~ Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Bums, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384 - 187 -

November 12, 2004

Wilfredo and Tammy Olea-Ruiz  
700 Telford Drive  
Corralitos, CA 95076

Reference: Salesian Sisters School Application # 04-0384

Supervisor Ellen Pine  
2nd Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

Dear Supervisor Ellen Pirie,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are their neighbors, school parents, and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are grateful to send our children to a school that teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Though outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by the entire school community and us. We would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you.

Cordially,  


Wilfredo and Tammy Olea-Ruiz  
700 Telford Drive  
Corralitos, CA 95076

cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Bums, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

November 12, 2004

SUPERVISOR ELLEN PIRIE  
2<sup>ND</sup> SUPERVISORIAL DISTRICT  
COUNTY GOVERNMENT CENTER  
701 OCEAN STREET ROOM 500  
SANTA CRUZ CALIFORNIA 95060  
RE: SALESIAN SISTERS SCHOOL APPLICATION  
# 04-0384

Dear Supervisor Pirie,

I AM WRITING THIS LETTER  
TO SUPPORT THE SALESIAN SISTER  
WORK, COMMUNITY PRESENCE AND MISSION.  
I AM A FATHER OF THREE AND  
ALL MY CHILDREN ASSIST TO THE  
SISTERS SCHOOL. I HAVE BEEN  
PART OF THE SCHOOL FOR EIGHT  
YEARS AND LET ME TELL YOU THAT  
THE SALESIAN SISTERS SCHOOL IS  
ALL I EVER WANTED IN EDUCATION  
FOR MY CHILDREN.

I CAME TO THIS COUNTRY 14  
YEARS AGO HAVING A LOT OF DOUBTS  
ABOUT WHAT KIND OF EDUCATION I  
CAN PROVIDE FOR MY KIDS.

THAT WAS UNTIL I KNEW  
ABOUT THIS LITTLE SCHOOL THAT  
REMINDS MY OF MY LITTLE  
SCHOOL DOWN IN SOUTH AMERICA  
WHICH WAS ALSO A SALESMAN  
SCHOOL.

AS YOU KNOW THE SCHOOL  
IS PRIVATE AND HAVING THREE  
KIDS IN THERE IS NOT EASY, BUT  
THE SISTERS ALWAYS HELP ME TO  
KEEP MY KIDS IN SCHOOL.

LET ME TELL YOU THAT I HAVE  
TWO JOBS TO BE ABLE TO DO BOTH  
BUT I DON'T REGRET FOR A  
SECOND MY SACRIFICE, BECAUSE  
ALL I CAN EVER DO FOR MY  
CHILDREN IS GIVING THEM LOVE &  
EDUCATION THOSE TWO THINGS  
THAT THEY WILL CARRY WITH THEM  
FOR EVER AND NOBODY CAN TAKE  
AWAY FROM THEM.

THANK YOU

3) Pesci

89 FAITH DR

WATSONVILLE CA 95076

-191-8 472 4726

November 12, 2004

Dear Supervisor Pirie,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are their neighbors, school parents, and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are grateful to send our children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the mended use permit application.

We would appreciate a response to this letter. Thank you.

Best Regards,

*Ignatia and Jennifer Piazza*  
(telephone # 684-2046)

address: 190 El Pinar  
La Selva Beach, CA 95076

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

November 12, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie,

As a lifelong resident of this community and county, with extended family in this area, I am writing to you regarding an issue affecting a great asset and positive influence in our community. This asset is the Salesian Elementary & Jr. High School. Having attended both public and private schools in this county, I am pleased to tell you none were as inspiring as what I have found for my own children at the Salesian Sisters School.

The key to Salesian philosophy is the family spirit. This family spirit is achieved by partnering with parents to educate children in both academics and social values. If you spend one day at the school, you will see the values our children are learning and living as demonstrated in the ways they treat each other, the younger children, parents and staff. Families are actively involved in their children's education at school, at home, and in the community. Students participate in outreach programs such as the Second Harvest Food Bank, Families in Transition, Toys for Tots sponsored by the USMC, feeding the homeless at the local parish and Salvation Army Center, and other specific needs throughout the world.

I am grateful to have such a resource as Salesian School in our community. I am grateful to send my children to a school that teaches and practices the Catholic faith. With the presence of a chapel on campus, and the regular religious services held therein, I treasure the freedom to speak, assemble, and worship with our children. You should come to assembly or to mass one morning to see that this is not just some freakish group of religious fanatics. This is a group of people (Sisters, teachers, and parents) speaking interactively with kids about specific ways to be the best human each one of them can be; about ways we can improve the lives of those in the local and global communities; about respecting other people's needs as much as our own interests; about God's inspiration in helping us do this. I am proud to support the Salesian sisters' work, their community presence and mission.

I also support their efforts to amend the use permit, Application #04-0384. The Sisters, staff, parents, and children have made tremendous sacrifices to adhere to County requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We comply with the posted speed of 15 mph while many Enos Lane residents drive in extreme excess of that speed and even pass our vehicles. Families with small vehicles are restricted from coming to school and must send their children in a vehicle that can transport 5 or more children. Can you imagine sending your kindergartner to her first day of school with someone she doesn't know and missing this time in her life? While television and radio ads promote becoming active and present in our children's schools, the families at Salesian are being told to stay away. How ironic! These families are intimidated to come visit their child's teacher for periodic discussions. Grandparents or other relatives are alienated by these restrictions when they consider attending mass at school with their grandchildren on Grandparents' Day. As a parent with a large vehicle, I am burdened with the responsibility of providing carpool transportation even if my children are home sick that day. I care for my brother's children one day a week but must plan alternative care for them during carpool so every seat in my vehicle is available for Salesian students. My parents cannot ride with me to pick up their

grandchildren for this same reason. Despite these absurdities, Salesian families are making these sacrifices. Sr. Charlotte Greer, our principal has worked to diffuse frustration and concern felt by the entire school community. Families are doing everything the school has asked because we believe in good neighbor relations and that the wonderful things happening at Salesian must continue.

However, we also believe that Salesian Sisters School is the only school to be so severely restricted by the County. Numerous schools have traffic and speed issues yet we don't see the same restrictions placed on them. In good faith, the Sisters have and continue to respond to all demands by the county. These requirements interfere with our ability to exist as an educational family of faith. Additionally, county requirements have been financially burdensome for the sisters. To reduce the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style. Please support Salesians' effort to amend use permit Application #04-0384. Your support to complete the permit process is greatly appreciated. I look forward to a response from you concerning this matter.

Sincerely,



Kathy Farley  
780 Travers Lane  
Watsonville, CA 95076

cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application #04-0384

November 12, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie,

We are writing to express our support of the Salesian Sister's work, community presence and mission. We are their neighbors, school parents, and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are grateful to send our children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.

To key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child's gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as the Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents, and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you.

Best Regards,

Oscar and Ana Rincon  
330 Marigold Avenue  
Freedom, CA 95019

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, county Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

November 12,2004

Supervisor Ellen Pirie  
2nd Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, Ca. 95060  
Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie,

We are writing to support the Salesian Sisters' application referenced above. We are school parents and completely support Salesian Sisters in their efforts to amend their use permit.

We are very grateful to be able to send our child to a school which teaches and practices our faith. There is a chapel on campus and regular religious services are held there. This is one of the benefits we looked for when searching for an alternative to public school education. We feel it is important to us as a family to **be** able to speak, assemble, and worship together with our child. The school's excellent academic record and my child's improved academic performance is a testimony to the excellence of this institution. The program is preparing my child **to** enter the world facing its problems with clear moral vision. He is very happy there. He has many friends, participates in school and sports unlike he has done before, and is thoroughly enjoying his childhood.


Another feature of the school philosophy is family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. The school is teaching him to be a good citizen through outreach and participation such as Second Harvest Food Bank, Families in Transition, and Toys for Tots. They also share their **time** to feed the homeless at the local parish and contribute to needs throughout the world. **He** has volunteered for many things and cherishes the friendships he has made in the process.

The Salesian Sisters School is a holy place. We have all made tremendous sacrifices to adhere to all **the** County's requirements, especially the restrictive carpooling. We have significantly reduced the number of vehicles on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. As a parent of older children who participated in public schools in the area and as a public school teacher, I have experienced traffic congestion and safety hazards that far exceed those at Salesian School. The requirement significantly interferes with **our** ability to exist as an educational family of faith. As it is, meeting the County requirements has been a financial burden for the Sisters as well as the parents paying tuition. To restrict the number of students to less than requested will have a financial impact on the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our child in *the* Salesian style.

In good faith, the Sisters have responded and continue to **respond** to the demands of the County. We have attended meetings concerning this issue. **Our** principal, Sister Charlotte Greer has done an excellent job in diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you.

Best Regards,

  
Gary and Susan Beveridge  
755 Paradiso Court  
Soquel, Ca. 95073

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application #04-0384

Peter and Jacqueline Fryn  
426 Edenvale lane Watsonville CA 95076

November 12<sup>th</sup>, 2004  
Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060

Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are their neighbors, school parents, and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are grateful to send our children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.

The key of Salesian philosophy is the family spirit. This is achieved by partnering with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students **are** the power behind our participation in programs such as Second Harvest Food Bank: Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time to feed the homeless at the local parish and contribute to needs throughout the world.

Presently, the Sister, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meeting concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Grccr. has done an exceptional job in diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you

Best Regards,  
Peter and Jacqueline Fryn

cc. Jan Beautz, County Supervisor  
Tony Compos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors; Application # 04-0384



November 12, 2004

Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060  
Re: Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We **are** their neighbors, school parents, and community members. We completely support the Salesian Sisters in their efforts to amend their **use** permit.

We are grateful to send our children to a school which teaches and practices **our** faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with **our** children. The school's excellent academic program prepares our children to enter the world **and** face its problems with clear **moral** vision.

The key of Salesian philosophy is the family spirit. This is achieved by **partnering** with parents to educate the whole child in gospel and social values. Through outreach, this sense of family extends beyond the school to the local civic community and the world at large. The students are the power behind our participation in programs such as Second Harvest Food Bank, Families in Transition, and Toys for Tots sponsored by the USMC. They also share their time **to** feed the homeless at **the** local parish and contribute to needs throughout the world.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as **an** educational family of faith **As** it is, meeting the County requirements has been financially burdensome for the Sisters **as** well **as** the parents paying the tuition. To restrict the student population to less **than** requested will financially impact the Salesians and cause undue restraints on **our** fundamental **right** to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended use permit application.

We would appreciate a response **to** this letter. Thank you.

Best Regards,



Marcelo Nogueira  
1648 Woodrose Avenue  
Santa Cruz, CA 95062

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Bums, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

November 12, 2004

Supervisor Ellen Pine  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

Re : Salesian Sisters School Application #04-0384

Dear Supervisor Pine,

We are writing to express our support of the Salesian Sisters' work, community presents and mission. We are school parents and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are so grateful to send our son to a school that teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic **program** prepares our children to enter the world and face its problems with clear moral vision.

Presently, the Sisters, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We believe that Salesian Sisters School is the only school **to** be so severely restricted by the County. This requirement interferes with our ability to exist as an education family of faith. **As** it is, meeting the County requirements has been financially burdensome for the Sisters as well **as** the parents paying tuition. To restrict the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

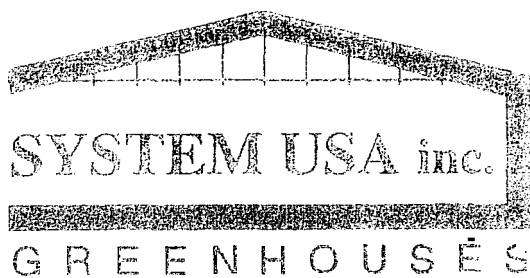
In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meetings concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by Salesian parents and the entire school community. We would appreciate your support in approving the amended **use** permit application.

Thank you,



Bruce and Nancy Waite  
1371 Day Valley Road  
Aptos, CA 95003

Cc : Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application #04-0384



Greenhouse Building  
Heat-Retention Installations  
Nursery Equipment and Supplies

November 12<sup>th</sup>, 2004  
Supervisor Ellen Pirie  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, California 95060

Re Salesian Sisters School Application # 04-0384

Dear Supervisor Pirie,

We are writing to express our support of the Salesian Sisters' work, community presence and mission. We are their neighbors, school parents, and community members. We completely support the Salesian Sisters in their efforts to amend their use permit.

We are grateful to send our children to a school which teaches and practices our faith. With the presence of a chapel on campus and the regular religious services held therein, we treasure the freedom to speak, assemble, and worship together with our children. The school's excellent academic program prepares our children to enter the world and face its problems with clear moral vision.

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Presently, the Sister, staff, parents and children have made tremendous sacrifices to adhere to all the County's requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos lane. We believe that Salesian Sisters School is the only school to be so severely restricted by the County. This requirement significantly interferes with our ability to exist as an educational family of faith. As it is, meeting the County requirements has been financially burdensome for the Sisters as well as the parents paying the tuition. To restrict the student population to less than requested **will** financially impact the Salesians and cause undue restraints on our fundamental right to choose a faith-based education for our children in the Salesian style.

In good faith, the Sisters have responded and continue to respond to the demands of the County. We have attended the meeting concerning this issue. It is our utmost belief that our principal, Sr. Charlotte Greer, has done an exceptional job in diffusing frustration and concern felt by us and the entire school community. We would appreciate your support in approving the amended use permit application.

We would appreciate a response to this letter. Thank you

Best Regards,  
Peter J. Eryn

cc. Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application # 04-0384

November 12, 2004

Supervisor Ellen Pine  
2<sup>nd</sup> Supervisorial District  
County Government Center  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

Re: Salesian Sisters School Application #04-0384

Dear Supervisor Pirie,

As a lifelong resident of this community and county, with extended family in this area, I am writing to you regarding an issue affecting a great asset and positive influence in our community. This asset is the Salesian Elementary & Jr. High School. Having attended both public and private schools in this county, I am pleased to tell you none was as inspiring as what I have found for my own children at the Salesian Sisters School.

The key to Salesian philosophy is the family spirit. This family spirit is achieved by partnering with parents to educate children in both academics and social values. If you spend one day at the school, you will see the values our children are learning and living as demonstrated in the ways they treat each other, the younger children, parents and staff. Families are actively involved in their children's education at school, at home, and in the community. Students participate in outreach programs such as the Second Harvest Food Bank, Families in Transition, Toys for Tots sponsored by the USMC, feeding the homeless at the local parish and Salvation Army Center, and other specific needs throughout the world.

I am grateful to have such a resource as Salesian School in our community. I am grateful to send my children to a school that teaches and practices the Catholic faith. With the presence of a chapel on campus, and the regular religious services held therein. I treasure the freedom to speak, assemble, and worship with our children. You should come to assembly or to mass one morning to see that this is not just some freakish group of religious fanatics. This is a group of people (Sisters, teachers, and parents) speaking interactively with kids about specific ways to be the best human each one of them can be; about ways we can improve the lives of those in the local and global communities; about respecting other people's needs as much as our own interests; about God's inspiration in helping us do this. I am proud to support the Salesian sisters' work, their community presence and mission.

I also support their efforts to amend the use permit, Application #04-0384. The Sisters, staff, parents, and children have made tremendous sacrifices to adhere to County requirements, especially the restrictive carpooling. We have significantly reduced the number of cars on Enos Lane. We comply with the posted speed of 15 mph while many Enos Lane residents drive in extreme excess of that speed and even pass our vehicles. Families with small vehicles are restricted from coming to school and must send their children in a vehicle that can transport 5 or more children. Can you imagine sending your kindergartner to her first day of school with someone she doesn't know and missing this time in her life? While television and radio ads promote becoming active and present in our children's schools, the families at Salesian are being told to stay away. How ironic! These families are intimidated to come visit their child's teacher for periodic discussions. Grandparents or other relatives are alienated by these restrictions when they consider attending mass at school with their grandchildren on Grandparents' Day. As a parent with a large vehicle, I am burdened with the responsibility of providing carpool transportation even if my children are home sick that day. I care for my brother's children one day a week but must plan alternative care for them during carpool so every seat in my vehicle is available for Salesian students. My parents cannot ride with me to pick up their

grandchildren for this same reason. Despite these absurdities, Salesian families are making *these sacrifices*. Sr. Charlotte Greer, our principal *has worked* to diffuse frustration and concern felt by the entire school community. Families are doing everything the school has asked because we believe in good neighbor relations *and that the wonderful things happening at Sdesian must continue*.

However, *we* also believe that Salesian Sisters School is the only school to be so severely restricted by the County. Numerous schools have traffic and speed issues yet we don't *see* the same restrictions placed on them. In good faith, the Sisters have and continue to respond to all demands by the county. These requirements interfere with *our* ability to *exist as* an educational family of faith. Additionally, county requirements have been financially burdensome *for the sisters*. To reduce the student population to less than requested will financially impact the Salesians and cause undue restraints on our fundamental right to *choose a faith-based education* for our children in the Salesian style. please support Salesians' effort to *amend* use permit Application #04-0384. Your support to *complete* the permit process is greatly appreciated. I look forward to a response from you concerning this matter.

Sincerely,



Kathy Farley  
780 Travers Lane  
Watsonville, CA 95076

cc: Jan Beautz, County Supervisor  
Tony Campos, County Supervisor  
Mark Stone, County Supervisor  
Mardi Wormhoudt, County Supervisor  
Tom Burns, Director of County Planning  
Clerk to the Board of Supervisors, Application #04-0384

January 8, 2005  
25 Enos Lane  
Watsonville, CA 95076

Planning Dept.  
701 Ocean Street  
Santa Cruz, CA 95060

Attention: Randall Adams

RE: Salesian School  
Parcel No. APN 107-121-60

Gentlemen:

We wrote to you on Sept. 27, 2004 and also delivered a packet of information regarding our property on Enos Lane which we purchased in October of 1964. We also wrote to you in regards to the violation of the permit for the school and their statements regarding use of the road.

We have now received a copy of a Reviewer's Report that was filed in the Surveyor's Office in 1883 and which the people at the school are using to verify their right to an easement over our property. We have gone to our Title Insurance company with a copy of that document and have asked them to verify that the description we have for our property is correct. They have assured us that there is nothing recorded in the Recorder's Office in Santa Cruz that shows this document was recorded for each property on Enos Lane.

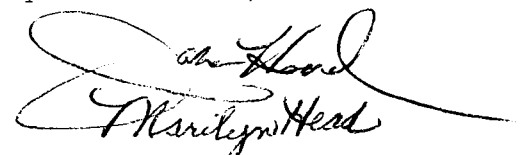
As you must know, there must be a recorded document signed by the property owner for an easement to be valid. We have had to do this to put water lines from our water source on Hames Road to our property on Enos Lane and have this described and recorded on our deed and on the deeds of each property that we came across with the consent and signature of each property owner.

We have been very disturbed by the continued activity of the school and do not understand why they are not required to comply with the Use Permit they received in 1979. The car-pooling is not being complied with all of the time and there is still traffic up and down the road all day long during the school week. It is clear that they have not reduced the number of students and with the coming school year approaching, we doubt that there will be plans made to reduce the number for the new year. Are they again going to be given a stipulation to continue another year without complying with the conditions of that Use Permit?

We noticed that during the Christmas break this year that the number of cars on Enos Lane was very different. Without the traffic of cars going to the school and use only for residents or their visitors, the neighborhood was a lot more like a normal neighborhood should be in a rural area.

We trust you will review the enclosed documents and maps and agree that the statement for a forty foot easement just does not exist.

Respectfully submitted,



encl: 3

HARRIET BROWN, Esq.  
740 Front Street, Suite 200  
Santa Cruz, CA 95060

MAIL TAX STATEMENT TO:  
MARTHA MACAMBRIDGE  
21 Enos Lane  
Watsonville, CA 95076

Recorded	REC FEE	13.00
Official Records	TAX	.00
County Of	CC CONF	.00
SANTA CRUZ	CC CONF	.00
RICHARD W. BEDEL	SURVEY	10.00
Recorder		
	JRS	
12:42PM 18-Jun-2003	Page 1 of 3	

## TRUST TRANSFER DEED

The undersigned Grantor(s) declare(s) under penalty that the following is true and correct:

Documentary transfer tax is \$ -0-

THIS CONVEYANCE TRANSFERS THE GRANTOR'S INTEREST INTO GRANTOR'S REVOCABLE TRUST, R&TC 11911. THERE IS NO CONSIDERATION FOR THIS TRANSFER. (Excluded from Reappraisal Under Proposition 13, i.e., Cal. Const. Art 13A Section 1 et seq.)

- ☒ Transfer to a revocable trust;
- ☐ Transfer to a trust where the trustor or the trustor's spouse is the sole beneficiary.
- ☐ Change of Trustee Holding Title.

GRANTOR(S): **MARTHA MACAMBRIDGE**, a single woman  
21 Enos Lane

Parcel # 107311-02

hereby GRANT(S) to:

**MARTHA MACAMBRIDGE**, trustee or her successor of the  
**MARTHA MACAMBRIDGE 2003 REVOCABLE TRUST**,  
Dated June 17, 2003

the following described real property in the Unincorporated Area County of Santa Cruz, State of California.

War Bo. 138808-6

The land referred to herein is situated in the State of California, county of Santa Cruz, Unincorporated Area and is described as follows:

### PARCEL ONE:

A PART W THE LANDS CONVEYED TO JULIUS J. WIDELL BY DEED RECORDED IN VOLUME 1154, PAGE 184, OFFICIAL RECORDS OF SANTA CRUZ COUNTY AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY LINB OF SAID LANDS OF WIDELL FROM WHICH A 3/4" PIPE AT THE NORTHWESTERLY CORNER THEREOF BEARS NORTH 0° 32' WEST 22 FEET AND NORTH 9° 14' EAST 187.46 FEET DISTANT, THENCE FROM SAID POINT OF BEGINNING ALONG THE WESTERLY AND SOUTHERLY LINE OF SAID LANDS OF WIDELL THE FOLLOWING COURSES AND DISTANCES: SOUTH 0° 32' EAST 30 FEET TO A 3/4" PIPE, SOUTH 14° 33' EAST 150.30 FEET TO A 3/4" PIPE SOUTH 26° 06' EAST 28 FEET TO A 3/4" PIPE, SOUTH 47° 12' EAST 36 FEET TO A 3/4" PIPE, SOUTH 65° 45' EAST 125.22 FEET TO A 3/4" PIPE AT THE MOST SOUTHERLY CORNER OF SAID LANDS OF WIDELL ON THE EASTERLY LINE OF A ROAD, KNOWN AS RIDERS ROAD, THENCE ALONG SAID EASTERLY LINE NORTH 7° 30' EAST 98.44 FEET TO AN AXLE; THENCE LEAVING SAID EASTERLY LINE SOUTH 72° 03' WEST 2 FEET TO A 3/4" PIPE ON THE CENTERLINE OF RIDERS ROAD; THENCE ALONG SAID CENTERLINE NORTH 6° 55' EAST 170 FEET TO A 3/4" PIPE; THENCE LEAVING SAID CENTERLINE WESTERLY IN A DIRECT LINB 215 FEET MORE OR LESS, TO THE POINT OF BEGINNING.

### PARCEL TWO:

- 205 -

A RIGHT OF WAY OVER RIDERS ROAD.

"EXHIBIT A"

PARCEL ONE:

BEING a portion of the Rancho Corralitos and more particularly described as follows:

BEGINNING at a 3/4" iron pipe on the centerline of Rider Road from which a 3/4" pipe at the most Northerly corner of that 3.006 acre parcel as shown upon the Record of Survey Map filed for record in Map Book 41, page 48 Santa Cruz County Records, bears North 6° 20' 50" West 25.36 feet distant; thence from said point of beginning along the Southerly and Easterly boundaries of said 3.006 acre parcel, South 73° 58' 10" West 169.25 feet to a 3/4" pipe, South 9° 42' 40" West 187.44 feet to a 3/4" pipe and South 0° 04' 00" East 22 feet to a point; thence leaving said parcel, Easterly in a direct line 215 feet, more or less, to a 3/4" iron pipe on the centerline of Rider Road from which the point of beginning bears North 3° 49' West 155 feet and North 6° 49' West 113.82 feet distant; thence along said centerline North 3° 49' West 155 feet to a 3/4" iron pipe and North 6° 49' West 113.82 feet to the point of beginning.

TOGETHER with and SUBJECT to a right of way over **Rider Road** the centerline of which is described as follows:

BEGINNING at a 3/4" pipe at the Northeasterly corner of the lands above described; thence from said point of beginning South 6° 49' East 113.82 feet to a 3/4" pipe, South 3° 49' East 155 feet to a 3/4" pipe and South 6° 55' West 170 feet to a 3/4" pipe from which an axle bears North 72° 03' East 8 feet distant.

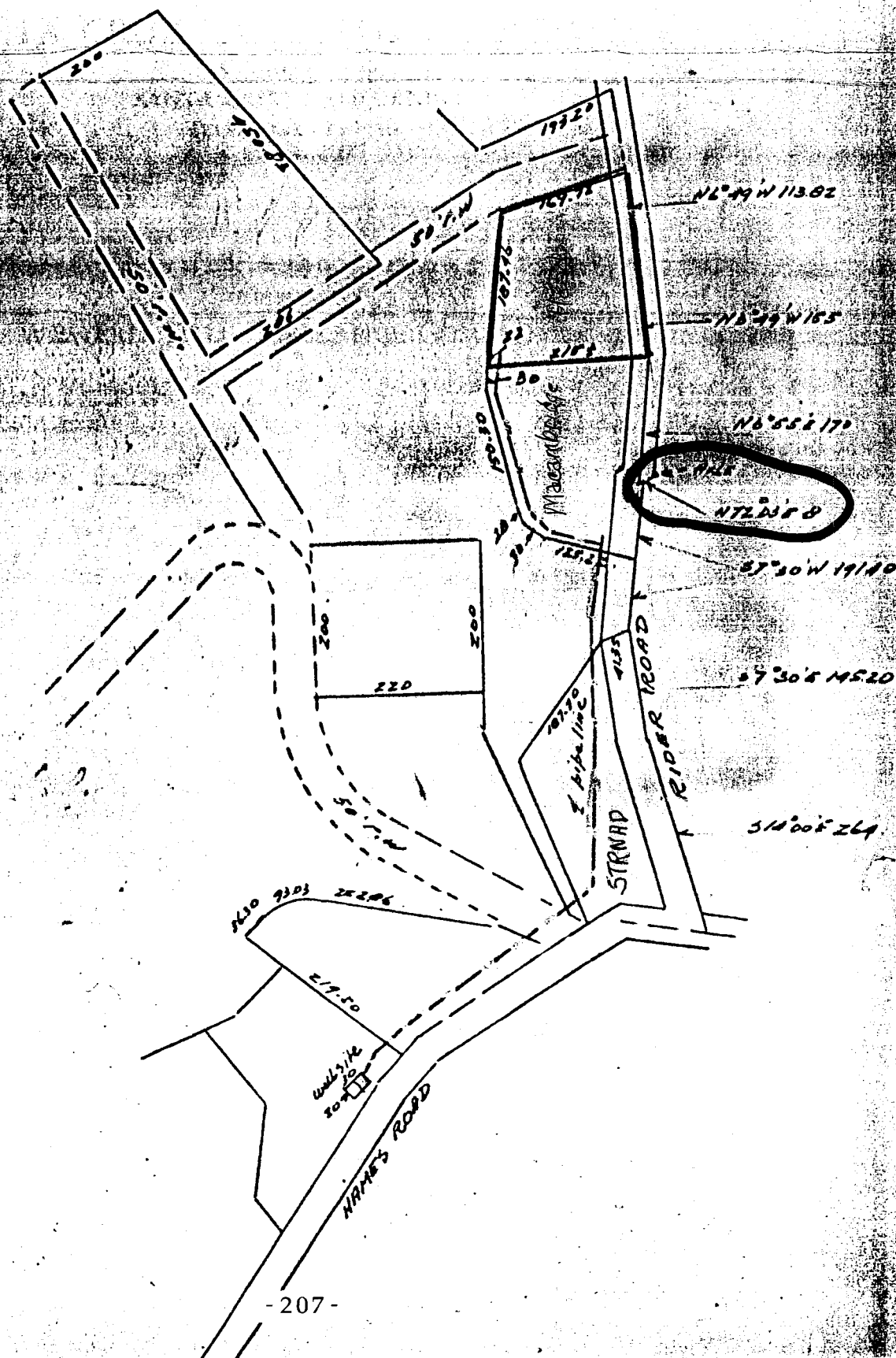
ALSO TOGETHER with a right of way over the continuation of said Rider Road the Easterly line of which begins at the axle hereinabove mentioned and running thence South 7° 30' West 98.44 feet to a 3/4" pipe, South 7° 30' West 92.96 feet, South 7° 30' East 145.20 feet and South 14° 00' East 244.76 feet to Hames Road.

PARCEL TWO:

AN UNDIVIDED 1/2 interest in and to the Northeasterly 15 X 20 feet of the following described parcel of land:

BEGINNING at a station from which the southwest corner of parcel 2 in the deed to Antone Joseph Rodrigues, recorded November 30, 1934 in Volume 278, page 255, official Records of Santa Cruz County, bears North 58° 6' East 348.35 feet distant; thence from said point of beginning North 50° 0' West 20 feet; thence South 40° 0' West 30 feet; thence South 50° 0' East 20 feet; thence North 40° 0' East 30 feet to the point of beginning.

(A) TOGETHER WITH the right to take water for domestic purposes from the well situated on above 15 X 20 foot parcel property and the joint usage of the pipe line and right of way as set out in said deed to Rodrigues, running from said well North 40° 00' East 350 feet, more or less, to parcel 2 hereinabove referred to.



February 16, 2005  
25 Enos Lane  
Watsonville, CA

County Board of Supervisors  
701 Ocean St  
Santa Cruz, CA 95060

RE: Salesian School

Attention: Ellen Pirie, Supervisor  
Second District

Dear Ms Pirie:

We again must write to you regarding the activities going on at the Salesian School on Enos Lane. As you know, they have been in violation of their Use Permit for the school since they were found to have more students enrolled than the permit allowed and no car-pooling was happening. Immediately, plans were taken to cut the number of cars going up in the morning by about 30%. This was a difference but there is still activity all day long and there are many vehicles that are not car-pooling, therefore, the number of vehicles using the road is still way out of line for a neighborhood private road.

We have sent letters and copies of our deeds to the Planning Dept. so that they are aware of the recorded property lines and right-of-way of Enos Lane to Hames Road because we were shown a copy of a Viewer's Report dated in 1883 and filed in the Surveyor's Office. This report is apparently the document that the School feels is their right for a 40' easement on Enos Lane.

Because we have gone to our Title Insurance Company and have gone over our recorded documents, they have assured us that unless we have signed something over to them, there is nothing recorded on our deed for a 40' right-of-way. It is described in our recorded deed and shown on maps which show the center line to be eight feet from the axle that is one of the survey markers.

We are now hearing that applications are being taken for new students for the coming school year and there have been open house meetings and other parent meetings. We are at a loss to understand how there can be applications made for new students for the next school year when the school is still in violation of their Use Permit and have not been able to comply with the conditions of that Permit.

We would appreciate some information as to the status of the continued use of the school as many of the neighbors are disappointed that nothing is being done to let us know that the proper procedures are being followed.

Thank you for your help.

Very truly yours,

*Jack + Marilyn Head*

-208-

encls.

Sec. 1  
Sec. 2

R/S MAP - L.  
NEWELL ET AL  
M.B. 41-48

HEAD

RIDERS

MACAMBRIDGE

(PRIV)

ROAD

STRNAD

HAMES

3021

ROAD

Red line  
indicates property  
line + description  
of right-of-way in  
recorded deeds.

Assessor's Parcel Block A

"EXHIBIT A"

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F/I

Sr. Charlotte  
Salesian Sisters Catholic School  
605 Enos Lane  
Watsonville Ca 95076

November 15<sup>th</sup>, 2005

~~Dear~~ Sr. Charlotte:

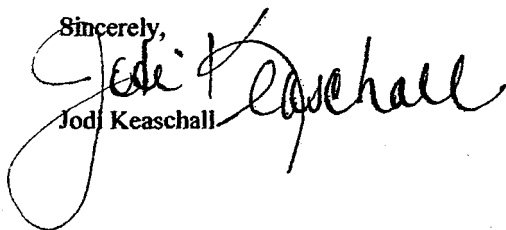
**My** family and I have lived on Howell Lane since 1999 and have experienced an ongoing and increasing amount of aggressive behavior while driving on Enos Lane, from several parents driving children to and **from your** facility. I have not been involved, thus far, in any meetings, information or activity involved with the current dispute issues which have arisen over the past 5 years regarding the increased traffic on **our** small private road. I have **only** heard about it from several neighbors. By choice, I stayed out of it. However, because **of the** recent behavior of some (not **all**) of **your** parents, I am forced, **now**, to become **heavily involved**. I have been a victim and a witness of several acts **of** "blatant disregard" and down right rudeness from drivers traveling **to and from** your school. **As a parent of two small children this** is extremely disturbing considering these people have children in their vehicles while **acting in** this manner. **What kind of example does this behavior set for youngsters, in all of this? This "us" against "them" behavior has got to stop!** This issue is **NOT** an "us" against "them". The neighbors have not united together against Salesian Sisters! The residents who depend on Enos Lane **for** their only evacuation route **in** case **of an** emergency have very **valid** concerns **ESPECIALLY** given the manner **in** which those who come and go from **your** facility choose to act. Many of these drivers not only exceed the **speed limit** by 10-20 miles per hour (especially **coming** down hill), but they also do not yield to cars waiting patiently to pull **out onto** Enos. I don't know if you're aware of the fact that it is very hard to see downhill **traffic** when pulling onto Enos **from Howell Lane**. Given their downhill speed, it is currently a hazard! They travel right behind one another, purposely **so as** not leave ample room for sharing the road with **local** residents.

In the **beginning** of the year, I witnessed a white Mercedes **race down Enos** (right down the middle) and stopped abruptly at the **knees** of **two** local resident children walking up **Enos**. This **was** totally uncalled for **as** these children live here. I don't personally **know** them but **as** residents they have a **right to walk** safely home without threat **from your** visitors. **This** really angered **me!** I've been wanting **to** sit down and write **to** you ever **since**. I have personally experienced **two** threatening experiences **in just the past 30 days of this** very type of behavior. One being this morning, I pulled out onto Enos Lane and proceeded slowly down, when, an **oncoming** oversized pewter color truck with a male driver **started** pretending he was **going to turn** his **steering** wheel into me, by pretending **to turn** the wheel rapidly in **my** direction. **This** was very **unnecessary** and really childish. **My** six year old son screamed "look out Mom, he's **going to hit us!**" I couldn't believe my **eyes**. (2) Two maybe **three** weeks ago a lady **wearing** a black ball **cap** and driving a black **BMW** traveling up the hill, when **she** saw I **was** pulling **out**, she sped up really **fast** **as if** she **was** going to hit **my** driver side door and nearly **missed** me. What are these parents **thinking?** Last year, I **was** passed by a parent who decided that **20 mph** **was** to slow so she tailed **my** down the hill then **passed** while I **was** stopped at the stop sign at the bottom of Enos and went **into** the oncoming lane of traffic **ON A BLIND CORNER, GOING UP HAMES ROAD**. She **almost** caused a head on collision! It has **become** increasingly out of control! I have recently questioned **only** a couple of my neighbors **regarding** recent experiences they might have had, and they all agree it is time for us **NOW** to get involved because **of** the behavior of your **guests**. Up until now, I haven't been involved but, Sister Charlotte, we need to come together to find a happy co-existence for the safety of all concerned here. I personally would like **to know** what **has** been said to these parents **to** make them **feel as** though we are **ALL THE ENEMY?** What are **YOU** doing **to keep** this behavior in check? You **do** have some responsibility **towards your neighbors to** "keep the peace". After all, it isn't our fault you are in violation **of your own permits, nor was it me who turned you in!** I am starting **to really** resent the fact that **somehow** you have painted a **picture** for your parents that it is **somehow** "our fault". Your violation issues, are simply that. **Your** issues, not mine or "ours". Please direct your visitors to **keep** me and **my** family **out of it!** Let me make myself perfectly clear. My **two** concerns here are safely in case **of an** evacuation or fire, and the current **behavior of some of your** parent drivers who feel they have a right to act in **this manner**. We are all responsible **adults** who owe it **to our** children to set a good example of how we tackle diversity and disagreement on certain issues. **These** children, be it resident children or passengers in **your** parent vehicles **DO NOT DESERVE** to bare the brunt of this issue and now I am forced to **speak for them**. This behavior is **as far from** "loving your neighbor" **as** it can be **AND IT NEEDS TO STOP!** So, I come to you **as a** resident, **as a** fellow Catholic and God loving person and concerned parent for help in finding a

PEACEFUL CO-EXISTENCE and to do what is "right" to alleviate the mounding frustration between travelers on Enos Lane. If I do not hear from **you** regarding **this** very real concern, I will be forced to seek other actions in alerting the public **of** the "real" goings on here in our small community. Perhaps a copy of **this** letter needs to be published for the public **to** get a real buds eye view of the facts of **this** matter, And not simply just your opinion.

Do not jump everyone who lives in this neighborhood together as "being against Salesians" that couldn't be farther from the truth. I **suggest** you put **out** a letter to the people **who** financially **support** your facility and **let** these **particular** parents **know** that they are doing you **a GREAT INJUSTICE by acting this way.** They **are causing** a real stir **amongst** the very **neighbors** you and **those** children may come to depend **on**, in the very case of an Emergency! We **are NOT THE ENEMY** and I don't **take** kindly to **the fact that these** people, whom I've never **met**, are **making** me the enemy and are acting this aggressive towards myself and my passengers, as well as my neighbors. simply because they live here! What **can we** as neighbors do to alleviate some of **this** anger? I will **be** eagerly awaiting your **response** to come together to resolve **these** issues which have been allowed to **grow** increasingly **dangerous** because of the lack of communication on all of **our** parts. **We** as adults bare the responsibility of **fixing** this mess before **something horrible** happens and we are **all** asking for **God's** forgiveness!

Sincerely,

  
Jodi Keaschall

CC: Randall Adams  
Ellen Pirie  
Gary and ~~Barbara~~ Smith  
~~Enos~~ and Howell neighbors

PERSONALLY DELIVERED 11/15/2005 by  
Jodi KEASCHALL.  
(831) 724-2754

February 8", 2006

Sr. Charlotte  
Salesians Sisters School  
605 Enos Lane,  
Watsonville CA 95076

RE: Immediate request for your follow-up assistance regarding Traffic & Safety Concerns

Regretfully, I am reporting, **per your request**, that things are not getting any better from the neighbor's perspective. Last we spoke, you were to send out a document to your parent's, insisting that they slow down and obey posted speed limit signs. I asked you to please copy me **so** that I could prove to the neighborhood that **you** were showing due diligence. I have not received any of such documents being sent out, to date. Also, a few more blatant acts have been made against residents, just since December. It's simply unbelievable to me.

I haven't installed a reflective mirror on the pole #1, because the shrubs no longer **pose** a visibility issue **as** they've been trimmed and #2 it is **\$400**. However, I do anticipate the need in the future..

It has taken me a couple of days to **draft** this letter as I have had two deaths in my family since we last spoke and do have a full plate! You had also stated that **you would be dealing with the "irresponsible behavior," personally**, and make sure these parties were made aware they risked losing the privilege of attending your school.

Just days ago, **one of your parents boldly broke the law and passed a PWSD School Bus as it was dropping neighborhood children off at the end of Enos Lane. The driver of the car passed and nearly struck a child exiting the bus.** It's a prime example of why some local residents view your parents **as** acting "above the law" with their blatant disregard for others on the road, when simply **passing through** our neighborhood. **Those** people are soon to receive restraining orders if this behavior persists. We as a neighborhood do not want a lawsuit, but we also will not back down to your parents' bullying tactics.

**Once again, this reiterates our concerns and puts SAFETY ISSUES ON ENOS LANE at the forefront of this issue.**

The parent of the child, who also happened to be an ex-bus driver, followed the person all the way to your school and chewed them out! Do you suggest that we start calling the Sheriff to report such **cases**? It's a terrible shame. but quite honestly, that WILL be our next step forward towards a resolution. This situation **puts** us in a very uncomfortable and **unfair** position to stand up for our rights **as residents** and protect our children.

When I reported to you personally, in writing, about the driver who pretended to turn his truck into my vehicle, you stated you would research it. Did you ever make an attempt to locate and talk with this **person**? It **certainly** doesn't take a detective to **see** that truck every single day around 7:40am like clockwork. I've **described** the Caucasian Male driving a pewter/tan or brown colored oversized truck with the 7S in the lic. Plate. I would have liked to have heard what his explanation was for **that!** **Salesian parents would NEVER STAND FOR THIS IN THEIR OWN NEIGHBORHOODS.** **Parents** are allowing children to roll down their windows and make rude comments teasing local children while driving up our private road to your school. At what point do your parents begin an active responsible role in diffusing this situation and be held accountable?

The same black BMW that **has** been aggressive towards SEVERAL local residents was again involved in another incident with the neighbor just weeks ago. This act was **acknowledged and witnessed by one of your teachers!** What is the course of action that you have taken thus far to add consequence **to** these actions? Can you provide proof that this communication has been made? Although it places me in a very compromising **position**, once again, placing the burden upon residents to "report these people", isn't the best way to handle this as it pits your parents against us. I'm sure, you agree it's not helping matters. Perhaps you **can** hire an employee or independent **officer** who is qualified to stand as a **"safety officer"** who **can** be the person to keep this behavior in check during busy **commute** hours. Something needs to be done **NOW - TEMPER ARE FLARING!**

Today, 2/10/06, I was #13 car in a line of bumper **to** bumper traffic heading up **Enos Lane** at 7:40am. Obstruction of the weekly garbage pick up, along with a Semi truck behind it was a recipe for **high** tempers with your parents, **as they** are

always in a hurry! With bunches of cars attempting to pass the garbage truck and downhill traffic totally steady, it's total mayhem every **Friday** morning. There is NO **VISIBILITY** on these days. Perhaps, If you had a "safety **officer**" directing such **traffic**, it could alleviate such a heavy downhill flow, thus gaining more room in between cars to allow passing of the garbage **truck**. **Waste Management** even had an extra man, usually it's one poor guy out there running the entire time just to get out of peoples way. The road is simply too small for this number of vehicles, it's too narrow and offers no visibility of oncoming **traffic** for passing safely. A head-on collision is imminent!

What direct steps have **you** taken to mitigate the current traffic dangers and aggressive actions from your parents? I agreed to let you know, **per your request**, when something happens. I **am** making **good** on my part of the deal, even though it jeopardizes my **own** safety by doing so. We verbally made an agreement, so I will stick to that. I would like to hope that you are **STILL** interested in helping come together as neighbors to better **the** situation that has escalated out of control. **Once again, for a final time**, I would like to extend to you an invitation to get together and discuss options, & person and try to iron out some **of** these **issues** as best we can. Safety first, like we **agreed**.

I understand you are busy. **Or**, perhaps the delay is due to your attorney's recommendations. I can assure you it's NOT helping the situation. It **puts out the impression that SAFETY comes second behind your financial agenda**. **This** neighborhood can NO LONGER WAIT for your "legal processes" to come to a resolution because **our children are paying the price and are most at risk**, here. PLEASE, work **with us...** NOT AGAINST US. We are NOT the enemy. OUR CHILDREN ARE NOT YOUR ENEMY. I **am** begging you to do whatever is in your power, Sister. If we are unable to come together before March 1<sup>st</sup>, I will be forced to ask the Sheriffs Department **to** take an active role **in** this matter. Perhaps **they** can get us closer to a safe resolution. Once again, I await your response to come together to resolve these IMPORTANT ISSUES.

Sincerely,



Jodi Keaschall

cc:

Randall Adams, Project Planner  
Tom Burns, Planning Director  
Santa Cruz County Sheriff  
Ellen Pine, Supervisor  
Dana McCrae, County Counsel  
Santa Cruz County Fire Battalion Chief  
Register Pajaronian/ Santa Cruz Sentinel  
Neighbors  
CODE FILE

FAX 454-2131

Date: 23 February 2006

From: Matt Zemny  
 76 Howell Lane  
 Corralitos CA 95076

CC: Paia Levine  
 Environmental Review Staff  
 CC: Paia Levine  
 Environmental Review Staff

To: Santa Clara County Planning Dept.

Subject: School Expansion - Daughters of Mary of Christians  
 Applic. No. 04-0384 (Salesian Sisters School)

As a property owner of 28 yrs, in the neighborhood affected by the proposed expansion of the Salesian Sisters School, I would like to be on record as NOT supporting this project. My main concern is Safety; both for neighborhood residents and the children attending the school.

ROAD - Enos Lane is a private "Shady Lane" type, rural road - adequate for normal needs of a rural community.

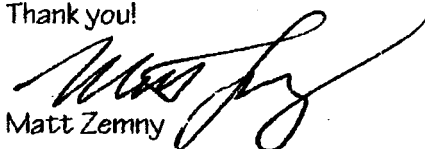
- many parts are only one lane with significant distance between turnouts
- widest parts (approximately 18 ft.) still requires slowing down to pass approaching vehicles safely
- there are no walkways or road shoulder for pedestrians when vehicles pass road. Pajaro School's bus stop is at the corner of Enos and Hames.
- severe erosion potential exists of un-surfaced shoulders (light sandy soil). Un-supported pavement; edges are damaged when vehicles pull off to let cars pass. No maintenance plan exists.
- road never engineered for high capacity use - width, supportive base rock or turn radius
- many driveways opening onto narrow roadway requiring vehicles crossing both lanes for access
- wider areas encourage faster speeds - 'speed humps' (wide speed bumps) needed to slow traffic
- large numbers of vehicles concentrated at short intervals of time severely impact roadway capacity - both AM and PM.
- development of area above school, although limited, adds to trip count also

EMERGENCY ACCESS - an alternative exit seems necessary as Enos Lane, the only access, could get cut off by fire, earthquake, landslides (liquefaction) - the large number of children would need to be evacuated safely or adequately cared for by the school until reunified with parent. A reunification site also needs consideration.

Other concerns:

- County Sheriff states traffic laws cannot be enforced on private roads. Suggested speed limit and stop signs mitigations are not effective without enforcement.
- If a High School level is added; school events would include sports with the additional traffic impact from the competing school teams & supporters. Also High School student may drive but carpooling would be limited due to California's youth driver law preventing passengers for first year for under 18 yrs drivers.
- Doubling school size will exacerbate the above problems. In addition to the transportation requirements of the children, it would require more support staff (teachers, maintenance workers, etc). Required safety improvements (e.g. widening) are only necessary due to the overburden created by the transportation requirements of the school.
- History since the 1975 beginnings show a pattern of the same planning staff concerns & recommendations either not being applied to the use permit or the mitigations implemented. The new Use Permit, doubling enrollment, contains many of the same requirements as the first. The lack of previous Use Permit conditions enforcement has led to the safety and traffic problems of today.

Thank you!

  
 Matt Zemny

ATTORNEYS  
WYCKOFF & ALLEN  
AND  
BACHAN, SKILLICORN & MARINOVICH

18 Alexander Street, P.O. Box 309  
Watsonville, California 95077  
Telephone 831-722-3861  
Telefax 831-722-0347  
e-mail: rehallen@cruzers.com

July 3, 2006

Tom Bums  
Planning Director  
County of Santa Cruz  
701 Ocean Ave  
Santa Cruz, Ca 95060

Re: Salesians Application 04-0384  
Enos Lane Right of Way Dispute

Dear Tom:

Some time ago you replied to my letter concerning the above Application and the Applicant's claim of a forty foot right-of-way ("ROW") across my three clients' properties. You indicated that your staff identified the 40 foot ROW in an 1883 Viewers Report "which was approved by the Board of Supervisors to establish this private road." Your letter also stated: "With regards to the right of way not showing up on your clients' property deeds...Perhaps ... information regarding the right of way was not properly described in the property deeds".

In fact, you were right that the rights of way were not properly described, but unfortunately, it is the Applicant's predecessors' deeds that failed to properly describe the right of way. Even assuming, *arguendo*, that the Applicant's deed included a proper easement, it is fatally flawed because the easement cannot be located on the property owned by my three clients.

1. **The Applicant's deed fails to establish the location of Applicant's proposed improvements in relation to properties owned by McCambridge, Head and Strnad.** The applicant's deed description of the portion of the ROW from the Tate property to Hames Road, past my clients' homes, does not describe where it is. It simply states that there is a "private road 40 feet wide...Southerly to Hames Road..." There is no metes and bounds description, no courses and distances from the Viewers' Reports, nor any reference to the centerline of the 40 foot wide road. Without such standard methods of defining the location of the easement, no one, neither the County, the Applicant's surveyor nor my clients can know where the 40 feet extends.

Private - pls. review and  
draft response by  
Aug. 19.

Randall - pls. draft  
response on me by  
AUG 9.

Thy B

copy to  
MARK  
DEMING

As I understand the County's requirements, the above application, currently being considered, cannot be deemed complete until the impact of the proposal, including any improvement of Enos Lane, can be determined. The above application, in fact, does not show the property lines of my three clients' property in reference to any recorded easement language establishing the boundaries of the easement.

**2. Applicant's predecessors' deeds are defective because of failure to include any right of way or Viewers' Report reference:**

Your letter prompted my clients to commission an extensive search of the county Official Records by a private title consultant. That search established beyond any doubt the following facts:

a. The Board of Supervisors' action approving the Viewers' Report was never recorded, and thus provides no basis whatsoever for establishing a forty foot right of way on my clients' properties. California Civil Code Section 1217

b. There is not a single deed relating to the Applicant's property from the date of the 1883 Viewers' Report to the present day that includes any reference to the Viewers' Report.

**c. There is not a single deed relating to the Applicant's property from the 1883 Viewers' Report to December 27, 1971 that even includes a right of way.**

I include photocopies of all of Applicant's predecessors' deeds and probate decrees from 1883 to the present ("Exhibit A – documents 1 to 8"). Please note in particular the following:

Exhibit A. document 7: This deed, dated December 29, 1965, from Miedel to Tate, for the Applicant's property, does not include any ROW whatsoever to Hames Road, like all of the preceding deeds.

Exhibit A. document 8: This deed dated December 27, 1971 from Tate to Leonard, for the Applicant's property, ~~for the first time~~ since 1883, includes a description of a "right of way over "Rider Road", a private road 40 feet in width... to Hames Road."

The problem with including such a 40 foot ROW in 1971, for the first time since 1883, is two-fold. A ROW cannot be created out of "whole cloth." An owner of land has to have received a recorded easement before conveying it. The deed conveying the Applicant's property to Tate in 1965 (Exhibit A – document 7) did not contain any easement, so he had no ROW to convey. Secondly, my three clients' parcels had already been created prior to that point in time when Tate attempted to create the 40 foot easement, so under no statutory or case law could they be subject to such a deed.

**3. The Applicant's purported ROW description bears no relation to the private road set forth in the Viewers' Report.**

There is an additional serious flaw with the deed from Tate to Leonard, namely the metes and bounds description of the ROW in the deed bears no reference at all to the actual courses and distances set forth in the Viewers' Report. The Tate to Leonard Deed (Exhibit A – document 8) describes the ROW as

“40 feet wide. over the existing route of “Rider Road” as re-aligned ...running thence South 83 degrees, East, 375 feet, more or less, to a point on the centerline of said “Rider Road” as the same existed on or about January 1, 1963.” (underlining added)

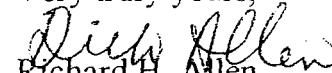
“Also together with a **right** of way over “Rider Road,” a private road 40 feet wide, from the Southeasterly terminus of the right of way last hereinabove referred to, Southerly to Hames Road, a County Road.”

Even if it is assumed, *arguendo*, that Tate had some basis to include a 40 foot ROW in his deed, it could only have been based on the ROW described in the Viewers' Report. The Tate deed maker; no mention of the Viewers' Report or the courses and distances set forth therein. The above language from the Tate deed makes it clear that Rider Road had been re-aligned and is no longer the Riders Road described in the Viewers' Report. Property rights cannot be created except by proper deeds.

It is clear from the above discussion and the enclosed deeds and probate decrees that the ROW provisions in the Tate to Leonard Deed are made **up** out of whole cloth, do not describe the ROW attempted to be created by the un-recorded Supervisor's approval of the Viewers' Report and do not give the Applicants the right to use any portion of **my** three clients' properties except the right to use the existing 12 to 15 foot improved road now known as Enos Lane.

I would appreciate the County's review of this issue which is critical to whether or not the Applicant has submitted a complete application, and to the continued processing of the Application.

Very truly yours,

  
Richard H. Allen

cc: Ellen Pine, Second District Supervisor  
Clients

Exhibit A – deed one: 10/31/1883: George Walker to Theresa Gonzalez

Exhibit A – deed two: 1/11/1884: Theresa Gonzalez to J.F. Enos (Ennis)

Exhibit A – deed three: 7/6/1938: Decree/Final Account: J.F. Enos to various Enos heirs.

Exhibit A – deed four: 3/30/1954: Enos heirs to Penniman

Exhibit A – deed five: 3/30/1954: Penniman back to Enos heirs

Exhibit A – deed **six**: 2/17/1961 Enos heirs to Russell J. Miedel

Exhibit A – deed 7: 12/29/65: Miedel to Tate

[Note: none of the above contained any easement provisions nor any reference to the Viewers' Report]

Exhibit A – deed 8: 12/27/71: Tate to Leonard

36  
page 339

H. E. Madeney County Clerk and officer clerk of the  
Superior Court in and for said County personally at-  
tended William Evans and Margaret Evans wife  
of said William Evans known to me to be the persons  
described in whose names are subscribed to and who  
executed the annexed instrument and they each acknowledged to me that they each executed the same  
and the said Margaret Evans described as a mar-  
ried woman and the wife of said William Evans  
upon an examination apart from and without the  
presence of her said husband, I made her acquaint-  
ed with the contents of said annexed instrument  
and she thereupon she acknowledged to me that she ex-  
ecuted said annexed instrument and that she did  
not wish to retract such execution.

Witness my hand and official seal at said County  
the day and year last above written

H. E. Madeney

County Clerk for Officer Clerk  
of said Superior Court

By H. Wanger

Deputy Clerk

Filed for record at the office of A. C. C. November 1<sup>st</sup> 1883  
at 2 o'clock P.M.

Recorded November 1<sup>st</sup> 1883

This instrument made the 1<sup>st</sup> day of October in the  
year of our Lord one thousand eight hundred and  
eighty three between

GEORGE WALKER

of the County of Santa Cruz, State of California, the party of the first part and

TERESA LILIA GONZALEZ

wife of Thomas Gonzales of the same County and State the party of the second part. Witnesseth that the said party of the first part for and in consideration of the sum of

TWO THOUSAND DOLLARS

gold coin of the United States of America, to him in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, does by these presents, grant, bargain, sell and convey unto the said party of the second part, and to her heirs and assigns forever, and for her use as an estate in fee simple of her present and many future husband's, all that tract of land situated in the County of Santa Cruz, State of California, Beginning at a station on the County road leading from San Alito's farm which are Oak trees 1/2 mile West 81 links distant, also a post N. P. in fence bears North 43° West 44 links distant, an old fence bearing said County road and along Eastern boundary of land of George Walker North 40° West 47 1/2 chains to stake N then North 9° East 8 1/2 chains to stake N then North 10 1/2° West 11° chains to stake O then North 10 1/2° East 39 1/2 chains to stake W, then North 10° West 32 1/2 chains to stake W in fence, the Eastern boundary of land of Mrs. Huesey, then bearing boundary of land of said George Walker North 25° East 17 1/2 chains along Eastern boundary of said Huesey's lands to station in fence then bearing East named boundary East 25 1/2 chains to the Northwest corner of the tract of land heretofore known as the Matthews tract, then due North 16 1/2 chains to the Southwest corner of the Huesey tract is called, thence along the boundary N - 221 -

to a station on the above running road, from which an Oak tree bears North 30° West 5 1/2 miles distant thence along said road South 34° West 8 1/2 chains, thence South 70° West 2 1/2 chains to station thence South 47° West 4 1/2 chains to the place of beginning. Containing 136 1/2 acres a better more or less subject to the right of way for road to Rider.

Together with all and singular, the tenements, hereditaments and appurtenances, thereto in anywise appertaining and the reverses and reverses, remainders and remainders, rents, issues and profits thereof. To have and to hold all and sing-  
 ed on the said premises together with the appurtenances unto the said party of the second part and to her heirs and assigns forever as and for her separate estate forever. In witness whereof the said party of the first part has hereunto set her hand and seal the day and year first above written.

George Walker <Seal>

State of California  
 County of Santa Cruz } SS

On the 31<sup>st</sup> day of October  
 one thousand eight hundred and eighty three before me D. S. Kirtledge a Notary Public in and for the County of Santa Cruz personally appeared George Walker personally known to me to be the same person described in whose name is subscribed to the within instrument and acknowledged to me that he executed the same. In witness whereof I have hereunto set my hand and affixed my official seal, the day and year in this certificate first above written.

<Seal>

D. S. Kirtledge Notary Public

Filed for record at the request of D. S. Kirtledge November 1<sup>st</sup> 1883 at 10



38  
page  
363

Signed & Enrolled in the  
Presence of A. S. Kithridge } Thomas S. Gonzales & wife  
witness to marks of both parties } Teresa S. Gonzales & wife

State of California  
County of Santa Cruz

On the 11<sup>th</sup> day of January  
in the year one thousand eight hundred and  
eighty four, before me, A. S. Kithridge, a Notary  
Public, appeared for said County, personally appeared  
Thomas Gonzales and Teresa S. Gonzales, personally  
known to me to be the same persons who were  
subscribed to the within instrument, and who,  
each of them, acknowledged to me that they ex-  
ecuted the same. And the said Teresa S. Gonzales  
declared as a married woman, and the wife  
of said Thomas Gonzales, upon examination,  
in the hearing of her husband, I made  
her acquainted with the contents of the said  
instrument, and therefore she acknowledged  
to me that she executed the same, and that she  
did not wish to retract such execution.  
In witness whereof, I have hereunto set my hand  
and affixed my official seal, the day and  
year in this Certificate first above written.

(Signature)  
Page 3

A. S. Kithridge  
Notary Public

Filed for Record at the Request of A. S. Kithridge  
January 11<sup>th</sup> 1884, at 10 minutes past 8 o'clock A. M.  
and the same day 28<sup>th</sup> 1884

100  
376  
page 121

IN THE MATTER OF THE ESTATE OF J. F. ENOS, )  
also known as JOSEF ENOS, also known as )  
JOE ENOS, also known as JOE F. ENOS, also ) No. 7521  
known as JOSE F. ENOS, also known as JOSEPH )  
F. ENIS, also known as J. F. ENNIS, deceased. )

DECREE SETTLING FINAL ACCOUNT OF EXECUTOR  
AND FINAL DISTRIBUTION.

JOSEPH A. ENOS, executor of the last will and testament of J. F. Enos, at al, deceased, having on the 24th day of June 1939, rendered and filed herein a full account and report of his administration of said estate, which said account was for a final settlement, and having with said account filed a petition for the final distribution of said estate, and said account and petition this day coming on regularly to be heard, and proof having been made to the satisfaction of the Court that the Clerk had given notice of the settlement of said account and the hearing of said petition, in the manner and for the time required by law, the Court finds:

1. That said account is in all respects true and correct, and that it is supported by proper vouchers; that the residue of money in the hands of the executor, at the time of filing said account, was (\$32.00) and that there will be no further expenditures necessary in the closing of said estate.

2. That due and legal notice to creditors of said estate has been given in the manner and for the time required by law.

3. That all claims and debts against said decedent and against said estate, all inheritance taxes, if any, due from the distributees and all personal property taxes due and payable by the estate, and all debts, expenses and charges of administration have been fully paid and discharged, and that said estate is ready for distribution and now in a condition to be closed.

4. That the whole of said estate was the separate property of said decedent.

5. That under the terms of the last will and testament of J. F. Enos, et al, deceased, the entire estate of said deceased was bequeathed and devised for life to Mary Enos, also known as Maria Enos. That the said Mary Enos, also known as Maria Enos died on the 7th day of September 1937. That therefore under the terms of said last will and testament A. T. Enos, L. E. Enos, and Agnes Enos, as residuary legatees and devisees, are each entitled to one-third of said estate and to any estate or property of the deceased not now known or discovered.

IT IS THEREFORE ORDERED, ADJUDGED AND DECREED that the final account of said executor be, and the same is hereby, finally settled, allowed and approved.

IT IS FURTHER ORDERED, ADJUDGED AND DECREED that the residue of said estate hereinafter particularly described, and any other property not now known or discovered, which may belong to the said estate or which said estate may have an interest in, be, and the same is hereby distributed as follows: One-third to A. T. Enos

One-third to L. E. Enos

One-third to Agnes Enos.

The following is the particular description of the said residue of said estate referred to in this decree, and of which distribution is now ordered as aforesaid:-

Cash on deposit at Pajaro Valley National Bank, Watsonville. \$32.00

REAL ESTATE:

Parcel 1:

BEGINNING at a stake marked "S" the Northwest corner of the tract of land of Nancy French, heretofore known as the Mathews Tract; thence due South 26 45/100 chains to a stake "MN" the southwest corner of said tract; thence North 83° West 26 12/100 chains to a stake "S" on the West boundary of a tract of land conveyed to Teresa L. Gonzales by George Walker by deed dated October 31st, 1883, and recorded in said County Records of Deeds, Volume 36 at page 339; thence North 10° West 16 78/100 chains to post "N" in fence on Eastern boundary of land of Mrs. Hussey; thence North 25° East 7 47/100 chains along the Eastern boundary of said Hussey land to stake "S" in fence; thence leaving last named boundary East 25 70/100 chains to the place of beginning. Containing an area of 67 852/1000 acres, more or less, and being the North part of the tract of land conveyed to said Teresa L. Gonzales, by said Walker by the deed hereinbefore mentioned.

Parcel 2:

BEING a part of the Corralitos Rancho and bounded on the North and East by a private road leading from the Hussey Ranch to the ranch of J. F. Ennis and known as the Ryder Road, and on the West by lands of Hussey, and on the South by the North line of land of J. F. Ennis, containing about 10 Acres of land, more or less.

PERSONAL PROPERTY:

- 1 Silver Fraternal crown
- 6 Walking plows
- 1 Orchard Wagon
- 3 Harrows
- 1 Set of Blacksmith tools

#BOOK  
page

122

DATED: July 6th, 1939.

JAMES L. ATTERIDGE  
Judge Of The Superior Court.

(ENDORSED)

Filed

July 6, 1939

H. E. MILLER, Clerk

By EMMA RODHOUSE

Deputy Clerk

I hereby certify that the foregoing instrument is a correct copy of the original on file in this office.

Attest my hand and seal this 6th day of July, 1939.

(SEAL)

H. E. Miller  
County Clerk and ex-officio Clerk of the Superior  
Court in and for the County of Santa Cruz,  
State of California.  
By Emma Rodhouse, Deputy

Recorded at Request of D. Oliver Germino Jul 6 1939 at 25 Min. past 2 P. M.

5333

Typist Leona Geyer.

*Belle Lindsey*  
County Recorder.

--000--

# Grant Deed

ORDER NO. 42476

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

A. T. ENOS, L. E. ENOS and AGNES ENOS, Distributees named in the Decree of Distribution recorded July 6, 1939, in Vol. 376, Official Records at page 121, records of Santa Cruz County, do hereby GRANT to PENNIMAN TITLE COMPANY, INC., a California Corporation,

the real property in the

County of Santa Cruz

State of California, described as:

PARCEL ONE: BEGINNING at a stake marked "S" the Northwest corner of the tract of land of Nancy French, heretofore known as the Mathews Tract; thence due South 26 45/100 chains to a stake "NN", the Southwest corner of said tract; thence North 83° West 26 12/100 chains to a stake "S" on the West boundary of a tract of land conveyed to Teresa S. Gonzales by George Walker by deed dated October 31st, 1883, and recorded in said County Records of Deeds Volume 36 at page 339; thence North 10° West 16 78/100 chains to post "N" in fence on Eastern boundary of land of Mrs. Hussey; thence North 25° East 7 47/100 chains along the Eastern boundary of said Hussey land to stake "S" in fence; thence leaving last named boundary East 25 70/100 chains to the place of beginning. Containing an area of 67 852/1000 acres, more or less, and being the north part of the tract of land conveyed to said Teresa S. Gonzales, by said Walker by the deed heretofore mentioned.

PARCEL TWO: BEING a part of the Corralitas Rancho and bounded on the North and East by a private road leading from the Hussey ranch to the ranch of J. F. Ennis and known as the Ryder Road, and on the West by lands of Hussey, and on the South by the North line of land of J. F. Ennis, containing about 10 acres of land, more or less.

107-121-1

Dated March 30th, 1954

*A. T. Enos*  
*L. E. Enos*  
*Agnes Enos*

STATE OF CALIFORNIA  
COUNTY OF Santa Cruz

On April 15, 1954

Before me, the undersigned, a Notary Public in and for said County and State, personally appeared

A. T. Enos, L. E. Enos and  
Agnes Enos

known to me to be the person(s) whose name(s) are subscribed to the within instrument and acknowledged that they executed the same.

WITNESS my hand and official seal.

*2/8*  
*1/2*

APR 15 10 45 AM '54  
VOL 962 PAGE 60  
PENNIMAN TITLE COMPANY  
1111 N. ZEPHYRUS AVE. SANTA CRUZ, CALIF.

RECORDED AT REQUEST

PENNIMAN TITLE COMPANY

5269

Exhibit A - deed four: 3/30/1954: Enos heirs to Penniman  
- 227 -

Vol 1  
page 122

# Grant Deed

ORDER NO.

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

PENNIMAN TITLE COMPANY, INC., A California Corporation,

GRANT to ALFRED ENOS, and DORIS ENOS, his wife, as joint tenants, do hereby  
as to an undivided one-half interest, and AGNES ENOS, single, as to  
an undivided one-half interest,  
the real property in the

Courty of Santa Cruz

State of California, described as:

PARCEL ONE: BEGINNING at a stake marked "S" the Northwest corner of the tract of land of Nancy French, heretofore known as the Mathews Tract; thence due South 26 15/100 chains to a stake "NN", the Southwest corner of said tract; thence North 83° West 26 12/100 chains to a stake "S" on the West boundary of a tract of land conveyed to Teresa S. Gonzales by George Walker by deed dated October 31st, 1883, and recorded in said County Records of Deeds, Volume 36 at Page 339; thence North 10° West 16 78/100 chains to post "N" in fence on Eastern boundary of land of Mrs. Hussey; thence North 25° East 7 17/100 chains along the Eastern boundary of said Hussey land to stake "S" in fence; thence leaving last named boundary East 25 70/100 chains to the place of beginning. Containing an area of 67 852/1000 acres, more or less, and being the North part of the tract of land conveyed to said Teresa L. Gonzales, by said Walker by the deed hereinbefore mentioned.

