



Staff Report to the Planning Commission

Application Number: **131027**

Applicant: Dee Murray
Owner: William James Black
APN: 027-261-51

Agenda Date: 10/23/13
Agenda Item #: 8
Time: After 9:00 a.m.

Project Description: Proposal to demolish one dwelling (on a site with two existing units) and construct one duplex and one triplex (five new multi-family units) for a total of six units in the RM-3 zone district.

Location: Property located on the west side of 17th Avenue, approximately 75 feet north of the intersection of Merrill Street and 17th Avenue (721 17th Avenue).

Supervisory District: First District (District Supervisor: John Leopold)

Permits Required: Requires a Coastal Development Permit, Residential Development Permit, Preliminary Grading Approval and a Categorical Exemption from CEQA.

Staff Recommendation:

- Certify that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approve of Application 131027, based on the attached findings and conditions.

Exhibits

- | | |
|--------------------------------------------------|--------------------------------------------------------------------|
| A. Categorical Exemption
(CEQA determination) | E. Assessor's parcel map, Location,
Zoning, & General Plan maps |
| B. Findings | F. Will Serve Letters |
| C. Conditions | G. Comments & Correspondence |
| D. Project Plans | H. Neighborhood Meeting |

Parcel Information

Parcel Size: 21,102 square feet with a 344 square feet dedication proposed, resulting in a 20,758 square feet parcel.
Existing Land Use - Parcel: Residential
Existing Land Use - Surrounding: Residential
Project Access: 17th Avenue
Planning Area: Live Oak
Land Use Designation: R-UH (Urban High Residential)
Zone District: RM-3 (Multi-family, 3,000 square foot minimum parcel size)
Coastal Zone: ☒ Inside ☐ Outside
Appealable to Calif. Coastal Comm. ☐ Yes ☒ No

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Soils: Soils report update letter submitted and accepted
Fire Hazard: Not a mapped constraint
Slopes: 0-2% slopes
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: 450 cubic yards cut; 100 cubic yards fill
Tree Removal: No significant tree removals; one occurred after 04-0666 was approved.
Scenic: Not a mapped resource
Drainage: Preliminary drainage plan accepted by DPW
Archeology: Not mapped/no physical evidence on site

Services Information

Urban/Rural Services Line: ☒ Inside ☐ Outside
Water Supply: City of Santa Cruz Water Department
Sewage Disposal: Santa Cruz County Sanitation District
Fire District: Central Fire Protection District
Drainage District: Zone 5 Flood Control District

History and Project Overview

The subject parcel is developed with two dwellings which were constructed in 1928, a date that precedes the requirement to obtain a building permit. In 2007, the Planning Commission approved application 04-0666 which was a proposal that is virtually identical to the current application. That permit was never exercised and went void in 2009. The current proposal is to demolish one of the two existing dwellings and construct a duplex and triplex. This will result in a total of six rental units.

Project Setting

The subject parcel is located on the west side of 17th Avenue one parcel north of the intersection of 17th Avenue and Merrill Street. 17th Avenue is an arterial roadway connecting the Highway 1 corridor with the neighborhoods and beaches to the south. The subject parcel is level with two single-family dwellings, one of which is proposed to be demolished. A large redwood tree, which is to remain, is located in the southeast corner of the parcel.

Surrounding land uses include a mobile home park to the west, a triplex to the south, two single-family dwellings on the parcel to the north, and a single-family dwelling to the east. Further east on Merrill Street is Del Mar Elementary School. A bus stop is located directly across the street on the east side of 17th Avenue. Shoreline Middle School, recreation facilities and a shopping center are located within easy walking distance of the project site.

The architecture of the surrounding area is eclectic, ranging from mobile homes to contemporary-styled townhouses, and from the historic cottage across the street to the board and batten triplex to the south.

Zoning & General Plan Consistency

The subject property is a 21,102 square foot lot, located in the RM-3 (Multi-family, 3,000 square foot minimum parcel size) zone district, a designation which allows for residential uses. With the proposed 344 square foot right-of-way dedication, the net developable area of the subject parcel will be 20,712 square feet. The proposed residential development is a principal permitted use within the zone district, and the project, which proposes one unit per 3,462 square feet of net developable area, is consistent with the site's (R-UH) Urban High Residential General Plan designation which requires 2,500 to 4,000 square feet per unit. The applicant is aware that under current regulations, a land division is not possible.

The subject property is within the East Cliff Village Tourist Area, and this proposal complies with the requirement that development maintain the one- and two-story scale of the area. Privately funded rental projects are rarely proposed within the County despite a strong need for them. The General Plan's Housing Element encourages the provision of rental housing.

Site Standards

As the table below details, the project is in conformance with the setbacks, height, lot coverage, floor area ratio, open space, and parking requirements of the zone district.

	RM-3 Standards	Proposed
Front yard setback	20 feet	26.5 feet (existing)
Rear yard setback	15 feet	15 feet
Side yard setback	5 feet / 8 feet	5 feet / 8 feet
Height	28 feet	25 feet 1.5 inches (triplex) and 22 feet 1.25 inches (duplex)
Lot Coverage	40 % maximum	35%
Floor Area Ratio	0.5:1 maximum (50 %)	46%
Open Space	200 square feet per unit	Exceeds 200 square feet per unit
Parking	18	18

Local Coastal Program Consistency

The project is in conformance with the County's certified Local Coastal Program, in that the structures are sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain an eclectic range of structures and architectural styles, and the design submitted is not inconsistent with the existing range. The project site is not located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Design Review

Several factors have driven the project's site design, including: the parcel's dimensions, the General Plan density requirement, fire department requirements, and the zone district's site standards. The parcel is narrow and long with the parcel's frontage along 17th being about 25 feet narrower than the rear property line.

The triplex is sited at the back of the parcel where the parcel is the widest. Given the 18 required parking spaces, a driveway width of 24-feet, and a 4-foot wide pedestrian path leading to the triplex unit, the duplex was sited along the northern property line, behind the existing unit.

Because the existing dwelling closest to 17th Avenue is to remain, the change to the 17th Avenue's streetscape will be relatively minor. The existing dwelling will be finished with architectural details and colors to complement the proposed triplex and duplex, but will appear unchanged in terms of mass, bulk and silhouette. Landscaping will screen the parking area from 17th Avenue and will enhance the streetscape by providing three trees in the front yard setback and many shrubs along the frontage.

A substantial portion of the site is paved due to both the project's parking requirement and driveway, and the fire department's requirement for a hammerhead. To visually break-up the expanse of paving, landscaping will screen the trash enclosure and parking area from 17th Avenue and a landscape island will provide visual relief and shading for the uncovered parking area. In addition, a landscape area is provided in front of each duplex unit.

The resulting site and architectural design complies with the requirements of the County Design Review Ordinance, in that the project is sited in such a way that the visual impact to 17th Avenue will be minimal. In addition, the development will incorporate site and architectural design features such as a Dutch gable roof, a mix of board and batten and stucco finishes, and architectural details such as a trellis above the paneled garage doors, and decks off of the duplex to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape.

Improvement Plan

Given the proposed increase in impervious area and the slow percolation rate of the site, controlling the project's runoff was a challenge. The project engineer, however, has designed a preliminary drainage system that Department of Public Works has accepted. In general terms, the drainage plan functions in the following way. The runoff that the parcel currently accepts from the northwest will maintain its existing drainage pattern and will enter a vegetative swale along the western side of the triplex.

For the runoff generated by the development, the project engineer divided the property into thirds. For the western third, downspouts will direct runoff from the triplex's roof and part of the duplex's roof to an inlet where it will percolate through the gravel sub-base of the permeable driveway to a perforated pipe. From the perforated pipe, an orifice will regulate the outflow to maintain the predevelopment rate. The runoff will be released through a spreader and will continue south through two private properties to the storm drain system located in Merrill Street. The two private property owners have acknowledged in writing that the runoff will be directed through their properties (Exhibit G).

The middle and eastern thirds will work in roughly the same way with roof downspouts directed to the pervious pavers of the driveway and gravel sub-base beneath them. Runoff that does not percolate into the ground will be collected and released at the pre-development rate to 17th Avenue. This design is beneficial in that it slows the runoff down, allowing time for it to infiltrate.

Affordable Housing Obligation

The County's General Plan Policy 2.3 exempts housing projects that contain 100% apartment units from the County's inclusionary housing requirements as an incentive to create more rental housing in the community. Therefore, this project has no affordable housing obligation.

Neighborhood Meeting

The applicant, Dee Murray, hosted a neighborhood meeting on January 13, 2013 on the subject parcel. Only one neighbor attended and, according to the applicant, this neighbor supports the project. An additional neighbor, Mike Achkar, who was unable to attend the meeting, sent a letter on behalf of the Del Mar Road Association (Merrill Street), supporting the project "at its current density of RM-4,000 only" and raising a concern about the potential for the proposed project to impact their street with additional traffic, parking and crime (Exhibit I). Ms. Murray responded to this with another letter clarifying that the property is zoned RM-3,000 and stating that the

property owner is willing to prohibit street parking as a part of his tenants' lease agreements.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Certify that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVE** of Application Number **131027**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

Report Prepared By: _____


Annette Olson
Santa Cruz County Planning Department
701 Ocean Street, 4th Floor
Santa Cruz CA 95060
Phone Number: (831) 454-3134
E-mail: annette.olson@co.santa-cruz.ca.us

Report Reviewed By: _____

Ken Hart
Principal Planner
Development Review

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 131027

Assessor Parcel Number: 027-261-51

Project Location: 721 17th Ave.

Project Description: Proposal to demolish one dwelling unit and construct five new multi-family dwelling units (one duplex and one triplex) for a total of six dwelling units.

Person or Agency Proposing Project: James William Black

Contact Phone Number: (408) 395-3919

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).

