



Staff Report to the Planning Commission

Application Number: **101044**

Applicant: Frank Phanton
Owner: Adanalian & Kirschenbaum
APN: 049-062-12

Agenda Date: July 27, 2011
Agenda Item #: 13
Time: After 9:00 a.m.

Project Description: Proposal to divide an existing 13.56 acre parcel into two parcels of 5.37 acres and 8.19 acres. Requires a Minor Land Division and Archaeological Report Review.

Location: Property located on the east side of Chandler Lane at the intersection of Chandler and Calabasas in Watsonville.

Supervisory District: 2nd District (District Supervisor: Pirie)

Permits Required: Minor Land Division

Technical Reviews: Archeaeological Report Review

Staff Recommendation:

- Certification of the Mitigated Negative Declaration per the requirements of the California Environmental Quality Act.
- Approval of Application 101044, based on the attached findings and conditions.

Exhibits

- | | |
|--|-------------------------------|
| A. Project Plans | E. Neighborhood Meeting Notes |
| B. Findings | |
| C. Conditions | |
| D. Mitigated Negative Declaration
(CEQA Determination) with
attachments. | |

Parcel Information

Parcel Size:	13.56 acres
Existing Land Use - Parcel:	Residential
Existing Land Use - Surrounding:	Residential and Agricultural
Project Access:	Via Calabasas Road
Planning Area:	Aptos Hills
Land Use Designation:	R-R (Rural Residential)

Zone District: A (Agriculture)
Coastal Zone: ☐ Inside ☒ Outside

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Soils: Elkhorn Sandy Loam; Soils Report Review required with building permit plans.
Fire Hazard: Southeast corner of parcel within mapped fire hazard area; construction/disturbance not proposed within mapped area.
Slopes: Topography slopes down to the south, east and west and slopes gently upwards to the north.
Env. Sen. Habitat: No mapped resources
Grading: 545 cubic yards of cut and 50 cubic yards of fill proposed for the construction of the driveway, parking area, turn around, buildings, detention pond, swales and percolation trenches.
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Drainage: New drainage system proposed to handle excess runoff from proposed new development and site improvements.
Archeology: Mapped for archaeological resources; reconnaissance completed 3/22/10; no archaeological resources evident at site.

Services Information

Urban/Rural Services Line: ☐ Inside ☒ Outside
Water Supply: Private wells
Sewage Disposal: Private septic systems
Fire District: Pajaro Valley Fire Protection District
Drainage District: Zone 7

History

In 2005 and 2009, the property owner obtained rural matrices in order to determine the minimum lot size to facilitate a land division. The most recent rural matrix (09-0287; Attachment 7 to Exhibit D) determined a minimum average net developable parcel size of 5 acres, thereby allowing for two parcels to be created. The rural matrix identified portions of the east and north properties lines as mapped Fire Hazard areas, however, the proposed building envelope and existing structures are located outside of the mapped areas, which is consistent with General Plan Policy 6.5.4(d).

In 2008, the property owner received a permit to recognize the 1122 square foot, non-habitable garage, which currently exists on site.

Project Setting

The subject property is located on the northeast corner of the Calabasas Road and Chandler Lane intersection in Watsonville. The parcel to be divided is currently developed with an approximately

2,300 square foot dwelling, a 1,122 square foot garage, a 3,138 square foot barn, a three sided 600 square foot shed, and an approximately 80 square foot horse riding arena. The parcel takes access from Corralitos Road.

The topography of the parcel is primarily flat in the proposed and existing building locations with gentle upward slopes to the north and downward slopes to the south, east and west. The downward slope steepens at the west and south property lines. There is a buffer of vegetation located along the south and east property lines.

Adjacent parcels to the north, west, and southwest are large lots (minimum of 5 acres) and are developed with single family dwellings. These properties are zoned Residential Agriculture (RA) and Special Use (SU). Adjacent parcels to the south and east are zoned Agriculture (A) and Commercial Agriculture (CA) and are developed with single family dwellings and other commercial agriculture uses and structures.

All adjacent parcels to the northwest, west and south are designated as Rural Residential (R-R) in the County General Plan and the adjacent parcels to the northeast and east are designated as Agriculture (AG).

Analysis

The proposal is to divide the existing 13.56 acre parcel into two parcels of 8.19 acres (7.73 net acres) and 5.37 acres (5.04 net acres) and to create a building envelope on the newly created vacant parcel. The plans specify the construction of an approximately 3,600 square foot single family dwelling with a detached garage and a 1,200 square foot second unit.

The proposed new dwelling unit would take access via a separate 12 foot wide, 540 foot long private driveway which shall be required to meet all design criteria of the Pajaro Valley Fire Protection District. There is an existing 12 foot wide driveway which would remain to access the existing structures on the property.

Agricultural Resources

The parcel is zoned A (Agriculture) and the existing arable land would essentially be divided between both proposed new parcels. The proposal includes the construction of a 3600 square foot residence, a detached garage and a 1200 square foot second unit on the newly created Parcel B; however, the proposed construction is not clustered or located to minimize impacts to the existing arable land. The proposed three structures are all detached with a separation of almost 40 feet between each structure and the proposed large circular driveway (36' radius) further reduces existing arable land on the parcel. Therefore, staff recommends that the building envelope on Parcel B is revised to encompass only the locations of the proposed single family dwelling and detached garage which will reduce impacts to existing open space agricultural land. The proposed second unit could be attached to the single family dwelling or constructed above the proposed detached garage.

Zoning & General Plan Consistency

The subject property is located in the A (Agriculture) zone district which is a designation that

allows for residential uses. The proposed minor land division is consistent with the site's R-R (Rural Residential) General Plan designation. The proposed building envelope on proposed Parcel B will meet all required site standards for the A (Agriculture) zone district including 20 foot front, side and rear yard setbacks and a 28 foot maximum height for residential structures. The existing structures located on proposed Parcel A currently meet the required site standards for the 'A' zone district. The proposed land division meets the density requirements of the R-R (Rural Residential) General Plan Designation as per the following table:

Gross Area	Net Developable Area	Units Proposed	R-R Required Density (GP 2.5)	Net. Dev. Acres/DU
13.56 acres (590,674 sq.ft.)	12.77 acres	2	2.5 - 20 Net Developable Acres per Unit	Parcel A: 7.73 ac. Parcel B: 5.04 ac.

Environmental Review

Environmental review has been required for the proposed project per the requirements of the California Environmental Quality Act (CEQA). The project was reviewed by the County's Environmental Coordinator on April 25, 2011. A preliminary determination to issue a Negative Declaration with Mitigations (Exhibit D) was made on June 14, 2011. The mandatory public comment period expired on June 6, 2011, with no comments received.

The environmental review process focused on the potential impacts of the project in the areas of Agriculture, Cultural Resources, and Transportation and Traffic. The environmental review process generated mitigation measures that will reduce potential impacts from the proposed development and adequately address these issues.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.


Staff Recommendation

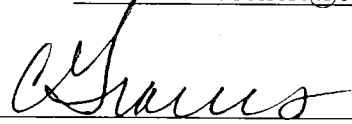
- Certification of the Mitigated Negative Declaration per the requirements of the California Environmental Quality Act.
- **APPROVAL** of Application Number **101044**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information

are available online at: www.co.santa-cruz.ca.us

Report Prepared By: 
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Report Reviewed By: 
Cathy Graves
Principal Planner
Santa Cruz County Planning Department

Subdivision Findings

1. That the proposed subdivision meets all requirements or conditions of the Subdivision Ordinance and the State Subdivision Map Act.

This finding can be made, in that the project meets all of the technical requirements of the Subdivision Ordinance and is consistent with the County General Plan and the Zoning Ordinance as set forth in the findings below. The subject parcel is a legal lot and the (A) Agriculture zoning district and (R-R) Rural Residential General Plan designation allow for the creation of areas for low density single family residential development. The proposed development complies with all applicable 'A' zone district site standards and the project will create 2 parcels of 7.73 and 5.04 net developable acres, which is within the permitted range of 2.5 - 20 net developable acres per unit for the R-R General Plan designation.

2. That the proposed subdivision, its design, and its improvements, are consistent with the General Plan, and the area General Plan or Specific Plan, if any.

This finding can be made, in that this project creates two parcels of 7.73 and 5.04 net developable acres which meets the minimum of 2.5 net developable acres specified by the R-R General Plan land use designation and the minimum 5 acre lot size required by the 2009 rural matrix. Therefore, the project is in compliance with the parcel's density requirements.

The project is consistent with the General Plan in that the land is suitable for rural development with access from Calabasas Road, which is a County maintained road, and adequate fire protection access. Additionally, the creation of two lots at 7.73 and 5.04 net acres for two single family dwellings will maintain the rural character of the existing parcel and surrounding neighborhood.

The proposed land division is similar to the pattern and density of surrounding rural residential development, is near to neighborhood and community shopping facilities on Freedom Boulevard, and does not impact vehicular access from surrounding public streets.

The land division is not located in a hazardous or environmentally sensitive area and protects natural resources by expanding in an area designated for residential development at the proposed density.

3. That the proposed subdivision complies with Zoning Ordinance provisions as to uses of land, lot sizes and dimensions and any other applicable regulations.

This finding can be made, in that the proposed parcel configuration meets the minimum dimensional standards and setbacks for the (A) Agriculture zone district including 20' minimum front yard, side yard, and rear yard setbacks. The density of the proposed land division results in 7.73 and 5.01 net developable acres per parcel and is therefore consistent with the 2009 rural matrix determination and is within the 2.5 – 20 net developable acres per unit range for the R-R General Plan designation.

4. That the site of the proposed subdivision is physically suitable for the type and density of

development.

This finding can be made in that there are no steep slopes in the proposed building location and conditions of approval will require the submittal of engineered grading plans for review and approval by Environmental Planning staff prior to building or grading permit approval. The proposed development was designed in a typical arrangement to ensure that no site standard exceptions or variances are required. No environmental constraints exist which would be adversely impacted by the proposed development.

5. That the design of the proposed subdivision or type of improvements will not cause substantial environmental damage nor substantially and avoidably injure fish or wildlife or their habitat.

This finding can be made, in that no mapped or observed sensitive habitats or threatened species impede development of the site and the project has received a mitigated Negative Declaration pursuant to the California Environmental Quality Act and the County Environmental Review Guidelines.

6. That the proposed subdivision or type of improvements will not cause serious public health problems.

This finding can be made, in that in that resulting construction at the site would be served by private wells and septic systems that require review and approval by Environmental Health Services prior to construction.

7. That the design of the proposed subdivision or type of improvements will not conflict with easements, acquired by the public at large, for access through, or use of property within the proposed subdivision.

This finding can be made, in that no easements are known to encumber the property and site distance improvements at the corner of Calabasas Road and Chandler Lane will provide a benefit to public safety by improving vehicular site distance at the intersection.

8. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities.

This finding can be made, in that the resulting parcels are oriented in a manner to take advantage of solar opportunities.

9. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This project is not subject to County Code Sections 13.11.070 to 13.11.076.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the development is located in an area which allows residential uses and the parcel is not encumbered by physical constraints to development. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. The proposed building area will not deprive adjacent properties or the neighborhood of light, air, or open space in that, future structures will meet all current required setbacks that ensure access to light, air, and open space in the neighborhood. Conditions of approval require the property owner to trim the vegetation at the intersection of Calabasas Road and Chandler Lane to provide sight distance for vehicle speed of 30 MPH which shall improve vehicular sight distance at the property driveway.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that conditions of approval will require that the proposed location of the building envelope on proposed Parcel B will be reduced in size to encompass only the area of the proposed single family dwelling and detached garage in order to minimize removal of existing arable land and allow for limited agricultural activities and maintain productive open space and rural character (County Code Section 13.10.11). The proposed building area complies with all site standards for the (A) Agriculture zone district.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the density of the proposed land division results in 7.73 and 5.01 net developable acres per parcel and is therefore consistent with the 2009 rural matrix determination and is within the 2.5 – 20 net developable acres per unit range for the R-R General Plan designation. There is an existing dwelling unit on proposed Parcel A which shall remain as a result of the project and the building area on proposed Parcel B will be limited to retain open space and rural character. The proposed building envelopes will not be located in the vicinity of surrounding existing structures and will therefore not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed minor land division will create only one additional vacant parcel and there is an existing single family dwelling on the remaining parcel. Therefore, the expected increase in the level of traffic generated by the proposed project is anticipated to be only 1 peak trip per day (1 peak trip per dwelling unit) and such an increase will not adversely impact existing roads and intersections in the surrounding area.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the parcel is a rural property and conditions of approval will require a reduction of the building envelope which will ensure that the rural character and open space is maintained. The proposed minor land division is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This project is not subject to the Design Standards and Guidelines of County Code Sections 13.11.070 through 13.11.076.

Conditions of Approval

Land Division 101044

Applicant: Frank Phantom

Property Owner: Adanalian

Assessor's Parcel Number(s): 049-062-12

Property Address and Location: Property located on the east side of Chandler Lane at the intersection of Chandler Lane and Calabasas Road in Watsonville (682 Calabasas Road)

Planning Area: Aptos Hills

Exhibit(s):

- A. Tentative Map and Improvement Plans - 15 sheets, Sheet 1 prepared by The Envirotechs, dated 1/27/11; Sheets 1-2 prepared by Bridgette Land Surveying, dated 1/27/11; Sheets C1-C11 prepared by Luke Beautz, dated November 2010.
-

All correspondence and maps relating to this land division shall carry the land division number noted above.

- I. Prior to exercising any rights granted by this Approval, the owner shall:
 - A. Sign, date and return one copy of the Approval to indicate acceptance and agreement with the conditions thereof.
 - B. Pay the required fee to the Clerk of the Board of the County of Santa Cruz for posting the Negative Declaration as required by the California Department of Fish and Game mitigation fees program.
- II. A Parcel Map for this land division must be recorded prior to the expiration date of the tentative map and prior to sale, lease or financing of any new lots. The Parcel Map shall be submitted to the County Surveyor (Department of Public Works) for review and approval prior to recordation. No improvements, including, without limitation, grading and vegetation removal, shall be done prior to recording the Parcel Map unless such improvements are allowable on the parcel as a whole (prior to approval of the land division). The Parcel Map shall meet the following requirements:
 - A. The Parcel Map shall be in general conformance with the approved Exhibit A and shall conform to the conditions contained herein. All other State and County laws relating to improvement of the property, or affecting public health and safety shall remain fully applicable. Any changes from the approved Exhibit "A" must be submitted for review

and approval by the Planning Department. Changes may be forwarded to the decision making body to consider if they are sufficiently material to warrant consideration at a public hearing noticed in accordance with Section 18.10.223 of the County Code. Any changes that are on the final plans which do not conform to the project conditions of approval shall be specifically illustrated on a separate sheet and highlighted in yellow on any set of plans submitted to the County for review.

- B. This land division shall result in no more than two (2) residential parcels total. A statement shall be added to clearly state that all structures must be located within the designated building envelope.
- C. The minimum amount of parcel area per dwelling unit shall be 5 acres of net developable land.
- D. The following items shall be shown on the Parcel Map:
 - 1. The building envelope on Parcel B shall encompass only the footprint of the proposed single family dwelling and the detached garage. The building envelopes for the perimeter of the project shall meet the minimum setbacks for the A (Agriculture) zone district of 20 feet for the front yard, side yards, and rear yard. [Mitigation Measure VII.B]
 - 2. Show the net developable land area of each lot to nearest square foot and to the nearest hundredth of an acre.
 - 3. A statement shall be added to clearly state that all structures must be located within the designated building envelopes.
 - 4. County recognized datum shall be used to prepare the map. County GIS "Countywide Contours" information is not survey grade information and shall not be used.
 - 5. The parcel map shall not include contour lines, spot elevations, slopes or existing structures.
 - 6. All symbols and line types used on the parcel map shall be identified in the legend.
- E. The following requirements shall be noted on the Parcel Map as items to be completed prior to obtaining a building and grading permit on lots created by this land division:
 - 1. Submit complete drainage and grading plans completed by a registered civil engineer. Plans shall include the following in additional to all other features as requested:
 - a. Specification of maintenance procedures to assure proper functioning of the drainage system.
 - b. Cross section construction detail for the driveway.

2. Submit detailed erosion/sediment control plans including erosion control measures to be utilized at the ends of the drainage swales.
3. Submit a soils report completed by a California licensed geotechnical engineer for review and approval by Environmental Planning Staff.
4. Submit an exterior lighting plan which shows all exterior lighting directed away from wooded areas and adjacent properties; light sources shielded by landscaping, fixture design or other physical means; and all exterior lighting utilizing high-pressure sodium vapor, metal halide, fluorescent, or equivalent energy-efficient fixtures, for review and approval by the Planning Department. [Mitigation Measure VII.A]
5. Obtain all approvals and pay all fees of the Department of Environmental Health Services for new wells and septic systems.
6. Plans shall note that all construction vehicles associated with the project must remain out of the Calabasas Road right of way at all times to ensure that both lanes of traffic remains open and unobstructed at all times.[Mitigation Measure VII.C]
7. Submit a plan to recycle and/or reuse excess post-construction materials, for review and approval by Planning Staff. [Mitigation Measure VII.D]
8. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district in which the project is located.
9. The project shall comply with all mitigations as recommended by Luke Beautz, Civil Engineer, Sight Distance Document dated January 28, 2011, including:
 - a. Trimming the existing vegetation on the west side of Calabasas Road to increase vehicular sight distance to speeds of 30 MPH.
10. Any changes between the Parcel Map and the approved Tentative Map must be submitted for review and approval by the Planning Department.

III. Prior to recordation of the Parcel Map, the following requirements shall be met:

- A. Submit a letter of certification from the Tax Collector's Office that there are no outstanding tax liabilities affecting the subject parcels.
- B. Meet all requirements and pay all fees of the of the Santa Cruz County Departments of Public Works Drainage and Road Engineering, and the County Department of Environmental Health Services.
- C. All requirements of the Santa Cruz County Fire Department (Calfire) shall be met and

all fees shall be paid.

- D. Park dedication in-lieu fees shall be paid for 3 bedrooms in one new dwelling unit (3 bedrooms per dwelling unit). These fees are currently \$578 per bedroom, but are subject to change.
- E. Child Care Development fees shall be paid for 3 bedrooms in one new dwelling unit (3 bedrooms per dwelling unit). These fees are currently \$109 per bedroom, but are subject to change.

IV. All future construction within the property shall meet the following conditions:

- A. All work adjacent to or within a County road shall be subject to the provisions of Chapter 9.70 of the County Code, including obtaining an encroachment permit where required. Where feasible, all improvements adjacent to or affecting a County road shall be coordinated with any planned County-sponsored construction on that road. Obtain an Encroachment Permit from the Department of Public Works for any work performed in the public right of way. All work shall be consistent with the Department of Public Works Design Criteria unless otherwise indicated on the approved improvement plans.
- B. No land disturbance shall take place prior to issuance of building permits (except to provide access for County required tests or to carry out work required by another of these conditions).
- C. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.

V. In the event that future County inspections of the subject property disclose non-compliance with any Conditions of this Approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including Approval revocation.

VI. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.

- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or

proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.

- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.
- E. Within 30 days of the issuance of this development approval, the Development Approval Holder shall record in the office of the Santa Cruz County Recorder an agreement, which incorporates the provisions of this condition, or this development approval shall become null and void.

VII. Mitigation Monitoring Program

The mitigation measures listed under this heading have been incorporated in the conditions of approval for this project in order to mitigate or avoid significant effects on the environment. As required by Section 21081.6 of the California Public Resources Code, a monitoring and reporting program for the above mitigation is hereby adopted as a condition of approval for this project. This program is specifically described following each mitigation measure listed below.

The purpose of this monitoring is to ensure compliance with the environmental mitigations during project implementation and operation. Failure to comply with the conditions of approval, including the terms of the adopted monitoring program, may result in permit revocation pursuant to section 18.10.462 of the Santa Cruz County Code.

A. Mitigation Measure: Nighttime Lighting

In order to mitigate impacts of nighttime lighting on the adjacent woodland habitat, Planning Staff shall ensure that an exterior lighting plan is submitted by the applicant which shows all exterior lighting directed away from wooded areas and adjacent properties; light sources shielded by landscaping, fixture design or other physical means; and all exterior lighting utilizing high-pressure sodium vapor, metal halide, fluorescent, or equivalent energy-efficient fixtures, for review and approval by the Planning Department prior to building permit issuance.

B. Mitigation Measure: Arable Agricultural Land

In order to mitigate impacts to arable agricultural land, Planning Staff shall ensure that, prior to parcel map recordation, the building envelope on Parcel B has been modified to encompass only the area of the single family dwelling and the detached garage.

C. Mitigation Measure: Emergency Access

In order to mitigate temporary construction impacts to emergency access on Calabasas Road to a less than significant impact, conditions of approval of the permit will require that all construction vehicles associated with the project remain out of the Calabasas Road right of way at all times to ensure that both lanes of traffic remains open and unobstructed at all times.

D. Mitigation Measure: Landfill Capacity

In order to mitigate the impacts of temporary construction debris on regional landfills to less than significant, Planning Department staff shall ensure that the applicant submits a plan to recycle and/or reuse excess post-construction materials, for review and approval by Planning Staff prior to building permit issuance.

**AMENDMENTS TO THIS LAND DIVISION APPROVAL SHALL BE
PROCESSED IN ACCORDANCE WITH CHAPTER 18.10 OF THE COUNTY CODE.**

This Tentative Map is approved subject to the above conditions and the attached map, and expires 24 months after the 14-day appeal period. The Parcel Map for this division, including improvement plans if required, should be submitted to the County Surveyor for checking **at least 90 days** prior to the expiration date and in no event later than 3 weeks prior to the expiration date.

cc: County Surveyor

Approval Date: _____

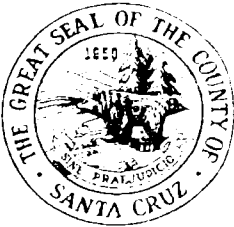
Effective Date: _____

Expiration Date: _____

Cathy Graves
Principal Planner

Samantha Haschert
Project Planner

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Planning Commission, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
KATHY MOLLOY PREVISICH, PLANNING DIRECTOR

NEGATIVE DECLARATION AND NOTICE OF DETERMINATION

101044 682 CALABASAS ROAD, WATSONVILLE APN(S): 049-062-12

Proposal to divide a 13.56 acre parcel into two parcels of 5.37 acres and 8.19 acres. Requires a Minor Land Division and Archaeological Report Review (REV101020). Property located on the east side of Chandler Lane at the intersection of Chandler and Calabasas in Watsonville.

ZONE DISTRICT: A (Agriculture)

APPLICANT: Frank Phantom

OWNER: Stephen Adanalian

PROJECT PLANNER: SAMANTHA HASCHERT, 454-3214

EMAIL: pln145@co.santa-cruz.ca.us

ACTION: Negative Declaration with mitigations

REVIEW PERIOD: begins May 17, 2011 and ends June 6, 2011

This project will be considered at a public hearing by the Planning Commission. The time, date and location have not been set. When scheduling does occur, these items will be included in all public hearing notices for the project.