PARCEL TWO: BEING a part of the Corralitos Rancho and bounded on the North and East by a private road leading from the Hussey Ranch to the ranch of J. F. Ennis and known as the Ryder Road; and on the West by lands of Hussey, and on the South by the North line of land of J. F. Ennis, containing about 10 Acres of land, more or less.

107-121-1

Recorded at request of Penniman Santa Cruz County Title Co. Apr 15 10 46 AM  
1954 Vol 962 Page 602 Official Records Santa Cruz County  
\$1.90 #5270  
Lela E. Swasey Recorder

Dated: March 30th, 1954.

PENNIMAN TITLE COMPANY, INC.

By *[Signature]*  
President

By *[Signature]*  
Secretary

STATE OF CALIFORNIA.

County of Santa Cruz

On this 14th day of April in the year one thousand nine hundred and fifty four

before me, *[Signature]*, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn personally appeared *W. H. Penniman* and *Geo. N. Penniman* known to me to be the President and Secretary

of the corporation that executed the within instrument and also known to me to be the person who executed the within instrument on behalf of the said corporation, and acknowledged to me that such corporation executed the same.

IN WITNESS WHEREOF I have hereunto set my hand and affixed my official seal in said County the day and year in this certificate first above written.

Exhibit A - deed five: 3/30/1954: Penniman back to Enos heirs

RECORDING REQUEST BY

WHEN RECORDED MAIL TO

Russell J. Miedel  
325 W. Bellevue Avenue  
San Mateo, California.

04683  
Vol 1375 Page 558  
FEB 27 9 58 AM '61  
CALIFORNIA PACIFIC TITLE CO  
RECORDS SECTION  
2001  
1000 in. Hussey

SPACE ABOVE THIS LINE FOR RECORDER'S USE  
No. 67817-N

### Grant Deed

DORIS ENOS and  
AGNES ENOS

Grant to  
RUSSELL J. MIEDEL

the real property situated in the  
of SANTA CRUZ

County

State of California, described as follows:

#### PARCEL ONE

BEGINNING at a stake marked "S" the Northwest corner of the tract of land of Nancy French, heretofore known as the Mathews Tract; thence due South 26 45/100 chains to a stake "NN", the Southwest corner of arid tract; thence Worth 83° West 26 12/100 chains to a stake "S" on the West boundary of a tract of land conveyed to Teresa S. Gonzales by George Walker by Deed dated October 31st, 1883, and recorded in said County Record of Deeds, Volume 36 at Page 339; thence North 10° West 16 78/100 chains to post "N" in fence on Eastern boundary of land of Mrs. Hussey; thence North 25° East 7 47/100 chains along the Eastern boundary of said Hussey land to a stake "S" in fence; thence leaving last named boundary East 25 70/100 chains to the place of beginning " and

CONTAINING an area of 67 852/1000 acres, more or less, and being the north part of the tract of land conveyed to said Teresa L. Gonzales, by said Walker by the deed hereinbefore mentioned.

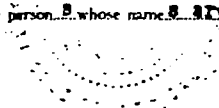
#### PARCEL TWO

BEING a part of the Corralitos Rancho and bounded on the North and East by a private road leading from the Hussey Ranch to the ranch of J. P. Ennis and known as the Ryder Road, and on the West by lands of Hussey, and on the South by the North line of land of J. P. Ennis, containing about 10 acres of land, more or less,

ALSO, all right, title and interest in water rights as contained in the Judgment entitled, "A. T. Enos, Agnes Enos and L. E. Enos, plaintiffs vs Marjorie I. Karlich, sued herein as Jane Doe, defendant" recorded November 19, 1949 in Volume 746 of Official Records at Page 435, Santa Cruz County Records.

107-121-1

Exhibit A — deed six: 2/17/1961 Enos heirs to Russell J. Miedel

STATE OF CALIFORNIA  
COUNTY OF Santa Cruz } ss.  
(On February 20th, 1961 before me, the undersigned, a Notary Public in and for said  
County and State, personally appeared DORIS ENOS and AGNES ENOS  
known to me to be the person § 319 whose name § 319 subscribed to the within instrument and acknowledged that they  
executed the same.  
(SEAL)  Madeline W. Nilsson  
Notary Public  
Madeline W. Nilsson  
Type or Print Name of Notary  
My Commission Expires: October 27, 1963.

FORM T.A.—12,75—58

CALIFORNIA PACIFIC TITLE INSURANCE COMPANY

WHEN RECORDED MAIL TO:  
JOHN S. TATE  
51 TOYON ROAD  
ATHERTON, CALIFORNIA

BOOK 1738 PAGE 29

37668

GRANT DEED

319  
FILED  
RECORDS  
DEC 31 9 47 AM '65  
RECORDED AT REQUEST OF  
John S. Tate

37668  
BOOK 1738 PAGE 29

FOR A VALUABLE CONSIDERATION, receipt of which  
is hereby acknowledged, RUSSELL J. MIEDEL and SARAH A.  
MIEDEL, his wife, hereby GRANT to JOHN S. TATE and  
PATRICIA E. TATE in equal undivided shares, as tenants  
in common, the following described real property in the  
County of Santa Cruz, State of California:

PARCEL ONE

BEGINNING at a stake marked "S" the Northwest corner of the tract of land of Nancy French, heretofore known as the Mathews Tract; thence due South 26 45/100 chains to a stake "W", the Southwest corner of said tract; thence North 83' meet 26 12/100 chains to a stake "S" on the West boundary of a tract of land conveyed to Teresa S. Gonzales by George Walker by Deed dated October 31st, 1883, and recorded in said County Records of Deeds, Volume 36 at Page 339; thence North 10° West 16 78/100 chains to post "S" in fence on Eastern boundary of land of Mrs. Hussey; thence North 25° But 7 47/100 chains along the Eastern boundary of said Hussey land to a stake "S" in fence; thence leaving last named boundary East 25 70/100 chains to the place of beginning - and

CONTAINING an area of 67 852/1000 acres, more or less, and being the North part of the tract of land conveyed to said Teresa L. Gonzales, by said Walker by the deed hereinbefore mentioned.

PARCEL TWO

BEING a part of the Corralitos Rancho and bounded on the North and East by a private road leading from the Hussey Ranch to the ranch of J. F. Ennis and known as the Ryder Road, and on the West by lands of Hussey, and on the South by the North line of land of J. P. Ennis, containing about 10 acres of land, more or less.

MAIL TAX STATEMENT TO RETURN ADDRESS ABOVE

Exhibit A - deed 7: 12/29/65: Miedel to Tate

1738 PAGE 30

ALSO, all right, title and interest in later rights  
as contained in the Judgment entitled, A. T. Enos,  
Agnes Enos and L. E. Enos, plaintiffs vs. Marlous  
I. Karlich, sued herein as Jane Doe, defendant"  
recorded November 19, 1949 in Volume 746 of Official  
Records at Page 435, Santa Cruz County Records.

DATED: December 29, 1965.

Russell Miedel  
Sarah A. Miedel

2.

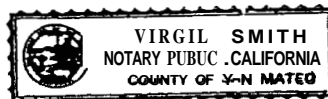
Exhibit A - document 7 (Miedel to Tate Deed - 12/29/65)

STATE OF CALIFORNIA  
COUNTY OF SAN MATEO

SS

On December 29, 1965, before me, the undersigned,  
a Notary Public in and for said State, personally  
appeared RWSSELL J. MIEDEL and SARAH A. MIEDEL, his  
wife, known to me to be the persons whose names are  
subscribed to the within instrument and acknowledged  
that they executed the same.

IN WITNESS WHEREOF, I have herennto set my hand  
and affixed my official seal in the County of San Mateo  
the day and year in the certificate first above written.



*V. . . . .*  
Notary Public, State of California

*My Commission expires 12/19/68*

48622

RECORDING REQUESTED  
GUARANTEE LAND TITLE COMPANY

WHEN RECORDED RETURN TO:

GEORGE P. LEONARD  
P. O. Box 576  
Stinson Beach, California

MAIL TAX STATEMENTS TO:

GRANTEE  
Above Address

GUARANTEE LAND TITLE COMPANY

RECORDED AT REQUEST OF  
DEC 29 4 55 PM '71

OFFICIAL RECORDS  
SANTA CRUZ COUNTY  
TOM M. HARRIS, CLERK

048622  
BOOK 2159 PAGE 728

# GRANT DEED (INDIVIDUAL)

Oida No.  
Escrow No. 10271 DJM

## RECORDER'S USE ONLY

Documentary Transfer Tax \$ 92.40  
☒ Computed on full value of property conveyed, or  
☐ Computed on full value less liens & encumbrances  
remaining thereon at time of sale.  
GUARANTEE LAND TITLE COMPANY  
Signature of declarant or agent determining tax. Firm Name  
☒ Unincorporated Area ☐ City of

FOR A VALUABLE CONSIDERATION.

JOHN S. TATE and PATRICIA E. TATE, his wife,

29-71-5785-000563 • 6 • 0.09240

GRANT (S) TO

GEORGE P. LEONARD, a married man,

that real property in the

County of Santa Cruz, State of California, described as:

### PARCEL ONE:

**BEGINNING** at a stake marked "S" at the Northwest corner of the tract of land of Nancy French, heretofore known as the Mathews Tract; thence due South 26 45/100 chains to a stake "EN", the Southwest corner of said tract; thence North 83° West 26 12/100 chains to a stake "S" on the West boundary of a tract of land conveyed to Teresa S. Gonzales by George Walker by Deed dated October 31st, 1883, and recorded in said County Records of Deeds, Volume 36 at page 339; thence North 10° West 16 78/100 chains to post "N" in fence on Eastern boundary of land of Mrs. Husey; thence North 25° East 7 47/100 chains along the Eastern boundary of said Husey land to a stake "S" in fence; thence leaving last named boundary East 25 70/100 chains to the place of beginning, containing an area of 67 852/1000 acres, more or less, and being the North part of the tract of land conveyed to said Teresa L. Gonzales, by said Walker by the deed hereinbefore mentioned.

**EXCEPTING THEREFROM** all that portion thereof lying Easterly of the centerline of "Rider Road" a private road, as the same existed on or about January 1, 1963.

**ALSO EXCEPTING THEREFROM** all that portion thereof described as follows:

**BEGINNING** at the point of intersection of the Southerly line of the parcel of land first hereinabove referred to with the centerline of "Rider Road", said point being the Northeast corner of the parcel of land described in the deed to William C. McGarvey, et ux, recorded August 28, 1963, in Volume 1563 of Official Records, at page 87, Santa Cruz County Records; running thence along said Southerly line, North 83°00' West 375 feet, more or less, to a point which bears South 81° 58' West 404.56 feet and North 3° 59' 30" West 165 feet, more or less, from the Southeast corner of the parcel of land described in said Deed to McGarvey; running thence along the centerline of the existing traveled route of "Rider Road", as re-aligned, North 3° 59' 30" West 11 feet, more or less, to an angle point therein; thence continuing along said re-aligned centerline, North 28° 54' West 141.21 feet, North 19° 50' West 199.93 feet, North 41° 27' West 189.52 feet and North 7° 20' 25" East 12.21 feet, more or less, to the point of intersection of said re-aligned centerline with the centerline of said "Rider Road" as the same existed on or about January 1, 1963; running thence along the centerline of said "Rider Road" as the same so existed, Southeasterly and Southerly to the point of beginning.

**ALSO EXCEPTING THEREFROM** any portion of said "Rider Road" as the same existed on or about January 1, 1963 lying between the Northerly termination of the course set forth as "North 7° 20' 25" East 12.21 feet, more or less," in the foregoing description and the Southerly line of the parcel of land first described herein.

Exhibit A - deed 8: 12/27/71: Tate to Leonard

BRING a part of the Tralitos Rancho and bounded on the North and East by a private road leading from the Hussey Ranch to the ranch of J. F. Ennis and on the Rider Road, and on the West by lands of Hussey, and on the South by the North line of land formerly of J. F. Ennis, containing about 10 acres of land, more or less.

SUBJECT TO and TOGETHER WITH a right of way, 40 feet wide, over the existing traveled route of "Rider Road" the centerline of which is described as follows:

BEGINNING at a point on the centerline of said "Rider Road", a private road, at the most Northerly corner of "Parcel Two" hereinabove described; running thence along the centerline of said "Rider Road" as the same existed on or about January 1, 1963 in a general southerly direction to the Northerly terminus of the course set forth as "North 7°20'25" East 12.21 feet, more or less," in the foregoing description; running thence along the centerline of said "Rider Road," as re-aligned, South 7°20'25" West 12.21 feet, more or less, to an angle point therein; thence South 41°27' East 189.52 feet, South 19°50' East 199.93 feet, thence South 28°54' East 141.21 feet and South 3°59'30" East 11 feet, more or less, to a point on the North line of the parcel of land described in said deed to McGarvey, hereinabove referred to.

ALSO SUBJECT TO and TOGETHER WITH a right of way, 40 feet wide, over the existing route of "Rider Road", as re-aligned, the Southerly line of which is described as beginning at the most Southerly terminus of the right of way last hereinabove referred to, and running thence South 83°00' East, 375 feet, more or less, to a point on the centerline of said "Rider Road" as the same existed on or about January 1, 1963.

ALSO TOGETHER WITH a Right of Way over "Rider Road", a private road, 40 feet wide, from the Southeastern terminus of the right of way last hereinabove referred to, Southerly to Rider Road, a County Road.

ALSO EXCEPTING FROM PARCELS ONE and TWO hereinabove described all right, title and interest in these tracts as described in the Judgment entered in the Superior Court of the State of California, entitled, "A. T. WOS, et al, Plaintiffs vs. MARLOUS I. KARLICH, Defendant," which was recorded November 19, 1949 in Volume 746 of Official Records, at page 435, Santa Cruz County Records.

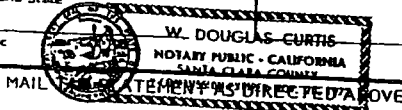
DATED: December 27, 1971

STATE OF CALIFORNIA  
COUNTY OF SANTA CLARA  
On December 27, 1971, before me, the undersigned, a Notary Public in and for the State of California, having my principal place of business in said County, personally appeared  
JOHN S. TATE and PATRICIA E. TATE

known to me to be the person(s) whose name(s) are subscribed to the within instrument and acknowledged to me that they executed the same.

Notary Public in and for said County and State

Printed or typed name of Notary Public



Notarial Seal

Exhibit A - document 8 (Tate to Leonard Deed - 12/27/71)

Randall Adams

12/24/06

To Whom It May Concern,

Re: Speed Calming Devices on portion of APN 107-311-04

We want to provide written notice to the representatives responsible for the installation of a portion of a "Speed Calming Device" on Enos Lane which is to be placed on the traveled easement across our property. While earlier this year we signed a survey regarding the installation of two speed controlling humps to help reduce speeding traffic associated with the Salesian School on upper Enos Lane, these devices were explained as "replacements" of the existing drainage combined "speed bumps". Our approvals on the "speed control" survey did NOT express or imply:

- 1) Acknowledgement of a 40ft R/W on our property for the general public on Enos Lane;
- 2) support or approval of the increased traffic from the Salesian School due to the increase of students from a Violation of the schools 1979 Use Permit for 125 students to an increase, without a Use Permit change, to 205 students ;or
- 3) support for expansion of the Salesian School to 250 students or to amend the existing Use Permit /Violation without a reduction or the elimination of the majority of auto/SUV traffic by replacement with buses/ and/or vans. Buses or vans will also provide the means for Emergency Evacuation of the students and staff during any regular school day.

Speed control features and road improvements on Enos Lane do not reduce the risks in having a (K-8), school with over 200 students in a High Fire Hazard canyon on a Dead End road. For over 25 years the Salesian School authorities have known about traffic safety, road limitations and emergency issues. In fact in 1979 the school's legal representative testified during the Public Hearing before the Santa Cruz Planning Commission that a 40 foot R/W didn't exist at the lower end (300ft), of Enos Lane connecting to Hames Road. This is why 16 feet of Enos Lane was Originally conditioned to be improved. ( See Attachment A&B ). Nothing has really changed since 1979 except the school has expanded without permits, with full knowledge that a secondary road was necessary for safety, that Enos Lane, as it was 1979, is only adequate in width for 125 students, and without replacing cars with buses and/or vans traffic will increase.

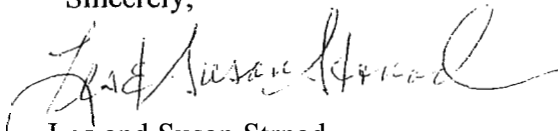
#### SPEED CALMING DEVICE

No one has contacted us regarding the future installation; therefore, we assume no personal or fiscal liability for construction work or any injuries that may result from the installation due to negligence by the permitting authority, the installer, or the Salesian School. It is our understanding that the "Speed Calming Device" will be entirely within the existing paved road area that currently exists on Enos Lane, and that the existing drainage controls will be replaced with a functional equivalent.

We encourage the contractor to contact us and our neighbors who own part of the Enos Lane easement area. It is normally a matter of common courtesy, especially when one is planning on building on someone else's property, to work with the land owner rather than driving survey stakes and proceeding because "someone" said there's a R/W, therefore just go ahead and build. We would like "someone", if that's the current position on right-of-ways, to show us the Book and Page in the Santa Cruz County Records office that describes, gives the "meets and bounds" of Rider Road/Enos Lane R/W. Then with that Recorded description, provide a drawing that plots the R/W, approved by Board of Supervisors, that includes property lines so that anyone can tell clearly where development is to occur relative to the approved and recorded R/W. There's a reason why **this** has never been done, nor have any drawings been submitted with the Salesian School's pending permit amendment that answer this question. The information doesn't exist!

It appears to **us** that the simplest way to reduce speeding traffic would be to get the written consent **of** the land owners to install the 'Speed Calming Device' on the existing prescriptive traveled roadway **of** Enos Lane. Additionally, since the purpose of the devices is to mitigate impacts associated with school traffic the school should assume liability and responsibility for their installation and maintenance. If you have any questions regarding our letter please contact us at 722-3750.

Sincerely,



Les and Susan Strnad

Attachments A&B

Richard Allen, Attorney At Law

Doug & Kim Mattos

Ellen Pirie, Board of Supervisor

Tom Burns, Planning Director

David Lee, Assistant Planning Director

Randall Adams, Staff Planner

COUNTY OF SANTA CRUZ

USE

**-PERMIT-**

NUMBER

77-323-

ISSUED TO Georgia Davis for Salesian Sisters2503 East Lake AvenueWatsonville, CA 95076PARCEL NO.(S) 107-121-60

**LOCATION OF USE** On the west side of Enos Lane about 1 mile north of Hanes Road, Corralitos Area.

**PERMITTED USE** Use Permit to amend USE Permit No. 75-600-U by allowing the operation of a school (in existing buildings) for grades K, 1, 5, 6, 7, and 8 for a maximum total of 90 students, subject to the following conditions:

Prior to exercising any rights granted by this permit:

1. Enos Lane shall be improved per Exhibit A. The first 300 feet of Enos Lane shall be widened to 16 feet in width with oil and screenings over 5 inches of base rock. A barrier shall be provided for the drainage ditch along the west side of Enos Lane, subject to CRA Director review and approval.
2. The applicant shall submit a plan for staff approval for busing or carpooling of all students from Enos Lane to a safe facility. It is the intent of the plan to minimize school traffic on Enos Lane. The approved plan shall remain in effect during the operation of the school.
3. The applicant shall place a standard stop sign on Enos Lane at its intersection with Hanes Road.
4. The applicant shall comply with all conditions of the County Fire Marshal.
5. Prior to consideration of any further Use Permit, the applicant shall apply to rezone the property to the appropriate district.

JW:gh

THIS PERMIT WILL EXPIRE ON June 16, 1979 IF IT HAS NOT BEEN EXERCISED.

NOTE: APPLICANT MUST SIGN,  
ACCEPTING CONDITIONS, OR PERMIT  
BECOMES NULL & VOID.

SIGNATURE OF APPLICANT

SANTA CRUZ COUNTY ZONING ADMINISTRATOR

BY

Richard Pearson  
RICHARD PEARSON, CHIEF OF  
DEVELOPMENT PROCESSING

DATE

maintained properly, and widened. Regarding the fire hazard, the school has an 80,000 gallon tank and they feel they have excellent fire protection. He asked the Commission to allow Grades K-8 with continued carpooling and the high school after Enos Lane is improved. Commissioner Gotthold asked if the road maintenance district is being established. Mr. Davis replied that it is.

Attorney  
representing  
the Salesian  
Sisters in  
1979 said  
they only  
had 20' on  
our property

Ray Amrhein is working on a maintenance district. The upper portion of Enos Lane is a drainage way as well as road. He described the maintenance options in order of cost: private maintenance, County maintenance, and assessment district. Commissioner Eberly asked how they planned to solve the problem of width of the right-of-way. Mr. Amrhein replied that it is a 40' right-of-way past the Tindall property. Along the Tindall property it is 20', but there is a possible additional 10' that could be contributed. Commissioner Rowe asked if there has been an estimate of the cost of bring the road up to County standards, has that cost been compared with other costs, and what has been the response to these proposals. Mr. Amrhein replied that, roughly speaking, County maintenance costs twice as much of contract maintenance, and assessment district maintenance costs three or four times as much. Commissioner Von der Muhll asked if there is a feasible secondary access. Mr. Amrhein thinks so, and is sure something can be worked out.

Chris Enimy of Howell Lane spoke of her desire for her daughter to go to the Salesian Sisters' school and of the need for maintenance of Enos Lane.

Jake Head of Enos Lane stated that the road is hard to maintain, because each winter damages it. The drainage problem is bad, with 50 homes on Enos Lane with drainage systems. There is a traffic problem on the road, not only from the school. He is reluctant to improve the road, since heavy equipment has ruined it in the past. Regarding the ISO fire rating, it was granted with a Salsipuedes tanker present which is not always there. Commissioner Gotthold asked if the area pays into a drainage district. Mr. Head replied they did not; the County twice cleaned out the drainage ditch, but will not do it anymore.

Monica Baronovich, a 7th grader at the Salesian Sisters' School, told the Commission how pleased she is with her education at the school.

Les Strnad, who lives at the corner of Enos Lane and Hames Roads, stated that the Sisters are an asset to the community, but he does not believe the high school should be approved and wonders how many traffic-inducing school-related activities a high school would generate. Regarding the road, carpooling has been working. Regarding drainage, they pay into the Resource Conservation District, but they no longer maintain the drainage ditches. The right-of-way is on their property and Tindall's property, but they were not contacted for regarding an assessment district, and are wondering how it would work. They agree that secondary access is necessary.

Sister Cesira, principal of the school, stated that the high school would be a small girls' high school program. The school does not want student traffic and they do not think they can offer traffic-inducing programs. They got very good cooperation with their carpool program and parent meetings are staggered so all do not arrive at once. Commissioner Eberly asked where the expansion of the school will stop. Sister Cesira explained that financially it is not possible to expand to a large school; there are no plans beyond what is here in these applications. Commissioner Von der Muhll asked about summer camp. Sister Cesira

January 2, 2007

County of Santa Cruz  
Department of Public Works  
Attn: Tom Bolich, Director  
701 Ocean Street  
Santa Cruz, CA 95060

Ref: Enos Lane Hump Installation As Pertains To  
Salesian Sisters' School (Daughters of Mary of Christians) Application 04-0384

Dear Mr. Bolich:

Please be advised a speed hump was installed on December 27<sup>th</sup> and 28<sup>th</sup>, 2006 by the Salesian School at the direction of the County on our private property (350 Hames Road) without our permission, and as such we will accept no responsibility for it in regards to liability, maintenance, and/or any other such related instance.

Sincerely,

The Tindall Family Descendents  
Eloise Wilson  
Robert and Janet Mattos.  
Doug and Kim Mattos  
350 Hames Road  
Corralitos, CA 95076

cc: Ellen Pirie, Supervisor  
Salesian School  
Randall Adams, Planning  
Robert Bosso

March 7, 2007

rec 3/9/07

Renee Shepherd  
Fifth District  
c/o Santa Cruz Planning Department  
701 Ocean Street  
Santa Cruz, CA 95060

Dear Ms. Shepherd,

We are writing to you because we are Salesian School parents. We support Salesian School and want the school to remain in operation. We believe it is financially impossible to maintain a **K-8** school with 125 students and still make it affordable to the population it serves.

Salesian is a WASC accredited religious school that provides for the instruction of our children in the Catholic faith. We are concerned that one of the few options in Catholic education in this county will be threatened by the demands placed on the school, thus restricting the development of our child, who is currently in second grade and that of his little sister, who will one day, god willing, also be able to attend Salesian.


Salesian has benefited the community by having produced hundreds of productive citizens and this education cannot continue without your support. Most students at Salesian have both parents working to make ends meet and these parents cannot afford extra tuition caused by bussing or a drastic drop in allowable enrollment.

All Salesian parents have made great efforts to meet the demands of the neighbors regarding carpooling. We are willing to continue carpooling at the required numbers. However, we do not think it is fair to indefinitely require monitoring of the carpooling to determine the following year's enrollment.

Salesian offers children a wonderful academic and nurturing environment because of the amazing sisters, the caliber of teachers and the beautiful scenic campus. We love Salesian because it's all about the kids. Please hear our plea for your support. All of the Salesian family would be most appreciative. Thank you.

Best Regards,

  
Gloria Paz Gregg  
(Lori)

  
Ryan C. Gregg

March 7, 2007

rec 3/9/07

Albert Aramburn  
Second District  
c/o Santa Cruz Planning Department  
701 Ocean Street  
Santa Cruz, CA 95060

Dear Mr. Aramburn,

We are writing to you because we **are** Salesian School parents. We support Salesian School and want the school to remain in operation. We believe it is financially impossible to maintain a K-8 school with 125 students and still make it affordable to the population it serves.

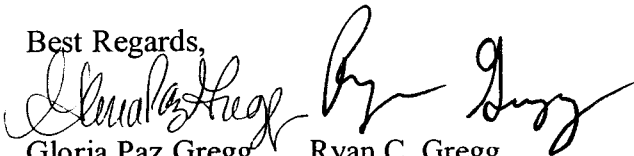
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Best Regards,

  
Gloria Paz Gregg Ryan C. Gregg  
(Lori)

rec 3/9/07

March 7, 2007

Robert Bremner  
First District  
c/o Santa Cruz Planning Department  
701 Ocean Street  
Santa Cruz, CA 95060

Dear Mr. Bremner,

We are writing to you because we are Salesian School parents. We support Salesian School and want the school to remain in operation. We believe it is financially impossible to maintain a K-8 school with 125 students and still make it affordable to the population it serves.

Salesian is a WASC accredited religious school that provides for the instruction of our children in the Catholic faith. We are concerned that one of the few options in Catholic education in this county will be threatened by the demands placed on the school, thus restricting the development of our child, who is currently in second grade and that of his little sister, who will one day, god willing, also be able to attend Salesian.

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Best Regards,

  
Gloria Paz Gregg Ryan C. Gregg  
(Lori)

rec 3/9/07

March 7, 2007

Gustavo Gonzalez  
Fourth District

c/o Santa Cruz Planning Department  
701 Ocean Street  
Santa Cruz, CA 95060

Dear Mr. Gonzalez ,

We are writing to you because we are Salesian School parents. We support Salesian School and want the school to remain in operation. We believe it is financially impossible to maintain a K-8 school with 125 students and still make it affordable to the population it serves.

Salesian is a WASC accredited religious school that provides for the instruction of our children in the Catholic faith. We are concerned that one of the few options in Catholic education in this county will be threatened by the demands placed on the school, thus restricting the development of our child, who is currently in second grade and that of his little sister, who will one day, god willing, also be able to attend Salesian.

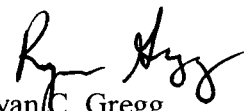
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Best Regards,

  
Gloria Paz Gregg  
(Lori)

  
Ryan C. Gregg

rec 3/12/07

March 7, 2007

Rachel Dann  
Third District  
c/o Santa Cruz Planning Department  
701 Ocean Street  
Santa Cruz, CA 95060

Dear Ms. Dann,

We are writing to you because we are Salesian School parents. We support Salesian School and want the school to remain in operation. We believe it is financially impossible to maintain a K-8 school with 125 students and still make it affordable to the population it serves.

Salesian is a WASC accredited religious school that provides for the instruction of our children in the Catholic faith. We are concerned that one of the few options in Catholic education in this county will be threatened by the demands placed on the school, thus restricting the development of our child, who is currently in second grade and that of his little sister, who will one day, god willing, also be able to attend Salesian.

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Best Regards,

  
Gloria Paz Gregg Ryan J. Gregg  
(Lori)

Michele Garza  
43 Evelyn Ave.  
Watsonville, CA 95076  
(831) 761-8120

rec 3/12/07

March 8, 2007

Planning Department  
701 Ocean St. Suite 500  
Santa Cruz, CA 95060

Dear Ms. Dann,

This letter is written in support of Salesian School and the Salesian Community. My husband and I have two sons that are students at the school. Patrick is in fifth grade and Jason is in first grade. We love the school for many reasons but primarily because it allows our sons to practice and be educated in our Catholic faith. This is very important to us.

We are aware of the county's demands on the Salesian community in order to keep the school open. Please understand, allowing the school to maintain a student body of just 125 students is financially not an option but the equivalence of closing the school down. With just 125 students, the tuition increase would make it unaffordable for the majority of the working families that make up our school community. Like most families at Salesian, my husband and I both work full-time and simply cannot afford the extra tuition that would be caused by a drastic drop in allowable enrollment.

All of the families at Salesian have made great efforts to keep an excellent carpool system intact. I know I speak for all families when I say we are committed to maintaining the excellent carpool system that has been established. Each morning I drive six students up to the school (only two are my own children). I literally do not have an empty seat belt left! I am proud of the fact that I am helping the school and our environment by carpooling. While I am willing to continue with this dedicated carpool system, I do not think it's fair for the county to indefinitely require monitoring to determine the following year's school enrollment.

The Salesian community is already in debt \$300,000.00 due to county fees, legal fees, surveys, and other demands for this project. Being required to meet the county's short deadline for this project, estimated at 1.5 million, places an impossible burden on our religious school. In addition, the current septic system was already approved to handle 250 students. Now, the county is requesting we update it because we are applying for an amended use permit. The updated system is estimated at \$140,000.00. As I see it,

this is an unnecessary demand because, as the county has recognized, our current system is successfully accommodating our needs.

I cannot stress enough how important the Salesian school **and** the Salesian Sisters are to my family. The sisters are great teachers of our faith and the campus and its chapel provides a special space for us to practice our faith and pray. Now that I have shared my feelings, praying is exactly what I will do. I will pray that we have your support because without it, our Salesian community cannot survive. Thank you **for** your time in this most important matter.

Sincerely,

A handwritten signature in cursive script, appearing to read "Michele Garza".

Michele Garza

Michele Garza  
43 Evelyn Ave.  
Watsonville, CA 95076  
(831) 761-8120

rec 3/12/07

March 8, 2007

Planning Department  
701 Ocean St. Suite 500  
Santa Cruz, CA 95060

Dear Mr. Aramburu,

This letter is written in support of Salesian School and the Salesian Community. My husband and I have two sons that are students at the school. Patrick is in fifth grade and Jason is in first grade. We love the school for many reasons but primarily because it allows our sons to practice and be educated in our Catholic faith. **This is very important** to us.

We are aware of the county's demands on the Salesian **community** in order to keep the school open. Please understand, allowing the school to **maintain** a student body of just 125 students is financially not an option but the equivalence of closing the school down. With just 125 students, the tuition increase would **make it unaffordable** for the majority of the working families that make up our school community. Like most families at Salesian, my husband and I both work full-time and simply cannot afford the extra tuition that would be caused by a drastic drop in allowable enrollment.

All of the families at Salesian have made great efforts to **keep** an excellent carpool system intact. I know I speak for all families when I say we are committed to maintaining the excellent carpool system that has been established. Each morning I drive six students up to the school (only two are my own children). I literally do not have an empty seat belt left! I am proud of the fact that I am helping the school and our environment by carpooling. While I am willing to continue with this dedicated carpool system, I do not think it's fair for the county to indefinitely require monitoring to determine the following year's school enrollment.

The Salesian community is already in debt \$300,000.00 due to county fees, legal fees, surveys, and other demands for this project. Being required to meet the county's short deadline for this project, estimated at 1.5 million, places an impossible burden on our religious school. In addition, the current septic system was already approved to handle 250 students. Now, the county is requesting we update it because we are applying for an amended use permit. The updated system is estimated at \$140,000.00. **As I see it,**

this is an unnecessary demand because, as the county has recognized, our current system is successfully accommodating our needs.

I cannot stress enough how important the Salesian school and the Salesian Sisters are to my family. The sisters are great teachers of our faith and the campus and its chapel provides a special space for us to practice our faith and pray. Now that I have shared my feelings, praying is exactly what I will do. I will pray that we have your support because without it, our Salesian community cannot survive. Thank you **for** your time in this most important matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Michele Garza". The signature is fluid and cursive, with a long horizontal stroke at the end.

Michele Garza

Michele Garza  
43 Evelyn Ave.  
Watsonville, CA 95076  
(831) 761-8120

rec 3/12/07

March 8, 2007

Planning Department  
701 Ocean St. Suite 500  
Santa Cruz, CA 95060

Dear Ms. Shepherd,

This letter is written in support of Salesian School and the Salesian Community. My husband and I have two sons that are students at the school. Patrick is in fifth grade and Jason is in first grade. We love the school for many reasons **but** primarily because it allows our sons to practice and be educated in our Catholic faith. This is very important to us.

We are aware of the county's demands on the Salesian community in order to keep the school open. Please understand, allowing the school to maintain a student body of just 125 students is financially not an option but the equivalence of closing the school down. With just 125 students, the tuition increase would make it unaffordable for the majority of the working families that make up our school community. Like most families at Salesian, my husband and I both work full-time and simply cannot afford the extra tuition that would be caused by a drastic drop in allowable enrollment.

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43 Evelyn Ave.  
Watsonville, CA 95076  
(831) 761-8120

rec 3/12/07

March 8, 2007

Planning Department  
701 Ocean St. Suite 500  
Santa Cruz, CA 95060

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**43 Evelyn Ave.**  
**Watsonville, CA 95076**  
**(831) 761-8120**

rec 3/12/07

March 8, 2007

Planning Department  
701 Ocean St. Suite 500  
Santa Cruz, CA 95060

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Michele Garza

March 8, 2007

rec 3/12/07

Mr. Albert Aramburu  
Santa Cruz County Planning Department  
701 Ocean Street, Room 500  
Santa Cruz, California 95060

Re: Salesian Sisters School

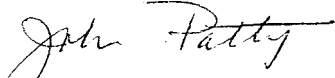
Dear Mr. Aramburu,

We are the proud Grandparents of a fifth and first grade student at Salesian School. We have witnessed first hand the special, family spirit that is present among the Salesian Sisters, staff, students and parents at the school. Over the past six years, we have had the privilege of attending mass at the school's chapel on several occasions. We treasure the freedom to speak, assemble, and worship with our Grandson and the rest of the members of this fine community.

We completely support the Salesian Sisters in their efforts to amend their use permit. It appears Salesian Sister School is the only school to be so severely restricted by the County. We are troubled by this and wonder why. We have seen the tremendous sacrifices made by the Sisters, staff, parents, and children to adhere to the County's demands including the restrictive carpooling. We are proud of all they have done to comply with the County's demands however; these requirements are interfering with the school's ability to exist as an educational family of faith. It is financially impossible to maintain a K-8 school with 125 students and still make it affordable for families, like my daughter and son-in-law who both work full-time jobs and cannot afford extra tuition that would be caused by a drastic drop in enrollment. To date, the County requirements have already been financially burdensome for the sisters as well as the parents that pay tuition- this cannot continue.

As lifelong members of this county we have faith that the elected county officials will be fair in their actions and amend Salesian School's use permit. Thank you for your time, we truly appreciate your support.

Sincerely,

  
John and Patty Martinez  
320 California Street  
Watsonville, CA 95076

March 8, 2007

rec 3/12/07

Mr. Gustavo Gonzalez  
Santa Cruz County Planning Department  
701 Ocean Street, Room 500  
Santa Cruz, California 95060

Re: Salesian Sisters School

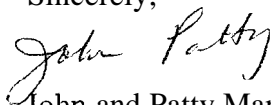
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Sincerely,



John and Patty Martinez  
320 California Street  
Watsonville, CA 95076

March 8, 2007

rec 3/12/07

Mr. Robert Bremner  
Santa Cruz County Planning Department  
701 Ocean Street, Room 500  
Santa Cruz, California 95060

Re: Salesian Sisters School

Dear Mr. Bremner,

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Sincerely -



John and Patty Martinez  
320 California Street  
Watsonville, CA 95076

March 8, 2007

rec 3/12/07

Ms. Rachel Dann  
Santa Cruz County Planning Department  
701 Ocean Street, Room 500  
Santa Cruz, California 95060

Re: Salesian Sisters School

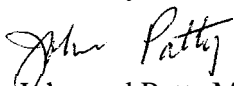
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Sincerely,



John and Patty Martinez  
320 California Street  
Watsonville, CA 95076

rec 3/12/07

March 8, 2007

Renee Shepherd  
Santa Cruz County Planning Department  
701 Ocean Street, Room 500  
Santa Cruz, California 95060

Re: Salesian Sisters School

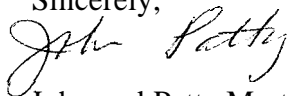
Dear Renee,

We are the proud Grandparents of a fifth and first grade student at Salesian School. We have witnessed first hand the special, family spirit that is present among the Salesian Sisters, staff, students and parents at the school. Over the past six years, we have had the privilege of attending mass at the school's chapel on several occasions. We treasure the freedom to speak, assemble, and worship with our Grandson and the rest of the members of this fine community.

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Sincerely,



John and Patty Martinez  
320 California Street  
Watsonville, CA 95076

March 8, 2007

To: Commissioner Gustavo Gonzalez  
Fourth District  
c/o Santa Cruz County Planning Department  
701 Ocean Street, Suit 500  
Santa Cruz, CA. 95060  
Phone: 454-2644

rec 3/12/07

From: Mrs. Diane Meade, Secretary at Salesian Elementary & Jr. High School  
20 year home owner, voter 4<sup>th</sup> district  
317 Casserly Road  
Watsonville, CA. 95076  
Home Phone 761-8690  
Work **728-5518X3**

Dear Commissioner Gonzalez,

**As** an employee for the last 7.5 years at Salesian Elementary & Jr. High School, in the capacity of secretary, I have a unique perspective concerning the current situation at the school regarding its future. Although a bit lengthy, I would like to share with you.

**As** the secretary for the school (k-8), I see and hear all the joys and heartaches of the students, parents and ~~staff~~ here. I know the ebb and flow of their lives, their loves, hopes and dreams.

Prior to three years ago, when all this road /neighbor stuff started, when I gave tours of the school, I would tell people that after school they could find parents, teachers and students relaxing around the campus; playing chess or just enjoying each others company. I'd tell them that we all consider this place an extension of home and family. This is a good place for their children to spend most of their waking hours, here in the hills, with our pet cats & dogs.

My office, these halls, used to be a gathering place for the parents of the community at large; a place to build friendships and share information; a place to get to know the parents of your children's friends. Their hearts are weary now, I hear it everyday. They just want to save this wonderful place and don't understand why this is happening to them. Why after 25 years has it come to this? So quietly, with understanding, and the Sisters example of patience, they stick to agreements with the county and neighbors to-the-letter. We **NEED** the school to remain open with at least the current enrollment of 205. **Any fewer students would make it impossible for the school to stay in operation.** We need your vocal support in this political matter. Breaking up our middle school and elementary would be heartbreaking to many close siblings and their parents.

**It is vital** that you vote March 28<sup>th</sup>, in favor of the school to stay at the current enrollment of 205 or increase it 250 as originally requested in 1979. **It is also imperative** that you vote to rescind the demands placed on the school concerning the upgrade of the septic system, replacing one that has already been approved for 250 students and would cost \$140,000. This is money the school does not have and can't pass along to our parents in tuition increases without creating a strictly affluent population. Equally **as important**, we need you to vote to rescind the demands concerning road "improvements" that even our neighbors don't want, such as widening of the road and sidewalks. These unnecessary demands are attached to an unrealistic deadline for this kind of a project, one estimated to cost over \$1.5 million dollars.

Salesian is already in debt for over \$300,000. in county fees, legal fees, surveys and other fees over this sudden and unexpected turr - 261 -ts 3 years ago. This debit, combined with

the additional projected costs is an impossible burden. We need your vote to correct this injustice.

I cannot express to you in fullness, the great service this Catholic school provides to this and neighboring communities. Salesian is one of a very few k-8 Catholic schools in the county drawing students from all of the districts. There aren't enough places in the county for students to practice, learn and grow in the Catholic faith. We serve the whole family. We hold Masses here in our beautiful chapel that the parents and grandparents attend with their children and their children's teachers. This is just one irreplaceable part of this family we call school, a place we now feel is being threatened.

This place, the school and the Sisters are an intrinsic part of what ~~is~~ Salesian. Here, the students are taught to give back to others, to better our community and world with their time and the education they receive here. Our strength is in being small; more personal. Sadly, it is also our weakness ~~as~~ we are vulnerable. This school is a valuable asset to the community graduating hundreds of faith-filled, morally strong, future members of the community. This school might not continue without your supportive vote. The **looming** financial burden placed on the school **by** the **county** is a death sentence. I wish I could provide you with a list of alumni, you would CERTAINLY be impressed as to who they have become.

Here, parents find an excellent education coupled with the faith development they desire for their children. This is true of all grades but most especially 2<sup>nd</sup> grade where here they are prepared for the sacrament of Eucharist. These **are** not all well off people as you may think. In many cases, parents truly sacrifice to send their kids here. Many struggle to pay the tuition as the school struggles to keep tuition low enough for the blue collar community providing hope for a better future for their children.

Helping in this effort, our employees receive wages less than the public school employees earn for the same jobs. Our parents through their taxes pay for "ghost children" in the public school affording public school employee's higher wages while these same parents work two jobs to keep their kids here because they want a Catholic education for their children. This **IS** a special place, worth the effort. You can feel love here. We choose to be here and have for 25 years happily going about what we do best; educating hearts & minds.

You may know, but most people don't, that unlike the other Catholic schools in the county, Salesian Elementary and Jr. High school **DOES NOT** receive funding ~~from~~ the Diocese to make up for extremely low tuition rates. Our rates are a fraction of the amount other local private schools charge further diversifying our population.

It is the Salesian Sisters mission to fully educate children to the best of their ability. Equally, they teach that it is not enough to love the children; but that **EACH** child must feel loved. Not many places can say they fill that bill. From where I sit in this chair, I can tell you we do. We know when they are sad or don't feel well. We follow up.

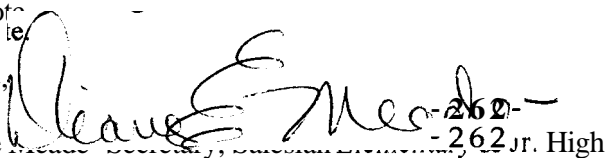
We have met all requests from the county to date. We are willing and able to continue the county's most efficient carpool (a remarkable **4.2 per car**) on our own without our school being monitored and evaluated each January to determine the following years' enrollment year after year, forever.

Salesian parents have made great efforts to meet the requests of the neighbors and county regarding everything. We have made every effort to accommodate the wants and needs of everyone. I ask you to look at the plans and ask yourself honestly, if this is fair. Put yourself in our shoes; imagine you are a parent or student here, even a Sister. How would you feel?

I will be calling your office in hopes of speaking to you concerning this important matter. I also plan on being in attendance at the March 28<sup>th</sup> meeting of the Planning Commission for the vote.

Peace,

Diane

-262-  
-262 Jr. High

3/12/07

Law Office of

**DENNIS J. KEHOE**

Law Corporation

311 Beaulieu Drive

Aptos, California 95003

(831) 662-8444 FAX (831) 662-0227

**FACSIMILE TRANSMITTAL****TO: PLANNING DEPARTMENT, COUNTY OF SANTA CRUZ**  
**ATTENTION: TOM BURNS and RANDALL ADAMS****RE: Salesian Sisters: Application #04-03384****PHONE NO. 454-3136 FAX NO. 454-2131****FROM: DENNIS J. KEHOE****PHONE NO. (831) 662-8444 FAX NO. (831) 662-0227****NUMBER OF PAGES FOLLOWING THIS PAGE: 4 pages****DESCRIPTION OF DOCUMENT: March 9, 2007, fax letter of Salesians to Robia Mustilli, Office of Supervisor Ellen Pirls with draft changes to the two (2) page document presented to the Salesian representatives on February 12, 2007.****SPECIAL INSTRUCTIONS: Please incorporate this draft into your staff report. Thank you. Please Mr. Kehoe should you have any questions.****IF YOU DO NOT RECEIVE ALL OF THE PAGES INDICATED ABOVE, PLEASE CONTACT ME IMMEDIATELY AT (831) 662-8444. THANK YOU.**

THIS MESSAGE IS INTENDED ONLY FOR THE USE OF THE INDIVIDUAL OR ENTITY TO WHICH IT IS ADDRESSED, AND MAY CONTAIN INFORMATION THAT IS PRIVILEGED, CONFIDENTIAL, AND EXEMPT FROM DISCLOSURE UNDER APPLICABLE LAW. IF THE READER OF THIS MESSAGE IS NOT THE INTENDED RECIPIENT, OR THE EMPLOYEE OR AGENT RESPONSIBLE FOR DELIVERING THE MESSAGE TO THE INTENDED RECIPIENT, YOU ARE HEREBY NOTIFIED THAT ANY DISSEMINATION, DISTRIBUTION, OR COPYING OF THIS COMMUNICATION IS STRICTLY PROHIBITED. IF YOU HAVE RECEIVED THIS COMMUNICATION IN ERROR, PLEASE NOTIFY US IMMEDIATELY BY TELEPHONE AND RETURN THE ORIGINAL MESSAGE TO US AT THE ABOVE ADDRESS VIA THE U.S. POSTAL SERVICE. THANK YOU.

       FOLLOWED BY A COPY IN THE U.S. MAIL ON THIS DATE.  
~~XXX~~ BY FACSIMILE ONLY ON THIS DATE.

**TRANSMITTED BY: Jacquelyn DATE: Mar. 12, 2007 TIME: Approx. 3:45 P.M.****c: (By fax only)****Andy Kreeft****Salesian Sisters**



Robin Mustelli  
Office of Supervisor Ellen Pirie

March 9, 2007

Dear Robin,

We appreciate your understanding of our concerns in this matter. I am faxing the changes we are requesting to the summary. I apologize for the poor copy. It is a working copy which we have been faxing back and forth. Please call me if you have trouble reading it or if you need any clarification.

Thank you,  
Katie Davis for the Administrative Team

Katie Davis  
Barbara Smith  
Sr. Amparo Uribe, fma  
Administrative Team

1. Enrollment based on actual performance of traffic management/busing/carpooling:  
 — Excluding trips for students residing on Enos Ln or its feeder streets
- o Up to 125 Students - 45 max. trips in and out per 2 hour peak period (7-9 AM & 2-4 PM)
  - o 125-200 Students - 50 max. trips in and out per 2 hour peak period (7-9 AM & 2-4 PM)
  - o 200-225 Students - 55 max. trips in and out per 2 hour peak period (7-9 AM & 2-4 PM)
  - o 225-250 Students - 60 max. trips in and out per 2 hour peak period (7-9 AM & 2-4 PM)

Never the less

ANNUAL

- o Enrollment level will begin at 200 students and will increase or decrease by 25 student increments, or remain constant, depending on compliance with the traffic performance criteria (as measured by three (3) independent random monitoring at the applicants expense with review by the Planning Department) for each prior level of enrollment. Any potential enrollment increase will begin in the third year and will be determined based on performance through the middle of the second year, with reviews continuing at the middle of each following school year.

- o All vehicles transporting children to and/or from the school will be counted during the two hour peak period (7-9 AM & 2-4 PM) and no children may be dropped off before 7 AM. Vehicles which do not transport children to and/or from the school (teachers, staff, residents, deliveries, etc.) will not be counted towards the maximum number of allowed trips.

With a staff meeting never the less, students transported before 7am on

As of

- o After 5 years, the final maximum enrollment for the school will be established based on a review of compliance with the traffic performance criteria by the Planning Department and REASONABLE AFTER the PLANNING Department has given REASONABLE PRIOR tentative determination. NOTICE

2.

#### School Related Meetings & Events

- o School related meetings & events (parent/teacher meetings, parent conferences, etc.) outside of the regular school day are allowed per the calendar submitted to the Planning Department prior to the start of each regular school year.
- o School related events that occur during regular school hours (grandparents day, parents breakfast, kinder promotion, etc.) are allowed at a maximum of 8 events per regular school year, as indicated on the calendar submitted to the Planning Department prior to the start of each regular school year.
- o No sporting events (other than regular practice by Salesian school students) are allowed at the school facility.

DRAFT

#### Summer Camp & Remedial Classes

- o Summer camp & remedial classes (summer school) are allowed outside of the regular school year.
- o Total number of campers (both day and overnight) limited to 90 campers at any one time.
- o Total number of day campers and/or remedial class students limited to 60 total.
- o Carpooling/busing required - 45 max. trips in and out per any 2 hour period (7:30 AM - 5:30 PM).

4.

#### Retreats

- o Up to four weekend retreats (max. 60 people at each retreat) are allowed per year.
- o Up to eight one day (weekend days only) retreats (max. 90 people) are allowed per year.

5.

- o Community meetings are allowed outside of regular school hours. The use of the school facilities for community meetings does not allow the renting of the facilities for conferences or other commercial activities.

6.

- o Religious Services and Prayer Groups are allowed at the school facility.

7.

- o Residents: The use of the school facility for residential purposes is allowed with all of the residents living as a family unit (sharing cooking facilities and common areas) within existing bedrooms on site.

8.

- o Novitiate: The use of the school facility as a novitiate is allowed. Total number of novices residing on site limited by available residential facilities not occupied by existing residents.

9.

- o Standing School Committee: The School shall establish a common standing school for three (3) people to interface on an AS NEEDED bases with Enos Ln neighbors and County REPRESENTATIVES.

10.

- o Interim Status: The Seconded Amended Compliance Agreement shall be extended for the 07-08 school year or until this adm process is made, whichever ever first occurs.

## Summary of Required Improvements

04-0384 Salesian Sisters School

- **Improvements** (the following must be shown on revised engineered improvement plans and will be required to be installed as permit conditions *within two (2) years after this administrative process becomes final*)
  - **Road Widening:** The pavement width of Enos Lane widened to 18 feet in width between the school and Harnes Road, with the first 40 feet (from the intersection with Harnes) widened to 24 feet in width. *provided that the adjacent owner(s) in that area of widening consent in writing to the same and donate, if necessary, the land to do so.*
  - **Road Bumps:** Road bumps to be installed on the lower portion of Enos Lane (between Harnes Road and station 17+00) designed to limit vehicle speed to 15 MPH. A minimum of two road bumps are required, and a third mad bump is required if necessary to limit speeds to 15 MPH. *Provided that the owner(s) so effected consent in writing and donate, if necessary, the land to do so.*
  - **Pedestrian Pathway:** In addition to the road widening listed above, a pedestrian pathway 3 feet in width to be installed on the east side of the lower portion of Enos Lane (between Harnes Road and station 17+75). The path shall be separated from the roadway by a solid white line and surfaced with decomposed granite or other aggregate material.
  - **Parking Lot:** A new parking lot to be installed which allow vehicles to exit Enos Lane when dropping off and picking up students. A parking lot plan shall be provided which shows all existing and proposed parking. All applicable accessibility requirements shall be met in the parking plan.
  - **Septic Upgrade:** *System: The School shall have the existing* All septic system improvements to be installed as required by Environmental Health Services. *septic system pumped and inspected twice a year to monitor its condition (See attached Fall Creek Engineering)*
  - **Replacement Trees:** Replacement trees to be installed at a 3:1 ratio for all trees, if any, removed due to road widening, construction of the parking lot, and other improvements.
  - **Groundwater Recharge & Drainage Improvements:** Groundwater recharge and drainage facilities to be installed to capture runoff and recharge storm water (where feasible). Silt and grease traps are required to filter runoff from the proposed parking area.

**DRAFT**

**FALL CREEK ENGINEERING, INC.***Civil • Environmental • Water Resource Engineering and Sciences*

Tel. (831) 426-9054

P.O. Box 7884, Santa Cruz, CA 95061

Fax (831) 426-4932

Mnrch 4,2005

Santa Cruz County Planning Department

Attn: Randall Adams

701 Ocean Street

Snnta Cruz, CA 95060

Subject:      Application No. 04-03843  
                 Septic System for Salesian Sisters School  
                 APN 107-571-01

Dear Mr. Adams:

Fall Creek Engineering, Inc. (FCE) has prepared this letter to inform you that the existing septic system is operating satisfactorily at the current level of use. Bared on information prepared by the County of Santa Cruz, Health Services Agency, the existing system capacity was determined to be adequate to accommodate a school student population of 250 people, which with I concur.

To maintain the system in good working order, I would recommend that tho School conduct semi-annual monitoring of the system. To this end, I would further recommend that the School have the septic system pumped and inspected twice a year to monitor its condition,

Thank you for your attention in this matter. If you have any questions or require additional information, please do not hesitate to contact me at (831) 426-9054.

Sincerely,

PETER HAASE  
Principal Engineer

Cc:    Sr. Charlotte Greer, Corralitos  
         Dennis Kehoe, Aptos  
         David Robison, Snnta Cruz

March 8, 2007

Melissa Coash  
420 Lore Way  
Aptos, CA 95003

Albert Aramburu  
Santa Cruz County Planning Department  
701 Ocean Street, Suite 500  
Santa Cruz, CA 95060

*rec 3/13/07*

Dear Mr. Aramburu:

I'm writing this letter to ask for your help regarding an issue that affects my children. I have two children who attend Salesian Sisters Elementary School and Jr. High. It has come to my attention that the county planning commission is recommending that the school widen Enos Lane as well as add a pedestrian walkway to the lower part of Enos Lane by January, 2008 as a requirement for issuing the school's use permit. The cost of this project is currently estimated at a minimum of \$1.5 million.

This places an impossible financial burden on the school. The school is funded by the Salesian Order which is a separate entity from the Diocese. The school receives no money from the Diocese, and is already \$300,000 in debt from the various expenses incurred to address the current road situation. The school will no longer be able to operate if burdened financially by these demands.

The only other option is for the school to operate with 125 students instead of the current 205. Again, it is not economically feasible to operate with only 125 students because there would not be enough tuition generated to run the school. We are not an elite private school. The majority of students come from local produce families and most of us can not afford the extra tuition that would be required to continue to run the school with a reduced number of students.

We, as parents, have done everything we can to help the school remain in compliance with its amended use permit. We've organized extensive carpools, and many of us have even purchased larger vehicles just for the purpose of carpooling. We do this because we believe in the school and we want the school to remain in operation.

As a voter in the 2nd district, I'm asking for your strong support with the Planning Commission. My children's education may not continue without your help.

Sincerely,



Melissa Coash

September 12, 2006

Sister Charlotte  
Salesian School  
605 Enos Lane  
Corralitos, CA 95076

**Re: Reckless Parent Driver**

Dear Sister Charlotte,

During various road meetings you have requested being informed about any poor driving by your parents picking up **or** dropping off children at your **school**.

Most of the time we simply ignore minor infractions by your parent drivers; however, yesterday afternoon we encountered one so bad we are prompted **to** send you this letter. We live above your school on Enos Lane and were traveling downhill a little after 4pm on Sept. 11, 2006.

A woman driving a white Lexus SUV, license plate 4HBM385, was coming out of your parking lot. She looked directly at us, did not stop at all and pulled out immediately in front of us causing us to hit our breaks. She then sped down the rest of Enos Lane at over **30** miles/hour despite speed bumps and signs to slow down. She **also** breezed right through the stop sign at Enos/Hames road by only slightly slowing down, completely failing to stop at all.

We trust you will contact this parent and remind her of the importance of safe and courteous driving through the neighborhood. It is drivers like this that give your school a poor reputation with the surrounding neighborhood.

Sincerely,

Marti Atkinson and Peter Hazard  
1845 Enos Lane  
Corralitos, CA 95076

March 12, 2007

To: Commissioner Rachel Dann  
c/o Santa Cruz County Planning Department  
701 Ocean Street, Suite 500  
Santa Cruz, CA 95060  
Phone: 454-2644

rec 3/14/07

From: Mrs. Diane Meade, Secretary at Salesian Elementary & Jr. High School  
20 year home owner, voter 4<sup>th</sup> district  
317 Casserly Road  
Watsonville, CA 95076  
Home Phone 761-8690  
Work 728-5518X3

Dear Commissioner Dann,

As an employee for the last 7.5 years at Salesian Elementary & Jr. High School, in the capacity of secretary, I have a unique perspective concerning the current situation at the school regarding its future. Although a bit lengthy, I would like to share with you.

As the secretary for the school (K-8), I see and hear all the joys and heartaches of the students, parents and staff here. I know the ebb and flow of their lives, their loves, hopes and dreams.

Prior to three years ago, when all this road /neighbor stuff started, when I gave tours of the school, I would tell people that after school they could find parents, teachers and students relaxing around the campus; playing chess or just enjoying each other's company. I'd tell them that we all consider this place an extension of home and family. This is a good place for their children to spend most of their waking hours, here in the hills, with our pet cats & dogs.

My office, these halls, used to be a gathering place for the parents of the community at large; a place to build friendships and share information; a place to get to know the parents of your children's friends. Their hearts are weary now. I hear it everyday. They just want to save this wonderful place and don't understand why this is happening to them. Why after 25 years has it come to this? So quietly, with understanding, and the Sisters example of patience, they stick to agreements with the county and neighbors to-the-letter. We NEED the school to remain open with at least the current enrollment of 205. **Any fewer students would make it impossible for the school to stay in operation.** We need your vocal support in this political matter. Breaking up our middle school and elementary would be heartbreaking to many close siblings and their parents.

**It is vital** that you vote March 28<sup>th</sup>, in favor of the school to stay at the current enrollment of 205 or increase it to 250 as originally requested in 1979. **It is also imperative** that you vote to rescind the demands placed on the school concerning the upgrade of the septic system, replacing one that has already been approved for 250 students and would cost \$140,000. This is money the school does not have and can't pass along to our parents in tuition increases without creating a strictly affluent population. **Equally as important**, we need you to vote to rescind the demands concerning road "improvements" that even our neighbors don't want, such as widening of the road and sidewalks. These unnecessary demands **are** attached to an unrealistic deadline for this kind of a project. one estimated to cost over \$1.5 million dollars.

Salesian is already in debt for over \$300,000. in county fees, legal fees, surveys and other fees over this sudden and unexpected turn of events 3 years ago. This debit, combined with

I cannot express to you in fullness, the great service this Catholic school provides to this and neighboring communities. Salesian is one of a very few k-8 Catholic schools in the county drawing students from all of the districts. There aren't enough places in the county for students to practice, learn and grow in the Catholic faith. We serve the whole family. We hold Masses here in our beautiful chapel that the parents and grandparents attend with their children and their children's teachers. This is just one irreplaceable part of *this* family we call school, a place we now feel is being threatened.

This place, the school and the Sisters are an intrinsic part of what *is* Salesian. Here, the students are taught to give back to others, to better our community and world with their time and the education they receive *here*. Our strength is in being small; more personal. Sadly, it is also our weakness *as* we are vulnerable. This school is a valuable asset to the community graduating hundreds of faith-filled, morally strong, future members of the community. This school might not continue without your supportive vote. **The looming financial burden placed on the school by the county is a death sentence.** I wish I could provide you with a list of alumni, you would CERTAINLY be impressed as to who they have become.

Here, parents find an excellent education coupled with the faith development they desire for their children. This is true of all grades but most especially 2<sup>nd</sup> grade where *here* they are prepared for the sacrament of Eucharist. These are not all well off people as you may think. In many cases, parents truly sacrifice to send their kids here. Many struggle to pay the tuition as the school struggles to keep tuition low enough for the blue collar community providing hope for a better future for their children.

Helping in this effort, our employees receive wages less than the public school employees earn for the same jobs. Our parents through their taxes pay for "ghost children" in the public school affording public school employee's higher wages while these same parents work two jobs to keep their kids here because they want a Catholic education for their children. This IS a special place, worth the effort. You can feel love here. We choose to be here and have for 25 years happily going about what we do best; educating hearts & minds.

You may know, but most people don't, that unlike the other Catholic schools in the county, Salesian Elementary and Jr. High school DOES NOT receive funding from the Diocese to make up for extremely low tuition rates. Our rates are a fraction of the amount other local private schools charge further diversifying our population.

It is the Salesian Sisters mission to fully educate children to the best of their ability. Equally, they teach that it is not enough to love the children; but that EACH child must feel loved. Not many places can say they fill that bill. From where I sit in this chair, I can tell you we do. We know when they are sad or don't feel well. We follow up.

We have met all requests from the county to date. We are willing and able to continue the county's most efficient carpool (a remarkable 4.2 per car) on our own without our school being monitored and evaluated each January to determine the following years' enrollment year after year, forever.

Salesian parents have made great efforts to meet the requests of the neighbors and county regarding everything. We have made every effort to accommodate the wants and needs of everyone. I ask you to look at the plans and ask yourself honestly, if this is fair. Put yourself in our shoes; imagine you are a parent or student here, even a Sister. How would *you* feel?

I will be calling your office in hopes of speaking to you concerning this important matter. I also plan on being in attendance at the March 28\* meeting of the Planning Commission for the vote.

Peace,



Diane Meade- Secretary, Salesian Elementary & Jr. High

March 12, 2007

To: Commissioner Renee Shepherd  
c/o Santa Cruz County Planning Department  
701 Ocean Street, Suite 500  
Santa Cruz, CA. 95060  
Phone: 454-2644

rec 3/14/07

From: Mrs. Diane Meade, Secretary at Salesian Elementary & Jr. High 'school  
20 year home owner, voter 4<sup>th</sup> district  
317 Casserly Road  
Watsonville, CA. 95076  
Home Phone 761-8690  
Work 728-5518 X3

Dear Commissioner Shepherd,

As an employee for the last 7.5 years at Salesian Elementary & Jr. High School, in the capacity of secretary, I have a unique perspective concerning the current situation at the school regarding its future. Although a bit lengthy, I would like to share with you.

As the secretary for the school (K-8), I see and hear all the joys and heartaches of the students, parents and staff here. I know the ebb and flow of their lives, their loves, hopes and dreams.

Prior to three years ago, when all this road /neighbor stuff started, when I gave tours of the school, I would tell people that after school they could find parents, teachers and students relaxing around the campus; playing chess or just enjoying each others company. I'd tell them that we all consider this place an extension of home and family. This is a good place for their children to spend most of their waking hours, here in the hills, with our pet cats & dogs.

My office, these halls, used to be a gathering place for the parents of the community at large; a place to build friendships and share information; a place to get to know the parents of your children's friends. Their hearts are weary now, I hear it everyday. They just want to save this wonderful place and don't understand why this is happening to them. Why after 25 years has it come to this? So quietly, with understanding, and the Sisters example of patience, they stick to agreements with the county and neighbors to-the-letter. We NEED the school to remain open with at least the current enrollment of 205. **Any fewer students would make it impossible for the school to stay in operation.** We need your vocal support in this political matter. Breaking up our middle school and elementary would be heartbreaking to many close siblings and their parents.

**It is vital** that you vote March 28<sup>th</sup>, in favor of the school to stay at the current enrollment of 205 or increase it 250 as originally requested in 1979. **It is also imperative** that you vote to rescind the demands placed on the school concerning the upgrade of the septic system, replacing one that has already been approved for 250 students and would cost **\$140,000**. This is money the school does not have and can't pass along to our parents in tuition increases without creating a strictly affluent population. **Equally as important**, we need you to vote to rescind the demands concerning road "improvements" that even our neighbors don't want, such as widening of the road and sidewalks. These unnecessary demands are attached to an unrealistic deadline for this kind of a project, one estimated to cost over \$1.5 million dollars.

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March 12, 2007

To: Commissioner Albert Aramburu  
c/o Santa Cruz County Planning Department  
701 Ocean Street, Suite 500  
Santa Cruz, CA. 95060  
Phone: 454-2644

rec 3/14/07

From: Mrs. Diane Meade, Secretary at Salesian Elementary & Jr. High School  
20 year home owner, voter 4" district  
317 Casserly Road  
Watsonville, CA. 95076  
Home Phone 761-8690  
Work 728-5518X3

Dear Commissioner Aramburu,

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March 12, 2007

To: Commissioner Robert Bremner  
c/o Santa Cruz County Planning Department  
701 Ocean Street, Suite 500  
Santa Cruz, CA. 95060  
Phone: 454-2644

rec 3/14/07

From: Mrs. Diane Meade, Secretary at Salesian Elementary & Jr. High School  
20 year home owner, voter 4" district  
317 Casserly Road  
Watsonville, CA. 95076  
Home Phone 761-8690  
Work 728-5518X3

Dear Commissioner Bremner,

As an employee for the last 7.5 years at Salesian Elementary & Jr. High School, in the capacity of secretary, I have a unique perspective concerning the current situation at the school regarding its future. Although a bit lengthy, I would like to share with you.

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rec 3/15/07

March 8, 2008

Mr. Albert Aramburu

Santa Cruz County Board of Supervisors  
701 Ocean Street, Suite 500  
Santa Cruz, CA 95060

Dear Supervisor Aramburu,

We are writing this letter to express our concern over the uncertain future of Salesian Elementary and Junior High School in Corralitos, California.

Salesian is operated and staffed by a dedicated group of personnel devoted exclusively to the academic and moral social development of young children. One would agree that in an age where gang violence and juvenile crime run rampant in our community, Salesian students and alumni are not part of this problem.

It is imperative that as parents we become proactive and place our children in a school which offers both strong academics and appropriate role models for them to emulate. It is especially important that they have role models who

will instill in them an appreciation for many of the values lacking in our society today. This is why we chose Salesian for our daughter and two sons.

We researched and visited numerous schools in our community, both public and private, before making our selection. Ultimately, we view our children as members of society who have the potential to make a difference in the world. It was important to us that we find a school where their potential would be maximized and they would receive the social guidance needed to become upstanding citizens. Four years later, the school continues to provide a program which exceeds our expectations in every way.