Specify type:

E. ☒ **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

Project located within an urbanized area, and no more than 6 units are to be constructed.

In addition, none of the conditions described in Section 15300.2 apply to this project.


Annette Olson, Project Planner

Date: 10/10/13

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts, other than the Special Use (SU) district, listed in section 13.10.170(d) as consistent with the General Plan and Local Coastal Program LUP designation.

This finding can be made, in that the property is zoned RM-3 (Multi-family, 3,000 square foot minimum parcel size), a designation which allows residential uses. The proposed development is a principally permitted use within the zone district, consistent with the site's (R-UH) Urban High Residential General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that the proposal does not conflict with any existing easement or development restriction such as public access, utility, or open space easements in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to section 13.20.130 et seq.

This finding can be made, in that the development is consistent with the eclectic range of architectural styles in the surrounding neighborhood; the site is surrounded by lots developed to an urban density; and the development site is not on a prominent ridge, beach, or bluff top. Most of the development will be screened by the existing dwelling located at the front of the parcel. Different finish materials on the duplex and triplex—stucco on the first floor and board and batten on the second floor—will break up the mass and bulk of the new structures. In addition, the Dutch gable roof and varied wall planes will further break up the mass and bulk of the structures. The existing dwelling will be finished with architectural details and colors to complement the proposed triplex and duplex, but will appear unchanged in terms of mass, bulk and silhouette.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the General Plan and Local Coastal Program land use plan, specifically Chapter 2: figure 2.5 and Chapter 7, and, as to any development between and nearest public road and the sea or the shoreline of any body of water located within the coastal zone, such development is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act commencing with section 30200.

This finding can be made, in that the project site is not located between the shoreline and the first public road. Consequently, the proposed development will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

5. That the proposed development is in conformity with the certified local coastal program.

This finding can be made, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the RM-3 (Multi-family, 3,000 square foot minimum parcel size) zone district of the area, as well as the General Plan and Local Coastal Program land use designation. Developed

parcels in the area contain a range of dwellings, ranging from mobile homes to single-family dwellings. Size and architectural styles vary widely in the area, and the design submitted is not inconsistent with the existing range.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses and is not encumbered by physical constraints to development. Construction will comply with prevailing building technology, the Uniform Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. The proposed development will not deprive adjacent properties or the neighborhood of light, air, or open space, in that the structure meets all current setbacks that ensure access to light, air, and open space in the neighborhood and the proposed structures are less than the 28-foot height limit of the zone district.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the proposed development and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the RM-3 (Multi-family, 3,000 square foot minimum parcel size) zone district in that the primary use of the property will be six residential units that meet all current site standards for the zone district.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the Urban High Residential (R-UH) land use designation in the County General Plan. The R-UH land use designation specifies a density of one unit for every 2,500 to 4,000 square feet of net developable land. This project proposes one unit per 3,462 square feet of net developable area which complies with this range.

The proposed development will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the proposed duplex and triplex will meet current setbacks for the zone district that ensure access to light, air, and open space in the neighborhood.

The proposed duplex and triplex will not be improperly proportioned to the parcel size or the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed development will comply with the site standards for the RM-3 zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

In addition, the project is consistent with General Plan policy 3.1.1 (Land Use Patterns: Job / Housing Balance) in that the proposed development is located near shopping, schools and recreation

opportunities which will likely reduce the vehicle miles traveled per person.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed duplex and triplex are to be constructed on an existing legal lot. The expected level of traffic generated by the proposed project is anticipated to be only four peak trips per day (1 peak trip per new dwelling unit); such an increase will not adversely impact existing roads and intersections in the surrounding area.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed development is consistent with the land use intensity and density of the neighborhood. The surrounding neighborhood is very diverse relative to architectural styles, density and uses. Within the neighborhood are commercial uses, institutional uses, single-family residences and multi-family residences. Given this diversity, the proposed project will complement and harmonize with the surrounding land uses, including its physical design aspect (see Finding 6 below). All of the required parking will be provided onsite and no parking variance is requested.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed duplex and triplex will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area. In addition, the proposed project will have a minimal impact upon the 17th Avenue streetscape in that the new structures will be built behind the existing front dwelling. The new structures, which have Craftsman architectural features like divided light windows, trellises supported by brackets, and paneled garage doors, have been designed to minimize the buildings' apparent bulk and mass. Dutch gable roofs, varied wall planes and different finish materials and colors will further break up the bulk and mass of these structures. The proposed landscape plan will soften the impact of the development on surrounding properties. Given this, the proposed project will comply with the County's Design Standards and Guidelines.

Conditions of Approval

- Exhibit A: 9 sheets of architectural drawings by David Barkelew, Architect, revised April 10, 2013; 1 sheet, landscape plan, by Natalain Swartz Design and revised by David Barkelew September 19, 2013; and 2 sheets by Roper Engineering, revised May 13, 2013.
- I. This permit authorizes the demolition of a dwelling unit and construction of a duplex and triplex and the site improvements as shown in Exhibit D. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
- A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
 - C. Obtain a Building Permit from the Santa Cruz County Building Official.
 - D. Obtain a Grading Permit from the Santa Cruz County Building Official.
 - E. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
- A. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder).
 - B. Submit a grant deed to the County for the 5-foot dedication which parallels 17th Avenue.
 - C. Submit final architectural and landscape plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. Any changes from the approved Exhibit "A" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 - 1. Identify finish of exterior materials and color of roof covering for Planning Department approval. Any color boards must be in 8.5" x 11" format.
 - 2. All site, building, security and landscape lighting shall be directed onto the site and away from adjacent properties. Light sources shall not be visible from adjacent properties. Light sources can be shielded by landscaping, structure, fixture design or other physical means. Building and security lighting shall be integrated into the building design.

3. Electric and gas meters shall not be located in the front setback or area visible from public view or must be entirely screened from public view.
4. For the trash/recycling enclosure:
 - a. An exterior sign with the international recycling logo shall be required, including the name and phone number of the responsible person and an interior sign for the types of materials to be recycled as specified by the County of Santa Cruz Recycling Design Criteria.
 - b. The property owner is responsible for arranging with the collector/broker for regular pick up of material. Recyclable materials shall not be allowed to accumulate in such a manner that visual or public health nuisance is created.
5. The front fence paralleling 17th Avenue may not exceed three feet in height.
6. A final Landscape Plan, to be accepted by Planning staff, for the entire site specifying the species, their size, and irrigation plans and meet the following criteria and must conform to all water conservation requirement of the City of Santa Cruz water conservation regulations:
 - a. Turf Limitation. Turf area shall not exceed 25 percent of the total landscaped area. Turf area shall be of low to moderate water-using varieties, such as tall or dwarf fescue.
 - b. Plant Selection. At least 80 percent of the plant materials selected for non-turf areas (equivalent to 60 percent of the total landscaped area) shall be well-suited to the climate of the region and require minimal water once established (drought tolerant). Native plants are encouraged. Up to 20 percent of the plant materials in non-turf areas (equivalent to 15 percent of the total landscaped area), need not be drought tolerant, provided they are grouped together and can be irrigated separately.
 - c. Soil Conditioning. In new planting areas, soil shall be tilled to a depth of 6 inches and amended with six cubic yards of organic material per 1,000 square feet to promote infiltration and water retention. After planting, a minimum of 2 inches of mulch shall be applied to all non-turf areas to retain moisture, reduce evaporation and inhibit weed growth.
 - d. Irrigation Management. All required landscaping shall be provided with an adequate, permanent and nearby source of water which shall be applied by an installed irrigation, or where feasible, a drip irrigation system. Irrigation systems shall be designed to avoid runoff, over-spray, low head drainage, or other similar conditions where water flows onto adjacent property, non-irrigated areas, walks, roadways or structures.

- i. The irrigation plan and an irrigation schedule for the established landscape shall be submitted with the building permit applications. The irrigation plan shall show the location, size and type of components of the irrigation system, the point of connection to the public water supply and designation of hydrozones. The irrigation schedule shall designate the timing and frequency of irrigation for each station and list the amount of water, in gallons or hundred cubic feet, recommended on a monthly and annual basis.
 - ii. Appropriate irrigation equipment, including the use of a separate landscape water meter, pressure regulators, automated controllers, low volume sprinkler heads, drip or bubbler irrigation systems, rain shutoff devices, and other equipment shall be used to maximize the efficiency of water applied to the landscape.
 - iii. Plants having similar water requirements shall be grouped together in distinct hydrozones and shall be irrigated separately.
 - iv. Landscape irrigation should be scheduled between 6:00 p.m. and 11:00 a.m. to reduce evaporative water loss.
 - e. Two trees, selected from the County's Significant Tree Replacement List, must be added to compensate for the removal of the 24" maple tree.
- D. Meet all requirements of Environmental Planning, including the following additions to the project plans or additional information:
- 1. Provide grading volumes, including overexcavation and recompaction volumes, as required by the soils engineer.
 - 2. Provide a drainage plan that complies with 2010 CBC 1804.3.
 - 3. Add a reference to the soils report and update, including soils engineer contact information.
 - 4. Include a reference to the soils report and update, including soils engineer contact information.
 - 5. Show the limits of disturbance.
 - 6. Provide a stormwater pollution control plan that meets the requirement of the County of Santa Cruz Stormwater Pollution Control Manual, found here: <http://www.sccoplanning.com/LinkClick.aspx?fileticket=3IQAaLIghpM%3d&tabid=1073>.
 - 7. Submit two copies of the soils report and update letter with the building permit application.
 - 8. Provide a plan review form signed by the soils engineer that lists all plan sheets

by final revision date, once all agency comments have been addressed.