Findings:

This project, if conditioned to comply with required mitigation measures or conditions shown below, will not have significant effect on the environment. The expected environmental impacts of the project are documented in the Initial Study on this project, attached to the original of this notice on file with the Planning Department, County of Santa Cruz, 701 Ocean Street, Santa Cruz, California.

Required Mitigation Measures or Conditions:

_____ None
XX _____ Are Attached

Review Period Ends: JUNE 6, 2011

Date Approved By Environmental Coordinator: 6/15/11
Matt Johnston
MATT JOHNSTON
Environmental Coordinator
(831) 454-3201

If this project is approved, complete and file this notice with the Clerk of the Board:

NOTICE OF DETERMINATION

The Final Approval of This Project was Granted by _____

on _____ No EIR was prepared under CEQA.
(Date)

THE PROJECT WAS DETERMINED TO NOT HAVE SIGNIFICANT EFFECT ON THE ENVIRONMENT.

Date completed notice filed with Clerk of the Board: _____

NAME: Adanalian
APPLICATION: 101044
A.P.N: 049-062-12

NEGATIVE DECLARATION MITIGATIONS

1. In order to mitigate impacts of nighttime lighting on the adjacent woodland habitat, the applicant or property owner shall submit an exterior lighting plan for review and approval by the Planning Department prior to building permit issuance which shows: all exterior lighting directed away from wooded areas and adjacent properties; light sources shielded by landscaping, fixture design or other physical means; and all exterior lighting utilizing high-pressure sodium vapor, metal halide, fluorescent, or equivalent energy-efficient fixtures.
2. In order to mitigate impacts to arable agricultural land prior to issuance of a building permit the project plans shall be modified to remove the second unit from the arable land area of the parcel.
3. In order to mitigate temporary construction impacts to emergency access on Calabasas Road to a less than significant impact, conditions of approval of the permit would require that all construction vehicles associated with the project remain out of the Calabasas Road right of way at all times to ensure that both lanes of traffic remains open and unobstructed at all times.
4. In order to mitigate the impacts of temporary construction debris on regional landfills to less than significant, the applicant shall submit a plan to recycle and/or reuse excess post-construction materials, for review and approval by Planning Staff prior to building permit issuance. Implementation of this mitigation will maximize recycling and reuse of construction materials and will minimize contributions to the landfill.



County of Santa Cruz

PLANNING DEPARTMENT
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CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) ENVIRONMENTAL REVIEW INITIAL STUDY

Date: April 18, 2011

Application Number: 101044

Staff Planner: Samantha Haschert

I. OVERVIEW AND ENVIRONMENTAL DETERMINATION

APPLICANT: Frank Phantom

APN(s): 049-062-12

OWNER: Stephen Adanalian

SUPERVISORAL DISTRICT: 2nd

PROJECT LOCATION: Property located on the east side of Chandler Lane at the intersection of Chandler and Calabasas in Watsonville (682 Calabasas Road).

SUMMARY PROJECT DESCRIPTION:

Proposal to divide a 13.56 acre parcel into two parcels of 5.37 acres and 8.19 acres. Requires a Minor Land Division and an Archaeological Report Review.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED: All of the following potential environmental impacts are evaluated in this Initial Study. Categories that are marked have been analyzed in greater detail based on project specific information.

- | | |
|--|---|
| <input type="checkbox"/> Geology/Soils | <input type="checkbox"/> Noise |
| <input type="checkbox"/> Hydrology/Water Supply/Water Quality | <input type="checkbox"/> Air Quality |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Greenhouse Gas Emissions |
| <input checked="" type="checkbox"/> Agriculture and Forestry Resources | <input type="checkbox"/> Public Services |
| <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Visual Resources & Aesthetics | <input type="checkbox"/> Utilities & Service Systems |
| <input checked="" type="checkbox"/> Cultural Resources | <input type="checkbox"/> Land Use and Planning |
| <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Population and Housing |
| <input checked="" type="checkbox"/> Transportation/Traffic | <input type="checkbox"/> Mandatory Findings of Significance |

DISCRETIONARY APPROVAL(S) BEING CONSIDERED:

- | | |
|---|---|
| <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Coastal Development Permit |
| <input checked="" type="checkbox"/> Land Division | <input type="checkbox"/> Grading Permit |
| <input type="checkbox"/> Rezoning | <input type="checkbox"/> Riparian Exception |
| <input type="checkbox"/> Development Permit | <input type="checkbox"/> Other: |

NON-LOCAL APPROVALS

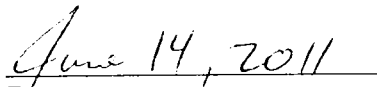
Other agencies that must issue permits or authorizations: None

DETERMINATION: (To be completed by the lead agency)

On the basis of this initial evaluation:

- ☐ I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- ☒ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- ☐ I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- ☐ I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- ☐ I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.


Matthew Johnston
Environmental Coordinator


Date

II. BACKGROUND INFORMATION

EXISTING SITE CONDITIONS

Parcel Size: 13.56 acres

Existing Land Use: Residential and some agriculture (previous use)

Vegetation: Open grassland; oaks trees and cypress trees.

Slope in area affected by project: ☒ 0 - 30% ☐ 31 - 100%

Nearby Watercourse: Corralitos Lagoon is located over 600 feet from north property line; Drainage from Corralitos Lagoon runs about 360 feet from the east property line.

ENVIRONMENTAL RESOURCES AND CONSTRAINTS

Water Supply Watershed: Not Mapped

Groundwater Recharge: Not Mapped

Timber or Mineral: Not Mapped

Agricultural Resource: Property is zoned A (Agriculture); not a mapped agricultural resource.

Biologically Sensitive Habitat: Not Mapped

Fire Hazard: Mapped fire hazard at edges of property; no development proposed within mapped fire hazard area.

Floodplain: Not Mapped

Erosion: Partially Mapped; final erosion control plans required prior to map recordation.

Landslide: Not Mapped

Liquefaction: Mapped low liquefaction potential

Fault Zone: Not Mapped

Scenic Corridor: Not Mapped

Historic: None

Archaeology: Mapped for archaeological resources; reconnaissance completed 3/22/10; no archaeological resources evident at site.

Noise Constraint: None

Electric Power Lines: None

Solar Access: Good solar access; primarily flat at building site and clear of trees.

Solar Orientation: Proposed building envelope is south facing.

Hazardous Materials: None

Other: None

SERVICES

Fire Protection: Pajaro Valley FPD

School District: Pajaro Valley USD

Sewage Disposal: Private septic systems

Drainage District: Zone 7

Project Access: Via Calabasas Road

Water Supply: Private wells

PLANNING POLICIES

Zone District: A (Agriculture)

General Plan: R-R (Rural Residential)

Urban Services Line: ☐ Inside

Coastal Zone: ☐ Inside

Special Designation: None

☒ Outside

☒ Outside

ENVIRONMENTAL SETTING AND SURROUNDING LAND USES:

The subject property is located on the northeast corner of the Calabasas Road – Chandler Lane intersection in Watsonville. The parcel to be divided is currently developed with an approximately 2,300 square foot house, a 1,122 square foot garage, a 3,138 square foot barn, a three sided 600 square foot shed, and an approximately 80 square foot horse riding arena. The parcel takes access from Corralitos Road.

The topography of the parcel is primarily flat in the proposed and existing building locations with gentle upward slopes to the east. The downward slope steepens at the west and south property lines. There is a buffer of vegetation located along the south and east property lines.

Adjacent parcels to the north, west, and southwest are large lots (minimum of 5 acres) and are developed with single family dwellings. These properties are zoned Residential Agriculture (RA) and Special Use (SU). Adjacent parcels to the south and east are zoned Agriculture (A) and Commercial Agriculture (CA) and are developed with single family dwellings and other commercial agriculture uses and structures.

All adjacent parcels to the northwest, west and south are designated as Rural Residential (R-R) in the County General Plan and the adjacent parcels to the northeast and east are designated as Agriculture (AG).

PROJECT BACKGROUND:

In 2005 and 2009, the property owner obtained rural matrices in order to determine the minimum lot size to facilitate a land division. The most recent rural matrix (09-0287; ATTACHMENT 7) determined a minimum average developable parcel size of 5 acres, thereby allowing for two parcels to be created. The rural matrix identified portions of the east and north properties lines as mapped Fire Hazard areas, however, the proposed building envelope and existing structures are located outside of the mapped areas, which is consistent with General Plan Policy 6.5.4(d).

In 2008, the property owner received a permit to recognize the 1122 square foot, non-habitable garage, which currently exists on site.

DETAILED PROJECT DESCRIPTION:

The proposal is to divide the existing 13.56 acre parcel into two parcels of 8.19 acres (7.73 net acres) and 5.37 acres (5.04 net acres) and to create a building envelope on the newly created vacant parcel to construct an approximately 3600 square foot single family dwelling with a detached garage and a 1200 square foot second unit.

The proposed new dwelling unit would take access via a separate 12 foot wide, 540 foot long private driveway which shall be required to meet all design criteria of the Pajaro Valley Fire Protection District. There is an existing 12 foot wide driveway which would remain to access the existing structures on the property.

The property is not designated as an Agricultural Resource Type in the County General Plan; however, the parcel is currently zoned A (Agriculture) and the arable land would

essentially be divided between both proposed new parcels. The property owner is requesting that a 1200 square foot second unit be located on the arable portion of the parcel.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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III. ENVIRONMENTAL REVIEW CHECKLIST

A. GEOLOGY AND SOILS

Would the project:

1. Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:
 - A. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.
 - B. Strong seismic ground shaking?
 - C. Seismic-related ground failure, including liquefaction?
 - D. Landslides?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion (A through D): The project site is located outside of the limits of the State Alquist-Priolo Special Studies Zone (County of Santa Cruz GIS Mapping, California Division of Mines and Geology, 2001); however, the project site is located approximately 1.5 mile(s) west of the Zayante fault. Each fault is capable of generating moderate to severe ground shaking from a major earthquake; consequently, large earthquakes can be expected in the future. The October 17, 1989 Loma Prieta earthquake (magnitude 7.1) was the second largest earthquake in central California history.

All of Santa Cruz County is subject to some hazard from earthquakes, however, the project site is not located within or adjacent to a County or state mapped fault zone, therefore the potential for ground surface rupture is low. The project site is likely to be subject to strong seismic shaking during the life of the improvements. The improvements would be designed in accordance with the Uniform Building Code, which should reduce the hazards of seismic shaking and liquefaction to a less than significant level. There is no indication that landsliding is a hazard at this site.

2. Be located on a geologic unit or soil

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?

Discussion: Following a review of mapped information and a field visit to the site, there is no indication that the development site is subject to a significant potential for damage caused by any of these hazards. Recommended conditions of approval of the project would require the property owner to submit a geotechnical report to obtain recommendations for foundation design.

3. Develop land with a slope exceeding 30%? ☐ ☐ ☒ ☐

Discussion: There are slopes that exceed 30% on the property, however, no improvements are proposed on slopes in excess of 30%.

4. Result in substantial soil erosion or the loss of topsoil? ☐ ☐ ☒ ☐

Discussion: Some potential for erosion exists during the construction phase of the project, however, this potential is minimal because erosion control measures such as the installation of silt fencing and drop inlet sediment barriers have been proposed as a part of the project and no land clearing, grading or excavation would take place after October 15th or prior to April 15th. Prior to approval of a grading or building permit, the project must have an approved Erosion Control Plan, which will specify detailed erosion and sedimentation control measures. The plan will include provisions for disturbed areas to be planted with ground cover and to be maintained to minimize surface erosion.

5. Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property? ☐ ☐ ☒ ☐

Discussion: There is no indication that the development site is subject to substantial risk caused by expansive soils.

6. Place sewage disposal systems in areas dependent upon soils incapable of adequately supporting the use of septic tanks, leach fields, or alternative waste water disposal systems where sewers are not available? ☐ ☐ ☒ ☐

Discussion: The proposed future single family dwelling would use an onsite sewage

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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disposal system, and County Environmental Health Services issued an approved preliminary onsite sewage disposal evaluation for the proposed parcel in July 2010.

7. Result in coastal cliff erosion? ☐ ☐ ☐ ☒

Discussion: The proposed project is not located in the vicinity of a coastal cliff or bluff; and therefore, would not contribute to coastal cliff erosion.

B. HYDROLOGY, WATER SUPPLY, AND WATER QUALITY

Would the project:

1. Place development within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? ☐ ☐ ☐ ☒

Discussion: According to the Federal Emergency Management Agency (FEMA) National Flood Insurance Rate Map, dated March 2, 2006, no portion of the project site lies within a 100-year flood hazard area.

2. Place within a 100-year flood hazard area structures which would impede or redirect flood flows? ☐ ☐ ☐ ☒

Discussion: According to the Federal Emergency Management Agency (FEMA) National Flood Insurance Rate Map, dated March 2, 2006, no portion of the project site lies within a 100-year flood hazard area.

3. Be inundated by a seiche, tsunami, or mudflow? ☐ ☐ ☐ ☒

Discussion: This is not applicable because the subject parcel is not located in the vicinity of an ocean bluff.

4. Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)? ☐ ☐ ☒ ☐

Discussion: The project would rely on a private well for water supply which has been

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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reviewed and approved by County Environmental Health Services as appropriate for the area which is not located in a mapped groundwater recharge area.

5. Substantially degrade a public or private water supply? (Including the contribution of urban contaminants, nutrient enrichments, or other agricultural chemicals or seawater intrusion). ☐ ☐ ☒ ☐

Discussion: The project may discharge some runoff into a public or private water supply in that runoff will be directed to the southeast and it is unknown if any public or private water supplies exist downstream. However, the additional runoff would be minimal and would not substantially degrade the water supply in that a drainage system would be installed onsite to hold runoff to predevelopment rates. The proposed drainage system would include roadside trenches, earthen swales, and a storm water detention pond with small storm retention. Runoff from this project may contain small amounts of chemicals and other household contaminants, however, no commercial or industrial activities are proposed that would contribute significant contaminants. Potential siltation from the proposed project will be addressed through implementation of erosion control measures.

6. Degrade septic system functioning? ☐ ☐ ☒ ☐

Discussion: A preliminary onsite sewage disposal evaluation was issued by County Environmental Health Services in July 2010 and there is no indication that existing septic systems in the vicinity would be affected by the project.

7. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding, on- or off-site? ☐ ☐ ☒ ☐

Discussion: The proposed new residence and site improvements would not substantially alter the existing overall drainage pattern of the site or area. Due to the topography of the site, stormwater currently drains off site to the north, east or west and the proposed drainage system would direct runoff to the east while incorporating a detention and retention basin, trenches and swales to maintain predevelopment runoff rates. Department of Public Works Drainage Section staff has reviewed and approved the proposed drainage plan.

8. Create or contribute runoff water which ☐ ☐ ☒ ☐

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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would exceed the capacity of existing or planned storm water drainage systems, or provide substantial additional sources of polluted runoff?

Discussion: Department of Public Works Drainage staff has reviewed the project and has determined that the proposed storm water facilities are adequate to handle the increase in drainage associated with the project. The runoff rate from the property would be controlled by a detention pond with small storm retention at the southeastern property line of northern proposed parcel with overflow to a rock energy dissipater. Refer to response B-5 for discussion of urban contaminants and/or other polluting runoff.

- | | | | | | |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 9. | Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The proposal includes storm water facilities which have been reviewed and approved by Department of Public Works Drainage staff to adequately control storm water and mitigate the risks of flooding on nearby drainage paths to less than significant.

- | | | | | | |
|-----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 10. | Otherwise substantially degrade water quality? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|-----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The Department of Public Works Drainage Section staff has determined that the proposed project would not substantially degrade water quality and has approved preliminary plans for site improvements which would include water quality treatment boxes along the new access road and at the southeast corner of the proposed structures to control urban runoff pollution.

C. BIOLOGICAL RESOURCES

Would the project:

- | | | | | | |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 1. | Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game, or U.S. Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: According to the California Natural Diversity Data Base (CNDDB), maintained by the California Department of Fish and Game, there are no known

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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special status plant or animal species in the site vicinity, and there were no special status species observed in the project area.

- | | | | | | |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 2. | Have a substantial adverse effect on any riparian habitat or sensitive natural community identified in local or regional plans, policies, regulations (e.g., wetland, native grassland, special forests, intertidal zone, etc.) or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: There are no mapped or designated sensitive biotic communities on or adjacent to the project site.

- | | | | | | |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 3. | Interfere substantially with the movement of any native resident or migratory fish or wildlife species, or with established native resident or migratory wildlife corridors, or impede the use of native or migratory wildlife nursery sites? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The proposed project does not involve any activities or fences that would interfere with the movements or migrations of fish or wildlife, or impede use of a known wildlife nursery site.

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|----|---|--------------------------|-------------------------------------|--------------------------|--------------------------|
| 4. | Produce nighttime lighting that would substantially illuminate wildlife habitats? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
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Discussion: The development area is located in a rural area and is adjacent to areas which could be adversely affected by a new or additional source of light that is not adequately deflected or minimized. A mitigation would require the applicant or property owner to submit an exterior lighting plan for review and approval by the Planning Department prior to building permit issuance which shows: all exterior lighting directed away from wooded areas and adjacent properties; light sources shielded by landscaping, fixture design or other physical means; and all exterior lighting utilizing high-pressure sodium vapor, metal halide, fluorescent, or equivalent energy-efficient fixtures.

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| 5. | Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to marsh, vernal pool, coastal, etc.) through direct removal, filling, | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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hydrological interruption, or other means?

Discussion: There are no mapped wetlands or wet areas on the subject parcel.

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|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 6. | Conflict with any local policies or ordinances protecting biological resources (such as the Sensitive Habitat Ordinance, Riparian and Wetland Protection Ordinance, and the Significant Tree Protection Ordinance)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: County staff has determined that there are no protected biological resources on the parcel and the project would not conflict with any local policies or ordinances protecting biological resources.

- | | | | | | |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 7. | Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The proposed project would not conflict with the provisions of any adopted Habitat Conservation Plan Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan; therefore, no impact would occur.

D. AGRICULTURE AND FOREST RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment Project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:

- | | | | | | |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 1. | Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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Discussion: The project site does not contain any lands designated as Prime Farmland, Unique Farmland, or Farmland of Statewide Importance as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency. In addition, the project does not contain Farmland of Local Importance. Therefore, no Prime Farmland, Unique Farmland, Farmland of Statewide or Farmland of Local Importance would be converted to a non-agricultural use. No impact would occur from project implementation.

- | | | | | | |
|----|---|--------------------------|-------------------------------------|--------------------------|--------------------------|
| 2. | Conflict with existing zoning for agricultural use, or a Williamson Act contract? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|-------------------------------------|--------------------------|--------------------------|

Discussion: The property is zoned A (Agriculture) which is considered to be an agricultural zone that is not suitable for large scale commercial agriculture but which still allows for limited commercial agricultural activities or non-commercial agricultural uses. The arable land would be divided between the two newly created parcels. In order to avoid impacts to arable land, prior to issuance of a building permit the project plans shall be modified to remove the second unit from the arable land area of the parcel. Implementation of this mitigation will ensure that the proposed development will not significantly reduce arable land area available for a potential future agricultural use and would reduce impacts to agricultural land to less than significant.

- | | | | | | |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 3. | Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: There are no timber resources designated on the subject parcel and the parcel is not located adjacent to land designated as a timber resource; therefore there is no impact.

- | | | | | | |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 4. | Result in the loss of forest land or conversion of forest land to non-forest use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: No forest land occurs on the project site. Marginal forest land occurs to the west of the property, however, the proposed development would occur on the east side of the parcel and the forest land is separated from the parcel by Chandler Lane and Calabasas Road. No impact is anticipated.

- | | | | | | |
|----|---|--------------------------|-------------------------------------|--------------------------|--------------------------|
| 5. | Involve other changes in the existing environment which, due to their location or nature, could result in | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|-------------------------------------|--------------------------|--------------------------|

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?

Discussion: Some of the existing parcel area would be converted to a non-agricultural use with the construction of a single family dwelling and associated improvements. The parcel is zoned A (Agriculture) which is intended to allow for limited, non-commercial agricultural uses, such as family farming, where the use is compatible with the surrounding land uses and the environmental constraints of the land. Additionally, the parcel is designated as R-R (Rural Residential) in the County General Plan which is intended to allow for low density residential development. The proposed project would result in two parcels, each with one single family dwelling and outbuildings and each with approximately 1.5 acres of potentially arable land. A mitigation is included which does not allow for the construction of the second unit in the proposed location over arable land. Implementation of this mitigation will ensure that the proposed development will not significantly reduce arable land area available for a potential future agricultural use and will reduce impacts to agricultural land to less than significant.

E. MINERAL RESOURCES

Would the project:

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 1. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The site does not contain any known mineral resources that would be of value to the region and the residents of the state. Therefore, no impact is anticipated from project implementation.

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 2. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project site is zoned A (Agriculture) which is not an Extractive Use Zone (M-3) and the parcel designation does not include a Quarry Designation Overlay (Q) (County of Santa Cruz 1994). Therefore, no potentially significant loss of availability of a known mineral resource of locally important mineral resource recovery (extraction) site delineated on a local general plan, specific plan or other land use plan would occur as a result of this project.

F. VISUAL RESOURCES AND AESTHETICS

Would the project:

- | | | | | |
|---------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 1. Have an adverse effect on a scenic | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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vista?

Discussion: The project would not impact any public scenic resources, as designated in the County's General Plan (1994), or obstruct any public views of these visual resources.

- | | | | | | |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 2. | Substantially damage scenic resources, within a designated scenic corridor or public view shed area including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project site is not located along a County designated scenic road, public viewshed area, scenic corridor, within a designated scenic resource area, or within a state scenic highway; therefore, no impact is anticipated.

- | | | | | | |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 3. | Substantially degrade the existing visual character or quality of the site and its surroundings, including substantial change in topography or ground surface relief features, and/or development on a ridgeline? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The proposed project would result in minimal visual impact on the existing character and quality of the site. The existing 13.56 acre parcel is developed with one single family residence and the remainder of the parcel is an open field. The addition of a second single family dwelling and associated site improvements would reduce the open field area but would not substantially degrade the visual character or quality of the site given that post-construction, both parcels will maintain over 2 acres each of open space. The proposed project is designed and landscaped so as to fit into the existing setting.

- | | | | | | |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 4. | Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The project would create a minimal increase in night lighting associated with the proposed new residence, however, this increase would be minimal, and would be similar in character to the lighting associated with the surrounding existing residential uses.

G. CULTURAL RESOURCES

Would the project:

- | | | | | | |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 1. | Cause a substantial adverse change in the significance of a historical resource | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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as defined in CEQA Guidelines
Section 15064.5?

Discussion: The existing structures on the property are not designated as historic resources on any federal, state or local inventory.