Asking the Salesian Sisters to jump through bureaucratic hoops and give them unrealistic deadlines to complete tasks - without any promise of approving a use permit - is both costly and unfair. School records indicate every attempt has been made to satisfy requirements for both county agencies and residents near the school. Still, NO APPROVAL!

Not only has this created a financial hardship, costing hundreds of thousands of dollars, but it has created a situation of tremendous uncertainty for our children.

Imagine trying to motivate your students to prepare for next year's placement exams when there is no guarantee there will even be a school!

Salesian has a well-documented reputation for academic excellence and social responsibility. There are very few learning institutions that can make similar claims.

We are requesting you provide us with a reasonable solution to this dilemma and grant a permit which allows the school to continue its operation without any further disruption.

Sincerely,

Ignatius and Jennifer Mueller Piazza

190 El Pinar

La Selva Beach, CA 95076

h) 684-2046

\* Registered Voters

**Holly L. Taylor**  
517 Spruce Street   Aptos, California 95003   (831) 662.9220

rec 3/15/07

March 10, 2007

Albert Aramburu  
Santa Cruz County Planning Department  
701 Ocean Street  
Santa Cruz, CA 95060

Dear Mr. Aramburu,

I am writing you with a great concern over an issue regarding my child's school, Salesian Elementary in Corralitos, California.

As a parent of this school **as** well as a resident of Aptos, I am extremely upset over recent events pertaining to an amended use permit that is being reviewed and voted on by the Planning Commission.

Our school is being threatened by the county requiring us to reduce our student population to **125** students from our current **200+** student population if our current permit is not extended. Salesian would find it financially impossible to operate this school on tuitions from only **125** students.

Our school is a Catholic school, however, we receive no funding from the Diocese and the parents are the primary source of funding to this school. Our family, along with many others, has chosen this school because of its values, loving and safe environment and high education.

Salesian has produced many graduates who have gone on to be valuable and productive citizens.

We want this to continue! I do not want to see this issue cause our school to close. This would be a devastating blow to the children **as** well **as** future students in our community.

I am asking for your support on March 28<sup>th</sup> at the planning commission meeting with our school. I will be at the court attending this meeting as well. The parents, families, teachers and Salesian administration have made GREAT EFFORTS to accommodate the neighbors' requirements for carpooling and traffic on the private road. We have on average more than **4** students per car in our carpools. Our system is working very smoothly and I have been extremely impressed by our diligence. We are committed to continue to make these accommodations; however, I do not think it would be fair to have our enrollment re-considered each year. We should be able to come to an amicable agreement and commit to this on a long-term basis.

Finally, what really upsets me even more is the fact that these requests are being made on the nuns who started this school and have been residing on the Salesian property since the **1930's**. They started the school in the **1970's** and have poured their heart and soul in to this school and they do nothing but love and care for our children. They deserve to keep this school in operation and the residents who started this situation were well aware of the fact that there was a Catholic School in their neighborhood. The Sisters have sacrificed much to provide for our students and teachers and they do it out of the goodness of their heart for the greater good of our children and community. I love this school and will do anything to ensure that we can keep it operating at over 200 students.

Again, I am asking for your support on March 28<sup>th</sup>. The school needs their permit to be extended and more time to reach a good, strong agreement on how to best meet the needs and requirements that the county has asked for us to do.

Thank you for your consideration.

Sincerely,  
**Holly Taylor**



3/15/07

**Randall Adams**

---

From: David Koch [dkoch@ci.watsonville.ca.us]  
Sent: Thursday, March 15, 2007 8:10 PM  
To: Tom Burns; Randall Adams  
Cc: Gary Smith; Ellen Pirie  
Subject: Enos Lane Meeting and Pathway Issue

Tom and Randall

You both did very well at the Enos Lane meeting last Monday night. Your ability to stay calm and redirect the focus back to the issues was ultimately very effective in keeping tempers in check. I applaud you both and also appreciate Ellen's efforts in setting up the meeting.

I do have one concern that I want to mention. I agree with Gary Smith and many others that a pedestrian pathway is an important safety feature, particularly for children walking to and from the public school bus stop at the Enos/Harnes intersection. The road near the intersection is pretty narrow and pedestrians can't step off the roadway when cars approach since they are hemmed in by a drainage ditch on one side (with a broken guard rail) and a road bank on the other.

Planning staffs recommended conditions require a pathway and that's great. However, I'm concerned that the condition may be deleted by the Planning Commission because of confusion regarding the pathway condition as it relates to the issues of road widening and tree removal. Some people have the false perception that the installation of a pedestrian path would automatically result in the removal of the roadside trees. While the condition that requires widening a portion of the road to 24 feet would definitely require tree removal, the installation of a pathway without the road widening would not, since the best location for a pathway would be on the outside (immediately east) of the trees. This would allow the roadway to stay at 18 feet in width, provide better (safer) separation of pedestrians from vehicular traffic, and eliminate the need to excavate the roadside bank down to the road elevation.

This approach would also allow the road to retain its narrow, rural character. I believe that those in the neighborhood who oppose the concept of a pathway do so because they envision the pathway as more of an urban concrete sidewalk that will result in tree removal, a widened road (IE road plus sidewalk), and the loss of the country lane character.

My fear is that the confusion regarding this whole issue, if it is not fully explained, will result in the planning commission simply eliminating this condition and not providing this important safety feature. This is particularly likely since there is a dispute over the right-of-way. Both the school and adjacent property owners will raise the right-of-way issue and the Planning Commission's easy solution will be to delete both the 24-foot widening condition and the pathway condition. The losers will be the neighborhood children and other neighborhood pedestrians.

I feel that it is very important that the presentation to the Planning Commission clearly explains the need for the pathway for pedestrian safety and the potential alternatives for pathway placement including how the pathway could be installed without widening the roadway or removing the trees.

Please let me know if you would like any additional information or want to discuss further.

Thanks  
David

rec 3/19/07

Dear Renee Sheperd,

March 16, 2007

I ~~am~~ writing in hopes that you can help the school my child attends. He is in 5<sup>th</sup> grade now at Salesian Sisters school and I am hoping he can attend the Jr. High in the future. He is a good student and is in scouting. When it was time to find a school for my son, then entering kindergarten, I wanted more than just academics. Being a single mom, I needed to connect and belong to a community. I needed help in raising my child to be a good, moral, honest and responsible person. I found this and more at Salesian. These are families who really care and are involved in their childrens lives, in the school and in the community. I have watched my child grow surrounded by the loving family spirit that Salesian stands for. It's home for us. I very much want him to continue his growth with a faith based curriculum and moral guidance.

Salesian has been in negotiations with its neighbors for over **three** years regarding the use of Enos Lane, the main road up to the school. The schools traffic bad created problems for the other neighbors on the street. Together, the school and a group representing the neighborhood came up with some solutions for the problems. The Salesian community not only achieved these goals, but surpassed them.

The county was asked by some neighbors to become involved. **The** county has been helpful and appreciated. During this time it was discovered that due to a complicated history, the school was out of compliance of its operating permit. The county planning commission has now recommended changes that must be completed before a new permit is granted. There are some requirements though that have created problems that make it impossible to complete the process. These are extremely short time lines, development on private property, unending compliance issues, and unnecessary improvements.

I support Salesian and want the school to remain in operation. It will be financially impossible to maintain a K-8 school if forced to go back to 125 students and still make it affordable. Most students at Salesian have both parents working to make ends meet.

I am concerned that one of the few options in Catholic education in this county will be threatened by the demands placed on the school. Salesian is a WASC accredited school. Salesian benefits the community having produced hundreds of productive citizens since its inception in 1979.

Salesian parents have made great efforts to meet the demands of the neighbors regarding carpooling. I don't even drive my own car when its time for me to carpool. I borrow my neighbors SUV to pack **6 kids** in the car. We probably have the best carpool in the nation. We are willing to continue carpooling at the required numbers, but I don't think it's fair to indefinitely require monitoring to determine the following year's enrollment.

Salesian is already in debt for over \$300,000 in county fees, legal fees, surveys, and other demands. Being required to meet the county's short deadline for this project, estimated at least at \$1.5 million places an impossible burden on the school. The current septic system was already approved to handle 250 students. We are now required to update it because

we are applying for **an** amended use permit. This is estimated at about \$140,000. This makes fundraising impossible. The Catholic Church will not bail us out because we are not owned by a parish or the church. We are self contained and survive on contributions and fundraising alone.

Salesian is faced with a grave situation- the existence of our school is being threatened by excessive county permit requirements. I would like the county leadership to continue working **with** the groups to solve the problems in a reasonable fashion that does not place undo hardship on either party.

I thank you for your time and support for a reasonable solution to **our** community's problem.

Sincerely,  
Karen Slater  
1579 Pleasant Valley Rd.  
Aptos, CA. 95003

Dear Gustavo Gonzalez,

March 16, 2007

rec 3/7/07

I **am** writing in hopes that you can help the school my child attends. He is in **5"** grade now at Salesian Sisters school and I **am** hoping he can attend the Jr. High in the **future**. He is a good student and is in scouting. When it was time to find **a** school for my son, then entering kindergarten, I wanted more than just academics. Being a single mom, I needed to connect and belong to a community. I needed help in raising my child to be a good, moral, honest and responsible person. I found this and more at Salesian. These are families who really care and are involved in their childrens lives, in the school and in the community. I have watched my child grow surrounded by the loving family spirit that Salesian stands for. It's home for us. I very much want **him** to continue his growth with a faith based curriculum and moral guidance.

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Karen Slater  
1579 Pleasant Valley Rd.  
Aptos, CA. 95003

Dear Rachel Dann,

March 16, 2007

rec 3/19/07

I am writing in hopes that you can help the school my child attends. He is in 5<sup>th</sup> grade now at Salesian Sisters school and I am hoping he can attend the Jr. High in the future. He is a good student and is in scouting. When it was time to find a school for my son, then entering kindergarten, I wanted more than just academics. Being a single mom, I needed to connect and belong to a community. I needed help in raising my child to be a good, moral, honest and responsible person. I found this and more at Salesian. These are families who really care and are involved in their childrens lives, in the school and in the community. I have watched my child grow surrounded by the loving family spirit that Salesian stands for. It's home for us. I very much want him to continue his growth with a faith based curriculum and moral guidance.

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Sincerely,  
Karen Slater  
1579 Pleasant Valley Rd.  
Aptos, CA. 95003

Dear Robert Bremner

March 16, 2007

rec 3/19/07

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**1579** Pleasant Valley Rd.  
Aptos, CA. **95003**

rec 3/19/07

Dear Albert Aramburu,

March 16, 2007

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Sincerely,  
Karen Slater  
1579 Pleasant Valley Rd.  
Aptos, CA. 95003

# BOSSO WILLIAMS

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ROBERT E. BOSSO  
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\* Certified Specialist in Tuition Law  
\*\* Certified Specialist in Estate Planning, Trust & Probate Law  
By the State Bar of California, Board of Legal Specialization

March 20, 2007

## **HAND DELIVERED**

Chairperson and Members of  
County of Santa Cruz Planning Commission  
701 Ocean Street  
Santa Cruz, CA 95060

**Re: Planning Commission Agenda Matter No. 04-0384  
(605 Enos Lane, Watsonville)**

Dear Chair and Members of the Commission:

This office represents the owners of the property which adjoins Enos Lane at the corner of Hames Road, Robert, Janet, Doug and Kim Mattos and Eloise Wilson, who, as trustees of their respective trusts, jointly own that property. For reference purposes, the property is commonly known as 350 Hames Road, Watsonville and bears Assessors' Parcel Number 107-461-25.

The Applicant in the above referenced matter has no easement over the portion of Enos Lane which adjoins our clients' property, and our clients are not inclined to sell, gift, or otherwise convey an easement for road purposes or pathway purposes to the applicant. Our clients' title shows no easement for anyone on Enos Lane, so, at best, the applicant has a prescriptive easement over the currently existing paved portion of the road. As your County Counsel is well aware, there is no right to expand a prescriptive easement, even if one exists.

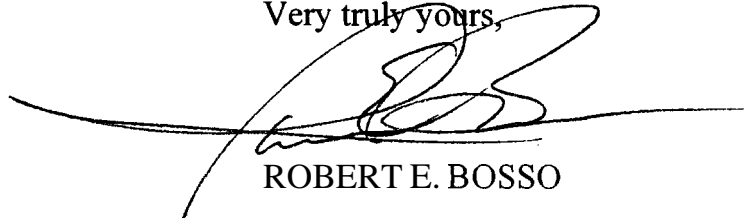
Some staff members have made public comments indicating that eminent domain would be a possibility if my clients refuse to convey. If the County were to undertake eminent domain action against our client, the County should be aware that it would be facing a vigorous defense coupled with a substantial severance damage claim because our clients need all of their property for future proposed uses.

Chairperson and Members  
March 20, 2007  
Page 2

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We will be present at the hearing to respond to any question on this matter.

Very truly yours,

A handwritten signature in black ink, appearing to be "REB", is written over a horizontal line. The signature is stylized with a large, looping "B".

ROBERT E. BOSSO

REB/er  
cc: clients

## Randall Adams

---

From: WISDOMCLAN@aol.com  
**Sent:** Tuesday, March 20, 2007 7:38 PM  
To: Randall Adams  
**Subject:** Re: Selesian School/ Enos Lane, Corralitos

rec 3/21/07

Please include my letter as opposed to Selesian School's proposal for more enrollment.

In my opinion, they should be fined for having too many children now.  
Never should they have been allowed to break the rules.

I guess that is the example they want for the children that go to the school, it is ok to not follow the rules if you, what are, catholic?

Give me a break, there is way too much traffic from the school as it is. I see endless running of the stop sign at Corralitos Road and Hames Road because the parents are late getting their kids to school.

I see endless speeding from Selesian mom's down Corralitos Road past Bradley School, and most do not slow down to 25.

They should stick to the 125 enrollment and be happy or close.

No way, should anyone have to lose any property over a private school needing to widen the road because of traffic problems. That should be your first clue of too many enrolled.

Please do not let this school dictate to the board. This should have been taken care of when Marilyn Liddicoat was supervisor and allowed these problems.

What about having only K thru 6 there and junior high at another location. Wasn't it proposed to them to have this happen at St. Francis High School? I understand the Selesian Sisters did not want this to happen.  
Is this true or just a rumor?

Rules are rules, as the planning commission is always telling us public and tax paying people.  
So please listen to us. We do have a stake in how this affects our community. Those of us who have lived here for our whole lives should have a say in this matter. Most of the children who are enrolled at the school do not even live in this area.

Thank you,  
Ron and Kandy Bonnema  
209 Hames Rd  
Corralitos, CA 95076

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AOL now offers free email to everyone. Find out more about what's free from AOL at [AOL.com](http://AOL.com).

March 16, 2007

rec 3/21/07

Board of Supervisors-County of Santa Cruz  
701 Ocean Street, Suite 500  
Santa Cruz, CA 95060-4069

To Whom It May Concern:

My name is Marlene Boracca and I live at 245 Lou's Court, Corralitos. To access my residence I use Enos Lane.

Salesian Sisters School is my neighbor up the road. They have been in violation of their Use Permit ( which allows them 125 students) for quite sometime now. The School has submitted an application to increase enrollment to 250 students. I am opposed to this for many logical reasons, as I would hope you will be.

1. The original permit did not require mandatory carpooling--Marilyn Liddicoat who was a County Supervisor at the time, should never have been allowed to vote on this matter, as she had children attending Salesian School at the time (conflict of interest).

2. I don't believe that the School has been operating in "good faith", believing they had applied for and been granted a permit increase in 1979, as stated in the Santa Cruz Sentinel. I believe there have been sneaky and underhanded tactics going on. At a meeting on March 12 with Ellen Pire and Randall Adams, Randall indicated that the school met their carpooling numbers, but the residents said traffic wasn't getting any better. I did not feel comfortable speaking in public, so after the meeting I told Randall why I feel they always seemed to meet the limit of 45 cars, yet the residents don't see any improvement. What I observed was, on the days when someone was taking a car count, -it was obvious-we all knew, the first parents coming up the road got on their cell phones and were calling to alert other parents. This is when they use every driveway and pullout on Hames Road to get their "carpooling" act together. I do not call this operating in "good faith" or "playing by the rules."

3. Until this problem was brought to the County's attention the parents that are using our private road to access the school were rude and arrogant. They don't slow down, allow residents to pull out of driveways or side streets and "hog" the road. Which is what I suspect it will go back to as soon as they get what they want and no one is looking. Only when they are under the microscope to they behave themselves.

4. Enos Lane is a little narrow rural country road. I moved from the town of Watsonville, where I lived on a two lane street, which traffic "flew" down. I moved to the country **not** to have sidewalks, stop signs, street lights and a two lane "freeway" for school traffic to "fly" up and down. I paid a lot of money for my house and I pay an exorbitant amount in "property taxes" to live where I live. I don't feel one neighbor should be allowed to upset the entire landscape of our

little neighborhood. I don't want the road widened or trees cut down!

5. The planning dept. has suggested that the Enos Lane neighbors be happy with the 250 student increase with mandatory carpooling as opposed to 125 students with carpooling "at will". I don't agree. In a meeting on March 12 at the Corralitos Cultural Center, Randall Adams indicated that it was not financially feasible for the school to remain open at current or decreased enrollment.. It has never been my wish to see the school shut down. Nor do I believe it is in danger of being shut down if held to current enrollment). At this point I say, "If they can't make it at current enrollment, then maybe they need to look at other options. Don't make their problems impact the entire countryside.

6. For most of people speaking on behalf of the Salesian Sisters School this concern goes away when their child completes 8<sup>th</sup> grade. For the residents of Enos Lane this is 24/7, 365 days a year for the rest of our lives. (I like most neighbors, felt we have found heaven on earth, and have no plans to move). For the same reasons we choose to live here, I'm sure are the same reasons the parents want their children to attend "the little country school at the end of a private road".

7. The Emergency Plan for the Salesian School is extremely disturbing to my family and I. The school with the Fire Dept. has decided in an emergency the children will remain at the school. I think this is the most asinine thing I have ever heard. Do you honestly think that you will be able to keep 250 parents from coming up Enos Lane to get to their children, if a fire were raging up the canyon? How would the residents safely evacuate? Why do their needs/rights supersede ours? Even animals have the common sense and instinct to run from impending danger-why would anyone think these children are going to "stay put" in an emergency?

8. Under NO circumstances should ANYONE'S property be taken from them. Not one inch. The schools actions have caused much stress on many people unnecessarily. When will COMMON SENSE prevail and the County step up and protect the Enos Lane residents, from what is clearly a case of "people" trying to shove a round peg in a square hole!

Many prestigious people will speak on behalf of the school-Marilyn Liddicoat (former Supervisor), Carlos Palacios (Manager, City of Watsonville), Matt Ryan (Watsonville Firefighter) these people do not live here and their words should not carry the same weight as the people who this impacts the most.

Please let sanity, common sense and good judgment, not to mention fairness, prevail and deny this increase in enrollment.

Thank you for your consideration on this matter,  
Steve & Marlene Boracca

*The Boracca Family*

Stop!

TRYING TO SHOVE A ROUND PEG IN A  
SQUAR HOLE!

THIS DOES NOT FIT!

**Randall Adams**

---

From: CastellanosDE@aol.com  
Sent: Wednesday, March 21, 2007 8:41 AM  
To: Randall Adams  
Subject: Letters for Planning Commission's Packet ie App#04-0384

Dear Mr. Adams,

I t was a pleasure listening to you last week at the meeting here in Corralitos. I t is plain to see that you have worked very hard on this project and your hard work is appreciated. I wish, however, that our entire neighborhood was consulted i.e., a resolution to this matter as much as the applicant, the Salesian Sisters on 605 Enos Lane and their consultants, especially since we all actually **LIVE** here and have great personal interest in the outcome. I think if we were included in those discussions instead of only gathered together for a review of the conclusion of those meetings, perhaps a true and cohesive resolution would be forthcoming. I also believe the **ENTIRE** neighborhood should have been included in the discussions, since so many of us are impacted negatively by the school and it's activities. Again, however, I appreciate your effort.

We just learned yesterday, that the letters to be included in the Commission's packet to review on this matter, have to be in by today. Therefore, my husband, Andy, is on his way right now with our original copies to be included in the packet. I am attaching our two letters here with this email as well. I want to cover all bases and make sure our letters are not disregarded and are in fact, included in the packet.

Thank you very much,

*Dianne Castellanos*

**763-1842**

300 Enos Lane, Corralitos, CA 95076

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AOL now offers free email to everyone. Find out more about what's free from AOL at [AOL.com](http://AOL.com).

300 Enos lane  
Corralitos, CA 95076  
March 21,2007

County of Santa Cruz, Planning Department  
Planning Commission  
701 Ocean Street  
Santa Cruz, CA 95060  
March 21,2007

Attention: Planning Commission – this letter to be added to the Commissions packet regarding Application 04-0384

Subject: Salesian Sisters' School-Application 04-0384

Dear Planning Commission:

I have lived at 300 Enos Lane for almost 4 years now. We moved into what we thought was a safe and friendly neighborhood.

**Our** History:

Moving to Enos Lane in 2003 with a child on the way we noticed the amount of vehicles traveling on our private rural road to be in excess for the amount of houses on the street and for the amount of students that are going to the private school up the street. I thought it to be dangerous for my family and for my dog. We also noticed the speed in which the cars drove to be unsafe for everyone living on and off Enos Lane especially those living below the school.

In a friendly and neighborly way my wife and I thought we would introduce ourselves to the Nuns at the school and to discuss the speed at which the cars traveled past our house. The first few minutes of our conversation with Sister Maria of the Salesian School could not have been nicer. My wife and I thought how idealic our new life was in Corralitos and what a great neighborhood we moved into, much better than Cupertino. We thought how great it would be when our boy reached school age how he could just go to school right up the street. When we mentioned the amount of cars and the speed at which they traveled to and fi-om the school to Sister Maria the conversation quickly deteriorated. The Sister actually asked us why we hated Catholics so much and why we would want to persecute the Catholic Church. For hundreds of years Catholics have been attacked by people like us. That any pets and wild animals killed by traffic fi-om the school was "Gods will". My wife and I looked at each other in amazement. We only wanted the parents of the students to slow down. Being Catholic ourselves we could not believe what this Nun was saying to us. Immediately a wall went up by the school and we could not get answers from anyone up at the school. We tried repeatedly to talk to someone in charge at the school with no luck. Being new to the neighborhood we slowly introduced

ourselves to other neighbors and we started to ask questions about the school. We soon found out that we were not an isolated case but this was the schools standard operating procedure. Welcome to the neighborhood. The school had been doing this to all our neighbors for years. Almost 30 years now. Unbelievable. Our little home in the country was slowly becoming our unwanted drama.

We started to do some research ourselves and became totally astonished how this school actually became into being and how the county allowed a private business to take control of a neighborhood through lies, deception and faulty premise. Unbelievable. We talked to our neighbors and showed them what we discovered and our beautiful neighborhood is united in our outrage at the way we all have been treated by the **county**, by the school, by planning, by those in power from business and all the way up to the County Supervisor Board Members. The Board of Supervisor member had personal interest in the school back in the 70's and 80's since her (Supervisor Litticoat) children attended the school and now with the current Board of Supervisors Staff whose relatives and children who now attend the school **and** get paid by the school. Planning Dept. personnel also have children who attend this school. Is not there a conflict of interest here?

Please understand that I harbor no ill-will toward the school, its staff, or attendees and have tried to be on fiendly terms with no luck. We have found some of the parents/drivers to be careful and courteous. This has been especially true when planning deadlines or when the county makes its appearance to our neighborhood. Once the county leaves the area the Salesian School commuters revert to their standard operating procedures of dangerous high speed driving and limited carpooling.

Reviewing the history of how the school was established we found it hard to believe the school was even allowed to be built in the first place.

The area in question was denied a building permit because the soil was deemed unsafe. Within several months a new plan was approved to build a Novitiate for no more than 25 persons including staff and faculty. How did this happen so quickly? How did the earth suddenly repair it self and now **it** was safe **to** build?

A Novitiate is essentially a training school for Nuns to learn their vocation. A quiet place Nuns would pray. The Salesians never intended to have a Novitiate in the first place. The facility immediately became a school. The builder new when he broke ground that he was building the Salesian School K-9.

The Salesians sold their property at Cabrillo College and closed their school on Soquel in Aptos. When they got approval to purchase the land off Enos they had every intention of opening a school. Their first deception was to tell their new neighbors they were building a quiet place for Nuns to pray and not to worry about having a school. Their First Lie has now been laid down as the foundation of the Salesian School on Enos lane. Ever since The Salesian School has violated its USE PERMIT over and over again. The Salesian School has no intention **of** ever complying with any USE PERMIT it has been issued or any in the future based on their history.

Since we discovered the all the violations of their USE PERMIT we have become a target of the school, the parents of the students, those with vested interest in the school, and friends of the school.

- We have been spit at
- Have had trash thrown into our yard by School Commuters
- Been yelled at and harassed
- Have had parents trespass onto our property and threaten us. Also had a Salesian parent refuse to leave our deck demanding a confrontation with my pregnant wife.
- We have had a County Sheriff pound on my Front Door at 8 am demanding why I was not walking on my street this morning. Have had the same Sheriff threaten me and my family and try to intimidate me.
- Have had the school lie to us and ignore our request for traffic control.
- Many of the residents have been brushed or hit by School traffic.
- Neighborhood pets have been hit and killed by School Traffic

In March of 2004 the weather finally broke and became nice out. My wife suggested that we should start walking before I go to work to get some exercise and enjoy our rural neighborhood in the mountains. That it would be fun to walk a block down our street with our new boy in his new jogging stroller. How nice. We started walking and by the 4<sup>th</sup> day a County Sheriff stopped me 50 yards from my house and told me I was not allowed to walk down the side of my private road. My road. We were only walking to just the other side of our next door neighbor Bob Porter's house and up Howell Lane. One block was all and on the side of the road. My road. He said he might arrest us for child endangerment. Child Endangerment! How dare him! We talked to our close neighbor **Gary** Smith, Fire Chief and President of the Aptos Chamber of Commerce and he suggested that we stop walking for a while. **So** we stopped. It's very sad that we could not even walk down our own street because school commuters did not want to drive safely up and down our street. I can not walk down the side of my own street! My Street! That same week I went out of the state for 4 days to play an Ice Hockey Tournament and arrived home Monday morning at 3 am after driving 10 hours. At 8 am I hear someone banging on my front door and there was a Uniformed County Sheriff waving a letter in my face and asking why I was not walking this morning. This is nearly a week since we stopped walking. First of all it is none of his business whether I **am** going to walk or not. The letter was a slanderous and fictitious letter from a Salesian Parent stating that I was walking down the middle of road essentially playing chicken with my son in his stroller. How could I? I was out of town! Why would I? I love my Son more than anything. The Sheriffs friend attended the school and had him try an intimidate me. The Sheriff who threatened me was stationed in Scotts Valley and he drove all the way down to my house to hassle me? How dare him. I asked him why he came all the way down here and he told me his coverage is the entire county and for me to be quiet and mind what he said. **How** dare he threaten me? I love my son more than anything and I will do anything to protect his safety from anyone especially a rouge Uniformed Sheriff. The Sheriff actually came to my house and told me to watch myself. Next time he was going to take me in. For

What!? We immediately called our neighbors to document his actions and quickly we had a group of neighbors in front of my house trying to defuse a rouge sheriff from his Gestapo like tactics. Who did he **think** he is? Who do they **think** they are to be able to do this? This is not NAZI Germany 1941! We notified Ellen Piere, the then Head Sheriff Mark Tracy and others of his actions. We tried to file an incident report but the sheriffs department refused to do **so**. Refused! Why?

One Sheriff who has become a **so** called buffer between the neighborhood and the school, **Sgt.** Slanick told us to document everything and to take pictures of any unusual activities.

One evening I was coming home from work and noticed a car driving at a high rate of speed up Hames and cut in front of me driving up Enos in excess of 50 mph. I quickly lost him but I went up the street anyway past my house to see if it was a School commuter. I could not fathom someone driving that fast up our road because he was late for an after school function. The car in question turned into the Salesian School. When I drove up to the Salesian School I noticed over a hundred plus cars parked all over the place and several hundred people and children having some kind of event at the school. I went home and grabbed my camera as instructed by the Sheriff and took pictures of the large gathering of vehicles. Since I was noticed driving by the Nuns they said that I was most likely taking pictures of the children and might be a pedophile. How dare them! I was doing what I was instructed to do by the Sheriffs department and get accused of being a pedophile. **Sgt** Slanick can testify to this incident.

In the first three short years the Nuns have had parents point and yell at us. Have had a Sheriff threaten me and my family, accuse me of being a child abuser, a bad father, a pedophile, a catholic hater and it keeps going. Unwanted letters **from** Salesian parents such as **Dr.** Albright asking us why we don't wave at him in his over crowded Porsche. Wave? Had a Salesian parent actually threaten my pregnant wife and refuse to get off our property. Yes he did. We have had just about every school commuter yell at me and my family if we are standing outside of our house waving and trying to communicate to us in their own way. Why can't we be just left alone? Do we have to move? Some of the School traffic actually makes a point of gunning their engines **so** I can hear it. We have tried to have the Sheriff department and the California Highway Patrol enforce the posted speed limit of 15 MPH with no luck. Both agencies refuse to do **so**. The Sheriffs department will try and intimidate me and threaten me but will not assist the neighborhood in curbing the schools speeders who endanger all the residents in the area. The Sheriffs Dept sit and hand out traffic tickets like candy on Soquel Drive in Aptos where the speed drops **from** 35 to 25 on a FOUR LANE ROAD yet refuse to do anything here on **M Y** little country road where the speed limit is 15 mph. But when it come to walking down MY road they feel like they can harass me.

Soon after we moved to the community we attempted to go to church at Holy Eucharist in Corralitos to be a part of the community. We even had our son baptized there. Again it seemed like an ideal church in the country. Soon after the Sheriff incident we started to notice that Salesian parents of the students who went to Holy Eucharist were pointing us out. We were quickly getting a feeling of being unwelcome. We have stopped attending

Holy Eucharist. The Nuns are telling the parents one story, telling the Planning Department another story and their neighbors in Corralitos yet another.

When are the lies and Gestapo like tactics of the school, and their friends going to stop? They are not going to stop until they get their way, until they are gone or we are gone. They have no reason to stop since it has worked in their favor for **30** years. It is how they operate. The Salesian School has gotten a taste of the money and has gotten greedy. They have lost their way. What happened to helping the poor children? Why do they, a single resident on Enos be able to cause so much havoc? Just because we caught the School, the Board of Supervisors and others in a huge lie why do we **as** a neighborhood have to pay a price?

The neighborhood is too small and unsafe to have a school in its present location. The school has to be relocated and or closed and the land it sits on returned to its prior agricultural state. The School has never abided by its USE PERMIT from day one and for the Salesians to be given another pass would be a crime against the happiness and well being of the Enos Lane Neighborhood.

APN 107-571-01 a.k.a. The Salesian School is not an appropriate location for a school for many reasons, not the least of which is the obvious lack of adequate access. In fact, if this currently permitted 125-student school was to be proposed for this location **as** a new project today, it would likely be denied, in large part due to its single, narrow, windy, 3500-foot-long access road through a rural residential neighborhood, lack of a secondary access road and lack of adequate safety. County staff is now recommending approval of a 100% expansion in enrollment of this very same project with no significant improvement to access and without mitigations that would effectively address the project's impacts. The recommendation is solely based on facts by consultants hired by the Salesian School just like from day one. The traffic counts, the Civil engineers, and consultants of local businesses are all hired by the Salesian School. Has any member of planning ever called or attempted to contact me about how any school expansion would affect me and my neighborhood? Not at all. Do they accept our accurate traffic counts **as** valid? No. This makes no sense. It makes even less sense given the school's long history of consistent non-compliance with its County Use Permit. I asked to be a member of a committee headed by Ellen Pirie which included only one member who was not a GOVT employee who actually lived on ENOS lane. Only two members **of** the Committee lived on ENOS. I wanted to be the third but Ellen Pirie said that she wanted me to take a back seat to the situation. Back Seat? This is **MY ROAD**. The committee actually included the man who wrote me letters about waving to him and his overcrowded car. The committee was filled with County Employees and ex-employees and just about everyone on the committee had either gone, worked, had children or had wives teach or work at the Salesian School. Wow, that was one stacked committee.

County approval of this project would also be extremely inconsistent with the permit denials and severe restrictions placed by the County on far more modest projects proposed by nearby residents. Even simple lot splits require higher standards than those proposed for this large project. If there is any reasonable basis for County zoning and

development standards, there can be no rational justification for approval of a 100% expansion in enrollment for this school. I do not believe that it is appropriate for the County to allow any expansion in student enrollment at a school that lacks an adequate and appropriate access road. If any action should take place let the school abide by the first USE PERMIT 78-323-U where as a maximum of 90 students and carpooling limit of 25 cars per day and a secondary access road. Let them comply for the same amount of years they have been out of compliance. There is no rational basis for County to allow any expansion without first talking to the home owners who would be directly affected. Why does the Salesian Sister School get a free pass? Why does a business get a pass for over 30 years? Who are they paying to get such a pass? Lots of questions I see unanswered.

My poor neighbors Marilyn and Jake Head had endured the wrath of the Salesian School for 30 years now. At the meeting we attended with Supervisor Pirie, Burns and Adams Mrs. Head stated that when she moved her to Enos Lane to enjoy the country and to live out the golden years of her life with her husband but since the Salesian sisters moved in their life has been filled with turmoil. How sad. They we opposed to the Salesians moving in like everyone else in the neighborhood. Marilyn and Jake Head have told Planning and the Board of Supervisors for 30 years now but no one will listen.

Why doesn't Planning ask the Neighbors on Enos, upper and lower, personally what we want?

After all this history over the past four years I will not give up one square inch of my land to the owner of 605 Enos Lane, whoever they are. I have asked who the owner of 605 Enos lane is and no one seems to know who it is.

The County Requires the school that **the establishment, maintenance or operation of the use or building will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of the proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.**

The Salesian School has become detrimental to the health, safety, peace, morals, comfort and general welfare of me and my family.

Sincerely,

Andrew Fidandis  
300 Enos Lane  
Corralitos, CA 95076

300 Enos lane  
Corralitos, CA 95076  
March 21,2007

County of Santa Cruz, Planning Department  
Planning Commission  
701 Ocean Street  
Santa Cruz, CA 95060  
March 21,2007

Attention: Planning Commission – this letter to be added to the Commissions packet regarding Application **04-0384**

Subject: Salesian Sisters' School-Application **04-0384**

Dear Planning Commission:

I have lived at 300 Enos Lane almost four years now. I understand that to most, four years would not be considered a very long time, but considering the events that have surrounded my home since moving to this neighborhood, sometimes it seems like a lifetime. That is, a lifetime of duress due to the nuisance deriving from our neighbors the “Salesian Sisters” at 605 Enos Lane and the business they run. These neighbors of mine, the “Salesian Sisters” may have a few women reside there for a period of time, but they are actually all “temporary residents” with a Provincial in Texas.

My husband and I on the other hand worked very hard for many years striving for the day we would start a family and buy a home in a safe, private neighborhood where we could set down roots and whereby our children could thrive. Moving here was a big event for us. I was with-child and not only new to the neighborhood, but new to the state of California. I was very much looking forward to moving to what I thought would be a progressive and intelligent state whereby we could all grow according to our dreams and our US Civil Rights as citizens of this great **country** of ours, i.e., safe, free and pursuing our happiness.

We spent a lot of money purchasing our home, we pay a lot of taxes for it and we planned on spending even more money on future renovations to improve our quality of life and that of our neighborhood. We looked forward to being a vibrant part of our community. Instead, sadly, what I have found here due to the shocking behaviors of the “Salesian Sisters”, the administrators of the businesses being run there and by many of their patrons, resembles more WWII Germany, circa **1933 – 1942** or Selma, Alabama circa **1965**. Honestly, we have been so maliciously targeted by them for solely expecting them to adhere to the law like everyone else is expected to do and to drive courteously on our road, that I have felt that burning cross on my front lawn or that yellow star on my lapel for almost four years now. It is heartbreaking. Our privacy has been completely removed by them and personal rights trampled on. They have made our dream home into a living nightmare with sleepless nights and fear. The following is a short history.

During the summer of 2003, while they were conducting their summer camp with an illegal number of campers (their permit is for 20-30 girls bussed in varied segments and 1 retreat – not hundreds of day campers and dozens of children sleeping over in classrooms called “bungalows”), I called to inquire about their traffic plan. By that time, I had already been run off the road several times while pregnant and walking my dog and at several different times of the day. I’d also been cursed at to get off the road by parents picking up their children. That’s right, told to get off *MY* road with expletives. I, at that time counted literally hundreds of cars daily commuting to and from the school from 6am until 9pm, 7 days a week. My phone call was not well received. My husband and I paid a visit in person to get acquainted hoping they would welcome us and perhaps invite us to participate in a resolution to the problem. Instead we were lied to by a “Sister” Maria there and accused of persecution for simply requesting information. Left puzzled, I then made several telephone calls to the principle, Ms. Greer, leaving detailed messages. She returned not one of my calls. I was only called once, by the school secretary, who called just to harass me by pompously reiterating that the principle, Ms Greer, was in Texas and not available to return my call. Again, I was left puzzled by this bizarre behavior. I then spoke finally with the Mother Superior, “Sister Theresa”, and invited her over to my home several times for coffee and to talk about a solution. She was always very pleasant and agreed to my invitation yet then never returned a phone call or came over to my house! I really was beginning to wonder about the women up there and at first just attributed it to old age. We then also inquired if there was anyone on site to discuss this situation, yet was told there was no one on site at the school (with all those children there every day) responsible for the facility. Therefore, after no attempt was made by the principle or by the Mother Superior of the “residence” to discuss this situation with me and since there was no possibility for discussion with anyone on site, needless to say, I became very concerned. I called the Diocese of Monterey for help. That is where I was told that the “Salesian Sisters” up the street **from** me have absolutely no affiliation whatsoever with the Diocese of Monterey\*. I was also told that they are aware of the many problems plaguing the “Salesian Sisters” up on my road. I was told that they have received many complaints in the past and I was advised to call the County Supervisor’s Office, County Planning Office, Santa Cruz County Board of Education and the Sheriffs Office. Yes, the Diocese of Monterey evidently knew there was a problem and tried to steer me in the right direction, to which I **am** very grateful.

It was only through reading the pages in the Planning Department that I came to see that the women owning the property at 605 Enos Lane have been terrorizing my neighborhood for years. They have been utilizing Mafia-like power, infiltrating high ranking officials in local and county government whose child may be enrolled, manipulating the truth, deceiving the public, the County officials, County Planning and the neighbors with their true plans for the property since they initially purchased it. They use intimidation and bullying tactics to quell any resistance to their plan, no matter how old or fi-ail their opponent here in our neighborhood.

They bought the property and requested a permit for a novitiate. The neighbors were concerned but agreed to that thinking it would be a quiet retreat for young girls to contemplate, never knowing that their builder would attempt to manipulate a right of way into the county plans that never existed before. Funny how just a couple months after the building was finished, they decided to apply for a camp/school permit. What, no

vocations that year? They just *happened* to build a home that could function as a school? If you look at the attached document I copied off their official website today (notice the date stamp), you can read for yourself how they intended to build a school first, all the while making a mockery of the Planning Department and lying to the neighbors\*. The neighbors objected yet were bullied. The Planning Department hearings were dominated by the "Salesian Sisters" creating drama in the chamber. They had a parade of children testifying on how they *loved* their teacher "sister *so* and *so*", as if that should matter one bit! They made the Planning hearing into a carnival and exposed children to what I would consider abuse. They *used* those children for their own personal benefit. They used the parents as well by getting them all riled up with the same rhetoric and absurd petitions signed by people that didn't even live in the vicinity to make a numbers game for the hearing. It ~~was~~ nothing more than an absurd show, one which I wouldn't put it past them to ~~try~~ and repeat again here with us. Abusing their power and warping parents' perceptions of the truth to their plan seems to be part of their agenda. Again, I find their business morals and ethics *so* bad that it is truly revolting to me. Nonetheless, the Planning department granted a **temporary permit with strict guidelines**. When their year was up and permit renewal was due, the Planning department found that virtually none of the guidelines were adhered to and the Planning Department did the right thing: **they denied their permit. I reiterate the Planning Department at that time did the right thing: they denied their permit.** The "Salesian Sisters" appealed to the Board of Supervisors whereby Ms. Liddicoat should have abstained since she had personal interest in the school; evidently her child was enrolled there. Instead, not only did Liddicoat participate, but eliminated the necessity of a secondary access road among other provisions that call into question the very legality of their existing permit to date. I wonder if the Insurance Commissioner or their Insurance Carrier was ever notified that there was to be no emergency access road for the children and staff at the school. Was the Health Department notified for an inspection? I don't think *so*. Also, there is a little thing called FIRE SAFETY. It is not a matter of IF there is a fire; it is a matter of WHEN there will be fire. When there is a fire, it will burn fast there since the school is built on an area designated as an extreme fire hazard. In my opinion, it is tantamount to child abuse keeping children closed up on that hill the way they do with no way out in an emergency. They are literally playing with fire, playing with the lives in their care and playing with the lives and property of every single person residing on our lane. Even if they receive now a Fire Safety permit whereby the children wait, bunkered down in **an** oven-like atmosphere, who will the county employ to keep the school parents off our lane who are desperately trying to reach their children? Thus, again, the Salesian Sisters and their HOME BASED BUSINESS have become nothing more than a nuisance. I can promise that when that dreaded day comes, if one hair on my son's head is injured, or an inch of our property damaged, there will be billions of dollars in retribution sought. I will dig **from** the culprits at the very beginning of this mess all the way through government agencies responsible. I will dig through the "Salesians", the Catholic Church, their insurance carrier and even the clients of the school who knowingly break the law daily by driving up our lane whilst over the number limit and possibly blocking an emergency vehicle or exit route.

Once I contacted Supervisor Pirie's office concerning this situation, the principle at the "Salesian Sisters" school began a malicious and irresponsible campaign against me

personally. I have many documented occasions of her malicious attacks. Because of her false witness against her neighbor – me, to her clients the parents, people with whom I am a complete stranger, I have been spit at by parents while pregnant and getting my mail; I have had trash thrown at me by parents while walking in front of my home; I have been cursed at by parents; yelled at by parents; stared at by parents; had harassing letters written to me by parents – complete strangers mind you; my dog was mysteriously poisoned... and the list goes on. These are the odd, shocking, strange and scary behaviors of the “Salesian Sisters” school towards my family, and me solely after questioning their traffic numbers and speeding. It has been a horrific ordeal. I was made aware that she was upset because she was attempting to obtain a permit for a new auditorium for the property to allow interscholastic sporting events. Perhaps my timing put a monkey wrench in her plan and she took it out on me personally. One would have thought the responsible thing would instead have wanted to begin attempts at compliance. That is what any other responsible honest, ethical and forthright business would be expected to do. I do understand that perhaps now, there is new management, but if the Planning Department just looks at the facts – the facts that none, yes NONE of the conditions they have ever put forth on my neighbors for their home based business in my rural residential neighborhood have ever been complied to, then if all fairness to the citizens of Santa Cruz and to the thousands of businesses here that DO have to comply to the rules and regulations of the Planning Department, one would **think** that Planning would again do the RIGHT THING and deny their amended permit.

They are making a mockery of the County Planning Department without a shred of respect. They may **attempt** to carpool in the morning, but they never comply and have many drivers over the speed limit of 15 MPH. The student pick-ups start at 11:15. This goes on all day long from 11:15 until about 5:30 our road is busy with cars picking up children from school. There are vans; SUV's even a Hummer picking up one or maybe two students at a time. There has **NEVER** been an afternoon “busy hour” of carpooling in the past years that I have observed. I believe that without a physical restraint, such as a gate at the entrance of our lane and the use of their own private entrance, there will never be compliance. Whilst using our private road in which my property line runs 8 feet into the center, irony is that there is no way of enforcing the traffic numbers or speed since the Sheriff can't come onto our private road to help us! Also, without notifying the neighbors OR the Planning Department, they have additional after school, interscholastic sporting events with a small league of private schools. I **am** sure that point was concealed to you whilst making the review for an amended permit. They also have many other events in the evening and weekends that they do not make public or place on their agenda noted by Planning. They again are conducting business in the same deceitful, secretive, false and ethically immoral way that they have for the past almost 30 years.

I do NOT know why now the Planning Department would take it upon themselves, **with our tax dollars**, to devise a working business plan for them. Could anyone provide me of a list of other businesses that Planning would do the same for? If one does not want to accept the fact that the “Salesian Sisters” have deliberately manipulated the Planning Department and their neighbors with false statements regarding their business intentions, then one must conclude that they are completely incompetent and unable to run a safe, trustworthy and lawful business. They are NOT forthright on any issue I have

observed to date and it is NOT the responsibility of the neighborhood to repair their incompetence in running their business. I certainly will NOT allow them to have one inch of our property. They cannot have it both ways i.e., they want to be recognized as a residence in our rural residential neighborhood, yet they want to run a bonified institution right here in my backyard! They are not running a small home based business. If their home based business is doing *so* well that they want to enroll 250 students or more (i.e. almost three times their present permit), have interscholastic sports, build an auditorium, etc, etc, well that's just great! They could simply save us this drama and instead simply do what thousands of other home based businesses in this area have done in the same situation – look for a place to move the business that accommodates their function – in a place zoned for business and with adequate public streets and safety measures. Where would Apple be if they remained in their home garage? This area has become famous around the world for home based business becoming successful – *and moving on!* Wow, doesn't that seem simple? They may covet their neighbor's land, but they can't have it.

They have paid a lot of good money for consultants it seems at this juncture. I must say, that a good consultant may have instead told them to save their money, and realize that they have run an illegal business for almost **30** years and made millions of dollars doing it. They made their money while running over the backs of the meek and elderly in their neighborhood that never wanted them to have a school here in the first place – and perhaps now it's time to close the door and move on to a place better suited for their purposes. The “good old boy network” is gone, (or should be gone) and now **we expect transparency**. Because of the past infractions, I will expect complete transparency in the County's Planning Department concerning this issue, to include the names of anyone working on this project that may have a personal agenda or personal interest in it. Transparency also in the parents of students at the school that any hold government position in Santa Cruz County, Watsonville and other local government officials and/or employees that may be putting on pressure concerning this issue where they shouldn't be. There is a new breed of savvy owner entering this neighborhood and we are paying a lot **of** money for our privacy and rights – ALL our rights. We would be hard pressed to allow our civil rights to be trampled on.

We care about our environment as well and it is well noted here that the traffic and school noise depletes the number of wildlife we have in our neighborhood. The noise and traffic from the school has become toxic to us and the wildlife here just runs **from** it – if it can. Remember, our neighborhood lies within the Monterey Sanctuary. Yet, here, I have witnessed school traffic run over small animals **and** salamanders in the lane here right in front of my house! I know home owners here in our neighborhood that have lost pets due to the school traffic and have had children that have almost been hit while simply walking to catch the school bus. I have two cats and a three year old boy that I worry about every day because of the school traffic.

A suggestion for the Salesian Sisters is they can use the existing property as a retirement home for their aged or impaired if not as a Novitiate, **as** originally stated. There seems to be a need for a retirement home according to the Texas Provincial's website. Why would they be willing to spend millions of dollars for another **30** students? The tuition for an additional **30** students wouldn't most likely cover the cost of complying with the conditions set forth for an amended permit. Is there something in Planning to do with the number 250 that we need to know about? Why the magic

number 250? What exact plans are there for a new auditorium and interscholastic sporting events? If that became a reality, it would be completely intolerable and at the same time unenforceable! Regarding our road, again, the ONLY way to have the Salesian Sisters residents and their clients comply with ANY of your conditions would be to implement a physical barrier such as a gate at the entrance and they could use Enos Lane as their emergency access!

You, the Planning Commission members, must please do the right thing here and deny the amended permit. You should make them re-file for a new permit of 90 students since they have never complied with their original. You should require them to re-pave and recondition our road due to almost **30** years of illegal use and abuse with countless vehicle usage. You must do this NOW so the parents can enroll their children in a good school for the fall. Bradley and Rio Del Mar have some of the highest test scores in the nation and Bradley is within walking distance to the Salesian Sisters school! That's right, with some of the highest test scores in the NATION to boot!

Planning should definitely NOT be involved in helping build such a business. They cannot be trusted to ever comply with any safety standards you in the Planning Department put in place and they have become nothing more than a big nuisance. They have not shown good form or business practice in the past and have never complied for any steady period of time in the past almost 30 years. Planning does not treat other businesses with kid gloves and I would not expect Planning to extend any favorable opinions upon a business that so blatantly disregards Planning's standards on a daily basis to date.

We want a safe and free place to live, which is guaranteed us by the Constitution of the United States. Brilliant minds agree and understand this concept and, in fact, it should always be enforced. *That* is what my husband and I are all about. That is also what we, *along* with our good neighbors here in our little neighborhood on Enos Lane are all about. That is the kind of partnership we are asking of the Planning Department to provide. Please, help us. Just do the right thing, again, deny their request. They cannot be trusted to comply, there is no legitimate enforcement available and we have the right to live in peace and privacy on our own land, in our own home.

Sincerely,

Dianne Castellanos

\*Attachments, two.

From: PLN AgendaMail  
Sent: Tuesday, March 20, 2007 10:58 AM  
To: PLN AgendaMail  
Subject: Agenda Comments

rec 3/20/07

**Meeting Type** : Planning Commission

**Meeting Date** : 3/28/2007

**Item Number** : 10.00

**Name** : Michael & Laurie Groves

**Email** : groves@emcplanning.com

**Address** : 342 Enos Lane  
Corralitos

**Phone** : 831-595-0216

**Comments** :  
March 20, 2007

Santa Cruz County Planning Commission  
Santa Cruz County Board of Supervisors

Re: Salesian School Use Permit (#04-0384), Corralitos, CA

Dear Planning Commissioners and Supervisors;

We are residents of Enos Lane (342) and support the Salesian School's Use Permit revisions to increase the school's capacity to a maximum of 250 K-8 students, including the County's right to monitor the permit. However, I do not support over-burdensome and costly conditions of approval that include improvements to the road that are not necessarily supported by the entire community.

We request you support the Salesian School Use Permit as described by staff, with the following modifications to conditions of approval:

- ? Remove the requirement to increase the road width to 24' in the first 40 feet of length from Hames Road;
- ? Remove the requirement for a pedestrian pathway, unless it can be achieved within the existing right-of-way, or if the existing property owners are willing to dedicate land along the existing roadway to achieve a separated path. I do not support the County using condemnation proceedings to achieve this condition;
- ? Increase timeframes for compliance of conditions regarding physical improvements to twenty-four to thirty-six months. This allows time for fund raising, plan preparation, County approvals, construction bidding, construction and inspection;
- ? Make County determination of compliance to carpooling program by the end of the first year for the beginning of the third year, and on-going reviews at the end of each school year for two years in advance. This allows for better school enrollment planning and, at the same time, the County has continuous monitoring for 5 years; and

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3/21/2007

? Modify Health Department requirement for septic system improvements to comply with best practices for septic system maintenance. The system was already approved for up to 250 students. The condition should focus on semi-annual maintenance.

It is not economically feasible to operate a **K-8** school with 125 students, and still make this quality of education affordable to a wide population. Further, being required to make physical improvements that are estimated to range between 1.5 and 2.0 million dollars places an unrealistic and unachievable burden on the school. The school has already spent over \$300,000 to date to amend this use permit. Lastly, the timeframe in which the county is conditioning the amended permit to make physical improvements is too short. The school will be required to raise funds for these dollars and that will take time, then improvement plans must be prepared and approved by the County, permits issued, contractors selected, and construction completed and inspected. Please modify the conditions of approval to be less burdensome on the Salesian School.

Thank you for your consideration of support for these requests for the Salesian School amended use permit and the requested modified conditions of approval.

Sincerely,  
Michael & Laurie Groves  
342 Enos Lane

cc:  
Tom Burns, Santa Cruz Planning Director  
Randall Adams, Santa Cruz Planning Department  
Dennis Kehoe, Attorney  
Andrew Kreeft, Salesian Neighborhood Committee  
Barbara Smith, Salesian School

300 Enos lane  
Corralitos, CA 95076  
March 21, 2007

County of ~~Santa~~ Cruz, Planning Department  
Planning Commission  
701 Ocean Street  
~~Santa~~ Cruz, CA 95060  
March 21, 2007

Attention: Planning Commission – this letter to be added to the Commissions packet regarding Application **04-0384**

Subject: Salesian Sisters' School-Application **04-0384**

Dear Planning Commission:

I have lived at 300 Enos Lane almost four years now. I understand that to most, four years would not be considered a very long time, but considering the events that have surrounded my home since moving to this neighborhood, sometimes it seems like a lifetime. That is, a lifetime of duress due to the nuisance deriving from our neighbors the “Salesian Sisters” at 605 Enos Lane and the business they run. These neighbors of mine, the “Salesian Sisters” may have a few women reside there for a period of time, but they are actually all “temporary residents” with a Provincial in Texas.

My husband and I on the other hand worked very hard for many years striving for the day we would start a family and buy a home in a safe, private neighborhood where we could set down roots and whereby our children could thrive. Moving here was a big event for us. I was with-child and not only new to the neighborhood, but new to the state of California. I ~~was~~ very much looking forward to moving to what I thought would be a progressive and intelligent state whereby we could all grow according to our dreams and our US Civil Rights as citizens of this great country of ours, i.e., safe, free and pursuing our happiness.

We spent a lot of money purchasing our home, we pay a lot of taxes for it and we planned on spending even more money on future renovations to improve our quality of life and that of our neighborhood. We looked forward to being a vibrant part of our community. Instead, sadly, what I have found here due to the shocking behaviors of the “Salesian Sisters”, the administrators of the businesses being run there and by many of their patrons, resembles more WWII Germany, circa 1933 – 1942 or Selma, Alabama circa 1965. Honestly, we have been so maliciously targeted by them for solely expecting them to adhere to the law like everyone else is expected to do and to drive courteously on our road, that I have felt that burning cross on my front lawn or that yellow star on my lapel for almost four years now. It is heartbreaking. **Our** privacy has been completely removed by them and personal rights trampled on. They have made our dream home into a living nightmare with sleepless nights and fear. The following is a short history.

During the summer of 2003, while they were conducting their summer camp with an illegal number of campers (their permit is for 20-30 girls bussed in varied segments and 1 retreat – not hundreds of day campers and dozens of children sleeping over in classrooms called “bungalows”), I called to inquire about their traffic plan. By that time, I had already been run off the road several times while pregnant and walking my dog and at several different times of the day. I’d also been cursed at to get off the road by parents picking up their children. That’s right, told to get off MY road with expletives. I, at that time counted literally hundreds of cars daily commuting to and **from** the school from 6am until 9pm, 7 days a week. My phone call was not well received. My husband and I paid a visit in person to get acquainted hoping they would welcome us and perhaps invite us to participate in a resolution to the problem. Instead we were lied to by a “Sister” Maria there and accused of persecution for simply requesting information. Left puzzled, I then made several telephone calls to the principle, Ms. Greer, leaving detailed messages. She returned not one of my calls. I was only called once, by the school secretary, who called just to harass me by pompously reiterating that the principle, Ms Greer, was in Texas and not available to return my call. Again, I was left puzzled by this bizarre behavior. I then spoke finally with the Mother Superior, “Sister Theresa”, and invited her over to my home several times for coffee and to talk about a solution. She was always very pleasant and agreed to my invitation yet then never returned a phone call or came over to my house! I really was beginning to wonder about the women up there and at first just attributed it to old age. We then also inquired if there was anyone on site to discuss this situation, yet was told there was no one on site at the school (with all those children there every day) responsible for the facility. Therefore, after no attempt was made by the principle or by the Mother Superior of the “residence” to discuss this situation with me and since there was no possibility for discussion with anyone on site, needless to say, I became very concerned. I called the Diocese of Monterey for help. That is where I was told that the “Salesian Sisters” up the street **from** me have absolutely no affiliation whatsoever with the Diocese of Monterey\*. I **was** also told that they are aware of the many problems plaguing the “Salesian Sisters” up on my road. I was told that they have received many complaints in the past and I was advised to call the County Supervisor’s Office, County Planning Office, Santa Cruz County Board of Education and the Sheriff’s Office. Yes, the Diocese of Monterey evidently knew there was a problem and tried to steer me in the right direction, to which I am very grateful.

It was **only** through reading the pages in the Planning Department that I came to see that the women owning the property at **605** Enos Lane have been terrorizing my neighborhood for years. They have been utilizing Mafia-like power, infiltrating high ranking officials in local and county government whose child may be enrolled, manipulating the **truth**, deceiving the public, the County officials, County Planning and the neighbors with their true plans for the property since they initially purchased it. They use intimidation and bullying tactics to quell any resistance to their plan, no matter how old or frail their opponent here in our neighborhood.

They bought the property and requested a permit for a novitiate. The neighbors were concerned but agreed to that thinking it would be a quiet retreat for young girls to contemplate, never knowing that their builder would attempt to manipulate a right of way into the county plans that never existed before. Funny how just a couple months after the building was finished, they decided to apply for a camp/school permit. What, no

vocations that year? They just *happened* to build a home that could function as a school? If you look at the attached document I copied off their official website today (notice the date stamp), you can read for yourself how they intended to build a school first, all the while making a mockery of the Planning Department and lying to the neighbors\*. The neighbors objected yet were bullied. The Planning Department hearings were dominated by the "Salesian Sisters" creating drama in the chamber. They had a parade of children testifying on how they *loved* their teacher "sister so and so", **as** if that should matter one bit! They made the Planning hearing into a carnival and exposed children to what I would consider abuse. They *used* those children for their own personal benefit. They used the parents **as** well by getting them all riled up with the Same rhetoric and absurd petitions signed by people that didn't even live in the vicinity to make a numbers game for the hearing. It was nothing more than an absurd show, one which I wouldn't put it past them to **try** and repeat again here with us. Abusing their power and warping parents' perceptions of the truth to their plan seems to be part of their agenda. Again, I find their business morals and ethics so bad that it is truly revolting to me. Nonetheless, the Planning department granted a **temporary permit with strict guidelines**. When their year was up and permit renewal was due, the Planning department found that virtually none of the guidelines were adhered to and the Planning Department did the right thing: **they denied their permit. I reiterate the Planning Department at that time did the right thing; they denied their permit.** The "Salesian Sisters" appealed to the Board of Supervisors whereby Ms. Liddicoat should have abstained since she had personal interest in the school; evidently her child was enrolled there. Instead, not only did Liddicoat participate, but eliminated the necessity of a secondary access road among other provisions that call into question the very legality of their existing permit to date. I wonder if the Insurance Commissioner or their Insurance Carrier was ever notified that there was to be no emergency access road for the children and staff at the school. Was the Health Department notified for an inspection? I don't think so. Also, there is a little thing called FIRE SAFETY. It is not a matter of IF there is a fire; it is a matter of WHEN there will be fire. When there is a fire, it will burn fast there since the school is built on an area designated **as** an extreme fire hazard. In my opinion, it is tantamount to child abuse keeping children closed up on that hill the way they do with no way out in an emergency. They are literally playing with fire, playing with the lives in their care and playing with the lives and property of every single person residing on our lane. Even if they receive now a Fire Safety permit whereby the children wait, bunkered down in an oven-like atmosphere, who will the county employ to keep the school parents off our lane who are desperately trying to reach their children? Thus, again, the Salesian Sisters and their HOME BASED BUSINESS have become nothing more than a nuisance. I can promise that when that dreaded day comes, if one hair on my son's head is injured, or an inch of our property damaged, there will be billions of dollars in retribution sought. I will dig **from** the culprits at the very beginning of this mess all the way through government agencies responsible. I will dig through the "Salesians", the Catholic Church, their insurance carrier and even the clients of the school who knowingly break the law daily by driving up our lane whilst over the number limit and possibly blocking an emergency vehicle or exit route.

Once I contacted Supervisor Pirie's office concerning this situation, the principle at the "Salesian Sisters" school began a malicious and irresponsible campaign against me

personally. I have many documented occasions of her malicious attacks. Because of her false witness against her neighbor – me, to her clients the parents, people with whom I am a complete stranger, I have been spit at by parents while pregnant and getting my mail; I have had trash thrown at me by parents while walking in front of my home; I have been cursed at by parents; yelled at by parents; stared at by parents; had harassing letters written to me by parents – complete strangers mind you; my dog was mysteriously poisoned... and the list goes on. These are the odd, shocking, strange and scary behaviors of the “Salesian Sisters” school towards my family, and me solely after questioning their traffic numbers and speeding. It has been a horrific ordeal. I was made aware that she was upset because she was attempting to obtain a permit for a new auditorium for the property to allow interscholastic sporting events. Perhaps my timing put a monkey wrench in her plan and she took it out on me personally. One would have thought the responsible thing would instead have wanted to begin attempts at compliance. That is what any other responsible honest, ethical and forthright business would be expected to do. I do understand that perhaps now, there is new management, but if the Planning Department just looks at the facts – the facts that none, yes NONE of the conditions they have ever put forth on my neighbors for their home based business in my rural residential neighborhood have ever been complied to, then if all fairness to the citizens of Santa Cruz and to the thousands of businesses here that DO have to comply to the rules and regulations of the Planning Department, one would think that Planning would *again* do the **RIGHT** THING and deny their amended permit.

They are making a mockery of the County Planning Department without a shred of respect. They may *attempt* to carpool in the morning, but they never comply and have many drivers over the speed limit of 15 MPH. The student pick-ups start at 11:15. This goes on all day long from 11:15 until about 5:30 our road is busy with cars picking up children from school. There are vans; SUV's even a Hummer picking up one or maybe two students at a time. There has **NEVER** been an afternoon “busy hour” of carpooling in the past years that I have observed. I believe that without a physical restraint, such as a gate at the entrance of our lane and the use of their own private entrance, there will never be compliance. Whilst using our private road in which my property line runs 8 feet into the center, irony is that there is no way of enforcing the traffic numbers or speed since the Sheriff can't come onto our private road to help us! Also, without notifying the neighbors OR the Planning Department, they have additional after school, interscholastic sporting events with a small league of private schools. I ~~am~~ sure that point was concealed to you whilst making the review for ~~an~~ amended permit. They also have many other events in the evening and weekends that they do not make public or place on their agenda noted by Planning. They again are conducting business in the same deceitful, secretive, false and ethically **immoral** way that they have for the past almost 30 years.

I do NOT know why now the Planning Department would take it upon themselves, *with our tax dollars*, to devise a working business plan for them. Could anyone provide me of a list of other businesses that Planning would do the same for? If one does not want to accept the fact that the “Salesian Sisters” have deliberately manipulated the Planning Department and their neighbors with false statements regarding their business intentions, then one must conclude that they are completely incompetent and unable to run a safe, trustworthy and lawful business. They are **NOT** forthright on any issue I have

observed to date and it is NOT the responsibility of the neighborhood to repair their incompetence in running their business. I certainly will NOT allow them to have one inch of our property. They cannot have it both ways i.e., they want to be recognized as a residence in our rural residential neighborhood, yet they want to run a bonified institution right here in my backyard! They are not running a small home based business. If their home based business is doing so well that they want to enroll 250 students or more (i.e. almost three times their present permit), have interscholastic sports, build an auditorium, etc, etc, well that's just great! They could simply save us this drama and instead simply do what thousands of other home based businesses in this area have done in the same situation – look for a place to move the business that accommodates their function – in a place zoned for business and with adequate public streets and safety measures. Where would Apple be if they remained in their home garage? This area has become famous around the world for home based business becoming successful – *and moving* on! Wow, doesn't that seem simple? They may covet their neighbor's land, but they can't have it.

They have paid a lot of good money for consultants it seems at this juncture. I must say, that a good consultant may have instead told them to save their money, and realize that they have ~~run~~ an illegal business for almost 30 years and made millions of dollars doing it. They made their money while running over the backs of the meek and elderly in their neighborhood that never wanted them to have a school here in the first place – and perhaps now it's time to close the door and move on to a place better suited for their purposes. The “good old boy network” is gone, (or should be gone) and now **we expect transparency**. Because of the past infractions, I will expect complete transparency in the County's Planning Department concerning this issue, to include the names of anyone working on this project that may have a personal agenda or personal interest in it. Transparency also in the parents of students at the school that any hold government position in Santa Cruz County, Watsonville and other local government officials and/or employees that may be putting on pressure concerning this issue where they shouldn't be. There is a new breed of savvy owner entering this neighborhood and we are paying a lot of money for our privacy and rights – ALL our rights. We would be hard pressed to allow our civil rights to be trampled on.

We care about our environment **as** well and it is well noted here that the traffic and school noise depletes the number of wildlife we have in our neighborhood. The noise and traffic from the school **has** become toxic to us and the wildlife here just ~~runs~~ from it – if it can. Remember, our neighborhood lies within the Monterey Sanctuary. Yet, here, I have witnessed school traffic ~~run~~ over small animals and salamanders in the lane here right in front of my house! I know home owners here in our neighborhood that have lost pets due to the school traffic and have had children that have almost been hit while simply walking to catch the school bus. I have two cats and a three year old boy that I worry about every day because of the school traffic.

A suggestion for the Salesian Sisters is they can use the existing property **as** a retirement home for their aged or impaired if not **as** a Novitiate, **as** originally stated. There seems to be a need for a retirement home according to the Texas Provincial's website. Why would they be willing to spend millions of dollars for another 30 students? The tuition for **an** additional 30 students wouldn't most likely cover the cost of complying with the conditions set forth for **an** amended permit. Is there something in Planning to do with the number 250 that we need to know about? Why the magic

number 250? What exact plans are there for a new auditorium and interscholastic sporting events? If that became a reality, it would be completely intolerable and at the same time unenforceable! Regarding our road, again, the ONLY way to have the Salesian Sisters residents and their clients comply with ANY of your conditions would be to implement a physical barrier such as a gate at the entrance and they could use Enos Lane **as** their emergency access!

You, the Planning Commission members, must please do the right thing here and deny the amended permit. You should make them re-file for a new permit of 90 students since they have never complied with their original. You should require them to re-pave and recondition our road due to almost 30 years of illegal **use** and abuse with countless vehicle usage. You must do this NOW so the parents can enroll their children in a good school for the fall. Bradley and Rio Del **Mar** have some of the highest test scores in the nation and Bradley is within walking distance to the Salesian Sisters school! That's right, with some of the highest test scores in the NATION to boot!

Planning should definitely NOT be involved in helping build such a business. They cannot be trusted to ever comply with any safety standards you in the Planning Department put in place and they have become nothing more than a big nuisance. They have not shown good form or business practice in the past and have never complied for any steady period of time in the past almost 30 years. Planning does not treat other businesses with kid gloves and I would not expect Planning to extend any favorable opinions upon a business that so blatantly disregards Planning's standards on a daily basis to date.