9. If grading is proposed within the drip line of the redwood tree, provide recommendations and plan approval from a certified arborist for protection of the tree during construction.
- E. Meet all requirements of and pay Zone 5 drainage fees to the Department of Public Works, Stormwater Management. Address the following in the final stormwater management plan:
- a. Please provide a tributary drainage area map and capacity calculations for the downstream gutter flow line to the next inlet along 17th Avenue. Please note that these calculations were previously performed by Mid Coast Engineers for application 04-0666. Please include these calculations in the final drainage study for this project.
 - b. Please make clear on the plans the orifice size for each of the three ponds to facilitate proper sizing by the contractor.
 - c. The proposed catch basin along 17th Ave must be removed from the Right of Way. Please relocate this facility inside the property line. The property owner will be responsible for maintaining this facility.
 - d. A concrete cutoff wall is required for pond C (see Exhibit G, Drainage Study, sheet 4 of 8) to prevent saturation of the sidewalk and roadway sub base.
 - e. Please provide cross section construction details for the proposed permeable pavers, under sidewalk drains, graded swales, and concrete cutoff walls.
 - f. A minimum 6" cleanout/inspection riser reaching the ground surface is required at the ends of the proposed perforated sub drain pipes.
 - g. A trash enclosure is indicated on the plans. Trash enclosures must not receive drainage from adjacent pavement areas and are required to have overhead coverage. It is not indicated if the trash enclosure will have overhead coverage. Please clarify and revise.
 - h. All catch basins shall be marked with the legend "NO DUMPING DRAINS TO OCEAN. NO TIRE DESECHO CORRE AL MAR."
 - i. Site plans shall specify maintenance requirements such as; what needs to be maintained, how often each drainage improvement needs to be maintained, what to look for indicating maintenance is required, and what the maintenance procedures are for each specific drainage improvement. A recorded maintenance agreement is required for the proposed drainage system. Please contact the County of Santa Cruz Recorder's office for appropriate recording procedure. The maintenance

agreement form can be picked up from the Public Works office or can be found online at: http://www.dpw.co.santa-cruz.ca.us/Storm_Water/FigureSWM25B.pdf

- j. For fee calculations please provide tabulation of new impervious and semi-impervious (gravel, base rock, paver blocks, pervious pavement) areas resulting from the proposed project. Make clear on the plans by shading or hatching the limits of both the existing and new impervious areas. To receive credit for the existing impervious surfaces to be removed please provide documentation such as assessor's records, survey records, aerial photos or other official records that will help establish and determine the dates they were built.

A drainage fee will be assessed on the net increase in impervious area. Reduced fees are assessed for semi-pervious surfacing (50%) to offset costs and encourage more extensive use of these materials.

- k. Public Works staff will inspect the installation of the drainage related items. Once all other reviewing agencies have approved the building permit plans, please submit a copy of wet signed civil plans with the DPW signature block and a vicinity map on the first sheet. Please submit a construction estimate for all drainage related items. A construction inspection fee will be charged at 2% of the construction cost or a minimum of \$640.00.

F. Meet all requirements of the Department of Public Works, Encroachment section, including:

1. The driveway approach is proposed to be demolished and reconstructed (Plan Sheet C1). Please note on plans that it is per the County of Santa Cruz Design Criteria, including FIG-DW1, FIG ST-6c and FIG ST-4a (with a note: dowels shall also be placed at all junctions with existing concrete). Details shall be included on plans.
2. Pavers are not allowed within a county right-of-way, please note the section within the co. right-of-way to be concrete. (Concrete is allowed because there is sidewalk, curb and gutter.).
3. Proposed Christy Catch Basins shall be relocated out of the county right-of-way.
4. Proposed water meters, located within the sidewalk, shall be flush to grade to prevent any tripping hazards.
5. Under sidewalk drain shall be per the County of Santa Cruz Design Criteria, FIG ST-4b, please include detail on plans.
6. Please show on plans proposed utility trench(es) within the County right-of-way, include County of Santa Cruz Design Criteria details FIG EP-1 and FIG EP-2.

7. Encroachment Permit shall be required for all proposed work within the County right-of-way; to be applied for prior to final approval of building permit application. Application plus 2 copies of civil plans shall be submitted directly to the Department of Public Works, attn: Encroachment Inspector.
- G. Meet all requirements of the Department of Public Works, Sanitation section, including:
1. Show proposed sewer collector line with cleanouts located a maximum of 100-feet apart.
 2. Show a backflow/overflow preventative device per Design Criteria on Unit 1. Backflow, or overflow, preventative devices may be located 2 feet outside of each unit's foundation and may act as a cleanout. A cleanout is required 2 feet outside of the foundation if a backflow or overflow device is located elsewhere.
 3. Attach an approved copy of the approved sewer system plan to the building permit submittal.
- H. Submit four copies of the approved Discretionary Permit with the Conditions of Approval attached. The Conditions of Approval shall be recorded prior to submittal.
- I. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
- J. Pay the current fees for Parks and Child Care mitigation for 11 bedroom(s). Currently, these fees are, respectively, \$750 and \$36 per bedroom, but are subject to change.
- K. Pay the current fees for Roadside and Transportation improvements for 4 units. Currently, these fees are, respectively, \$2,100 and \$2,100 per unit.
- L. Provide required off-street parking for 18 cars, 2 of which may be compact size. Standard parking spaces must be 8.5 feet wide by 18 feet long and compact spaces must be 7.5 feet wide by 16 feet long. Parking spaces must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
- M. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. Prior to site disturbance, contact the resource planner to set up a preconstruction meeting. The resource planner, soils engineer, the owner or a representative, the grading contractor, and the arborist (if required) shall attend this meeting.
 - B. Prior to project final, provide the following to Environmental Planning staff:

1. A final inspection form signed by the soils engineer.
 2. A final inspection form signed by the civil engineer.
- C. Public Works staff must inspect the installation of the drainage facilities.
- D. All site improvements shown on the final approved Building Permit plans shall be installed.
- E. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
- F. The project must comply with all recommendations of the approved soils report.
- G. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. Landscaping must be permanently maintained in good condition. Plants that die must be replaced. Landscaping located within the front yard setback must be maintained so as not to obstruct the sidewalk or drivers' line of sight.
- B. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.

- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the

COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.

- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires on the expiration date listed below unless you obtain the required permits and commence construction.

Approval Date: _____

Effective Date: _____

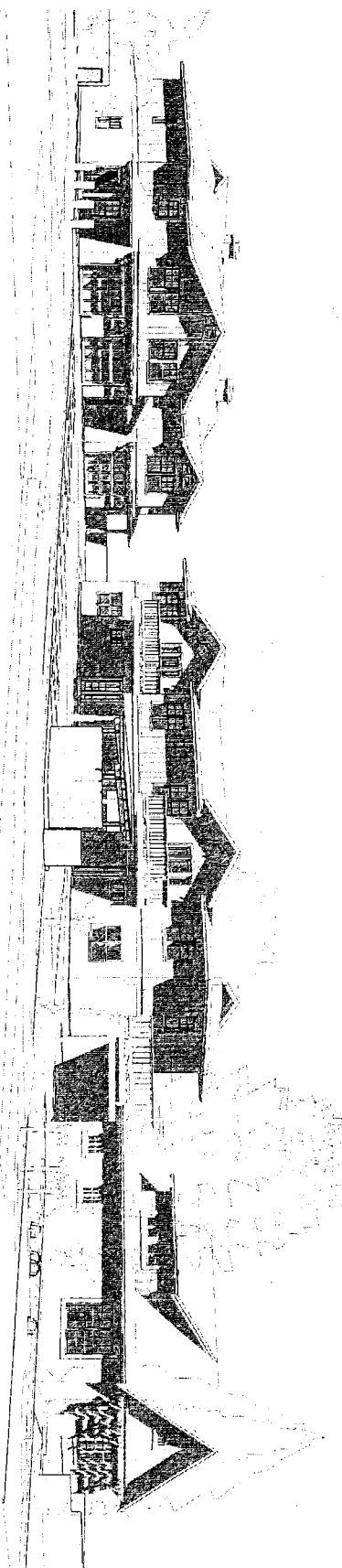
Expiration Date: _____

Ken Hart
Principal Planner

Annette Olson
Project Planner

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Planning Commission, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.

Page	Sheet Name
A0.1	COVER SHEET
A1.1	SITE PLAN
A1.2	SHADOW STUDY & TRASH ENCLOSURE
A2.1.1	FLOOR PLANS AND ROOF PLAN - EXISTING HOUSE
A2.2.1	FLOOR PLANS - DUPLEX
A2.3.1	FLOOR PLANS - TRIPLEX
A3.1.1	ELEVATIONS AND PERSPECTIVE - EXISTING HOUSE
A3.2.1	ELEVATIONS, SECTION, ROOF PLAN, and PERSPECTIVE - DUPLEX
A3.3.1	ELEVATIONS, SECTION and ROOF PLAN - TRIPLEX