- | | | | | | |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 2. | Cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA Guidelines Section 15064.5? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: According to the Preliminary Archaeological Reconnaissance conducted by Archaeological Consulting, dated 3/22/10, (ATTACHMENT 5) there is no evidence of pre-historic cultural resources on the property. However, pursuant to Section 16.40.040 of the Santa Cruz County Code, if archeological resources are uncovered during construction, the responsible persons shall immediately cease and desist from all further site excavation and comply with the notification procedures given in County Code Chapter 16.40.040.

- | | | | | | |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 3. | Disturb any human remains, including those interred outside of formal cemeteries? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: Pursuant to Section 16.40.040 of the Santa Cruz County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this project, human remains are discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the sheriff-coroner and the Planning Director. If the coroner determines that the remains are not of recent origin, a full archeological report shall be prepared and representatives of the local Native California Indian group shall be contacted. Disturbance shall not resume until the significance of the archeological resource is determined and appropriate mitigations to preserve the resource on the site are established.

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|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 4. | Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: No unique paleontological resources, sites, or geological features have been identified within the proposed disturbance area.

H. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- | | | | | | |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 1. | Create a significant hazard to the public or the environment as a result of the routine transport, use or disposal of hazardous materials? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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Discussion: No hazardous materials would be transported, used, or disposed as a part of the land division or resulting single family dwellings.

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|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 2. | Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: Construction of the single family dwelling and associated site improvements would not involve the release of hazardous materials into the environment which would create a significant hazard to the public or environment, therefore there is no impact.

- | | | | | | |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 3. | Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The site is not located within one quarter mile of an existing or proposed school and there are no hazardous emissions or hazardous materials, substances, or waste that would be associated with the proposed single family dwelling or minor land division; therefore there is no impact. See Item H.1 regarding recycling of paint and other construction materials.

- | | | | | | |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 4. | Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project site is not included on the 4/8/2011 list of hazardous sites in Santa Cruz County compiled pursuant to the specified code.

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|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 5. | For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The parcel is not located within an airport land use plan or within two

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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miles of a public or public use airport; therefore there is no impact.

- | | | | | | |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 6. | For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The parcel is not located within the vicinity of a private airstrip; therefore there is no impact.

- | | | | | | |
|----|--|--------------------------|-------------------------------------|--------------------------|--------------------------|
| 7. | Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|----|--|--------------------------|-------------------------------------|--------------------------|--------------------------|

Discussion: The proposed project does not conflict with the County's adopted Emergency Management Plan (April 2002). Specific countywide evacuation routes are not designated in the Emergency Management Plan; rather, feasible routes are determined based on particular events. Therefore, the portion of Calabasas Road adjacent to the subject property could perform as a potential evacuation route in an emergency event; however, the construction of one additional single family residence will not permanently impair through access. In order to mitigate temporary construction impacts on emergency access on Calabasas Road to a less than significant impact, conditions of approval of the permit would require that all construction vehicles associated with the project remain out of the Calabasas Road right of way at all times to ensure that both lanes of traffic remains open and unobstructed at all times.

- | | | | | | |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 8. | Expose people to electro-magnetic fields associated with electrical transmission lines? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: Electric lines associated with the proposed single family dwelling would be located underground and would not be high voltage transmission; therefore, people will not be exposed to electro-magnetic fields.

- | | | | | | |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 9. | Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The eastern portion of the subject parcel is mapped as a fire hazard area, however, there is no proposed development within the mapped portion of the property and the project design incorporates all applicable fire safety code requirements and includes fire protection devices as required by the local fire agency.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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I. TRANSPORTATION/TRAFFIC

Would the project:

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|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 1. | Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The project would result in only one new single family dwelling; therefore, the expected number of new trips created by the project is less than significant. Further, the increase would not cause the Level of Service at any nearby intersection to drop below Level of Service D.

- | | | | | | |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 2. | Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The proposed project does not impact air traffic patterns, therefore there is no impact.

- | | | | | | |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 3. | Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The proposed project would result in two parcels each with one single family dwelling. The proposed new parcel would take access from the existing driveway on Calabasas Road and the land division would not result in increase hazards along Calabasas or Chandler Road. The property owner would be required to remove the existing vegetation at the County Road intersection as per County Design Criteria.

- | | | | | | |
|----|--|--------------------------|-------------------------------------|--------------------------|--------------------------|
| 4. | Result in inadequate emergency access? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|----|--|--------------------------|-------------------------------------|--------------------------|--------------------------|

Discussion: The project's road access meets County standards and has been approved by the local fire agency or California Department of Forestry, as appropriate. Further, mitigations would require both lanes of Calabasas Road to be open at all

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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times during construction to ensure adequate emergency vehicle access.

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|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 5. | Cause an increase in parking demand which cannot be accommodated by existing parking facilities? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The project meets the code requirements for the required number of parking spaces and therefore new parking demand would be accommodated on site.

- | | | | | | |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 6. | Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The proposed project would comply with current road requirements to prevent potential hazards to motorists, bicyclists, and/or pedestrians and the property owner would be required to trim vegetation on Calabasas Road as per County Design Criteria.

- | | | | | | |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 7. | Exceed, either individually (the project alone) or cumulatively (the project combined with other development), a level of service standard established by the County General Plan for designated intersections, roads or highways? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: See response I-1 above.

J. NOISE

Would the project result in:

- | | | | | | |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 1. | A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The project would create a minimal increase in the existing noise environment given the associated temporary construction noise and permanent noise associated with a new single family dwelling. However, this increase would be small, and would be similar in character to noise generated by the surrounding existing uses.

- | | | | | | |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 2. | Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: No groundborne vibrations or noise levels will be created as a result of

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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the proposed minor land division, single family dwelling or accessory dwelling unit; therefore there is no impact.

3. Exposure of persons to or generation of noise levels in excess of standards established in the General Plan or noise ordinance, or applicable standards of other agencies?
- | | | | |
|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: Per County policy, average hourly noise levels shall not exceed the General Plan threshold of 50 Leq during the day and 45 Leq during the nighttime and impulsive noise levels shall not exceed 65 db during the day or 60 db at night. The proposed minor land division and residential use will not exceed these limitations in that the noises associated with a residential use are below the maximum thresholds for noise in the County General Plan and are consistent with surrounding rural residential land uses.

4. A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?
- | | | | |
|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: Noise generated during construction would increase the ambient noise levels for adjoining areas. Construction would be temporary and given the limited duration of this impact it is considered to be less than significant.

5. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?
- | | | | |
|--------------------------|--------------------------|--------------------------|-------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project site is not located within an airport land use plan or within two miles of a public airport, therefore, there is no impact.

6. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?
- | | | | |
|--------------------------|--------------------------|--------------------------|-------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project site is not located within the vicinity of a private airstrip, therefore, there is no impact.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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K. AIR QUALITY

Where available, the significance criteria established by the Monterey Bay Unified Air Pollution Control District (MBUAPCD) may be relied upon to make the following determinations. Would the project:

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|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 1. Violate any air quality standard or contribute substantially to an existing or projected air quality violation? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The North Central Coast Air Basin does not meet state standards for ozone and particulate matter (PM₁₀). Therefore, the regional pollutants of concern that would be emitted by the project are ozone precursors (Volatile Organic Compounds [VOCs] and nitrogen oxides [NO_x]), and dust.

Given the modest amount of new traffic that would be generated by the project there is no indication that new emissions of VOCs or NO_x would exceed MBUAPCD thresholds for these pollutants and therefore there would not be a significant contribution to an existing air quality violation.

Project construction may result in a short-term, localized decrease in air quality due to generation of dust. However, standard dust control best management practices, such as periodic watering, will be implemented during construction to reduce impacts to a less than significant level.

- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 2. Conflict with or obstruct implementation of the applicable air quality plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The project would not conflict with or obstruct implementation of the regional air quality plan. See K-1 above.

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|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 3. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: See K-1 above.

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 4. Expose sensitive receptors to substantial pollutant concentrations? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: No substantial pollutant concentrations would be emitted during or as a result of the proposal, with the exception of CO₂ emissions from construction vehicles and large events, which would be temporary and not substantial.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 5. | Create objectionable odors affecting a substantial number of people? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: No objectionable odors would be created during construction or as a result of the proposed project; therefore there is no impact.

L. GREENHOUSE GAS EMISSIONS

Would the project:

- | | | | | | |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 1. | Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The proposed project, like all development, would be responsible for an incremental increase in green house gas emissions by usage of fossil fuels during the site grading and construction. At this time, Santa Cruz County is in the process of developing a Climate Action Plan (CAP) intended to establish specific emission reduction goals and necessary actions to reduce greenhouse gas levels to pre-1990 levels as required under AB 32 legislation. Until the CAP is completed, there are no specific standards or criteria to apply to this project. All project construction equipment would be required to comply with the Regional Air Quality Control Board emissions requirements for construction equipment. As a result, impacts associated with the temporary increase in green house gas emissions are expected to be less than significant.

- | | | | | | |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 2. | Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: See the discussion under L-1 above. No significant impacts are anticipated.

M. PUBLIC SERVICES

Would the project:

- | | |
|----|---|
| 1. | Result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for any of the public services: |
|----|---|

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
a. Fire protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Parks or other recreational activities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Other public facilities; including the maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion (a through e): While the project represents an incremental contribution to the need for services, the increase would be minimal. Moreover, the project meets all of the standards and requirements identified by the local fire agency or California Department of Forestry, as applicable, and school, park, and transportation fees to be paid by the applicant would be used to offset the incremental increase in demand for school and recreational facilities and public roads.

N. RECREATION

Would the project:

- | | | | | | |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 1. | Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The proposed project would result in the development of one new single family dwelling which would potentially increase the use of an existing neighborhood or regional park or other recreational facilities; however, given the minimal increase in population associated with one single family dwelling, the additional impact would not substantially add to or accelerate the physical deterioration of the facility.

- | | | | | | |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 2. | Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: No recreational facilities would be constructed or expanded as a part of the project.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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O. UTILITIES AND SERVICE SYSTEMS

Would the project:

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|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 1. Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: Drainage analysis of the site was conducted by Luke Beautz (dated November 2010). Storm water drainage facilities would be constructed as a part of the project to hold post-development runoff to pre-construction rates consistent with a 10-year storm. The proposed system would include the construction of a detention/retention pond with an orifice and rock energy dissipater at the eastern portion of the proposed new parcel and three inlet and rock-filled trench systems to be located along the proposed new access road. The proposed systems will reduce the potential for flooding associated with new impervious surface and the construction of these facilities will not significantly impact the environment.

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 2. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The project would rely on an individual well for water supply and on an on-site septic system for sewage disposal. Both proposed systems have been determined by the County Environmental Health Services Department as adequate to accommodate the relatively light demands of the project. Public water delivery facilities and wastewater treatment facilities would not have to be expanded to support the project.

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 3. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project's wastewater flows would not violate any wastewater treatment standards.

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|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 4. Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The County Environmental Health Services Department has determined

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
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that the proposed and existing wells will be sufficient to serve the proposed project and that no new entitlements or expanded entitlements are needed. Each resulting parcel would be served by an individual well.

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|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 5. | Result in determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: Refer to Sections O.2 and O.4.

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|----|---|--------------------------|-------------------------------------|--------------------------|--------------------------|
| 6. | Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|-------------------------------------|--------------------------|--------------------------|

Discussion: The project would make a one-time contribution to the reduced capacity of regional landfills during construction. However, the property is currently vacant in the proposed building area and no demolition is required. Regional landfills are reaching capacity, therefore, in order to mitigate the impacts of temporary construction debris to less than significant, a mitigation will require the applicant to submit a plan to recycle and/or reuse excess post-construction materials, for review and approval by Planning Staff prior to building permit issuance. Implementation of this mitigation will maximize recycling and reuse of construction materials and will minimize contributions to the landfill.

- | | | | | | |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 7. | Comply with federal, state, and local statutes and regulations related to solid waste? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: Solid waste accumulation is anticipated to increase slightly as a result of the new residential uses; however, the increase would be minimal and is not anticipated to result in a breach of federal, state, or local statutes and regulations.

P. LAND USE AND PLANNING

Would the project:

- | | | | | | |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 1. | Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
--------------------------------------	--	------------------------------------	-----------

mitigating an environmental effect?

Discussion: The proposed project does not conflict with any regulations or policies adopted for the purpose of avoiding or mitigating an environmental effect.

- | | | | | | |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 2. | Conflict with any applicable habitat conservation plan or natural community conservation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: There are no habitat conservation plans or natural community conservation plans applicable to the subject property.

- | | | | | | |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 3. | Physically divide an established community? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|----|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: The project does not include any element that would physically divide an established community.

Q. POPULATION AND HOUSING

Would the project:

- | | | | | | |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 1. | Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The proposed project would not induce substantial population growth in an area because the project does not propose any physical or regulatory change that would remove a restriction to or encourage population growth in an area including, but limited to the following: new or extended infrastructure or public facilities; new commercial or industrial facilities; large-scale residential development; accelerated conversion of homes to commercial or multi-family use; or regulatory changes including General Plan amendments, specific plan amendments, zone reclassifications, sewer or water annexations; or LAFCO annexation actions.

The proposed project is designed at the density and intensity of development allowed by the General Plan and zoning designations for the parcel.

- | | | | | | |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 2. | Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The proposed project would not displace any existing housing since the proposed new parcel is currently vacant and the existing house is proposed to remain.

- | | | | | | |
|----|---------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 3. | Displace substantial numbers of | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|----|---------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less than Significant Impact	No Impact
--------------------------------------	--	------------------------------------	-----------

people, necessitating the construction
of replacement housing elsewhere?

Discussion: The proposed project would not displace any people since the proposed new parcel is currently vacant and the existing house is proposed to remain.

R. MANDATORY FINDINGS OF SIGNIFICANCE

- | | Potentially
Significant
Impact | Less than
Significant
with
Mitigation | Less than
Significant
Impact | No
Impact |
|---|--------------------------------------|--|------------------------------------|--------------------------|
| 1. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Discussion: The potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory were considered in the response to each question in Section III of this Initial Study. The subject parcel does not contain biotic resources and no significant resources would be impacted as a result of this project, however, there are potential impacts of nighttime lighting on adjacent and surrounding animal habitats. A mitigation would require the property owner to submit an exterior lighting plan which shows all proposed exterior lighting shielded downward and away from adjacent potential animal habitats to ensure that any surrounding animal habitats are protected from nighttime lighting impacts. The property owner would be required to obtain planning staff approval of the exterior lighting plan prior to building permit issuance. As a result of this evaluation, there is no substantial evidence that, after mitigation, significant effects associated with this project would result. Therefore, this project has been determined not to meet this Mandatory Finding of Significance.

- | | Potentially
Significant
Impact | Less than
Significant
with
Mitigation | Less than
Significant
Impact | No
Impact |
|--|--------------------------------------|--|------------------------------------|-------------------------------------|
| 2. Does the project have impacts that are individually limited, but cumulatively considerable? ("cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion: In addition to project specific impacts, this evaluation considered the projects potential for incremental effects that are cumulatively considerable and as a result, it has been determined that there is no substantial evidence that there are cumulative effects associated with this project. Therefore, this project has been determined not to meet this Mandatory Finding of Significance.

- | | Potentially
Significant
Impact | Less than
Significant
with
Mitigation | Less than
Significant
Impact | No
Impact |
|---|--------------------------------------|--|------------------------------------|--------------------------|
| 3. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Discussion: In the evaluation of environmental impacts in this Initial Study, the potential for adverse direct or indirect impacts to human beings were considered in the response to specific questions in Section III. As a result of this evaluation, there were determined to be potentially significant effects to human beings related to site distance at the intersection of Calabasas Road and the private driveway. However, mitigation has been included that clearly reduces these effects to a level below significance. This mitigation requires that the property owner trim vegetation on Calabasas Road in order to provide sight distance for vehicular speeds of 30 MPH as noted on sight distance document dated January 28, 2011, prepared by Luke R Beautz, Civil Engineer (ATTACHMENT 6). As a result of this evaluation, there is no substantial evidence that, after mitigation, there are adverse effects to human beings associated with this project. Therefore, this project has been determined not to meet this Mandatory Finding of Significance.

IV. TECHNICAL REVIEW CHECKLIST

	<u>REQUIRED</u>	<u>DATE COMPLETED</u>
Agricultural Policy Advisory Commission (APAC) Review	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	_____
Archaeological Review	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	3/22/2010
Biotic Report/Assessment	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	_____
Geologic Hazards Assessment (GHA)	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	_____
Geologic Report	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	_____
Geotechnical (Soils) Report	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	_____
Riparian Pre-Site	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	_____
Septic Lot Check	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	7/26/2010
Other:	Yes <input type="checkbox"/> No <input type="checkbox"/>	_____

V. REFERENCES USED IN THE COMPLETION OF THIS ENVIRONMENTAL REVIEW INITIAL STUDY

County of Santa Cruz 1994.

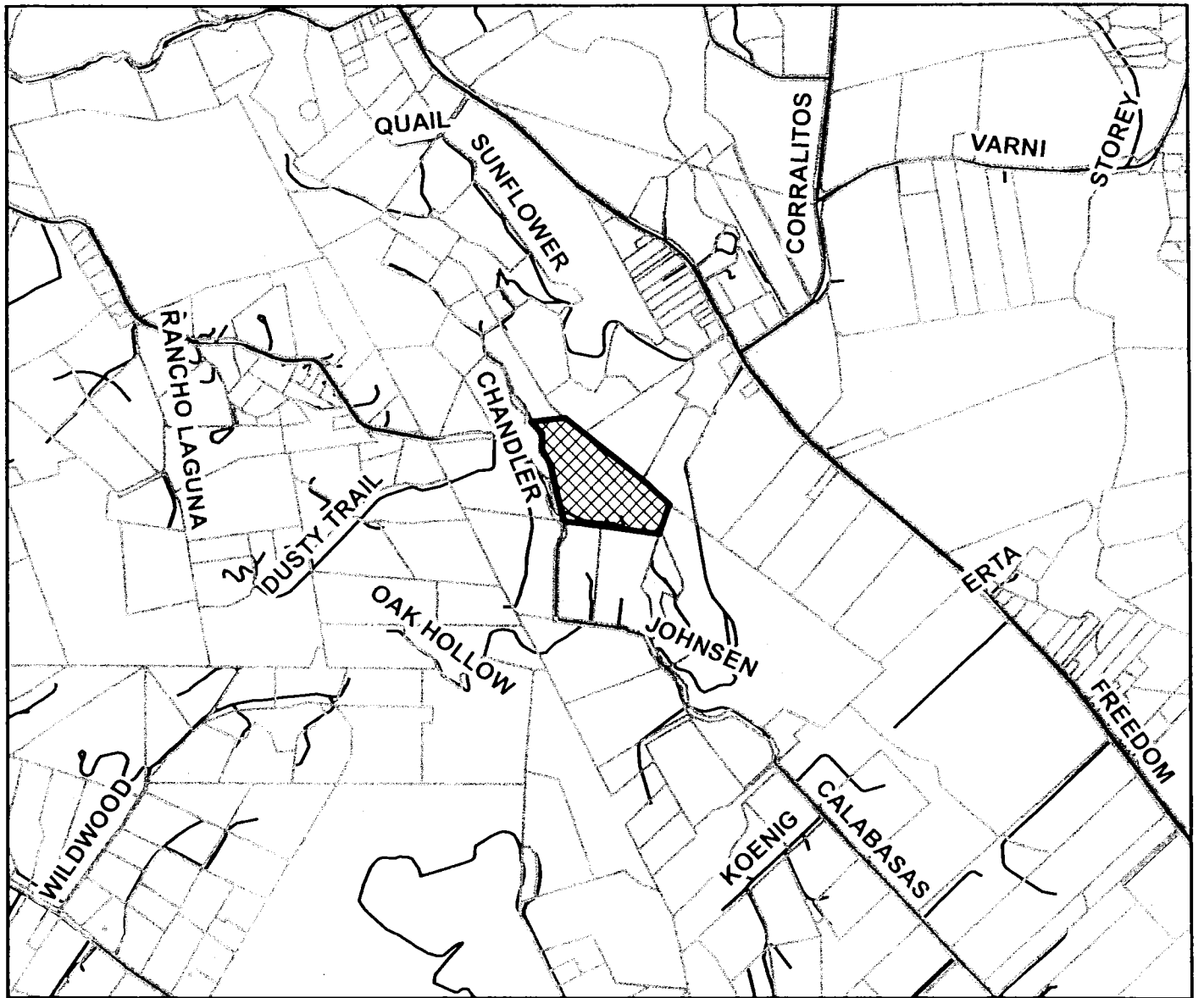
1994 General Plan and Local Coastal Program for the County of Santa Cruz, California. Adopted by the Board of Supervisors on May 24, 1994, and certified by the California Coastal Commission on December 15, 1994.