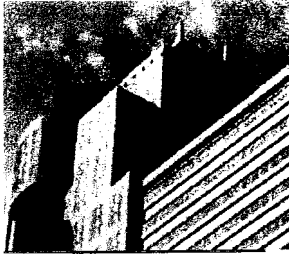
We want a safe and free place to live, which is guaranteed us by the Constitution of the United States. Brilliant minds agree and understand this concept and, in fact, it should always be enforced. That is what my husband and I are all about. That is also what we, **along** with our good neighbors here in our little neighborhood on Enos Lane are all about. That is the kind of partnership we are asking of the Planning Department to provide. Please, help us. Just do the right thing, again, deny their request. They cannot be trusted to comply, there is no legitimate enforcement available and we have the right to live in peace and privacy on our own land, in our own home.

Sincerely,



Dianne Castellanos

\*Attachments, two.



→ Permit amendment Applicant

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**CURRENT PROJECTS**

*Cabrillo College*

SAC

AEC

City of Campbell

Gateway City Church

Moreau Catholic High School

St. Francis High School

Santa Cruz City Schools

La Canada Church

Salesian Sisters School

Village Church

**COMPLETED PROJECTS**

*Cabrillo College*

Horticulture

Watsonville

City of Watsonville RDA

County of Monterey RDA

Evangel Christian Church

Immaculate Conception

Monterey Peninsula College

Mount Hermon Fieldhouse

Pajaro Valley Central Fire

Santa Cruz City Hall

Santa Cruz Fire Dept

Santa Cruz City Schools

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Current Projects

### **Salesian Elementary & Junior High School Corralitos, CA**

#### **Project Description**

Strategic Construction Management, Inc. is assisting the school in expediting a solution for their compliance with county fire and county use permit requirements. As part of the scope of work, Strategic is directing consultant document development for engineering and construction requirements, coordinating neighborhood and parent outreach, and coordinating development of a master plan to assist in the expansion of the Salesian School without issues.

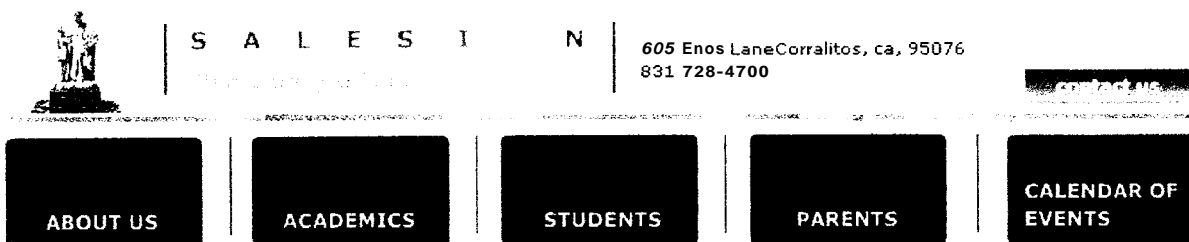
#### **Owner**

Diocese of Monterey ←  
Department of Catholic Schools  
485 Church Street  
Monterey, CA 93942  
831/373-1608

what? - not according to them!

Salesian Elementary & Junior High School  
605 Enos Lane  
Corralitos, CA 95076  
831/728-5518

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## HISTORY OF SALESIAN ELEMENTARY AND JUNIOR HIGH

In **1975**, if you had come up Enos Lane where Salesian Elementary & Junior High School now stands, you would have found nothing but a steep slope, a lot of brush, and a few dilapidated apple trees, remnants of an **old** orchard that dated back to **1883**.

Up to **1975**, the Salesian Sisters of St. John Bosco had owned and occupied the historic Sesnon-Porter home in Aptos, where they ran a high school for candidates and a thriving summer camp. But Cabrillo Community College needed the property for expansion, and the Sisters had to sell. That's when, relying on God's help, they discovered and purchased that hidden-away, undeveloped plot of land in the foothills of Corralitos.

By **1977**, the Sisters, had transformed their scrubby hillside. They had built four multipurpose cabins, a kitchen, and a cafeteria, basketball and tennis courts, a swimming pool, and a playfield. An early-childhood center was established and a summer camp started. Thus, "Mary Help of Christians Youth Center" was born. A convent with living quarters for the Sisters still lay on the drawing board. It was to be the next project.

As people became aware of the Salesian Sisters' presence in Corralitos, and realizing that they were educators whose specific ministry was teaching and other youth work, an increasing number began to urge the Sisters to expand their early childhood center into a full-scale school, pointing out the need for a second Catholic School for the fast-growing population of Pajaro Valley. As a result, the plans for building a Sisters' residence were scrapped, and the Sisters requested and received permission to build a school and chapel in its stead. At first, there was serious talk of establishing a middle school only, but the parents involved would not hear of it. It was finally decided to have a **K-8** school, but to begin with Grades **5** through **8**, plus kinder and Grade **1**, and to fill in the gap year by year. The Sisters would have to wait another **12** years for their convent, but they had the joy of seeing the school building completed and open for business by September **1, 1978**.

This year (**2006-2007**) Salesian School begins its 28th th year of existence. God's blessings, and many sacrifices on the part of the Sisters and lay teachers, as well as of the school's friends and patrons, have brought the school into existence and have kept it going over the years, but the cooperation of all and the accomplishments and spirit of the students have made it all worthwhile.

It has all been a work of love--and a work of love it continues to be.

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300 Enos lane  
Corralitos, CA 95076  
March 21, 2007

County of Santa Cruz, Planning Department  
Planning Commission  
701 Ocean Street  
Santa Cruz, CA 95060  
March 21, 2007

Attention: Planning Commission – this letter to be added to the Commissions packet regarding Application **04-0384**

Subject: Salesian Sisters' School-Application **04-0384**

Dear Planning Commission:

I have lived at 300 Enos Lane for almost **4** years now. We moved into what we thought was a safe and friendly neighborhood.

Our History:

Moving to Enos Lane in **2003** with a child on the way we noticed the amount of vehicles traveling on our private rural road to be in excess for the amount of houses on the street and for the amount of students that are going to the private school up the street. I thought it to be dangerous for my family and for my dog. We also noticed the speed in which the cars drove to be unsafe for everyone living on and off Enos Lane especially those living below the school.

In a friendly and neighborly way my wife and I thought we would introduce ourselves to the Nuns at the school and to discuss the speed at which the cars traveled past our house. The first few minutes of our conversation with Sister Maria of the Salesian School could not have been nicer. My wife and I thought how idealic our new life was in Corralitos and what a great neighborhood we moved into, much better than Cupertino. We thought how great it would be when our boy reached school age how he could just go to school right up the street. When we mentioned the amount of cars and the speed at which they traveled to and from the school to Sister Maria the conversation quickly deteriorated. The Sister actually asked us why we hated Catholics so much and why we would want to persecute the Catholic Church. For hundreds of years Catholics have been attacked by people like us. That any pets and wild animals killed by traffic from the school was "Gods will". My wife and I looked at each other in amazement. We only wanted the parents of the students to slow down. Being Catholic ourselves we could not believe what this Nun was saying to us. Immediately a wall went up by the school and we could not get answers **from** anyone up at the school. We tried repeatedly to talk to someone in charge at the school with no luck. Being new to the neighborhood we slowly introduced

ourselves to other neighbors and we started to ask questions about the school. We soon found out that we were not an isolated case but this was the schools standard operating procedure. Welcome to the neighborhood. The school had been doing this to all our neighbors for years. Almost 30 years now. Unbelievable. Our little home in the country was slowly becoming our unwanted drama.

We started to do some research ourselves and became totally astonished how this school actually became into being and how the county allowed a private business to take control of a neighborhood through lies, deception and faulty premise. Unbelievable. We talked to our neighbors and showed them what we discovered and our beautiful neighborhood is united in our outrage at the way we all have been treated by the county, by the school, by planning, by those in power from business and all the way up to the County Supervisor Board Members. The Board of Supervisor member had personal interest in the school back in the 70's and 80's since her (Supervisor Litticoat) children attended the school and now with the current Board of Supervisors ~~Staff~~ whose relatives and children who now attend the school and get paid by the school. Planning Dept. personnel also have children who attend this school. Is not there a conflict of interest here?

Please understand that I harbor no ill-will toward the school, its staff, or attendees and have tried to be on friendly terms with no luck. We have found some of the parents/drivers to be careful and courteous. This has been especially true when planning deadlines or when the county makes its appearance to our neighborhood. Once the county leaves the area the Salesian School commuters revert to their standard operating procedures of dangerous high speed driving and limited carpooling.

Reviewing the history of how the school was established we found it hard to believe the school was even allowed to be built in the first place.

The area in question was denied a building permit because the soil was deemed unsafe. Within several months a new plan was approved to build a Novitiate for no more than 25 persons including staff and faculty. How did this happen so quickly? How did the earth suddenly repair it self and now it was safe to build?

A Novitiate is essentially a training school for Nuns to learn their vocation. A quiet place Nuns would pray. The Salesians never intended to have a Novitiate in the first place. The facility immediately became a school. The builder new when he broke ground that he was building the Salesian School K-9.

The Salesians sold their property at Cabrillo College and closed their school on Soquel in Aptos. When they got approval to purchase the land off Enos they had every intention of opening a school. Their first deception was to tell their new neighbors they were building a quiet place for Nuns to pray and not to worry about having a school. Their First Lie has now been laid down as the foundation of the Salesian School on Enos lane. Ever since The Salesian School has violated its USE PERMIT over and over again. The Salesian School has no intention of ever complying with any USE PERMIT it has been issued or any in the future based on their history.

Since we discovered the all the violations of their USE PERMIT we have become a target of the school, the parents of the students, those with vested interest in the school, and friends of the school.

- We have been spit at
- Have had trash thrown into our yard by School Commuters
- Been yelled at and harassed
- Have had parents trespass onto our property and threaten us. Also had a Salesian parent refuse to leave our deck demanding a confrontation with my pregnant wife.
- We have had a County Sheriff pound on my Front Door at 8 am demanding why I was not walking on my street this morning. Have had the same Sheriff threaten me and my family and ~~try~~ to intimidate me.
- Have had the school lie to us and ignore our request for traffic control.
- Many of the residents have been brushed or hit by School traffic.
- Neighborhood ~~pets~~ have been hit and killed by School Traffic

In March of 2004 the weather finally broke and became nice out. My wife suggested that we should start walking before I go to work to get some exercise and enjoy our rural neighborhood in the mountains. That it would be fun to walk a block down our street with our new boy in his new jogging stroller. How nice. We started walking and by the 4<sup>th</sup> day a County Sheriff stopped me 50 yards from my house and told me I was not allowed to **walk** down the side of my private road. My road. We were only walking to just the other side of our next door neighbor Bob Porter's house and up Howell Lane. One block was all and on the side of the road. My road. He said he might arrest us for child endangerment. Child Endangerment! How dare him! We talked to our close neighbor ~~Gary~~ Smith, Fire Chief and President of the Aptos Chamber of Commerce and he suggested that we stop walking for a while. So we stopped. It's very sad that we could not even walk down our own street because school commuters did not want to drive safely up and down our street. I can not walk down the side of my own street! My Street! That same week I went out of the state for 4 days to play an Ice Hockey Tournament and arrived home Monday morning at 3 am after driving 10 hours. At 8 am I hear someone banging on my front door and there was a Uniformed County Sheriff waving a letter in my face and asking why I was not walking this morning. This is nearly a week since we stopped walking. First of all it is none of his business whether I **am** going to walk or not. The letter was a slanderous and fictitious letter **from** a Salesian Parent stating that I was walking down the middle of road essentially playing chicken with my son in his stroller. How could I? I was out of town! Why would I? I love my Son more than anything. The Sheriffs friend attended the school and had him ~~try~~ an intimidate me. The Sheriff who threatened me was stationed in Scotts Valley and he drove all the way down to my house to hassle me? How dare him. I asked him why he came all the way down here and he told me his coverage is the entire county and for me to be quiet and mind what he said. How dare he threaten me? I love my son more ~~than~~ anything and I will do anything to protect his safety from anyone especially a rouge Uniformed Sheriff. The Sheriff actually came to my house and told me to watch myself. Next time he was going to take me in. For

What!? We immediately called our neighbors to document his actions and quickly we had a group of neighbors in front of my house trying to defuse a rouge sheriff **from** his Gestapo like tactics. Who did he **think** he is? Who do they think they are to be able to do this? This is not NAZI Germany 1941! We notified Ellen Piere, the then Head Sheriff Mark Tracy and others of his actions. We tried to file an incident report but the sheriffs department refused to do so. Refused! Why?

One Sheriff who has become a so called buffer between the neighborhood and the school, Sgt. Slanick told us to document everything and to take pictures of any unusual activities.

One evening I was coming home from work and noticed a car driving at a high rate of speed up Hames and cut in front of me driving up Enos in excess of 50 mph. I quickly lost him but I went up the street anyway past my house to see if it was a School commuter. I could not fathom someone driving that fast up our road because he was late for an after school function. The car in question turned into the Salesian School. When I drove up to the Salesian School I noticed over a hundred plus cars parked all over the place and several hundred people and children having some kind of event at the school. I went home and grabbed my camera **as** instructed by the Sheriff and took pictures of the large gathering of vehicles. Since I was noticed driving by the Nuns they said that I was most likely taking pictures of the children and might be a pedophile. How dare them! I was doing what I was instructed to do by the Sheriffs department and get accused of being a pedophile. Sgt Slanick can **testify** to this incident.

In the first three short years the **Nuns** have had parents point and yell at us. Have had a Sheriff threaten me and my family, accuse me of being a child abuser, a bad father, a pedophile, a catholic hater and it keeps going. Unwanted letters from Salesian parents such **as** Dr. Albright asking us why we don't wave at him in his over crowded Porsche. Wave? Had a Salesianparent actually threaten my pregnant wife and refuse to get off our property. Yes he did. We have had just about every school commuter yell at me and my family if we are standing outside of our house waving and trying to communicate to us in their own way. Why can't we be just left alone? Do we have to move? Some of the School traffic actually makes a point of gunning their engines so I can hear it. We have tried to have the Sheriff department and the California Highway Patrol enforce the posted speed limit of 15 MPH with no luck. Both agencies refuse to do **so**. The Sheriff's department will **try** and intimidate me and threaten me but will not assist the neighborhood in curbing the schools speeders who endanger all the residents in the area. The Sheriffs Dept sit and hand out traffic tickets like candy on Soquel Drive in Aptos where the speed drops from 35 to 25 on a FOUR LANE ROAD yet refuse to do anything here on MY little country road where the speed limit is 15 mph. But when it come to walking down MY road they feel like they can harass me.

Soon after we moved to the community we attempted to go to church at Holy Eucharist in Corralitos to be a part of the community. We even had our son baptized there. Again it seemed like an ideal church in the country. Soon after the Sheriff incident we started to notice that Salesian parents of the students who went to Holy Eucharist were pointing us out. We were quickly getting a feeling of being unwelcome. We have stopped attending

Holy Eucharist. The Nuns are telling the parents one story, telling the Planning Department another story and their neighbors in Corralitos yet another.

When are the lies and Gestapo like tactics of the school, and their friends going to stop? They are not going to stop until they get their way, until they are gone or we are gone. They have no reason to stop since it has worked in their favor for 30 years. It is how they operate. The Salesian School has gotten a taste of the money and **has** gotten greedy. They have lost their way. What happened to helping the poor children? Why do they, a single resident on Enos be able to cause so much havoc? Just because we caught the School, the Board of Supervisors and others in a huge lie why do we **as** a neighborhood have to pay a price?

The neighborhood is too small and unsafe to have a school in its present location. The school has to be relocated and or closed and the land it sits on returned to its prior agricultural state. The School has never abided by its USE PERMIT from day one and for the Salesians to be given another pass would be a crime against the happiness and well being of the Enos Lane Neighborhood.

APN 107-571-01 a.k.a. The Salesian School is not an appropriate location for a school for many reasons, not the least of which is the obvious lack of adequate access. In fact, if this currently permitted 125-student school was to be proposed for this location as a new project today, it would likely be denied, in large part due to its single, narrow, windy, 3500-foot-long access road through a rural residential neighborhood, lack of a secondary access road and lack of adequate safety. County staff is now recommending approval of a 100% expansion in enrollment of this very same project with no significant improvement to access and without mitigations that would effectively address the project's impacts. The recommendation is solely based on facts by consultants hired by the Salesian School just like from day one. The traffic counts, the Civil engineers, and consultants of local businesses are all hired by the Salesian School. Has any member of planning ever called or attempted to contact me about how any school expansion would affect me and my neighborhood? Not at all. Do they accept our accurate **traffic** counts **as** valid? No. This makes no sense. It makes even less sense given the school's long history of consistent non-compliance with its County Use Permit. I asked to be a member of a committee headed by Ellen Pirie which included only one member who was not a GOVT employee who actually lived on ENOS lane. Only two members of the Committee lived on ENOS. I wanted to be the third but Ellen Pirie said that she wanted me to take a back seat to the situation. Back Seat? This is MY ROAD. The committee actually included the man who wrote me letters about waving to him and his overcrowded car. The committee was filled with County Employees and ex-employees and just about everyone on the committee had either gone, worked, had children or had wives teach or work at the Salesian School. Wow, that was one stacked committee.

County approval of this project would also be extremely inconsistent with the permit denials and severe restrictions placed by the County on far more modest projects proposed by nearby residents. Even simple lot splits require higher standards than those proposed for this large project. If there is any reasonable basis for County zoning and

development standards, there can be no rational justification for approval of a 100% expansion in enrollment for this school. I do not believe that it is appropriate for the County to allow any expansion in student enrollment at a school that lacks an adequate and appropriate access road. If any action should take place let the school abide by the first USE PERMIT 78-323-U where **as** a maximum of 90 students and carpooling limit of 25 cars per day and a secondary access road. Let them comply for the same amount of years they have been out of compliance. There is no rational basis for County to allow any expansion without first talking to the home owners who would be directly affected. Why does the Salesian Sister School get a **free** pass? Why does a business get a pass for over 30 years? Who **are** they paying to get such a pass? Lots of questions I see unanswered.

My poor neighbors Marilyn and Jake Head ~~had~~ endured the wrath of the Salesian School for 30 years now. At the meeting we attended with Supervisor Pirie, Bums and Adams Mrs. Head stated that when she moved her to Enos Lane to enjoy the country and to live out the golden years of her life with her husband but since the Salesian sisters moved in their life has been filled with turmoil. How sad. They we opposed to the Salesians moving in like everyone else in the neighborhood. Marilyn and Jake Head have told Planning and the Board of Supervisors for 30 years now but no one will listen.

Why doesn't Planning **ask** the Neighbors on Enos, upper and lower, personally what we want?

After all this **history** over the past four years I Will not give up one square inch of my land to the owner of 605 Enos Lane, whoever they are. I have asked who the owner of 605 Enos lane is and no one seems to know who it is.

The County Requires the school that **the establishment, maintenance or operation of the use or building will not, under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neieighborhood of the proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.**

The Salesian School has become detrimental to the health, safety, peace, morals, comfort and general welfare of me and my family.

Sincerely,



Andrew Fidandis  
300 Enos Lane  
Corralitos, CA 95076

## Additions to the Staff Report for the Planning Commission

Item 7: 04-0384

Correspondence received since the 3/28/07  
Planning Commission Hearing

April 4, 2007  
25 Enos Lane  
Corralitos, CA  
95076

County of Santa Cruz  
701 Ocean Street Suite 400  
Santa Cruz, CA. 95060

Attention: Planning Dept.  
Tom Burns

RE: Salesian School Application

Gentlemen:

Because I attended the Planning Commission Hearing on March 28th, and heard the many parents speak about how nice the school is and does such good work for the community, I feel I should write again because it was clear that many of the residents of Enos Lane could not attend because they could not take time away from work. So I was very upset to hear a Commissioner state at the end that they were near a compromise because there weren't many residents speaking there opposing the increase in enrollment.

We feel that the school was caught in a very unfortunate situation and are now facing conditions if they want to increase their enrollment. Because we bought our property in 1964, we were aware of the narrow country road and there was no water available. We spent a lot of money to acquire a natural water spring and spent a lot of time keeping the road from washing away. The road served our purpose and that's why we don't understand why the people from Salesians weren't aware of a rural area and the only access was a narrow winding road.

Then the City of Watsonville built their water tank up Enos Lane and in so doing, they paved Enos Lane up to their tank and then houses began to appear.

We were aware that houses would undoubtedly start to be built and it happened. But because we knew the road was not wide enough to warrant a large development, we felt our area could remain the rural area it had always been. The road was wide enough to serve the residents that live here but when the school started increasing enrollment and not paying attention to car-pooling, it became a nightmare to use the road. We had to put in a drive-around driveway because we had too many near misses when we were coming out of our driveway.

We feel it was unfortunate that someone from the Salesians didn't look at the problem of the school in a rural area and make plans accordingly. As a Commissioner stated in 1979, it was something that started that should never have happened and they put conditions on their approval but three conditions were deleted by the supervisors and car-pooling was dropped and enrollment increased.

Now, we hear that the school is being required to widen the road in front of our house and that we should help pay for it because the Salesians can't afford it. First of all, the applicant can't provide proof of where their forty feet ~~sement~~ comes through our property and the road that is here has been used for over one hundred years. It used to be used by horses taking apples to town and even Mrs. Belle Rider used to tell me stories about her trips up that road in a horse and buggy and how bad the road was. Secondly, why should residents be required to help pay for a mistake that was made by the school.

We don't understand why the school should be given permit to continue to add enrollment to a school this large in a rural agricultural area and will change the environment of our area. The safety issue is something to be considered because we have had two fires which were going up hill but with the help of helicopter, it was stopped.

We urge you to look carefully at the concerns of the people who live here and act accordingly.

Respectfully submitted,

*Marilyn Head*

cc: Supervisor Ellen Pirie  
Randall Adams, Planning Dept.

**Randall Adams**

---

From: Code Compliance  
Sent: Wednesday, April 11, 2007 11:57 AM  
To: Randall Adams  
CC: 'GRYWILSON@aol.com'  
**Subject:** FW: Salasian Sisters Right to Pass.R/W

Randall,  
I called Gary about the e-mail below and he stated that he meant for it to go to the Planner because he is concerned that this issue has not been raised. So, here you go.

-Patty  
x3017

-----Original Message-----

From: GRYWILSON@aol.com [mailto:GRYWILSON@aol.com]  
**Sent:** Tuesday, April 10, 2007 2:52 PM  
To: Code Compliance  
Subject: Salasian Sisters Right to Pass.R/W

4/10/07

Planning Dept.

It is a fact that the school is out of compliance.

The interesting thing that has not been discussed. In 1975, Mr. Pybrum a neighbor at the time, drove a tractor/ grader down the now Enos lane. The grader pulled up the property steaks along the Lane. The property was the Tindal property line, north on the right of way from the city of Watsonville's property.

The sharp embankment, and fence line are not the property line. The actual property line is about 7' ft into what is now the road. The steaks are still there in the road.

The Tindals were kind enough to move the fence over with the neighbors help and leave a larger passage for the neighbors cars. I was there.

This along gives the over view a different look, and narrower road, then what's actually there, unless a claim for prescriptive rights are awarded.

The narrowest part of the road, is in reality, narrower!

Yours Truly

Gary Wilson  
724-4609

---

See what's free at [AOL.com](http://AOL.com).

## **Additions to the Staff Report for the Planning Commission**

### **Item 10: 04-0384**

### **Late Correspondence**

3

March 17, 2007  
25 Enos Lane  
Watsonville, CA.  
95076

County of Santa Cruz  
701 Ocean Street 4th Floor  
Santa Cruz, CA 95060

Attn: Tom Burns' Planning Dept

Gentlemen:

Thank you for attending the meeting with Supervisor Ellen Pirie and residents of the Corralitos area.

As you discovered, as did we, there are a number of residents in our area who are concerned with the increase of traffic in our area. It is true that people on Hames Road and Corralitos Road are concerned with a lot more traffic than we are because the parents of students going to school have to go to a place on Corralitos Road or on Hames Road in order to transfer their kids to another vehicle so that they can comply with the County condition of only 47 cars during the peak times. Therefore, they are experiencing far more vehicles than we are. And you heard from a couple of people at the meeting about the careless driving by these people who were on their way to get the kids to school on time.

As you could tell at the meeting when I spoke that I get very upset with what is going on. This is because we have been through this process three times before and we are still hearing the same things over again. The car-pooling sounds like a good idea and if you will check your records for 1979, you will see the car-pool list that was sent to your office which looks very nice. It did work for a couple of months after the permit was approved but then it was noticed by us that the number of vehicles increased and kept increasing because we know it must take a lot of work to make this work. We even wonder how they are going to transport over 200 students to school in 47 vehicles. There are many SUV's that have 3 and 4 children in them but there are still vehicles that only have one or two children in them so that seems the other vehicles would have to pick up 5 or 6 students to make up for the others. But the other problem is that there are many vehicles going up and down in the afternoon that are not within the pick-up time so are not counted in the report.

March 17, 2007

As you must know, we have been here longer than anyone else and lived here when Enos Lane was just a bumpy dirt path but was no problem because we were aware of that it was a narrow country road and we had no problem driving it that way. There was no water available at that time **so** we also knew that it would be awhile before any developing could take place but when it did, it would only be for residences. We never dreamed that a big institution like this would come in to put a private school for over 200 students on a private road.

Now we are hearing about the terrible neighbors and that the school is being forced to spend **so** much money for the road that they are at "risk of closing". **As** you heard at the meeting, the neighbors on Enos Lane are not in favor of widening the road and question the school's paper stating that they have a 40 foot easement through our property but it was never recorded in Santa Cruz records. **As** you know, they have a permit for 125 students and conditions that car-pooling be continued. Each amendment has stated that.

Therefore, they can continue the school but comply with the permit that was approved. The school has indicated that they could not economically operate at that number **so** they must have made a mistake when they applied for that number in their permit and it was approved.

We do not understand why we should be involved in trying to correct a mistake that was created by the people in charge. There is no need to widen the road as even Randall Adams told us that the road is 18 feet wide most of the way **so** it works fine as long as drivers use it properly and the number of vehicles is complied with.

We hope this can all be put to rest as we would like to live out the rest of our years with the peace and quiet we expected to have in a nice rural area.

Respectfully submitted,

*Jake + Marilyn Head*

cc: Supv. Ellen Pirie  
✓ Randall Adams

Marion M. & Judyth M. Hall  
1175 Amesti Rd.  
Corralitos, CA 95076

March 19, 2007

Gustavo Gonzalez  
c/o Santa Cruz County Planning Department  
701 Ocean Street  
Santa Cruz, CA 95070

Dear Mr. Gonzalez:

This letter is in regards to the current problem concerning the licensing of the Salesian Sister's School. We are in full support of the Salesians and desire to see the school remain in operation.

Salesian has produced hundreds of productive citizens. Not only is there a high academic standard set for the students but they are being educated in a nurturing religious atmosphere which will benefit our community in the future. This education cannot continue without your support.

Salesian provides a religious, private education for a cost that is less ~~than~~ the public school per capita. They will not be able to do this if burdened financially by the county's demands. It is financially impossible to maintain a K-8 school with 125 students, and still make it affordable to the population they serve. The parents of the students cannot afford extra tuition caused by bussing or a drastic drop in allowable enrollment.

Salesian has already incurred a debt of over \$300,000 in county fees, legal fees, surveys, and other demands for this project. Being required to meet the county's short deadline for this project, estimated at least **\$1.5** million places an impossible burden ~~on~~ this religious school. The current septic system was already approved to handle 250 students. Salesian is now being required ~~to~~ update it because they are applying for an amended use permit. The updated system is estimated at approximately \$140,000.

Kindly consider the positive impact Salesian has on our community, **and** grant them the requested amended use permit for 250 students, as well **as** lower the demands on the project to make it financially possible for this outstanding religious private school to remain open.

Thank you for your consideration of this important issue in our community.

Sincerely,

*Marion M. Hall & Judyth M. Hall*

Marion M. Hall & Judyth M. Hall

Marion M. & Judyth M. Hall  
1175 Amesti Rd.  
Corralitos, CA 95076

March 19, 2007

Rachel Dann  
c/o Santa Cruz County Planning Department  
701 Ocean Street  
Santa Cruz, CA 95070

Dear Ms. Dann:

This letter is in regards to the current problem concerning the licensing of the Salesian Sister's School. We are in full support of the Salesians and desire to see the school remain in operation.

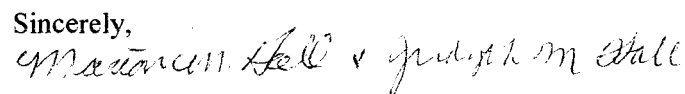
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Salesian has already incurred a debt of over \$300,000 in county fees, legal fees, surveys, and other demands for this project. Being required to meet the county's ~~short~~ deadline for this project, estimated at least \$1.5 million places an impossible burden ~~on~~ this religious school. The current septic system was already approved to handle 250 students. Salesian is now being required to update it because they are applying for an amended use permit. The updated system is estimated at approximately \$140,000.

Kindly consider the positive impact Salesian has on our community, ~~and~~ grant them the requested amended use permit for 250 students, as well ~~as~~ lower the demands on the project to make it financially possible for this outstanding religious private school to remain open.

Thank you for your consideration of this important issue in our community.

Sincerely,  


Marion M. Hall & Judyth M. Hall

Marion M. & Judyth M. Hall  
1175 Amesti Rd.  
Corralitos, CA 95076

March 19, 2007

Robert Bremner  
c/o Santa Cruz County Planning Department  
701 Ocean Street  
Santa Cruz, CA 95070

Dear Mr. Bremner:

This letter is in regards to the current problem concerning the licensing ~~of~~ the Salesian Sister's School. We are in full support of the Salesians and desire to see the school remain in operation.

Salesian has produced hundreds of productive citizens. Not only is there a high academic standard set for the students but they are being educated in a nurturing religious atmosphere which will benefit our community in the future. This education cannot continue without your support.

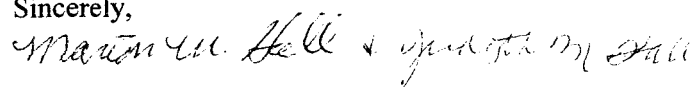
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Salesian has already incurred a debt of over \$300,000 in county fees, legal fees, surveys, and other demands for this project. Being required to meet the county's short deadline for this project, estimated at least \$1.5 million places an impossible burden on this religious school. The current septic system was already approved to handle 250 students. Salesian is now being required to update it because they are applying for an amended use permit. The updated system is estimated at approximately \$140,000.

Kindly consider the positive impact Salesian has on our community, **and** grant them the requested amended use permit for 250 students, **as** well **as** lower the demands on the project to make it financially possible for this outstanding religious private school **to** remain open.

Thank you for your consideration of this important issue in our community.

Sincerely,



Marion M. Hall & Judyth M. Hall

Marion M. & Judyth M. Hall  
1175 Amesti Rd.  
Corralitos, CA 95076

March 19, 2007

Albert Aramburu  
c/o Santa **Cruz** County Planning Department  
701 Ocean Street  
Santa **Cruz**, CA 95070

Dear Mr. Aramburu:

This letter is in regards to the current problem concerning the licensing of the Salesian Sister's School. We are in full support of the Salesians and desire to see the school remain in operation.

Salesian has produced hundreds of productive citizens. Not only is there a high academic standard set for the students but they are being educated in a nurturing religious atmosphere which will benefit our community in the future. This education cannot continue without your support.

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Salesian has already incurred a debt of over \$300,000 in county fees, legal fees, surveys, and other demands for this project. Being required to meet the county's short deadline for this project, estimated at least \$1.5 million places an impossible burden on this religious school. The current septic system was already approved to handle 250 students. Salesian is now being required to update it because they are applying for an amended use permit. The updated system is estimated at approximately \$140,000.

Kindly consider the positive impact Salesian has on our community, **and** grant them the requested amended use permit for 250 students, as well **as** lower the demands on the project to make it financially possible for this outstanding religious private school **to** remain open.

Thank you for your consideration of this important issue in our community.

Sincerely,

*Marion M. Hall & Judyth M. Hall*

Marion M. Hall & Judyth M. Hall

Marion M. & Judyth M. Hall  
1175 Amesti Rd.  
Corralitos, CA 95076

March 19, 2007

Renee Shepherd  
c/o Santa **Cruz** County Planning Department  
701 Ocean Street  
Santa Cruz, CA 95070

Dear Ms. Shepherd:

This letter is in regards to the current problem concerning the licensing ~~of~~ the Salesian Sister's School. We are in full support of the Salesians and desire to see the school remain in operation.

Salesian has produced hundreds of productive citizens. Not only is there a high academic standard set for the students but they are being educated in a nurturing religious atmosphere which will benefit our community in the future. This education cannot continue without your support.

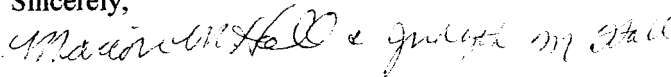
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Salesian has already incurred a debt of over \$300,000 in county fees, legal fees, surveys, and other demands for this project. Being required to meet the county's short deadline for this project, estimated at least \$1.5 million places an impossible burden ~~on~~ this religious school. The current septic system was already approved to handle 250 students. Salesian is now being required to update it because they are applying for an amended use permit. The updated system is estimated at approximately \$140,000.

Kindly consider the positive impact Salesian has on our community, and grant them the requested amended use permit for 250 students, **as well as** lower the demands on the project to make it financially possible for this outstanding religious private school to remain open.

Thank you for your consideration of this important issue in our community.

Sincerely,



Marion M. Hall & Judyth M. Hall

**From:** PLN AgendaMail  
**Sent:** Thursday, March 22, 2007 10:04 AM  
**To:** PLN AgendaMail  
**Subject:** Agenda Comments

**Meeting Type :** Planning Commission

**Meeting Date :** 3/28/2007

**Item Number :** 10.00

**Name :** Christine Grul, Principal

**Email :** cgrul@mndschool.org

**Address :** Moreland Notre Dame School 133 Brennan Street,  
 Watsonville, CA 95076

**Phone :** 831-7282051

**Comments :**

To whom it may concern,

I am writing this comment concerning the proposal regarding Salesian Sisters School before the Planning Commission on March 28th. I am the principal of Moreland Notre Dame School, which, like Salesian Sisters School, is a private Catholic school. In a sense, because of our geographical proximity, we might be considered "in competition" with one another; however, we are in fact collaborators, and I want to join my voice to the many you will hear supporting the existence of the school at the current level of enrollment and services. Catholic education has played a vital role in our nation--and in Santa Cruz County. Salesian Sisters School has done an outstanding job in their almost thirty years **of** existence in educating and ministering to children and their families. Their work has enhanced the quality of life in this county. The Salesian Sisters have been wonderful stewards of their school site and the children in their care. Like all good Catholic schools, the school community is truly a "family of families" and a gift to the larger community.

I hope that the Planning Commission and Supervisors will see beyond the immediate difficulties and impediments and support Salesian Sisters School in its educational ministry.

Sincerely,

Christine Grul,  
 Principal

John & Caroline Eiskamp  
360 Treichel Lane  
Watsonville, CA 95076

March 26, 2007

Mr. Albert Aramburu,  
Planning Commissioner District 2  
Santa Cruz County Planning Department  
701 Ocean Street  
Santa Cruz, Ca 95060

In regards to: Salesian Sisters School Permit March 28, 2007 Agenda Item #10

Dear Commisssioner Aramburu,

We are writing to request your support of the above mentioned permit for Salesian Sisters School which is scheduled for the March 28<sup>th</sup> planning commission meeting. We have been parents at Salesian's for ten years. We have chosen a faith-based education for our children and are very satisfied at the level of education our children have received. The Sisters and faculty are devoted to these children and their determination to remain in Corralitos and provide this educational opportunity is profound. As parents, we are committed to supporting the school in its desire to secure an amended permit to enroll up to 250 students. We are well aware of the three years and over \$300,000 it as taken to reach this public hearing. Much has been accomplished with both the county planning department and our neighbors while operating under the current memorandum of understanding.

We have been informed of some very concerning conditions recommended by planning department staff. The first is the very tight time frame for completion of our project. Salesians is not financially supported by any Catholic parish, the Diocese of Monterey, or the Salesian Brothers of Don Bosco (who are owners of St Francis High School). Salesian Sisters School in Corralitos is entirely owned and operated by the Salesian Sisters Order. What this means is that the funds necessary for any improvements must be raised locally by the parents and the Sisters. Any capital campaign to raise the estimated \$1.5 million for this project will take time. Grading permits are typically issued between April and October. Our project will require grading and paving of roadways and a parking lot. To expect that funds can be raised in less than 30 days for a project of this scope as well as to expect that the actual work can be completed by January 2008 is unrealistic. Reducing current enrollment from 205 to 125 students if the work is not completed by Jan 2008 will essentially eliminate the ability to operate the

**school.** A more realistic timeframe! needs to be proposed based upon fundraising abilities and continued enrollment at our current student population.

**Another** issue is ~~the~~ complete replacement of the ~~septic~~ system. **The** current system ~~is~~ functional and adequate for our needs under our proposed enrollment increase. Over \$150,000 **is projected as a replacement** cast. **It is a** waste of time and ~~needed~~ funds to replace this **system**.

**Lastly,** ~~the~~ proposed road improvements that **would** require **sidewalks** and an increase up to 40 feet in road width **at the lower end of** Enos Lane are something **that** the neighbors along that stretch **of** road **oppose** and as **such,** litigation is expected. This is an expensive and **time** consuming proposition. Those improvements need to be taken off ~~the~~ table **as part of the Salesian permit.** Cal Fire (formerly CDF) requires turnouts and an 18 foot road width. We should only be required to provide these improvements. **If** the neighborhood **stakeholders** wish to **provide** this pedestrian access and additional widening, then **it** should be **done** under their **timeline** and financial constraints.

We **are** complying with **our** carpool requirements and traffic restrictions. As a school community we have demonstrated **our** willingness and ability to do what has been asked of us. We respectfully request that you consider a more **reasonable** and practical approach to both the staff recommendations and **proposed** **timelinss** **as** you **make** your decision **on the** elements **of this** project

Sincerely,

  
John & Caroline Elskamp

cc: Ellen Pirie, District 2 County Supervisor

**Lani Freeman**

**From:** Randall Adams  
**Sent:** Monday, March 26, 2007 2:27 PM  
**To:** Lani Freeman  
**Subject:** FW: Planning Commission Meeting about Salesian Sisters School

-----Original Message-----

**From:** Robin Musitelli **On Behalf Of** Ellen Pirie  
**Sent:** Monday, March 26, 2007 1:52 PM  
**To:** Randall Adams  
**Subject:** FW: Planning Commission Meeting about Salesian Sisters School

-----Original Message-----

**From:** Bill Tershy [mailto:bill@montessorisv.com]  
**Sent:** Monday, March 26, 2007 10:06 AM  
**To:** Jan Beautz; Ellen Pirie; Tony Campos; Mark Stone  
**Cc:** 'Bill Tershy'; katie.davis@salesian-sisters.org  
**Subject:** Planning Commission Meeting about Salesian Sisters School

Dear Supervisors

We of the Salesian Sisters' school parents strongly support the school and want it to remain in operation. Because we are so strongly committed to our children, their success, and the school, we are taking time out of our lives--- in most cases, this means two parents with careers apart from their roles as parents so as to afford this excellent education--- to express our concern.

The Salesian Sisters' school produces graduates who are positively focused upon being caring and compassionate adolescents, self motivated and self disciplined young people, and good and productive citizens. The sense of community that they have within the school translates to similar connections in larger communities, from subsequent schools to jobs, careers, and their own families. The school operates within very tight budgets, providing a private, religious themed education that costs substantially less per student than does public school education--- and with the added benefit of the aforementioned moral and civic tenets. The school is W.A.S.C. accredited yet offers moral instruction as well as the state formatted standards and is one of the few schools that are available in the County of Santa **Cruz** to offer both aspects. We need this option, especially in the southern part of the county.

However, recent concerns have emerged that threaten these benchmarks and the very school itself. For one, the issue of vehicular traffic is one that we feel that we have addressed successfully with carpooling. Whereas a recent study indicated that the passengers per vehicle count in the rest of the county is only 1.5 students, we parents have reduced the traffic toll on the county's roads and school entrances by attaining an astounding rate of 4.2 students per vehicle. Such a usage substantially mitigates the impact of motor vehicles entering and leaving the school property, which should be noted by neighbors and county officials. Bussing may reduce the impact of vehicular traffic still further, but the marginal operating finances of the school would not permit such a solution; therefore, only increased efforts on carpooling will help reduce the road flow still further. With vastly increased costs in providing modern education, the school's original focus of 125 students would be under-served and ill-educated with contemporary income such as the school has. Therefore, the school needs to operate around 205 students and no more if it is to survive.

Additionally the county has made demands that are difficult if not impossible for the school to meet. The school is already over \$300,000 in debt for surveys, legal fees, county fees, and other requirements. The county has recently levied a requirement that the school's septic system be upgraded, when in fact the current system was long ago approved to handle 250 students. The estimate for the newest revised requirement is a cost of \$140,000 which is so burdensome that the school is applying for an amended-use permit. Last, the county's short deadline for this project is January 2008, which cost of \$1,500,000 presents an insurmountable cost to the school's financial resource base.

Inasmuch as the school receives no financial support from the Diocese of Monterey and is entirely dependent upon donations, grants, and above all else, the tuition system, such a requirement is simply beyond the reach of the combined income bases.

Therefore, we parents appeal to our county's Board of Supervisors for reconsideration of the demands that we find virtually impossible for our community to meet. We know that you too seek to have well rounded, grounded, and positive youngsters emerging from the school systems. We also believe that you too would like for the county's parents to have as many options for their student's education as possible, that you recognize this school's excellence, and that you acknowledge the unreachability of the new demands that are placed upon the school by various parties. We **look** forward to working with you and to your continuing display of understanding and support.

Thank You,

Bill Tershy, Owner  
Montessori Scotts Valley  
831-439-9313  
<http://www.montessorisv.com>

Dear Renee Shepherd,

My name is Dawn Bassman. My family lives in Scotts Valley and I have a Fourth grade student, Tina, at Salesian Elementary and Jr. High School in Corralitos. Salesian Elementary is a WASC accredited religious school that provides education and instruction of our children in the Catholic faith. Salesian benefits the community having produced hundreds of productive citizens that currently still reside and work within our county. This education cannot continue without your solid support.

We as parents are concerned that one of the few options in Catholic education in this county is threatened by the demands placed on the school, thus restricting the educational development of our children. We support Salesian and want the school to remain in operation.

Salesian will not be able to continue if burdened financially by the county's demand. It is financially impossible to maintain a K-8 school with 125 students and still make it affordable to the population Salesian serves. Most students at Salesian have both parents

reasonable time frame. We need your support.

I Love Salesian and wish for its continued support and success.

Thank you for your time,

Dawn Bassman



March 23, 2007

Dear Mr. Bramburn,

This letter comes to you at a time when the Santa Cruz County Planning Department has put forth some requirements that could force one of the schools in our County to close — Salesian School of Corralitos. At a time when our schools are being criticized for their job performance, (unfairly so, in my opinion), I find it ludicrous that a school the caliber of Salesian should be hit with a problem so insurmountable that it might have to close.

I am asking that you and your fellow County Planning

Department members re-consider some of the requirements and time schedules involved, so as to help rather than hinder Salesian being able to continue in our County.

I thank you,

Janet M. Blomquist  
3695 Vienna Drive  
A-16-1, CA 95003

**From:** PLN AgendaMail  
**Sent:** Monday, March 26, 2007 10:19 AM  
**To:** PLN AgendaMail  
**Subject:** Agenda Comments

**Meeting Type :** Planning Commission

**Meeting Date :** 3/28/2007

**Item Number :** 9.00

**Name :** Bill Tershy

**Email :** bill@montessorisv.com

**Address :** 123 S. Navarra DR.  
 Scotts Valley, CA 95066

**Phone :** 831-439-9313

**Comments :**

We of the Salesian Sisters' school parents strongly support the school and want it to remain in operation. Because we are so strongly committed to our children, their success, and the school, we are taking time out of our lives--- in most cases, this means two parents with careers apart from their roles as parents so as to afford this excellent education--- to express our concern.

The Salesian Sisters' school produces graduates who are positively focused upon being caring and compassionate adolescents, self motivated and self disciplined young people, and good and productive citizens. The sense of community that they have within the school translates to similar connections in larger communities, from subsequent schools to jobs, careers, and their own families. The school operates within very tight budgets, providing a private, religious themed education that costs substantially less per student than does public school education--- and with the added benefit of the aforementioned moral and civic tenets. The school is W.A.S.C. accredited yet offers moral instruction as well as the state formatted standards and is one of the few schools that are available in the County of Santa Cruz to offer both aspects. We need this option, especially in the southern part of the county.

However, recent concerns have emerged that threaten these benchmarks and the very school itself. For one, the issue of vehicular traffic is one that we feel that we have addressed successfully with carpooling. Whereas a recent study indicated that the passengers per vehicle count in the rest of the county is only 1.5 students, we parents have reduced the traffic toll on the county's roads and school entrances by attaining an astounding rate of 4.5 students per vehicle. Such a usage substantially mitigates the impact of motor vehicles entering and leaving the school property, which should be noted by neighbors and county officials. Bussing may reduce the impact of vehicular traffic still further, but the marginal operating finances of the school would not permit such a solution; therefore, only increased efforts on carpooling will help reduce the road flow still further. With vastly increased costs in providing modern education, the school's original focus of 125 students would be under-served and ill-educated with contemporary income such as the school has. Therefore, the school needs to operate around 250 students and no more if it is to survive.

Additionally the county has made demands that are difficult if not impossible for the school to meet. The school is already over \$300,000 in debt for surveys, legal fees, county fees, and other requirements. The county has recently levied a requirement that the school's septic system be upgraded, when in fact the current system was long ago approved to handle 250 students. The estimate for the newest revised requirement is a cost of \$140,000 which is so burdensome that the school is applying for an amended-use permit. Last, the county's short deadline for this project is January 2008, which cost of \$1,500,000 presents an insurmountable cost to the school's financial resource base. Inasmuch as the school receives no

financial support from the Diocese of Monterey and is entirely dependent upon donations, grants, and above all else, the tuition system, such a requirement is simply beyond the reach of the combined income bases.

Therefore, we parents appeal to our county's Board of Supervisors for reconsideration of the demands that we find virtually impossible for our community to meet. We know that you too seek to have well rounded, grounded, and positive youngsters emerging from the school systems. We also believe that you too would like for the county's parents to have as many options for their student's education as possible, that you recognize this school's excellence, and that you acknowledge the unreachability of the new demands that are placed upon the school by various parties. We look forward to working with you and to your continuing display of understanding and support.

Thank You,

Bill Tershy, Owner  
Montessori Scotts Valley  
**831-439-9313**  
<http://www.montessorisv.com>

From: PLN AgendaMail  
 Sent: Tuesday, March 27, 2007 1:02 PM  
 To: PLN AgendaMail  
 Subject: Agenda Comments

**Meeting Type** : Planning Commission

**Meeting Date** : 3/28/2007

**Item Number** : 10.00

**Name** : John and Danielle Pezzini

**Email** : dmp@jpdmp.com

**Address** : 40 Via del Sol  
 Corralitos, CA 95076

**Phone** : 722-2527

**Comments :**

To the Planning Department of Santa Cruz County:

We are parents of four students at Salesian Sisters' School. We recently moved to Corralitos from Denver particularly because of the existence of Salesian School. We purchased a home here with the intention that most of our seven children would enjoy the benefits of a "Catholic education in the country." We have consistently carpooled up Enos Lane, usually carrying at least seven students on each trip. We have experienced a wonderful and committed parent community here in Corralitos, many of whom have been with the Salesian "extended family" for more that 25 years. Like many large families, we would be unable to afford the tuition at Salesian if the Sisters were forced to raise it to the level of many other private schools.

We are aware of the Planning Department's "required improvements" for Salesian and would like to voice our concern in this regard. While many of the county's proposed improvements are wise and doable, the requirement that Salesian purchase private land from adjacent landowners in order to widen the road clearly makes Salesian's future existence doubtful. We urgently request that these "required improvements" be made more reasonable and feasible for the Enos Lane homeowners and for the Salesian Sisters. Salesian School provides an irreplaceable benefit to the Corralitos community; its loss would be destructive for everyone involved.

Thank you for your attention to our concerns.  
 Danielle and John Pezzini

**From:** PLN AgendaMail  
**Sent:** Tuesday, March 27, 2007 3:10 PM  
**To:** PLN AgendaMail  
**Subject:** Agenda Comments

Meeting Type : Planning Commission

Meeting Date : 3/28/2007

Item Number : 10.00

Name : Desiree Young

Email : dyoung@psdlaw.com

Address : 139 Alta Drive  
 La Selva Beach, CA 95076

Phone : Not Supplied

**Comments :**

I have reviewed the Planning Department's findings and conditions regarding the Salesian Sister School use permit application. I am delighted to hear that the department is recommending approval of the application. However with respect to the recommended condition requiring the school to widen Enos Lane within six months of approval of their application I believe that such a condition, if imposed, would effectively result in the school being forced to close their doors to the children.

As recommended such a condition imposes an undue burden on the school. First, in order to widen the road the school would be required to address property right issues with some of the individuals who have openly expressed their desire to see the school closed. Resolution of the property right issues would likely take a minimum of six months alone to resolve.

Therefore, requiring compliance with that condition within a six month period imposes an unreasonable burden upon the school. It would appear that a more reasonable condition be that the school be given adequate and reasonable time to widen the road and continue to reduce the traffic by following the strict carpool program in place.

The school and Salesian parent's have been diligent about ensuring that the carpool program is strictly enforced. I can attest to the fact that carpooling is not easy, both my husband and I work full time in Santa Cruz, however we believe that it is a small sacrifice to make for our children. Salesian Sister's School provides children with an excellent academic and religious education.

We have a fifth grader who wakes up each morning and looks forward to going to school and who recounts for us the knowledge she has gained from class each night. We also have a son in second grade who shares his sister's enthusiasm for learning. Aside from the academics the school has taught the children to be selfless and emphasizes the need to help others (e.g. Toys for Tots, Harvest Food Bank, Victims of Hurricane Katrina, Tsunami Victims, and many others) both financially and spiritually. A large part of the Salesian education focuses on instilling values in the children and preparing them to become compassionate, knowledgeable and productive adults. It would be a terrible loss for the community if Salesian's is forced to close their doors.

Another concern I have is that in the event the school is forced to close their doors where will the 205 students enrolled at the school go? Are the local schools prepared to handle a large influx of new students. I know that Valencia School is already going to be receiving a large number of new students once the housing project on Freedom Blvd is complete. Moreover, Corralitos residents already complain about the traffic caused by Bradley school on Corralitos Road, how will the introduction of a new students affect that issue?

I know that traffic and pedestrian safety is one of the primary issues and I believe that by reducing the number of cars on the road during peak hours adequately addresses those issues at this time. If required to widen the road, I believe it would be unreasonable to impose the six **month** deadline upon the school. Such a requirement in light of the reality that in order to fulfill the requirement the school would be forced to obtain the land needed to widen the road and the money to finance the labor and attorney fees if needed would effectively make it impossible for the school to fulfill the requirement. If that is the case the school would be forced to close and 205 children's worlds will be turned upside down.

I respectfully request that you extend the time requirements to fulfill the conditions and approve the school's application for a use permit.

Law Offices of  
**DENNIS J. KEHOE**  
Law Corporation  
311 Bonita Drive  
Aptos, California 95003  
(831) 662-8444 FAX (831) 662-0227

March 27, 2007

**HAND-DELIVERED**

SANTA CRUZ COUNTY PLANNING COMMISSION  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060

**Re: Application No. 04-0384; Salesian Sisters,  
Daughters of Mary, Help of Christians  
Planning Commission Hearing, March 28, 2006, Item 10**

Dear Planning Commissioners:

The undersigned represents the Salesian Sisters, Daughters of Mary, Help of Christians. Please include this letter including the attachments as part of your proceeding and in the Administrative Record for this matter. Although more data is provided further below, there are some summary, foundational facts and applicable law including the following:

**I.  
BRIEF SUMMARY**

**A. RLUIPA:**

All components and aspects of the existing and proposed land use are essential parts of a "religious assembly or institute," the Daughters of Mary, Help of Christians (referenced as Salesians in this letter). This Catholic elementary school (K-8) is an integral and essentially part of the Salesians "religious assembly and institute," especially since the Salesians stated purpose **is** to educate through "reason, religion, and loving kindness." Thus, the federal Religious Land Use and Institutionalized Persons Act (RLUIPA) protects this Salesian elementary school

including that which is proposed by this application. Please keep in mind a K-8 Catholic elementary school was approved back in the 1970s and has existed at this location since that time to present. Moreover, **no** new buildings are being proposed. Additionally, the Salesians and parents have been well within the carpool restrictions set forth the Compliance Agreement with the County. This fact has been verified by an independent traffic engineering firm (Higgins Traffic Engineers) and by the schools' counts. (Staff report, Ex. G, "Carpool Monitoring Results.")

**B. TAXPAYERS' SAVINGS:**

Pajaro Valley Unified School District supported the Salesians earlier application.

"To Whom It May Concern:

As Superintendent of the Pajaro Valley Unified School District I have been asked to write a letter as to the need for a new parochial school program such as the Salesian Sisters have proposed.

Even though our school system is trying harder than ever to meet the needs of our Community, there are a large number of parents who are seeking either private or parochial schooling for their students. Based upon the limited number of such schools in our Community, I feel a definite need does exist for a school such as the one proposed by the Salesian Sisters.

Cordially,  
Wallace A. Raynor  
Superintendent"

Additionally, by providing private Catholic elementary education, the Salesians and the parents are saving the California taxpayers millions of dollars but at the very substantial financial burden of the parents **and** the Salesians. For example, the State of California and Pajaro Valley Unified School District state that each student in the public school elementary system costs the taxpayers \$7,800 per year, **excluding** "food services, facilities, acquisition and construction, and certain other expenditures..." (See attachment, Ex. 1 from Pajaro Valley Unified School District, 2004-05 school year.) Thus, the taxpayers' savings are at least \$1,560,000 per school year and \$12, 480,000 over an eight (8) year period. (200 Salesian students x \$7,800 x 8)

**C. ENOS LANE IS A NOT A RELEVANT ISSUE:**

Enos Lane is not a relevant issue. Those who assert (incorrectly) to the contrary do so either out of ignorance or for irrelevant motives. (Enos Lane is also

known as Rider Road.) For example, the Santa Cruz County Board of Supervisors approved and confirmed Rider Road as a 40-foot right-of-way in 1883 and it has been openly used since that time. (Staff Ex. H) Second, the County has approved use permits, lot splits, and parcel maps, all using and describing Rider Road. Third, all recorded parcel maps approved by the County describe and depict Rider Road (aka Enos Lane). Fourth, all known deeds to properties along Rider Road make specific reference to "Rider Road." (e.g. deeds to Sternad, Head, MacCoambridge, Mattos/Wilson) Fifth, for the most part, Enos Lane already is 18-feet wide and its use has been open and continuous for decades, long beyond the five (5) year prescriptive period. Sixth, its use is by many, even aside from the Salesian elementary school. Seventh, Salesians' deed makes specific reference to Rider Road "40" foot right-of-way which go to "Hames Road." (See also attached Ex. 2, August 1, 2006, letter of Tom Burns, Planning Director; Ex. 3, July 29, 2005, letter of Dennis J. Kehoe; Ex. 4, March 27, 2007, letter of Dennis J. Kehoe to Robert Bosso) Additionally, many false issues have been raised. (March 16, 2006, letter of Dennis J. Kehoe to Paia Levine, County Planning, Ex. 11)

**D. STAFF'S PROPOSED CONDITIONS ARE SIGNIFICANTLY OPPRESSIVE, UNREASONABLE, REDUNDANT, AND UNCERTAIN:**

Staff recommends approval of this application but, effectively, kills the project and potentially closes the school by highly oppressive, unreasonable, and confusing proposed "Conditions of Approval." (Staff report, Ex. C.) Staff proposed conditions contains 14 pages including I through VIII major paragraphs with 90 sub through sub-sub paragraphs of confusing, unreasonable, oppressive verbiage which very effectively drains out any viability of this application to reasonably go forward.

Staffs proposed condition should be deleted in total or significantly deleted in total. Just last month staff (Mr. Adams and Mr. Deming) met with Salesians representatives and presented for the first time staffs then proposed recommendations, all contained on a staff prepared 2 page document. After reviewing the Salesians have revised that 2 page document (Staff report, Ex. 1, pgs. 263-266)

Moreover, should something need to be done to the existing Enos Lane, it needs to be done by all those on Enos Lane and the feeder streets, even aside from this application, and not the Salesians.

**11.**  
**BACKGROUND**

The following is a more detailed statement of some pertinent facts and law

**A. Enos Lane:**

The Salesian Sisters have been in their existing location since the 1970s. Even prior to their purchase of the property, Enos Lane, formerly known as Rider Road, was the historic access to a number of properties including the Salesian Sisters' property. Moreover, the Grant Deed to the Sisters specifically includes an appurtenant "right-of-way 40-feet wide" over Enos Lane from their property "southerly to Hames Road, a County Road." Please refer to the recorded Salesian Grant Deed, a copy of which was provided to you with the application submitted on August 11, 2004.

Additionally, the County of Santa Cruz previously issued various permits including, but not necessarily limited to, 55-600-U; 77-557-U; 78-323-U; 78-1539-U; and 88-1105. The County permits, either specifically or generally, required the Salesian Sisters to use Enos Lane as the same exists from the Salesian Sisters property to Hames Road. Further, the use of Enos Lane from the Salesian Sisters property to Hames Road has always been **open, well-traveled, and continuous** since long **before** the Salesians' Grant Deed in 1975. Any questions concerning Enos Lane by any objectors to this application are misguided. Please also refer to the Title Report of Stewart Title Company dated October 28, 2004 and submitted on January 20, 2005, to Mr. Burns and also my letter dated July 29, 2005, to Mr. Burns. (Both are in the Administrative Record but omitted from your over 200 page staff report.) Furthermore, various building permits, septic system permits, and other County permits have been issued to the Salesian Sisters all either explicitly or implicitly contemplating the use of Enos Lane from the Sisters' property to Hames Road.

Additionally, the County has approved other permits all involving the usage of Enos Lane to Hames Road. Further, under the California Recording Act, this right-of-way is binding on lands whose deeds that make reference to the 40-foot right-of-way which most if not all do. Also, Enos Lane has been used, repaired, and improved for more than 25-years.

In addition, there are numerous County approved parcel maps and/or survey maps of Enos Lane (Rider Road) of record and in the County Public Works Department (e.g. 14 Maps Book 45; 22 Maps Book 57; 29 Maps Book 17; 62 Map 13; Public Work file A2-66). Enos Lane (Rider Road) right-of-way has existed for approximately 100-years. (See also my July 29, 2005, letter to Tom Burns, Planning Director, attached Ex. 3.) Your staff report suggests re-surveying of Enos Lane. Staff's suggestion is not only unreasonable and cost prohibitive but also unnecessary because the **County** has already approved and recorded surveys describing most of the pertinent parts of Enos Lane. You are referred to the County approved recorded parcel maps above referenced. The cost to survey the

entirety of Enos Lane is prohibitive and staffs suggestion unnecessary, oppressive, and unreasonable. in any event.

**B. No Waiver Of Rights By Salesian Sisters:**

In late 2003, the County received seven (7) complaints of alleged County Code violations. (Staff report, Ex. E) After investigations, none were applicable except two (2) alleged violations; (1) parked cars on the Salesian loop road around the buildings, which parking was promptly eliminated, and (2) over 125 students. (Staff, Ex. E, pgs. 141-147) Subsequently, the Compliance Agreement(s) were entered into by the County and the Salesian Sisters and this application then lodged with the County on August 11, 2004. Although the Salesian Sisters submitted this application, they specifically have **not** waived any of their rights in doing so. (See attached Ex. 5, Second Amended Compliance Agreement)

**C. Burdensome Application Process:**

After the County and Salesians entered into the initial Compliance Agreement, on August 11, 2004, the Salesian Sisters submitted this application to the County of Santa Cruz Planning Department. The application is dated by the County August 11, 2004. Extensive material required by the County was submitted at that time. Nevertheless, a letter dated September 9, 2004, of "incompleteness" was transmitted by the staff planner demanding yet more information and requiring a response by December 9, 2004. In response, a correspondence dated December 9, 2004, together with extensive documentation was delivered on behalf of the Sisters to the County with supporting data. Yet, once again, a January 6, 2005, letter was transmitted by the project planner purporting that the application was still "incomplete" and demanding yet more information. The January 6, 2005, staff planner demand was appealed to the Planning Director. (Attached, Ex. 6, Appeal) The appeal was upheld on April 5, 2005, and the application was finally deemed completed (attached April 5, 2005 letter of Mark Deming, Ex. 7). The processing of the application finally started. Nevertheless, staff demanded more information. Eventually, this matter was scheduled for hearing on March 28, 2007.

(As a result of the above and due to the potential of, among other items, an appeal to the Board of Supervisors, the existing Second Amended Compliance Agreement should be extended for the 2007-08 school year or until this permit process is final, whichever last occurs. In the meantime, the Salesians reserve the right to withdraw this application in which event the prior County permits shall continue to be applicable.)

**D. This Salesian Sisters Catholic Institution With Its Multiple Facets Is Protected By Our Constitutions And The Religious Land Use Law:**

The Salesian Sisters have always used and are now using their property for religious assembly and as a religious institution. This includes, but is not limited to, praise and worship of God, Godly student elementary school education, and other religious activities. Also, the Salesian Sisters stated purpose is to educate through "reason, religion, and loving kindness" thereby strengthening family bonds and civic responsibility. They encourage ethnic diversity with about a quarter of their school students being Hispanic. The Sisters also come from diverse ethnic cultures. Further, the Salesians provide affordable religious education to children including those of working parents and children of single-working mothers by offering their contributed services and helping families in financial crisis when necessary.

All of the above are protected by the state and federal constitutions and other laws including, but not limited to, the Religious Land Use and Institutionalized Persons Act (RLUIPA) and the federal Civil Rights Act 42 U.S.C. §§2000cc et seq.; 42 U.S.C §§1983 et seq. Even aside from the legally protected historic use by the Salesian Sisters of their property, the County is prohibited by RLUIPA from imposing **substantial burdens** on these religious assemblies and activities unless it is doing so in furtherance of a **compelling** government interest **and** the County is using the **least restrictive** means of furthering that **compelling** interest.

**(1) "Land Use Regulation":**

The County's land use permit processes and planning staff's list of proposed conditions and "required" improvements are "land use regulations" under RLUIPA. By its terms, RLUIPA applies to government imposition or implementation of a land use regulation. Under RLUIPA's definition of "land use regulation," a government agency implements a "land use regulation" when it acts pursuant to a "zoning or landmarking law" that attempts to limit the manner in which an applicant such as Salesians may use property in which it has an interest 42 U.S.C. §2000ccc-5(5).

Moreover, RLUIPA protection extends to the Salesians lands, including its appurtenances and right-of way. Jurisdiction applies under RLUIPA since "substantial burden is imposed in the implementation of a land use regulation or system of land use regulations, under which a government makes, or has in place formal or informal procedures or practices that permit the government to make, individualized assessments of the proposed uses for property involved." See 42 U.S.C §2000ccc(2)(C)

**(2) Santa Cruz County's Exercise Of Land Use Regulation Regarding The Salesian Property On Enos Land Affects A "Religious Institution":**

RLUIPA expressly prohibits the placement of unreasonable limitations and/or burdens on “a religious assembly or institution.” This Catholic school is a “religious institution” under RLUIPA. For example, the courts have ruled that where the very existence of the school is premised on a religious mission such as Salesians, there is a religious institution. Curav-Cramer v. Ursuline Academy (2004)355 F. Supp, 2d, 933, 926, n3, affirmed, 450 F.3d 130 (wherein that the Court ruled that Curay-Cramer’s argument that the Catholic school was not a religious institution is “patently absurd” and “illogical.”) Further, denial by a Zoning Board of a religious school’s application which interferes with the school’s ability to provide an adequate elementary school education will be overturned by a court pursuant to RLUIPA.

### **(3) Substantial Burden:**

Staff’s proposed “conditions” and almost all of staffs proposed required “improvements” are not only arbitrary and unreasonable but they are oppressive to a significantly great extent and thereby violate, among other laws, RLUIPA. (Staff report, Ex. C) The County, including the Commission, is referred to the testimony and documentation provided to you on behalf of the Salesian Sisters.

Additionally, although not all inclusive, the following is highlighted. The “conditions” and “requirements” are open-end and financially and practically impossible. The cost burden to the Salesians, even if the conditions were possible, exceeds \$500,000. Additionally, such costs should not be imposed on Salesians since, aside from the school, many of the staffs proposed conditions benefit many Enos Lane owners. Furthermore, the Commission is referred to Salesian letter dated March 27, 2007, to the Commission which is incorporated herein by this reference. As Just one example, staff wants a new septic. Yet, the current system will adequately serve 250 students. (Attached Peter Haase letter of Fall Creek Engineering, Inc.)

Moreover, the staff proposed “Conditions” of approval and other conditions are arbitrary, oppressive, unreasonable, and unenforceable. Among other items, there is no reasonable connection (nexus) between each such proposed condition and the existing uses including the student population of over 200 students. Additionally, there is no proportionability between the existing and proposed 250 students and those onerous conditions.

### **(4) Limited Funds:**

Additionally, the following are some financial facts about Salesian Sisters K-8 school. Salesian Sisters is a private Catholic school and receives no funding from the Monterey Diocese, any parish in Santa Cruz County and/or the

public school system. The Salesian Sisters of the Western Province is the owner of the school. The Western Province consists of 12 school and youth centers in four states all of which work on a self-sustaining model. Overall, their religious facilities serve people, many of whom are from low and moderate income levels. The tuition for this 2006-07 Salesian school year is only \$4,950 for the 1<sup>st</sup> child and significantly lower for subsequent siblings. An effort is made to keep tuition low as to serve more of the general population. Based on this Catholic School and the parents whose children attend, this saves the California taxpayers over \$1,560,000 per year and over \$12,440,000 for eight (8) years plus many millions in the future.

Additionally, most of the teachers at Salesians are credentialed, but work for considerably less than the prevailing wage of public school teachers. The difference is their personal contribution to Catholic education. Nevertheless the tuition only covers 85% of the cost of this Salesian education. The rest is made up through fund-raising by parents. (Auctions, candy sales, golf tournaments, book fairs, raffles, etc.) The large majority of the children come from families where both parents work full-time jobs. Also, the Salesians serves students with identified learning and emotional disabilities.