A	B	C	D	E	F	G	H	I	J	K	L
1	Building Component	Unit 1	Unit 2	Unit 3	Unit 4	Unit 5	Unit 6	Total			
2	Primary Dwelling(s)	2 BR	2 BR	3 BR	3 BR	3 BR	3 BR	1387			
3	Room 1	705	803	803	603	604	603	1387			
4	Room 2	481	803	801	781	813	781	4470			
5	Stairs/Landings	24	53	52	45	45	45	263			
6	Mechanical/Loft	0	0	0	0	0	0	0			
7	Volume Ceiling	0	0	0	0	0	0	0			
8	Garage	0	0	0	0	0	0	0			
9	Covered Entry/Deck	0	0	0	0	0	0	0			
10	North - 120/72	0	0	0	0	0	0	0			
11	South - 120/72	0	0	0	0	0	0	0			
12	East - 120/72	0	0	0	0	0	0	0			
13	West - 120/72	0	0	0	0	0	0	0			
14	East - 120/72	0	0	0	0	0	0	0			
15	West - 120/72	0	0	0	0	0	0	0			
16	East - 120/72	0	0	0	0	0	0	0			
17	West - 120/72	0	0	0	0	0	0	0			
18	Bay Windows, Eaves	0	0	0	0	0	0	0			
19	Bay Windows, Eaves	0	0	0	0	0	0	0			
20	Bay Windows, Eaves	0	0	0	0	0	0	0			
21	Bay Windows, Eaves	0	0	0	0	0	0	0			
22	Under Floor	0	0	0	0	0	0	0			
23	Under Floor	0	0	0	0	0	0	0			
24	BBG Projections	0	49.3	49.3	0	0	0	98.6			
25	Set Guidelines	0	0	0	0	0	0	0			
26	Set Guidelines	0	0	0	0	0	0	0			
27	Set Guidelines	0	0	0	0	0	0	0			
28	Garage/Carport - 225	361	347	347	261	257	259	1382			
29	Garage/Carport - 225	361	347	347	261	257	259	1382			
30	Garage/Carport - 225	361	347	347	261	257	259	1382			
31	Garage/Carport - 225	361	347	347	261	257	259	1382			
32	Garage/Carport - 225	361	347	347	261	257	259	1382			
33	Garage/Carport - 225	361	347	347	261	257	259	1382			

SITE DATA	
ZONING:	RM3
OCCUPANCY:	R2 (Apartments)
CONSTRUCTION TYPE:	VA (Sprinkled)
DEVELOPABLE LOT AREA:	20,758 sf
ALLOWABLE FLOOR COVERAGE:	40%
EXISTING COVERAGE:	35%
ALLOWABLE F.A.R.:	5.00%
PROPOSED F.A.R.:	50%
AVERAGE LOT AREA PER UNIT:	3462 sf
EXISTING STRUCTURE DEMO:	1044 sf
PARKING REQUIRED:	18
Open, Standard:	6
Open, Van Accessible H.C.:	2
Open Garage:	1
Closed Garage:	6
TOTAL PARKING SPACES:	3

SHEET NUMBER:

A0.1

Rev.	Date	Description

SHEET TITLE:

COVER SHEET

SCALE:
DESIGNED BY:
PROJECT ISSUE DATE: Issue Date

OWNER:

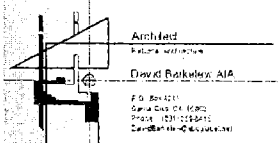
Bill Black
721 17th Ave
Santa Cruz, CA 95062
408 761-1989

PROJECT:

Multi-Family Housing
721 17th Avenue
Santa Cruz, CA 95062

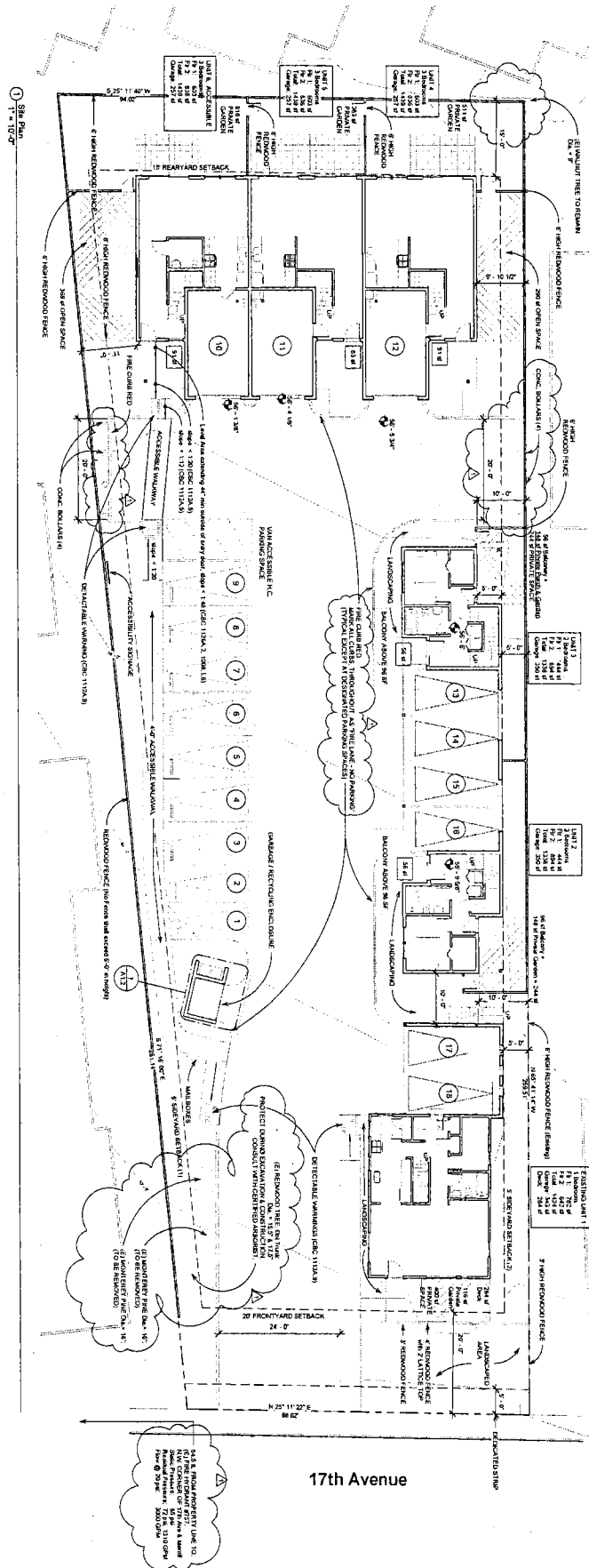
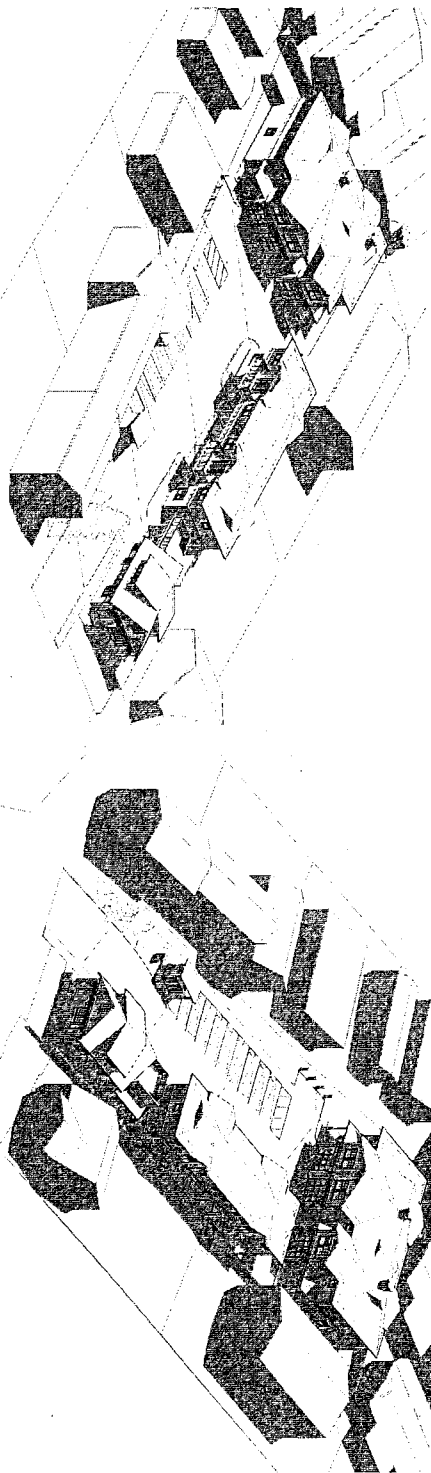
A.P.N.: 027 261 151

PROJECT NO: Project Number



2 SITE PLAN SE

3 SITE PLAN NE



SHEET NUMBER:

A1.1

Revision Schedule		
Rev.	Date	Description
1	4/10/13	SCC 1 2/22/13

SHEET TITLE:

SITE PLAN

SCALE: 1" = 10'-0"

DESIGNED BY:

PROJECT ISSUE DATE: Issue Date

OWNER:

Bill Black

721 17th Ave

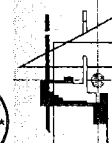
PROJECT:

Multi-Family Housing

721 17th Avenue
Santa Cruz, CA 95062

A.P.N.: 027 201 151

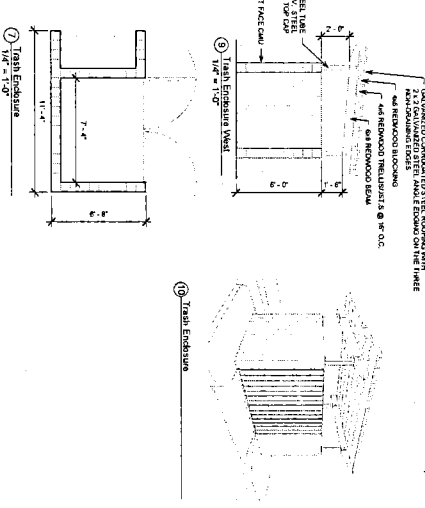
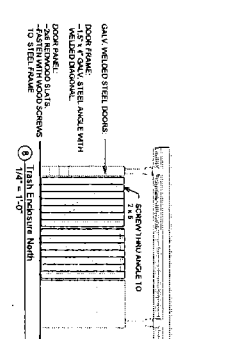
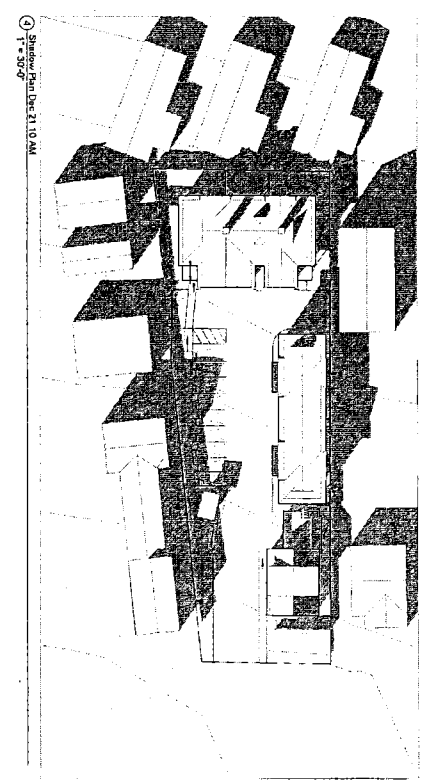
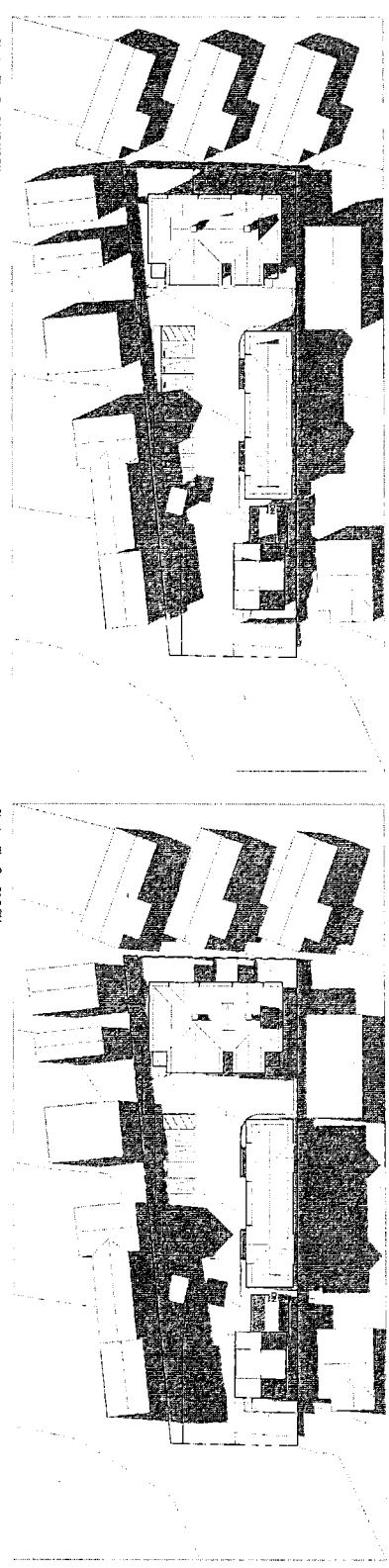
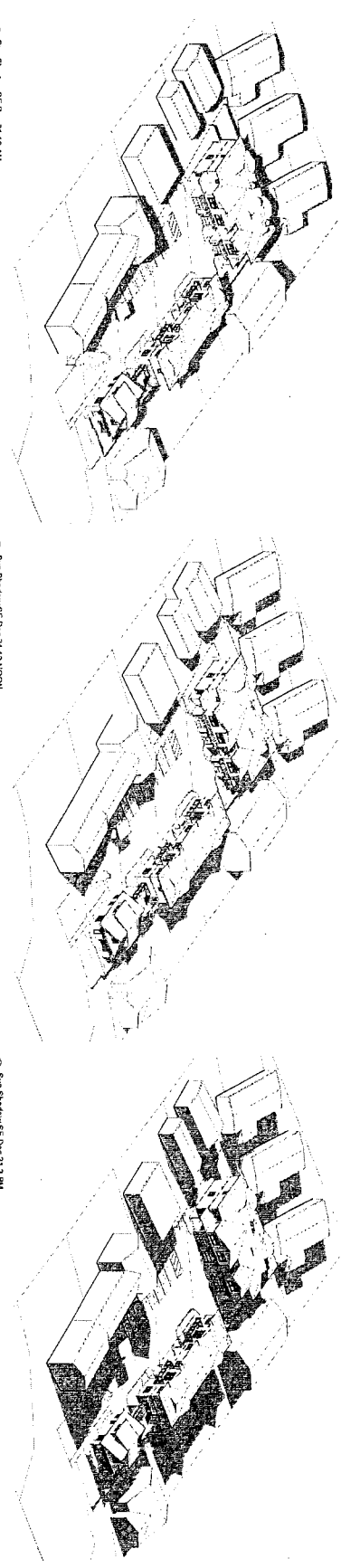
PROJECT NO.: Project Number



Architect
DAVID BARKELEY

Residential and Commercial Design

P.O. Box 4211
Santa Cruz, CA 95062
Phone: (831) 506-4115
Email: david@barkeley.com



SHEET NUMBER:

A1.2

Revision Schedule		
Rev.	Date	Description
1	4/10/13	SCC 1 2/22/13

SHEET TITLE:

SHADOW STUDY & TRASH ENCLOSURE

SCALE: As Indicated

DESIGNED BY:

PROJECT ISSUE DATE: Issue Date

OWNER:

Bill Black

721 17th Ave

PROJECT:

Multi-Family Housing

721 17th Avenue
Santa Cruz, CA 95062

A.P.N.: 027 251 151

PROJECT NO: Project Number

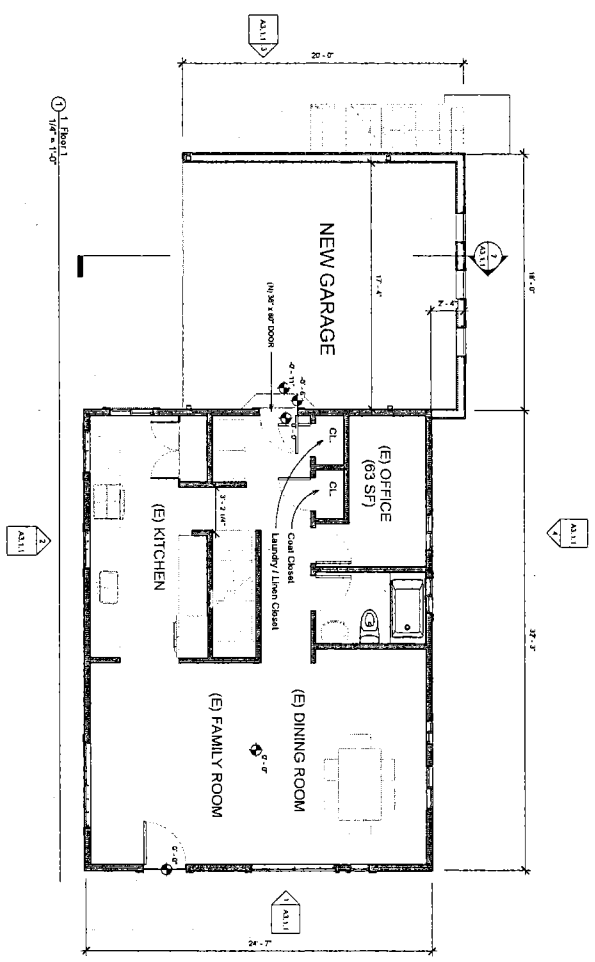
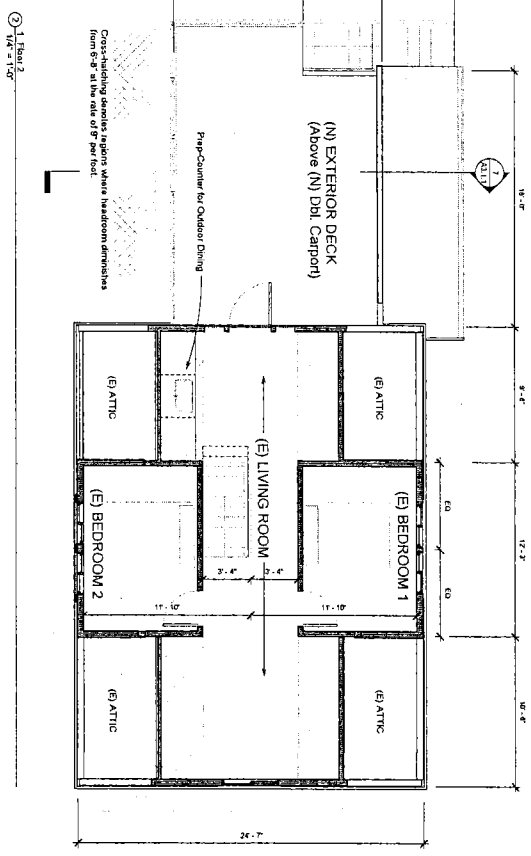
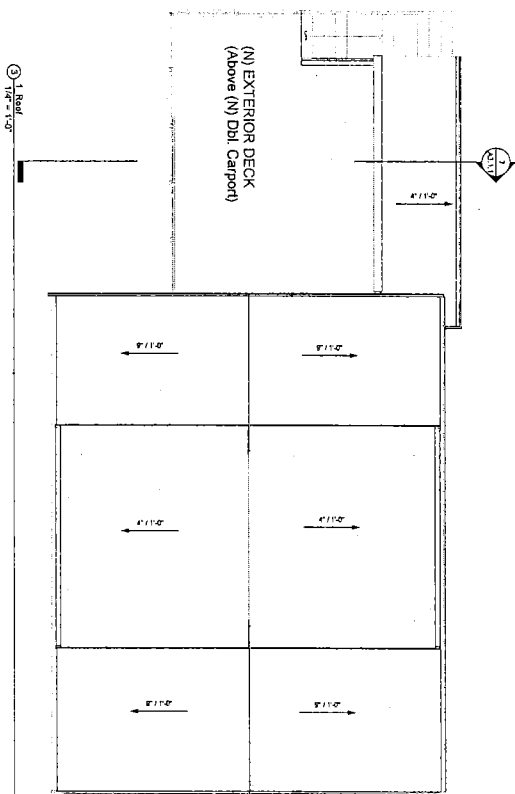
Architect