VI. ATTACHMENTS




1. *Location Map, Map of Zoning Districts; Map of General Plan Designations; and Assessors Parcel Map.*
2. *Tentative Map & Preliminary Improvement Plans*, prepared by Bridgette Land Surveying, dated 1/27/11 (final revisions)
3. *Septic Lot Check*, prepared by Environmental Health Services, dated 7/26/10
4. *Discretionary Application Comments*
5. *Archeological Reconnaissance Survey Letter (Conclusions and Recommendations)*, prepared by Archaeological Consulting, dated 3/22/10
6. *Vehicular Site Distance Analysis*, prepared by Luke Beautz, dated 1/28/11
7. *Rural Matrix 09-0287*; prepared by County Planning Staff, dated 11/24/09

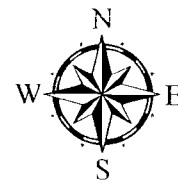


Location Map



LEGEND

-  APN: 049-062-12
-  Assessors Parcels
-  Streets

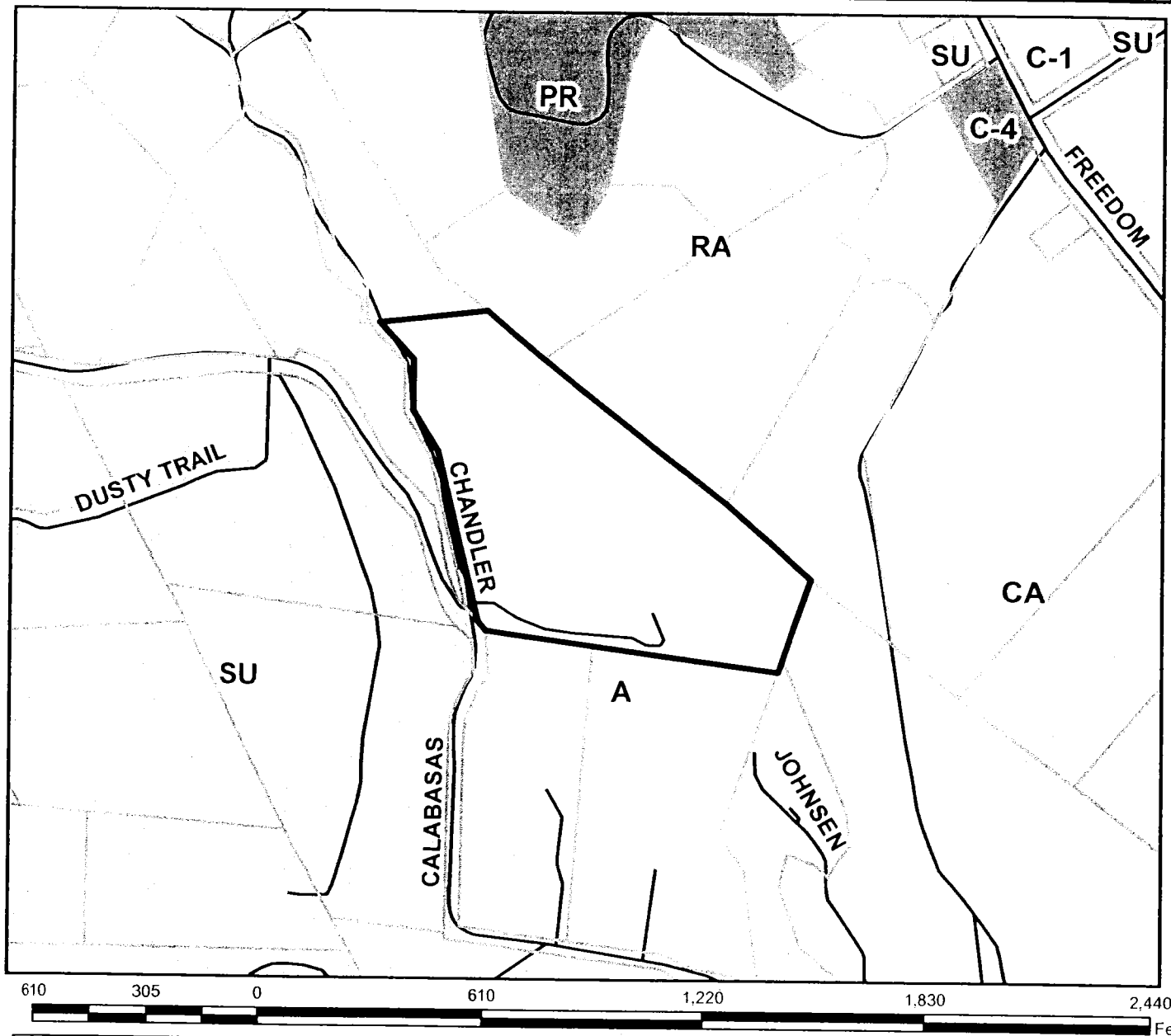


Map Created by
County of Santa Cruz
Planning Department
September 2010

EXHIBIT D

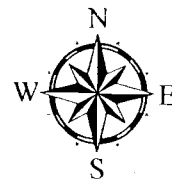


Zoning Map



LEGEND

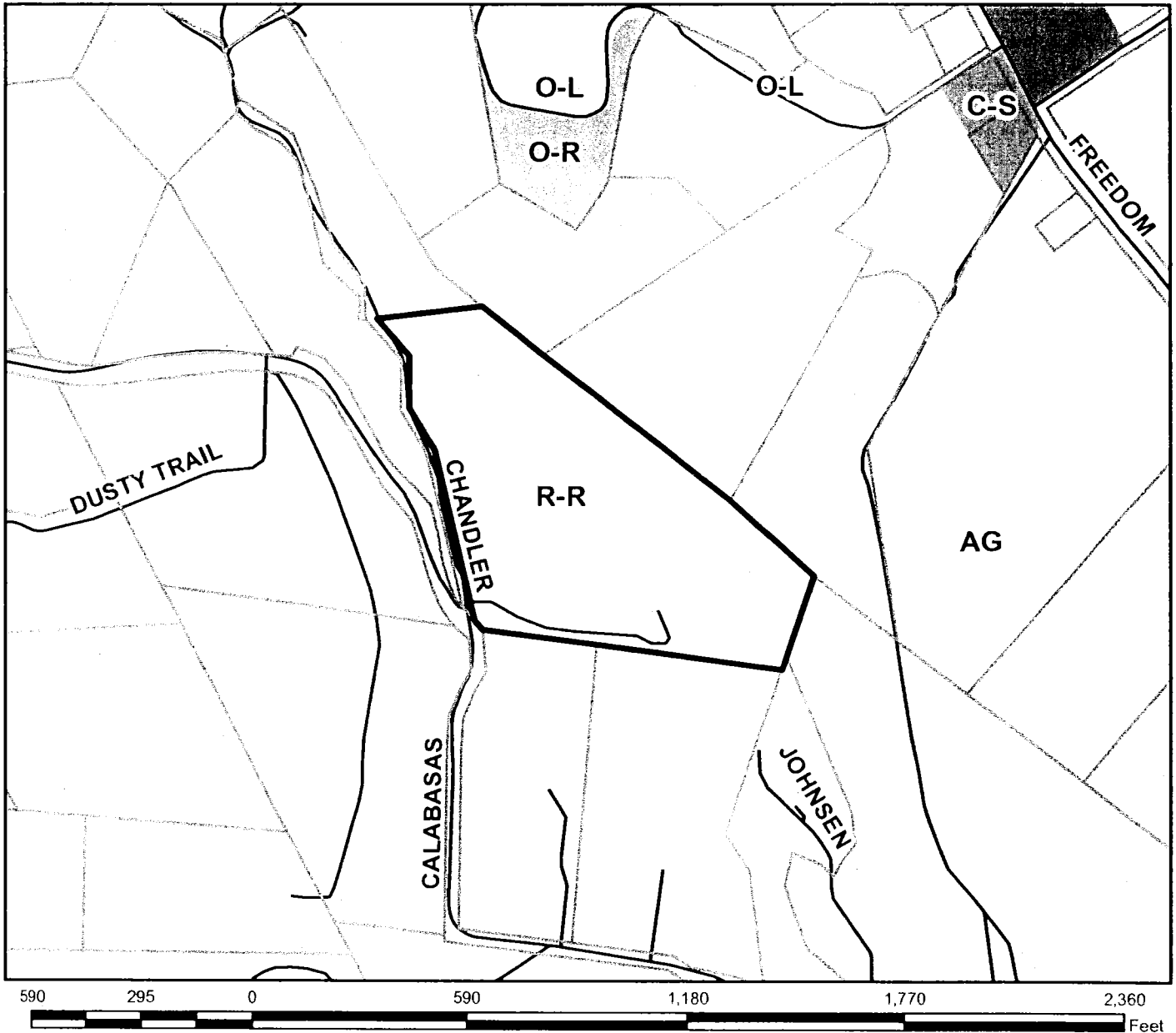
- APN: 049-062-12
- Assessors Parcels
- Streets
- AGRICULTURE
- AGRICULTURE COMMERCIAL
- AGRICULTURE RESIDENTIAL
- SPECIAL USE
- PARK
- COMMERCIAL-NEIGHBORHOOD
- COMMERCIAL-SERVICE



Map Created by
County of Santa Cruz
Planning Department
September 2010

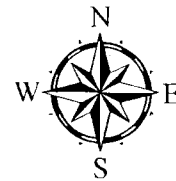


General Plan Designation Map



LEGEND

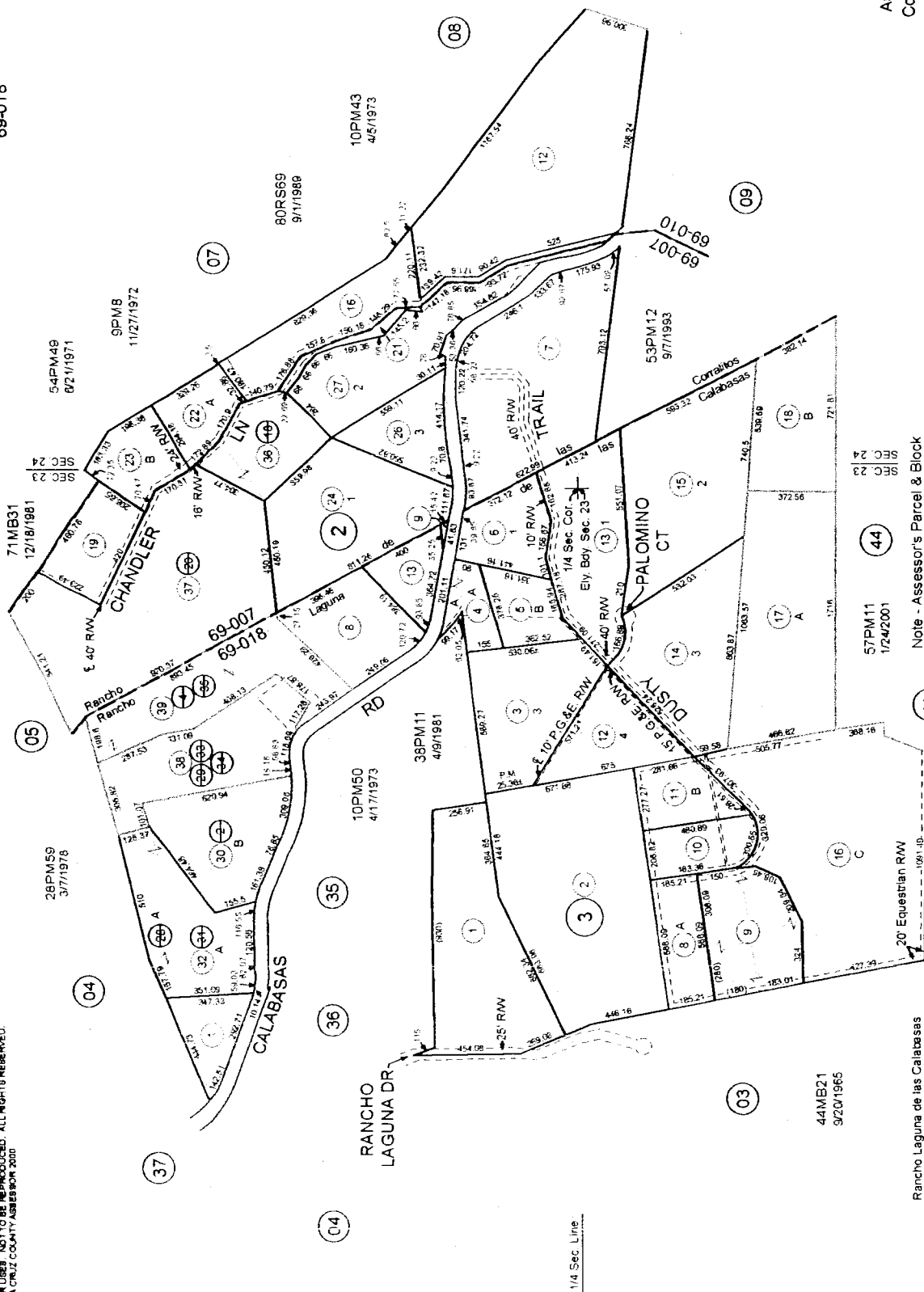
- APN: 049-062-12
- Assessors Parcels
- Streets
- Residential-Rural
- Agriculture
- Lake
- Parks and Recreation
- Commercial-Service
- Commercial-Neighborhood



Map Created by
County of Santa Cruz
Planning Department
September 2010

EXHIBIT D

Tax Area Code
69-007 69-010
69-018



Assessor's Map No. 49-06
County of Santa Cruz, Calif.
March 2000

Note - Assessor's Parcel & Block Numbers Shown In Circles.

Rancho Laguna de las Calabazas
Rancho San Andreas

Electronically signed on 3/13/00 KSA
Rev. 1/31/01 CB (57PM11, 1-92 & 93)
Rev. 9/5/02 mym (54MB49)
Rev. 8/20/09 mc (9-0034-B05 & 06, LBA 1-10 & 39
Rev. 8/20/09 mc (re-blocked block 1 to block 3)



BRIDGETTE LAND SURVEYING
PROFESSIONAL LAND SURVEYORS
80 ASPEN WAY SUITE 1
SAN JOSE, CA 95076
95076 / 95122 222 8077 FAX 95076 / 95122 222 8077

Mr. Steve Adelman
682 Calabasas Road, Westborough, MA 01581
95076 / 95122 222 8077 FAX 95076 / 95122 222 8077

APN 049-062-12 County of Santa Cruz
Boundary & Topographic Survey / Project Details & Notes
DATE 3-2-10
SCALE 1" = 50'
REVISIONS
1-7-11 County Comments
2-10-10 County Comments
3-10-10 County Comments

Owners, Areas & Utilities

APN 049-062-12 (682 Calabasas Road, Westborough, MA 01581)
Owner: Steven Adelman & Naomi S. Krasnerbaum (831) 714-1338
Existing Lot Area: 13.56 acres (gross) per this boundary survey
Gas: Proprietary (as shown)
Sewer: Private septic system (as shown)
Water: Private water well (as shown)

Proposed Parcel A:
Gas: Existing private water system (as shown)
Sewer: Existing private water system (as shown)
Water: Existing private water well (as shown)
Proposed Parcel B:
Gas: Proposed private water system (as shown)
Sewer: Proposed private water system (as shown)
Water: Proposed private water well (as shown)

Notes

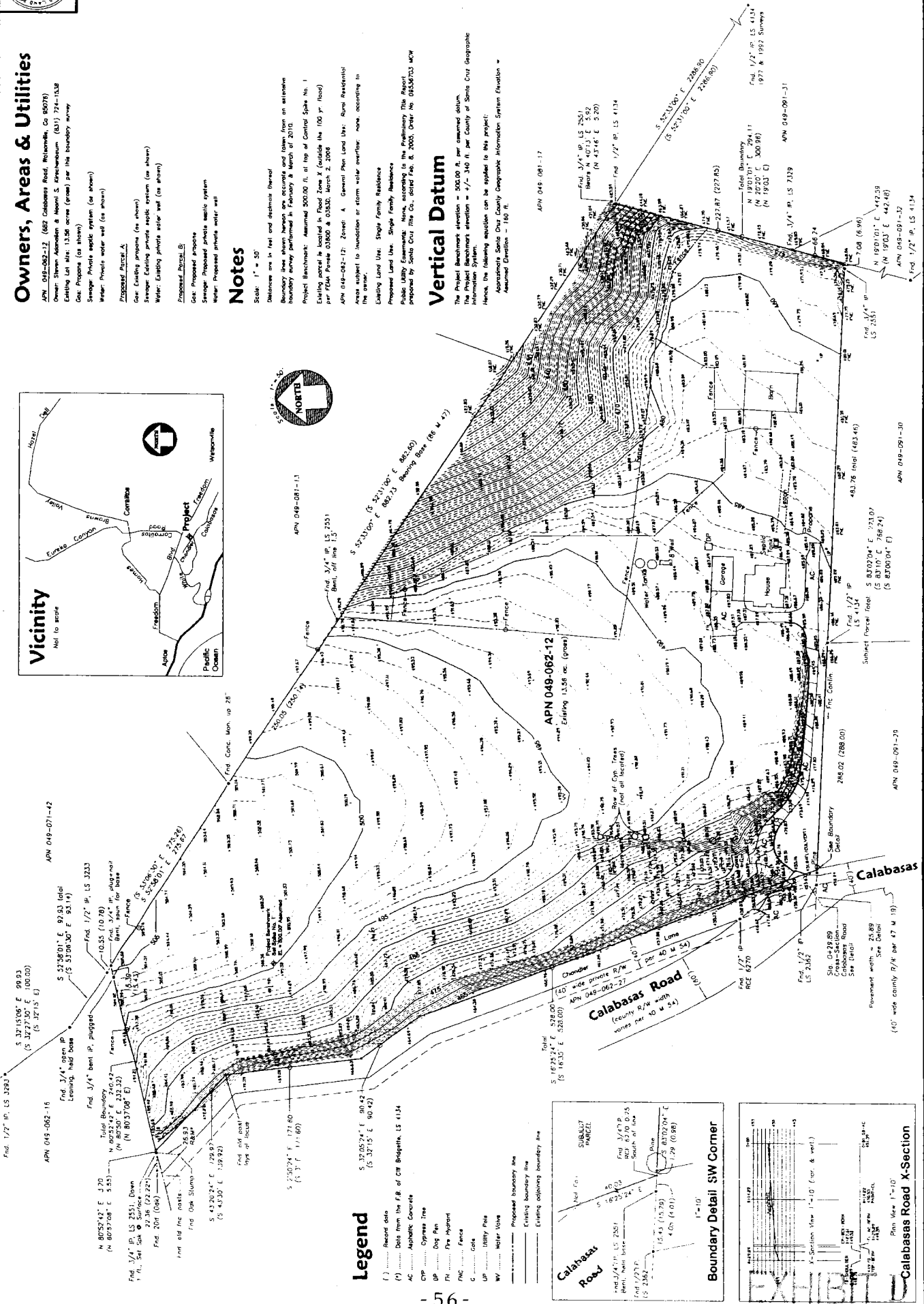
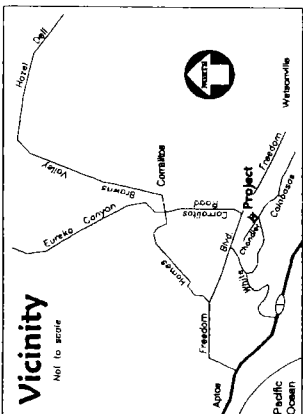
Scale: 1" = 30'
Distances are in feet and distances thereof
Boundary lines shown herein are accurate and shown from an extension
boundary survey performed in February & March of 2010.
Project Benchmark: Natural 500.00 ft. at top of Control Spike No. 1
Existing parcel is located in Flood Zone X (outside the 100 yr flood)
per FEMA Private 03600 & 03630, March 2, 2006
APN 049-062-12, Zone A: General Plan Land Use: Rural Residential
Area subject to inundation at storm water overflow, none according to
the owner.
Existing Land Use: Single Family Residence
Proposed Land Use: Single Family Residence
Public Utility Estimates: None, according to the Preliminary Title Report
prepared by Santa Cruz Title Co., dated Feb. 8, 2009, Order No. 0536703 ACN
Hence, the following section can be updated to this project:
Approximate Santa Cruz County Geographic Information System Elevation =
Assumed Elevation = 160 ft.

Vertical Datum

The Project Benchmark elevation = 500.00 ft. per assumed datum.
The Project Benchmark elevation = 47.34 ft. per County of Santa Cruz Geographic
Information System.
Hence, the following section can be updated to this project:
Approximate Santa Cruz County Geographic Information System Elevation =
Assumed Elevation = 160 ft.

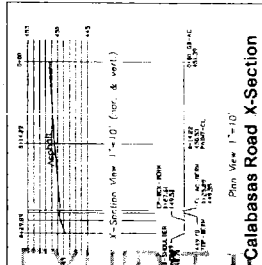
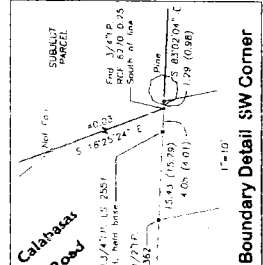
Vicinity

Not to scale



Legend

- (1) Record data
- (2) Data from the F.B. of C.R. Bridges, LS 4134
- (3) Aerial Photo
- APN 049-062-12
- APN 049-062-11
- APN 049-062-13
- APN 049-062-14
- APN 049-062-15
- APN 049-062-16
- APN 049-062-17
- APN 049-062-18
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- APN 049-062-97
- APN 049-062-98
- APN 049-062-99
- APN 049-062-100





BRIDGETTE LAND SURVEYING
50 ASPEN WAY, SUITE A, WATSONVILLE, CA 95076
PHONE: 831-723-5800 / FAX: 831-723-5801

Mr. Steve Adanahian
APPLICANT
682 Calabasas Road, Watsonville, CA 95076
APPLICANT # 10734

APN 049-062-12, County of Santa Cruz, CA
Proposed Boundary Lines & Easements
Scale: 1" = 40'

REVISIONS:
1-17-05: 01 County Comments
2-17-05: 02
3-17-05: 03
4-17-05: 04
5-17-05: 05
6-17-05: 06
7-17-05: 07
8-17-05: 08
9-17-05: 09
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97-17-05: 97
98-17-05: 98
99-17-05: 99
100-17-05: 100

DATE: 1-24-10
SHEET: 2
10.03

Parcel Sizes (net)

(net = gross - (shrub R/W's + Slopes greater than 49.9%))

Parcel	Gross	Net
Existing Parcel (APN 049-062-12)	13.58 acres	12.77 acres
Parcel A	8.19 acres	7.73 acres
Parcel B	5.37 acres	5.14 acres

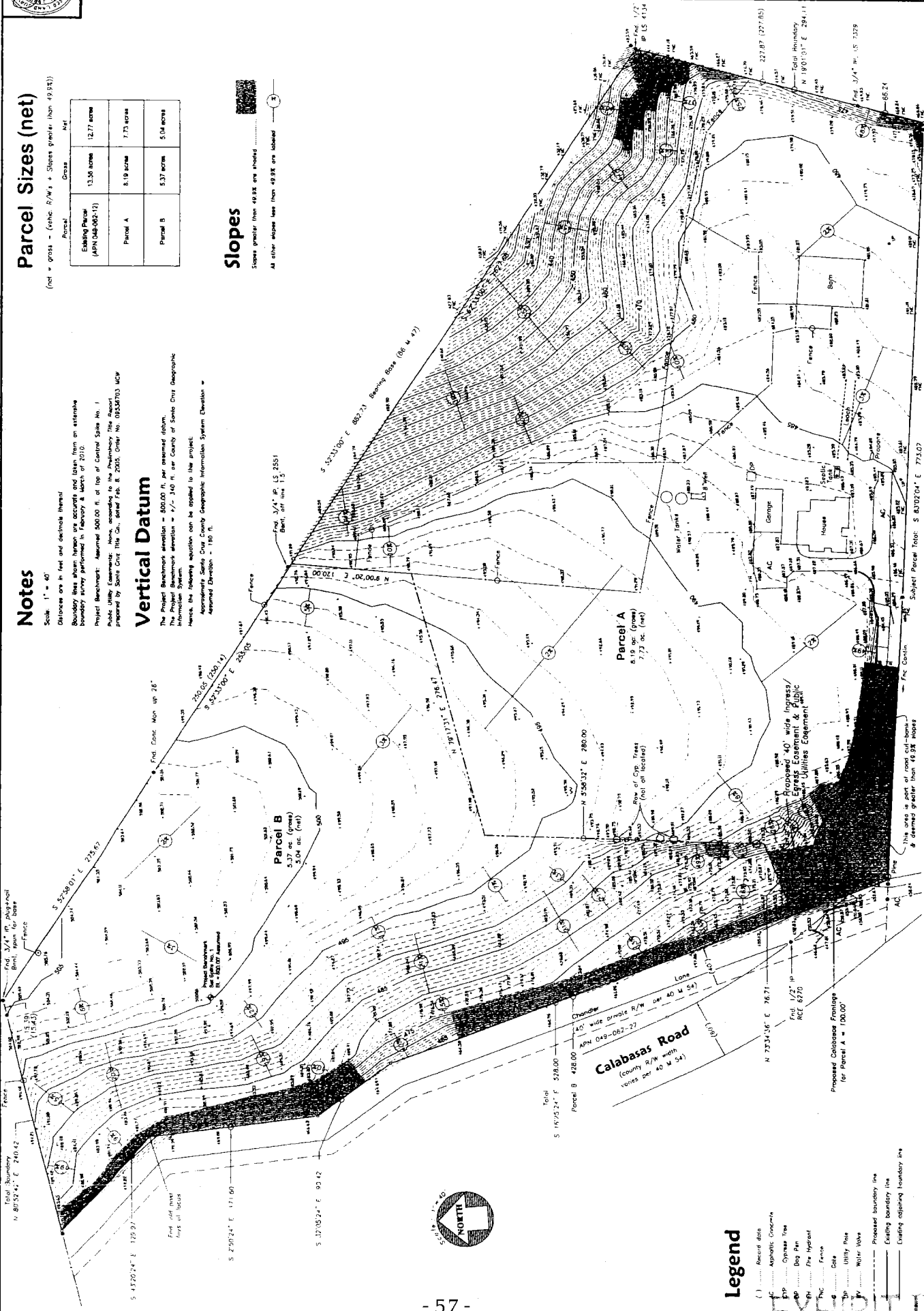
Slopes

Slopes greater than 49.9% are shaded
All other slopes less than 49.9% are labeled

Notes

Scale: 1" = 40'
Distances are in feet and decimals thereof
Boundary lines shown herein are accurate and taken from an extensive boundary survey performed in January & March of 2010.
Project Benchmark: Assumed 500.00 ft. at top of Central State No. 1
Public Utility Easements: None, according to the Preliminary Title Report prepared by Santa Cruz Title Co., dated Feb. 8, 2005, Order No. 03538703 MCR
Vertical Datum
The Project Benchmark elevation = 500.00 ft. per assumed datum.
The Project Benchmark elevation = +/- 140 ft. per County of Santa Cruz Geographic Information System Elevation = 180 ft.
The following information can be updated to the project:
Assumed Elevation = 180 ft.