In addition, this Salesian School owes the Sisters Province over \$300,000 for costs that have resulted from this land use process with the County. The source of this loan (which must be repaid) came for the 11 self-supported schools and youth centers whose limited funds can no longer be depleted. These costs include County fees, significant payments charged by the County for staff time, engineering reports and consultants costs, and lawyers fees, etc.

#### **(5) Religious School's Existence Is Imperiled**

A denial of Salesian's application **or** an approval but imposing the onerous "Conditions of Approval" suggested by staff (Staff, Ex.C) will significantly interfere with Salesians religious exercise and greatly hinder the schools ability to provide a Catholic elementary education; retain and attract students; hire faculty; and imperil its continued existence.

#### **E. The County Has Approved A Number Of Applications Without Requiring Such Onerous "Conditions":**

##### **(1) (Other Applications):**

The County have approved a number of discretionary applications along or near (other applications) Enos Lane without requiring improvements such as now proposed to be levied against Salesians. Just a few of those County approvals are recorded Parcel Maps above referenced.

**(2) (Salesians):**

Earlier the County stated to the Salesians that once Enos Lane is improved **“16-feet”** in width (which it has been done), the student enrollment may be increased to **250** students. (County, May 1, 1979, Negative Declaration, attached **Ex.10**)

**E. The County Is Prevented From Denying 250 Students In This Religious Based:**

By way of background, the County has issued a number of permits to the Salesian Sisters on the subject property. Although not all inclusive, these include permit 75-600-U for a novitiate including a main building with a chapel, staff quarters, and dining room and to operate a summer camp; permit 77-557-U to construct a detached accessory storage building; permit 78-323-U for an elementary school including grades K, 1, 5, 6, 7, and 8 for 90 students and permit 78-1539-U for an elementary school of K through 8. In addition, application 78-1339-U for 250 students was supported by the Pajaro Valley Unified School District due a need for a parochial school.

The Environmental Review Committee reviewed this proposal for 250 students and granted a Negative Declaration with a condition that stating, in part, that the school operation should be limited to 125 students but, only until Enos Lane was improved to a **“16-foot width,”** in which event the total number of students may be increased to “250” students. Thereafter, permit 78-1539-U was issued. Subsequently, the roadway was improved in 1988 to at least a “16-foot width”. Half of these improvement costs to Enos Lane were paid for by the Salesian Sisters and the other half was paid by other owners using Enos Lane south of the Salesians.

Again, in 1989, the County issued permit 88-1105 consisting of an addition to the existing novitiate and a central common area. In issuing all these permits and after County inspections of existing facilities and land uses, there were **no** red-tags, citations, and/or non-compliances issued by the County to the Salesian Sister until just the recent red tags in January 2003. In summary, the County is prevented (through legal doctrines including estoppel and laches) from denying an elementary student population of 250 students within the existing facilities.

Moreover, there has been compliance with the carpooling required by the Compliance Agreement. According to County data, the average carpool for other private schools is 2.5 students per car. At Salesians, this average is 4.4 students per car. Both Salesians carpool vehicle counts and independent counts done by a traffic engineer at the County's request confirm that the carpool

vehicles are well within the limits as specified in the Compliance Agreements. This has greatly restricted traffic on Enos Lane. Staff's suggestion of "van/buses" is not only unnecessary and unreasonable but it also is cost prohibitive for the Salesians. (See Bus cost attachment, Ex. 8)

Very truly yours,  
DENNIS J. KEHOE, Law Corporation

By   
DENNIS J. KEHOE, Attorney for Salesian Sisters

DJKjl

Enclosures: See Attached List

- c: Salesian Sisters  
Board of Supervisors, County of Santa Cruz, (Hand-Delivered)  
County Supervisor, Ellen Pirie, (Hand-Delivered)  
County Counsel of Santa Cruz, (Hand-Delivered)  
Planning Department, County of Santa Cruz,  
Attn: Tom Burns, Planning Director, (Hand-Delivered)  
Planning Department, County of Santa Cruz,  
Attn: Randall Adams, Staff Planner, (Hand-Delivered)

List of Attached Enclosures  
to Letter dated March 27, 2007 to  
Santa Cruz County Planning Commission:

1. Exhibit 1: Pajaro Valley Unified School Expense of Education;
2. Exhibit 2: August 1, 2006, letter of Tom Burns, Planning Director;
3. Exhibit 3: July 29, 2005, letter of Dennis J. Kehoe;
4. Exhibit 4: March 27, 2007, letter of Dennis J. Kehoe to Robert Boss~;
5. Exhibit 5: Second Amended Compliance Agreement;
6. Exhibit 6: Appeal of Salesians;
7. Exhibit 7: Appeal upheld, April 5, 2005 letter of Mark Deming;
5. Exhibit 8: Bus costs;
9. Exhibit 9: Fall Creek Engineering, Inc., Peter Haase;
10. Exhibit 10: Negative Declaration
11. Exhibit 11: March 16, 2006, letter of Dennis J. Kehoe to Paia Levine, County Planning.

**EXHIBIT 1:**  
**Letter dated March 27, 2007, of Dennis J. Kehoe to**  
**Santa Cruz County Planning Commission**

**CURRENT EXPENSE OF EDUCATION PER ADA****(Per Education Code Section 41372)****Pajaro Valley Unified School, 2004-05**

By law, the "current expense of education" must be calculated annually for every district; it is a measure of the cost of direct educational services to students. This figure is then matched with average daily attendance (ADA) for the district to arrive at an expenditure per pupil figure. Since the current expense figure excludes food services, facilities acquisition and construction, and certain other expenditures, the current expense per ADA amount is lower than the total expenditure per ADA shown in the table above.

<b>Pajaro Valley Unified School School District</b>			<b>Statewide Avg All Unified School Districts</b>	<b>Statewide Avg All Districts</b>
<b>Total Dollars</b>	<b>Average Daily Attendance</b>	<b>\$ / Student (ADA)</b>	<b>\$ / Student (ADA)</b>	<b>\$ / Student (ADA)</b>
\$143,099,590	18,342	\$7,801	\$7,172	\$7,127
<a href="#">Pop-trends</a>				

[BACK TO TOP](#)

**EXHIBIT 2:**  
**Letter dated March 27, 2007, of Dennis J. Kehoe to**  
**Santa Cruz County Planning Commission**



# COUNTY OF SANTA CRUZ

## PLANNING DEPARTMENT

701 OCEAN STREET - 4<sup>TH</sup> FLOOR, SANTA CRUZ, CA 95060  
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123

TOM BURNS, PLANNING DIRECTOR

August 1, 2006

Richard H. Allen  
18 Alexander Street, P.O. Box 309  
Watsonville, Ca 95077

Subject: Application # **04-0384**; Assessor's Parcel #: **107-571-01**  
Owner: **Daughters of Mary Help of Christians**

Dear Mr. Allen:

This letter is in response to your continued inquiry regarding the access to the Salesian Sisters property via Enos Lane in Corralitos.

As discussed in my earlier letter, dated September 21, 2005, the Salesian Sisters have applied for an amendment to their existing Use Permits (75-600-U, 77-557-U, 78-323-U and 78-1539-U).

All of the prior applications were approved based on access via Enos Lane. The applicants have submitted a title report with the current application which describes a **40** foot right of way to access their property along Enos Lane. This is considered **as** satisfactory evidence **of** a right to access a property for all development applications. However, due to **your** clients earlier concerns, Planning Department staff performed additional research **and** identified the **40** foot wide right of way (along what is now considered Enos Lane) in an 1883 Viewer's Report which was approved by the Board of Supervisors to establish this private road. Typically, the approval of such a report is the final action in establishing a roadway.

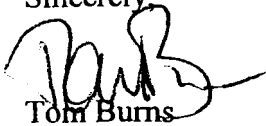
The roadway described above (and mentioned in deeds as either Rider Road or Enos Lane) has been used for many decades to access properties on upper Enos Lane and Corralitos Ridge Road (including the Salesian Sisters property). The road may have been altered or realigned as necessary, during the years of use for this purpose, and the current location of the roadway is what appears to be described in the Salesian Sisters deed. Furthermore, it does not appear that the 1963 realignment that you have mentioned is related to your clients property. It is our understanding that the 1963 adjustment was to relocate a portion of the right of way which separated **APN** 107-571-03 & 04 to the edge of APN 107-571-03 near the Salesian Sisters property. The roadway currently used to access the upper section of **Enos** Lane and the Salesian Sisters school follows the realigned right **of** way in this area.

As mentioned in my earlier letter, I am not able to comment regarding the absence of the right of on your clients' property deeds. Perhaps information regarding the right of way was not properly described in the property deeds and was, therefore, not described in the title reports. Regardless, it would be inappropriate to require additional information from the applicants at this time, as they have provided satisfactory evidence of a right to use Enos Lane **for** access and prior

development permits have been issued based on access from Enos Lane.

Again, I hope that I have adequately addressed your inquiry regarding this matter. Further discussion of this matter may best be handled through discussions between the property owners involved.

Sincerely,

A handwritten signature in black ink, appearing to read 'Tom Burns', with a stylized flourish extending to the right.

Tom Burns  
Planning Director

cc: ✓ Salesian Sisters  
605 Enos Lane  
Wastonville, Ca 95076

11-11

11-11

11-11  
11-11  
11-11

**EXHIBIT 3:**  
**Letter dated March 27, 2007, of Dennis J. Kehoe to**  
**Santa Cruz County Planning Commission**

Law Offices of  
**DENNIS J. KEHOE**  
Law Corporation  
311 Bonita Drive  
Aptos, California 95003  
(831)662-8444 FAX (831)662-0221

July 29, 2005

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
ATTENTION: TOM **BURNS**, Planning Director  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060  
FAX: 454-2131

**Re: Salesian Sisters Application No. 04-0384, Enos Lane / Rider Road**

Dear Mr. Burns:

It was recently brought to my attention that Richard Allen corresponded with you in a letter dated April 4, 2005, a copy of which is enclosed. His correspondence has numerous factual and legal errors. Although not all inclusive, the following are highlighted.

Initially, Mr. Allen is incorrect as to his understanding of the Sisters' application and Enos Lane, formerly known as Rider Road. For example, this application does **not** include a pedestrian walkway. Further, there is a deep concrete ditch between the homes of Mr. Allen's respective clients and Enos Lane. The concrete ditch terminates in the County road right-of-way at Hames Road. As far as can be determined, the concrete ditch was constructed by U.S. government workers in the 1930s. The existing improvements on Enos Lane parallel this long established concrete ditch but are on the **opposite** side from the homes of the clients of Mr. Allen. Enclosed are two (2) color copies of the concrete ditch. Additionally, according to Glen Ifland of Ifland Engineers, Inc., none of the trees and/or signs (to the extent that they even exist) between the concrete ditch and the existing improvements on Enos Lane will be removed. In the area between the concrete ditch and the existing pavement, any added asphalt on that side of Enos Lane would be only about two (2) feet in width for a distance of approximately 40 feet from the entrance of Hames Road.

Second, concerning the earlier permit no. 78-323, if anything the same

COUNTY OF SANTA CRUZ PLANNING DEPARTMENT  
ATTENTION: TOM BURNS, Planning Director  
July 29, 2005  
Page Two

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confirms a 40-foot right-of-way. Mr. Allen's misdirected attempt asserting that asphalt of "16" feet width in some manner adversely impacts the 40-foot right-of-way is disingenuous. **All** of the recorded deeds of his clients make specific references to "Rider Road." For example, the deed to Strnad refers to and acknowledges the existence of "Rider Road." (Righetti to Strnad, 2749 Official Records [OR] of the Santa Cruz County Recorder's Office commencing at 254.) The Macambridge deed also acknowledges and refers to "Rider Road." (5882 OR 125, 1997-0033979) Moreover, the deed to Head acknowledges and makes references to "Rider Road." (1654 OR 164) Additionally, Enos Lane (Rider Road) has historically been used including that portion which parallels the concrete lined ditch installed in the 1930s. Further, there are numerous recorded survey maps that indicate Rider Road (Enos Lane) is a forty (40) foot right-of-way including, but not limited to, the recorded survey map showing the 40-foot Rider Road right-of-way over the Head and the Cutler properties. (Cutler property was eventually conveyed to Macambridge, 1789 OR 601, 2867 OR 318.) See Parcel Map recorded in 17 PM 26.

Third, years ago the Sisters received a grant deed with legal warranties of an appurtenant 40-foot easement over "Rider Road." (2554 OR 398) Additionally, a Condition of Title Report was submitted to the Planning Department just this year and is part of the application process. The same is dated October 28, 2004. Please refer to parcels 3 and 4 making reference to "Rider Road"; a forty (40 foot) right-of-way.

Fourth, the Strnad, Macambridge, and Head deeds all specifically make reference to "Rider Road." Rider Road has been in existence for a number of years. There is only a strip of land between the edge of the 1930s concrete ditch and the existing road. The homes of Strnad, Head, and Macambridge are separated from Enos Lane by the concrete ditch. Their objections have no merit.

Fifth, Rider Road (Enos Lane) existed long before Strnad, Macambridge, and Head purchased their properties. The road has always been obvious. There is an obvious barrier (concrete ditch) between their homes and Rider Road. Bluntly, the objection of those individuals is a "red herring"; supported by no facts and no law. Even Mr. Allen admits that the Board of Supervisors formally approved Rider Road as a right-of-way in the late 1800s. Since that time, it has

COUNTY OF SANTA CRUZ PLANNING DEPARTMENT  
ATTENTION: TOM BURNS, Planning Director  
July 29, 2005  
Page Three

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been used as a road, openly, notoriously, obviously, and continuously, all of which was observerable by Strnads, Macambridge, and Heads prior to the purchase of their respective properties. Even the County Assessor's records specifies that Rider Road is a 40-foot right-of-way.

Should you have any questions concerning the foregoing, please contact the undersigned,

Very truly yours,  
**DENNIS JKEHOE**  
DENNIS J. KEHOE

DJ K;jlc  
Enclosures

1. Two (2) color copy photos
2. Strnad deed (2749 OR 254)
3. Head deed (1654 OR 164)
4. Macambridge deed (5882 OR 25, 1987-0033979,  
1789 OR 601, 2867 OR 318)
5. Parcel Map, 17 PM 26
6. April 4, 2005, letter of Mr. Allen

c: Mark Deming, Assistant Planning Director, w/enclosures  
Glen Ifland, Ifland Engineers, Inc., w/enclosures



RECORDED AT THE REQUEST OF  
GUARANTEE LAND TITLE COMPANY  
WHEN RECORDED RETURN TO  
MR. AND MRS. LESLIE 3. STRNAD  
354 Humes Road  
Corralitos, CA 95076  
MAIL FUTURE TAX STATEMENTS TO  
SAME AS ABOVE

BOOK 2749 PAGE 254

20169

GUARANTEE LAND TITLE CO

RECORDED AT REQUEST OF  
APR 21 3 48 PM '77

OFFICIAL RECORDS  
SANTA CRUZ COUNTY  
RICHARD C. NEAL  
RECORDER

BOOK 2749 PAGE 254  
20169

**Grant Deed**  
(JOINT TENANCY)

Order No.  
Escrow No. 15446

RECORDER'S USE ONLY  
DOCUMENTARY TRANSFER TAX \$77.00  
☒ Computed on full value of the property conveyed, or  
☐ Computed on full value, less liens and encumbrances  
remaining thereon at the time of the sale, or  
☐ Computed on a consideration less than \$100.00  
GUARANTEE LAND TITLE COMPANY

*M. Saccullo*  
Signature of declarant or agent determining tax - Firm name

THIS FORM PROVIDED BY GUARANTEE LAND TITLE COMPANY

FOR A VALUABLE CONSIDERATION,

DONALD J. RIGHETTI and PATRICIA A. RIGHETTI, his wife.

GRANT(S) TO

LESLIE J. STRNAD and SUSAN R. STRNAD, husband and wife,

AS JOINT TENANTS,

that real property in the

County of Santa Cruz

State of California, described as

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF...

21-77-4324-000782 • 6 \*\*0.07700

DATED: April 18, 1977

STATE OF CALIFORNIA  
COUNTY OF Santa Cruz

On April 20, 1977 before me, the  
undersigned, a Notary Public in and for said state, having my  
principal place of business in said county, personally appeared  
PATRICIA A. RIGHETTI

known to me to be the person(s) whose name(s) IS  
subscribed to the within instrument and acknowledged to me  
that SHE executed the same.

*Mary Saccullo*  
Notary Public in and for said County and State - 42 -  
MARY SACCULLO  
Printed or typed name of Notary Public

*Donald J. Righetti* *Lucretia Righetti*  
DONALD J. RIGHETTI by his attorney in fact  
*Patricia A. Righetti*  
PATRICIA A. RIGHETTI



STATE OF CALIFORNIA

COUNTY OF Santa Cruz

SS:

BOOK **2749** PAGE **255**

On April 21, 1977

, before me, the undersigned, a Notary Public in and for the State of California, having my principal place of business in said County, personally appeared LUCILE ALDRICH

known to me to be the person whose name is subscribed to the within instrument as the ATTORNEY-IN-FACT of DONALD J. RIGHETTI

and acknowledged to me that She subscribed the name of DONALD J. RIGHETTI

thereto and HER own name as ATTORNEY-IN-FACT.



Notarial Seal

Inter-Related Services - No. 72

Mary Saccullo  
NOTARY PUBLIC in and for said County and State

MARY SACCULLO  
Printed or typed name of Notary Public

DESCRIPTION

all that certain real property situate in the County of Santa Cruz, State of California, described as follows:

PARCEL ONE

BEING a part of the Rancho Corralitos, and

BEGINNING on the East side of the Rider Road, so called, and at a station from which the Northwestern corner of lands conveyed by Nora and R. B. Moffitt to Edward L. Kell, et ux, by Deed dated December 16, 1950 and recorded in Volume 193 of Official Records at Page 98, Santa Cruz County Records, bears North  $7^{\circ} 30'$  East 191.40 feet distant; and running thence from said point of beginning along the East side of said Rider Road, South  $7^{\circ} 30'$  East 145.20 feet and South  $14^{\circ} 0'$  East 264 feet to the middle of the Western League Road, so called; thence along the center line of said last named road, North  $82^{\circ} 0'$  West 113.57 feet and South  $71^{\circ} 30'$  East 44.50 feet; thence leaving road North  $19^{\circ} 50'$  West 255.98 feet, North  $39^{\circ} 28'$  East 187.70 feet and North  $72^{\circ} 3'$  East 41.35 feet to the place of beginning, and

EXCEPTING therefrom the lands described in the Deed to the County of Santa Cruz recorded June 2, 1965 in Book 1767 Page 721 Official Records.

PARCEL TWO

An undivided  $1/2$  interest in and to the Northeasterly 15 by 20 feet of the following described parcel of land:

BEGINNING at a station from which the Southwest corner of Parcel 2 in the Deed to Antonio Joseph Rodriguez, recorded November 30, 1934 in Volume 278, Page 255 Official Records of Santa Cruz County, bears North  $58^{\circ} 6'$  East 348.35 feet distant; thence from said point of beginning North  $50^{\circ} 0'$  West 20 feet; thence South  $40^{\circ} 0'$  West 30 feet; thence South  $30^{\circ} 0'$  East 20 feet; thence North  $40^{\circ} 0'$  East 30 feet to the point of beginning.

TOGETHER with the pipe line Right of Way as set out in said Deed to Rodriguez.

EXCEPTING therefrom the right to take water as contained in the Deed to Jake Head et ux, recorded August 29, 1967 in Volume 1836 Page 527 of Official Records of Santa Cruz County.

107-311-04

1654-164/73

Recorded at the request of

Return to

P. O. Box 786

Watsonville, California

93153-y

ma/rj

3 3 7 3  
BOOK 1654 PAGE 154  
RECORDED AT THE REQUEST OF  
SANTA CRUZ LAND TITLE CO.  
JUL 27 2 39 PM '64

2000

For value received JULIUS J. WIDELL, a single man

GRANT S to JAKE HEAD and MARILYN HEAD, his wife

as JOINT TENANTS all that red properly situate in the

county of Santa cruz, State of California, described as follows:

BEING a part of the lands conveyed to Julius J. widell, by deed recorded in Volume 1154, page 184 Official Records Santa Cruz County and more particularly described as follows:

BEGINNING at a point on the Westerly line of said lands of Widell from which a 3/4" pipe at the Northwestern corner thereof 'Deers North 0° 32' West 22 feet and North 9° 14' East 187.46 feet distant, thence from said point of beginning along the Westerly and Northerly line of said lands of Widell the following courses and distances: North 0° 32' West 22 feet to a 3/4" pipe, North 9° 14' East 187.46 feet to a 3/4" pipe, North 73° 30' East 169.72 feet to a 3/4" pipe on the centerline of a road, known as Biders Road, thence along the centerline of said road South 6° 49' East 113.82 feet to a 3/4" pipe and South 3° 49' East 155 feet to a 3/4" pipe, thence leaving said centerline Westerly in a direct line 215 feet more or less to the point of beginning.

Together with end subject to a right of way over Riders Road.

107-161412

Julius J. Widell

Dated October 15, 1964

STATE OF CALIFORNIA

County of Santa Cruz

On October 23, 1964 before me, the undersigned, a Notary

Public in and for said JULIUS J. WIDELL County and State, personally appeared

known to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

My commission expires April 8, 1966



LILA V. VERNON  
NOTARY PUBLIC - CALIFORNIA  
PRINCIPAL OFFICE IN  
SANT. - 45 - UNTY

Lila V. Vernon  
Notary Public

Order No.  
Ficrow No. 133413-8  
Loan No.

VOL. 5882 PAGE 125 41566

WHEN RECORDED MAIL TO.

Jene Schwickerath and  
Martha Macambridge  
21 Enos Lane  
Watsonville, CA 95076

RE 4-1  
MI 1  
SF 2  
SM 10  
LN 20  
CO 20  
OP



MAIL TAX STATEMENTS TO

SPACE ABOVE THIS LINE FOR RECORDER'S USE  
DOCUMENTARY TRANSFER TAX \$ 319.00

SAME AS ABOVE

X Computed on the consideration or value of property conveyed, OR  
Computed on the consideration or value less liens or encumbrances  
remaining at time of sale  
As declared by the undersigned Grantor  
Signature of Declarant or Agent determining tax - Firm Name

107-311-02

## GRANT DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged.

DAVID A HOVEY AND ANITA M HOVEY AS SUCCESSOR CO-TRUSTEES OF REVOCABLE TRUST AGREEMENT  
DATED OCTOBER 22, 1986

hereby GRANT(S) to

JANE SCHWICKERATH, an unmarried woman and MARTHA MACAMBRIDGE, an unmarried woman as Joint  
Tenants

the real property in the Unincorporated Area  
County of SANTA CRUZ, State of California, described  
as

SEE LEGAL DESCRIPTION ATTACHED HERETO AND MADE A PART HEREOF

Dated July 1, 1996

STATE OF CALIFORNIA )  
COUNTY OF Santa Cruz )

On July 1, 1996

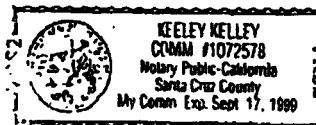
before me, Keeley Kelley, personally  
appeared David A. Hovey, Co-Trustee and  
Anita M. Hovey, Co-Trustee

personally known to me (or proved to me on the basis of  
satisfactory evidence) to be the person(s) whose name(s) were  
subscribed to the within instrument and acknowledged to me that  
he/she/they executed the same in his/her/their authorized  
capacity(ies), and that by his/her/their signature(s) on the  
instrument the person(s) or the entity upon behalf of which the  
person(s) acted, executed the instrument.  
WITNESS my hand and (seal) at

Signature

David A. Hovey, Co-Trustee

Anita M. Hovey, Co-Trustee



(This area for official notary seal)

MAIL TAX STATEMENTS AS DIRECTED ABOVE

1002-SM (1/94)

Order No. 133413-6

The land referred to herein is situated in the State of California, County of Santa Cruz, Unincorporated Area and is described as follows:

PARCEL ONE:

A PART OF THE LANDS CONVEYED TO JULIUS J. WIDELL BY DEED RECORDED IN VOLUME 1154, PAGE 184, OFFICIAL RECORDS OF SANTA CRUZ COUNTY AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY LINE OF SAID LANDS OF WIDELL FROM WHICH A 3/4" PIPE AT THE NORTHWESTERLY CORNER THEREOF BEARS NORTH 0° 32' WEST 22 FEET AND NORTH 9° 14' EAST 187.46 FEET DISTANT, THENCE FROM SAID POINT OF BEGINNING ALONG THE WESTERLY AND SOUTHERLY LINE OF SAID LANDS OF WIDELL THE FOLLOWING COURSES AND DISTANCES: SOUTH 0° 32' EAST 30 FEET TO A 3/4" PIPE, SOUTH 14° 33' EAST 150.30 FEET TO A 3/4" PIPE SOUTH 26° 06' EAST 28 FEET TO A 3/4" PIPE, SOUTH 47° 12' EAST 36 FEET TO A 3/4" PIPE, SOUTH 65° 45' EAST 125.22 FEET TO A 3/4" PIPE AT THE MOST SOUTHERLY CORNER OF SAID LANDS OF WIDELL ON THE EASTERLY LINE OF A ROAD, KNOWN AS RIDERS ROAD, THENCE ALONG SAID EASTERLY LINE NORTH 7° 30' EAST 98.44 FEET TO AN AXLE; THENCE LEAVING SAID EASTERLY LINE SOUTH 72° 03' WEST 8 FEET TO A 3/4" PIPE ON THE CENTERLINE OF RIDERS ROAD; THENCE ALONG SAID CENTERLINE NORTH 6° 55' EAST 170 FEET TO A 3/4" PIPE; THENCE LEAVING SAID CENTERLINE WESTERLY IN A DIRECT LINE 215 FEET MORE OR LESS, TO THE POINT OF BEGINNING.

PARCEL TWO:

A RIGHT OF WAY OVER RIDERS ROAD.

A.P. No.: 107-311-02

Order No.  
Escrow No 138808-6  
Loan No

WHEN RECORDED MAIL TO

MARTHA MACAMBRIDGE  
21 ENOS LANE  
WATSONVILLE, CA 95076

RECORDED AT THE REQUEST OF  
FIRST AMERICAN TITLE INSURANCE COMPANY

1997-0033979

Recorded  
Official Records  
County Of  
SANTA CRUZ  
RICHARD W. REDEL

RSC FEE 10.00  
TAX 36.30  
SURVEY 10.00

08:00AM 29-Jul-1997 LPR Page 1 of 2

MAIL TAX STATEMENTS TO.

SAME AS ABOVE

SPACE ABOVE THIS LINE FOR RECORDER'S USE  
DOCUMENTARY TRANSFER TAX \$ 36.30  
Computed on the consideration or value of property conveyed, OR  
Computed on the consideration or value less liens or encumbrances  
remaining at time of sale  
As declared by the undersigned Grantor  
Signature of Document or Agent determining tax - Print Name

107311-02

## GRANT DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

JANE SCHWICKERATH, an unmarried woman and MARTHA MACAMBRIDGE, an unmarried woman as Joint Tenants  
hereby GRANT(S) to

MARTHA MACAMBRIDGE, ~~divorced/widowed~~ a single woman

the real property in the  
County of  
as

Unincorporated Area  
SANTA CRUZ

State of California, described

SEE LEGAL DESCRIPTION ATTACHED HERETO AND MADE A PART HEREOF

Dated July 21, 1997

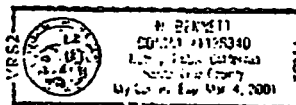
STATE OF CALIFORNIA  
COUNTY OF Santa Cruz

On July 23, 1997

before me, H. Bennett, personally  
appeared MARTHA MACAMBRIDGE AND JANE  
SCHWICKERATH, personally known to me (or proved to me on  
the basis of satisfactory evidence) to be the person(s) whose  
name(s) alone subscribed to the within instrument and  
acknowledged to me that he/she/they executed the same in  
his/her/their authorized capacity(ies), and that by his/her/their  
signature(s) on the instrument the person(s) or the entity upon  
behalf of which the person(s) acted, executed the instrument.  
WITNESS my hand and official seal.

Signature *H. Bennett*

JANE SCHWICKERATH  
MARTHA MACAMBRIDGE



MAIL TAX STATEMENTS AS DIRECTED ABOVE

1997-04 (1/94)

Order No. 138808-6

The land referred to herein is situated in the State of California, County of Santa Cruz. Unincorporated Area and is described as follows:

**PARCEL ONE:**

A PART OF THE LANDS CONVEYED TO JULIUS J. WIDDELL BY DEED RECORDED IN VOLUME 1154, PAGE 184, OFFICIAL RECORDS OF SANTA CRUZ COUNTY AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY LINE OF SAID LANDS OF WIDELL FROM WHICH A 3/4" PIPE AT THE NORTHWESTERLY CORNER THEREOF BEARS NORTH 0° 32' WEST 22 FEET AND NORTH 9° 14' EAST 187.46 FEET DISTANT, THENCE FROM SAID POINT OF BEGINNING ALONG THE WESTERLY AND SOUTHERLY LINE OF SAID LANDS OF WIDELL THE FOLLOWING COURSES AND DISTANCES: SOUTH 0° 32' EAST 30 FEET TO A 3/4" PIPE, SOUTH 14° 33' EAST 150.30 FEET TO A 3/4" PIPE, SOUTH 26° 06' EAST 28 FEET TO A 3/4" PIPE, SOUTH 47° 12' EAST 36 FEET TO A 3/4" PIPE, SOUTH 65° 45' EAST 125.22 FEET TO A 3/4" PIPE AT THE MOST SOUTHERLY CORNER OF SAID LANDS OF WIDELL ON THE EASTERLY LINE OF A ROAD, KNOWN AS RIDERS ROAD, THENCE ALONG W D EASTERLY LINE NORTH 7° 30' EAST 98.44 FEET TO AN AXLE; THENCE LEAVING SAID EASTERLY LINE SOUTH 72° 03' WEST 8 FEET TO A 3/4" PIPE ON THE CENTERLINE OF RIDERS ROAD; THENCE ALONG SAID CENTERLINE NORTH 6° 55' EAST 170 FEET TO A 3/4" PIPE; THENCE LEAVING SAID CENTERLINE WESTERLY IN A DIRECT LINE 215 FEET MORE OR LESS, TO THE POINT OF BEGINNING.

**PARCEL TWO:**

A RIGHT OF WAY OVER RIDERS ROAD.

A.P. No.: 107-311-02

RECORDING REQUESTED BY  
TITLE INSURANCE & TRUST CO.

BOOK 2867 PAGE 318

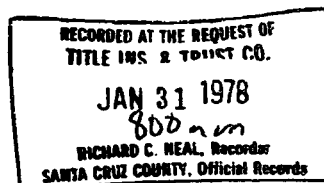
4893

AND WHEN RECORDED MAIL TO

Name Mr. & Mrs. Douglas P. Tartala  
Street Address 21 Enos Lane  
City & State Watsonville CA 95076

MAIL TAX STATEMENT TO

Name  
Street Address S M AS ABOVE  
City & State



### Individual Grant Deed

THIS FORM FURNISHED BY TICOR TITLE INSURERS

A.P.N. 107-311-02

TO 1923 CA (112-74)

The undersigned grantor(s) declare(s):

Documentary transfer tax is \$ 51.70

(X) computed on full value of property conveyed, or

( ) computed on full value less value of liens and encumbrances remaining at time of sale.

(XX) Unincorporated area: ( ) City of \_\_\_\_\_, and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

JOSEPH H. CUTLER and ELLEN R. CUTLER, his wife

hereby GRANT(S) to

DOUGLAS P. TARTALA and JO ELLEN TARTALA, husband and wife as JOINT TENANTS

the following described real property in the

County of Santa Cruz, State of California:

DESCRIPTION OF PROPERTY ATTACHED HERETO AS EXHIBIT "A" AND MADE A  
PART HEREOF.

31-78-X12-0075 • 6 • 0051.70

Dated January 26, 1978

Joseph H. Cutler  
Joseph H. Cutler

STATE OF CALIFORNIA  
COUNTY OF Santa Cruz

} SS.

On January 27, 1978 before me, the under-

signed, a Notary Public in and for said State, personally appeared

Joseph H. Cutler and Ellen R. Cutler

Cutler

Ellen R. Cutler  
Ellen R. Cutler

known to me

to be the persons whose name is subscribed to the within

instrument and acknowledged that they executed the same.

WITNESS my hand and official seal.

Signature

C. Baber



(This area for official notarial seal)

Title Order No.

Error & Loan No.

132180-W

MAIL TAX STATEMENT - 50 - DIRECTED ABOVE

The land referred to herein is described as follows:

TI#132180-W

SITUATE IN THE COUNTY OF SANTA CRUZ, STATE OF CALIFORNIA AND DESCRIBED AS FOLLOWS:

BEING A PART OF THE LANDS CONVEYED TO JULIUS J. WIDDELL BY DEED RECORDED IN VOCWE 1154, PAGE 164, OFFICIAL RECORDS OF SANTA CRUZ COUNTY AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY LINE OF SAID LANDS OF WIDELL FROM WHICH A 3/4" PIPE AT THE NORTHWESTERLY CORNER THEREOF BEARS NORTH 0° 32' WEST 22 FEET AND NORTH 9° 14' EAST 187.46 FEET DISTANT, THENCE FROM SAID POINT OF BEGINNING ALONG THE WESTERLY AND SOUTHERLY LINE OF SAID LANDS OF WIDELL THE FOLLOWING COURSES AND DISTANCES: SOUTH 0° 32' EAST 30 FEET TO A 3/4" PIPE, SOUTH 14° 33' EAST 150.30 FEET TO A 3/4" PIPE, SOUTH 26° 06' EAST 28 FEET TO A 3/4" PIPE, SOUTH 47° 12' EAST 36 FEET TO A 3/4" PIPE, SOUTH 65° 45' EAST 125.22 FEET TO A 3/4" PIPE AT THE MOST SOUTHERLY CORNER OF SAID LANDS OF WIDELL ON THE EASTERLY LINE OF A ROAD, KNOWN AS RIDERS ROAD, THENCE ALONG SAID EASTERLY LINE NORTH 7° 30' EAST 98.44 FEET TO AN AXLE, THENCE LEAVING SAID EASTERLY LINE SOUTH 72° 03' WEST 8 FEET TO A 3/4" PIPE ON THE CENTERLINE OF RIDERS ROAD, THENCE ALONG SAID CENTERLINE NORTH 6° 55' EAST 170 FEET TO A 3/4" PIPE, THENCE LEAVING SAID CENTERLINE WESTERLY IN A DIRECT LINE 215 FEET MORE OR LESS TO THE POINT OF BEGINNING.

TOGETHER WITH AND SUBJECT TO A RIGHT OF WAY OVER RIDERS ROAD.

107-311-02

Recorded at the request of

Return to

Joseph H. Cutler

611 Eureka Canyon Road

Corralitos, California

COMPARED

98379-V. S. C.

OCT 18 3 40 PM '66

SANTA CRUZ LAND TITLE CO.

BOOK 1789 PAGE 601

27269

For value received JOHN E. KLEIN and  
MARJORIE E. KLEIN, his wife

GRANT to JOSEPH H. CUTLER and  
ELLEN R. CUTLER, his wife

as JOINTENANTS all that real property situate in the

County of Santa Cruz, State of California, described as follows:

BEING a part of the lands conveyed to Julius J. Widell by deed recorded in  
Volume 1154 Page 184, Official Records of Santa Cruz County and more  
particularly described as follows:

BEGINNING at a point on the Westerly line of said lands of Widell from which a  
3/4" pipe at the Northwesterly corner thereof bears North 0° 32' West 22 feet  
and North 9° 14' East 187.46 feet distant, thence from said point of beginning  
along the Westerly and Southerly line of said lands of Widell the following  
courses and distances: South 0° 32' East 30 feet to a 3/4" pipe, South 14° 33'  
East 150.30 feet to a 3/4" pipe, South 26° 06' East 28 feet to a 3/4" pipe,  
South 47° 12' East 35 feet to a 3/4" pipe, South 65° 45' East 115.22 feet to a  
3/4" pipe at the most Southerly corner of said lands of Widell on the Easterly  
line of a road, known as Riders Road, thence along said Easterly line North  
7° 30' East 98.44 feet to on axle, thence leaving said Easterly line South 72°  
03' West 8 feet to a 3/4" pipe on the centerline of Riders Road, thence along  
said centerline North 6° 55' East 170 feet to a 3/4" pipe, thence leaving said  
centerline westerly in a direct line 215 feet more or less to the point of  
beginning.

TOGETHER with and subject to a right of way over Riders Road.

Assessor's Parcel No. 107-161-39

Dated January 3, 1966

John E. Klein  
Marjorie E. Klein

STATE OF CALIFORNIA

County of Santa Cruz

On June 2, 1966 before me, the undersigned, a Notary  
Public in and for said County and State, personally appeared  
JOHN E. KLEIN and MARJORIE E. KLEIN

known to me to be the persons whose names are subscribed to the within instrument, and acknowledged to me  
that they executed the same.

My commission expires

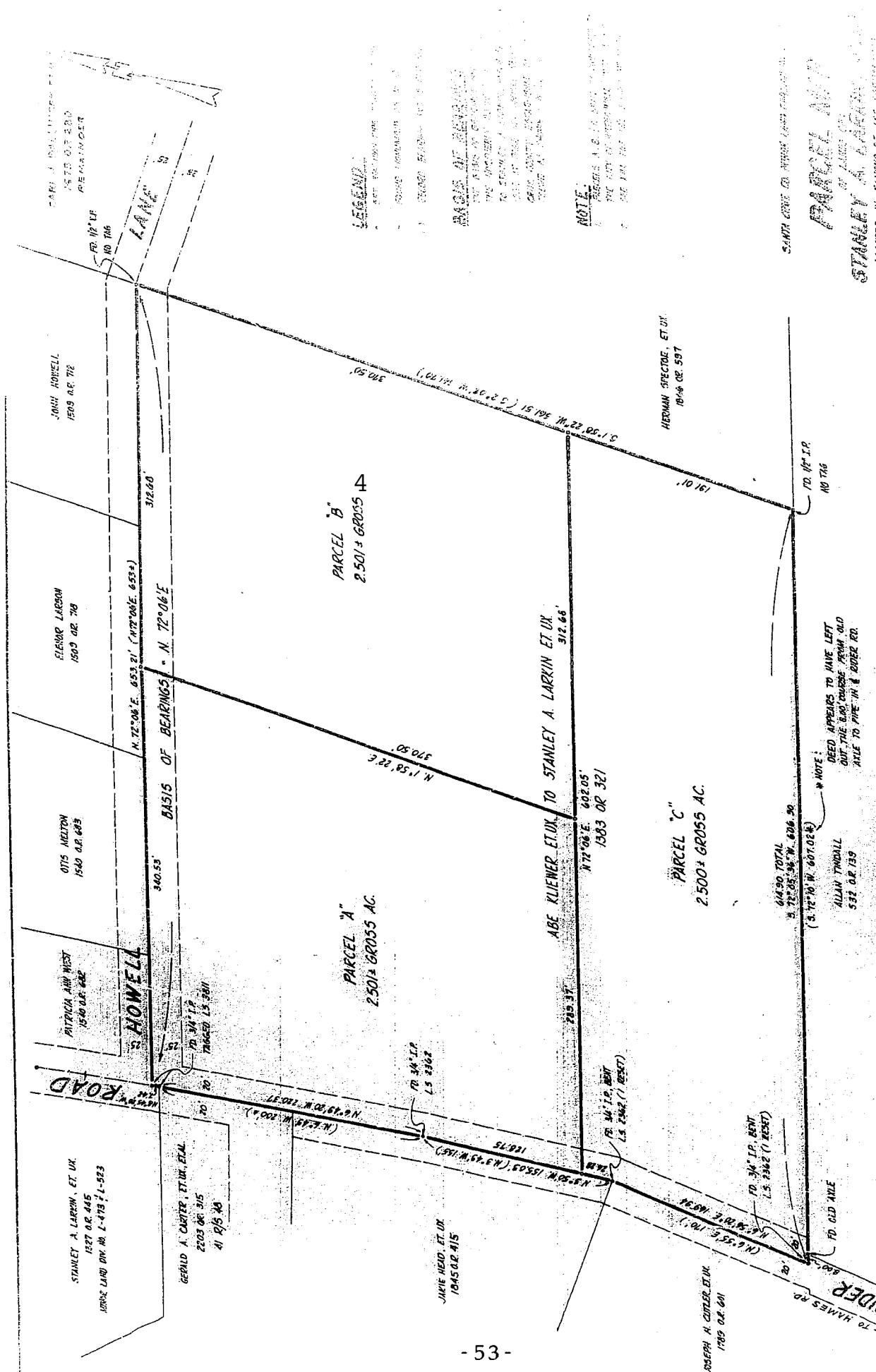


LILA V. VERNON  
NOTARY PUBLIC - CALIFORNIA  
PRINCIPAL OFFICE IN  
SANTA CRUZ COUNTY

- 52 -

Lila V. Vernon  
Notary Public

611 Eureka Canyon Road Corralitos, California



**SURVEYOR'S CERTIFICATE**

This map was prepared by me and was the result of a survey made by me and my assistants in accordance with the provisions of the Arizona Land Surveying Act.

I, Stanley A. Larkin, Surveyor, do hereby certify that the above is a true and correct copy of the original map as the same appears in my records.

Witness my hand and seal at the County of Santa Cruz, Arizona, this 19 day of September, 1953.

Stanley A. Larkin  
Surveyor

**COUNTY SURVEYOR'S CERTIFICATE**

This map has been examined and found to conform with the requirements of the Arizona Land Surveying Act.

I, Stanley A. Larkin, County Surveyor, do hereby certify that the above is a true and correct copy of the original map as the same appears in my records.

Witness my hand and seal at the County of Santa Cruz, Arizona, this 19 day of September, 1953.

Stanley A. Larkin  
County Surveyor

**COUNTY RECORDER'S CERTIFICATE**

This map has been examined and found to conform with the requirements of the Arizona Land Surveying Act.

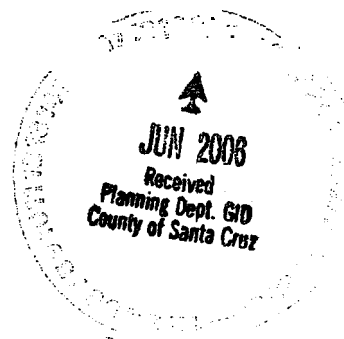
I, Stanley A. Larkin, County Recorder, do hereby certify that the above is a true and correct copy of the original map as the same appears in my records.

Witness my hand and seal at the County of Santa Cruz, Arizona, this 19 day of September, 1953.

Stanley A. Larkin  
County Recorder

**EXHIBIT 4:**  
**Letter dated March 27, 2007, of Dennis J. Kehoe to**  
**Santa Cruz County Planning Commission**

**Santa Cruz County Planning Department**  
**TOM BURNS, DIRECTOR**  
**701 Ocean Street, Room 400**  
**Santa Cruz, California 95060-4068**  
**Telephone: (831) 454-2580**  
**FAX: (831) 454-2131**



**COUNTY OF SANTA CRUZ**

**In the Matter of** )  
**DAUGHTERS OF MARY, HELP OF** )  
**CHRISTIANS,** ) **SECOND AMENDED COMPLIANCE**  
**Property Owners.** ) **AGREEMENT**

1. The parties to this compliance agreement are DAUGHTERS OF MARY, HELP OF CHRISTIANS and the SANTA CRUZ COUNTY PLANNING DEPARTMENT.
2. DAUGHTERS OF MARY, HELP OF CHRISTIANS, hereinafter referred to as "Owner" are the owners of record of the real property located at 605 Enos Lane, Watsonville California and described as Assessor's Parcel No. 107-571-01 and hereinafter referred to as "subject property". Owner operates the Salesian Elementary (Grades K through 8) on subject property.

The County alleges that the subject property **is** in violation **of** Santa Cruz County Code Section(s) 13.10.275 in that:

- A. Owner **has** exceeded the 125-student enrollment maximum allowed under **USE PERMIT 78-1539-U**;
- B. Owner has, in the past, been in violation of the Fire **Marshal's** requirements regarding emergency and evacuation access;
- C. Use permit 78-323-U, which established a maximum enrollment of 90 students, required a plan for carpooling or busing to minimize traffic on Enos Lane. **This** condition was reiterated in the subsequent permit amendment, **78-1539-U**, which allowed expansion to 125 students. While the permit conditions did not set forth a specific vehicle limit, it is clear that the objective of minimizing traffic on Enos Lane

has been compromised by the unauthorized increase in student enrollment and related vehicular traffic, necessitating the development of an aggressive carpooling program.

4. Pursuant to the original Compliance Agreement between the County and the Owner, on August 11, 2004, Owner filed Application # 04-0384 with the County Planning Department. Owner seeks County approval to increase enrollment to 250 students, to widen Enos Lane, and to construct a new parking lot. Owner and County mutually agreed that Owner shall diligently pursue: and County shall diligently process, said application. Application #04-0384 requires environmental review, consideration by the Planning Commission at a duly noticed public hearing, and a final decision by the County Board of Supervisors at a duly noticed public hearing.
5. Since a final decision on this application did not occur prior to June 30, 2005, the County and the Salesians signed an Amended Compliance agreement on August 24<sup>th</sup> for the 2005-2006 academic year. This amended agreement expires on June 30, 2006.

While Application #04-0384 is pending in the development review process and while considerable staff time has been spent on the processing of this application, a public hearing before the Planning Commission and final action by the Board of Supervisors will not **occur** prior to June 30, 2006. Further, both parties agree that more time for discussion and negotiation between the Owner, the County, and community representatives will benefit all parties. Therefore, it is again necessary to again execute an amended Compliance Agreement effective July 1, 2006.

5. Owner hereby agrees as follows:
  - A. Continue to comply with the corrective order issued by the County Fire Marshal addressing traffic congestion that amounted to an ingress/egress obstruction in violation of the Fire Code. This includes maintaining signage and curb coloring,

prohibiting cars from parking along the access route around the school, and managing the flow of school traffic on Enos Lane so as to not create congestion that amounts to an obstruction;

- B. Maintain an enrollment cap **of** 205 students for the 2006-2007 academic school year;
- C. By August 1, 2006, develop a traffic management plan (including some combination of carpooling, shuttle, or busing) to reduce student related school traffic in the morning (7:30-8:30 ~~am~~) and afternoon (2:30-3:30 pm) peak periods to **a** maximum of 45 vehicles total (the vehicle maximum does not include vehicles originating on upper Enos Lane or its side streets who have children attending Salesian School); provide a copy of said plan to the Planning Department by August 10, 2006, and implement this plan at the start of the fall school session (August 16, 2006);
- D. Require that any of the 17 off-site faculty and other school staff, who drive, to arrive prior to 7:30 ~~am~~ to separate **this** traffic from the student traffic;
- E. Owner shall maintain records demonstrating compliance with these requirements, including staff and student peak period morning and afternoon vehicle counts, and shall provide those records to the County by the 15<sup>th</sup> day of each month for the preceding month. School officials shall do morning and afternoon unannounced peak period vehicle counts on the school driveway at the entrance to the school on different days of the week, with a minimum of **4** daily vehicle counts per month (a minimum of once a week during school session);
- F. Owner and County acknowledge that it will be necessary to have independent traffic counts on the school driveway at the entrance to the school in addition to those performed by school personnel. Therefore, the school shall contract with a Traffic Engineer by August 1, 2006, to conduct random, unannounced peak morning and peak afternoon vehicle counts of school related vehicle traffic. School shall provide a copy **of** the executed contract with the traffic engineer to the Planning Department by August 10, 2006. The Traffic Engineer shall be Higgins Associates or other ***firm*** approved by the County and shall perform such counts when requested by the County;

provided, however, that such independent counts shall not exceed a maximum of **6** during the fall session and, if necessary, an additional **6** during the spring session.

- G. If initiated and processed by the residents on upper and lower Enos Lane and their side streets, owner shall install two speed humps on lower Enos Lane by August 1, 2006 or as soon **as** practical thereafter after receiving the written consent of the residents on upper and lower Enos Lane and their side streets (with one vote to each residence served by Enos Lane beyond the school access driveway and two votes for each residence served by Enos Lane before the school access driveway) and agreement as to the desired location of said speed humps;
  - H. Owner shall prepare an emergency evacuation plan and obtain approval of said plan by the County Fire Marshal by August 1, 2006, and shall provide a copy of the approved plan to the County prior to the commencement of the 2006-2007 academic school year;
  - I. Owner agrees to continue to participate in mutual problem solving meetings with neighborhood representatives throughout the term of this agreement **through** Owner's standing 3 member committee chaired **by** parent Andrew Kreeft; and
  - J. Owner agrees to continue to require parents to review and sign a parent handbook that details the School's expectations regarding traffic management and safety, emergency evacuation plan, and courteous driving, as well as the consequences of violations of the school's policies.
7. This agreement does not constitute approval of any existing uses at the property other than those expressly granted in previous County permits, nor does it restrict in any way the authority of the decision-making body, the County Board of Supervisors, to approve, deny, or otherwise condition any permit applications that come before them. This agreement does not constitute a waiver **of** the County's ability to pursue all legal remedies against the owner for compliance with existing permit conditions and/or approvals, should the County deem such action necessary in the future. Without waiving any of Owner's rights, Owner acknowledges the County's intent to take further enforcement action to reduce student enrollment to the

alleged permitted level (presently 25 students) for the 2007-2008 and subsequent academic years if Owner withdraws Application # 04-0384, if the County abandons said application, or if the application to increase enrollment is denied.

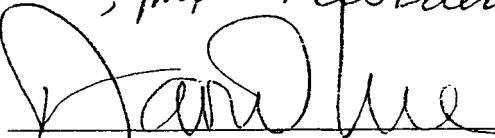
3. This agreement is null and void on July 1, 2007 or prior if any **of** the following occur: the Owner does not materially comply with any of the terms set forth above in this agreement; if Application # 04-0384 to amend Use Permit 78-1539U is subsequently withdrawn **by** the applicant **or** abandoned by the County; or upon final action by the County Board of Supervisors on the Use Permit amendment application. This agreement does not constitute a waiver of any rights of the Owner.
9. Sister Charlotte Greer represents to the Planning Department that she is authorized to agree to the above terms and to execute this Compliance Agreement on behalf of Daughters of Mary, Help of Christians for the Salesians School.
10. Owner understands that compliance with the terms of this agreement will enhance its relations with its neighbors and provide the Planning Department a technical basis for evaluating and making recommendations with regard to Owner's pending application to expand enrollment at the school.

Dated: 6/20/06

Signed by Sr. Therese Simon, M.P. Principal

Dated: 6/8/06

Sister Charlotte Greer, Principal



David Lee  
Assistant Planning Director, County of Santa Cruz

**EXHIBIT 5:**  
**Letter dated March 27, 2007, of Dennis J. Kehoe to**  
**Santa Cruz County Planning Commission**

Law Offices of  
**DENNIS J. KEHOE**  
Law Corporation

311 Bonita Drive  
Aptos, California 95003  
(831) 662-8444 FAX (831) 662-0227

March 27, 2007

**(Hand-Delivered)**

BOSSO WILLIAMS  
ATTENTION: BOB BOSSO, ESQ.  
133 Mission Street, Suite 280  
Santa Cruz, CA 95060

**Re: Salesian Sisters, County Planning Commission No. 04-0384  
March 28, 2007, Item 10**

Dear Bob:

I received a copy of your March 20, 2007, letter to the Planning Commission. You indicate that your clients own APN 107-461-25, 350 Hames Road. Santa Cruz Title Company has provided copies of the deeds in the chain of title **to** your clients' property, all of which specifically mention "Rider Road" and that their property is to the east of Rider Road. Additionally, the owners of your clients' property deeded a water tank lot to the City of Watsonville (APN 107-461-02) and that description makes specific reference to the survey **of** the 40' Rider Road right-of-way approved by the Board of Supervisors on July 16, 1883. I was also provided by Kim Mattos a map prepared by Stan Nielsen, Mid Coast Engineers. Enclosed is a copy of the same. As indicated on that map, Enos Lane is within the right-of-way.

Furthermore, your clients' property including an old barbed wire fence is at a significant higher elevation than Enos Lane. This elevation differential varies anywhere from approximately two (2) to four (4) feet in height. Moreover, Enos Lane (Rider Road) has been in open use for decades.

As mentioned to you in our recent telephone conversation, the Salesian Sisters have **no** interest in a walkway over your clients' property. Also, my clients have **no** interest in widening Enos Lane to 24'.

If you or your clients have any questions, please contact me at your earliest convenience.

Very truly yours,

**DENNIS**  
DENNIS J. KEHOE

DJK:jlc; Enclosure

**EXHIBIT 6:**  
**Letter dated March 27, 2007, of Dennis J. Kehoe to**  
**Santa Cruz County Planning Commission**

Law Offices of  
**DENNIS J. KEHOE**  
Law Corporation  
311 Bonita Drive  
Aptos, California 95003  
(831) 662-8444 FAX (831) 662-0227

January 20, 2005

2005 JAN 20 PM 4 51  
*Plan Dept*  
COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT

**D-DEI VERED**

TOM BURNS, Planning Director  
SANTA CRUZ COUNTY PLANNING DEPARTMENT  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060

**Re: Application No. 04-0384;  
Appeal To The Planning Director from the January 6, 2005, Staff  
Person Determination That The Application Is Incomplete.**

Dear Mr. Burns:

This letter shall constitute the appeal of the applicant and aggrieved person from the January 6, 2005, letter of Randall Adams, staff planner, asserting that the application above referenced is incomplete. You are requested to review this appeal with the applicant/appellant and its representatives. We will make ourselves available to you at your convenience. (In the meantime, we will be available to meet with Mark Deming to address and, hopefully, reasonably resolve the outstanding issues) For your benefit, the appeal has been divided into several sections; Brief Background, Overall Appeal, and Other Appeal Items.

**I**  
**BRIEF BACKGROUND**

**A.** Although not all inclusive, the following is a brief background with respect to the applicant. The Salesian Sisters have been in their existing location since 1975. Prior to their purchase of the property, Enos Lane, formerly known as Rider Road, was the historic access to the Salesian Sisters' property. Moreover, the Grant Deed to the Sisters specifically includes an appurtenant "right-of-way 40-feet wide" from their property "southerly to Hames Road, a County Road." Please refer to the recorded Grant Deed, a copy of which was provided to you with

Tom Burns, Planning Director, Santa Cruz County Planning Department  
(Salesian Sisters) January 20, 2005

Page 1

4

the application submitted on August 11, 2005. Additionally, the County of Santa Cruz previously issued various permits including, but not necessarily limited to, 75-600-U; 77-557-U; **78-323-U**; 78-1538-U; and 88-1105. The County permits, either specifically or generally, required the Salesian Sisters to use Enos Lane as the same exists from the Salesian Sisters property to Hames Road. Further, the use of Enos Lane from the Salesian Sisters property to Hames Road has been open and continuous since long **before** the Salesians' Grant Deed in 1975.

**B.** Additionally, the County never before required a "guarantee" of the Salesian Sisters' right to use Enos Lane. Rather, the County, at various times, has required some improvement by the Salesian Sisters or contribution towards improvement by the Salesian Sisters of Enos Lane. And such improvements were made as requested by the County. Furthermore, various building permits, septic system permits, and other County permits have been issued to the Salesian Sisters all either explicitly or implicitly contemplating the use of Enos Lane from the Sisters' property to Hames Road.

**C.** Although the Salesian Sisters submitted the above referenced application, they specifically did **not** waive any of their rights in submitting the application. (See Compliance Agreement) On August 11, 2004, the Salesian Sisters submitted this application to the County of Santa Cruz, Planning Department. The application is dated by the County 8/11/2004, and designated as Application No. 04-0384. Extensive material meeting **all** legitimate County criteria was submitted at that time. Nevertheless, a letter dated September 9, 2004, of "incompleteness" was transmitted by the project planner to Salesian Sisters. In response to that letter, a correspondence dated December 9, 2004, together with extensive documentation was delivered on behalf of the Sisters to the County with supporting data. Once again, a January 6, 2005, letter was transmitted by the project planner purporting that the application is "incomplete" and wanting yet more information, and indicating the applicant has a right to appeal his decision to you as the Planning Director. The letter of January 6, 2005, and all contents therein contained are appealed to you. Hopefully, you will meet with us before deciding our appeal.

**D.** The Salesian Sisters have always used this property for religious assembly and as a religious institution. This includes, but is not limited to, praise and worship of God, Godly student education, and other religious activities, all of which are protected by the state and federal constitutions and other laws including, but not limited to, the Religious Land Use and Institutionalized Persons Act (RLUIPA) and the federal Civil Rights Act. Even aside from the historic use by the Salesian Sisters of the property, the County is prohibited from imposing **substantial burdens** on the Sisters' assemblies and activities unless it is doing so in furtherance of a **compelling** government interest **and** the County uses the **least restrictive** means of furthering that compelling interest.

## **II.**

### **OVERALL APPEAL**

#### **A. Permit Streamlining Act.**

Prior to the enactment of the Permit Streamlining Act, the legislative history of that law reveals the following abuses. Land use applicants would submit applications to public agencies. The public agencies would request more information which was then provided. In turn, the additional information was used as a spring-board to ask for yet more information. Applicants expended significant funds in order to meet these on-going requests for “further information” just to get the agency to process their applications. Even aside from the significant expenditure in an attempting to respond to the requests and further requests, significant time was lost in even starting the application process. Thus, the Legislature enacted the Permit Streamlining Act. Among other items, that Act requires that the County compile a list that “shall specify in detail the information that will be required from any applicant.” Government Code §65940(a) Here, the Salesian Sisters provided information complying with legitimate County criteria. The requests for “further information” contained in the **January 6, 2005**, letter is **not** in compliance with the Permit Streamlining Act. Therefore, the application is complete and the land use processing must commence.

#### **B. The January 6, 2005, Request For Further Information Is Unreasonable, Arbitrary, And Substantially Burdensome.**

(1) The information requested in the January 6, 2005, letter is extremely detailed and is **not** necessary in order to process this application. This includes, but is not limited to, the staff planner’s detailed **and** conflicting requests which **may** in some respects be appropriate but only **after** approval of the application. Additionally, some of the demands are totally unreasonable and contrary to law. For example, Mr. Martin (Public **Works**) wants 24-feet of Enos Lane surface, an additional 4-foot buffer, and an additional 4-foot walkway. (32 feet in total whereas the existing is 18-feet for the most part!) This is ridiculous. The people in the area and the applicant want **no** more than 18-feet of surface as shown on the Ifland plans submitted to the Planning Department.

(2) In addition, the January 6, 2005, letter now demands a “guarantee” of the right-of-way. “This is unreasonable, arbitrary, extremely burdensome, and beyond the County’s jurisdiction. The County has approved numerous permits to the Sisters, all requiring usage of Enos Lane to Hames Road. Enos Lane was always used, even prior to the purchase of the property by the Salesian Sisters. The grant deed to Salesian Sisters specifically conveys a 40-foot right-of-way to Hames Road. Under the California Recording Act, this recorded right-of-way is binding whether intervening property deeds make

reference to the 40-foot right-of-way or not. Furthermore, Enos Lane has been used, repaired, and improved for more than 25-years. Additionally, there are numerous survey maps of Enos Lane (Rider Road) of record and in the County Public Works Department (e.g. 14 Maps 45; 22 Maps 57; 29 Maps 17; 62 Map 13; Public Work file A2-66). Moreover, additional information has been submitted showing that Enos Lane was formerly known as Rider Road and that that right-of-way has existed for approximately 100-years. Ifland Engineers have also mapped the right-of-way on its submittals to the County. Additionally, the multiple County permits issued to the Sisters confirm that Enos Lane to Hames Road is the right-of-way to their property.

The “guarantee” of the right-of-way is contrary to numerous prior County permits granted to the Salesian Sisters. It is contrary to the usage of Enos Lane for decades. It is contrary to common sense, extremely burdensome, and beyond the County’s jurisdiction. Further, it is not required by any legitimate “County list” criteria. Nevertheless, without waiving any rights, enclosed is the October 2004, Title Report from Stewart Title Guarantee Company.

(3) The Salesian Sisters have met the legitimate County requested items. “Further information” is **not** necessary in order to process this application. Consequently, the application is complete. You are requested to accept the application of the Salesian Sisters as complete and begin the permit processing.

#### **111.**

#### **OTHER APPEAL ITEMS.**

Appeal of the January 6, 2005, staff project planner letter is taken and reference is made to the numbered paragraphs in that letter.

**1.** This request is unreasonable; arbitrary; never before requested; not on the legitimate County information list; not with the jurisdiction of the County to require; ownership information has been previously provided; imposes substantial burden on the Salesian Sisters and is **not** in the least restrictive means in furtherance of any compelling interest; irrelevant, especially in view of prior and current usage of Enos Lane and prior County permits issued to applicant.

Without waiving any of applicant’s rights, enclosed is the October 28, 2004, Title Report of Stewart Title Company, see Parcels Three, Four, and Five – right-of-way over Rider Road “40-feet wide” “Southerly to Hames **Road**, a County Road.” The applicant’s additional submittals included recorded maps confirming that “Rider Road” is also known as “Enos Lane.” Also, Ifland Engineers submitted copies of County Public Work’s maps and recorded maps confirming existence and location of Enos Lane and that “Rider Road” is also known as Enos Lane.

Moreover, Ifland Engineers also submitted detailed Enos Lane Improvement plans including cross-sections and notations.

**2. All the objections to #1 above are incorporated herein by this reference as objections to #2.** Additionally, the staff planner incorrectly asserts that it is “unclear as to what access rights were intended to be displayed by the old maps...” In that staff planner’s September 9, 2004, letter to applicant asking for more information, the staff planner, himself, requested information that “Enos Lane used to be called Rider Road.” These older maps, both recorded and the County maps, show, among other items, that Enos Lane used to be **known** as Rider Road.

Furthermore, all of applicant’s submittals including those in response to staff planner’s September 9, 2004, were organized, properly bound and delivered to the Planning Department. What happened once the County had the documentation is not applicant’s responsibility, although applicant will cooperate with the Planning Department in order to organize or reorganize the submitted documentation and/or provide additional requested copies.

**2a. All the objections to #1 & #2 above are by this reference incorporated herein in response to #2a.**

**2b. All the objections to #1 & #2, and #2a above are by this reference incorporated herein in response to #2b.** This information is already contained in applicant’s previous submittals including the details of Ifland’s Enos Lane Improvement Plans.

**2c. All the objections to #1, #2, #2a, and #2b are incorporated herein by this reference in response to 2c.** Additionally, this information has already been adequately provided for purposes of a complete application. The staff is unreasonable for purposes of a complete application.

### **3. Comments.**

**All the objections to #1, #2, #2a, #2b, and #2c are incorporated herein a though fully set forth herein in response to 3 Comments .** Moreover, the applicant has already submitted the legitimate required County information for a completed application.

The Comments, and each of them, are seeking information which is extremely expensive to applicant to obtain, if it is obtainable at all. Further, the same is **not** required for a completed application. Moreover, some of the requested additional information **map** be appropriate **post** land use approval but **not** to complete the application. Attached and incorporated is the **January 20,**

2005, letter of David Robinson.

Please also confirm that the "30" day compliance period was met. It appears that it was **not**.

Very truly yours,  
DENNIS J. KEHOE, Law Corporation

By   
DENNIS J. KEHOE, Attorney for  
Applicant and **Appellant**

SALESIAN SISTERS, DAUGHTERS OF  
MARY HELP OF CHRISTIANS

By   
SISTER LOURDES TREVINO, FMA

DJK:jlc  
Enclosures



January 20, 2005

Santa Cruz County Planning Department  
 Attn: Tom Burns, Planning Director  
 701 Ocean Street, 4<sup>th</sup> Floor  
 Santa Cruz, CA 95060

Re: Application No. 04-0384;  
 Appeal to the Planning Director from the January 6, 2005, staff person  
 determination that the application is incomplete.

Dear Mr. Burns:

Regarding the application for the Salesian Sisters School and the letter response requirements from the County of Santa Cruz dated January 6, 2005, please note the following:

1. The deeds and title report provided originally with our application clearly and specifically include the 40 foot easement and right of way for Enos Lane. All title reports are backed by the typical "Title Insurance" reports. Please find enclosed another copy from a secondary source, Stewart Title Guarantee Company, dated 10/28/04 that again substantiates the 40 foot easement and right of way.
2. All title reports, plans and documentation requested by the County were submitted in the required format, in the exact order requested, and were clearly labeled, stapled, bound and folded. Please refer to your letter dated 9/4/04 and our response dated 12/9/04 for the format of reassembling the documents submitted to the County of Santa Cruz. The plans were in order and bound separately as road plans and site/parking lot plans when submitted. The single sheets submitted were only to show to you that Enos Lane used to be Rider Road. These pages should not be bound with the other development plans. The purpose of these pages was explained in item #2 of our letter dated 12/9/04 and was in direct response to your item #2 of your letter dated 9/4/04. With all due respect, please read the accompanying letter of each submittal.

2. a. b. c. and comments

It is the opinion of the Salesian Sisters and our consultants that all rights of way, deeds, existing and proposed road widths, and property maps and deeds as requested by the County of Santa Cruz have been submitted and are described as accurately as can be provided. The 40 foot right of way described in the Salesian Sisters' deed goes over the existing road. In general convention it is shown as being 20 feet on either side of the center line of the existing road. This is shown in plain view and clearly noted on the plans. As our letter of 12/9/04 clearly states, we do not see any point in providing you with other people's rights of way, as these are not germane.

Salesian Sisters School Application #04-0384  
Mr. Tom Burns  
Page 2

Although not necessary for a complete application, additional grading volumes, cut and fill totals and cut details for existing drainage berms, further drainage calculations, details for the existing on-site drainage system, and other detailed documentation could later be provided with respect to the currently proposed plans by Ifland Engineers [6 sheets regarding the road and 3 sheets regarding the parking lot]. These plans can be wet stamped and signed when they are final plans. However, generating more detailed information at this point would require that the Salesian Sisters expend more money. Until it is decided whether or not a pathway will be required, and exactly how wide the roadway should be, it is not useful to expend further money and energy in providing any further *details*.

You have our proposal of an 18 foot wide road, with 24 feet in width for the first 40 feet, and a pathway up to the top of the first hill separated from the roadway by an asphalt berm. This is our current proposal and should be the proposal you take to the hearing. Any other design should be a result of a public hearing, at which point we will provide whatever reasonable details are necessary on implementation plans. It appears at this point that neither the Sisters nor the neighbors may want the pathway. The pathway was a response to the initial neighborhood meeting held regarding this project and was intended not for students walking to the Salesian school, but for neighborhood children walking down the hill to their bus stop at the bottom of Enos Lane. The Sisters are open to either having or not having this pathway.