DAVID BARKELEW

Residential and Commercial Design

P.O. Box 4211
Santa Cruz, CA 95062
Phone: (831) 756-2414
David@barkelewdesign.com

-22-



SHEET NUMBER:
A2.1.1

Revision Schedule		
Rev.	Date	Description

SHEET TITLE:
FLOOR PLANS and ROOF PLAN - Existing House

SCALE: 1/4" = 1'-0"

DESIGNED BY:

PROJECT ISSUE DATE: Issue Date

OWNER:
Bill Black
721 17th Avenue
Santa Cruz, CA 95062

PROJECT:
Multi-Family Housing

721 17th Avenue
Santa Cruz, CA 95062

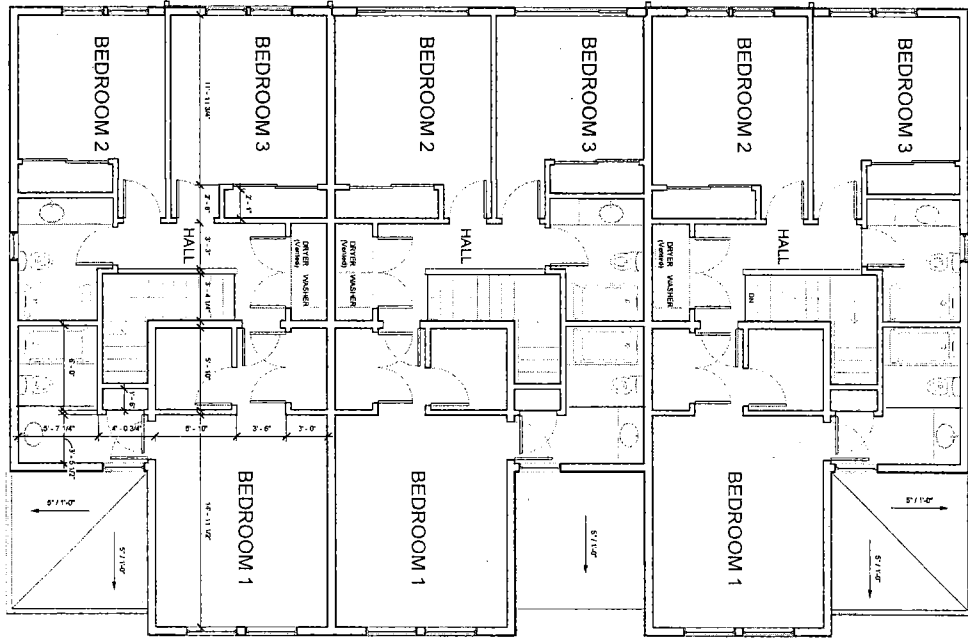
A.P.N.: 027 201 151

PROJECT NO.: Project Number

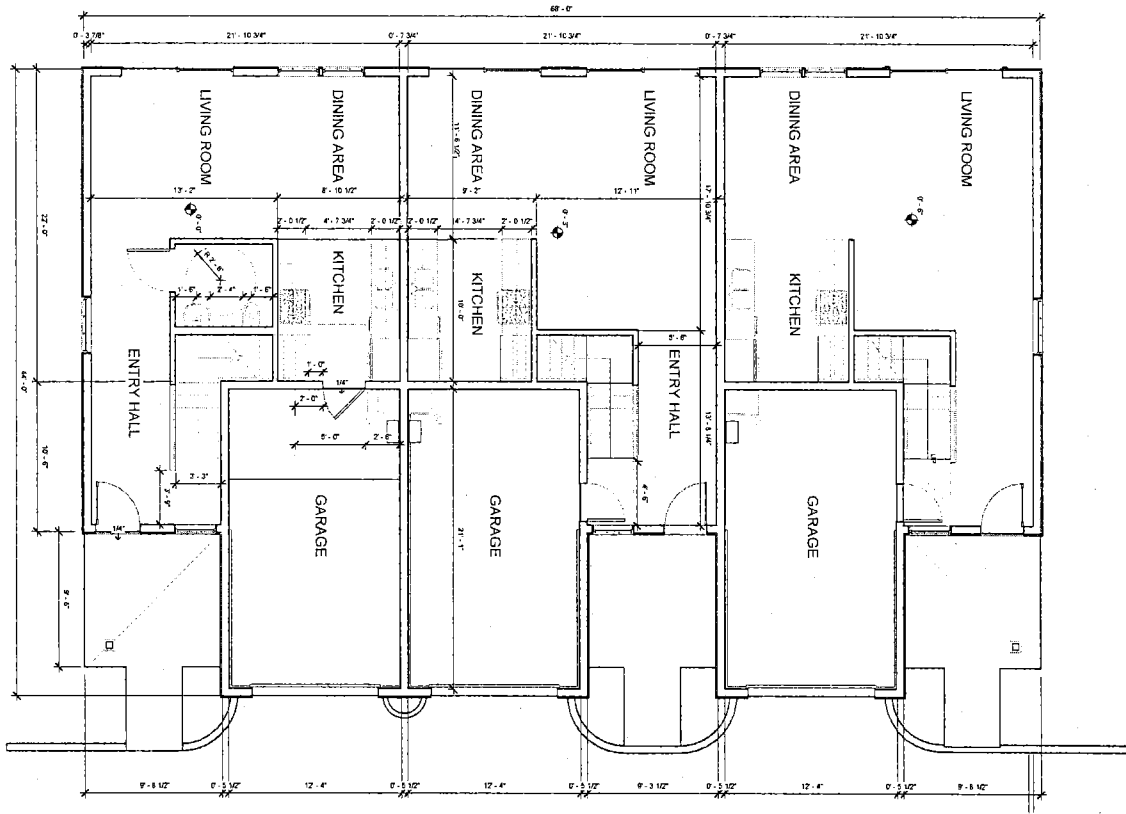


Architect
Michael J. Anderson
David R. Anderson, AIA
P.O. Box 1234
Santa Cruz, CA 95062
Phone: (530) 555-1234
Fax: (530) 555-1234

② Triplex Floor 2 - Revised
1/4" = 1'-0"



① Triplex Floor 1 - Revised
1/4" = 1'-0"



SHEET NUMBER:

A2.3.1

Revision Schedule		
Rev	Date	Description

SHEET TITLE:
TRIPLEX FLOOR PLANS

SCALE: 1/4" = 1'-0"
DESIGNED BY:
PROJECT ISSUE DATE: Issue Date

OWNER:
Bill Black
721 17th Avenue
Santa Cruz, CA 95062

PROJECT:
Multi-Family Housing

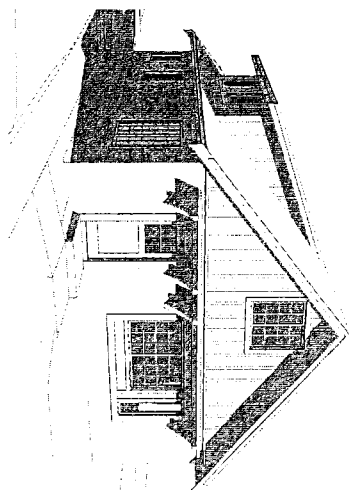
721 17th Avenue
Santa Cruz, CA 95062

A.P.N.: 027 201 151
PROJECT NO: Project Number

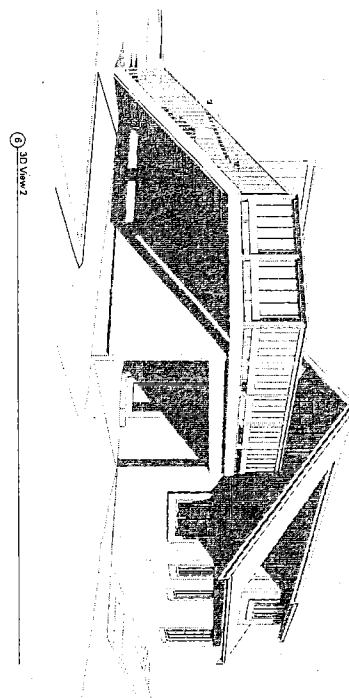


Architect
David Barker, AIA
P.O. Box 101
Santa Cruz, CA 95061
Phone: (831) 255-0411
DavidBarker@aol.com

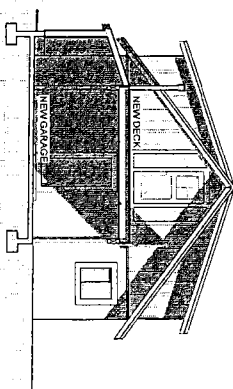
5 3D View 1
Scale = 1/8" = 1'-0"



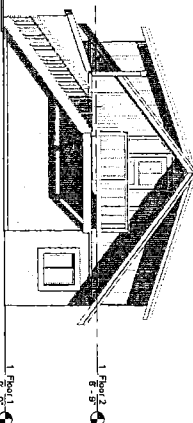
6 3D View 2
Scale = 1/8" = 1'-0"



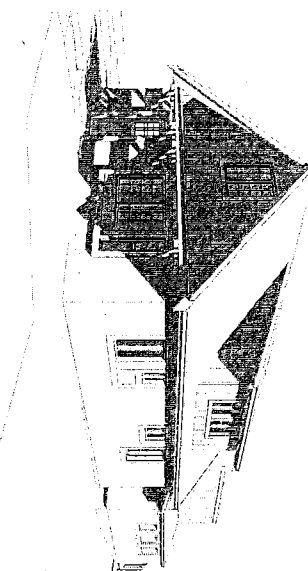
7 New Garage Section
Scale = 1/8" = 1'-0"