Vertical Datum



Legend

- Record data
- Asphalt Concrete
- Grass
- Open Area
- Day Run
- Fire Hydrant
- Fence
- Gate
- Utility Pole
- Water Valve
- Proposed boundary line
- Existing boundary line
- Existing adjoining boundary line

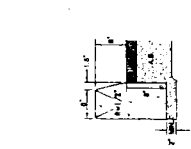
[illegible][illegible][illegible]

STORM AND SEWER WAYS WILL BE COLLECTED IN A CLOSED CIRCULAR CONCRETE MAIN LINE, WHICH WILL BE CONSTRUCTED TO THE STREET. THE EXISTING FOND WILL BE ASSUMED TO BE PROTECTED AND NOT SUBJECT TO ANY OF THE LOW FLOW STORM DRAINAGE.

RUNOFF FROM THE BUILDING SITE WILL PASS THROUGH A ENTERING QUALITY TREATMENT UNIT FOR FAL SW-12 PRIOR TO ENTERING THE STORM FOND AND WILL THEN BE RETURNED PRIOR TO LEAVING THE SITE.

RUNOFF FROM THE DRIVEWAY WILL PASS THROUGH ENTERING QUALITY TREATMENT UNIT FOR FAL SW-13 PRIOR TO ENTERING THE PERCOLATION BEDS AND WILL THEN BE RETURNED PRIOR TO LEAVING THE SITE.

104 109 04571

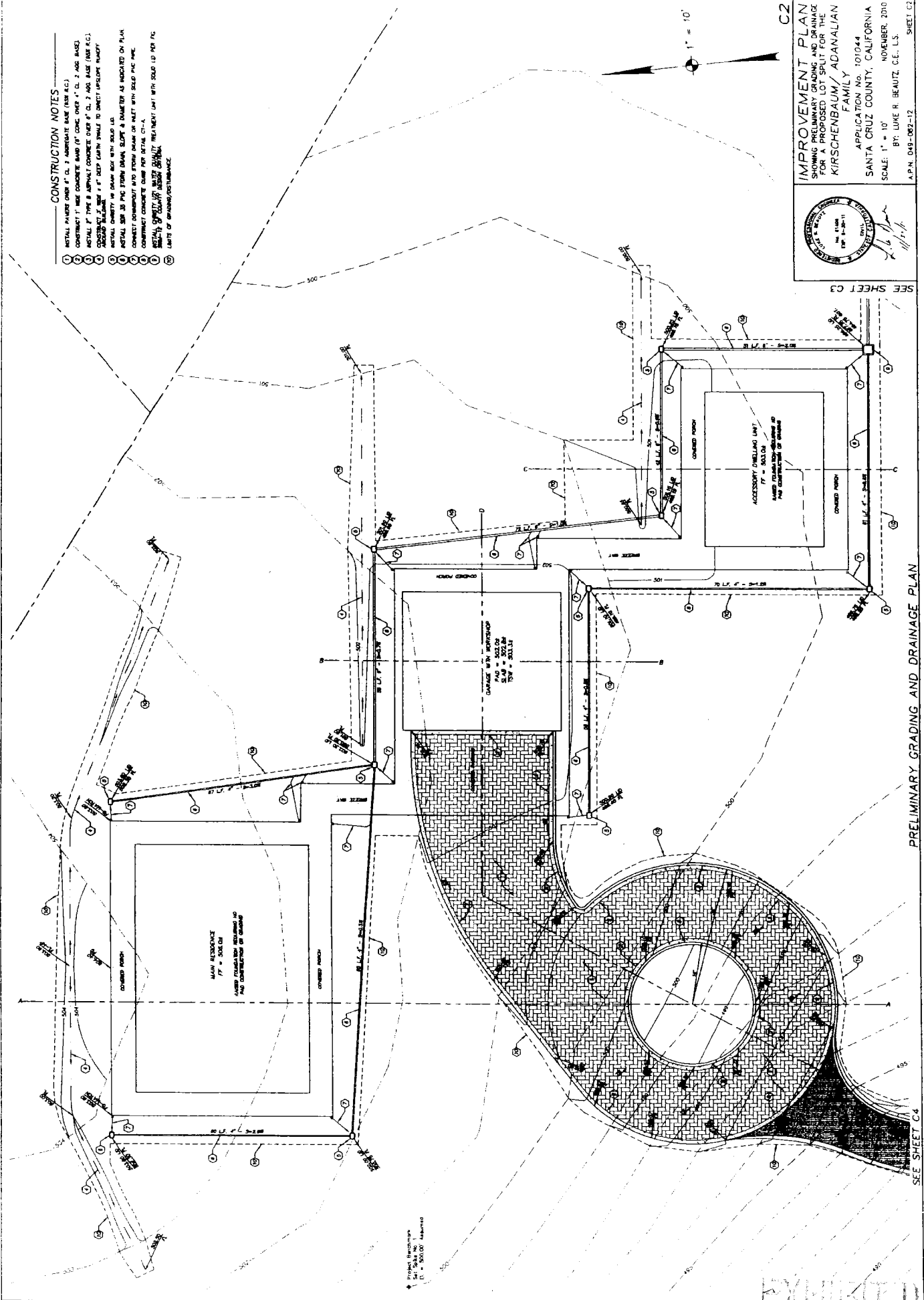


DETAIL C1-A
CONCRETE CURB

100-443887-100

CONSTRUCTION NOTES

1. INSTALL PAVEMENT OVER 8" CL. 2. ADJUSTABLE BASE (ASR R.C.)
2. CONSTRUCT 1" RISE CONCRETE CURB (8" CONC. OVER 4" CL. 2. AND BASE)
3. INSTALL 4" TYPE B ASPHALT CONCRETE OVER 8" CL. 2. AND BASE (ASR R.C.)
4. CONSTRUCT 2" MIN. 4" DEEP LAYER SHALL TO DRAINAGE DRAINAGE
5. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
6. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
7. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
8. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
9. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
10. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
11. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
12. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
13. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
14. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
15. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
16. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
17. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
18. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
19. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
20. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
21. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
22. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
23. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
24. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES
25. ALL DRAINAGE SHALL BE 18" DIA. WITH 1/2" DIA. HOLES



IMPROVEMENT PLAN
SHOWING PRELIMINARY GRADING AND DRAINAGE
FOR A PROPOSED LOT SPLIT FOR THE
KIRSCHENBAUM/ADANALIAN
FAMILY

APPLICATION NO. 101044
SANTA CRUZ COUNTY, CALIFORNIA

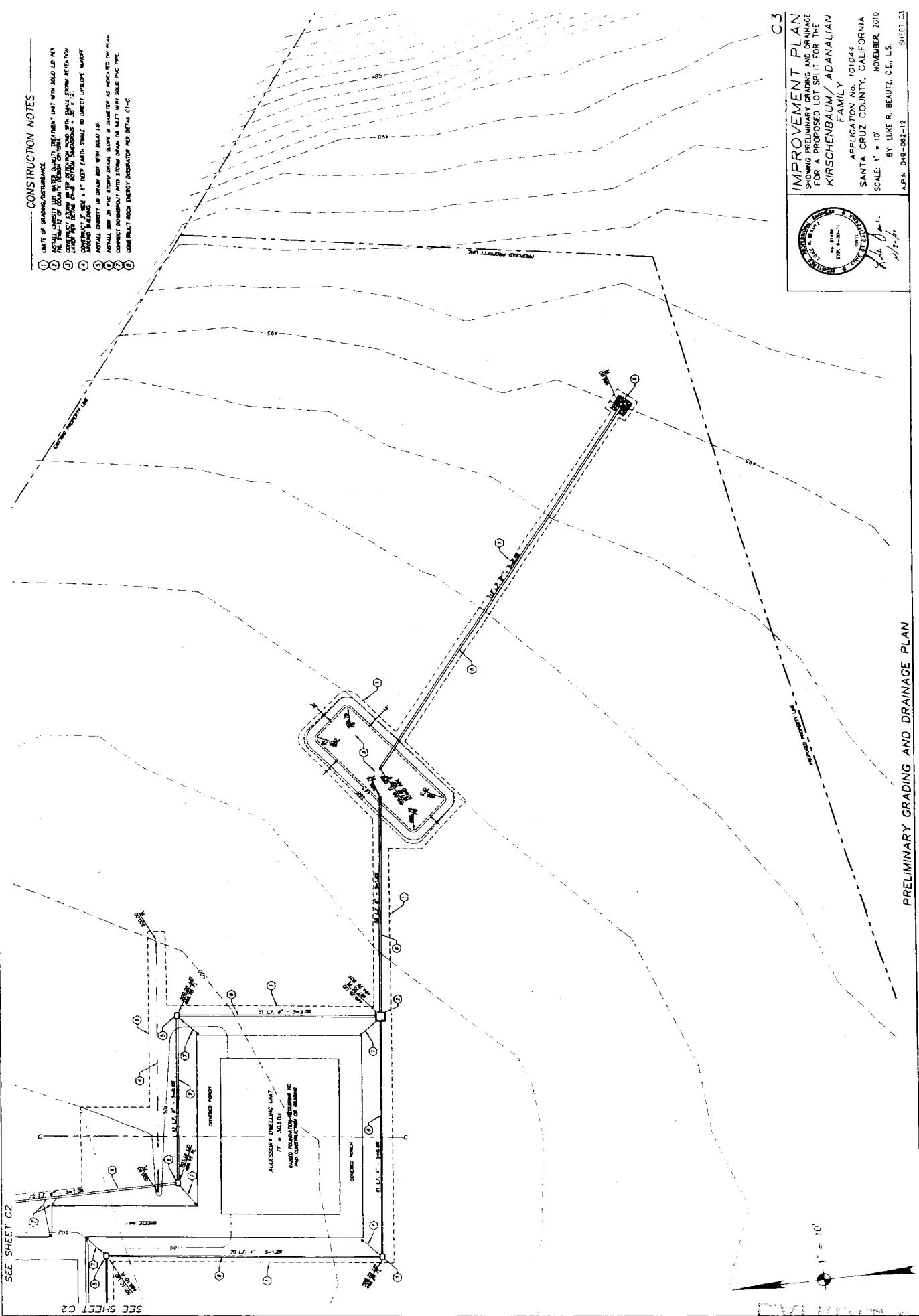
SCALE: 1" = 10'
BY: LUKE R. BEAUTZ, C.E., L.S.
A.P.N. 049-082-12

NOVEMBER, 2010

SANTA CRUZ COUNTY
REGISTERED PROFESSIONAL ENGINEER
LUKE R. BEAUTZ, C.E., L.S.
NO. 101044
EXPIRATION DATE: 12/31/2011

CONSTRUCTION NOTES

1. LIMITS OF GRADING/DEMOLITION.
2. ALL EXISTING UTILITIES SHALL BE DELETED UNLESS SHOWN OTHERWISE.
3. CONSTRUCT 12" DIA. 4' DEEP CATCH BASIN AT EACH STORM SEWER EXTENSION.
4. CONSTRUCT 12" DIA. 4' DEEP CATCH BASIN TO DIRECT UPSTREAM RUNOFF AROUND BUILDING.
5. RETAIN DRAINAGE IN DRAIN BASIN WITH SLOPED IS.
6. RETAIN DRAIN IN PVC STORM DRAIN SLOPE & MANHOLE AS INDICATED ON PLAN.
7. CORRECT DRAINAGE INTO STORM DRAIN OF ALL EXISTING SLOPED PVC PIPE.
8. CORRECT EXISTING DRAINAGE INTO STORM DRAIN OF ALL EXISTING SLOPED PVC PIPE.



C3

IMPROVEMENT PLAN
 SHOWING PRELIMINARY GRADING AND DRAINAGE
 FOR A PROPOSED LOT SPLIT FOR THE
 KIRSCHENBAUM / ADANALIAN
 FAMILY
 APPLICATION NO. 101044
 SANTA CRUZ COUNTY, CALIFORNIA
 SCALE: 1" = 10'
 BY: LUNE R. BEAUTZ, C.E., L.S.
 A.P.N. 048-003-12



PRELIMINARY GRADING AND DRAINAGE PLAN

1" = 10'

EXHIBIT D

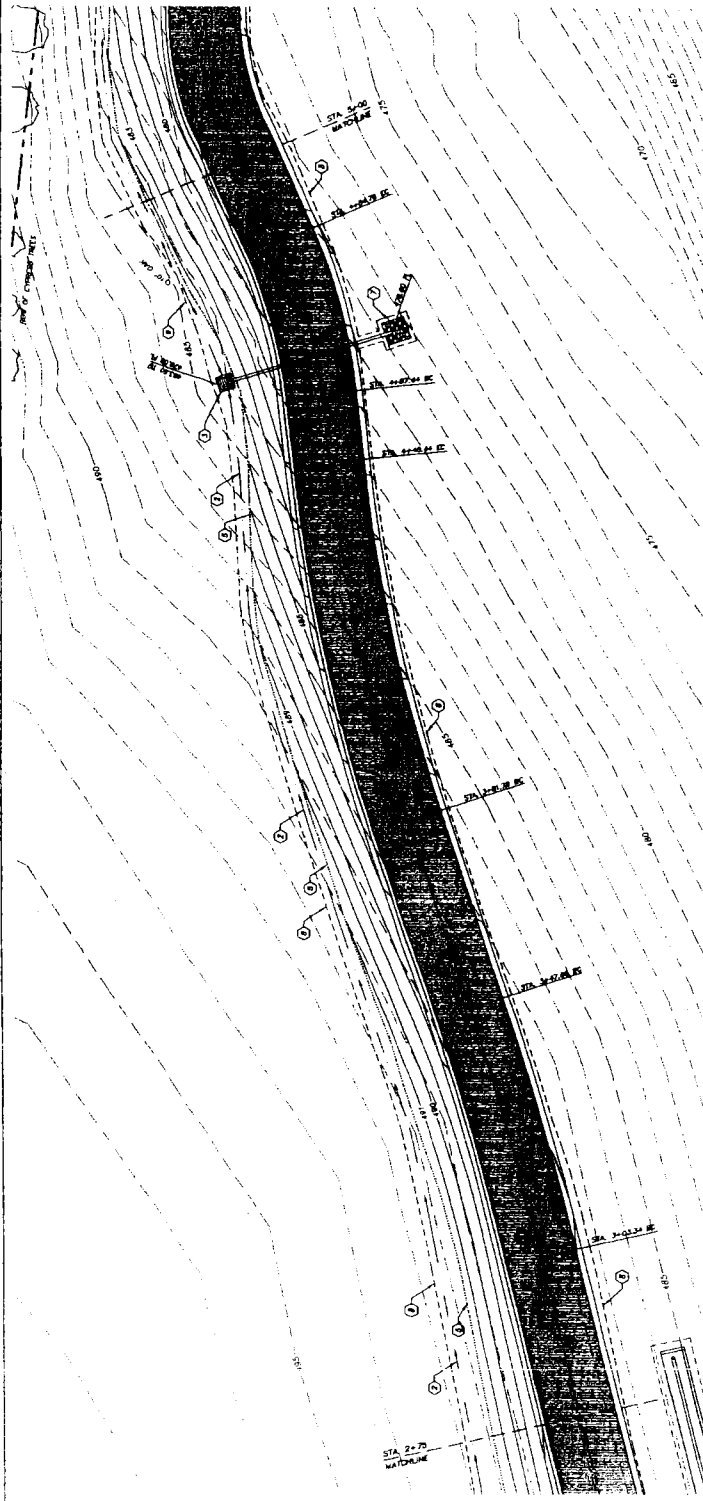
1" = 10'



CONSTRUCTION NOTES

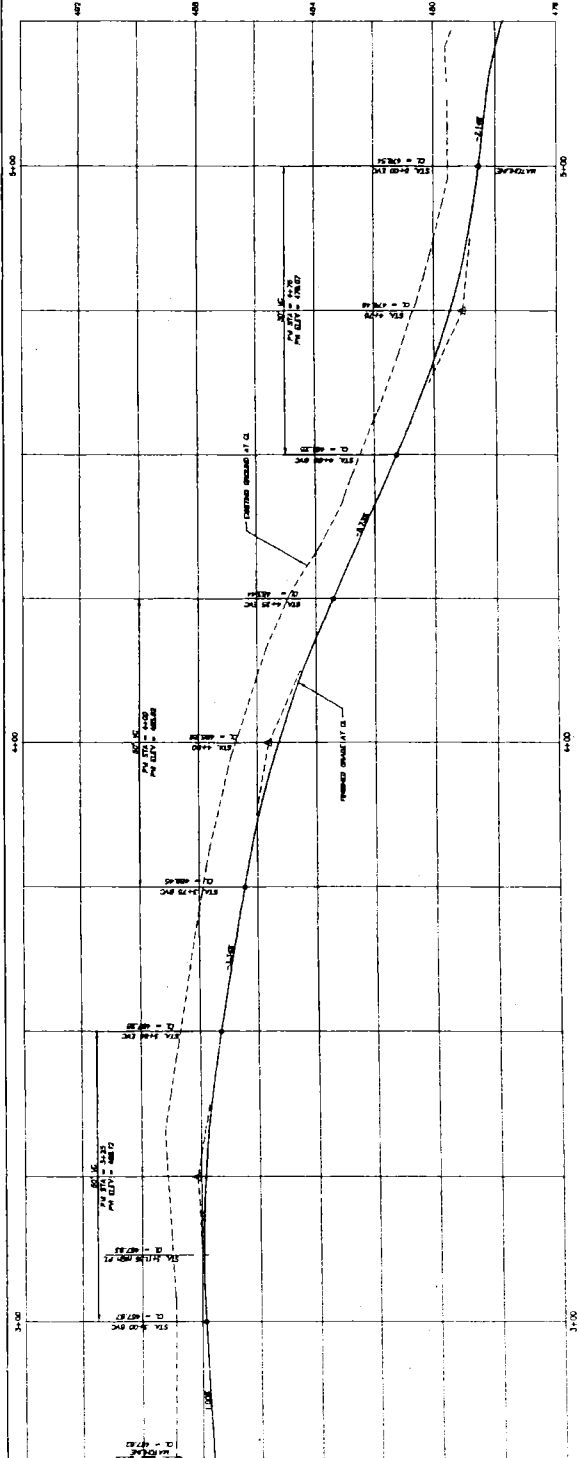
1. INSTALL 7" TYPE B ASPHALT CONCRETE OVER 4" CL. 2 BASE FROM EXIST. C.C.
2. CONSTRUCT 2" MIN. 1/2" DEEP SHOULDER ABOVE TOP OF 2:1 SLOPE.
3. INSTALL DENSITY 95% CATCH BASIN.
4. INSTALL SIGN 30 AND EXISTING DRIVE SLURRY & DRAINAGE AS INDICATED ON PLAN.
5. TOP OF 2:1 CUT SLOPE.
6. CONSTRUCT CONCRETE CURB AND POLE DETAIL C-1.
7. CONSTRUCT ROCK CEMENT ASPHALT FOR DETAIL C-1.
8. LIMITS OF GRADING/RETAINMENT.

CURVE	LENGTH	DELTA
C1	85.00	17.24
C2	50.00	11.11
C3	50.00	11.11
C4	71.00	14.21
C5	71.00	14.21
C6	44.00	8.79
C7	100.00	20.00
C8	100.00	20.00
C9	50.00	10.00
C10	50.00	10.00
C11	14.00	2.80
C12	14.00	2.80
C13	14.00	2.80
C14	14.00	2.80
C15	14.00	2.80
C16	14.00	2.80
C17	14.00	2.80
C18	14.00	2.80
C19	14.00	2.80
C20	14.00	2.80



PRELIMINARY DRIVEWAY PLAN

1" = 10'



PRELIMINARY DRIVEWAY PROFILE

1" = 10' HORIZ.
1" = 2' VERT.