The *sanitation* disposal system works properly and has done so over the years. Also, it has already been upgraded and approved for the school population of 250 students. [see EHS, John Ricker report of 12/17/03; Betty Cost letter of 12/9/04; and Peter Haase letter of 12/9/04.]

In closing, as per your letter dated January 19, 2005 to Mr. Dennis Kehoe, Attorney for the Salesian Sisters, the school is very hopeful that in our next meeting the school and the County can adequately address the outstanding issues that allow this application to be deemed complete.

Regards,



David L. Robison, OCM  
Principal

**CONDITION OF TITLE REPORT**

**STEWART TITLE GUARANTY COMPANY**

*herein called the company*

G 1578-50503

SUBJECT TO THE TERMS, LIMITATIONS AND CONDITIONS OF THE  
APPLICATION FOR THIS CONDITION OF TITLE REPORT, WHICH  
APPLICATION, OR COPY THEREOF, IS ATTACHED HERETO  
**AND) MADE A PART THEREOF**

**REPORTS**


To the party named in Schedule A, that as disclosed by the Title Instruments, the ownership of  
and the defects, liens and encumbrances against the Interest in the Land are as shown in  
Schedule B.

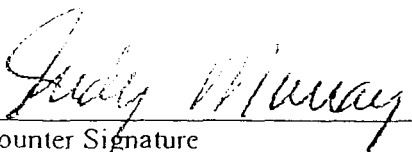
Any claim or other notice to the company shall be in writing and shall be addressed to the  
Company at the issuing office or to

Stewart Title Guaranty Company  
Claims Department  
1980 Post Oak Blvd., Suite 800  
Houston, Texas 77056

THIS REPORT IS NOT VALID **AND THE COMPANY SHALL HAVE NO LIABILITY**  
HEREUNDER UNLESS THE APPLICATION REFERRED TO ABOVE, OR COPY  
THEREOF, IS ATTACHED HERETO.

STEWART TITLE GUARANTY COMPANY

  
\_\_\_\_\_  
Authorized Signatory

  
\_\_\_\_\_  
Counter Signature

**EXHIBIT 7:**

**Letter dated March 27, 2007, of Dennis J. Kehoe to  
Santa Cruz County Planning Commission**



# COUNTY OF SANTA CRUZ

## PLANNING DEPARTMENT

701 OCEAN STREET, 4<sup>TH</sup> FLOOR, SANTA CRUZ, CA 95060  
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123  
TOM BURNS, PLANNING DIRECTOR

April 5, 2005

Mr. Dennis Kehoe  
311 Bonita Drive  
Aptos, CA 95003

RE: Appeal of Application Completeness Determination  
Application No. 04-0384  
B. Cost for Salesian Sisters

Dear Mr. Kehoe:

We received your appeal of the determination of incompleteness on this application on January 20, 2005. You and I met on January 25<sup>th</sup> to discuss the requested information and to define what would be required for the application to be deemed complete. Since then, we have received revised plans for the roadway improvements to Enos Lane and additional information from Strategic Construction addressing some of the details that had been requested. Although not all of the materials requested have been submitted, I feel that sufficient information has been submitted to deem it complete. Therefore, I am upholding your appeal and determining that the application is complete for processing.

The next step in the permit review process is the CEQA review, where an Initial Study is prepared to analyze the potential impacts of the project. As I discussed with you on March 16<sup>th</sup>, several of the outstanding technical requirements for the project will have to be resolved before environmental review can be completed. These include approval by Environmental Health Services (EHS) of a preliminary design for advanced treatment for the septic system, approval of preliminary designs for the drainage systems serving the new construction by Public Works and some minor details regarding the grading proposed. In my conversations with EHS, it was clear that Peter Haase knows what is needed to complete the septic system upgrade design and Ilford Engineers has a long history of meeting County requirements for all types of projects.

It is my hope that these technical details can be resolved expeditiously. If you have any additional questions or concerns about this project, do not hesitate to telephone me at 454-3183.

Sincerely,

Mark M. Deming, AICP  
Assistant Planning Director

cc: R. Adams

**EXHIBIT 8:**

**Letter dated March 27, 2007, of Dennis J. Kehoe to  
Santa Cruz County Planning Commission**

**Bus transportation quotes as of 3/29/2006**

Transportation quotes were solicited and received from three companies! Michael's Transportation Service, Durham School Services, and Laidlaw Education Services. All companies agree that to provide service from the Watsonville and Aptos regions for our current student body requires four busses. Costs are as follows:

Michael's	\$365/bus	\$1460/day	\$262,800/year
Durham	\$450/bus	\$1,800/day	\$324,000/year
Laidlaw	\$467/bus	\$1,868/day	\$336,240/year

**EXHIBIT 9:**

**Letter dated March 27, 2007, of Dennis J. Kehoe to  
Santa Cruz County Planning Commission**



**FALL CREEK ENGINEERING, INC.**

**Civil • Environmental • Water Resource Engineering and Sciences**

tel (831) 426 9054

P.O. Box 7894, Santa Cruz, CA 95061

Fax (831) 426-4932

**March 4, 2005**

Santa Cruz County Planning Department  
Attn: Randall Adams  
701 Ocean Street  
Santa Cruz, CA 95060

Subject: **Application No. 04-03843**  
**Septic System for Salesian Sisters School**  
**APN 107-571-01**

Dear Mr. Adams:

Fall Creek Engineering, Inc. (FCE) has prepared this letter to inform you **that** the existing septic system is operating satisfactorily at the current level of use. Based on information prepared by the County of Santa Cruz, Health Services Agency, the existing **system** capacity was determined to be adequate to accommodate a school student population of 250 people, which with I concur.

To maintain the **system** in good working order, I **would** recommend that the School conduct semi-annual monitoring of the system. To this end, I would further recommend that the School **have** the septic system pumped and inspected twice a year to monitor its condition.

Thank you for your attention in this matter. If you have any questions or require additional information, please do not hesitate to contact me at (831) 426-9053.

Sincerely,

PETER NAASE  
Principal Engineer

Cc: Sr. Charlotte Greer, Corralitos  
Dennis Kehoe, **Aptos**  
David Robison, Santa **Cruz**

**RECEIVED**

**MAR 07 2005**

**STRATEGIC C.M.**

**EXHIBIT D**

**Letter dated March 27, 2007, of Dennis J. Kehoe to  
Santa Cruz County Planning Commission**

NEGATIVE DECLARATION

Applicant:

GEORGE DAVIS FOR SALESIAN SISTERS, BY SISTER MARY HELEN

Name of Project, if any:

Project Location:

West side of Enos Lane (605 Enos Lane), 1 mile north of Hames Road.  
Corralitos Area.

Project Description:

Zoning Appl to rezone from REC to UBS-40. Appl to amend Use Permit 78-323-U to operate a school for Grades K, 1, 5, 6, 7, and 8 by expanding the school facilities to include Grades 2, 3, 4, 9, 10, 11 and 12 in existing buildings.

APN: 107-121-60

File NO.

78- 935-2  
78-1539-U

Staff Person:

Suzanne Kulick

Telephone:

(408) 425-2191 X  
425-2286     

Finding: This project **will not** have a significant effect on the environment as documented in the Initial Study on this project attached to the original of this notice, on file with the Community Resources Agency, County of Santa Cruz, 701 Ocean Street, Santa Cruz, California.

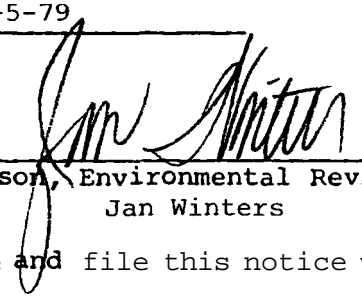
Mitigation Measures or Conditions:

Negative Declaration with Conditions:

1. Until the roadway is improved to Fire Marshall Standards of 16-foot width or until the formation of an assessment district to accomplish the required road improvements, the school operation shall be limited to Grades K-8 with a maximum of 125 students. There is a continuing requirement for carpooling or busing.
2. When the roadway is improved per Condition #1 (above) or when an assessment district to accomplish the improvements is formed, the total number of students may be increased to 250 Students, Grades K-12.

Date approved by Environmental Review Committee: 3-5-79

Review period ends: 3-15-79

  
Chairperson, Environmental Review Committee  
Jan Winters

NOTICE OF DETERMINATION (If project is approved, complete and file this notice with Clerk of the Board.)

The final approval of this project was granted by:

\_\_\_\_\_ on \_\_\_\_\_. No EIR was prepared under CEQA.  
(Decision-making body)

Date completed notice filed  
with Clerk of the Board:

By \_\_\_\_\_  
Clerk of decision-making body

Title: \_\_\_\_\_

**EXHIBIT 11:**  
**Letter dated March 27, 2007, of Dennis J. Kehoe to**  
**Santa Cruz County Planning Commission**

Law Offices of  
**Dennis J. Kehoe**  
Law Corporation  
311 Bonita Drive  
Aptos, California 95003  
(831) 662-8444 Fax (831) 662-0227

March 16, 2006

**Santa Cruz County Planning Department**  
**Attn: Paia Levine**  
**701 Ocean Street, 4<sup>th</sup> Floor**  
**Santa Cruz, CA 95060**

**Re: Application 04-0384; Salesian Sisters' School, K-8**

Dear Ms. Levine:

The undersigned was recently provided copies of two (2) letters addressed to you; one letter is from Dianne Castellanos dated Feb. 27, 2006, and a second undated letter is from her husband, Andrew Fidandis. Both letters contain a number of inaccuracies, errors, and misstatements concerning facts; history; County permits, procedures and compliance therewith; and make many unsupported accusations against, among other people, the Salesian Sisters and their students and parents. Each and every such allegation, misstatement, innuendo, and accusation contained in those letters made against the Salesian School and the Sisters, parents, and children is specifically denied. Although not all inclusive, the following is highlighted.

For your information, Salesian facilities have been serving the people of this County since the 1920s, and the Sisters have owned the Enos Lane property since 1975, long before Ms. Castellanos and her husband moved to the Enos Lane area three years ago. The Sisters are not temporary. They have a history and future in Santa Cruz County of serving the people of our area.

Moreover, the Salesian Sisters' stated purpose is to educate through "reason, religion, and loving kindness" thereby strengthening family bonds and civic responsibility. Concerning ethnic diversity, 24% of the students are Hispanic, and the Sisters themselves are very ethnically diverse. Further, the Sisters provide an affordable religious education to children of working parents and children of single working mothers by offering their contributed services and helping families in financial crisis when necessary. The Salesian Sisters' school is definitely not a "for-profit" institution but exists for the common good of society by promoting the education of youth.

Recently, the Sisters held an evening meeting on Feb. 28, 2006, at the school for any interested people in the Enos Lane area. The meeting was moderated by Andy Kreeft. David Robison, the Sisters' consultant, made an overall presentation and responded to inquires for those who had questions. Moreover, there was a general discussion among those in attendance. Although I did not make a head count, I would estimate that there were 25 to 35 people who attended the meeting. Many of the people were apparently from "upper" Enos Lane. Nevertheless, a woman who has lived and owned a home on

"lower" Enos Lane near Hames Road since 1979, spoke to all present and confirmed that the Salesian carpool is working; that the school drivers are courteous and drive safely; and that the Salesian Sisters and the Salesian school are a benefit to the general neighborhood. Moreover, a mother of young school children who also lives on Enos Lane stated that the school, the parents, and the carpool drivers are courteous and an asset to the area. Her children attend public school and not the Salesian Sisters **K-8** school.

Near the end of the meeting, Mr. Robison asked if anyone was opposed to the Sisters' pending application with the County and only one ~~man~~ raised his hand. When asked why he opposed the application, he stated that, in his opinion, the Sisters should not have to go through the County processes in the first place. **He** also is a resident/owner of property on Enos Lane.

~~Should you have any questions concerning the above, please contact the undersigned at your earliest convenience.~~

Very truly yours,

  
Dennis J. Kehoe

C: Sisters Theresa and Charlotte, Salesian Sisters school, Corralitos, CA  
Provincial Office of Daughters of Mary Help of Christian,  
Attn: Sisters Sandra Neaves and Claudette Germain  
David Robison, Strategic Construction Management  
Supervisor Ellen Pirie  
Analyst Robin Musitelli  
Planning Director Tom Bums  
Assistant Planning Director David Lee  
Staff Planner Randall Adams  
Gustavo Gonzales  
Assessor Gary Hazelton  
Sheriff-Coroner Steve Robbins  
Fire Chief Corralitos Fire Station Ron Prince  
California Insurance Commissioner John Garamendi  
California Department of Insurance Legal Division

**Lani Freeman**

**From:** PLN AgendaMail  
**Sent:** Tuesday, March 27, 2007 5:00 PM  
**To:** PLN AgendaMail  
**Subject:** Agenda Comments

**Meeting Type :** Planning Commission

**Meeting Date :** 3/28/2007

**Item Number :** 10.00

**Name :** Tony Young

**Email :** Not Supplied

**Address :** 29 Alta DR.  
La Selva Beach, CA 95076

**Phone :** Not Supplied

**Comments :**

The school should be given more time to **work** out the road details. Six months is not that much time for a project of this size



# County of Santa Cruz Planning Department

## General Information Desk

Santa Cruz: 454-3252 ♦ Aptos: 4547576 4 Felton: 461-7450

## Tracking Dropped Off Materials

Date Stamp:

Staff Initials:

*[Handwritten initials]*

7 MAR 27 PM 2 0

Screening at the Building and Zoning Counter is needed for the following materials:

- Applications for all new projects
- Revisions of projects that alter the permit description
- Applications for revisions of projects / change orders for issued permits
- Any submittal which requires a fee to be paid

Please ask the general information desk for assistance.

To track material that does **not** need to be screened at the zoning counter, please complete this form and have it reviewed at the general information desk. A copy will be attached to the material and a receipt will be given to you once completed.

Today's Date: March 27, 2007

Parcel Number (APN): 107-571-01

Building Application #: \_\_\_\_\_

Discretionary Application #: Special Agreement

(if Discretionary) Project Planner: \_\_\_\_\_

Other: \_\_\_\_\_

Person Dropping off Material: Name: Katie Davis

Person Dropping off Material: Phone #: 728-5578

Contact Name (if different from above): \_\_\_\_\_

Contact Phone #: Salvian-sisters.org

Contact Email: ~~Katie.davis@~~ Katie.davis@

Description of Material: Proposed changes to Planning Dept Staff Report  
(Reminder: Any plans submitted need to be folded to 8 1/2" x 12" format)

Indicate number of copies/sets submitted: 1

Is Code Compliance Involved: No ☐ Yes ☒ Investigator: Jacob

Destination of Material: Person: Tom Burns

Note: All discretionary project material will be reviewed by the project planner first, then will be passed on to the final destination)

FOR OFFICE USE ONLY

#: \_\_\_\_\_

el #: \_\_\_\_\_  
Project Planner Initials: \_\_\_\_\_

Original: Receipt

Canary: - 84 - d

Pink: GID file

# **Proposed Changes to Planning Department Staff Report**

**Application Number: 04-0384  
Daughters of Mary Help of Christians  
APN: 107-571-01**

**March 27,2007**

Copies hand-delivered to Planning Commissioners  
Copy hand-delivered to Ellen Pirie  
Copy hand-delivered to Tom Bums

March 28,2007  
March 27,2007  
March 27,2007

Additions to original document appear *italicized*.

Deletions from original document appear as ~~strike~~throughs.

### PAGE 3

The initial use permit issued for the existing educational facility **was** Use Permit 75-600-U, which authorized a novitiate and summer camp, with staff quarters and dormitories for up to 90 girls. This approval was for three two-week long summer camp sessions, and one yearly retreat for up to 40 sisters. After the novitiate and summer camp were approved, a staff initiated Rezoning (75-1001-2) was performed **to** rezone the property to the REC (Recreational) zone district to reflect the novitiate and summer camp use. The remaining orchard on the subject property was rezoned to the **A-** 10 (Agriculture - 10 acre minimum) zone district at that time. **An** accessory storage building was later approved, under Use Permit 77-557-U, for the novitiate facility.

Following the approval for the novitiate and summer camp, an application for Use Permit 78-323-U was submitted to allow the operation of a school up to a maximum of 90 students (grades K-1 & 5-8) in the existing buildings. This application was approved with the requirement that the road be improved to a minimum width of 16 feet, that a busing or carpooling plan be submitted that would minimize school related traffic on Enos Lane, and that all requirements of the County Fire Marshall be met. This permit also required that the property be rezoned from the REC (Recreation) zone district to a more appropriate zone district prior to consideration of any further use permit.

Shortly after the approval of the permit for the school, an application for Use Permit 78-1539-U and Rezoning 78-935-2 was made to expand the school **to** 250 students (including all grades K-8 and 9-12). Although this application was for 250 students (and included grades 9-12), it was ultimately approved for 125 students (and limited to grades K-8). **As** a result, the environmental documentation from the initial study, as well as a condition related to the septic clearance added the Planning Commission, both contain language which was based on the 250 student proposal. *The Negative Declaration stated that until the roadway is improved to a "16 foot width", the school' operation is limited to 125 students; however, when the roadway was improved to 16 feet, the total number of students may be increased to "250 students". ( In 1988 the roadway was increased to at least 16 feet in width.)* The Board of Supervisors took final action on the proposal, resulting in an approval for a maximum of 125 students (grades K-8); *however, the Board deleted three of the suggested conditions: "1" (Enos Lane to be improved to a minimum width of 16 feet to the Salesian Sisters driveway.) "2" (16-foot wide roadbed) "7" (Salesian obtain a secondary access.)*

Approximately ten years later, Commercial Development Permit **88-** 1 105 authorized the construction of a 12 bedroom central living quarters for the Sisters who reside at the school. Prior to this time, the Sisters were residing in rooms scattered throughout the campus and the centralized living area was proposed for safety reasons and to create a sense of community.

Copies of the permits described above and other associated information are included as Exhibit E to this report.

## **Permit Compliance Issues**

Since the approval of Use Permit 78- 1539-U, which authorized a school of up to 125 students, the enrollment has increased to over 200 students. Complaints regarding the increased enrollment have been filed with the County, and Code Compliance action has been taken against the school. A settlement agreement has been reached which is temporarily allowing the school to operate at the existing level of enrollment (205 students) while this amendment to the prior use permits is being processed.

### **PAGE 5**

#### **Road Widening & Improvements**

As a result of the proposed increase in enrollment, the applicants have been required by the local fire agency to widen Enos Lane to a minimum of 18 feet in width *unless otherwise provided*. This requirement by the fire agency will be applied to any application that would increase the number of students above ~~125~~ 200 or the number of vehicle trips above those associated with ~~125~~ 200 students. ~~18 foot widening requirement of the local fire agency, the Department of Public Works staff have requested widening of to a minimum of 24 feet in width for the first 40 feet of Enos Lane in order to allow vehicles to enter and exit Enos Lane without causing traffic congestion on Hames Road.~~

### **PAGE 6**

#### **Right of Way**

The question of the location of the vehicular right of way is ~~not clearly~~ defined. ~~Although a 40 foot wide right of way is of adequate width for the proposed widening and associated improvements, it is not clear as to the exact location of the 40 foot right of way.~~ Deeds provided by the neighbors indicate a right of way, but do not specifically indicate a location. From reviewing the deeds, it appears as though the right of way referenced in earlier deeds was later recorded to reflect the road ~~as~~ traveled in deeds beginning in 1971. *County approved lot splits and recorded parcel maps that have surveys recognize the right of way.* The neighboring property owners dispute the location of the right of way depicted on the project plans (Exhibit **A**), which display the centerline of the 40 foot right of way as the center of the currently traveled roadway. The area of concern is where the roadway is proposed to be widened to 24 feet in width, at the intersection of Enos Lane and Hames Road. *Nevertheless, the county granted a number of permits and lot splits that have accepted Enos Lane roadway in its existing location.* The roadway in this area is already in compliance with the minimum (18foot width) requirement of the fire department and the concern of the neighbors is that further widening (and the construction of the pedestrian pathway) would occur outside of the right of way and would require the acquisition of additional easements by the school in order to construct the required improvements. *Property, if any, donated by Mattos for a pedestrian walkway would not be deducted from their acreage count for purposes of parcel split.*

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### **Traffic Management Plan**

Vehicles which transport children to and/or from the school will be counted during each two hour peak period (7-9 AM & 2-4 PM) and no children may be dropped off before 7 AM unless arriving with a teacher or school staff *or to attend religious services*.

Vehicles which do not transport children to and/or from the school (teachers, staff, school residents, deliveries, etc.) and vehicles originating from Enos Lane (above or below the school) will not be counted towards the maximum number of allowed trips.

After 5 years, the final maximum enrollment for the school will be established based on the review of compliance with the traffic performance criteria by the Planning Department. ~~Independent traffic monitoring (performed at the school's expense) will continue for as long as the school is in operation.~~ If the performance criteria cannot be met for the final maximum enrollment (after the 5<sup>th</sup> year review) enrollment will be required to decrease below the final maximum enrollment level until the performance criteria can be met.

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### **Conditions of Approval**

Exhibit A:

Project plans "Salesian Sisters School", 10 sheets, prepared by Ifland Engineers, dated 3/28/05 & 10/14/05. *as modified herein*

#### **1.**

This permit authorizes the continued operation of an existing school, summer camp, and associated uses within allowed limits as described in further detail below. This permit amends and replaces Commercial Development Permits 75-600-U, 77-557-U, 78-323-U, 78-1539-U, and 88-1 105. All conditions of the prior permits are replaced by the conditions for this permit. *Except as herein stated*, prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:

#### **A.**

Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.

#### **B.**

Pay the required fee to the Clerk of the Board of the County of Santa Cruz for posting the Negative Declaration as required by the California Department of Fish and Game mitigation fees program.

#### **C.**

Obtain a Grading Permit from the Santa Cruz County Planning Department.

#### **D.**

Obtain a Building Permit from the Santa Cruz County Building Official, if required, for retaining walls and site improvements.

**E.**

Obtain an Encroachment Permit from the Department of Public Works for all offsite work performed in the County road right-of-way.

**II.**

*Except as herein stated,* prior to issuance of a Grading and/or Building Permit the applicant/owner shall:

**A.**

Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder).

**B**

Submit final engineering plans for review and approval by the Planning Department *except herein changed*. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department *except as here in modified*. **Any** changes from the approved Exhibit "A" for this development permit on the plans submitted for the Grading and/or Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Grading and/or Building Permit that is issued for the proposed development. The final plans shall include the following additional information:

**1.**

Engineered improvement plans for all on-site and off-site improvements prepared, wet-stamped, and signed by a licensed civil engineer.

**a.**

The access roadway shall be widened to a minimum width of 18 feet between Hames Road and the school entrance, *provided that the adjacent owner(s) in that area of widening consent in writing to the same and donate, if necessary, the land to accomplish the same.* ~~Enos Lane shall be further widened to 24 feet in width for the first 40 feet from the intersection with Hames Road.~~

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**b.**

Road bumps shall be installed on the lower portion of Enos Lane (between Hames Road and station 17+00). Road bumps shall be designed to limit vehicle speed to 15 MPH along this section of Enos Lane. A minimum of three road bumps are required in order to limit speeds to 15 MPH. *Provided that the owner(s) affected consent in writing to donate, if necessary, the land to do so*

c.

*Provided that the owner(s) affected consent in writing to donate, if necessary, the land to accomplish the same*, a pedestrian pathway, a minimum of 3 feet in width, shall be installed on the east side of the lower portion of Enos Lane (between Hames Road and station 17+75). The path shall be separated from the roadway a solid white line (or landscaping, if separated from the roadway by over 3 feet) and surfaced with decomposed granite or other aggregate material.

d.

~~Provide a survey with the accurate location of the vehicular right of way of Enos Lane relative to existing and proposed site improvements and adjacent property boundaries.~~

e.

Delete the proposed crosswalk across Hames Road at the intersection with Enos Lane.

2.

Grading, drainage, and erosion control plans, that are prepared, wet stamped, and signed by a licensed civil engineer. Grading and drainage plans must include estimated earthwork, cross sections through all improvements, existing and proposed cut and fill areas, existing and proposed walls, drainage facilities, and details of devices such as back drains, culverts, energy dissipaters, detention pipes, etc.

a.

Air Quality:

In order to ensure that the one hour air quality threshold for the pollutant acrolein is not exceeded during grading and paving, prior to the issuance of the grading permit, the applicant shall modify the grading plans to include notes incorporating the construction conditions given by the Monterey Bay Air Pollution Control District (MBAPCD) as follows:

i

All pre- 1994 diesel equipment shall be retrofitted with EPA certified diesel oxidation catalysts or all such equipment shall be fueled with B99 diesel fuel;

ii

Applicant shall retain receipts for purchases of catalysts or b99 diesel fuel until completion of the project;

iii

Applicant shall allow MBAPCD to inspect receipts and equipment throughout the project

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iv

Alternatively, the applicant may submit a health risk assessment to the MBAPCD for review and approval. Any recommendations and requirements of the MBAPCD will become conditions of constructing the project.

**3.**

A parking plan, showing all existing and proposed parking on the subject property.

**a.**

Standard parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way.

**b.**

All applicable accessibility requirements must be met in the existing ~~and proposed~~ parking areas.

**4.**

Details showing compliance with fire department requirements, including all requirements of the Urban Wildland Intermix Code, if applicable.

**a.**

The access roadway shall be widened to a minimum width of 18 feet for vehicular and emergency vehicle access, *, provided that the adjacent owner(s) in that area of widening consent in writing to the same and donate ,if necessary, the land to accomplish the same -*

**b.**

The loop roadway around the existing school facility shall be marked as a fire lane, clearly marked as a no parking area to allow free movement of fire equipment around the school buildings.

**5.**

Groundwater Recharge: In order to ensure that loss of area for groundwater recharge is less than significant, the applicant shall submit a detailed groundwater recharge plan for review and approval by the Department of Public Works drainage staff and Planning staff. The plan shall provide for recharge, on the subject property, of runoff from the new paved parking area (after it has passed through a silt and grease filter) ~~and also runoff from the sections of Enos Lane that are widened, where the latter is feasible.~~ The plan shall show infrastructure for directing and spreading runoff and measures to prevent erosion at outlets, and shall include calculations quantifying the expected runoff and demonstrating that there is no net loss of recharge capacity as a result of the parking surfacing. The plan shall be accompanied by a letter of approval by the project soil engineer. The plan shall also indicate where excess fill is being placed in order to prevent conflicts with recharge goals.

**6.**

Show replacement trees to be located at a **3:1** ratio for all trees removed due to road widening, construction of the parking lot, and other improvements.

7.

~~A site plan showing all of the existing buildings on the school campus must be provided which clearly indicates the total number and location of existing residential facilities (including bedrooms and food preparation facilities).~~

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**C.**

Submit four copies of the approved Discretionary Permit with the Conditions of Approval attached. The Conditions of Approval shall be recorded prior to submittal, if applicable.

**D.**

Meet all requirements of and pay Zone 7 drainage fees to the County Department of Public Works, Drainage. Drainage fees will be assessed on the net increase in impervious area.

**E.**

Obtain an Environmental Health Clearance for this project from the County Department of Environmental Health Services.

~~4.~~

~~All required septic upgrades must be installed within 1 year from the effective date of this permit.~~ *The school shall have existing septic system inspected, and pumped if deemed necessary by a qualified company, twice a year to monitor its condition. (Current septic has been inspected and deemed satisfactory to meet the needs of 250 students. See March 4, 2005, letter of Peter Haase, Principal Engineer, to Randall Adams.)*

**F.**

Meet all requirements and pay any applicable plan check fee of the California Department of Forestry/County Fire.

**G.**

Submit 3 copies of a plan review letter prepared and stamped by a licensed Geotechnical Engineer.

**III**

All construction shall be performed according to the approved plans for the Grading Permit and/or Building Permit. The applicant/owner must meet the following conditions during construction of the project:

**A.**

Improvements must be installed within the following timeframes

**1.**

Road bumps must be installed within 90 days from the effective date of this permit.

2.

Road widening ~~must occur within 6 months~~ and pedestrian pathway, if applicable, must occur within 36 months from the effective date of this permit.

3.

The new parking lot, ~~pedestrian pathway, and all other required improvements must be installed within 1 year from effective date of this permit.~~ will be installed at *the discretion of the applicant.*

**B.**

All work adjacent to or within a County road shall be subject to the provisions of Chapter 9.70 of the County Code, including obtaining an encroachment permit where required. Where feasible, all improvements adjacent to or affecting a County road shall be coordinated with any planned County-sponsored construction on that road. Obtain an Encroachment Permit from the Department of Public Works for any work performed in the public right of way. All work shall be consistent with the Department of Public Works Design Criteria unless otherwise specifically excepted by these conditions of approval.

**C.**

No land clearing, grading or excavating shall take place between October 15 and April 15 unless the Planning Director approves a separate winter erosion-control plan that may or may not be granted.

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**D.**

To minimize noise, dust and nuisance impacts to surrounding properties during construction, the owner/applicant shall or shall have the project contractor, comply with the following measures during all construction work:

1.

Limit all construction to the time between 8:00 a.m. and 5:00 pm weekdays unless a temporary exception to this time restriction is approved in advance by the Santa Cruz County Planning Department to address an emergency situation; and

2.

Each day it does not rain, wet all exposed soil frequently enough to prevent significant amounts of dust from leaving the site.

3.

The applicant shall designate a disturbance coordinator and a 24-hour contact number shall be conspicuously posted on the job site. The disturbance coordinator shall record the name, phone number, and nature of all complaints received regarding the construction site. The disturbance coordinator shall investigate complaints and take remedial action, if necessary, within 24 hours of receipt of the complaint or inquiry.

**E.**

Water Quality: To prevent project drainage discharges from carrying silt, grease, and other contaminants, the applicant shall install silt and grease traps according to the approved plans. The traps shall be maintained by the owners according to the following monitoring and maintenance schedule:

**1.**

The traps shall be inspected to determine if they need cleaning or repair prior to October 15 each year, at a minimum interval of once per year;

**2.**

A brief annual report shall be prepared by the trap inspector at the conclusion of each October inspection and submitted to the Drainage Section of the Department of Public Works within 5 days of inspection. This monitoring report shall specify any repairs that have been done or that are needed to allow the trap to function adequately.

**F.**

Prior to final inspection, the applicant/owner must meet the following conditions:

**1.**

All site improvements shown on the final approved Grading Permit and/or Building Permit plans shall be installed.

**2.**

All inspections required by the Grading and/or Building permit shall be completed to the reasonable satisfaction of the County Building Official and Planning Department staff.

**3.**

The project must comply with all recommendations of the approved soils reports.

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**G.**

Pursuant to Sections 16.40.040 and 16.42.1 00 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.

#### IV.

##### Operational Conditions

###### A.

Master Occupancy Program (School): Given the location of the project with respect to existing residential uses, any change of use request will require an amendment to this permit. Only the uses listed below are allowed at the school facility:

Private Religious School: A private school (Kinder through 8<sup>th</sup> grade years only) with an enrollment level based on the performance standards listed below (Condition IV.B) is authorized by this permit. ~~Instruction at the~~ School classes may not begin before ~~8 AM~~ 7:50 AM and drop off of students more than one hour before this time is not allowed *except as noted in the traffic management plan*. Any change in the scheduling of the school classes which causes instruction to begin prior to ~~8 AM~~ 7:50 AM is not authorized by permit.

*(7:50 AM is the current start time for the school)*

###### School Related Meetings and Events:

Are allowed in conjunction with the private school use. Parent meetings, parent teacher conferences, back to school night, plays, and other events which occur while classes are not in session are allowed without a restriction on total number of vehicle trips.

Carpooling is recommended for individuals attending these school related meetings and events. School related events that occur during regular school hours (grandparents day, parents breakfast, kinder promotion, etc.) are allowed, at a maximum of 8 events per year, without a restriction on total number of vehicle trips. No more than 8 school related events that occur during regular school hours are allowed during any one regular school year. No sporting events (other than regular practice by Salesian school students) are allowed at the school facility. Prior to the start of each regular school year, the school must submit to the Santa Cruz Planning Department a calendar **that** indicates the dates and times of each of the planned school related events.

###### Summer Camp & Remedial Classes:

A summer camp and remedial classes (summer school) outside of the regular school year are authorized based on the following limitations: The total number of campers (both day and overnight) is limited to no more than 90 campers at the school facility at any one time. The total number of day campers and/or remedial class students is limited to no more than 60 total (day campers and/or remedial class students). Carpooling or busing is required for day campers and/or remedial class students to reduce traffic, with a maximum of 45 school related vehicle trips in and out (90 total trips) of the school facility during any continuous two hour period between 7:30 AM and 5:30 PM.

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Retreats: Up to ~~four weekend retreats~~ *six weekend religious retreats* for a maximum of 60 people at each retreat are authorized by this permit for each one year period. Up to eight one day *religious* retreats (occurring only on weekend days) for a maximum of 90 people at each retreat are authorized by this permit for each one year period. Carpooling or busing is recommended for individuals and groups attending retreats.

Community Meetings:

Community meetings are allowed at the school facilities outside ~~of~~ regular school hours. The use of the school facilities for community meetings does not include the renting of the facilities for conferences or other commercial activities.

Religious Services and Prayer Groups:

Religious services *including prayer groups and masses* are allowed at the school facility. Carpooling is recommended for individuals attending *such* religious services and prayer groups.

Residents:

The use of the school facility for residential purposes is allowed with all of the residents living as a family unit (sharing cooking facilities and common areas). The construction of additional independent residential units is not authorized by this permit.

Novitiate:

The use of the school facility as a novitiate is authorized by this permit. The total number of novices residing on site will be limited by the residential facilities on the project site.

The following additional restrictions apply to all uses:

Parking:

Parking must occur in approved spaces, and may not at any time block access to the structures or turn-around areas for emergency equipment. Parking for all events shall comply with the approved parking plan and the recommendations of the approved traffic studies.

Scheduling:

Uses (school, meetings, events, services, retreats, etc.) can not be scheduled in an overlapping manner which will result in a combined parking demand that can not be met on the project site.

**B.**

Enrollment:

Enrollment at the existing school during the regular school year (**not** including summer remedial classes or summer camp) will be limited by the following:

The initial maximum enrollment will begin at 200 students and will increase or decrease by 25 student increments, or remain constant, depending on compliance with the traffic performance criteria (as measured by independent random monitoring, at the school's expense, with review by the Planning Department) for each level ~~of~~ enrollment. Any potential enrollment increase or decrease will begin in the third **year** and will be determined by the Planning Department based on compliance with the traffic performance criteria through the middle of the second year, with reviews continuing at the middle of each following school year *for a maximum of five (5) years..* 250 students is the maximum enrollment level that could be allowed at the school based on compliance with the traffic performance criteria.

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No enrollment increase *over 200 students* will be allowed until all required road improvements (speed bumps *and* road widening and pedestrian pathway, *if applicable* ) have been installed

Maximum Enrollment	Traffic Performance Criteria
Up to 125 Students	45 max. trips in and out (90 total trips) per each 2 hour peak period (7-9 AM & 2-4 PM)
150, 175, or 200 Students'	50 max. trips in and out (100 total trips) per each 2-hour peak period (7-9 AM & 2-4 PM)
225 Students	55 max. trips in and out (110 total trips) per each 2 hour peak period (7-9 AM & 2-4 PM)
250 Students	60 max. trips in and out (120 total trips) per each 2 hour peak period (7-9 AM & 2-4 PM)

Compliance with Traffic performance Criteria: Vehicles which transport children to and/or from the school will be counted during each two hour peak period (7-9 AM & 2-4 PM) and no children may be dropped off before 7 AM unless arriving with a teacher or school staff *or to attend religious services*. Vehicles which do **not** transport children to and/or from the school (teachers, staff, school residents, deliveries, etc.) and vehicles originating from Enos Lane (above or below the school) will not **be** counted towards the maximum number of allowed trips.

5<sup>th</sup> Year Review: ~~At~~ *As of* the mid point of the fifth regular school year after approval of this permit, the final maximum enrollment for the school will be established. This will be based on a review of compliance with the performance criteria by the Santa Cruz County Planning Department *after the Planning Department has given reasonable prior notice to Salesian of its review and tentative determination*. The maximum enrollment for the school will be based on the compliance with the performance criteria for the years leading up to this review. This review will be performed in addition to annual reviews leading up to the fifth year. The results of the fifth year review **will** be heard before the Planning Commission on the consent agenda, and the final maximum enrollment will be determined by the Planning Commission at that time, *provided that the school has been given a reasonable **prior** opportunity to address **this** issue*. Annual reporting of traffic counts (performed at the school's expense) will be required each year (per Condition IV.C) up to the fifth year of review. ~~Adherence to the performance criteria after the fifth year review is required, and reductions in enrollment will met. The schedule for continued independent traffic monitoring (performed at the school's expense) will be determined at the fifth year review.~~

**Enrollment List:**

Prior to the start of each regular school year, the school must submit to the Santa Cruz Planning Department ~~a list of all of the~~ *number of* students to be enrolled at the school- ~~and displays the total enrollment for the following school year.~~

**Failure to Comply:**

Failure to reduce enrollment when required, or to comply with **the** required performance criteria at the established level of enrollment, or to supply enrollment information or traffic reports, will be a violation of the terms of this permit. Operating the school at a higher level of enrollment than is authorized by these conditions, or at a higher volume of traffic than is allowed for the level of enrollment, is a violation **of** the terms of this permit. Any violation of the terms of this permit may result in permit revocation.

**C.**

**Traffic Management & Reporting:**

**A** Traffic Management Plan is required for all enrollment levels **for** the school during the regular school year, subject to the following requirements:

**1.**

Prior to the start of each school year, but after the enrollment level has been established, a carpool/housing plan must be provided to the Santa Cruz County Planning Department which indicates the total number of vehicles and the number of children assigned to each vehicle.

**a.**

Carpools may not meet or be formed on Enos Lane or at the intersection of Harnes Road and Enos Lane, unless the vehicles originate from Enos Lane (or other roadways directly connected to Enos Lane north of the Harnes Road intersection).

**2.**

Reporting of random traffic counts at regular intervals (at the ~~midpoint~~ of each school year) performed at the school's *reasonable* expense by an independent third party traffic consultant (overseen by a licensed traffic engineer) must be provided to the Santa Cruz County Planning Department on an annual basis *for the first five (5) years.*

**a.**

The school must agree to allow the County of Santa Cruz Planning Department to contract, at the school's *reasonable* expense, with an independent third party traffic consulting firm to perform random traffic counts at the school facility, *prior notice of the costs having been provided to the school.*

**1.**

A positive at cost account balance with the County of Santa Cruz Planning Department must be maintained by the school, with sufficient funds to allow *reasonable* payments to the traffic consulting firm throughout the contract period and to account for Planning Department staff time.

b.

Random, unannounced traffic counts are required during the **AM** peak (7 AM to 9 AM) and PM peak (2 PM to 4 PM) periods throughout the regular school year.

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c.

Traffic counts must occur on a minimum of ~~two~~ *one* day per full month that the school is in regular session, up to the fifth year review. ~~The schedule and frequency of continued monitoring (after the fifth year) will be determined at the fifth year review and may be modified at a later date.~~

1.

Dates will be selected by Planning Department staff and provided to the independent third party traffic consulting firm, who will perform the traffic counts.

d.

*For a maximum of five ( 5) years and with maximum of nine (9) counts per school year, reports must be submitted by the independent third party traffic consultant directly to the Santa Cruz County Planning Department at the midpoint of each regular school year with copies of all such reports provided to the school by the consultant.*

e.

Additional traffic counts and associated reports may be ~~required~~ *obtained* by the Santa Cruz County Planning Department at ~~the school's~~ *its* expense, for as long as the school facility is in operation, in order to ensure compliance with permit conditions.

**F**

Compliance with the performance criteria specified under Condition N.A (Operational Conditions - Enrollment) will be determined based on the traffic counts in the reports submitted and not on other sources of information provided by ~~the~~ school administration or the general public.

g.

~~Failure to provide adequate and accurate traffic counts performed by an independent third party traffic consultant will be considered as a lack of compliance with the conditions of this permit and noncompliance for the performance criteria specified under Condition IV.A (Operational Conditions - Enrollment). (These actions are in the control of the county, not the school.)~~

3.

**School Related Vehicle Trips:**

Vehicles which carry children to and/or from the school facility are considered as school related vehicle trips, with the exception of Enos Lane resident vehicles.

a.

Enos Lane Residents:

Vehicles with children originating from Enos Lane (or other roadways directly connected to Enos Lane north of the Hames Road intersection) will not be counted towards the maximum number of allowed trips. These vehicles must be clearly designated as vehicles of Enos Lane origin and each student traveling in an Enos Lane vehicle must be accounted for in the enrollment list and carpool/busing plan for each school year.

4 .

Non-Peak and Non-School Related Vehicle Trips:

Due to the common occurrence of illness, doctor's appointments, and other unforeseen circumstances, children which need to be driven to and from school between peak hours are not subject to carpool requirements. Dropping off children **prior** to the **AM** peak is not allowed (unless arriving in a vehicle of a teacher or staff person **who** does not reside at the school facility *or to attend religious services*). Any vehicles bringing children to the school prior to the **AM** peak will be counted towards the maximum number of trips for the **AM** peak.

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a.

Residents of the school facility (sisters, novices, etc.) may leave and enter the facility without being counted as school related vehicle trips, unless these vehicles are transporting children to and/or from the school facility.

b.

Delivery and service vehicles may leave and enter the facility without being counted as school related vehicle trips, unless these vehicles are transporting ~~children~~ *Salesian students* to and/or from the school facility.

V.

Road Maintenance: If a *reasonable* road maintenance association (or agreement) is formed, the school will be obligated to participate in the road maintenance. ~~equal to extent of their usage of Enos Lane~~

VI.

In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full *reasonable* cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation *provided that there is reasonable prior notice to the school of such alleged non-compliance, and reasonable opportunity to address the same.*

## **VII.**

As a condition of this development approval, *to the extent it is otherwise legally enforceable*, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to, attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.

### **A.**

COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.

### **B.**

Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:

#### **1.**

COUNTY bears its own attorney's fees and costs; and

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#### **2.**

COUNTY defends the action in good faith.

### **C.**

Settlement.

The Development Approval Holder shall not be required to pay **or** perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.

### **D. Successors Bound.**

"Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

## **VIII.**

### **Mitigation Monitoring Program**

The mitigation measures listed under this heading have been incorporated into the conditions of approval for this project in order to mitigate or avoid significant effects on the environment. As required by Section 2 1081.6 of the California Public Resources Code, a monitoring and reporting program for the above mitigations is hereby adopted as a condition of approval for this project. This monitoring program is specifically described following each mitigation measure listed below. The purpose of this monitoring is to ensure compliance with the environmental mitigations during project implementation and operation. Failure to comply with the conditions of approval, including the terms of the adopted monitoring program, may result in permit revocation pursuant to Section 18.10.462 of the Santa Cruz County Code.

#### **A.**

##### **Mitigation Measure: Groundwater Recharge (Condition II.B.5)**

**Monitoring Program:** In order to ensure that loss of area for groundwater recharge is less than significant, the applicant shall submit a detailed groundwater recharge plan for review and approval by the Department of Public Works drainage staff and Planning staff. The plan shall provide for recharge, on the subject property, of runoff from the new paved parking area (after it has passed through a silt and grease filter) and also runoff from the sections of Enos Lane that are widened, where the latter is feasible. The plan shall show infrastructure for directing and spreading runoff and measures to prevent erosion at outlets, and shall include calculations quantifying the expected runoff and demonstrating that there is no net loss of recharge capacity as a result of the parking surfacing. The plan shall be accompanied by a letter of approval by the project soil engineer. The plan shall also indicate where excess fill is being placed in order to prevent conflicts with recharge goals.

#### **B.**

##### **Mitigation Measure: Water Quality (Condition III.E)**

**Monitoring Program:** To prevent project drainage discharges from carrying silt, grease, and other contaminants, the applicant shall install silt and grease traps according to the approved plans. The traps shall be maintained by the owners according to the following monitoring and maintenance schedule:

### **PAGE 34**

#### **1.**

The traps shall be inspected to determine if they need cleaning or repair prior to October 15 each year, at a minimum interval of once per year;

#### **2.**

A brief annual report shall be prepared by the trap inspector at the conclusion of each October inspection and submitted to the Drainage Section of the Department of Public Works within 5 days of inspection. This monitoring report shall specify any repairs that have been done or that are needed to allow the trap to function adequately.

**C.**

Mitigation Measure: Traffic Safety (Conditions II.B.1, IV.A & IV.C)

Monitoring Program:

To prevent traffic from creating and/or exacerbating traffic hazards to vehicles and pedestrians:

**1.**

The school administrators shall submit a transportation management plan, which will effectively limit the total number of vehicles going in and out during the morning and afternoon peak periods to the baseline amount, 45 - 60 cars representing a total of 90 - 120 trips during the peak times *as herein specified*. This management may be accomplished by carpooling, staggering class and assembly times, vanpooling, busing, multi modal transport, managing enrollment, etc. The plan shall include monitoring that incorporates periodic unannounced traffic counts by the project traffic engineer to verify that the goal is being met *as herein specified*.

**2.**

In addition to implementing the proposed widening of Enos Lane, the applicant shall submit for review and approval a road plan prepared by the project traffic engineer that shows the following: installation of speed bumps that are designed and spaced to limit traffic to 15 MPH, a stop sign and warning sign at the curve at station 18+00 as recommended in the letter of Higgins Associates, December 15, 2005, and *if applicable*, a defined walking path on the east side of Enos Lane between Hames and station 17+75 (Ifland Engineers, sheets C2 and **C4**). *If applicable*, the walking path shall be three feet wide, separated from the roadway by a solid white line and surfaced with decomposed granite or other aggregate material. ~~The road plan shall be implemented prior to final approval of any of the other physical improvements and prior to any increase in enrollment.~~

**D.**

Mitigation Measure: Air Quality (Condition II.B.2.a)

Monitoring Program:

In order to ensure that the one hour air quality threshold for the pollutant acrolein is not exceeded during grading and paving, prior to the issuance of the grading permit, the applicant shall modify the grading plans to include notes incorporating the construction conditions given by the Monterey Bay Air Pollution Control District (MBAPCD) as follows:

**1.**

All pre- 1994 diesel equipment shall be retrofitted with EPA certified diesel oxidation catalysts or all such equipment shall be fueled with B99 diesel fuel;

**PAGE 35**

Applicant shall retain receipts for purchases of catalysts or b99 diesel fuel until completion of the project;

**3.**

Applicant shall allow MBAPCD to inspect receipts and equipment throughout the project .

**4.**

Alternatively, the applicant may submit a health **risk** assessment to the MBAPCD for review and approval. Any recommendations and requirements of the MBAPCD will become conditions of constructing the project.

*VIII*

*Interim Status:*

*The existing Second Amended Compliance Agreement shall **be** extended~~for~~ tlie 2007-2008 school year or until **this** permit is final, whichever last occurs. In tlie meantime, the school (applicant) reserves its right to withdraw this application **in** which event the ~~prior~~ permits shall continue to be applicable.*

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**From:** Randall Adams  
**Sent:** Wednesday, March 28, 2007 7:41 AM  
**To:** Lani Freeman  
**Subject:** FW: Salesian School Expansion Conditions

-----Original Message-----

**From:** David Koch [mailto:DKOCH@ci.watsonville.ca.us]  
**Sent:** Tuesday, March 27, 2007 9:01 PM  
**To:** Tom Burns; Randall Adams  
**Cc:** Ellen Pirie  
**Subject:** Salesian School Expansion Conditions

To Planning Commission and Staff

I wanted to provide a few brief, last-minute comments on this item before the Planning Commission hearing tomorrow. I'm in general agreement with the proposed conditions but would suggest the following modifications:

- 1) The requirement to widen the first 40 feet of Enos Lane to 24 feet should be eliminated and the existing oak trees should be preserved.
- 2) Salesian should not be required to construct a new parking lot. With the existing and proposed car pooling, the added lot area is not required for safe **drop-off/pick-up** and the school has successfully used the existing paved **basketball/volley** ball courts for special event parking. Creating a vast new expanse of asphalt will destroy habitat and will increase the potential for storm water runoff problems. An additional new parking lot would provide no significant benefit.
- 3) Since adequate right-of-way is in question in some locations, the condition requiring a pathway could, itself, be conditioned upon the availability of adequate right-of-way. The requirement to construct the pathway could become effective as soon as the right-of-way is available.
- 4) The required road right-of-way survey should be limited to those portions of roadway where the right-of-way location and width is in question.

Thanks  
David Koch

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**From:** Randall Adams  
**Sent:** Wednesday, March 28, 2007 7:49 AM  
**To:** Lani Freeman  
**Subject:** **FW:** Salesian Sisters School Enrollment Expansion Project - Comment  
**Importance:** High

\_ \_ \_ Original Message-----

From: Jean Getchell (mailto:jgetchell@mbuapcd.org)  
Sent: Tuesday, March 27, 2007 12:26 PM  
To: Randall Adams  
Subject: Salesian Sisters School Enrollment Expansion Project - Comment  
Importance: High

**\*\* High Priority \*\***

Randall:

I could not find a Mitigation Monitoring and Reporting Program in the document on the Planning website.

My final comment concerns the monitoring of the car pool program to limit the number of vehicular trips during peak hours, which is a project condition.

Suggested Mitigation

"A staff member of the Santa Cruz County Public Works Department or its designee shall perform random monitoring, at least every ninety days, to determine compliance with the condition associated with Traffic Performance Criteria, and the Project Applicant shall cover the County costs associated therewith."

Thanks for the opportunity to comment.

Jean Getchell  
Supervising Planner  
Monterey Bay Unified APCD  
24580 Silver Cloud Court  
Monterey, CA 93940  
(831) 647-9411 x 227

03/27/07

Albert Aramburu  
Santa Cruz County Planning Dept.  
701 Ocean Street Santa Cruz, CA 95060

RE: Salesian Elementary and Junior High School

Dear Mr. Aramburu,

My name is Sandra Lilly. I am a 3<sup>rd</sup> generation Santa Cruz Native. I have lived most of my life in Santa Cruz up until 4 years ago when I moved to Aptos. First of all, I want to let you know that I absolutely love living in this area. It's so peaceful, beautiful and a wonderful family environment.

One of the best reasons of living here is being able to send my children to Salesians School. I cannot praise this school enough. It has done wonders for my children. They are ages 6 and 10. Aside from them absolutely loving their school and looking forward to going everyday (honestly). They care about their grades, learning, have joined sport teams and my daughter even started a yearly fundraiser (dog wash) with all proceeds going to an orphanage in Rowanda. They were doing none of this a year ago while attending another elementary school. I am so grateful to this school!

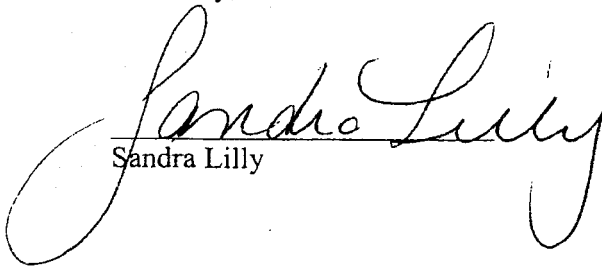
I am extremely concerned about the requirements that are being imposed on the school. I feel that they are extremely unfair. I am asking you via this letter **to** please help keep this urgent matter fair. I do not feel that it is fair to require the following from the school:

1. To maintain a K-8 school with only 125 students and still make it affordable to our school community as a whole.
2. The financial burden of the requirements on top of the \$300,000 debt already incurred due to this matter.
3. The county's deadline for this project.
4. The requirement to update the septic system when the fact is that the current one is more than efficient.

I ask you to please hear our pleas and to do whatever is in you power to assure fairness and an amicable solution to this critical situation.

I thank you in advance for taking the time to read this letter.

Sincerely,



Sandra Lilly

## **ITEM 10**

# **MATERIALS SUBMITTED DURING THE PUBLIC HEARING**

3/26/07

Planning Commissioners  
County of Santa Cruz  
701 Ocean Street  
4<sup>th</sup> Floor  
Santa Cruz, CA 95060

Re: Salesian Sisters' School (Daughters of Mary Christians) Application 04-0384 to legalize over 75 students in excess of the authorized 125 students, and request an increase to 250 students

We are the owners of property at the corner of Hames Road and the historic prescriptive use area known as Enos Lane. We have owned this property since April of 1977. Our eastern property line borders with the Tindall Ranch property line and the City of Watsonville waterworks. There is no public 40<sup>ft</sup> R/W on our property. The Sisters' legal representative even testified to this fact in 1979 (see ATTACHMENT A), nothing has changed since 1979. We haven't granted anyone an easement.

The application before you is a **30** year compilation of problems associated with the illegal intensification of a permitted Novitiate turned grade school (primarily traffic and pedestrian safety of our neighborhood children) which have become an unreasonable burden on our rural community. The school has historically violated their use permits without regard to the law and without regard to the neighborhoods' land owners' feelings. The current application which is asking for a doubling of the size of the school expects the rural community to sustain all the impacts associated with the expansion. **THIS IS AN UNREASONABLE BURDEN ON OUR RURAL COMMUNITY**, we didn't anticipate this when we welcomed the Sisters Novitiate to our community in the mid 70's.

I want to address two major issues which we raised during the Environmental Review comment period in 2006 which were not addressed by your planning staff and must have been missed due to the volume of comments. A primary concern during the hearing before the Planning Commission in 1979 was the issue that the school site was surrounded on three sides by designated **CRITICAL FIRE HAZARD AREA**. **This** was considered such a major issue that the Planning Commission **after** discussion imposed two very specific conditions to address this Hazard. They imposed a condition for Emergency-secondary access and a Requirement for vans &/or buses (see ATTACHMENT B). Unfortunately, these conditions were subsequently deleted by the Board of Supervisors at the request of the applicant.

**WHAT HAS CHANGED SINCE 1979!**

Every for profit private school similar in size to the Salesian School in the Monterey Bay region uses a combination of buses/vans and car pool - **ALL THAT IS EXCEPT SALESIAN SCHOOL.**

In 1979 the Planning Commission conditioned the USE Permit to require buses for 250 students to reduce the **BURDEN** on the community and to have a way for **SAFE** Emergency Evacuation in the event of a major canyon fire. The **FIRE HAZARD** has **INCREASED** over the last 28 years, more fire fuel and debris has built up in the

CRITICAL FIRE HAZARD AREAS-don't believe me, check with the California Division of Forestry in Corralitos. How far along has the Salesians Emergency Bus Acquisition Plan come in the last 28 years? The staff report didn't address this point. Since my comments in 2006, and at my encouragement an Emergency Management Preparedness Plan has been prepared and certified for the school site. The operation of this plan **as** explained by the planning staff is to retain students and staff on site during a disaster and wait for car pool rescue. This will work for major disasters like earthquakes, tornadoes, and major rain storms, but what will happen when there is a canyon fire? The canyon could turn into an ugly smoked filled oxygen depleted inferno with the residents on upper and lower Enos Lane and Howell all trying to evacuate.

**THIS IS A DISASTER WAITING TO HAPPEN!!** This is not a road issue or a car pool monitoring issue. This is a school created by violation, with over 200 students in violation of a 125 student Use Permit. This school is located in a **CRITICAL FIRE HAZARD AREA** on a **DEAD-END** canyon road.

The County, after the Love Creek disaster in the San Lorenzo Valley, significantly strengthened its geological standards to prevent such a disaster from happening again. It has the opportunity and obligation to do the same for the **CRITICAL FIRE HAZARDS**. Please treat this application and the **CRITICAL FIRE HAZARD** environment that the school exists in- a canyon with only one exit- with great concern for the students and the staff. I think the County should err on the side of caution and require emergency vans/buses **as** was conditioned by the Planning Commission in 1979. Voting to expand a school for 200 students in a known **CRITICAL FIRE HAZARD AREA** without emergency student/staff vans/buses with evacuation capabilities is negligent, and could well expose the County to liability if injury or deaths should occur at this site due to a known hazard.

Please make the **RIGHT DECISION. DON'T BALANCE THE 30 YEARS OF VIOLATIONS BY THE SALESIANS ON OUR COMMUNITY.**

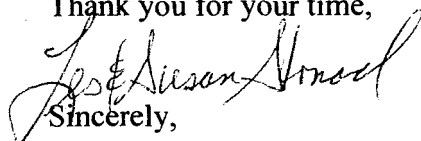
**\*REQUIRE BUSES AND VANS LIKE ALL OTHER PRIVATE SCHOOLS FOR SAFE EVACUATION OF ALL STUDENTS AND STAFF**

**\*REQUIRE 18FT MAXIMUM ROAD ALONG ENTIRE ENOS LANE**

**\*REMOVE NO TREES ALONG ENOS LANE**

**\*ENFORCE ALL PREVIOUS USE PERMIT CONDITIONS**

Thank you for your time,



Sincerely,

Les & Susan Stmad  
354 Harnes Road  
Corralitos, CA 95076-0207

**cc: Richard H. Allen, Attorney At Law  
Ellen Pirie, Supervisor  
Randall Adams, Project Planner**

maintained properly, and widened. Regarding the fire hazard, the school has an 80,000 gallon tank and they feel they have excellent fire protection. He asked the Commission to allow Grades K-8 with continued carpooling and the high school after Enos Lane is improved. Commissioner Gotthold asked if the road maintenance district is being established. Mr. Davis replied that it is.

Attorney  
representing  
the Salesian  
Sisters in  
1979 said  
they only  
had 20' on  
our property

Ray Amrhein is working on a maintenance district. The upper portion of Enos Lane is a drainage way as well as road. He described the maintenance options in order of cost: private maintenance, County maintenance, and assessment district. Commissioner Eberly asked how they planned to solve the problem of width of the right-of-way. Mr. Amrhein replied that it is a 40' right-of-way past the Tindall property. Along the Tindall property it is 20', but there is a possible additional 10' that could be contributed. Commissioner Rowe asked if there has been an estimate of the cost of bringing the road up to County standards, has that cost been compared with other costs, and what has been the response to these proposals. Mr. Amrhein replied that, roughly speaking, County maintenance costs twice as much of contract maintenance, and assessment district maintenance costs three or four times as much. Commissioner Von der Muhll asked if there is a feasible secondary access. Mr. Amrhein thinks so, and is sure something can be worked out.

Not  
←

←

Chris Enmy of Howell Lane spoke of her desire for her daughter to go to the Salesian Sisters' school and of the need for maintenance of Enos Lane.

Jake Head of Enos Lane stated that the road is hard to maintain, because each winter damages it. The drainage problem is bad, with 50 hollies on Enos Lane with drainage systems. There is a traffic problem on the road, not only from the school. He is reluctant to improve the road, since heavy equipment has ruined it in the past. Regarding the ISO fire rating, it was granted with a Salspuedes tanker present which is not always there. Commissioner Gotthold asked if the area pays into a drainage district. Mr. Head replied they did not; the County twice cleaned out the drainage ditch, but will not do it anymore.

Monica Baronovich, a 7th grader at the Salesian Sisters' School, told the Commission how pleased she is with her education at the school.

Les Strnad, who lives at the corner of Enos Lane and Hames Roads, stated that the Sisters are an asset to the community, but he does not believe the high school should be approved and wonders how many traffic-inducing school-related activities a high school would generate. Regarding the road, carpooling has been working. Regarding drainage, they pay into the Resource Conservation District, but they no longer maintain the drainage ditches. The right-of-way is on their property and Tindall's property, but they were not contacted for regarding an assessment district, and are wondering how it would work. They agree that secondary access is necessary.

Sister Cesira, principal of the school, stated that the high school would be a small girls' high school program. The school does not want student traffic and they do not think they can offer traffic-inducing programs. They got very good cooperation with their carpool program and parent meetings are staggered so all do not arrive at once. Commissioner Eberly asked where the expansion of the school will stop. Sister Cesira explained that financially it is not possible to expand to a large school; there are no plans beyond what is here in these applications. Commissioner Von der Muhll asked about summer camp. Sister Cesira

May 2, 1979

USE PERMIT RECOMMENDATIONS AND CONDITIONS

*Amended by* (See attached findings-)

*Planning Commission*

*on 5/16/79. Staff Recommendation:* Approval of use permit to allow expansion of school to 100 students (grades K-8, during 1979-80, and subsequent expansion to include 12% students, grades K-8, with the following conditions to be completed prior to the beginning of school year 1979-80, expansion to 125 students. beyond 100 students.

1. Enos Lane shall be improved to a minimum width of 16 feet up to the Salesian Sisters' driveway into the grounds.

*Amended by*  
*Planning*  
*commission*  
*5/16/79.*

2. The 16-foot wide travelled roadbed shall be constructed with 5 inches base rock, class 2, with oil and screenings seal coat, and an engineered drainage plan shall be submitted to and approved by the Department of Public Works,
3. Notorized road maintenance agreement shall be submitted for Community Resources Agency staff review and approval.
4. Continuance of car pool program.

*Added by*  
*Planning*  
*Commission*  
*on 5/16/79.*

5. There shall be no parking on Enos Lane blocking the road when parking exceeds the 30-space capacity of the parking lot.
6. When more than 200 people are in residence, sewage clearance shall be obtained from Environmental Health.

7. The applicant shall obtain a secondary access from Enos Lane to Hume Road.

As an alternative to the above three conditions, the Commission may wish to consider the following:

- a. Carpooling program will be limited to the 1978-79 program (25 cars) and the additional 35 students shall be transported by one bus,

The expansion of the school to 250 students, grades K-12, may be permitted with the following conditions:

1. Road shall be paved to 16-foot width with 2-foot improved graveled oil and screening shoulders on both sides and a continuous pedestrian path along one side separated from the roadway.
2. Carpooling shall continue.
3. A busing program shall be developed to transport 50% to 75% of the students, depending upon the distribution of their residences.

SK:gf  
4/27/79

ON MAY 16, 1979, THE PLANNING COMMISSION RECOMMENDED APPROVAL OF THE REZONING APPLICATION 78-935-Z TO THE BOARD OF SUPERVISORS AND APPROVED USE PERMIT APPLICATION 78-1539-U WITH AMENDED CONDITIONS,

No. 04-0384  
Attachment B

March 28,2007

Commissioners:

My name is Barbara Smith and I have been a parent of former students at Salesian. I have also been a teacher there for **14** years, and am currently part of the administrative team as well **as** a teacher.

My children who attended Salesian **as** well **as** most of their classmates have gone on to high school, graduated from college, and are now productive citizens in their communities. The values that they received **from** their Salesian education have guided them through their lives to be caring and responsible members of society.

Acting **as** an administrator during this school year has given me an new appreciation of exactly what Salesian is up against in applying for this use pennit. I would like **to** share some of these insights with you.

First, **our** school receives no funding from the Monterey Diocese or any parish. It is a self-sustaining school that must live within a limited budget. Our budget is a little over \$1,000,000. The operating expenses exceed the tuition which is charged, and to make up this deficit parents vigorously fund raise. **Our** fund raising efforts net about \$50,000 a year.

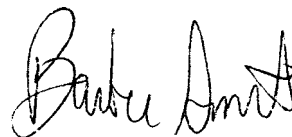
Our tuition is kept low so we can accommodate working families, which is the mission of the Salesian Sisters. A large majority of **our** children come from families where both parents work outside the home, and over 25% of our student body is made up of minorities.

Most of the teachers, including myself, are fully credentialed, yet we work for far less than we could receive if we taught in the local public schools. This is because we believe in Catholic education, and **our** commitment is our personal contribution.

We already have a debt of over \$300,000 to the Sister's province for costs that have resulted from the current application process with the county, all of which needs to be repaid. The source of this loan came **from** the other 11 **self** supported schools and youth wcenter in the province. We can no longer borrow money from these schools.

If we are not granted this pennit, and we are forced to limit enrollment to 125 students and **with** that number we would could not maintain a K-8 school. Even if we deleted some grade levels, because of the fixed costs, we would not be able to operate without raising tuition which would make it **unaffordable** for most of our parents. We need the permit to continue ours school but some of the conditions that you have place on us will cause us to have to close our school.

In summary, we are a small private Catholic school with limited resources. We are not trying to negotiate the terms and conditions for the permit which are outlined in your report. We simply can not survive if we are forced to comply with some of these conditions.

A handwritten signature in cursive script, appearing to read "Barbara Smith".

Santa Cruz County Planning Commission  
701 Ocean Street  
Santa Cruz, CA

March 28,2007

My name is Katie Davis and I am a teacher and administrator at Salesian Elementary and Junior High. I have been affiliated with the school for ten years, first **as** a parent and for the last six years **as** a **staff** member. When we moved to the area my husband and I selected Salesian for our children because we felt on our initial visit as if we were at home. That feeling continued even after our children graduated and moved on **to high** school and now college. We have always felt a sense of belonging to the Salesian community. Though my children have moved on, I have remained a part of the daily operation of Salesian.

This year I became a member of the administrative team. Our team has worked hard to meet the requirements of the Second Amended Compliance Agreement. We have addressed each concern brought to our attention on a timely basis, and operated an exemplary carpool program.

Last month I was present at a meeting in which we were given a summary of the Conditions of Approval. The conditions were overwhelming. We want to work with the neighborhood on a solution to the problem. The solution however must be one which will not put us out of business. The original document will do this.

We are proposing some changes to the Conditions of Approval. I would like to address the most significant of these:

Pages 6-8 refer to the road widening, **an** additional speed bump, and walk path. We are very willing to pay our share of road improvements which will benefit all 58 households who use Enos Lane **as** their main access. We are also willing to bear a reasonable cost for a walkway adjacent to the road which would benefit the residents of Lower Enos Lane. We must however insist that these things be done at the consent of the property owners who would be affected. We do not have the resources to litigate the acquisition of land **from** owners who are not willing to use their land for these purposes. Nor do we wish to create ill-will by such forceful action.

Page 9 refers to our septic system deemed suitable for 250 students by Fall Creek Engineering. Spending \$140,000 to replace it is an unnecessary burden.

**Salesian Sisters School**  
605 Enos Lane  
Corralitos, CA 95076

Statement of Sr. Theresa Sironi to the Santa Cruz Planning Commission

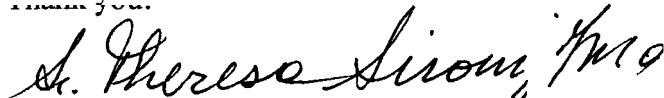
My name is Sr. Theresa, and I would like to take a moment to explain who we, Salesian Sisters, are and what we do. We are a religious community of women founded by St. John Bosco and St. Mary Mazzarello. Our mission is to provide Christian education and formation to the young, especially of the working class, preparing them to be responsible and honest citizens. We are a private school totally independent from any other entity. Our tuition is kept at a low level, with a reduction for families with more than one child.