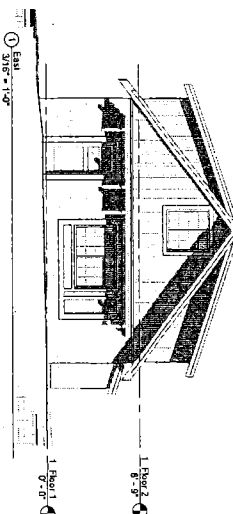
8 Wall
Scale = 1/8" = 1'-0"



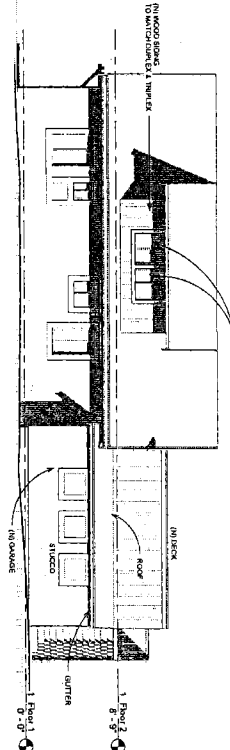
9 3D View 4
Scale = 1/8" = 1'-0"



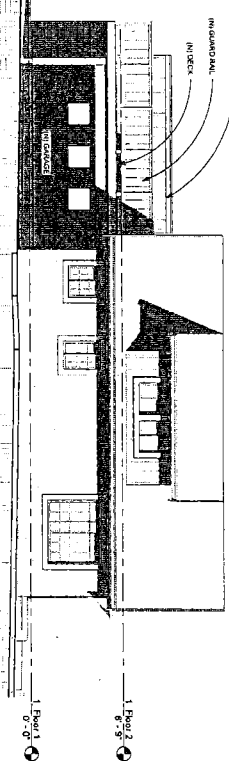
10 Elevation
Scale = 1/8" = 1'-0"



11 North
Scale = 1/8" = 1'-0"



12 South
Scale = 1/8" = 1'-0"



SHEET NUMBER:

A3.1.1

Revision Schedule		
Rev.	Date	Description

SHEET TITLE:

ELEVATIONS SECTION
and PERSPECTIVES -
Existing House with New
Garage

SCALE: 3/16" = 1'-0"

DESIGNED BY:

PROJECT / ISSUE DATE: Issue Date

OWNER:

Bill Black
721 17th Avenue
Santa Cruz, CA 95062

PROJECT:

Multi-Family Housing

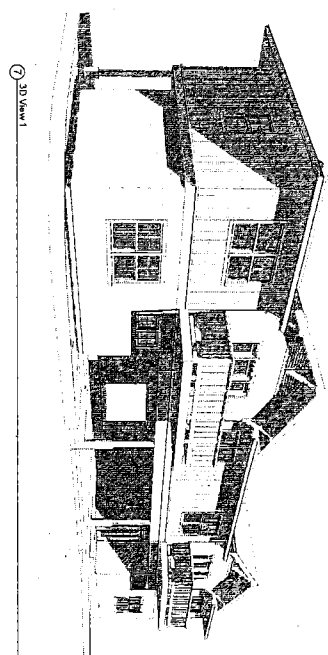
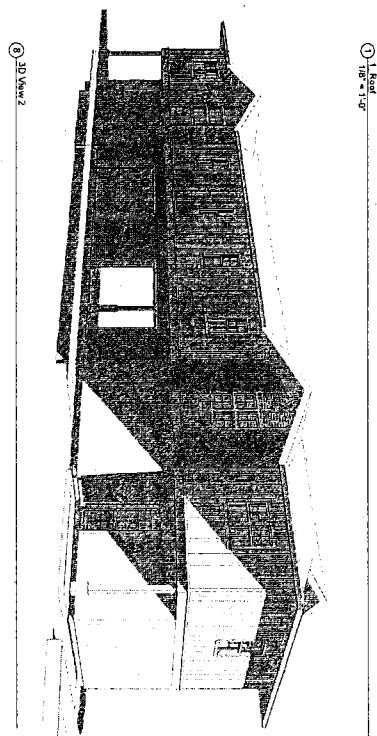
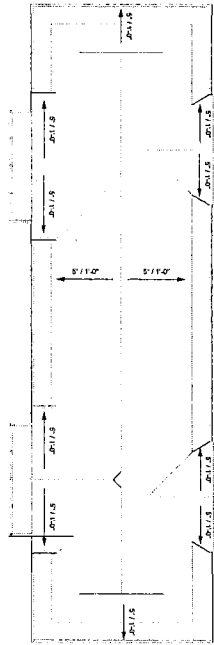
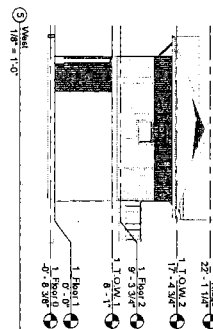
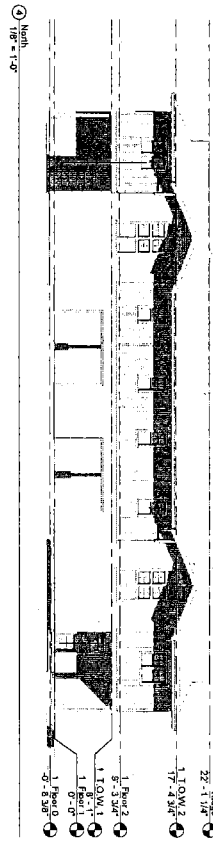
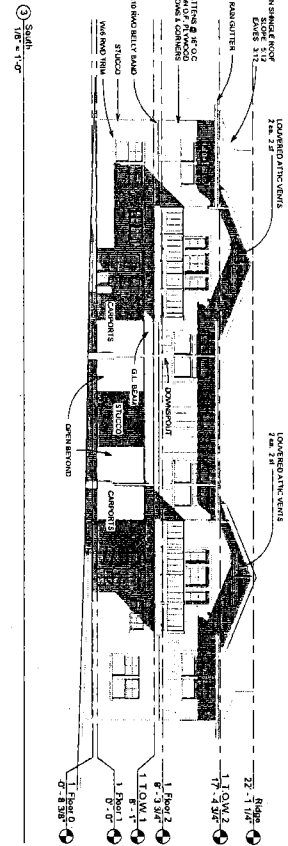
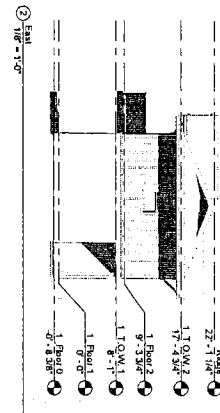
721 17th Avenue
Santa Cruz, CA, 95062

A.P.N.: 027 261 151

PROJECT NO: Project Number



Architect
David Bohlen, AIA
P.O. Box 4217
Santa Cruz, CA 95062
Phone: (831) 254-1111
Email: david@bohlen.com



SHEET NUMBER:

A3.2.1

Revision Schedule		
Rev.	Date	Description

SHEET TITLE:
ELEVATIONS, SECTIONS,
ROOF PLAN, and
PERSPECTIVES - Duplex

SCALE: 1/8" = 1'-0"
DESIGNED BY:
PROJECT ISSUE DATE: 10/04/04

OWNER:
Bill Black
721.17th Avenue

PROJECT:
Multi-Family Housing


721.17th Avenue
Santa Cruz, CA 95062

A.P.N.: 027 281 151
PROJECT NO: Project Number



Architect
DAVID BARKELEY
Residential and Commercial Design
P.O. Box 4211
Santa Cruz, CA 95062
Phone: (203) 253-2412
Email: dbarkeley@icloud.com

[illegible][illegible][illegible][illegible]



NEW VENTILATED PAVINGS
 EXISTING CONTOUR
 FINISH CONTOUR
 EXISTING GRADE
 FINISH GRADE
 FLOWLINE
 TRENCH
 PROPERTY LINE
 NEIGHBORING WALL

EXCAVATION:	450 ± C.Y.
FILL:	100 ± C.Y.
EXPORT:	350 ± C.Y.

RE

ROPER ENGINEERING
CIVIL ENGINEERING & LAND SURVEYING
64 PENNY LANE, SUITE A WATSONVILLE, CA 95076
(831) 724-5300 PHONE (831) 724-5508 FAX jef@roperengineering.com

EXPORTS

FOR TAX PURPOSES ONLY

THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
© COPYRIGHT SANTA CRUZ COUNTY ASSESSOR 1998

POR. OF S.E. 1/4 SEC. 17 & N.E. 1/4 SEC. 20,
T.11S., R.1W., M.D.B. & M.

Tax Area Code
82-040

27-26



Assessor's Map No. 27-26
County of Santa Cruz, Calif.
Aug. 1998




Note - Assessor's Parcel & Block
Numbers Shown in Circles.