C5

IMPROVEMENT PLAN
SHOWING PROPOSED DRIVEWAY AND DRAINAGE
FOR PROPOSED LOT SPLIT FOR THE
KIRSCHENBAUM/ADANALIAN
FAMILY
APPLICATION NO. 101044
SANTA CRUZ COUNTY, CALIFORNIA
NOVEMBER, 2010
SCALE: 1" = 10'
BY: LUKE R. BEAUTZ, C.E., L.S.
A.P.N. 049-082-12

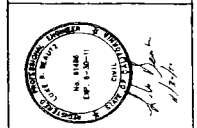


EXHIBIT D

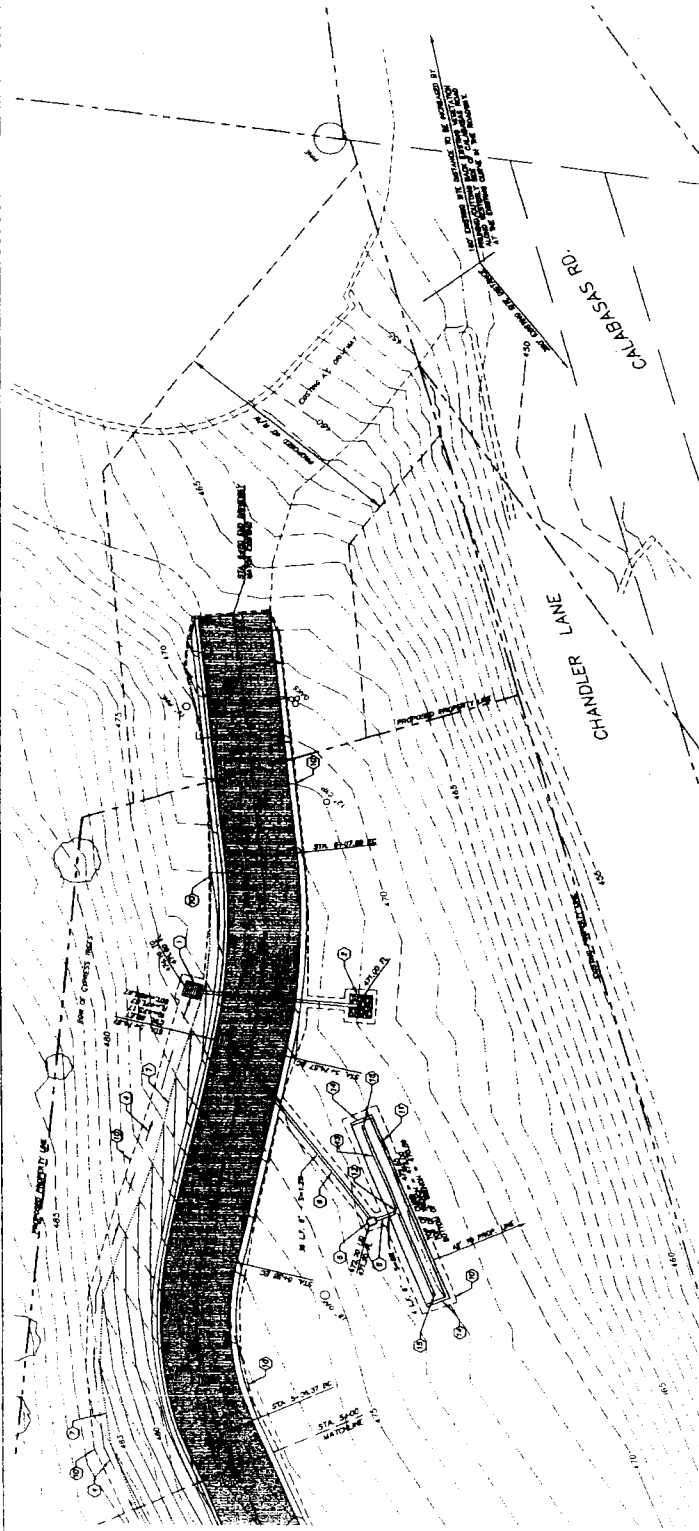
1" = 10'



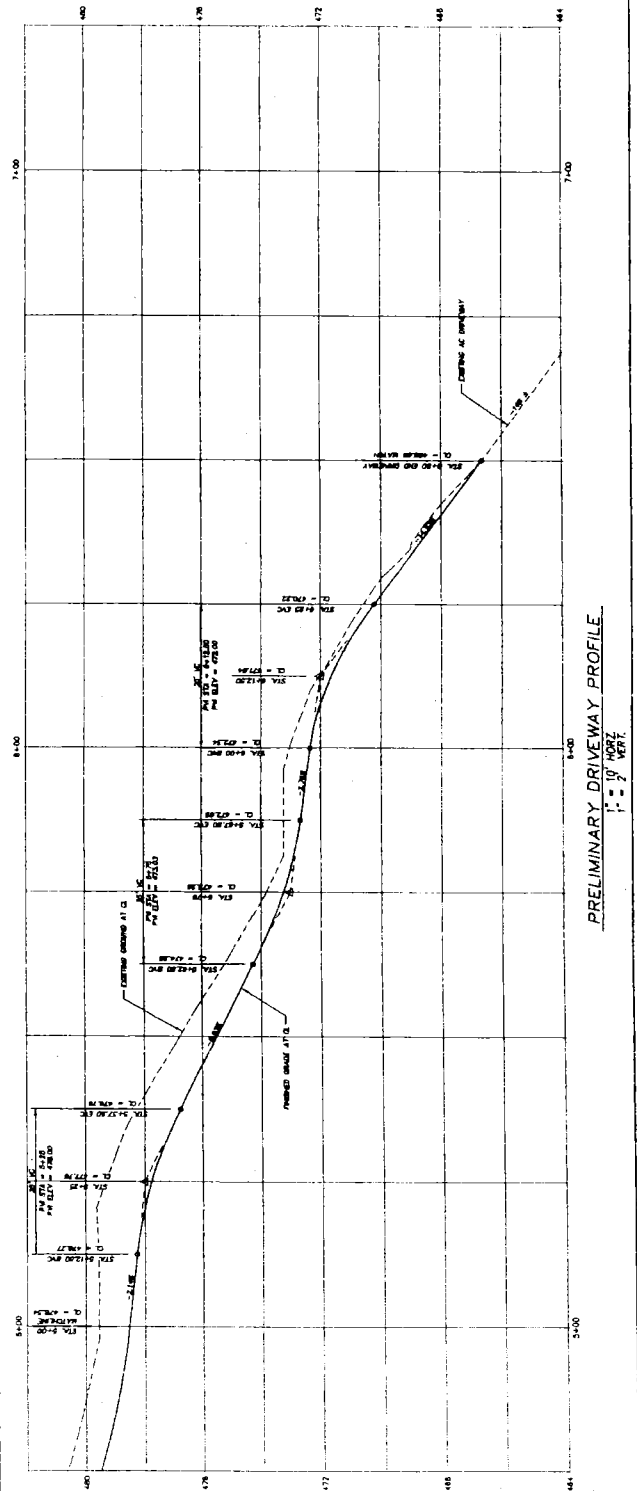
CONSTRUCTION NOTES

1. INSTALL CHERRY LOT CATCH BASIN.
2. CONTRACTOR TO VERIFY EXISTING GRADE FOR DETAIL C1-C.
3. INSTALL 2" THICK 8" ASPHALT CONCRETE OVER 4" CL. 2 A.G.C. BASE (SEE A.C.).
4. CONTRACT 2" 8" DEEP BROW DITCH ABOVE TOP OF 2:1 SLOPE.
5. INSTALL CHERRY IN DRAIN BASIN WITH SLOPE LED.
6. INSTALL 30" DIA. 30" PVC STORM DRAIN SLOPE & MANHOLE AS SHOWN ON PLAN.
7. TOP OF 2:1 CUT SLOPE.
8. CONTRACTOR TO VERIFY EXISTING GRADE FOR DETAIL C1-A.
9. CONTRACTOR TO VERIFY EXISTING GRADE FOR DETAIL C1-B.
10. LIMITS OF GRAVITY DISTURBANCE.
11. CONTRACT 3" (ONE 1.5" DEEP RETENTION TRENCH FOR DETAIL C1-B).
12. INSTALL 8" PVC TIE AT FLOODED ELEVATION = 471.00'.
13. INSTALL 8" PERFORATED PVC 8TH HOLES DOWN LEVEL AT FLOODED ELEVATION.
14. RETAIN SLOPEWAY CURVE.
15. INSTALL 8" CLEAN-OUT TO SURFACE AT END OF 4' RETAINED PACE.

STATION	CHORD BEARING	CHORD DISTANCE	CHORD CURVE DATA
1	N 89° 50' 00" E	10.00	10.00
2	N 89° 50' 00" E	10.00	10.00
3	N 89° 50' 00" E	10.00	10.00
4	N 89° 50' 00" E	10.00	10.00
5	N 89° 50' 00" E	10.00	10.00
6	N 89° 50' 00" E	10.00	10.00
7	N 89° 50' 00" E	10.00	10.00
8	N 89° 50' 00" E	10.00	10.00
9	N 89° 50' 00" E	10.00	10.00
10	N 89° 50' 00" E	10.00	10.00
11	N 89° 50' 00" E	10.00	10.00
12	N 89° 50' 00" E	10.00	10.00
13	N 89° 50' 00" E	10.00	10.00
14	N 89° 50' 00" E	10.00	10.00
15	N 89° 50' 00" E	10.00	10.00
16	N 89° 50' 00" E	10.00	10.00
17	N 89° 50' 00" E	10.00	10.00
18	N 89° 50' 00" E	10.00	10.00
19	N 89° 50' 00" E	10.00	10.00
20	N 89° 50' 00" E	10.00	10.00
21	N 89° 50' 00" E	10.00	10.00
22	N 89° 50' 00" E	10.00	10.00
23	N 89° 50' 00" E	10.00	10.00
24	N 89° 50' 00" E	10.00	10.00
25	N 89° 50' 00" E	10.00	10.00
26	N 89° 50' 00" E	10.00	10.00
27	N 89° 50' 00" E	10.00	10.00
28	N 89° 50' 00" E	10.00	10.00
29	N 89° 50' 00" E	10.00	10.00
30	N 89° 50' 00" E	10.00	10.00
31	N 89° 50' 00" E	10.00	10.00
32	N 89° 50' 00" E	10.00	10.00
33	N 89° 50' 00" E	10.00	10.00
34	N 89° 50' 00" E	10.00	10.00
35	N 89° 50' 00" E	10.00	10.00
36	N 89° 50' 00" E	10.00	10.00
37	N 89° 50' 00" E	10.00	10.00
38	N 89° 50' 00" E	10.00	10.00
39	N 89° 50' 00" E	10.00	10.00
40	N 89° 50' 00" E	10.00	10.00
41	N 89° 50' 00" E	10.00	10.00
42	N 89° 50' 00" E	10.00	10.00
43	N 89° 50' 00" E	10.00	10.00
44	N 89° 50' 00" E	10.00	10.00
45	N 89° 50' 00" E	10.00	10.00
46	N 89° 50' 00" E	10.00	10.00
47	N 89° 50' 00" E	10.00	10.00
48	N 89° 50' 00" E	10.00	10.00
49	N 89° 50' 00" E	10.00	10.00
50	N 89° 50' 00" E	10.00	10.00
51	N 89° 50' 00" E	10.00	10.00
52	N 89° 50' 00" E	10.00	10.00
53	N 89° 50' 00" E	10.00	10.00
54	N 89° 50' 00" E	10.00	10.00
55	N 89° 50' 00" E	10.00	10.00
56	N 89° 50' 00" E	10.00	10.00
57	N 89° 50' 00" E	10.00	10.00
58	N 89° 50' 00" E	10.00	10.00
59	N 89° 50' 00" E	10.00	10.00
60	N 89° 50' 00" E	10.00	10.00
61	N 89° 50' 00" E	10.00	10.00
62	N 89° 50' 00" E	10.00	10.00
63	N 89° 50' 00" E	10.00	10.00
64	N 89° 50' 00" E	10.00	10.00
65	N 89° 50' 00" E	10.00	10.00
66	N 89° 50' 00" E	10.00	10.00
67	N 89° 50' 00" E	10.00	10.00
68	N 89° 50' 00" E	10.00	10.00
69	N 89° 50' 00" E	10.00	10.00
70	N 89° 50' 00" E	10.00	10.00
71	N 89° 50' 00" E	10.00	10.00
72	N 89° 50' 00" E	10.00	10.00
73	N 89° 50' 00" E	10.00	10.00
74	N 89° 50' 00" E	10.00	10.00
75	N 89° 50' 00" E	10.00	10.00
76	N 89° 50' 00" E	10.00	10.00
77	N 89° 50' 00" E	10.00	10.00
78	N 89° 50' 00" E	10.00	10.00
79	N 89° 50' 00" E	10.00	10.00
80	N 89° 50' 00" E	10.00	10.00
81	N 89° 50' 00" E	10.00	10.00
82	N 89° 50' 00" E	10.00	10.00
83	N 89° 50' 00" E	10.00	10.00
84	N 89° 50' 00" E	10.00	10.00
85	N 89° 50' 00" E	10.00	10.00
86	N 89° 50' 00" E	10.00	10.00
87	N 89° 50' 00" E	10.00	10.00
88	N 89° 50' 00" E	10.00	10.00
89	N 89° 50' 00" E	10.00	10.00
90	N 89° 50' 00" E	10.00	10.00
91	N 89° 50' 00" E	10.00	10.00
92	N 89° 50' 00" E	10.00	10.00
93	N 89° 50' 00" E	10.00	10.00
94	N 89° 50' 00" E	10.00	10.00
95	N 89° 50' 00" E	10.00	10.00
96	N 89° 50' 00" E	10.00	10.00
97	N 89° 50' 00" E	10.00	10.00
98	N 89° 50' 00" E	10.00	10.00
99	N 89° 50' 00" E	10.00	10.00
100	N 89° 50' 00" E	10.00	10.00

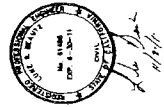


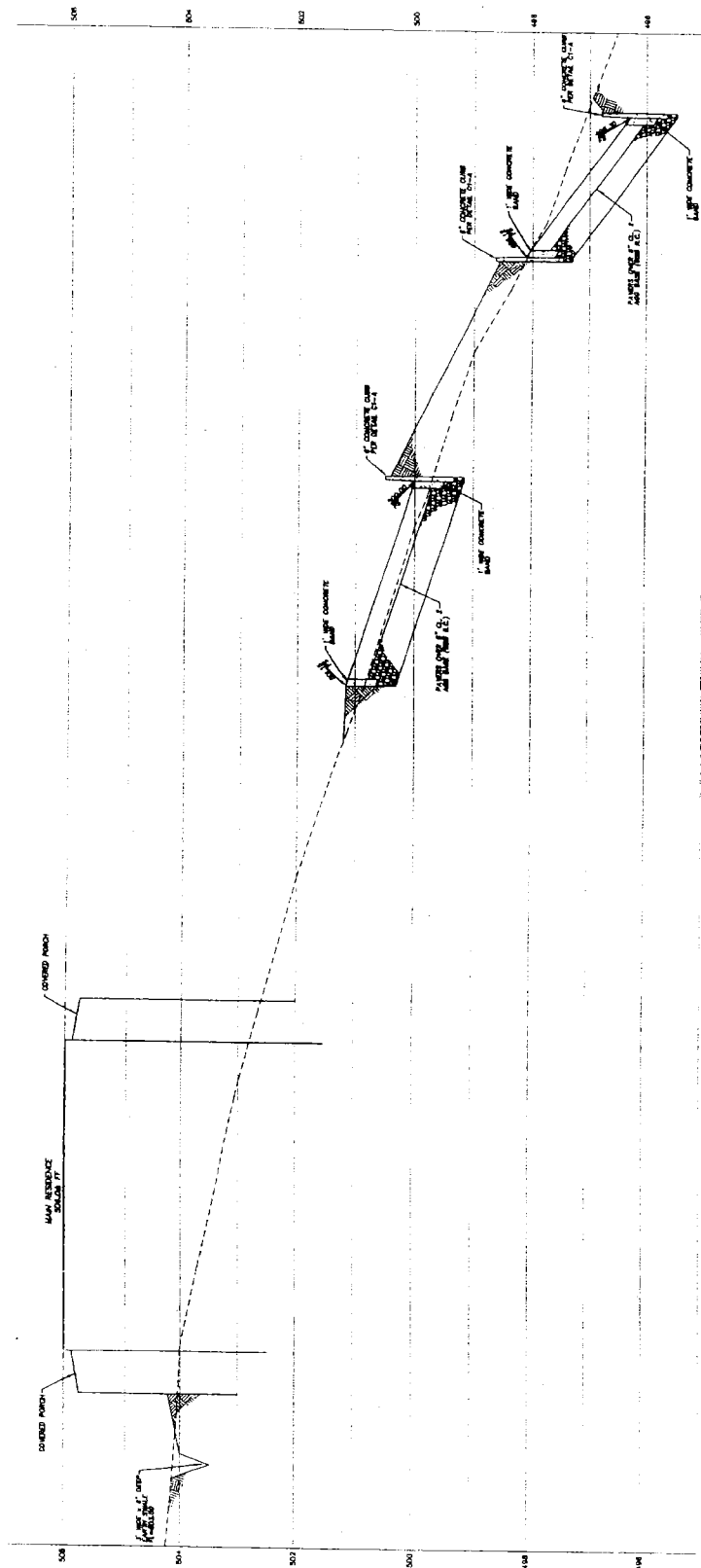
PRELIMINARY DRIVEWAY PLAN
1" = 10'



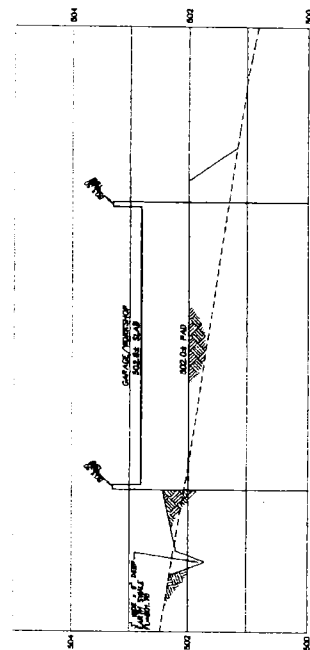
PRELIMINARY DRIVEWAY PROFILE
1" = 10' VERT

C6
IMPROVEMENT PLAN
SHOWING PRELIMINARY GRADING AND DRAINAGE
FOR A PROPOSED LOT SPLIT FOR THE
KIRSCHENBAUM/ADANALIAN
FAMILY
APPLICATION NO. 101044
SANTA CRUZ COUNTY, CALIFORNIA
SCALE: 1" = 10' NOVEMBER 2010
BY: LUKAS BEAUTZ, C.E., L.S.
A.P.N. 010-082-12 SHEET 05





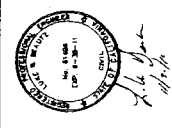
SECTION A-A



SECTION B-B

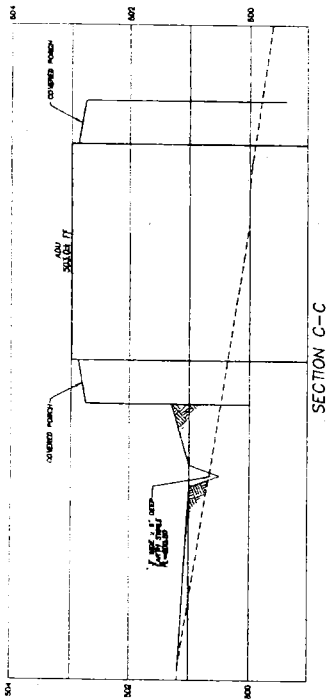
PRELIMINARY SITE CROSS SECTIONS

1" = 8' HORIZ.
1" = 1' VERT.

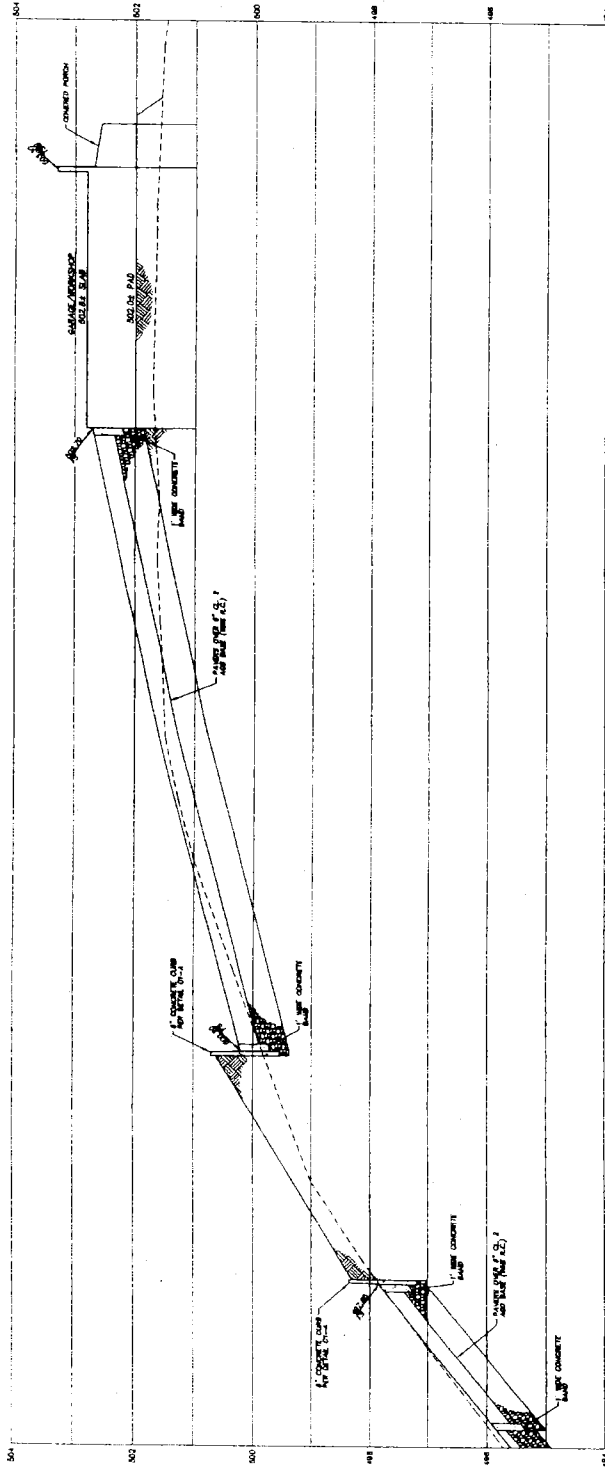


C7
IMPROVEMENT PLAN
 SHOWING PRELIMINARY GRADING AND DRAINAGE
 FOR A PROPOSED LOT SPLIT FOR THE
 KIRSCHENBAUM/ ADANALIAN
 FAMILY
 APPLICATION NO. 101044
 SANTA CRUZ COUNTY, CALIFORNIA
 SCALE: 1" = 8'
 BY: LUKE R. BEAUTZ, C.E., L.S.
 A.P.N. 048-062-172
 NOVEMBER, 2010
 SHEET C7

EXHIBIT D

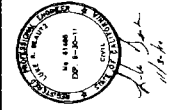


SECTION C-C



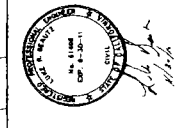
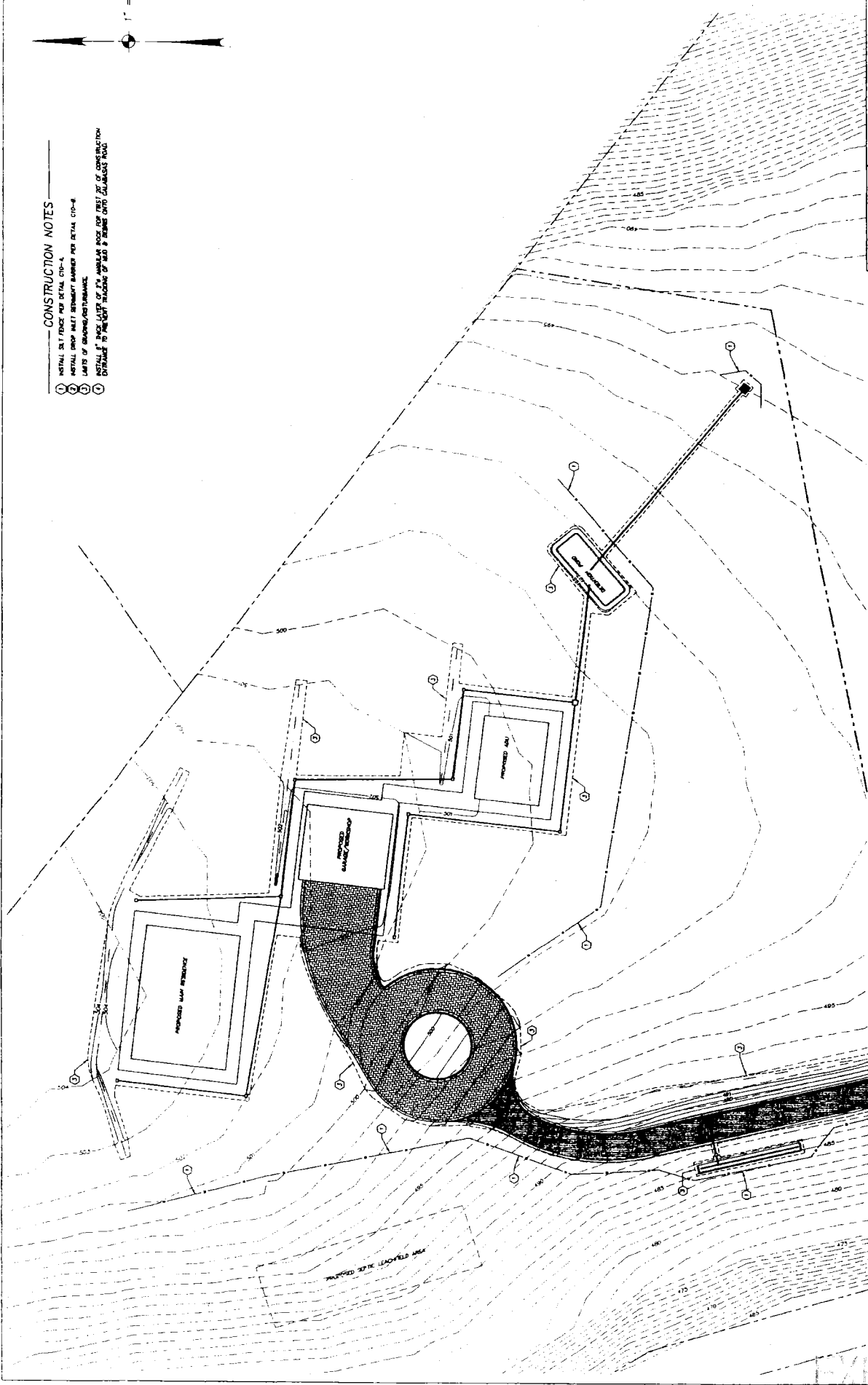
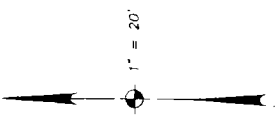
SECTION D-D

PRELIMINARY SITE CROSS SECTIONS
 1" = 8' HORIZ.
 1" = 1' VERT.