Our Salesian style of education respects the young people and places great hope in them. We strive to provide academic excellence and promote human and Gospel values in a Salesian atmosphere of joy and nurturing. Parents, as first educators, choose to send their children to us because they value the faith education we offer, the environment of family spirit and the dedication of both, religious and lay educators.

Our Sisters have served the youth of Santa Cruz County since 1921, first at the old St. Francis School on East Lake in Watsonville, and beginning in 1960 in Aptos. After relinquishing our house and school in 1974 to Cabrillo College for its expansion, we eventually built at our current location in Corralitos, which is called "Mary Help of Christians Youth Center". While we help young people in other ways, we know from experience that the best way to form the mind and heart of a child is through formal education at school. This is what we do best, and the caliber of our alumnae, some of whom you will hear from today, can demonstrate that. We work to help youth learn to serve other young people becoming catalysts of hope and positive change in their local society.

Many sisters have served at Salesian School in these last **thirty years**, and some of them have gone already to their eternal reward. They all brought their many personal gifts and served in a variety of different roles, but the spirit was always the same. My prayer and wishes are that we may continue to serve the young of this area, offering them our charisma of education. I assure you, anyone who can help us to make this possible shares in the most wonderful mission, and the Lord will reward you for it.

Thank you!



Sr. Theresa Sironi, FMA

March 28, 2007

March 28, 2007

County of Santa Cruz  
Planning Commission  
701 Ocean Street  
Santa Cruz, CA

RE: Salesian Sisters Elementary School  
605 Enos Lane, Watsonville  
04-0384  
APN: 107-571-01

My name is Theresa Barreras-Rose and David Rose.

We are both full time working parents who have chosen to send our child **to** Salesian Sisters Elementary School.

We relocated our home and family from Gilroy to Watsonville solely because of Salesian.

We chose to send our children to this Catholic Elementary school because ~~of~~ its emphasis on the child through it's philosophy of reason, religion and loving kindness. Also because this school has a reputation for producing children with strong Catholic values who later go ~~on to~~ become good members of the local community.

- **Six** and a half years ago it was made very clear upon first enrolling our child into Salesian that car pooling was a requirement.
- When we were asked to step-up our carpooling efforts in 2004, we worked with the school administration to add to our carpool.
- Each parent at Salesian would like to drive carpool in order to be able to spend more time with our children.
- The vast majority of parents have sacrificed this **privilege** in order to accommodate the car pool rules.
- Parents such as ourselves with a vehicle which can accommodate 7 children safely, go out of our way to accommodate the car pool rules by filling as many seats as possible.
- In my afternoon car pool I make **4** stops before I get home, dropping off the children in my carpool. Currently, I have one child **at** Salesian.

The nuns as well as the parents have kept the faith and will continue to keep the faith in working with the Enos Lane community.

Sincerely,



Theresa Barreras-Rose and David Rose  
8 Pelican Drive  
Watsonville

My name is Maureen Roach, for almost thirty years my husband and I have lived on Enos Lane in Corralitos ... I have good neighbors, and outstanding ones and I am here today to talk about the most outstanding ones whom I believe are the "The Salesians Sisters" and the school children that I have the joy of seeing almost everyday. I recently lost my husband to cancer, and it was these beautiful sisters and school children and their families that brought me the most comfort. Their prayers, notes and calls speak volumes. They have always been courteous, kind and most thoughtful.

The parents that bring these children to the Salesian Sisters School try very hard to accommodate the neighbors. I notice that most every car going pass my home is filled, many of the large cars carrying up to 6 to 7 children. The speed they travel is definitely within the limits. Many times I have to leave my drive-way about the same time that the parents are either delivering their children or picking them up **and** I have never had to fight to get out on the road. I have to say they are respectful and aware that I too have **an** agenda and I appreciate their consideration.

I have had the opportunity to attend Holy Mass services there with the children and every Tuesday I have the privilege of being apart of a weekly prayer group. I do observe my surroundings and I see first hand that the children at Salesian School are taught not **only** to think of self, but to think of others. Some of these children go to the migrant camps and tutor other children. Some get together and serve the homeless at the local church or at the Salvation Army. Others have raised money all on their own for the poor.

This school is unique; they educate not only the mind but also the heart. It does not take a genius to see that our community is **a** stronger place by having the presence of the Salesian Sisters School in Corralitos. The daily Christian values that they are instilling in these children are a breath of fresh air. If only we had more high quality schools like them I truly believe gang violence and disrespect of others would be greatly lessened in the future. **As** a resident of Enos Lane I want to go on record that the Salesian Sisters School fully has my support. Thank you!

Maureen Roach  
120 Enos Lane

# **Proposed Changes to Planning Department Staff Report**

**Application Number: 04-0384  
Daughters of Mary Help of Christians  
APN: 107-571-01**

**March 27,2007**

Copies hand-delivered to Planning Commissioners  
Copy hand-delivered to Ellen Pirie  
Copy hand-delivered to Tom Bums

**March** 28,2007  
**March** 27,2007  
**March** 27,2007

Additions to original document appear *italicized*.

Deletions from original document appear as ~~striethroughs~~.

### PAGE 3

The initial use permit issued for the existing educational facility **was** Use Permit 75-600-U, which authorized a novitiate and summer camp, with staff **quarters** and dormitories for up to 90 girls. This approval was for three two-week long summer camp sessions, and one yearly retreat for up to 40 sisters. After the novitiate and summer camp were approved, a staff initiated Rezoning (75-1001-2) was performed **to** rezone the property to the REC (Recreational) zone district to reflect the novitiate and **summer** camp use. The remaining orchard on the subject property was rezoned to the **A- 10** (Agriculture - 10 acre minimum) zone district at that time. An accessory storage building was later approved, under Use Permit 77-557-U, for the novitiate facility.

Following the approval for the novitiate and summer camp, an application for Use Permit 78-323-U was submitted to allow the operation of a school up to a maximum of 90 students (grades K-1 & 5-8) in the existing buildings. This application was approved with the requirement that the road be improved to a minimum **width** of 16 feet, that a busing or carpooling plan be submitted that would minimize school related traffic on Enos Lane, and that all requirements of the County Fire Marshall **be** met. This permit also required that the property be rezoned from the REC (Recreation) zone district to a more appropriate zone district prior to consideration of any further use permit.

Shortly after the approval of the permit for the school, an application for Use Permit 78-1539-U and Rezoning 78-935-2 was made to expand the school **to** 250 students (including all grades K-8 and 9-12). Although this application **was** for 250 students (and included grades 9-12), it was ultimately approved for 125 students (and limited to grades K-8). **As** a result, the environmental documentation from the **initial** study, as well as a condition related to the septic clearance added the Planning Commission, both contain language which was based on the 250 student proposal. *The Negative Declaration stated that until the roadway is improved to a "16 foot width", the school operation is limited to 125 students; however, when the roadway was improved to 16 feet, the total number of students may be increased to "250 students". (In 1988 the roadway was increased to at least 16 feet in width.)* The Board of Supervisors took final action on the proposal, resulting in an approval for a maximum of 125 students (grades **K-8**); however, the Board deleted three of the suggested conditions: "1" (Enos Lane **to** be improved to a minimum width of 16 feet to the Salesian Sisters driveway.) "1" **(16-foot wide roadbed)** "7" (Salesian obtain a secondary access.)

Approximately ten years later, Commercial Development Permit **88- 1 105** authorized the construction of a 12 bedroom central living quarters for the Sisters who reside at the school. Prior to this time, the Sisters were residing in rooms **scattered** throughout the campus and the centralized living area was proposed for safety reasons and to create a sense of community.

Copies of the permits described above and other associated information are included as Exhibit E to this report.

## **Permit Compliance Issues**

Since the approval of Use Permit 78- 1539-U, which authorized a school of up to 125 students, the enrollment has increased to over 200 students. Complaints regarding the increased enrollment have been filed with the County, and Code Compliance action has been taken against the school. A settlement agreement has been **reached** which is temporarily allowing the school to operate at the existing level **of** enrollment (205 students) while this amendment to the prior use permits is being **processed**.

## **PAGE 5**

### **Road Widening & Improvements**

As a result of the proposed increase in enrollment, the applicants **have** been required by the local fire agency to widen Enos Lane to a minimum of 18 **feet** in width *unless otherwise provided*. This requirement by the fire agency will be **applied** to any application that would increase the number of students above ~~125 200~~ or the number of vehicle trips above those associated with ~~125 200~~ students. ~~In addition to the 18 foot widening requirement of the local fire agency, the Department of Public Works staff have requested widening of to a minimum of 24 feet in width for the first 40 feet of Enos Lane in order to allow vehicles to enter and exit Enos Lane without causing traffic congestion on Hames Road.~~

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### **Right of Way**

The question of the location of the vehicular right of way is **not clearly** defined. ~~Although a 40 foot wide right of way is of adequate width for the proposed widening and associated improvements, it is not clear as to the exact location of the 40 foot right of way.~~ Deeds provided by the neighbors indicate a right of way, **but** do not specifically indicate a location. From reviewing the deeds, it appears as though the right of way referenced in earlier deeds was later recorded to reflect the road **as** traveled in deeds beginning in 1971. *County approved lot splits and recorded parcel maps that have surveys recognize the right of way.* The neighboring property owners dispute the location of the right of way depicted on the project plans (Exhibit **A**), which display the centerline of the 40 foot right of way as the center of the currently traveled roadway. The area of concern is where the roadway is proposed to be widened to 24 feet in width, at the intersection of Enos Lane and Hames Road. *Nevertheless, the county granted a number of permits and lot splits that have accepted Enos Lane roadway in its existing location.* The roadway in this area is already in compliance with the **minimum** (18foot width) requirement of the fire department and the concern of the neighbors is that further widening (and the construction of the pedestrian pathway) would occur outside of the right of way and would require the acquisition of additional **easements** by the school in order to construct the required improvements. *Property, if any, donated by Mattos for a pedestrian walkway would not be deducted from their acreage count for purposes of parcel split.*

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**Traffic Management Plan**

Vehicles which transport children to and/or from the school will **be** counted during each two hour peak period (7-9 AM & 2-4 PM) and no children may **be** dropped off before 7 AM unless amving with a teacher or school staff *or io attend religious services*.

Vehicles which do not transport children to and/or from the school (teachers, staff, school residents, deliveries, etc.) and vehicles originating from Enos Lane (above or below the school) will not be counted towards the maximum number of **allow**ed trips.

After 5 years, the final maximum enrollment for the school will **be** established based on the review of compliance with the traffic performance criteria **by the** Planning Department. ~~Independent traffic monitoring (performed at the school's expense) will continue for as long as the school is in operation.~~ If the performance criteria cannot be met for the final maximum enrollment (after the 5<sup>th</sup> year review) enrollment will be required to decrease below the final maximum enrollment level until the performance criteria can be met.

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**Conditions of Approval**

**Exhibit A:**

Project plans "Salesian Sisters School", 10 sheets, prepared by Ifland Engineers, dated 3/28/05 & 10/14/05. *as modified herein*

**1.**

This permit authorizes the continued operation of an existing school, summer camp, and associated uses within allowed limits as described in further detail below. This permit amends and replaces Commercial Development Permits 75-600-**U**, 77-557-**U**, 78-323-**U**, 78-1539-**U**, and 88-1 105. All conditions of the prior permits **are replaced** by the conditions for this permit. *Except as herein stated*, prior to **exercising** any rights granted by this permit including, without limitation, any construction or **site** disturbance, the applicantowner shall:

**A.**

Sign, date, and return to the Planning Department one copy of ~~the~~ approval to indicate acceptance and agreement with the conditions thereof.

**B.**

Pay the required fee to the Clerk of the Board of the County of ~~Santa~~ Santa Cruz for posting the Negative Declaration as required by the California Department of Fish and Game mitigation fees program.

**C.**

Obtain a Grading Permit from the Santa Cruz County Planning Department.

**D.**

Obtain a Building Permit from the Santa Cruz County Building Official, if required, for retaining walls and site improvements.

**E.**

Obtain an Encroachment Permit from the Department of Public Works for all offsite work performed in the County road right-of-way.

**II.**

*Except as herein stated,* prior to issuance of a Grading and/or Building Permit the applicant/owner shall:

**A.**

Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder).

**B**

Submit final engineering plans for review and approval by the Planning Department *except herein changed.* The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department *except as here in modified.* Any changes from the approved Exhibit "A" for this development permit on the plans submitted for the Grading and/or Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Grading and/or Building Permit that is issued for the proposed development. The final plans shall include the following additional information:

**1.**

Engineered improvement plans for all on-site and off-site improvements prepared, wet-stamped, and signed by a licensed civil engineer.

**a.**

The access roadway shall be widened to a minimum width of 18 feet between Hames Road and the school entrance, *provided that the adjacent owner(s) in that area of widening consent in writing to the same and donate, if necessary, the land to accomplish the same.* ~~Enos Lane shall be further widened to 24 feet in width for the first 40 feet from the intersection with Hames Road.~~

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**b.**

Road bumps shall be installed on the lower portion of Enos Lane (between Hames Road and station 17+00). Road bumps shall be designed to limit vehicle speed to 15 MPH along this section of Enos Lane. A minimum of three road bumps are required in order to limit speeds to 15 MPH. *Provided that the owner(s) affected consent in writing to donate, if necessary, the land to do so.*

c.

*Provided that the owner(s) affected consent in writing to donate, if necessary, the land to accomplish the same, a pedestrian pathway, a minimum of 3 feet in width, shall be installed on the east side of the lower portion of Enos Lane (between Hames Road and station 17+75). The path shall be separated from the roadway a solid white line (or landscaping, if separated from the roadway by over 3 feet) and surfaced with decomposed granite or other aggregate material.*

d.

~~Provide a survey with the accurate location of the vehicular right of way of Enos Lane relative to existing and proposed site improvements and adjacent property boundaries.~~

e.

Delete the proposed crosswalk across Hames Road at the intersection with Enos Lane.

2.

Grading, drainage, and erosion control plans, that are prepared, wet stamped, and signed by a licensed civil engineer. Grading and drainage plans must include estimated earthwork: cross sections through all improvements, existing and proposed cut and fill areas, existing and proposed walls, drainage facilities, and details of devices such as back drains, culverts, energy dissipaters, detention pipes, etc.

a.

Air Quality:

In order to ensure that the one hour air quality threshold for the pollutant acrolein is not exceeded during grading and paving, prior to the issuance of the grading permit, the applicant shall modify the grading plans to include notes incorporating the construction conditions given by the Monterey Bay Air Pollution Control District (MBAPCD) as follows:

i

All pre- 1994 diesel equipment shall be retrofitted with EPA certified diesel oxidation catalysts or all such equipment shall be fueled with B99 diesel fuel;

ii

Applicant shall retain receipts for purchases of catalysts or b99 diesel fuel until completion of the project;

iii

Applicant shall allow MBAPCD to inspect receipts and equipment throughout the project

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iv

Alternatively, the applicant may submit a health risk assessment to the MBAPCD for review and approval. Any recommendations and requirements of the MBAPCD will become conditions of constructing the project.

**3.**

**A** parking plan, showing all existing and proposed parking on the subject property.

**a.**

Standard parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way.

**b.**

All applicable accessibility requirements must be met in the existing ~~and proposed~~ parking areas.

**4.**

Details showing compliance with fire department requirements, including all requirements of the Urban Wildland Intermix Code, if applicable.

**a.**

The access roadway shall be widened to a minimum width of 18 feet for vehicular and emergency vehicle access, *,provided that the adjacent owner(s) in that area of widening consent in writing to **the** same and donate, if necessary, the land to accomplish the same -*

**b.**

The loop roadway around the existing school facility shall be marked as a fire lane, clearly marked as a no parking area to allow free movement of fire equipment around the school buildings.

**5.**

Groundwater Recharge: In order to ensure that loss of area for groundwater recharge is less than significant, the applicant shall submit a detailed groundwater recharge plan for review and approval by the Department of Public Works drainage staff and Planning staff. The plan shall provide for recharge, on the subject property, of runoff from the new paved parking area (after it has passed through a silt and grease filter) ~~and also runoff from the sections of Enos Lane that are widened, where the latter is feasible.~~ The plan shall show infrastructure for directing and spreading runoff and measures to prevent erosion at outlets, and shall include calculations quantifying the expected runoff and demonstrating that there is no net loss of recharge capacity as a result of the parking surfacing. The plan shall be accompanied by a letter of approval **by** the project soil engineer. The plan shall also indicate where excess fill is being placed in order to prevent conflicts with recharge goals.

**4.**

Show replacement trees to be located at a 3:1 ratio for all trees removed due to road widening, construction of the parking lot, and other improvements.

7.

~~A site plan showing all of the existing buildings on the school campus must be provided which clearly indicates the total number and location of existing residential facilities (including bedrooms and food preparation facilities).~~

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**C.**

Submit four copies of the approved Discretionary Permit with the Conditions of Approval attached. The Conditions of Approval shall be recorded prior to submittal, if applicable.

**D.**

Meet all requirements of and pay Zone 7 drainage fees to the County Department of Public Works, Drainage. Drainage fees will be assessed on the net increase in impervious area.

**E.**

Obtain an Environmental Health Clearance for this project from the County Department of Environmental Health Services.

~~4.~~

~~All required septic upgrades must be installed within 1 year from the effective date of this permit.~~ *The school shall have existing septic system inspected, and pumped if deemed necessary by a qualified company, twice a year to monitor its condition. (Current septic has been inspected and deemed satisfactory to meet the needs of 250 students. See March 4, 2005, letter of Peter Haase, Principal Engineer, to Randall Adams.)*

**F.**

Meet all requirements and pay any applicable plan check fee of the California Department of Forestry/County Fire.

**G.**

Submit 3 copies of a plan review letter prepared and stamped by a licensed Geotechnical Engineer.

**III**

All construction shall be performed according to the approved plans for the Grading Permit and/or Building Permit. The applicant/owner must meet the following conditions during construction of the project:

**A'**

Improvements must be installed within the following timeframes

1.

Road bumps must be installed within 90 days from the effective date of this permit.

2.

Road widening ~~must occur within 6 months~~ and pedestrian pathway, if applicable must occur within 36 months from the effective date of this permit.

3.

The new parking lot, ~~pedestrian pathway, and all other required improvements must be installed within 1 year from effective date of this permit.~~ will be installed at the discretion of the applicant.

**B.**

All work adjacent to or within a County road shall be subject to the provisions of Chapter 9.70 of the County Code, including obtaining an encroachment permit where required. Where feasible, all improvements adjacent to or affecting a County road shall be coordinated with any planned County-sponsored construction on that road. Obtain an Encroachment Permit from the Department of Public Works for any work performed in the public right of way. All work shall be consistent with the Department of Public Works Design Criteria unless otherwise specifically excepted by these conditions of approval.

**C.**

No land clearing, grading or excavating shall take place between October 15 and April 15 unless the Planning Director approves a separate winter erosion-control plan that may or may not be granted.

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**D.**

To minimize noise, dust and nuisance impacts to surrounding properties during construction, the owner/applicant shall or shall have the project contractor, comply with the following measures during all construction work:

1.

Limit all construction to the time between 8:00 a.m. and 5:00 p.m. weekdays unless a temporary exception to this time restriction is approved in advance by the Santa Cruz County Planning Department to address an emergency situation; and

2.

Each day it does not rain, wet all exposed soil frequently enough to prevent significant amounts of dust from leaving the site.

3.

The applicant shall designate a disturbance coordinator and a 24-hour contact number shall be conspicuously posted on the job site. The disturbance coordinator shall record the name, phone number, and nature of all complaints received regarding the construction site. The disturbance coordinator shall investigate complaints and take remedial action, if necessary, within 24 hours of receipt of the complaint or inquiry.

**E.**

Water Quality: To prevent project drainage discharges from carrying silt, grease, and other contaminants, the applicant shall install silt and grease traps according to the approved plans. The traps shall be maintained by the owners according to the following monitoring and maintenance schedule:

**1.**

The traps shall be inspected to determine if they need cleaning or repair prior to October 15 each year, at a minimum interval of once per year;

**2 .**

A brief annual report shall be prepared by the trap inspector at the conclusion of each October inspection and submitted to the Drainage Section of the Department **of** Public Works within 5 days of inspection. This monitoring report shall specify any repairs that have been done or that are needed to allow the trap to function adequately.

**F.**

Prior to final inspection, the applicant/owner must meet the following conditions:

**1.**

All site improvements shown on the final approved Grading Permit and/or Building Permit plans shall be installed.

**2 .**

All inspections required by the Grading and/or Building permit shall be completed to the reasonable satisfaction of the County Building Official and Planning Department staff.

**3.**

The project must comply with all recommendations of the approved soils reports.

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**G.**

Pursuant to Sections 16.40.040 and 16.42.1 00 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development: any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.

#### IV.

##### Operational Conditions

###### A.

Master Occupancy Program (School): Given the location of the project with respect to existing residential uses, any change of use request will require an amendment to this permit. Only the uses listed below are allowed at the school facility:

Private Religious School: A private school (Kinder through 8<sup>th</sup> grade years only) with an enrollment level based on the performance standards listed below (Condition IV.B) is authorized by this permit. ~~Instruction at the School classes may not begin before 8-AM~~ 7:50 AM and drop off of students more than one hour before this time is not allowed *except as noted in the traffic management plan.* Any change in the scheduling of the school classes which causes instruction to begin prior to ~~8-AM~~ 7:50 AM is not authorized by permit.

*(7:50 AM is the current start time for the school)*

###### School Related Meetings and Events:

Are allowed in conjunction with the private school use. Parent meetings, parent teacher conferences, back to school night, plays, and other events which occur while classes are not in session are allowed without a restriction on total number of vehicle trips. Carpooling is recommended for individuals attending these school related meetings and events. School related events that occur during regular school hours (grandparents day, parents breakfast, kinder promotion, etc.) are allowed, at a maximum of 8 events per year, without a restriction on total number of vehicle trips. No more than 8 school related events that occur during regular school hours are allowed during any one regular school year. No sporting events (other than regular practice by Salesian school students) are allowed at the school facility. Prior to the start of each regular school year, the school must submit to the Santa Cruz Planning Department a calendar that indicates the dates and times of each of the planned school related events.

###### Summer Camp & Remedial Classes:

A summer camp and remedial classes (summer school) outside of the regular school year are authorized based on the following limitations: The total number of campers (both day and overnight) is limited to no more than 90 campers at the school facility at any one time. The total number of day campers and/or remedial class students is limited to no more than 60 total (day campers and/or remedial class students). Carpooling or busing is required for day campers and/or remedial class students to reduce traffic, with a maximum of 45 school related vehicle trips in and out (90 total trips) of the school facility during any continuous two hour period between 7:30 AM and 5:30 PM.

#### **PAGE 28**

Retreats: Up to ~~four weekend retreats~~ *six weekend religious retreats* for a maximum of 60 people at each retreat are authorized by this permit for each one year period. Up to eight one day *religious* retreats (occurring only on weekend days) for a maximum of 90 people at each retreat are authorized by this permit for each one year period. Carpooling or busing is recommended for individuals and groups attending retreats.

Community Meetings:

Community meetings are allowed at the school facilities outside **of** regular school hours. The use of the school facilities for community meetings does not include the renting of the facilities for conferences or other commercial activities.

Religious Services and Prayer Groups:

Religious services *including prayer groups and masses* are allowed at the school facility. Carpooling is recommended for individuals attending *such* religious services and prayer groups.

Residents:

The use of the school facility for residential purposes is allowed with all of the residents living as a family unit (sharing cooking facilities and common areas). The construction of additional independent residential units is not authorized by this permit.

Novitiate:

The use of the school facility as a novitiate is authorized by this permit. The total number of novices residing on site will be limited by the residential facilities on the project site.

The following additional restrictions apply to all uses:

Parking:

Parking must occur in approved spaces, and may not at any time block access to the structures or turn-around areas for emergency equipment. Parking for all events shall comply with the approved parking plan and the recommendations of the approved traffic studies.

Scheduling:

Uses (school, meetings, events, services, retreats, etc.) can not be scheduled in an overlapping manner which will result in a combined parking demand that can not be met on the project site.

**B.**

**Enrollment:**

Enrollment at the existing school during the regular school year (not including summer remedial classes or summer camp) will be limited by the following:

The initial maximum enrollment will begin at 200 students and will increase or decrease by 25 student increments, or remain constant, depending on compliance with the traffic performance criteria (as measured by independent random monitoring, at the school's expense, with review by the Planning Department) for each level of enrollment. Any potential enrollment increase or decrease will begin in the third year and will be determined by the Planning Department based on compliance with the traffic performance criteria through the middle of the second year, with reviews continuing at the middle of each following school year *for a maximum of five (5) years*. 250 students is the maximum enrollment level that could be allowed at the school based on compliance with the traffic performance criteria.

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No enrollment increase *over 200 students* will be allowed until **all** required road improvements (speed bumps *and* road widening and pedestrian pathway, *if applicable* ) have been installed

Traffic Performance Criteria (the number of trips allowed at each enrollment level):

Maximum Enrollment	Traffic Performance Criteria
Up to 125 Students	<b>45</b> max. trips in and out (90 total trips) per each 2 hour peak period (7-9 AM & 2-4 PM)
150, 175, or 200 Students'	50 max. trips in and out (100 total trips) per each 2-hour peak period (7-9 AM & 2-4 PM)
225 Students	55 max. trips in and out (110 total trips) per each 2 hour peak period (7-9 AM & 2-4 <b>PM</b> )
250 Students	60 max. trips in and out (120 total trips) per each 2 hour peak period (7-9 AM & <b>2-4</b> PM)

Compliance with Traffic performance Criteria: Vehicles which transport children to and/or from the school will be counted during each two hour peak period (7-9 **AM** & 2-4 PM) and no children may be dropped off before 7 AM unless arriving with a teacher or school staff *or to attend religious services*. Vehicles which do **not** transport children to and/or from the school (teachers, staff, school residents, deliveries, etc.) and vehicles originating from Enos Lane (above or below the school) will not be counted towards the maximum number of allowed trips.

5<sup>th</sup> Year Review: ~~At~~ *As of* the mid point of the fifth regular school year after approval of this permit, the final maximum enrollment for the school will be established. This will be based on a review of compliance with the performance criteria by the Santa Cruz County Planning Department *after the Planning Department has given reasonable prior notice to Salesian of its review and tentative determination*. The maximum enrollment for the school will be based on the compliance with the performance criteria for the years leading up to this review. This review will be performed in addition to annual reviews leading up to the fifth year. The results of the fifth year review will be heard before the Planning Commission on the consent agenda, and the final maximum enrollment will be determined by the Planning Commission at that time, *provided that the school has been given a reasonable prior opportunity to address this issue*. **Annual** reporting of traffic counts (performed at the school's expense) will be required each year (per Condition IV.C) up to the fifth year of review. ~~Adherence to the performance criteria after the fifth year review is required, and reductions in enrollment will met. The schedule for continued independent traffic monitoring (performed at the school's expense) will be determined at the fifth year review.~~

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**Enrollment List:**

Prior to the start of each regular school year, the school must **submit** to the Santa Cruz Planning Department ~~a list of all of the~~ *number* of students to be enrolled at the school, ~~and displays the total enrollment for the following school year.~~

**Failure to Comply:**

Failure to reduce enrollment when required, or to comply with the required performance criteria at the established level of enrollment, or to supply enrollment information or traffic reports, will be a violation of the terms of this permit. Operating the school at a higher level of enrollment than is authorized by these conditions, **or** at a higher volume of traffic than is allowed for the level of enrollment, is a violation ~~of~~ the terms of this permit. *Any* violation of the terms of this permit may result in permit revocation.

**C.**

**Traffic Management & Reporting:**

**A** Traffic Management Plan is required for all enrollment levels **for** the school during the regular school year, subject to the following requirements:

**1.**

Prior to the start of each school year, but after the enrollment level has been established, a carpool/housing plan must be provided to the Santa **Cruz** County Planning Department which indicates the total number of vehicles and the number of children assigned to each vehicle.

**a.**

Carpools may not meet or be formed on Enos Lane or at the intersection of Hames Road and Enos Lane, unless the vehicles originate from Enos Lane (**or** other roadways directly connected to Enos Lane north of the Hames Road intersection).

**2.**

Reporting of random traffic counts at regular intervals (at the ~~mid~~**p**oint of each school year) performed at the school's *reasonable* expense by an independent third party traffic consultant (overseen by a licensed traffic engineer) must be provided to the Santa Cruz County Planning Department on an annual basis *for the first five (5) years*.

**a.**

The school must agree to allow the County of Santa Cruz Planning Department to contract, at the school's *reasonable* expense, with an independent third party traffic consulting firm to perform random traffic counts at the school facility, *prior notice of the costs having been provided to the school*.

**1.**

**A** positive at cost account balance with the County of Santa Cruz Planning Department must be maintained by the school, with sufficient funds to allow *reasonable* payments to the traffic consulting firm throughout the contract period and to account for Planning Department staff time.

b.

Random, unannounced traffic counts are required during the AM peak (7 AM to 9 AM) and PM peak (2 PM to 4 PM) periods throughout the regular school year.

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c.

Traffic counts must occur on a minimum of ~~two~~ one day per full month that the school is in regular session, up to the fifth year review. ~~The schedule and frequency of continued monitoring (after the fifth year) will be determined at the fifth year review and may be modified at a later date.~~

1.

Dates will be selected by Planning Department staff and provided to the independent third party traffic consulting firm, who will perform the traffic counts.

d.

*For a maximum of five (5) years and with maximum of nine (9) counts per school year, reports must be submitted by the independent third party traffic consultant directly to the Santa Cruz County Planning Department at the midpoint of each regular school year with copies of all such reports provided to the school by the consultant.*

e.

Additional traffic counts and associated reports may be ~~required~~ obtained by the Santa Cruz County Planning Department at ~~the school's~~ its expense, for as long as the school facility is in operation, in order to ensure compliance with permit conditions.

### **F**

Compliance with the performance criteria specified under Condition N.A (Operational Conditions - Enrollment) will be determined based on the traffic counts in the reports submitted and not on other sources of information provided by ~~the~~ school administration or the general public.

g.

~~Failure to provide adequate and accurate traffic counts performed by an independent third party traffic consultant will be considered as a lack of compliance with the conditions of this permit and noncompliance for the performance criteria specified under Condition N.A (Operational Conditions - Enrollment). (These actions are in the control of the county, not the school.)~~

3.

#### **School Related Vehicle Trips:**

Vehicles which carry children to and/or from the school facility **are** considered as school related vehicle trips, with the exception of Enos Lane resident vehicles.

a.

Enos Lane Residents:

Vehicles with children originating from Enos Lane (or other roadways directly connected to Enos Lane north of the Hames Road intersection) will not be counted towards the maximum number of allowed trips. These vehicles must be clearly designated as vehicles of Enos Lane origin and each student traveling in an Enos Lane vehicle must be accounted for in the enrollment list and carpool/busing plan for each school year.

4.

Non-Peak and Non-School Related Vehicle Trips:

Due to the common occurrence of illness, doctor's appointments, **and** other unforeseen circumstances; children which need to be driven to and from school between peak hours are not subject to carpool requirements. Dropping off children **prior** to the AM peak is not allowed (unless arriving in a vehicle of a teacher or staff person **who** does not reside at the school facility *or to attend religious services*). Any vehicles bringing children to the school prior to the AM peak will be counted towards the maximum number of trips for the **AM** peak.

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a.

Residents of the school facility (sisters, novices, etc.) may leave **and** enter the facility without being counted as school related vehicle trips, unless these vehicles are transporting children to and/or from the school facility.

b.

Delivery and service vehicles may leave and enter the facility without being counted as school related vehicle trips, unless these vehicles are transporting ~~children~~ *Salesian students* to and/or from the school facility.

V.

Road Maintenance: If a *reasonable* road maintenance association (or agreement) is formed, the school will be obligated to participate in the road maintenance. ~~equal to extent of their usage of Enos Lane~~

VI.

In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any ~~violation~~ of the County Code, the owner shall pay to the County the full *reasonable* cost of **such** County inspections, including any follow-up inspections and/or necessary enforcement actions, **up** to and including permit revocation *provided that there is reasonable prior notice to the school of such alleged non-compliance, and reasonable opportunity to address the same.*

## **VII.**

As a condition of this development approval, *to the extent it is otherwise legally enforceable*, the holder of this development approval (“Development Approval Holder”), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys’ fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by **the** Development Approval Holder.

### **A.**

COUNTY shall promptly notify the Development Approval **Holder** of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any **such** claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, **or** hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.

### **B.**

Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:

#### **1.**

COUNTY bears its own attorney’s fees and costs; and

## **PAGE 33**

#### **2.**

COUNTY defends the action in good faith.

### **C.**

Settlement.

The Development Approval Holder shall not be required to pay **or** perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder **shall not** enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.

### **D. Successors Bound.**

“Development Approval Holder” shall include the applicant and **the** successor’s) in interest, transferee(s), and assign(s) of the applicant.

## **VIII.**

### **Mitigation Monitoring Program**

The mitigation measures listed under this heading have been incorporated into the conditions of approval for this project in order to mitigate or avoid significant effects on the environment. As required by Section 2 1081.6 of the California Public Resources Code, a monitoring and reporting program for the above mitigations is hereby adopted as a condition of approval for this project. This monitoring program **is** specifically described following each mitigation measure listed below. The purpose of **this** monitoring is to ensure compliance with the environmental mitigations during project implementation and operation. Failure to comply with the conditions of approval, including the terms of the adopted monitoring program, may result in permit revocation pursuant to Section 18.10.462 of the Santa Cruz County Code.

#### **A.**

##### **Mitigation Measure: Groundwater Recharge (Condition II.B.5)**

**Monitoring Program:** In order to ensure that loss of area for groundwater recharge is less than significant; the applicant shall submit a detailed groundwater recharge plan for review and approval by the Department of Public Works drainage staff and Planning staff. The plan shall provide for recharge, on the subject property, of runoff from the new paved parking area (after it has passed through a silt and grease filter) and also runoff from the sections of Enos Lane that are widened, where the latter **is** feasible. The plan shall show infrastructure for directing and spreading runoff and **measures** to prevent erosion at outlets, and shall include calculations quantifying the expected runoff and demonstrating that there is no net loss of recharge capacity as a **result** of the parking surfacing. The plan shall be accompanied by a letter of approval **by** the project soil engineer. The plan shall also indicate where excess fill is being placed in order to prevent conflicts with recharge goals.

#### **B.**

##### **Mitigation Measure: Water Quality (Condition III.E)**

**Monitoring Program:** To prevent project drainage discharges from carrying silt, grease, and other contaminants, the applicant shall install silt and grease traps according to the approved plans. The traps shall be maintained by the owners according to the following monitoring and maintenance schedule:

### **PAGE 34**

#### **I.**

The traps shall be inspected to determine if they need cleaning **or** repair prior to October 15 each year, at a minimum interval of once per year;

#### **2.**

A brief annual report shall be prepared by the trap inspector at **the** conclusion of each October inspection and submitted to the Drainage Section of the Department of Public Works within 5 days of inspection. This monitoring report shall specify any repairs that have been done or that are needed to allow the trap to function **ade**quately.

**C.**

Mitigation Measure: Traffic Safety (Conditions II.B.1, IV.A & **IV.C**)

Monitoring Program:

To prevent traffic from creating and/or exacerbating traffic hazards to vehicles and pedestrians:

**1.**

The school administrators shall submit a transportation management plan, which will effectively limit the total number of vehicles going in and out during the morning and afternoon peak periods to the baseline amount, 45 - 60 cars representing a total of 90 - 120 trips during the peak times *as herein specified*. This management may be accomplished by carpooling, staggering class and assembly times, vanpooling, busing, multi modal transport, managing enrollment, etc. The plan shall include monitoring that incorporates periodic unannounced traffic counts by the project traffic engineer to verify that the goal is being met *as herein specified*.

**2.**

In addition to implementing the proposed widening of Enos Lane, the applicant shall submit for review and approval a road plan prepared by the project traffic engineer that shows the following: installation of speed bumps that are designed and spaced to limit traffic to 15 MPH, a stop sign and warning sign at the curve at ~~station~~ 18+00 ~~as~~ recommended in the letter of Higgins Associates, December 15, 2005, and *if applicable*, a defined walking path on the east side of Enos Lane between Harnes and station 17+75 (Ifland Engineers, sheets C2 and C4). *If applicable*, the walking ~~path~~ shall be three feet wide, separated from the roadway by a solid white line and surfaced with decomposed granite or other aggregate material. ~~The road plan shall be implemented prior to final approval of any of the other physical improvements and prior to any increase in enrollment.~~

**D.**

Mitigation Measure: Air Quality (Condition II.B.2.a)

Monitoring Program:

In order to ensure that the one hour air quality threshold for the pollutant acrolein is not exceeded during grading and paving, prior to the issuance of the grading permit, the applicant shall modify the grading plans to include notes incorporating the construction conditions given by the Monterey Bay Air Pollution Control **District** (MBAPCD) as follows:

**1.**

All pre- 1994 diesel equipment shall be retrofitted with EPA ~~certified~~ diesel oxidation catalysts or all such equipment shall be fueled with B99 diesel **fuel**;

**PAGE 35**

Applicant shall retain receipts for purchases of catalysts or b99 diesel fuel until completion of the project;

**3.**

Applicant shall allow MBAPCD to inspect receipts and equipment throughout the project .

**4.**

Alternatively, the applicant may submit a health **risk** assessment **to** the MBAPCD for review and approval. Any recommendations and requirements of the MBAPCD will become conditions of constructing the project.

*VIII*

*Interim Status:*

*The existing Second Amended Compliance Agreement shall be **extended** for the 2007-2008 school year or until this permit is final, whichever last occurs. In the meantime, the school (applicant) reserves its right to withdraw this application **in** which event the prior permits shall continue to be applicable.*

Law Offices of  
**DENNIS J. KEHOE**  
Law Corporation

311 Bonita Drive  
Aptos, California 95003  
(831) 662-8444 FAX (831) 662-0227

March 27, 2007

**HAND-DELIVERED**

SANTA CRUZ COUNTY PLANNING COMMISSION  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060

**Re: Application No. 04-0384; Salesian Sisters,  
Daughters of Mary, Help of Christians  
Planning Commission Hearing, March 28, 2006, Item 10**

Dear Planning Commissioners:

The undersigned represents the Salesian Sisters, Daughters of Mary, Help of Christians. Please include this letter including the attachments as part of your proceeding and in the Administrative Record for this matter. Although more data is provided further below, there are some summary, foundational facts and applicable law including the following:

**I.**  
**BRIEF SUMMARY**

**A. RLUIPA:**

All components and aspects of the existing and proposed land **use** are essential parts of a “religious assembly or institute,” the Daughters of Mary, Help of Christians (referenced **as** Salesians in this letter). This Catholic elementary school (K-8) is an integral **and** essentially part of the Salesians “religious assembly and institute,” especially since the Salesians stated purpose **is** to educate through “reason, religion, and loving kindness.” Thus, the federal Religious Land Use and Institutionalized Persons Act (RLUIPA) protects this Salesian elementary school

including that which is proposed by this application. Please keep in mind a K-8 Catholic elementary school was approved back in the 1970s and has existed at this location since that time to present. Moreover, **no** new buildings are being proposed. Additionally, the Salesians and parents have been well within the carpool restrictions set forth the Compliance Agreement with the County. This fact has been verified by an independent traffic engineering firm (Higgins Traffic Engineers) and by the schools' counts. (Staff report, Ex. G, "Carpool Monitoring Results.")

**B. TAXPAYERS' SAVINGS:**

Pajaro Valley Unified School District supported the Salesians earlier application.

**"To Whom It May Concern:**

As Superintendent of the Pajaro Valley Unified School District I have been asked to write a letter as to the need for a new parochial school program such as the Salesian Sisters have proposed.

Even though our school system is trying harder than ever to meet the needs of our Community, there are a large number of parents who are seeking either private or parochial schooling for their students. Based upon the limited number of such schools in our Community, I feel a definite need does exist for a school such as the one proposed by the Salesian Sisters.

Cordially,  
Wallace A. Raynor  
Superintendent"

Additionally, by providing private Catholic elementary education, the Salesians and the parents are saving the California taxpayers millions of dollars but at the very substantial financial burden of the parents and the Salesians. For example, the State of California and Pajaro Valley Unified School District state that each student in the public school elementary system costs the taxpayers \$7,800 per year, **excluding** "food services, facilities, acquisition and construction, and certain other expenditures..." (See attachment, Ex. 1 from Pajaro Valley Unified School District, 2004-05 school year.) Thus, the taxpayers' savings are at least \$1,560,000 per school year and \$12,480,000 over an eight (8) year period. (200 Salesian students x \$7,800 x 8)

**C. ENOS LANE IS A NOT A RELEVANT ISSUE:**

Enos Lane is not a relevant issue. Those who assert (incorrectly) to the contrary do *so* either out of ignorance or for irrelevant motives. (Enos Lane is **also**

known as Rider Road.) For example, the Santa Cruz County Board of Supervisors approved and confirmed Rider Road as a 40-foot right-of-way in 1883 and it has been openly used since that time. (Staff Ex. H) Second, the County has approved use permits, lot splits, and parcel maps, all using and describing Rider Road. Third, all recorded parcel maps approved by the County describe and depict Rider Road (aka Enos Lane). Fourth, all known deeds to properties along Rider Road make specific reference to "Rider Road." (e.g. deeds to Sternad, Head, MacCoambridge, Mattos/Wilson) Fifth, for the most part, Enos Lane already is 18-feet wide and its use has been open and continuous for decades, long beyond the five (5) year prescriptive period. Sixth, its use is by many, even aside from the Salesian elementary school. Seventh, Salesians' deed makes specific reference to Rider Road "40" foot right-of-way which go to "Hames Road." (See also attached Ex. 2, August 1, 2006, letter of Tom Burns, Planning Director; Ex. 3, July 29, 2005, letter of Dennis J. Kehoe; Ex. 4, March 27, 2007, letter of Dennis J. Kehoe to Robert Bosso) Additionally, many false issues have been raised. (March 16, 2006, letter of Dennis J. Kehoe to Paia Levine, County Planning, Ex. 11)

**D. STAFF'S PROPOSED CONDITIONS ARE SIGNIFICANTLY OPPRESSIVE, UNREASONABLE, REDUNDANT, AND UNCERTAIN:**

Staff recommends approval of this application but, effectively, kills the project and potentially closes the school by highly oppressive, unreasonable, and confusing proposed "Conditions of Approval." (Staff report, Ex. C.) Staff proposed conditions contains 14 pages including I through VIII major paragraphs with 90 sub through sub-sub paragraphs of confusing, unreasonable, oppressive verbiage which very effectively drains out any viability of this application to reasonably go forward.

Staff's proposed condition should be deleted in total or significantly deleted in total. Just last month staff (Mr. Adams and Mr. Deming) met with Salesians representatives and presented for the first time staff's then proposed recommendations, all contained on a staff prepared 2 page document. After reviewing the Salesians have revised that 2 page document (Staff report, Ex. I, pgs. 263-266)

Moreover, should something need to be done to the existing Enos Lane, it needs to be done by all those on Enos Lane and the feeder streets, even aside from this application, and not the Salesians.

**II.**  
**BACKGROUND**

The following is a more detailed statement of some pertinent facts and law.

**A. Enos Lane:**

The Salesian Sisters have been in their existing location since the 1970s. Even prior to their purchase of the property, Enos Lane, formerly known as Rider Road, was the historic access to a number of properties including the Salesian Sisters' property. Moreover, the Grant Deed to the Sisters specifically includes an appurtenant "right-of-way 40-feet wide" over Enos Lane from their property "southerly to Hames Road, a County Road." Please refer to the recorded Salesian Grant Deed, a copy of which was provided to you with the application submitted on August 11, 2004.

Additionally, the County of Santa Cruz previously issued various permits including, but not necessarily limited to, 75-600-U; 77-557-U; 78-323-U; 78-1539-U; and 88-1105. The County permits, either specifically or generally, required the Salesian Sisters to use Enos Lane as the same exists from the Salesian Sisters property to Hames Road. Further, the use of Enos Lane from the Salesian Sisters property to Hames Road has always been open, well-traveled, and continuous since long before the Salesians' Grant Deed in 1975. Any questions concerning Enos Lane by any objectors to this application are misguided. Please also refer to the Title Report of Stewart Title Company dated October 28, 2004 and submitted on January 20, 2005, to Mr. Burns and also my letter dated July 29, 2005, to Mr. Burns. (Both are in the Administrative Record but omitted from your over 200 page staff report.) Furthermore, various building permits, septic system permits, and other County permits have been issued to the Salesian Sisters all either explicitly or implicitly contemplating the use of Enos Lane from the Sisters' property to Hames Road.

Additionally, the County has approved other permits all involving the usage of Enos Lane to Hames Road. Further, under the California Recording Act, this right-of-way is binding on lands whose deeds that make reference to the 40-foot right-of-way which most if not all do. Also, Enos Lane has been used, repaired, and improved for more than 25-years.

In addition, there are numerous County approved parcel maps and/or survey maps of Enos Lane (Rider Road) of record and in the County Public Works Department (e.g. 14 Maps Book 45; 22 Maps Book 57; 29 Maps Book 17; 62 Map 13; Public Work file A2-66). Enos Lane (Rider Road) right-of-way has existed for approximately 100-years. (See also my July 29, 2005, letter to Tom Burns, Planning Director, attached Ex. 3.) Your staff report suggests re-surveying of Enos Lane. Staffs suggestion is not only unreasonable and cost prohibitive but also unnecessary because the County has already approved and recorded surveys describing most of the pertinent parts of Enos Lane. You are referred to the County approved recorded parcel maps above referenced. The cost to survey the

entirety of Enos Lane is prohibitive and staffs suggestion unnecessary, oppressive, and unreasonable, in any event.

**B. No Waiver Of Rights BY Salesian Sisters:**

In late 2003, the County received seven (7) complaints of alleged County Code violations. (Staff report, Ex.E) After investigations, none were applicable except two (2) alleged violations; (1) parked cars on the Salesian loop road around the buildings, which parking was promptly eliminated, and (2) over 125 students. (Staff, Ex. E, pgs. 141-147) Subsequently, the Compliance Agreement(s) were entered into by the County and the Salesian Sisters and this application then lodged with the County on August 11, 2004. Although the Salesian Sisters submitted this application, they specifically have **not** waived any of their rights in doing so. (See attached Ex. 5, Second Amended Compliance Agreement)

**C. Burdensome Application Process:**

After the County and Salesians entered into the initial Compliance Agreement, on August 11, 2004, the Salesian Sisters submitted this application to the County of Santa Cruz Planning Department. The application is dated by the County August 11, 2004. Extensive material required by the County was submitted at that time. Nevertheless, a letter dated September 9, 2004, of "incompleteness" was transmitted by the staff planner demanding yet more information and requiring a response by December 9, 2004. In response, a correspondence dated December 9, 2004, together with extensive documentation was delivered on behalf of the Sisters to the County with supporting data. Yet, once again, a January 6, 2005, letter was transmitted by the project planner purporting that the application was still "incomplete" and demanding yet more information. The January 6, 2005, staff planner demand was appealed to the Planning Director. (Attached, Ex. 6, Appeal) The appeal was upheld on April 5, 2005, and the application was finally deemed completed (attached April 5, 2005 letter of Mark Deming, Ex. 7). The processing of the application finally started. Nevertheless, staff demanded more information. Eventually, this matter was scheduled for hearing on March 28, 2007.

(As a result of the above and due to the potential of, among other items, an appeal to the Board of Supervisors, the existing Second Amended Compliance Agreement should be extended for the 2007-08 school year or until this permit process is final, whichever last occurs. In the meantime, the Salesians reserve & the right to withdraw this application in which event the prior County permits shall continue to be applicable.)

**D. This Salesian Sisters Catholic Institution With Its Multiple Facets Is Protected By Our Constitutions And The Religious Land Use Law:**

The Salesian Sisters have always used and are now using their property for religious assembly and as a religious institution. This includes, but is not limited to, praise and worship of God, Godly student elementary school education, and other religious activities. Also, the Salesian Sisters stated purpose is to educate through “reason, religion, and loving kindness” thereby strengthening family bonds and civic responsibility. They encourage ethnic diversity with about a quarter of their school students being Hispanic. The Sisters also come from diverse ethnic cultures. Further, the Salesians provide affordable religious education to children including those of working parents and children of single-working mothers by offering their contributed services and helping families in financial crisis when necessary.

All of the above are protected by the state and federal constitutions and other laws including, but not limited to, the Religious Land Use and Institutionalized Persons Act (RLUIPA) and the federal Civil Rights Act 42 U.S.C. §§2000cc et seq.; 42 U.S.C §§1983 et seq. Even aside from the legally protected historic use by the Salesian Sisters of their property, the County is prohibited by RLUIPA from imposing **substantial burdens** on these religious assemblies and activities unless it is doing so in furtherance of a **compelling** government interest **and** the County is using the **least restrictive** means of furthering that **compelling** interest.

(1) **“Land Use Regulation”**:

The County’s land use permit processes and planning staffs list of proposed conditions and “required” improvements are “land use regulations” under RLUIPA. By its terms, RLUIPA applies to government imposition or implementation of a land use regulation. Under RLUIPA’s definition of “land use regulation,” a government agency implements a “land use regulation” when it acts pursuant to a “zoning or landmarking law” that attempts to limit the manner in which an applicant such as Salesians may use property in which it has an interest 42 U.S.C. §2000ccc-5(5).

Moreover, RLUIPA protection extends to the Salesians lands, including its appurtenances and right-of way. Jurisdiction applies under RLUIPA since “substantial burden is imposed in the implementation of a land use regulation or system of land use regulations, under which a government makes, or has in place formal or informal procedures or practices that permit the government to make, individualized assessments of the proposed uses for property involved.” See 42 U.S.C §2000ccc(2)(C)

(2) **Santa Cruz County’s Exercise Of Land Use Regulation Regarding The Salesian Property On Enos Land Affects A “Religious Institution”**:

RLUIPA expressly prohibits the placement of unreasonable limitations and/or burdens on “a religious assembly or institution.” This Catholic school is a “religious institution” under RLUIPA. For example, the courts have ruled that where the very existence of the school is premised on a religious mission such as Salesians, there **is** a religious institution. Curay-Cramer v. Ursuline Academy (2004) 355 F. Supp. 2d, **933**, 926, n3, affirmed, 450 F.3d 130 (wherein that the Court ruled that Curay-Cramer’s argument that the Catholic school was not a religious institution **is** “patently absurd” and “illogical.”) Further, denial by a Zoning Board of a religious school’s application which interferes with the school’s ability to provide an adequate elementary school education will be overturned by a court pursuant to RLUIPA.

### **(3) Substantial Burden:**

Staff’s proposed “conditions” and almost all of staff’s proposed required “improvements” are not only arbitrary and unreasonable but they are oppressive to a significantly great extent and thereby violate, among other laws, RLUIPA. (Staff report, Ex. C) The County, including the Commission, is referred to the testimony and documentation provided to you on behalf of the Salesian Sisters.

Additionally, although not all inclusive, the following is highlighted. The “conditions” and “requirements” are open-end and financially and practically impossible. The cost burden to the Salesians, even if the conditions were possible, exceeds \$500,000. Additionally, such costs should not be imposed on Salesians since, aside from the school, many of the staffs proposed conditions benefit many Enos Lane owners. Furthermore, the Commission is referred to Salesian letter dated March 27, 2007, to the Commission which is incorporated herein by this reference. As Just one example, staff **wants** a new septic. Yet, the current system will adequately serve 250 students. (Attached Peter Haase letter of Fall Creek Engineering, Inc.)

Moreover, the staff proposed “Conditions” of approval and other conditions are arbitrary, oppressive, unreasonable, and unenforceable. Among other items, there is no reasonable connection (nexus) between each such proposed condition and the existing uses including the student population of over 200 students. Additionally, there is no proportionability between the existing and proposed 250 students and those onerous conditions.

### **(4) Limited Funds:**

Additionally, the following **are** some financial facts about Salesian Sisters K-8 school. Salesian Sisters is a private Catholic school and receives no funding from the Monterey Diocese, any parish in Santa Cruz County and/or the

public school system. The Salesian Sisters of the Western Province is the owner of the school. The Western Province consists of 12 school and youth centers in four states all of which work on a self-sustaining model. Overall, their religious facilities serve people, many of whom are from low and moderate income levels. The tuition for this 2006-07 Salesian school year is only \$4,950 for the 1<sup>st</sup> child and significantly lower for subsequent siblings. An effort is made to keep tuition low as to serve more of the general population. Based on this Catholic School and the parents whose children attend, this saves the California taxpayers over \$1,560,000 per year and over \$12,440,000 for eight (8) years plus many millions in the future.

Additionally, most of the teachers at Salesians are credentialed, but work for considerably less than the prevailing wage of public school teachers. The difference is their personal contribution to Catholic education. Nevertheless the tuition only covers 85% of the cost of this Salesian education. The rest is made up through fund-raising by parents. (Auctions, candy sales, golf tournaments, book fairs, raffles, etc.) The large majority of the children come from families where both parents work full-time jobs. Also, the Salesians serves students with identified learning and emotional disabilities.

In addition, this Salesian School owes the Sisters Province over \$300,000 for costs that have resulted from this land use process with the County. The source of this loan (which must be repaid) came for the 11 self-supported schools and youth centers whose limited funds can no longer be depleted. These costs include County fees, significant payments charged by the County for staff time, engineering reports and consultants costs, and lawyers fees, etc.

**(5) Religious School's i Is Imperiled**

A denial of Salesian's application or an approval but imposing the onerous "Conditions of Approval" suggested by staff (Staff, Ex.C) will significantly interfere with Salesians religious exercise and greatly hinder the schools ability to provide a Catholic elementary education; retain and attract students; hire faculty; and imperil its continued existence.

**E. The County Has Approved A Number Of Applications Without Requiring Such Onerous "Conditions":**

**(1) (Other Applications):**

The County have approved a number of discretionary applications along or near (other applications) Enos Lane without requiring improvements such as now proposed to be levied against Salesians. Just a few of those County approvals are recorded Parcel Maps above referenced.

**(2) (Salesians):**

Earlier the County stated to the Salesians that once Enos Lane is improved **"16-feet"** in width (which it has been done), the student enrollment may be increased to **250** students. (County, May 1, 1979, Negative Declaration, attached **Ex. 10**)

**F. The County Is Prevented From Denying 250 Students In This Religious Based:**

By way of background, the County has issued a number of permits to the Salesian Sisters on the subject property. Although not all inclusive, these include permit 75-600-U for a novitiate including a **main** building with a chapel, staff quarters, and dining room and to operate a summer camp; permit **77-557-U** to construct a detached accessory storage building; permit **78-323-U** for an elementary school including grades K, 1, 5, 6, 7, and **8** for 90 students and permit 78-1539-U for an elementary school of K through 8. In addition, application 78-1539-U for **250** students was supported by the Pajaro Valley Unified School District due a need for a parochial school .

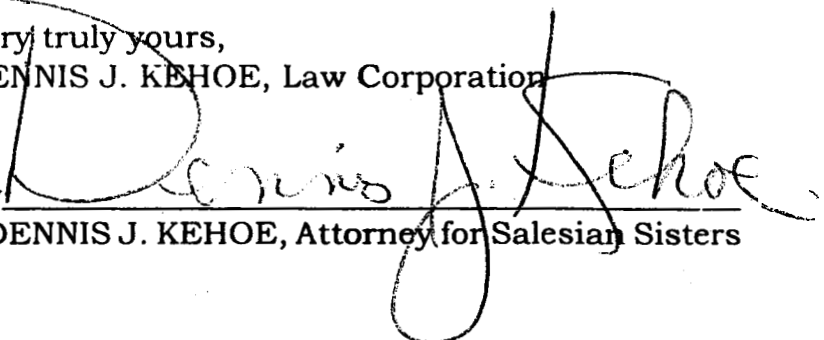
The Environmental Review Committee reviewed this proposal for 250 students and granted a Negative Declaration with a condition that stating, in part, that the school operation should be limited to 125 students but, only until Enos Lane was improved to a **"16-foot width."**, in which event the total number of students may be increased to "250" students. Thereafter, permit **78-1539-U** was issued. Subsequently, the roadway was improved in 1988 to at least a "16-foot width". Half of these improvement costs to Enos Lane were paid for by the Salesian Sisters and the other half was paid by other owners using Enos Lane south of the Salesians.

Again, in 1989, the County issued permit **88-1105** consisting of an addition to the existing novitiate and a central common area. In issuing all these permits and after County inspections of existing facilities and land uses, there were **no** red-tags, citations, and/or non-compliances issued by the County to the Salesian Sisters until just the recent red tags in January **2003**. In summary, the County is prevented (through legal doctrines including estoppel and laches) from denying an elementary student population of 250 students within the existing facilities.

Moreover, there has been compliance with the carpooling required by the Compliance Agreement. According to County data, the average carpool for other private schools is 2.5 students per car. At Salesians, this average is 4.4 students per car. **Both** Salesians carpool vehicle counts and independent counts *done* by a traffic engineer at the County's request confirm that the carpool

vehicles are well within the limits as specified in the Compliance Agreements. This has greatly restricted traffic on Enos Lane. Staff's suggestion of "van/buses" is not only unnecessary and unreasonable but it also **is** cost prohibitive for the Salesians. (See Bus cost attachment, Ex. 8)

Very truly yours,  
DENNIS J. KEHOE, Law Corporation

By   
DENNIS J. KEHOE, Attorney for Salesian Sisters

D.Kjlc

Enclosures: See Attached List

- c: Salesian Sisters  
Board of Supervisors, County of Santa Cruz, (Hand-Delivered)  
County Supervisor, Ellen Pirie, (Hand-Delivered)  
County Counsel of Santa Cruz, (Hand-Delivered)  
Planning Department, County of Santa Cruz,  
Attn: Tom Burns, Planning Director, (Hand-Delivered)  
Planning Department, County of Santa Cruz,  
Attn: Randall Adams, Staff Planner, (Hand-Delivered)

List of Attached Enclosures  
to Letter dated March 27, 2007 to  
Santa Cruz County Planning Commission:

1. Exhibit 1: Pajaro Valley Unified School Expense of Education;
2. Exhibit 2: August 1, 2006, letter of Tom Burns, Planning Director;
3. ~~Exhibit 3~~: July 29, 2005, letter of Dennis J. Kehoe;
4. ~~Exhibit 4~~: March 27, 2007, letter of Dennis J. Kehoe to Robert Boss~;
5. Exhibit 5: Second Amended Compliance Agreement;
6. Exhibit 6: Appeal of Salesians;
7. Exhibit 7: Appeal upheld, April 5, 2005 letter of Mark Deming;
8. Exhibit 8: Bus costs;
9. Exhibit 9: Fall Creek Engineering, Inc., Peter Haase;
10. Exhibit 10: Negative Declaration
11. Exhibit 11: March 16, 2006, letter of Dennis J. Kehoe to Paia Levine, County Planning.

**EXHIBIT 1:**  
**Letter dated March 27, 2007, of Dennis J. Kehoe to**  
**Santa Cruz County Planning Commission**

**CURRENT EXPENSE OF EDUCATION PER ADA**

(Per Education Code Section 41372)

Pajaro Valley Unified School, 2004-05

By law, the "current expense of education" must be calculated annually for every district. It is a measure of the cost of direct educational services to students. This figure is then matched with average daily attendance (ADA) for the district to arrive at an expenditure per pupil figure. Since the current expense figure excludes food services, facilities acquisition and construction, and certain other expenditures, the current expense per ADA amount is lower than the total expenditure per ADA shown in the table above.

Pajaro Valley Unified School District			Statewide Avg All Unified School Districts	Statewide Avg All Districts
Total Dollars	Average Daily Attendance	\$ / Student (ADA)	\$ / Student (ADA)	\$ / Student (ADA)
\$143,099,590	18,342	\$7,801	\$7,172	\$7,127

[Pop-trends](#)

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**EXHIBIT 2:**  
**Letter dated March 27, 2007, of Dennis J. Kehoe to**  
**Santa Cruz County Planning Commission**



# COUNTY OF SANTA CRUZ

## PLANNING DEPARTMENT

701 OCEAN STREET - 4<sup>TH</sup> FLOOR, SANTA CRUZ, CA 95060  
(831)454-2580 FAX: (831)454-2131 TDD: (831)454-2123

TOM BURNS, PLANNING DIRECTOR

August 1, 2006

Richard H. Allen  
18 Alexander Street, P.O. Box 309  
Watsonville, Ca 95077

Subject: Application# 04-0384; Assessor's Parcel #: 107-571-01  
Owner: Daughters of Mary Help of Christians

Dear Mr. Allen:

This letter is in response to your continued inquiry regarding the **access** to the Salesian Sisters property via Enos Lane in Corralitos.

As discussed in my earlier letter, dated September 21, 2005, the Salesian Sisters have applied for an amendment to their existing Use Permits (75-600-U, 77-557-U, 78-323-U and 78-1539-U). All of the prior applications were approved based on access via Enos Lane. The applicants have submitted a title report with the current application which describes a 40 foot right of way to access their property along Enos Lane. This is considered as satisfactory evidence of a right to access a property for all development applications. However, due to your clients earlier concerns, Planning Department staff performed additional research and identified the 40 foot wide right of way (along what is now considered Enos Lane) in an 1883 Viewer's Report which was approved by the Board of Supervisors to establish this private road. Typically, the approval of such a report is the final action in establishing a roadway.

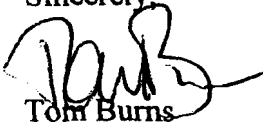
The roadway described above (and mentioned in deeds as either Rider Road or Enos Lane) has been used for many decades to access properties on upper Enos Lane and Corralitos Ridge Road (including the Salesian Sisters property). The road may have been altered or realigned as necessary, during the years of use for this purpose, and the current location of the roadway is what appears to be described in the Salesian Sisters deed. Furthermore, it does not appear that the 1963 realignment that you have mentioned is related to your clients property. It is our understanding that the 1963 adjustment was to relocate a portion of the right of way which separated APN 107-571-03 & 04 to the edge of APN 107-571-03 near the Salesian Sisters property. The roadway currently used to access the upper section of Enos Lane and the Salesian Sisters school follows the realigned right of way in this area.

As mentioned in my earlier letter, I am not able to comment regarding the absence of the right of on your clients' property deeds. Perhaps information regarding the right of way was not properly described in the property deeds and was, therefore, not described in the title reports. Regardless, it would be inappropriate to require additional information from the applicants at this time, as they have provided satisfactory evidence of a right to use Enos Lane for access and prior

development permits have been issued based on access from Enos Lane.

Again, I hope that I have adequately addressed your inquiry regarding this matter. Further discussion of this matter may best be handled through discussions between the property owners involved.

Sincerely,

A handwritten signature in black ink, appearing to read 'Tom Burns', written over the printed name.

Tom Burns  
Planning Director

cc: ✓ Salesian Sisters  
605 Enos Lane  
Wastonville, Ca 95076

**EXHIBIT 3:**  
**Letter dated March 27, 2007, of Dennis J. Kehoe to**  
**Santa Cruz County Planning Commission**

Law Offices of  
**DENNIS J. KEHOE**  
Law Corporation

311 Bonita Drive  
Aptos, California 95003  
(831) 662-8444 FAX (831) 662-0227

July 29, 2005

COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT  
ATTENTION: TOM BURNS, Planning Director  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060  
**FAX:** 454-2131

**Re: Salesian Sisters Application No. 04-0384, Enos Lane / Rider Road**

Dear Mr. Burns:

It was recently brought to my attention that Richard Allen corresponded with you in a letter dated April 4, 2005, a copy of which is enclosed. His correspondence has numerous factual and legal errors. Although not all inclusive, the following are highlighted.

Initially, Mr. Allen is incorrect as to his understanding of the Sisters' application and Enos Lane, formerly known as Rider Road. For example, this application does **not** include a pedestrian walkway. Further, there is a deep concrete ditch between the homes of Mr. Allen's respective clients and Enos Lane. The concrete ditch terminates in the County road right-of-way at Hames Road. As far as can be determined, the concrete ditch **was** constructed by U.S. government workers in the 1930s. The existing improvements on Enos Lane parallel this long established concrete ditch but are on **the opposite** side from the homes of the clients of Mr. Allen. Enclosed are two (2) color copies of the concrete ditch. Additionally, according to Glen Ifland of Ifland Engineers, Inc., none of the trees and/or signs (to the extent that they even exist) between the concrete ditch and the existing improvements on Enos Lane will be removed. In the area between the concrete ditch and the existing pavement, **any** added asphalt on that side of Enos Lane would be only about two (2) feet in width for a distance of approximately 40 feet from the entrance of Hames Road.

Second, concerning the earlier permit no. 78-323, if anything the same

COUNTY OF SANTA CRUZ PLANNING DEPARTMENT  
ATTENTION: **TOM BURNS**, Planning Director

July 29, 2005

Page Two

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confirms a 40-foot right-of-way. Mr. Allen's misdirected attempt asserting that asphalt of "16' feet width in some manner adversely impacts the 40-foot right-of-way is disingenuous. **All** of the recorded deeds of **his** clients make specific references to "Rider Road." For example, the deed to Strnad refers to and acknowledges the existence of "Rider Road." (Righetti to Strnad, 2749 Official Records [OR] of the Santa Cruz County Recorder's Office commencing at 254.) The Macambridge deed also acknowledges and refers to "Rider Road." (5882 OR 125, 1997-0033979) Moreover, the deed to Head acknowledges and makes references to "Rider Road." (1654 OR 164) Additionally, Enos Lane (Rider Road) has historically been used including that portion which parallels the concrete lined ditch installed in the 1930s. Further, there are numerous recorded survey maps that indicate Rider Road (Enos Lane) is a forty (40) foot right-of-way including, but not limited to, the recorded survey map showing the 40-foot Rider Road right-of-way over the Head and the Cutler properties. (Cutler property was eventually conveyed to Macambridge, 1789 OR 601, 2867 OR 318.) See Parcel Map recorded in 17 PM 26.

Third, years ago the Sisters received a grant deed with legal warranties of an appurtenant 40-foot easement over "Rider Road." (2554 OR 398) Additionally, a Condition of Title Report was submitted to the Planning Department just this year and is part of the application process. The **same** is dated October 28, 2004. Please refer to parcels 3 and 4 making reference to "Rider Road"; a forty (40 foot) right-of-way.

Fourth, the Strnad, Macambridge, and Head deeds all specifically make reference to "Rider Road." Rider Road has been in existence for a number of years. There is only a strip of land between the edge of the 1930s concrete ditch and the existing road. The homes of Strnad, Head, and Macambridge are separated from Enos Lane by the concrete ditch. Their objections have no merit.