C8
IMPROVEMENT PLAN
 SHOWING PRELIMINARY GRADING AND DRAINAGE
 FOR A PROPOSED LOT SPLIT FOR THE
 KIRSCHENBAUM/ ADANALIAN
 FAMILY
 APPLICATION NO. 101044
 SANTA CRUZ COUNTY, CALIFORNIA
 SCALE: 1" = 8'
 BY: LUKE R. BEUTZEL, C.E., L.S.
 A.P.N. 048-082-12
 SHEET C8

- CONSTRUCTION NOTES**
- 1. INSTALL SLOPE FENCE AND DETAIL C10-4.
 - 2. INSTALL DRAINAGE INLET STRUCTURE AND DETAIL C10-4.
 - 3. LAYOUT OF GRADING/RETAINMENT.
 - 4. INSTALL 8" INCH LAYER OF 1.5" MODULAR GRADE FOR FIRST 20' OF CONSTRUCTION.
 - 5. DRAINAGE TO PREVENT TRACKING OF MUD IS BEING ONTO CALIFORNIA ROAD.



C9

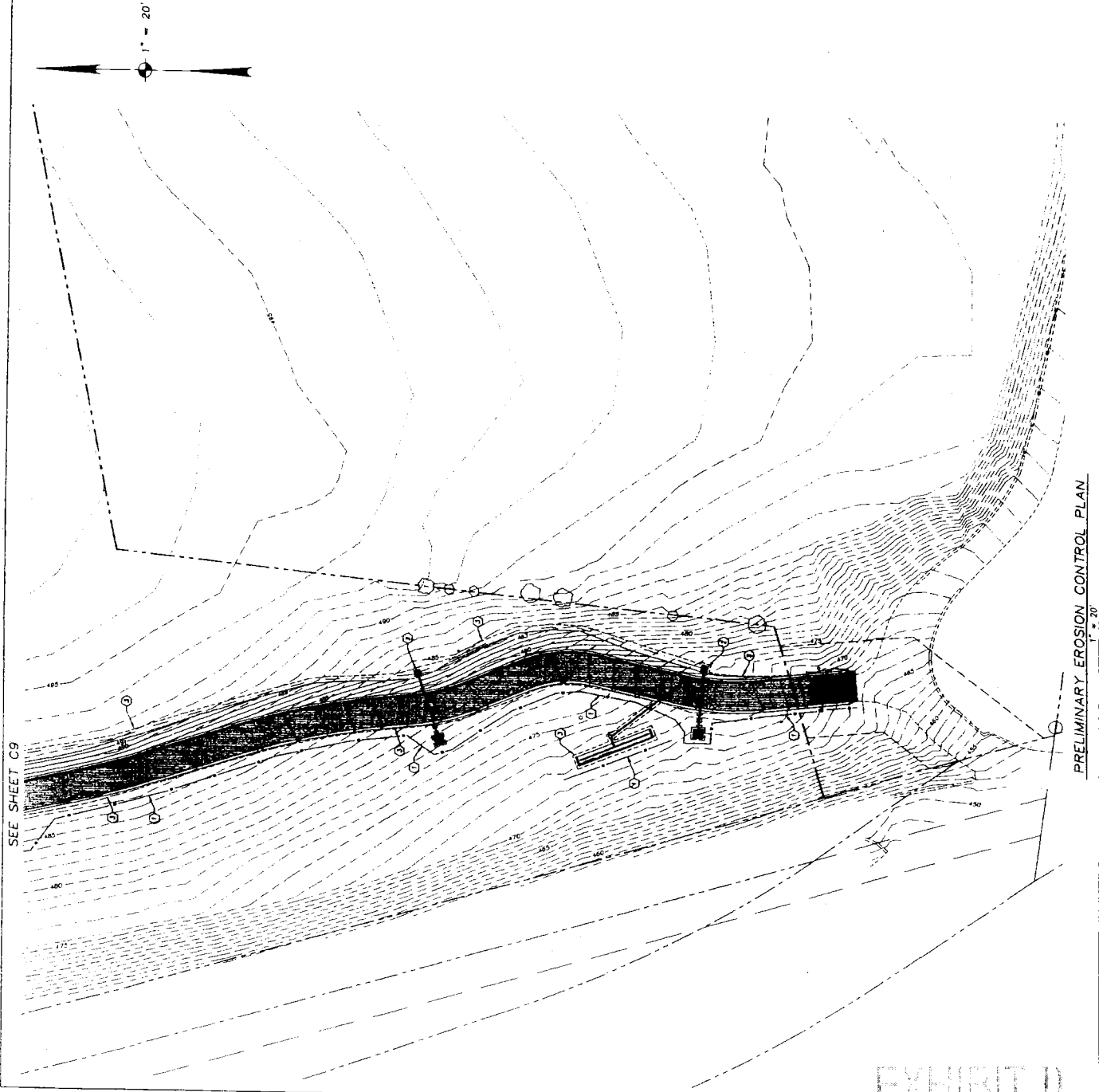
IMPROVEMENT PLAN
 SHOWING PRELIMINARY GRADING AND DRAINAGE
 FOR A PROPOSED LOT SPLIT FOR THE
 KIRSCHENBAUM/ ADANALIAN
 FAMILY

APPLICATION NO. 101044
 SANTA CRUZ COUNTY, CALIFORNIA
 SCALE: 1" = 20'
 NOVEMBER, 2010
 BY: LUKE R. BEAVITZ, C.E., L.S.
 A.P.N. 049-087-12

PRELIMINARY EROSION CONTROL PLAN
 1" = 20'

SEE SHEET C10

EXHIBIT D

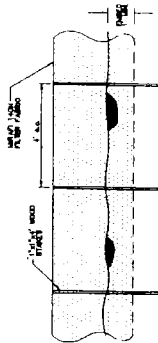


CONSTRUCTION NOTES

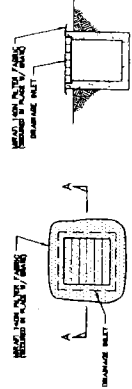
1. INSTALL Silt Fence per DETAIL C10-A.
2. INSTALL DROP INLET SEDIMENT BARRIER per DETAIL C10-B.
3. LANDSCAPE with native plants.
4. INSTALL 1" thick layer of 1/4" angular rock for first 2' of construction.
5. DRAINAGE to PREVENT FLOODING OF ROAD & REMAIN OPEN DRAINAGE ROAD.

EROSION CONTROL NOTES

1. All land clearing, grading, and/or excavation shall take place between April 15 and October 15.
2. Erosion shall be controlled at all times. Erosion control measures shall be installed and maintained during construction. Sediment runoff shall be allowed to leave the immediate construction site.
3. Stockpile disturbed topsoil and redistribute around the finished site on disturbed areas as seed base.
4. Disturb only those areas under construction. Do not leave soil unprotected during heavy rain.
5. Re-seed and mulch all disturbed areas with permanent landscaping or seed mix as follows:
 Blended Grass: 1/2 # per 1000 S.F.
 Rose Clover: 1/3 # per 1000 S.F.
 Annual Ryegrass: 1/4 # per 1000 S.F.
6. Fertilize seedlings with 16-20-0 ammonium phosphate w/ sulphur.
7. Additional erosion control measures may be required by Environmental Planning staff during construction as conditions warrant.



DETAIL C10-A
TYPICAL Silt Fence
N.T.S.

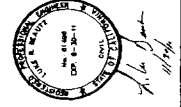


DETAIL C10-B
DROP INLET SEDIMENT BARRIER
N.T.S.

SECTION A-A

C10

IMPROVEMENT PLAN
 SHOWING PRELIMINARY EROSION AND DRAINAGE
 FOR A PROPOSED LOT SPLIT FOR THE
 KIRSCHENBAUM / ADANALIAN
 FAMILY
 APPLICATION No. 101044
 SANTA CRUZ COUNTY, CALIFORNIA
 SCALE: 1" = 20'
 BY: LUKE R. BEAUTZ, C.E., L.S.
 A.P.N. 049-002-12
 SHEET C10



PRELIMINARY EROSION CONTROL PLAN
 1" = 20'

EXHIBIT D



RECEIVED

SANTA CRUZ COUNTY HEALTH SERVICE AGENCY
ENVIRONMENTAL HEALTH SERVICE

JUN 07 2010 701 Ocean Street - Room 312, Santa Cruz, CA 95060 (831) 454-2022

#10-020

2155

ENVIRONMENTAL
HEALTH SERVICES

SITE EVALUATION

PRELIMINARY LOT INSPECTION REPORT

MLD # _____ PROPOSED LOT B LOT SIZE 5 AC SITE LOCATION 682 CalabasasAPN 049-062-12 WATER SUPPLY wellOWNER'S WRITTEN PERMISSION ATTACHED YES ☒ NO ☐06/08/10 3:36PM 000E#6870 000
FL4201 \$907.00
CHECK \$907.00☐ SITE EVALUATION☐ FULL ☐ SOIL ☐ GROUNDWATER ☐ PERCOLATION ☐ REPAIR ☐ ALTERNATIVE SYSTEM☐ OTHER CONSULTATION _____REQUESTED BY: ENV. CONCEPTSOWNER: ADANALIAN / KIRSCHENBAUM (NAME) 682 CALABASAS RD, WATS (ADDRESS) 684-1555 (PHONE)
724-1538 (PHONE)☐ Item/s checked below do not meet present sewage disposal requirements or require further testing:

- ☐ Soil tests indicate soils not suitable.
- ☐ Lot slope excessive, area has been graded; and/or unable to provide setback from cut bank
- ☐ Winter water table testing required.
- ☐ Tests indicate failure to provide required separation of leaching and seasonal high groundwater.
- ☐ Unable to provide a 100 foot separation between a septic system and a well, spring, stream, or waterway.
- ☐ Inadequate space for both the sewage disposal system and the required future expansion area.
- ☐ Septic area in floodplain.
- ☐ Other _____

☒ Preliminary inspection of this lot indicates suitability for individual sewage disposal using conventional septic technology under standards currently in effect, subject to any limitations identified below.☒ Water supply must be developed.☐ Site conditions may be mitigated by alternative technology. Further testing and evaluation is needed.

Design Parameters

Percolation Rate 1-5 6-30 30-60 60-120 Groundwater Depth for Design Purposes 35' ±REMARKS: Soils: 133, 134, 175 649-062-27 10' Flow 199610-0165 in process10-0178 Prelim.6-9-10 Slope 20%0-1' Topsoil1-11 Red Silty Sandy Loam11-14 Tan Color Sandier6/18/10 - per tests w/ consultant6/23/10 - Add pers-see soil report/results

NOTE:

Preliminary inspections and evaluations do not take into account all factors which are considered in the issuance of a sewage disposal permit. An application for sewage disposal will be subject to further evaluation based on the specific sewage disposal design; the possible presence of geologic hazards, biotic resources, or other site constraints; and, the provisions of the Sewage Disposal Ordinance in effect at the time of permit application.

EST
ENVIRONMENTAL HEALTH SPECIALIST7-26-10
DATE[Signature]
SUPERVISOR7/29/10
DATE

EXHIBIT D



Drainage Review

Routing No: 2 Review Date: 12/17/2010

GERARDO VARGAS (GVARGAS) : Complete

Application No.: 101044

G_V

12/13/10

Completeness Comments:

Application has been approved for the discretionary stage is regards to drainage.

Miscellaneous Comments:

The following must be addressed prior to building permit issuance.

1. How will leaves, twigs, gravel, sand, silt and other debris with a potential to clog the detention/retention system be prevented from entering the drainage system? Site plans shall specify required maintenance procedures to assure proper functioning of the proposed drainage system.
2. Please provide a cross section construction detail for the proposed paver driveway.
3. Please provide erosion control measures at the end(s) of the proposed drainage swales.

A drainage impact fee will be assessed on the net increase in impervious area. The fees are currently \$1.07 per square foot, and are assessed upon permit issuance. Reduced fees are assessed for semi-pervious surfacing to offset costs and encourage more extensive use of these materials.

Upon approval of the project, a drainage "Hold" will be placed on the permit and will be cleared once the construction is complete and the stormwater management improvements are constructed per the approved plans: In order to clear the Hold, one of these options has to be exercised:

1. The civil engineer has to inspect the drainage improvements on the parcel and provide public works with a letter confirming that the work was completed per the plans. The civil engineer's letter shall be specific as to what got inspected whether invert elevations, pipe sizing, the size of the mitigation features and all the relevant design features. Notes of "general conformance to plans" are not sufficient.
2. As-built plans stamped by the civil engineer may be submitted in lieu of the letter. The as-built stamp shall be placed on each sheet of the plans where stormwater management improvements



Drainage Review

Routing No: 2 Review Date: 12/17/2010

GERARDO VARGAS (GVARGAS) : Complete

were shown.

3. The civil engineer may review as-built plans completed by the contractor and provide the county with an approval letter of those plans, in lieu of the above two options. The contractor installing the drainage improvements will provide the civil engineer as-built drawings of the drainage system, including construction materials, invert elevations, pipe sizing and any modifications to the horizontal or vertical alignment of the system. The as-built drawings, for each sheet showing drainage improvements and/or their construction details, must be identified with the stamp (or label affixed to the plan) stating the contractor's name, address, license and phone #. The civil engineer will review the as-built plans for conformance with the design drawings. Upon satisfaction of the civil engineer that the as-built plans meet the design intent and are adequate in detail, the civil engineer shall submit the as-built plans and a review letter, stamped by the civil engineer to the County Public Works Department for review to process the clearance of the drainage. Hold if the submittal is satisfactory.

The applicant is encouraged to discuss the above comments with the reviewer to avoid unnecessary additional routings. A \$200.00 additional review fee shall be applied to all re-submittals starting with the third routing.

Please call the Dept. of Public Works, Stormwater Management Section, from 8:00 am to 12:00 noon if you have questions.

Driveway/Encroachment Review

Routing No: 1 Review Date: 08/31/2010

DAVID GARIBOTTI (DGARIBOTTI) : Not Required

Environmental Health Review

Routing No: 1 Review Date: 08/16/2010

JIM SAFRANEK (JSafranek) : Complete

The proposed parcel received an approved preliminary onsite sewage disposal site evaluation issued by EHS in 7/2010.

Environmental Planning

EXHIBIT D
ATTACHMENT



County of Santa Cruz, PLANNING DEPARTMENT

Discretionary Application Comments 101044

APN 049-062-12

Routing No: 1 Review Date: 08/31/2010

ROBERT LOVELAND (RLOVELAND) : Complete

Conditions of Approval:

1. Submit a soils report completed by a California licensed geotechnical engineer for review and approval.
2. Submit a grading/drainage plan completed by a licensed civil engineer for review and approval.
3. Obtain a grading permit if required.
4. Submitted a detailed erosion/sediment control plan for review and approval.

NOTE TO PLANNER:

The submitted Archaeological Reconnaissance Report (Archaeological Consulting, dated 3/22/10) has been reviewed and accepted. The results were negative and no further analysis is required.

Fire Review

Routing No: 1 Review Date: 09/07/2010

CHRIS WALTERS (CWALTERS) : Complete

OFFICE OF THE FIRE MARSHAL

SANTA CRUZ COUNTY FIRE DEPARTMENT / *CALFIRE*

CAL FIRE

SAN MATEO-SANTA CRUZ UNIT

6059 HIGHWAY 9
P.O. DRAWER F-2
FELTON, CA 95018
Phone (831) 335-6748
Fax # (831) 335-4053

JOHN FERREIRA
FIRE CHIEF

Date: 3/1/11

Planning Department
County of Santa Cruz
Attention: Name
701 Ocean Street
Santa Cruz, CA 95060

Subject: APN: 000-000-00 / Appl #101044
Address

EXHIBIT D



Discretionary Application Comments 101044

APN 049-062-12

Fire Review

Routing No: 1 Review Date: 09/07/2010

CHRIS WALTERS (CWALTERS) : Complete

Dear Name:

The Santa Cruz County Fire Marshals Office has reviewed the plans for the above cited project and has no objections as presented.

- Any other requirements will be addressed in the Building Permit phase.
- Plan check is based upon plans submitted to this office. Any changes or alterations shall be re-submitted for review prior to construction.

The County of Santa Cruz Emergency Services Department/Addressing must approve or assign an address before Fire Department approval is obtained.

NOTE on the plans "these plans are in compliance with California Building and Fire Codes (2010 edition) and Santa Cruz County Amendments".

Note: As a condition of submittal of these plans, the submitter, designer and installer certify that these plans and details comply with applicable Specifications, Standards, Codes and Ordinances, agree that they are solely responsible for compliance with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent review, inspection or other source, and, to hold harmless and without prejudice, the reviewer and reviewing agency.

Should you have any additional concerns, you may contact our office at (831) 335-6748.

Metro Transit District Review

Routing No: 1 Review Date: 09/07/2010

SAMANTHA HASCHERT (SHASCHERT) : No Response

Policy Section Review

Routing No: 1 Review Date: 09/07/2010

SAMANTHA HASCHERT (SHASCHERT) : No Response

EXHIBIT D

ATTACHED



Policy Section Review

Routing No: 1 Review Date: 09/07/2010

SAMANTHA HASCHERT (SHASCHERT) : No Response

Project Review

Routing No: 3 Review Date: 04/05/2011

SAMANTHA HASCHERT (SHASCHERT) : Complete

Road Engineering Review

Routing No: 3 Review Date: 03/02/2011

RODOLFO RIVAS (RRIVAS) : Complete

Permit Conditions and Additional Information:

The following item can be addressed at the building permit phase:

Applicant will need to trim vegetation on Calabasas Road in order to provide sight distance for vehicular speeds of 30 MPH as noted on sight distance document dated January 28, 2011, prepared by Luke R Beautz, Civil Engineer.

Surveyor Review

Routing No: 3 Review Date: 02/18/2011

KATE CASSERA (KCASSERA) : Incomplete

Completeness

1. Sheet 2 – Per County Design Criteria requirements in section A.1.e, County datum is to be used for all projects regardless of the extent of the project. Utilization of the County GIS “County Wide Contours” information to prepare plans is inappropriate as this is not survey grade information. Revise your plan to use required County recognized datum.

Compliance

1. Sheet 2 - The tentative map for a project is for the creation of property boundaries, easements and rights-of-way. All information having to do with grading and improvements such as contour information is to be located on the preliminary improvement plans. As previously stated, remove all spot elevations, contour lines, slopes and existing structures from the tentative parcel map.
2. Per County Design Criteria requirements provide a legend of all symbols and line types used on this plan.

EXHIBIT D

ARCHAEOLOGICAL CONSULTING

**P.O. BOX 3377
SALINAS, CA 93912
(831) 422-4912**

PRELIMINARY ARCHAEOLOGICAL RECONNAISSANCE FOR A FIVE ACRE PORTION OF APN 049-062-12 WATSONVILLE, SANTA CRUZ COUNTY, CALIFORNIA

by

Mary Doane, B.A. and Gary S. Breschini, Ph.D., RPA

March 22, 2010

Prepared for

Steve Adanalian

SUMMARY: PROJECT 4363

RESULTS: NEGATIVE

ACRES: ±5 OF THE ±14 ACRE PARCEL

SITES: NONE

UTMG: 6.0565/40.9107

MAP: USGS 7.5 MINUTE WATSONVILLE WEST QUADRANGLE

Note: *SOPA*, the Society of Professional Archaeologists, has been superseded by the new Registry of Professional Archaeologists. Registered Professional Archaeologists are designated by RPA.

Field Research

None of the materials frequently associated with prehistoric cultural resources in this area (dark midden soil, marine shell fragments, broken or fire-altered rocks, bones or bone fragments, flaked or ground stone, etc.) were noted during the survey. The native soil in the project area was moist medium reddish brown clay silt. No native rock was observed.