Fifth, Rider Road (Enos Lane) existed long before Stmad, Macambridge, and Head purchased their properties. The road has always been obvious. There is an obvious barrier (concreteditch) between their homes and Rider Road. Bluntly, the objection of those individuals is a "red herring"; supported by no facts and no law. Even Mr. Allen admits that the Board of Supervisors formally approved Rider Road as a right-of-way in the late 1800s. Since that time, it has

COUNTY OF SANTA CRUZ PLANNING DEPARTMENT  
ATTENTION: TOM BURNS, Planning Director  
July 29, 2005  
Page Three

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been used as a road, openly, notoriously, obviously, and continuously, **all** of which was observerable by Strnads, Macambridge, and Heads prior to the purchase of their respective properties. Even the County Assessor's records specifies that Rider Road is a 40-foot right-of-way.

Should you have any questions concerning the foregoing, please contact the undersigned.

Very truly yours,  
**DENNIS JKEHOE**  
DENNIS J. KEHOE

DJK:jlc  
Enclosures

1. Two (2) color copy photos
2. Strnad deed (2749 OR 254)
3. Head deed (1654 OR 164)
4. Macambridge deed (5882 OR 25, 1987-0033979,  
1789 OR 601, 2867 OR 318)
5. Parcel Map, 17 PM 26
6. April 4, 2005, letter of Mr. Allen

c: Mark Deming, Assistant Planning Director, w/enclosures  
Glen Ifland, Ifland Engineers, Inc., w/enclosures



RECORDED AT THE REQUEST OF

BOOK 2749 PAGE 254

UNIONVILLE LAND TITLE CO

20169

OFFICIAL RECORDS  
SANTA CRUZ COUNTY  
RICHARD C. NEAL  
RECORDER

APR 21 3 48 PM '77  
RECORDED AT REQUEST OF

GUARANTEE LAND TITLE COMPANY  
WHEN RECORDED RETURN TO  
MR. AND MRS. LESLIE J. STERNAD  
354 HAMES ROAD  
CORRALITOS, CA 95076  
MAIL FUTURE TAX STATEMENTS TO  
SAME AS ABOVE

**Grant Beerd**  
(JOINT TENANCY)

RECORDERS USE ONLY  
DOCUMENTARY TRANSFER TAX \$ 77.00

- ☒ Computed on full value of the property conveyed, or  
☐ Computed on full value, less liens and encumbrances  
remaining thereon at the time of the sale, or  
☐ Computed on a consideration less than \$100.00  
GUARANTEE LAND TITLE COMPANY

Order No.  
Escrow No. 15446

Signature of document or agent determining tax - Firm name

THIS FORM PROVIDED BY GUARANTEE LAND TITLE COMPANY

FOR A VALUABLE CONSIDERATION,

DONALD J. RIGHETTI and PATRICIA A. RIGHETTI, his wife,

GRANT(S) TO

LESLIE J. STERNAD and SUSAN R. STERNAD, husband and wife,

AS JOINT TENANTS,  
that real property in the

County of Santa Cruz

State of California, described as:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF..

521-77-4324-000782

6

\*\*0.077.00

DATED: April 18, 1977

STATE OF CALIFORNIA  
COUNTY OF Santa Cruz

On April 20, 1977

before me, the  
undersigned, a Notary Public in and for said state, having my  
principal place of business in said county, personally appeared  
PATRICIA A. RIGHETTI

known to me to be the person(s) whose name(s) is  
subscribed to the within instrument and acknowledged to me  
that SHE executed the same.

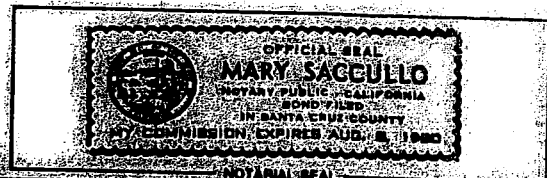
Notary Public in and for said County and State

MARY SACCULLO

- 53 -

Printed or typed name of Notary Public

Donald J. Righetti, his wife and  
DONALD J. RIGHETTI by  
Patricia A. Righetti  
PATRICIA A. RIGHETTI



STATE OF CALIFORNIA

COUNTY OF Santa Cruz

} ss:

BOOK **2749** PAGE **255**

On April 21, 1977

, before me, the undersigned, a Notary Public in and for the State of California,

having my principal place of business in said County, personally appeared LUCILE ALDRICH

known to me to be the person whose name is subscribed to the within instrument as the ATTORNEY-IN-FACT of DONALD J. RIGHETTI

and acknowledged to me that She subscribed the name of DONALD J. RIGHETTI

thereto and HER own name as ATTORNEY-IN-FACT



Notarial Seal

Inter-Related Services — No. 72

Mary Saccullo  
NOTARY PUBLIC in and for said County and State

MARY SACCULLO  
Printed or typed name of Notary Public

DESCRIPTION

All that certain real property situate in the County of Santa Cruz, State of California, described as follows:

PARCEL ONE

Being a part of the Rancho Corralitos, and

beginning on the East side of the Rider Road, so called, and at a station from which the Northwest corner of lands conveyed by Nora and R. B. Moffitt to Edward L. Kell, et ux, by Deed dated December 16, 1930 and recorded in Volume 193 of Official Records at Page 46, Santa Cruz County, bears North 7° 30' East 191.40 feet distant; and thence thence to said point of beginning along the East side of said Rider Road, thence N 81° East 135.20 feet and South 14° 0' East 264 feet to the middle of the said Rider Road, so called, thence along the center line of said last named road, North 81° 0' East 135.20 feet and South 71° 30' East 44.50 feet; thence leaving road North 12° 30' East 251.00 feet; thence North 39° 18' East 187.70 feet and North 72° 3' East 41.35 feet to the place of beginning, and

thence therefrom the lands described in the Deed to the County of Santa Cruz recorded June 2, 1951 in Book 1967 Page 721 Official Records.

PARCEL TWO

An undivided 1/2 interest in and to the Northeasterly 15 by 20 feet of the following described parcel of land:

beginning at a station from which the Southwest corner of Parcel 2 in the Deed to Joseph Rodriguez, recorded November 30, 1934 in Volume 278, Page 255 Official Records of Santa Cruz County, bears North 58° 4' East 34.15 feet distant; thence from said point of beginning North 50° 0' West 10 feet; thence South 40° 0' West 30 feet; thence South 30° 0' East 20 feet; thence North 40° 0' East 30 feet to the point of beginning.

together with the pipe line Right of Way as set out in said Deed to Rodriguez.

thence therefrom the right to take water as contained in the Deed to Jake Head et ux, recorded August 29, 1967 in Volume 1836 Page 527 of Official Records of Santa Cruz County.

107-311-04

Recorded at the request of

Return to

Jake Head  
Julius J. Widell

P. O. Box 786

Watsonville, California

93153\_v

ma/rj

SANTA CRUZ LAND TITLE CO.

JUL 27 2 39 PM '64

RECORDED AT REC. ST OF

BOOK 1654 PAGE 154

33173

For value received JULIUS J. WIDELL, a single man

GRANT S to JAKE HEAD and MARILYN HEAD, his wife

as JOINTTENANTS all that real property situate in the

county of santa cruz, State of California, described as follows:

BEING a part of the lands conveyed to Julius J. Widell, by deed recorded in Volume 1154, page 184 Official Records Santa Cruz County and more particularly described as follows:

BEGINNING at a point on the Westerly line of said lands of Widell from which a 3/4" pipe at the Northwesterly corner thereof bears North 0° 32' West 22 feet and North 9° 14' East 187.46 feet distant, thence from said point of beginning along the Westerly and Northerly line of said lands of Widell the following courses and distances: North 0° 32' West 22 feet to a 3/4" pipe, North 9° 14' East 187.46 feet to a 3/4" pipe, North 73° 30' East 169.72 feet to a 3/4" pipe on the centerline of a road, known as Riders Road, thence along the centerline of said road South 6° 49' East 113.82 feet to a 3/4" pipe and South 3° 49' East 155 feet to a 3/4" pipe, thence leaving said centerline Westerly in a direct line 215 feet more or less to the point of beginning.

Together with and subject to a right of way over Riders Road.

107-161-12

Julius J. Widell

Dated October 15, 1964

STATE OF CALIFORNIA

County of Santa Cruz

On October 23, 1964 before me, the undersigned a Notary

Public in and for said JULIUS J. WIDELL County and State, personally appeared

known to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

My commission expires April 8, 1966



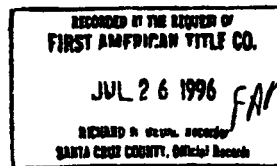
LILA V. VERNON  
NOTARY PUBLIC - CALIFORNIA  
PRINCIPAL OFFICE IN  
SANTA CRUZ - JMTT

Lila V. Vernon  
Notary Public

Order No.  
Folio No. 133413-8  
Loan No.

VOL. 5882 PAGE 125 41566

RE 4-1  
MI 2  
SF 20  
LN 20  
CO 20  
OP 20



MAIL TAX STATEMENTS TO

SPACE ABOVE THIS LINE FOR RECORDERS USE  
DOCUMENTARY TRANSFER TAX \$ 319.00

SAME AS ABOVE

X Computed on the consideration or value of property conveyed, OR  
Computed on the consideration or value less liens or encumbrances  
remaining at time of sale

As declared by the undersigned Grantor  
Signature of Declarant or Agent determining tax - Firm Name

187.341.02

## GRANT DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

DAVID A. HOVEY AND ANITA M. HOVEY AS SUCCESSOR CO-TRUSTEES OF REVOCABLE TRUST AGREEMENT  
DATED OCTOBER 22, 1986

hereby GRANT(S) to

JANE SCHWICKERATH, an unmarried woman and MARTHA MACAMBRIDGE, an unmarried woman as Joint  
Tenants

the real property in the  
County of  
as

Unincorporated Area  
SANTA CRUZ

State of California, described

SEE LEGAL DESCRIPTION ATTACHED HERETO AND MADE A PART HEREOF

Dated July 1, 1996

STATE OF CALIFORNIA )  
COUNTY OF Santa Cruz ) ss

On July 1, 1996

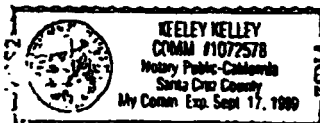
before me, Kesley Kelley, personally  
appeared David A. Hovey, Co-Trustee and  
Anita M. Hovey, Co-Trustee

personally known to me (or proved to me on the basis of  
satisfactory evidence) to be the person(s) whose name(s) were  
subscribed to the within instrument and acknowledged to me that  
he/she/they executed the same in his/her/their authorized  
capacity(ies), and that by his/her/their signature(s) on the  
instrument the person(s) or the entity upon behalf of which the  
person(s) acted, executed the instrument.  
WITNESS my hand and official seal

Signature

David A. Hovey, Co-Trustee

Anita M. Hovey, Co-Trustee



(This area for official notarial seal)

MAIL TAX STATEMENTS AS DIRECTED ABOVE

1002-SM (1/84)

Order No. 133413-6

The land referred to herein is situated in the State of California, County of Santa Cruz, Unincorporated Area and is described as follows:

PARCEL ONE:

A PART OF THE LANDS CONVEYED TO JULIUS J. WIDELL BY DEED RECORDED IN VOLUME 1154, PAGE 184, OFFICIAL RECORDS OF SANTA CRUZ COUNTY AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY LINE OF SAID LANDS OF WIDELL FROM WHICH A 3/4" PIPE AT THE NORTHWESTERLY CORNER THEREOF BEARS NORTH 0° 32' WEST 22 FEET AND NORTH 9° 14' EAST 187.46 FEET DISTANT, THENCE FROM SAID POINT OF BEGINNING ALONG THE WESTERLY AND SOUTHERLY LINE OF SAID LANDS OF WIDELL THE FOLLOWING COURSES AND DISTANCES: SOUTH 0° 32' EAST 30 FEET TO A 3/4" PIPE, SOUTH 14° 33' EAST 150.30 FEET TO A 3/4" PIPE SOUTH 26° 06' EAST 28 FEET TO A 3/4" PIPE, SOUTH 47° 12' EAST 36 FEET TO A 3/4" PIPE, SOUTH 65° 45' EAST 125.22 FEET TO A 3/4" PIPE AT THE MOST SOUTHERLY CORNER OF SAID LANDS OF WIDELL ON THE EASTERLY LINE OF A ROAD, KNOWN AS RIDERS ROAD, THENCE ALONG SAID EASTERLY LINE NORTH 7° 30' EAST 98.44 FEET TO AN AXLE; THENCE LEAVING SAID EASTERLY LINE SOUTH 72° 03' WEST 8 FEET TO A 3/4" PIPE ON THE CENTERLINE OF RIDERS ROAD; THENCE ALONG SAID CENTERLINE NORTH 6° 55' EAST 170 FEET TO A 3/4" PIPE; THENCE LEAVING SAID CENTERLINE WESTERLY IN A DIRECT LINE 215 FEET MORE OR LESS, TO THE POINT OF BEGINNING.

PARCEL TWO:

A RIGHT OF WAY OVER RIDERS ROAD.

A.P. No.: 107-311-02

WHEN RECORDED MAIL TO

MARTHA MACAMBRIDGE  
21 ENOS LANE  
WATSONVILLE, CA 95076

RECORDED AT THE REQUEST OF  
FIRST AMERICAN TITLE INSURANCE COMPANY

Recorded  
Official Records  
County of  
SANTA CRUZ  
RICHARD V. BIDL

08:00AM 29-Jul-1997

REC FEE 10.00  
TAX 36.30  
SURVEY 10.00

LPS  
Page 1 of 2

MAIL TAX STATEMENTS TO:

SAME AS ABOVE

SPACE ABOVE THIS LINE FOR RECORDER'S USE  
DOCUMENTARY TRANSFER TAX \$ 36.30

Calculated on the consideration or value of property conveyed, OR  
Computed on the consideration or value less liens or encumbrances  
remaining at time of sale

As declared by the undersigned Grantor

Signature of Decedent or Agent determining tax - Print Name

107311-02

## GRANT DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

JANE SCHWICKERATH, an unmarried woman and MARTHA MACAMBRIDGE, an unmarried woman as Joint Tenants  
hereby GRANT(S) to

MARTHA MACAMBRIDGE, ~~an unmarried woman~~ a single woman

the real property in the  
County of

Unincorporated Area  
SANTA CRUZ

State of California, described

SEE LEGAL DESCRIPTION ATTACHED HERETO AND MADE A PART HEREOF

Dated July 21, 1997

STATE OF CALIFORNIA  
COUNTY OF Santa Cruz

On July 23, 1997

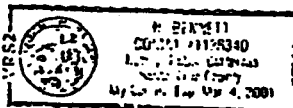
before me, H. Bennett

personally appeared MARTHA MACAMBRIDGE AND JANE

SCHWICKERATH, personally known to me (or proved to me on  
the basis of satisfactory evidence) to be the person(s) whose  
name(s) are subscribed to the within instrument and  
acknowledged to me that he/she/they executed the same in  
his/her/their authorized capacity(ies), and that by his/her/their  
signature(s) on the instrument the person(s) or the entity upon  
behalf of which the person(s) acted, executed the instrument  
WITNESS my hand and official seal

Signature

JANE SCHWICKERATH  
MARTHA MACAMBRIDGE



MAIL TAX STATEMENTS AS DIRECTED ABOVE

1001-SM (1/94)

Order No. 138808-6

The land referred to herein is situated in the State of California, County of Santa Cruz, Unincorporated Area and is described as follows:

PARCEL ONE:

A PART OF THE LANDS CONVEYED TO JULIUS J. WIDELL BY DEED RECORDED IN VOLUME 1154, PAGE 184, OFFICIAL RECORDS OF SANTA CRUZ COUNTY AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY LINE OF SAID LANDS OF WIDELL FROM WHICH A 3/4" PIPE AT THE NORTHWESTERLY CORNER THEREOF BEARS NORTH 0° 32' WEST 22 FEET AND NORTH 9° 14' EAST 187.46 FEET DISTANT, THENCE FROM SAID POINT OF BEGINNING ALONG THE WESTERLY AND SOUTHERLY LINE OF SAID LANDS OF WIDELL THE FOLLOWING COURSES AND DISTANCES: SOUTH 0° 32' EAST 30 FEET TO A 3/4" PIPE, SOUTH 14° 33' EAST 150.30 FEET TO A 3/4" PIPE SOUTH 26° 06' EAST 28 FEET TO A 3/4" PIPE, SOUTH 47° 12' EAST 36 FEET TO A 3/4" PIPE, SOUTH 65° 45' EAST 125.22 FEET TO A 3/4" PIPE AT THE MOST SOUTHERLY CORNER OF SAID LANDS OF WIDELL ON THE EASTERLY LINE OF A ROAD, KNOWN AS RIDERS ROAD, THENCE ALONG SAID EASTERLY LINE NORTH 7° 30' EAST 98.44 FEET TO AN AXLE; THENCE LEAVING SAID EASTERLY LINE SOUTH 72° 03' WEST 8 FEET TO A 3/4" PIPE ON THE CENTERLINE OF RIDERS ROAD; THENCE ALONG SAID CENTERLINE NORTH 6° 55' EAST 170 FEET TO A 3/4" PIPE; THENCE LEAVING SAID CENTERLINE WESTERLY IN A DIRECT LINE 215 FEET MORE OR LESS, TO THE POINT OF BEGINNING.

PARCEL TWO:

A RIGHT OF WAY OVER RIDERS ROAD.

A.P. No. : 207-311-02

RECORDING REQUESTED BY  
TITLE INSURANCE & TRUST CO.

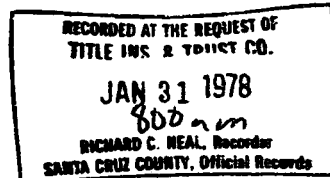
BOOK 2867 PAGE 318

4893

Mr. & Mrs. Douglas P. Tartala  
23 Enos Lane  
Watsonville CA 95076

MAIL TAX STATEMENTS TO

SAME AS ABOVE



SPACE ABOVE THIS LINE FOR RECORDER'S USE

### Individual Grant Deed

THIS FORM FURNISHED BY TICCOR TITLE INSURERS

TD 7023 CA (11-74)

A.P.N. 107-311-02

The undersigned grantor(s) declare(s):

Documentary transfer tax is \$ 51.70

(X) conveyed as full value of property conveyed, or

( ) conveyed as full value less value of liens and encumbrances remaining at time of sale.

(X) Unimproved area: ( ) City of \_\_\_\_\_, and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

JOSEPH H. CUTLER and ELLEN R. CUTLER, his wife

hereby GRANT(S) to

DOUGLAS P. TARTALA and JO ELLEN TARTALA, husband and wife as JOINT TENANTS

the following described real property in the

County of Santa Cruz, State of California:

DESCRIPTION OF PROPERTY ATTACHED HERETO AS EXHIBIT "A" AND MADE A  
PART HEREOF.

01-70-311-0075 • 6 • 0051.70

Dated January 26, 1978

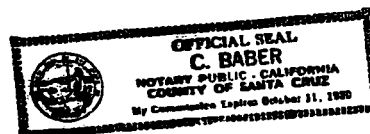
Joseph H. Cutler  
Joseph H. Cutler

STATE OF CALIFORNIA  
COUNTY OF Santa Cruz } ss.

On January 27, 1978 before me, the under-  
signed, a Notary Public in and for said State, personally appeared  
Joseph H. Cutler and Ellen R.  
Cutler.

Ellen R. Cutler  
Ellen R. Cutler

\_\_\_\_\_ known to me  
to be the person(s) whose name(s) is/are subscribed to the within  
instrument and acknowledged that they executed the same.  
WITNESS my hand and official seal.



Signature

C. Baber

(This area for official notarial seal)

Title Order No.

Escrow or Loan No.

132180-W

MAIL TAX STATEMENT DIRECTED ABOVE

The law referred to herein is described as follows:

TI#132180-W

SITUATE IN THE COUNTY OF SANTA CRUZ, STATE OF CALIFORNIA AND DESCRIBED AS FOLLOWS:

BEING A PART OF THE LANDS CONVEYED TO JULIUS J. WIDELL BY DEED RECORDED IN VOLUME 1154, PAGE 184, OFFICIAL RECORDS OF SANTA CRUZ COUNTY AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY LINE OF SAID LANDS OF WIDELL FROM WHICH A 3/4" PIPE AT THE NORTHWESTERLY CORNER THEREOF BEARS NORTH 0° 32' WEST 22 FEET AND NORTH 9° 14' EAST 187.46 FEET DISTANT, THENCE FROM SAID POINT OF BEGINNING ALONG THE WESTERLY AND SOUTHERLY LINE OF SAID LANDS OF WIDELL THE FOLLOWING COURSES AND DISTANCES: SOUTH 0° 32' EAST 30 FEET TO A 3/4" PIPE, SOUTH 14° 33' EAST 158.30 FEET TO A 3/4" PIPE, SOUTH 25° 06' EAST 28 FEET TO A 3/4" PIPE, SOUTH 47° 12' EAST 36 FEET TO A 3/4" PIPE, SOUTH 55° 45' EAST 125.22 FEET TO A 3/4" PIPE AT THE MOST SOUTHERLY CORNER OF SAID LANDS OF WIDELL ON THE EASTERLY LINE OF A ROAD, KNOWN AS RIDERS ROAD, THENCE ALONG SAID EASTERLY LINE NORTH 7° 30' EAST 88.44 FEET TO AN AXLE, THENCE LEAVING SAID EASTERLY LINE SOUTH 72° 03' WEST 8 FEET TO A 3/4" PIPE ON THE CENTERLINE OF RIDERS ROAD, THENCE ALONG SAID CENTERLINE NORTH 6° 55' EAST 170 FEET TO A 3/4" PIPE, THENCE LEAVING SAID CENTERLINE WESTERLY IN A DIRECT LINE 215 FEET MORE OR LESS TO THE POINT OF BEGINNING.

TOGETHER WITH AND SUBJECT TO A RIGHT OF WAY OVER RIDERS ROAD.

107-311-02

Recorded at the request of

Return to

Joseph H. Cutler

611 Eureka Canyon Road

Corralitos, California

COMPARED

98379-V. S. C.

OCT 18 3 40 PM '66

SANTA CRUZ LAND TITLE CO.

BOOK 1789 PAGE 601

27269

For value received JOHN E. KLEIN and  
MARJORIE E. KLEIN, his wife

GRANT \_\_\_\_\_ to JOSEPH H. CUTLER and  
ELLEN R. CUTLER, his wife

as JOINTTENANTS all that real property situate in the

County of Santa Cruz, State of California, described as follows

BEING a part of the lands conveyed to Julius J. Widdell by deed recorded in  
Volume 1154 Page 184, Official Records of Santa Cruz County and more  
particularly described as follows:

BEGINNING at a point on the Westerly line of said lands of Widdell from which a  
3/4" pipe at the Northwesterly corner thereof bears North 0° 32' East 22 feet  
and North 9° 14' East 187.46 feet distant, thence from said point of beginning  
along the Westerly and Southerly line of said lands of Widdell the following  
courses and distances: South 0° 32' East 30 feet to a 3/4" pipe, South 14° 33'  
East 150.30 feet to a 3/4" pipe, South 26° 06' East 28 feet to a 3/4" pipe,  
South 17° 12' East 35 feet to a 3/4" pipe, South 65° 45' East 175.22 feet to a  
3/4" pipe at the most Southerly corner of said lands of Widdell on the Easterly  
line of a road, known as Riders Road, thence along said Easterly line North  
7° 30' East 98.44 feet to an axle, thence leaving said Easterly line South 72°  
03' West 8 feet to a 3/4" pipe on the centerline of Riders Road, thence along  
said centerline North 6° 55' East 170 feet to a 3/4" pipe, thence leaving said  
centerline Westerly in a direct line 215 feet more or less to the point of  
beginning.

TOGETHER with and subject to a right of way over Riders Road.

Assessor's Parcel No. 107-161-39

Dated January 3, 1966

John E. Klein  
Marjorie E. Klein

STATE OF CALIFORNIA

County of Santa Cruz

On June 17,

1966

the undersigned

Notary

Public in and for said

County and State, personally appeared

JOHN E. KLEIN and MARJORIE E. KLEIN

known to me to be the person(s) whose name(s) are subscribed to the within instrument, and acknowledged to me  
that they created the same.

My commission expires



LILA V. VERNON  
NOTARY PUBLIC - CALIFORNIA  
PRINCIPAL OFFICE IN  
SANTA CRUZ COUNTY

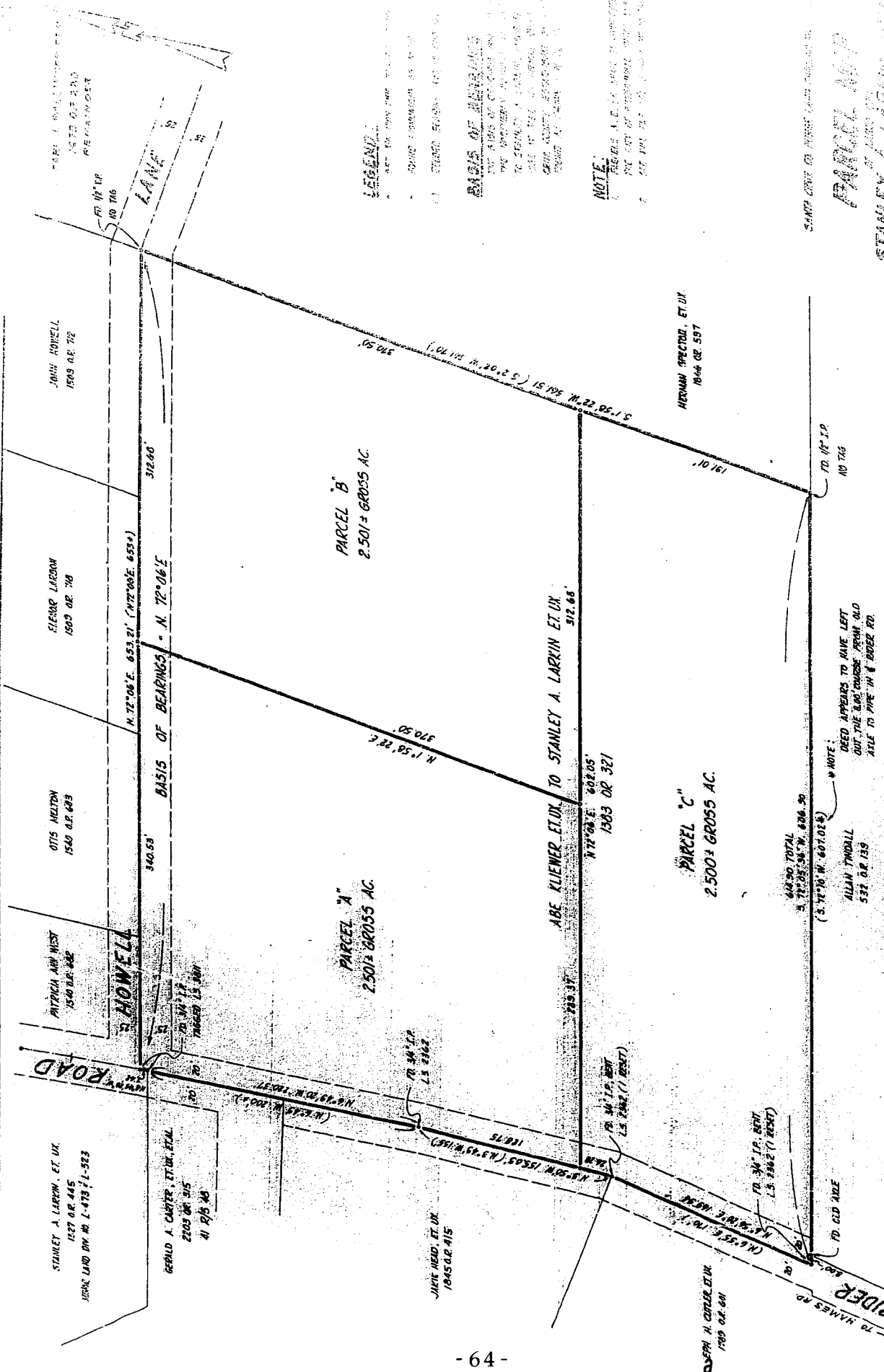
Lila V. Vernon

- 63 -

MAIL TAX

Joseph H. Cutler

611 Eureka Canyon Road Corralitos, California



**COUNTY RECORDER'S CERTIFICATE**  
I, the undersigned, County Recorder of the County of Santa Clara, State of California, do hereby certify that the foregoing is a true and correct copy of the original as recorded in my office, and that the same has been duly filed for record in the public records of said county.

W. L. Redington  
County Recorder  
Said No. 95221

**COUNTY SURVEYOR'S CERTIFICATE**  
I, the undersigned, County Surveyor of the County of Santa Clara, State of California, do hereby certify that the foregoing is a true and correct copy of the original as recorded in my office, and that the same has been duly filed for record in the public records of said county.

W. L. Redington  
County Surveyor

**SURVEYOR'S CERTIFICATE**  
This map was prepared by me or under my close personal supervision and to the best of my knowledge and belief it comes true to the actual conditions of the land described thereon.

W. L. Redington  
Surveyor

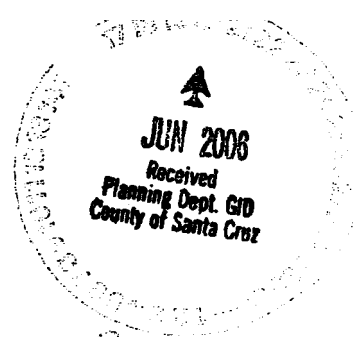
**STANLEY A. LARKIN, ET AL.**  
LOCATED IN BOOK 10 OF THE PUBLIC RECORDS OF THE COUNTY OF SANTA CLARA, CALIFORNIA  
SURVEYED BY JAMES H. LARKIN  
LICENSED LAND SURVEYOR  
15 MAIN AVE., PASADENA, CALIF.  
SEPTEMBER 1935

**PARCEL MAP**

SANTA CLARA CO. PUBLIC RECORDS

**EXHIBIT 4:**  
**Letter dated March 27, 2007, of Dennis J. Kehoe to  
Santa Cruz County Planning Commission**

Santa Cruz County Planning Department  
TOM BURNS, DIRECTOR  
701 Ocean Street, Room 400  
Santa Cruz, California 95060-4068  
Telephone: (831) 454-2580  
FAX: (831) 454-2131



COUNTY OF SANTA CRUZ

*Rec'd 11/4/06  
Bernice Rowe*

**In the Matter of** )  
DAUGHTERS OF MARY, HELP OF )  
CHRISTIANS, ) SECOND AMENDED COMPLIANCE  
Property Owners. ) AGREEMENT  
)

1. The parties to this compliance agreement are DAUGHTERS OF MARY, HELP OF CHRISTIANS and the SANTA CRUZ COUNTY PLANNING DEPARTMENT.
2. DAUGHTERS OF MARY, HELP OF CHRISTIANS, hereinafter referred to as "Owner" are the owners of record of the real property located at 605 Enos Lane, Watsonville California and described as Assessor's Parcel No. 107-571-01 and hereinafter referred to as "subject property". Owner operates the Salesian Elementary (Grades K through 8) on subject property.
3. The County alleges that the subject property is in violation of Santa Cruz County Code Section(s) 13.10.275 in that:
  - A. Owner has exceeded the 125-student enrollment maximum allowed under USE PERMIT 78-1539-U;
  - B. Owner has, in the past, been in violation of the Fire Marshal's requirements regarding emergency and evacuation access;
  - C. Use permit 78-323-U, which established a **maximum** enrollment of 90 students, required a plan for carpooling or busing to minimize traffic on Enos Lane. This condition was reiterated in the subsequent permit amendment, **78-1539-U**, which allowed expansion **to** 125 students. While the permit conditions did not set forth a specific vehicle limit, it is clear that the objective of minimizing traffic on Enos Lane

has been compromised by the unauthorized increase in student enrollment and related vehicular traffic, necessitating the development of an aggressive carpooling program.

4. Pursuant to the original Compliance Agreement between the County and the Owner, on August 11, 2004, Owner filed Application # **04-0384** with the County Planning Department. Owner seeks County approval to increase enrollment to 250 students, to widen Enos Lane, and to construct a new parking lot. Owner and County mutually agreed that Owner shall diligently pursue, and County shall diligently process, said application. Application #04-0384 requires environmental review, consideration by the Planning Commission at a duly noticed public hearing, and a final decision by the County Board of Supervisors at a duly noticed public hearing.
5. Since a final decision on this application did not occur prior to June 30, 2005, the County and the Salesians signed an Amended Compliance agreement on August 24<sup>th</sup> for the 2005-2006 academic year. This amended agreement expires on June 30, 2006.

While Application #04-0384 is pending in the development review process and while considerable staff time has been spent on the processing of this application, a public hearing before the Planning Commission and final action by the Board of Supervisors will not occur prior to June 30, 2006. Further, both parties agree that more time for discussion and negotiation between the Owner, the County, and community representatives will benefit all parties. Therefore, it is again necessary to again execute an amended Compliance Agreement effective July 1, 2006.

5. Owner hereby agrees as follows:
  - A. Continue to comply with the corrective order issued by the County Fire Marshal addressing traffic congestion that amounted to an ingress/egress obstruction in violation of the Fire Code. This includes maintaining signage and curb coloring,

prohibiting cars ~~from~~ parking along the access route around the school, and managing the flow of school traffic on Enos Lane so as to not create congestion that amounts to an obstruction;

- B. Maintain an enrollment cap of **205** students for the 2006-2007 academic school year;
- C. By August 1, 2006, develop a traffic management plan (including some combination of carpooling, shuttle, or busing) to reduce student related school traffic in the morning **(7:30-8:30 am)** and afternoon **(2:30-3:30 pm)** peak periods to a maximum of **45** vehicles total (the vehicle maximum does not include vehicles originating on upper Enos Lane or its side streets who have children attending Salesian School); provide a copy of said plan to the Planning Department by August 10, 2006, and implement this plan at the start of the fall school session (August 16, **2006**);
- D. Require that any of the **17** off-site faculty and other school staff, who drive, to arrive prior to **7:30 am** to separate **this** traffic from the student traffic;
- E. Owner shall maintain records demonstrating compliance with these requirements, including staff and student peak period morning and afternoon vehicle counts, and shall provide those records to the County by the 15<sup>th</sup> day of each month for the preceding month. School officials shall do morning and afternoon unannounced peak period vehicle counts on the school driveway at the entrance to the school on different days of the week, with a minimum of **4** daily vehicle counts per month (a minimum of once a week during school session);
- F. Owner and ~~County~~ acknowledge that it will be necessary to have independent traffic counts on the school driveway at the entrance to the school in addition to those performed by school personnel. Therefore, the school shall contract with a Traffic Engineer by August 1, 2006, to conduct random, unannounced peak morning and peak afternoon vehicle counts of school related vehicle traffic. School shall provide a copy of the executed contract with the traffic engineer to the Planning Department by August 10, 2006. The Traffic Engineer shall be Higgins Associates or other firm approved by the County and shall ~~perform~~ such counts when requested by the County;

provided, however, that such independent counts shall not exceed a maximum of 6 during the fall session and, if necessary, an additional 6 during the spring session.

- G. If initiated and processed by the residents on upper and lower Enos Lane and their side streets, owner shall install two speed humps on lower Enos Lane by August 1, 2006 or as soon as practical thereafter after receiving the written consent of the residents on upper and lower Enos Lane and their side streets (with one vote to each residence served by Enos Lane beyond the school access driveway and two votes for each residence served by Enos Lane before the school access driveway) and agreement as to the desired location of said speed humps;
- H. Owner shall prepare an emergency evacuation plan and obtain approval of said plan by the County Fire Marshal by August 1, 2006, and shall provide a copy of the approved plan to the County prior to the commencement of the 2006-2007 academic school year;
- I. Owner agrees to continue to participate in mutual problem solving meetings with neighborhood representatives throughout the term of this agreement through Owner's standing 3 member committee chaired by parent Andrew Kreeft; and
- J. Owner agrees to continue to require parents to review and sign a parent handbook that details the School's expectations regarding traffic management and safety, emergency evacuation plan, and courteous driving, as well as the consequences of violations of the school's policies.

- ' This agreement does not constitute approval of any existing uses at the property other than those expressly granted in previous County permits, nor does it restrict in any way the authority of the decision-making body, the County Board of Supervisors, to approve, deny, or otherwise condition any permit applications that come before them. This agreement does not constitute a waiver of the County's ability to pursue all legal remedies against the owner for compliance with existing permit conditions and/or approvals, should the County deem such action necessary in the future. Without waiving any of Owner's rights, Owner acknowledges the County's intent to take further enforcement action to reduce student enrollment to the

alleged permitted level (presently 125 students) for the 2007-2008 and subsequent academic years if Owner withdraws Application # 04-0384, if the County abandons said application, or if the application to increase enrollment is denied.

8. This agreement is null and void on July 1, 2007 or prior if any of the following occur: the Owner does not materially comply with any of the terms set forth above in this agreement; if Application # **04-0384** to amend Use Permit **78-1539 U** is subsequently withdrawn by the applicant or abandoned by the County; or upon final action by the County Board of Supervisors on the Use Permit amendment application. This agreement does not constitute a waiver of any rights of the Owner.
9. Sister Charlotte Greer represents to the Planning Department that she is authorized to agree to the above terms and to execute this Compliance Agreement on behalf of Daughters of Mary, Help of Christians for the Salesians School.
10. Owner understands that compliance with the terms of this agreement will enhance its relations with its neighbors and provide the Planning Department a technical basis for evaluating and making recommendations with regard to Owner's pending application to expand enrollment at the school.

Dated: 6/20/06

Signed by Sr. Theresa Simon, M.D. President

Dated: 6/8/06

Sr. Charlotte Greer, M.D.  
Sister Charlotte Greer, Principal

David Lee  
David Lee  
Assistant Planning Director, County of Santa Cruz

**EXHIBIT 5:**  
**Letter dated March 27, 2007, of Dennis J. Kehoe to**  
**Santa Cruz County Planning Commission**

Law Offices of  
**DENNIS J. KEHOE**  
Law Corporation

311 Bonita Drive  
Aptos, California 95003  
(831) 662-8444 FAX (831) 662-0227

March 27, 2007

(Hand-Delivered)

BOSSO WILLIAMS  
ATTENTION: BOB BOSSO, ESQ.  
133 Mission Street, Suite 280  
Santa Cruz, CA 95060

**Re: Salesian Sisters, County Planning Commission No. 04-0384  
March 28, 2007, Item 10**

Dear Bob:

I received a copy of your March 20, 2007, letter to the Planning Commission. You indicate that your clients own APN 107-461-25, 350 Hames Road. Santa Cruz Title Company has provided copies of the deeds in the chain of title to your clients' property, all of which specifically mention "Rider Road" and that their property is to the east of Rider Road. Additionally, the owners of your clients' property deeded a water tank lot to the City of Watsonville (APN 107-461-02) and that description makes specific reference to the survey of the 40' Rider Road right-of-way approved by the Board of Supervisors on July 16, 1883. I was also provided by Kim Mattos a map prepared by Stan Nielsen, Mid Coast Engineers. Enclosed is a copy of the same. As indicated on that map, Enos Lane is within the right-of-way.

Furthermore, your clients' property including an old barbed wire fence is at a significant higher elevation than Enos Lane. This elevation differential varies anywhere from approximately two (2) to four (4) feet in height. Moreover, Enos Lane (Rider Road) has been in open use for decades.

As mentioned to you in our recent telephone conversation, the Salesian Sisters have no interest in a walkway over your clients' property. Also, my clients have no interest in widening Enos Lane to 24'.

If you or your clients have any questions, please contact me at your earliest convenience.

Very truly yours,

**DENNIS**  
DENNIS J. KEHOE

DJK:jlc; Enclosure

**EXHIBIT 6:**  
**Letter dated March 27, 2007, of Dennis J. Kehoe to**  
**Santa Cruz County Planning Commission**

Law Offices of  
**DENNIS J. KEHOE**  
Law Corporation  
311 Bonita Drive  
Aptos, California 95003  
(831) 662-8444 FAX (831) 662-0227

January 20, 2005

2005 JAN 20 PM 4 51  
*Plan Dept*  
COUNTY OF SANTA CRUZ  
PLANNING DEPARTMENT

**TOM BURNS**, Planning Director  
SANTA CRUZ COUNTY PLANNING DEPARTMENT  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060

**Re: Application No. 04-0384;**  
**Appeal To The Planning Director from the January 6, 2005, Staff**  
**Person Determination That The Application Is Incomplete.**

Dear Mr. Burns:

This letter shall constitute the appeal of the applicant and aggrieved person from the January 6, 2005, letter of Randall Adams, staff planner, asserting that the application above referenced is incomplete. You are requested to review this appeal with the applicant/appellant and its representatives. We will make ourselves available to you at your convenience. (In the meantime, we will be available to meet with **Mark** Deming to address and, hopefully, reasonably resolve the outstanding **issues**) For your benefit, the **appeal** has been divided into several sections; Brief Background, Overall Appeal, and Other Appeal Items.

**I.**  
**BRIEF BACKGROUND**

**A.** Although not all inclusive, the following is a brief background with respect to the applicant. The Salesian Sisters have been in their existing location since 1975. Prior to their purchase of the property, Enos Lane, formerly know as Rider Road, was the historic access to the Salesian Sisters' property. Moreover, the Grant Deed to the Sisters specifically includes an appurtenant "right-of-way 40-feet wide" from their property "southerly to Hames Road, a County Road." Please refer to the recorded Grant Deed, a **copy** of which **was** provided to you with

Tom Burns, Planning Director, Santa Cruz County Planning Department  
(Salesian Sisters) January 20, 2005

Page 1

4

the application submitted on August 11, 2005. Additionally, the County of Santa Cruz previously issued various permits including, but not necessarily limited to, 75-600-U; 77-557-U; 78-323-U; 78-1538-U; and 88-1105. The County permits, either specifically or generally, required the Salesian Sisters to use Enos Lane as the same exists from the Salesian Sisters property to Hames Road. Further, the use of Enos Lane from the Salesian Sisters property to Hames Road has been open and continuous since long before the Salesians' Grant Deed in 1975.

**B.** Additionally, the County never before required a "guarantee" of the Salesian Sisters' right to use Enos Lane. Rather, the **County**, at various times, has required some improvement by the Salesian Sisters or contribution towards improvement by the Salesian Sisters of Enos Lane. And such improvements were made as requested by the County. Furthermore, various building permits, septic system permits, and other County permits have been issued to the Salesian Sisters all either explicitly or implicitly contemplating the use of Enos Lane from the Sisters' property to Harnes Road.

**C.** Although the Salesian Sisters submitted the above referenced application, they specifically did not waive any of their rights in submitting the application. (See Compliance Agreement) On August 11, 2004, the Salesian Sisters submitted this application to the County of Santa Cruz, Planning Department. The application is dated by the County 8/11/2004, and designated as Application No. 04-0384. Extensive material meeting all legitimate County criteria was submitted at that time. Nevertheless, a letter dated September 9, 2004, of "incompleteness" was transmitted by the project planner to Salesian Sisters. In response to that letter, a correspondence dated December 9, 2004, together with extensive documentation **was** delivered on behalf of the Sisters to the County with supporting data. Once again, a January 6, 2005, letter was transmitted by the project planner purporting that the application is "incomplete" and wanting yet more information, and indicating the applicant has a right to appeal his decision to you as the Planning Director. The letter of January 6, 2005, and all contents therein contained are appealed to you. Hopefully, you will meet with us before deciding our appeal.

**D.** The Salesian Sisters have always used this property for religious assembly and as a religious institution. This includes, but is not limited to, praise and worship of God, Godly student education, and other religious activities, all of which are protected by the state and federal constitutions and other laws including, but not limited to, the Religious Land Use and Institutionalized Persons Act (RLUIPA) and the federal Civil Rights Act. Even aside from the historic **use** by the Salesian Sisters of the property, the County is prohibited from imposing substantial burdens on the Sisters' assemblies and activities unless it is doing so in furtherance of a compelling government interest **and** the County uses the least restrictive means of furthering that compelling interest.

Tom Burns, Planning Director, Santa Cruz County Planning Department  
(Salesian Sisters) January 20, 2005

## **II.**

### **OVERALL APPEAL**

#### **A. Permit Streamlining Act.**

Prior to the enactment of the Permit Streamlining Act, the legislative history of that law reveals the following abuses. Land use applicants would submit applications to public agencies. The public agencies would request more information which was then provided. In turn, the additional information was used as a spring-board to ask for yet more information. Applicants expended significant funds in order to meet these on-going requests for "further information" just to get the agency to process their applications. Even aside from the significant expenditure in an attempting to respond to the requests and further requests, significant time was lost in even starting the application process. Thus, the Legislature enacted the Permit Streamlining Act. Among other items, that Act requires that the County compile a list that "shall specify in detail the information that will be required from any applicant." Government Code §65940(a) Here, the Salesian Sisters provided information complying with legitimate County criteria. The requests for "further information" contained in the January 6, 2005, letter is **not** in compliance with the Permit Streamlining Act. Therefore, the application is complete and the land use processing must commence.

#### **B. The January 6, 2005. Request For Further Information Is Unreasonable, Arbitrary, And Substantially Burdensome.**

(1) The information requested in the January 6, 2005, letter is extremely detailed and is **not** necessary in order to process this application. This includes, but is not limited to, the staff planner's detailed and conflicting requests which **may** in some respects be appropriate but only **after** approval of the application. Additionally, some of the demands are totally unreasonable and contrary to law. For example, Mr. Martin (Public Works) wants 24-feet of Enos Lane surface, an additional 4-foot buffer, and an additional 4-foot walkway. (32 feet in total whereas the existing is 18-feet for the most part!) **This** is ridiculous. The people in the area and the applicant want **no** more than 18-feet of surface **as** shown on the Ifland plans submitted to the Planning Department.

(2) In addition, the January 6, 2005, letter now demands a "guarantee" of the right-of-way. This is unreasonable, arbitrary, extremely burdensome, and beyond the County's jurisdiction. The County has approved numerous permits to the Sisters, all requiring usage of Enos Lane to Hames Road. Enos Lane was always used, even prior to the purchase of the property by the Salesian Sisters. The grant deed to Salesian Sisters specifically conveys a 40-foot right-of-way to Hames Road. Under the California Recording Act, this recorded right-of-way is binding whether intervening property deeds make

reference to the 40-foot right-of-way or not. Furthermore, Enos Lane has been used, repaired, and improved for more than 25-years. Additionally, there are numerous survey maps of Enos Lane (Rider Road) of record and in the County Public Works Department (e.g. 14 Maps 45; 22 Maps 57; 29 Maps 17; 62 Map 13; Public Work file A2-66). Moreover, additional information has been submitted showing that Enos Lane was formerly known as Rider Road and that that right-of-way has existed for approximately 100-years. Ifland Engineers have **also** mapped the right-of-way on its submittals to the County. Additionally, the multiple County permits issued to the Sisters confirm that Enos Lane to Hames Road is the right-of-way to their property.

The “guarantee” of the right-of-way is contrary to numerous prior County permits granted to the Salesian Sisters. It is contrary to **the** usage of Enos Lane for decades. It is contrary to common sense, extremely burdensome, and beyond the County’s jurisdiction. Further, it is not required **by** any legitimate “County list” criteria. Nevertheless, without waiving any rights, enclosed is the October 2004, Title Report from Stewart Title Guarantee Company.

(3) The Salesian Sisters have met the legitimate County requested items. “Further information” is **not** necessary in order to process this application. Consequently, the application is complete. **You** are requested to accept the application of the Salesian Sisters as complete and begin the permit processing.

### **III.**

#### **OTHER APPEAL ITEMS.**

Appeal of the January 6, 2005, staff project planner letter is taken and reference **is** made to the numbered paragraphs in that letter.

**1.** This request is unreasonable; arbitrary; never before requested; not on the legitimate County information list; not with the jurisdiction of the County to require; ownership information has been previously provided; imposes substantial burden on the Salesian Sisters and is **not** in the least restrictive means in furtherance of any compelling interest; irrelevant, especially in view of prior and current usage of Enos Lane and prior County permits issued to applicant.

Without waiving any of applicant’s rights, enclosed is the October 28, 2004, Title Report of Stewart Title Company, see Parcels Three, Four, and Five – right-of-way over Rider Road “40-feet wide” “Southerly to Hames Road, a County Road.” The applicant’s additional submittals included recorded maps confirming that “Rider Road” is also known as “Enos Lane.” Also, Ifland Engineers submitted copies of County Public Work’s maps and recorded maps confirming existence and location of Enos Lane and that “Rider Road” is also known as Enos Lane.

Moreover, Ifland Engineers also submitted detailed Enos Lane Improvement plans including cross-sections and notations.

**2. All the objections to #1 above are incorporated herein by this reference as objections to #2.** Additionally, the staff planner incorrectly asserts that it is “unclear as to what access rights were intended to be displayed by the old maps...” In that staff planner’s September 9, 2004, letter to applicant asking for more information, the staff planner, himself, requested information ~~that~~ “Enos Lane used to be called Rider Road.” These older maps, **both** recorded and the County maps, show, among other items, that Enos Lane used to be known as Rider Road.

Furthermore, all of applicant’s submittals including those in response to staff planner’s September 9, 2004, were organized, properly bound and delivered to the Planning Department. What happened once the County had the documentation is not applicant’s responsibility, although applicant will cooperate with the Planning Department in order to organize or reorganize the submitted documentation and/ or provide additional requested copies.

**2a. All the objections to #1 & #2 above are by this reference incorporated herein in response to #2a.**

**2b. All the objections to #1 & #2, and #2a above are by this reference incorporated herein in response to #2b.** This information is already contained in applicant’s previous submittals including the details of Ifland’s Enos Lane Improvement Plans.

**2c. All the objections to #1, #2, #2a, and #2b are incorporated herein by this reference in response to 2c.** Additionally, this information has already been adequately provided for purposes of a complete application. The staff is unreasonable for purposes of a complete application.

### **3. Comments.**

**All the objections to #1, #2, #2a, #2b, and #2c are incorporated herein a though fully set forth herein in response to 3 Comments.** Moreover, the applicant has already submitted the legitimate required County information for a completed application.

The Comments, and each of them, are seeking information which is extremely expensive to applicant to obtain, if it is obtainable at all. Further, the same is **not** required for a completed application. Moreover, some of the requested additional information **may** be appropriate **post** land use approval but **not** to complete the application. Attached and incorporated is the January 20,

Tom Burns, Planning Director, Santa Cruz County Planning Department  
(Salesian Sisters) January 20, 2005

2005, letter of David Robinson.

Please also confirm that the "30"day compliance period was met. It appears that it was **not**.

Very truly yours,  
DENNIS J. KEHOE, Law Corporation

By   
DENNIS J. KEHOE, Attorney for  
Applicant and Appellant

SALESIAN SISTERS, DAUGHTERS OF  
MARY HELP OF CHRISTIANS

By   
SISTER LOURDES TREVINO, FMA

DJK:jlc  
Enclosures



January 20, 2005

Santa Cruz County Planning Department  
 Attn: Tom Bums, Planning Director  
 701 Ocean Street, 4<sup>th</sup> Floor  
 Santa Cruz, CA 95060

Re: Application No. 04-0384;  
 Appeal to the Planning Director from the January 6, 2005, staff person  
 determination that the application is incomplete.

Dear Mr. Bums:

Regarding the application for the Salesian Sisters School and the letter response requirements from the County of Santa Cruz dated January 6, 2005, please note the following:

1. The deeds and title report provided originally with our application clearly and specifically include the 40 foot easement and right of way for Enos Lane. All title reports are backed by the typical "Title Insurance" reports. Please find enclosed another copy from a secondary source, Stewart Title Guarantee Company, dated 10/28/04 that again substantiates the 40 foot easement and right of way.
2. All title reports, plans and documentation requested by the County were submitted in the required format, in the exact order requested, and were clearly labeled, stapled, bound and folded. Please refer to your letter dated 9/4/04 and our response dated 12/9/04 for the format of reassembling the documents submitted to the County of Santa Cruz. The plans were in order and bound separately as road plans and site/parking lot plans when submitted. The single sheets submitted were only to show to you that Enos Lane used to be Rider Road. These pages should not be bound with the other development plans. The purpose of these pages was explained in item #2 of our letter dated 12/9/04 and was in direct response to your item #2 of your letter dated 9/4/04. With all due respect, please read the accompanying letter of each submittal.

2. a. b. c. and comments

It is the opinion of the Salesian Sisters and our consultants that all rights of way, deeds, existing and proposed road widths, and property owner deeds as requested by the County of Santa Cruz have been submitted and are described as accurately as can be provided. The 40 foot right of way described in the Salesian Sisters' deed goes over the existing road. In general convention it is shown as being 20 feet on either side of the center line of the existing road. This is shown in plain view and clearly noted on the plans. As our letter of 12/9/04 clearly states, we do not see any point in providing you with other people's rights of way, as these are not germane.

Salesian Sisters School Application #04-0384  
 Mr. Tom Burns  
 Page 2

Although not necessary for a complete application, additional grading volumes, cut and fill totals and cut details for existing drainage berms, further drainage calculations, details for the existing on-site drainage system, and other detailed documentation could later be provided with respect to the currently proposed plans by Ifland Engineers [6 sheets regarding the road and 3 sheets regarding the parking lot]. These plans can be wet stamped and signed when they are final plans. However, generating more detailed information at this point would require that the Salesian Sisters expend more money. Until it is decided whether or not a pathway will be required, and exactly how wide the roadway should be, it is not useful to expend further money and energy in providing any further details.

You have our proposal of an 18 foot wide road, with 24 feet in width for the first 40 feet, and a pathway up to the top of the first hill separated from the roadway by an asphalt berm. This is our current proposal and should be the proposal you take to the hearing. Any other design should be a result of a public hearing, at which point we will provide whatever reasonable details are necessary on implementation plans. It appears at this point that neither the Sisters nor the neighbors may want the pathway. The pathway was a response to the initial neighborhood meeting held regarding this project and was intended not for students walking to the Salesian school, but for neighborhood children walking down the hill to their bus stop at the bottom of Enos Lane. The Sisters are open to either having or not having this pathway.

The sanitation disposal system works properly and has done so over the years. Also, it has already been upgraded and approved for the school population of 250 students. [see EHS, John Ricker report of 12/17/03; Betty Cost letter of 12/9/04; and Peter Haase letter of 12/9/04.]

In closing, as per your letter dated January 19, 2005 to Mr. Dennis Kehoe, Attorney for the Salesian Sisters, the school is very hopeful that in our next meeting the school and the County can adequately address the outstanding issues that allow this application to be deemed complete.

Regards,



David L. Robison, OCM  
 Principal

**CONDITION OF TITLE REPORT**

**STEWART TITLE GUARANTY COMPANY**

*herein called the Company*

G 1578-50503

**SUBJECT TO THE TERMS, LLMITATIONS AND CONDITIONS OF THE  
APPLICATION FOR THIS CONDITION OF TITLE REPORT, WHICH  
APPLICATION, OR COPY THEREOF, IS ATTACHED HERETO  
AND MADE A PART THEREOF**

**REPORTS**

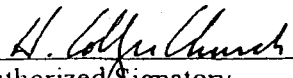
To the party named in Schedule A, that as disclosed by the Title Instruments, the ownership of **and** the defects, liens and encumbrances against the **Interest** in the Land **areas** shown in Schedule B.

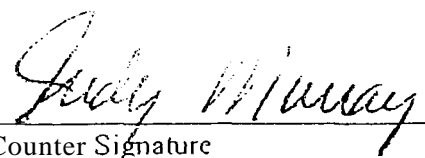
Any claim or other notice to the company shall be in writing and shall **be** addressed to the Company at the issuing office or to

Stewart Title Guaranty Company  
Claims Department  
1980 Post **Oak** Blvd., Suite 800  
Houston, Texas 77056

**THIS REPORT IS NOT VALID AND THE COMPANY SHALL HAVE NO LIABILITY  
HEREUNDER UNLESS THE APPLICATION REFERRED TO ABOVE, OR COPY  
THEREOF, IS ATTACHED HERETO.**

STEWART TITLE GUARANTY COMPANY

  
Authorized Signatory

  
Counter Signature

**EXHIBIT 7:**  
**Letter dated March 27, 2007, of Dennis J. Kehoe to**  
**Santa Cruz County Planning Commission**



# COUNTY OF SANTA CRUZ

## PLANNING DEPARTMENT

701 OCEAN STREET, 4<sup>TH</sup> FLOOR, SANTA CRUZ, CA 95060  
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123  
TOM BURNS, PLANNING DIRECTOR

April 5, 2005

Mr. Dennis Kehoe  
311 Bonita Drive  
Aptos, CA 95003

**RE:** Appeal of Application Completeness Determination  
Application No. 04-0384  
B. Cost for Salesian Sisters

Dear Mr. Kehoe:

We received your appeal of the determination of incompleteness on this application on January 20, 2005. You and I met on January 25<sup>th</sup> to discuss the requested information and to define what would be required for the application to be deemed complete. Since then, we have received revised plans for the roadway improvements to Enos Lane and additional information from Strategic Construction addressing some of the details that had been requested. Although not all of the materials requested have been submitted, I feel that sufficient information has been submitted to deem it complete. Therefore, I am upholding your appeal and determining that the application is complete for processing.

The next step in the permit review process is the CEQA review, where an Initial Study is prepared to analyze the potential impacts of the project. As I discussed with you on March 16<sup>th</sup>, several of the outstanding technical requirements for the project will have to be resolved before environmental review can be completed. These include approval by Environmental Health Services (EHS) of a preliminary design for advanced treatment for the septic system, approval of preliminary designs for the drainage systems serving the new construction by Public Works and some minor details regarding the grading proposed. In my conversations with EHS, it was clear that Peter Haase knows what is needed to complete the septic system-upgrade design and Island Engineers has a long history of meeting County requirements for all types of projects.

It is my hope that these technical details can be resolved expeditiously. If you have any additional questions or concerns about this project, do not hesitate to telephone me at 454-3183.

Sincerely,

A handwritten signature in black ink, appearing to read "Mark M. Deming".

Mark M. Deming, AICP  
Assistant Planning Director

cc: R. Adams

**EXHIBIT 8:**  
**Letter dated March 27, 2007, of Dennis J. Kehoe to**  
**Santa Cruz County Planning Commission**

**Bus transportation quotes as of 3/29/2006**

Transportation quotes were solicited and received from three companies: Michael's Transportation Service, Durham School Services, and Laidlaw Education Services. All companies agree that to provide service from the Watsonville and Aptos regions for our current student body requires four busses. Costs are as follows:

Michael's	\$365/bus	\$1460/day	\$262,800/year
Durham	\$450/bus	\$1,800/day	\$324,000/year
Laidlaw	\$467/bus	\$1,868/day	\$336,240/year

**EXHIBIT 9:**  
**Letter dated March 27, 2007, of Dennis J. Kehoe to  
Santa Cruz County Planning Commission**



**FALL CREEK ENGINEERING, INC.**

**Civil • Environmental • Water Resource Engineering and Sciences**

tel (831) 426-9054

P.O. Box 7894, Santa Cruz, CA 95061

Fax (831) 426-4932

March 4, 2005

Santa Cruz County Planning Department  
Attn: Randall Adams  
701 Ocean Street  
Santa Cruz, CA 95060

Subject: **Application No. 04-03843**  
**Septic System for Salesian Sisters School**  
**APN 107-571-01**

Dear Mr. Adams:

Fall Creek Engineering, Inc. (FCE) has prepared this letter to inform you that the existing septic system is operating satisfactorily at the current level of use. Based on information prepared by the County of Santa Cruz, Health Services Agency, the existing system capacity was determined to be adequate to accommodate a school student population of 250 people, which with I concur.

To maintain the system in good working order, I would recommend that the School conduct semi-annual monitoring of the system. To this end, I would further recommend that the School have the septic system pumped and inspected twice a year to monitor its condition.

Thank you for your attention in this matter. If you have any questions or require additional information, please do not hesitate to contact me at (831) 426-9054.

Sincerely,

PETER NAASE  
Principal Engineer

Cc: Sr. Charlotte Greer, Corralitos  
Dennis Kehoe, Aptos  
David Robison, Santa Cruz

**RECEIVED**

**MAR 07 2005**

**STRATEGIC C.M.**

**EXHIBIT 10:**  
**Letter dated March 27, 2007, of Dennis J. Kehoe to**  
**Santa Cruz County Planning Commission**

NEGATIVE DECLARATION

Applicant :

GEORGE DAVIS FOR SALESIAN SISTERS, BY SISTER MARY HELEN

Name of Project, if any:

Project Location:

West side of Enos Lane (605 Enos Lane), 1 mile north of Hames Road.  
Corralitos Area.

Project Description:

Zoning Appl to rezone from REC to UBS-40. Appl to amend Use Permit  
78-323-U to operate a school for Grades K, 1, 5, 6, 7, and 8 by  
expanding the school facilities to include Grades 2, 3, 4, 9, 10, 11  
and 12 in existing buildings.

APN: 107-121-60

File No.

78- 935-2

78-1539-U

Staff Person:

Suzanne Kulick

Telephone:

(408) 425-2191 X

425-2286     

Finding: This project will not have a significant effect on the environment as documented  
in the Initial Study on this project attached to the original of this notice, on  
file with the Community Resources Agency, County of Santa Cruz, 701 Ocean Street,  
Santa Cruz, California.

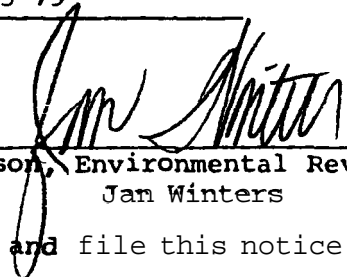
Mitigation Measures or Conditions:

Negative Declaration with Conditions:

1. Until the roadway is improved to Fire Marshall Standards of 16-foot width or  
until the formation of an assessment district to accomplish the required road  
improvements, the school operation shall be limited to Grades K-8 with a maximum  
of 125 students. There is a continuing requirement for carpooling or busing.
2. When the roadway is improved per Condition #1 (above) or when an assessment  
district to accomplish the improvements is formed, the total number of students  
may be increased to 250 Students, Grades K-12.

Date approved by Environmental Review Committee: 3-5-79

Review period ends: 3-15-79

  
Chairperson, Environmental Review Committee  
Jan Winters

NOTICE OF DETERMINATION (If project is approved, complete and file this notice with Clerk  
of the Board.)

The final approval of this project was granted by:

\_\_\_\_\_ on \_\_\_\_\_. No EIR was prepared under CEQA.  
(Decision-making body)

Date completed notice filed  
with Clerk of the Board:

By \_\_\_\_\_  
Clerk of decision-making body

Title: \_\_\_\_\_

**EXHIBIT 11:**  
**Letter dated March 27, 2007, of Dennis J. Kehoe to**  
**Santa Cruz County Planning Commission**

Law Offices of  
**Dennis J. Kehoe**  
Law Corporation  
311 Bonita Drive  
Aptos, California 95003  
(831) 662-8444 Fax (831) 662-0227

March 16, 2006

**Santa Cruz County Planning Department**  
**Attn: Paia Levine**  
**701 Ocean Street, 4<sup>th</sup> Floor**  
**Santa Cruz, CA 95060**

**Re: Application 04-0384; Salesian Sisters' School, K-8**

Dear Ms. Levine:

The undersigned was recently provided copies of two (2) letters addressed to you; one letter is from Dianne Castellanos dated Feb. 27, 2006, and a second undated letter is from her husband, Andrew Fidandis. Both letters contain a number of inaccuracies, errors, and misstatements concerning facts; history; County permits, procedures and compliance therewith; and make many unsupported accusations against, among other people, the Salesian Sisters and their students and parents. Each and every such allegation, misstatement, innuendo, and accusation contained in those letters made against the Salesian School and the Sisters, parents, and children is specifically denied. Although not all inclusive, the following is highlighted.

For your information, Salesian facilities have been serving the people of this County since the 1920s, and the Sisters have owned the Enos Lane property since 1975, long before Ms. Castellanos and her husband moved to the Enos Lane area three years ago. The Sisters are not temporary. They have a history and future in Santa Cruz County of serving the people of our area.

Moreover, the Salesian Sisters' stated purpose is to educate through "reason, religion, and loving kindness" thereby strengthening family bonds and civic responsibility. Concerning ethnic diversity, 24% of the students are Hispanic, and the Sisters themselves are very ethnically diverse. Further, the Sisters provide an affordable religious education to children of working parents and children of single working mothers by offering their contributed services and helping families in financial crisis when necessary. The Salesian Sisters' school is definitely not a "for-profit" institution but exists for the common good of society by promoting the education of youth.

Recently, the Sisters held an evening meeting on Feb. 28, 2006, at the school for any interested people in the Enos Lane area. The meeting was moderated by Andy Kreeft. David Robison, the Sisters' consultant, made an overall presentation and responded to inquires for those who had questions. Moreover, there was a general discussion among those in attendance. Although I did not make a head count, I would estimate that there were 25 to 35 people who attended the meeting. Many of the people were apparently from "upper" Enos Lane. Nevertheless, a woman who has lived and owned a home on

"lower" Enos Lane near Hames Road since 1979, spoke to all present and confirmed that the Salesian carpool is working; that the school drivers are courteous and drive safely; and that the Salesian Sisters and the Salesian school are a benefit to the general neighborhood. Moreover, a mother of young school children who also lives on Enos Lane stated that the school, the parents, and the carpool drivers are courteous and an asset to the area. Her children attend public school and not the Salesian Sisters K-8 school.

Near the end of the meeting, Mr. Robison asked if anyone **was** opposed to the Sisters' pending application with the County and only one **man** raised his hand. When asked **why** he opposed the application, he stated that, in his opinion, the Sisters should not have to go through the County processes in the first place. He also is a resident/owner of property on Enos Lane.

Should you have any questions concerning the above, please contact the undersigned at your earliest convenience.

---  
Very truly yours,

  
Dennis J. Kehoe

C: Sisters Theresa and Charlotte, Salesian Sisters school. Corralitos, CA  
Provincial Office of Daughters of Mary Help of Christian,  
Attn: Sisters Sandra Neaves and Claudette Germain  
David Robison, Strategic Construction Management  
Supervisor Ellen Pirie  
Analyst Robin Musitelli  
Planning Director Tom Bums  
Assistant Planning Director David Lee  
Staff Planner Randall Adams  
Gustavo Gonzales  
Assessor Gary Hazelton  
Sheriff-Coroner Steve Robbins  
Fire Chief Corralitos Fire Station Ron Prince  
California Insurance Commissioner John Garamendi  
California Department of Insurance Legal Division