No evidence of potentially significant historic period resources was seen in the project area.

CONCLUSIONS AND RECOMMENDATIONS

Based upon the background research and the surface reconnaissance, we have concluded that the project area does not contain surface evidence of potentially significant archaeological resources. Because of this we make the following recommendation:

- The proposed lot split and subsequent construction on the resulting five acre parcel should not be delayed for archaeological reasons.

Because of the possibility of unidentified (e.g., buried) cultural resources being found during any construction, we recommend that the following standard language, or the equivalent, be included in any permits issued for the project area:

- If historic or prehistoric archaeological resources are accidentally discovered during construction, work shall be halted within 50 meters (150 feet) of the find until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the approval of the lead agency, and implemented.

Luke R. Beautz, C.E., L.S.
608 Cabrillo Avenue
Santa Cruz, CA 95065

January 28, 2011

Ms. Samantha Haschert
Project Planner/Development Review
County of Santa Cruz
701 Ocean Street, 4th Floor
Santa Cruz, CA 95060

Re: Response to your January 7, 2011 letter regarding Application No. 101044 (A.P.N. 049-062-12).

Dear Ms. Haschert:

In response to item No. 1.a.i.:

In my years surveying I have worked on numerous property surveys where the owners have planted trees or hedges along a common property line for the specific purpose of establishing a natural boundary between the two parcels. When both owners understand that the boundary line follows a natural feature, such as a row of trees, it benefits both parties in terms of future property line issues. In my opinion making use of a natural feature will be beneficial to both the current and future owners of the properties as the line can be easily discerned through the natural feature along the common property line.

In response to item No. 2:

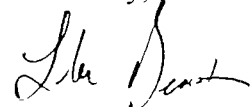
The posted speed limit for south bound traffic on Calabasas Road is 30 mph. Based on a posted speed limit of 30 mph the required site distance looking north from the driveway is 200 feet. The actual site distance is approximately 250 feet and therefore meets County Standards.

The general posted speed limit for north bound traffic on Calabasas Road is also 30 mph. However due to an existing sharp curve in Calabasas Road approximately 350 feet south of the subject driveway, there is a posted warning speed limit of 20 mph for north bound traffic. The current site distance from the driveway looking south is approximately 180 feet. This can be increased to 200 feet by minor trimming of some of the vegetation on the west side of Calabasas Road. By doing so the site distance will meet County Standards for a 30 mph posted speed limit even though the actual posted speed limit on this section of the road is 20 mph due to the aforementioned curve in the roadway.

Should you have any questions, please call me at (831) 475-8695

Thank You.

Sincerely,



Luke R. Beautz
R.C.E. 61496
P.L.S. 8064

EXHIBIT D



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET - 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123

TOM BURNS, PLANNING DIRECTOR

November 24, 2009

Frank Phantom
4315 Capitola Rd.
Capitola, CA 95010

Subject: Application # **09-0287**; Assessor's Parcel #: **049-062-12**
Owner: **Naomi Kirschenbaum & Stephen Adanalian**

Dear Frank:

This letter is to inform you that the Rural Density Matrix Determination for the above noted property has been completed. The information contained within this document is for informational purposes only, and is only a preliminary survey of what level of density could be considered for the property. Please review the documents, including all of the notes and pertinent policies. Additional site specific information will most likely be required for land divisions (or other development permit applications related to density) and the resulting maximum allowed density may differ as a result of the presence of new or more accurate information. Please keep in mind that the Rural Residential Density Matrix only determines the MAXIMUM density that may be allowed for a piece of property. It is very possible that Planning Department staff or the decision making body, when reviewing a land division application (or other development permit applications related to density), will determine that a lower density of use is more appropriate for the project site.

Should you have further questions concerning your application, please contact me at:
(831) 454-5357, or e-mail: pln111@co.santa-cruz.ca.us

Sincerely,

Robin Bolster-Grant
Planner III
Development Review



Rural Residential Density Matrix Determination

Important Notice

Chapter 13.14 of the Santa Cruz County Code (Rural Residential Density Determinations), directs the Planning Department to use a matrix system to assist in determining the development potential of rural land. The purpose of a matrix is to provide for a consistent methodology for the determination of the development potential of rural land based on the availability of services, environmental and site specific constraints, and resource protection factors. A rural matrix is used to evaluate the development potential of rural property based on preliminary review of the best available information. The decision to approve or deny your development application will take place only after a thorough evaluation of your site, acceptance of technical studies, and the review of an accurate survey of the property.

A rural density matrix determination which shows that a land division or development of additional building site(s) may be possible is no assurance that your application will be approved. The result of the matrix does not require the decision-making body to approve the minimum lot sizes or the maximum densities.

RURAL DENSITY MATRIX WORKSHEET

Application No. 09-0287

**This section is to be completed by the
Applicant**

(All information on this page was submitted by applicant)

Assessor's Parcel No.: 049-062-12

Name Naomi Kirschenbaum & Stephen Adanian
Mailing Address 682 Calabasas Road
City, State, Zip Watsonville, CA 95076
Telephone (831) 724-1538

Access to site: Calabasas Rd./Chandler Lane

Check which apply: ☒ Public, County maintained (Calabasas Road)
☒ Public, not County maintained (Chandler Lane)
☐ Private
☐ Dead-end road and greater than ½ mile from a through road (see General Plan Policies 6.5.4 and 6.5.5)
☐ Not paved
☒ Pavement width: 12' to 18' with turnouts at intervals of greater than 500 feet
☐ Pavement width: 12' to 18' with turnouts at intervals of less than 500 feet
☐ Pavement width: 18' or greater

Water Source: ☐ County or municipal water district
☒ Private or mutual well
☐ Spring

Sewage Disposal: ☐ Public or private sanitation district
☐ Package treatment plant or septic maintenance district
☒ Septic system

Total acreage Parcel: 13+ acres Number of houses or habitable structures on parcel: 1

Purpose of this application:

☒ Determine the minimum acreage per building site
☐ Determine the maximum number of parcels for a land division
☐ Determine the allowable density of an organized camp or conference center

EXHIBIT D

**BASIS FOR ANALYSIS;
TO BE COMPLETED BY STAFF**

Planning Area: Aptos Hills

General Plan land use designation: R-R (Rural Residential)

Zone District: A (Agriculture)

Mapped Environmental Constraints: Biotic, Ground Water Recharge, Archaeological
Mapped Archeological Resource Area; no other mapped constraints

Resources (timber, agriculture, etc.) Timber Resources

No Mapped resources; adjacent to ag resource area (CA-zoned property to the east)

Access: Calabasas Road/Chandler Lane

Fire Response Time (in minutes): Less than 5 minutes according to Fire Response Maps

Property Characteristics

Source of the following data: X In house Field investigation

Parcel size (in acres): approx 14.05 acres Source: Assessor's office

Acreage per Average Slope Category:

Slope %	Acres	%
0-15	9.30	66.19
16-30	2.68	19.07
30-50	1.71	12.18
50+	.36	2.56

Portions of Property Excluded as Undevelopable land (in acres):

- | | | |
|----|---|-----------------------|
| 1. | Slopes in excess of 50% | .36 acres (GIS est.) |
| 2. | Road rights-of-way (estimated/additional rights-of-way may exist) | None shown |
| 3. | Riparian corridors, wooded arroyos, canyons, stream banks, areas of riparian vegetation. | None mapped |
| 4. | Lakes, streams, marshes, sloughs, wetlands, beaches, and areas within the 100 year flood plain. | None mapped |
| 5. | Areas of recent or active landslides. | None mapped |
| 6. | Land within 50 feet of an active or potentially active fault trace. | None mapped |
| 7. | Type 1 & 2 prime agricultural land and mineral resource areas. | None mapped |
| 8. | Total acreage excluded (total of #'s 1 through 7, except overlaps) | .36 acres ± minimum |
| 9. | Total Developable Acreage (subtract # 8 from total acreage) | 13.69 acres ± maximum |

**BASIS FOR ANALYSIS;
TO BE COMPLETED BY STAFF**

Rural Residential Density Matrix	<u>Current Point Score</u>	<u>Conditional Point Score</u>
1. Location: Rural Residential General Plan Designation Both lots within 500 feet of and taking access from Calabasas Road	10	10
2. Groundwater Quality: IV adequate/ good quality Private well system.	8	8
3. Water Resource Protection: Septic Systems not within problem areas or Ground Water Recharge area.	6	6
4. Timber Resources: No Timber Resource.	10	10
5. Biotic Resource: Parcel not located within any Mapped Sensitive Habitats.	10	10
6. Erosion: Aromas Sandstone (6 X .6619)(3 X .1907)(0 X .1474) rounded up *A precise slope map may provide support for a higher score	4.5	6*
7. Seismic Activity: Low potential for liquefaction.. *Establish that there is no potential for liquefaction.	9	10*
8. Landslide: Aromas Sandstone (6 X .6619)(3 X .1907)(0 X .1474) rounded up. *A precise slope map may provide support for a higher score	4.5	6*
9. Fire Hazard: Small portion of property within Critical Fire Hazard Area, with all building sites located outside Fire Hazard Areas. Sites served by 12' wide roads with turnouts. Less than 5 minutes response time assumed. Building sites within ½ mile of County Maintained through road. *Establish that sites will be served by an 18' wide road.	8	10*
SUBTOTAL	70	76
SUBTRACT CUMULATIVE CONSTRAINT POINTS	0	0
GRAND TOTAL	70	76
Minimum Average Developable Parcel Size*: (from Rural Residential Table as determined by the point score)	5 acres	5 acres
Number of Potential Building Sites* (developable acreage divided by minimum average parcel size)	2	2

*Over-riding minimum parcel size restriction, if applicable, take precedence over the preliminary allowed average density in the event of conflict. SEE POLICIES ATTACHED

EXHIBIT D

RURAL DENSITY MATRIX WORKSHEET
OVERRIDING MINIMUM ACREAGE POLICIES

COUNTY OF SANTA CRUZ
PLANNING DEPARTMENT
701 OCEAN STREET
SANTA CRUZ, CA 95060
(408) 454-2130

Assessor's Parcel No. 049-062-12
Application No. 09-0287

The parcel has been examined to determine if it is subject to any overriding General Plan, or Local Coastal Program Land Use Plan policies, requiring a minimum gross acreage parcel size. SUCH MINIMUM SIZE RESTRICTIONS, IF APPLICABLE, TAKE PRECEDENCE OVER THE PRELIMINARY ALLOWED AVERAGE DENSITY IN THE EVENT OF A CONFLICT.

APPLICABLE	NOT APPLICABLE	MAY BE APPLICABLE	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Parcel is within the Coastal Zone and Water Supply Watershed. The minimum parcel size is 20 acres.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Parcel is outside the Coastal Zone and within a Water Supply Watershed. The minimum parcel size is 10 acres, except
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	In San Lorenzo River Watershed where the General Plan designation is Suburban Residential.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	In San Lorenzo River Watershed for land designated Rural Residential where the average parcel size within 1/4 mile of the subject parcel is less than one acre.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	In North Coast and Bonny Doon Water Supply Watersheds extending outside the Coastal Zone, the minimum parcel size of 20 acres.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Parcel is within a Least Disturbed Watershed. The minimum parcel size is 40 acres and then only if the division is consistent with open space protection and serves a special purpose beneficial to the public.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Parcel is within a proposed reservoir site or adjacent to the high water mark of a proposed or existing water supply reservoir or surface division. No land division is allowed except for water oriented uses.

EXHIBIT D

RURAL DENSITY MATRIX WORKSHEET OVERRIDING MINIMUM ACREAGE POLICIES

PAGE 3

	NOT	MAY
APPLICABLE	APPLICABLE	APPLICABLE

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Parcel is within a State or County designated seismic review zone. The minimum parcel size is 20 acres if building sites are located within the fault zone.

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Proposed parcels must locate on a non-deadend road or provide secondary fire access. If the building site is located within a 5 Minute Response time from the fire department and within 500 feet of a County maintained Road, the secondary access will not be required. If not possible, development allowed only at lowest density of General Plan designation. Proposed parcels must locate within 20 minute response time from the responsible fire station. If not possible, development allowed only at lowest density of General Plan designation.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	-------------------------------------

Parcel is in a Critical Fire Hazard area. Proposed building sites must locate outside of Critical Fire Hazard area. If the proposed building site is within a Critical Fire Hazard area and if the parcel is served by a through road or by secondary access development allowed only at lowest density of General Plan designation. If the building site is within the Critical Fire Hazard area and if the parcel is on a dead-end road and cannot develop secondary access, no land division may be approved.

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	-------------------------------------	--------------------------

Parcel is within a Mitigatable Critical Fire Hazard area. If all criteria of Section 6.5.4 of the General Plan can be met, development may be considered at a density the same as for projects outside the Critical Fire Hazard area.

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	-------------------------------------	--------------------------

Parcel is within the Coastal Zone. Prohibit land divisions that are more than 1/2 mile from a through road unless secondary access can be provided.

EXHIBIT D
7

RURAL DENSITY MATRIX WORKSHEET OVERRIDING MINIMUM ACREAGE POLICIES

PAGE FIVE

APPLICABLE	NOT APPLICABLE	MAY BE APPLICABLE
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☐

☒

☐

Parcel is within a Primary Groundwater Recharge Area. The minimum parcel size is 10 acres, except when located within the Rural Services Line and is served by a sewage disposal system minimum parcel size is 10 acres, except when located within operated by a County Services area or public services district which provides at least secondary treatment with nitrogen removal or which disposes of effluent outside the primary groundwater recharge area.

☐

☒

☐

Parcel is within a Special Forest. If development is proposed within the habitat, no division of land is allowed. If development is proposed outside the habitat, land divisions may be considered only at the lowest end of the General Plan designation. Clustering is required.

☐

☒

☐

Parcel is within a native or Mixed Grassland Habitat. If development is proposed within the habitat, no division of land is allowed. If development is proposed outside the habitat, land divisions may be considered only at the lowest end of the General Plan designation. Clustering is required.

Rdmw/056

*KEEP BUILDING SITES OUT OF THE CRITICAL
FIRE AREA TO AVOID 20-ACRE
MINIMUM LOT SIZE REQUIREMENT

EXHIBIT D



Frank Phanton

150 Felker St., Ste. G, Santa Cruz CA 95060
Architect C 24515

(831) 475-5841

SAMANTHA,

WE HAD THE NEIGHBOR
MEETING THIS WEEKEND.

WE SHOWED EVERYONE THE
PROPOSED SITE USING THE
PLANS ATTACHED.

WE ALSO WALKED OUT
ON THE PROPERTY TO
SHOW WHERE NEW PROPERTY
LINES WOULD BE.

PLEASE LET ME KNOW IF
WE CAN DO ANYTHING ELSE.

TRULY,
FRANK

Neighborhood Notification meeting required by Santa Cruz Co Code Section 18.10.211

Application #10-1044

April 9, 2011 2:00 - 4:00 PM

682 Calabasas Road Watsonville, CA 95076

This was the only scheduled meeting date.

Attendance List:

Lewis Clifton

Bruce and Annette Edwards

Adrian King and Walter On

Tim and Edwin Reed (and Tim's wife and young son, Colin)

Frank Phantom

Naomi Kirschenbaum and Steve Adanalian

There were no comments, concerns, issues or problems raised to report. Neighbors just wanted to say hello and had a general curiosity to look at the parcel plan.

There were no handouts or other materials used in the mailing or at the meeting other than the parcel maps enclosed.

Steve Adanalian and Naomi Kirschenbaum

682 Calabasas Road

Watsonville, CA 95076

831-724-1538

March 22, 2011

Dear Neighbors and Parties Required for Notification,

We are currently applying for permission from the Santa Cruz County Planning Department to split approximately 5 acres off of our parcel at 682 Calabasas Road.

We must notify you of this process and invite you to attend a meeting we are required to hold to answer any questions you may have and note any input you would like to make about this project.

Our meeting date will be April 09, Saturday, 2:00 PM - 4:00 PM. We will hold the meeting on the property at 682 Calabasas Road Watsonville, CA 95076.

Sincerely,

Naomi and Steve

04906212 AO
KIRSCHENBAUM NAOMI S U/P JT ETAL
10404 SOQUEL DR
APTOS CA 95003

04909132 AO
LEFEBRE MICHAEL A & WENDI I H/W JT
2899 FREEDOM BLVD
WATSONVILLE CA 95076

04906227 1R
Resident
688 CALABASAS RD
WATSONVILLE CA 95076

04906216 AO
KING ADRIAN M TRUSTEE ETAL
828 GALVIN DR
EL CERRITO CA 94530

04906226 OO
WAYNE DAVID A & TIFFANY K H/W CP R
690 CALABASAS RD
WATSONVILLE CA 95076

04908113 1R
Resident
181 LAGUNA CORRALITOS
WATSONVILLE CA 95076

04906221 AO
ROPER JEFFREY A & DIANE L H/W JT
684 CALABASAS RD
WATSONVILLE CA 95076

04907142 OO
PICKARD WINTHROP S H/W ETAL JT
365 LAGUNA CORRALITOS
WATSONVILLE CA 95076

04909129 1R
Resident
614 CALABASAS RD
WATSONVILLE CA 95076

04906227 AO
MARSH JOHN W TRUSTEE
P O BOX 1381
APTOS CA 95001

04907147 OO
CLIFTON LEWIS EDWARD & EMILY SILVA
340 CHANDLER LN
WATSONVILLE CA 95076

04909131 1R
Resident
2897 FREEDOM BLVD
WATSONVILLE CA 95076

04906307 AO
DEL CHIARO MARVIN J & ELAINE J TRUS
393 HACIENDA DR
SCOTTS VALLEY CA 95066

04908113 OO
REED EDWIN A TRUSTEE ETAL
185 LAGUNA CORRALITOS
WATSONVILLE CA 95076

04909131 1R
Resident
120 JOHNSEN LN
WATSONVILLE CA 95076

04908113 AO
REED EDWIN A TRUSTEE ETAL
185 LAGUNA CORRALITOS
WATSONVILLE CA 95076

04909116 OO
WELLS L BARRY & SUSAN E H/W JT
687 CALABASAS RD
WATSONVILLE CA 95076

04909132 1R
Resident
134 JOHNSEN LN
WATSONVILLE CA 95076

04908115 AO
PADILLA LUIS SR & ANA BELLA H/W JT
19 E LAKE AVE
WATSONVILLE CA 95076

04909129 OO
EDWARDS BRUCE T TRUSTEES ETAL
620 CALABASAS RD
WATSONVILLE CA 95076

04908117 AO
ROTH LESLIE W & JOYCE L TRUSTEE
185 GOLF VIEW RD
WATSONVILLE CA 95076

04909130 OO
JOHNSON JAMES J & CARLA P TRUSTEE
600 CALABASAS RD
WATSONVILLE CA 95076

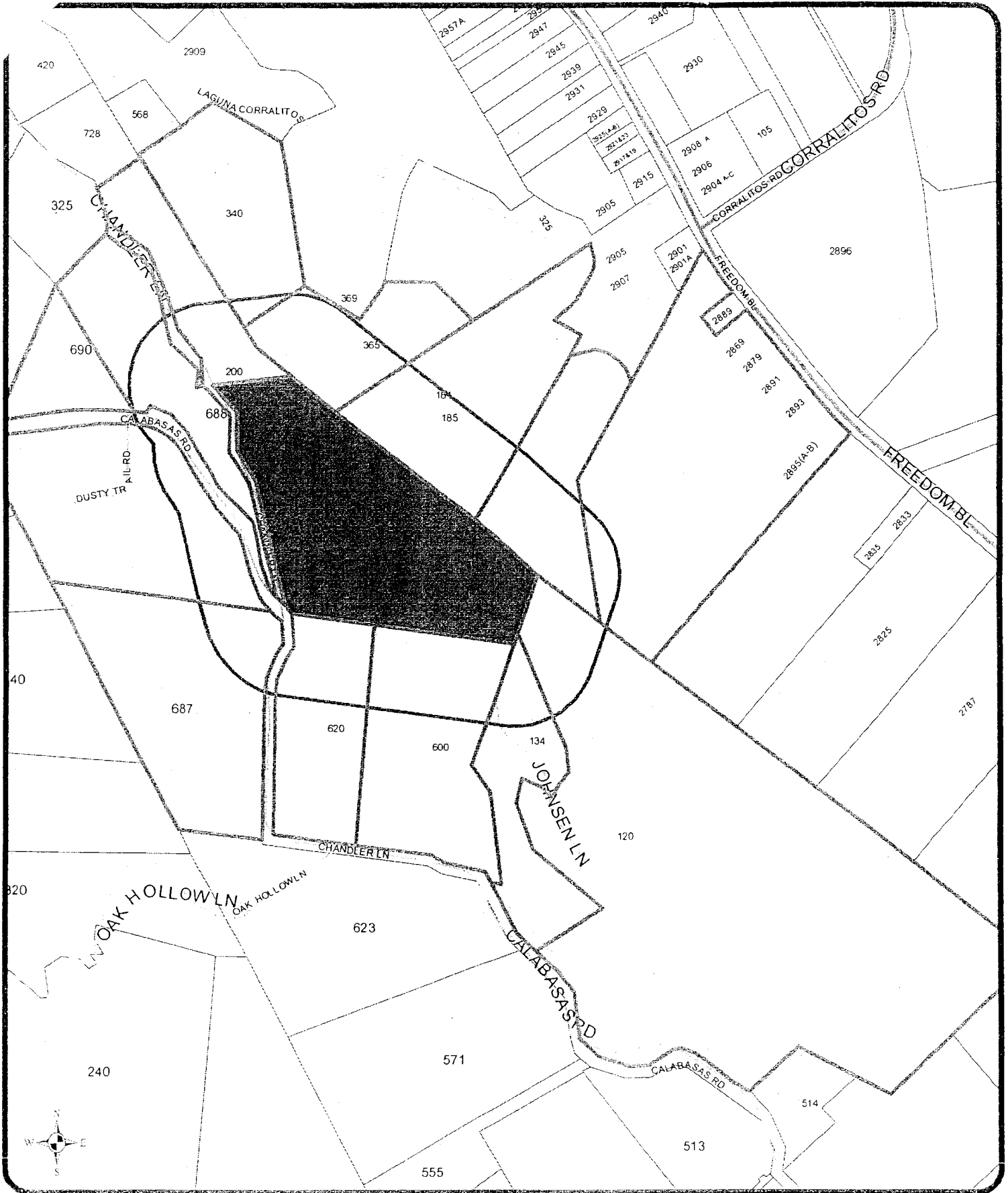
04909129 AO
EDWARDS BRUCE T TRUSTEES ETAL
620 CALABASAS RD
WATSONVILLE CA 95076

04906212 1R
Resident
682 CALABASAS RD
WATSONVILLE CA 95076

04909131 AO
FREEDOM LAND CO LLC
P O BOX 1272
SUMMERLAND CA 93067

04906216 1R
Resident
200 CHANDLER LN
WATSONVILLE CA 95076

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