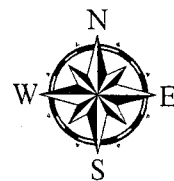


Location Map



LEGEND

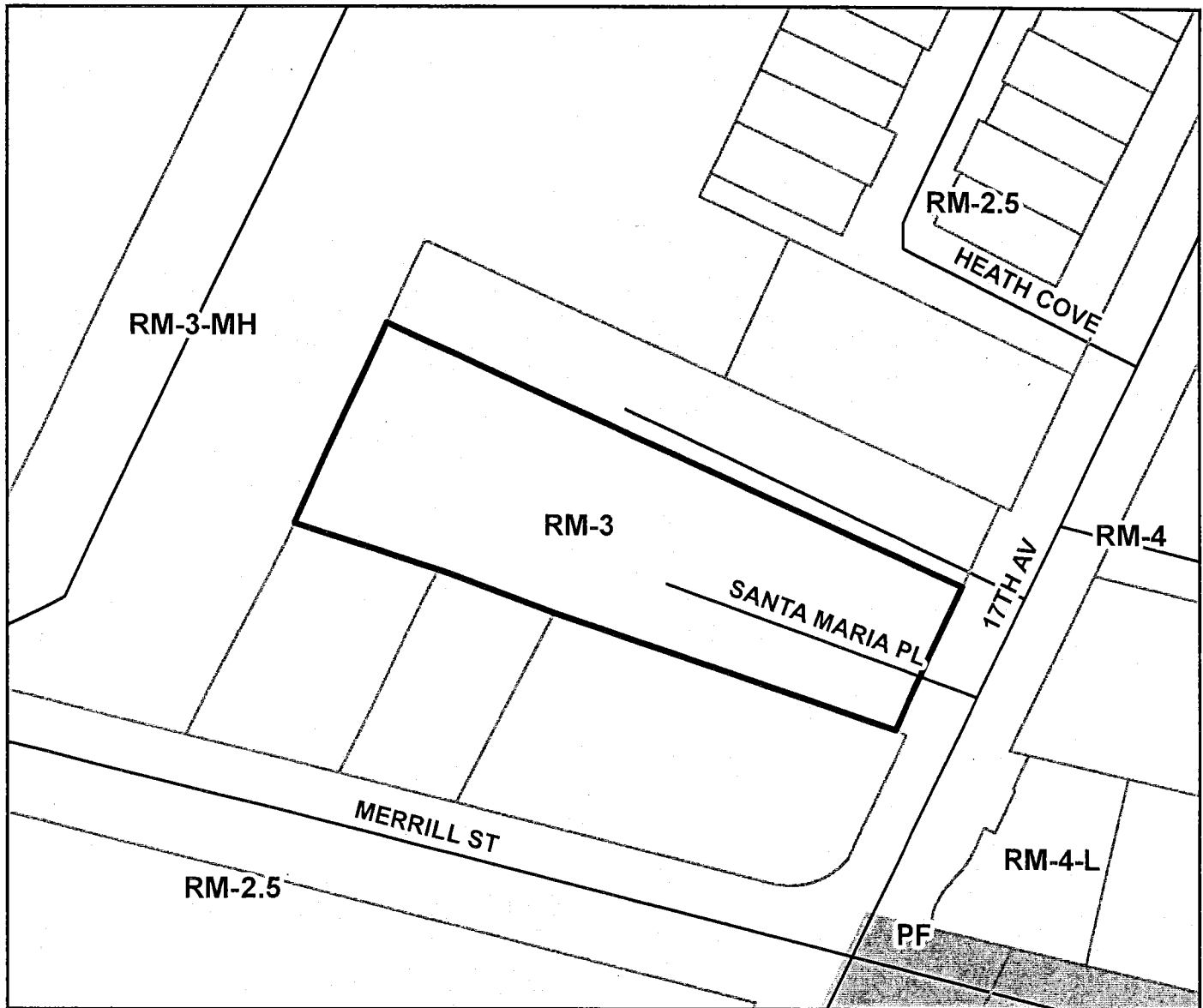
-  APN: 027-261-51
-  Assessors Parcels
-  Streets








Map Created by
County of Santa Cruz
Planning Department
February 2013

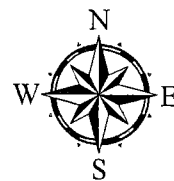


Zoning Map



LEGEND

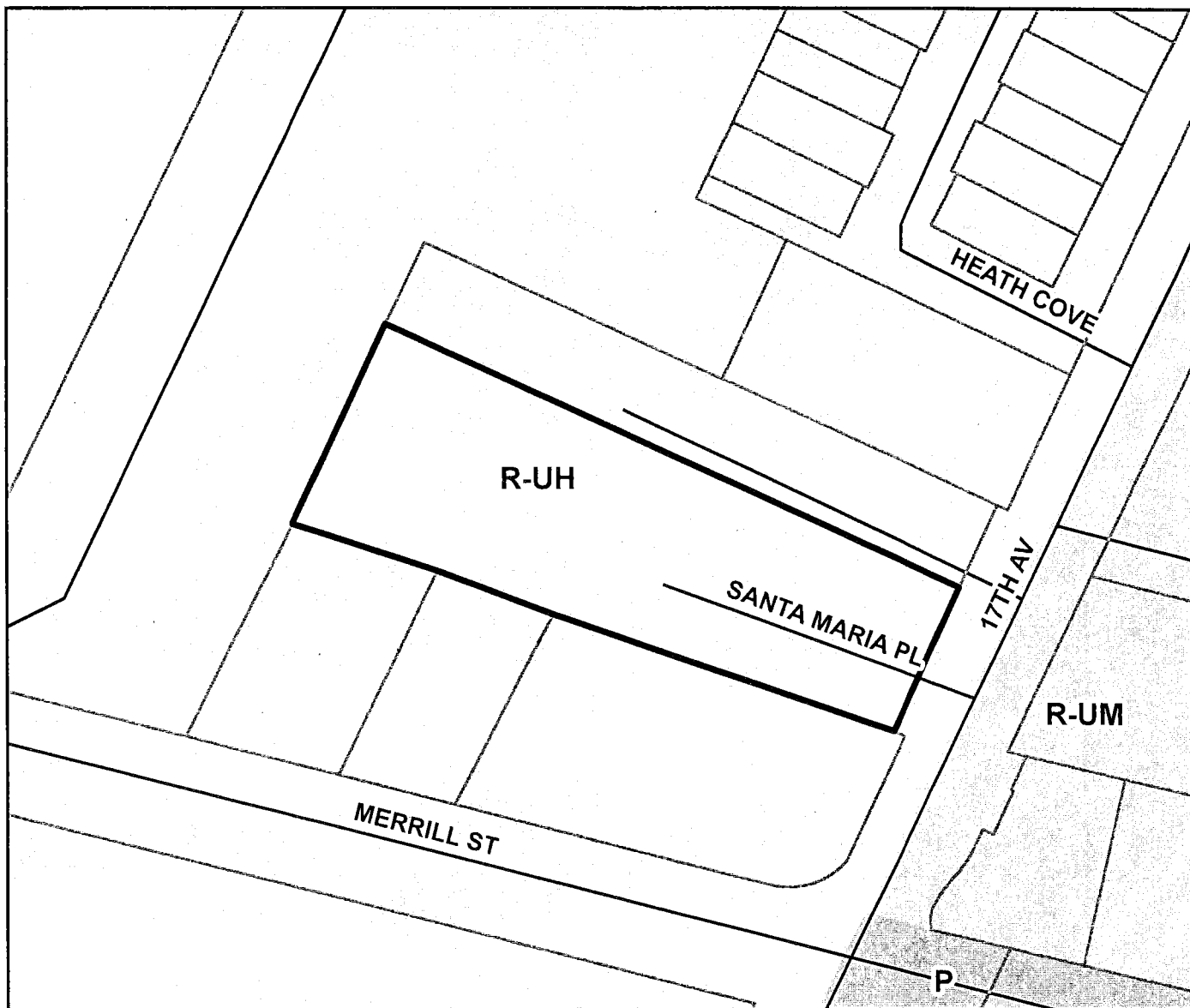
-  APN: 027-261-51
-  Assessors Parcels
-  Streets
-  RESIDENTIAL-MULTI FAMILY
-  PUBLIC FACILITY



Map Created by
County of Santa Cruz
Planning Department
February 2013



General Plan Designation Map



LEGEND



APN: 027-261-51



Assessors Parcels



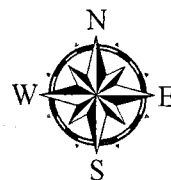
Streets

Residential - Urban High Density

Residential - Urban Medium Density

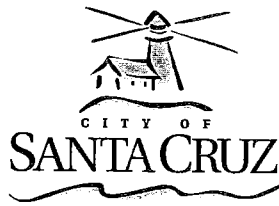


Public Facilities



Map Created by
County of Santa Cruz
Planning Department
February 2013

EXHIBIT A



W A T E R D E P A R T M E N T

212 Locust Street, Suite C, Santa Cruz CA 95060 Phone (831) 420-5200 Fax (831) 420-5201

October 17, 2012

**Dee Murray
2272 Kinsley Street
Santa Cruz, CA 95062**

Re: APN 027-261-51; proposed construction of duplex and triplex buildings on a lot adjacent to the intersection of 17th Avenue and Merrill Street

Dear Mrs. Murray:

This letter is to advise you that the subject parcel is located within the service area of the Santa Cruz Water Department and potable water is currently available for normal domestic use and fire protection. Service will be provided to the parcel upon payment of the fees and charges in effect at the time of service application and upon completion of the installation, at developer expense, of any water mains, service connections, fire hydrants and other facilities required for the development under the rules and regulations of the Santa Cruz Water Department. The development will also be subject to the City's Landscape Water Conservation requirements.

At the present time:

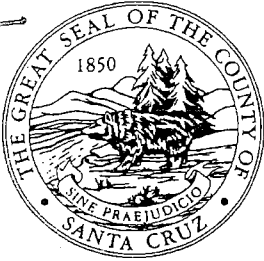
- the required water system improvements are not complete; and
- financial arrangements have not been made to the satisfaction of the City to guarantee payment of all unpaid claims.

This letter will remain in effect for a period of two years from the above date. It should be noted, however, that the City Council may elect to declare a moratorium on new service connections due to drought conditions or other water emergency. Such a declaration would supersede this statement of water availability.

If you have any questions regarding service requirements, please call the Engineering Division at (831) 420-5210. If you have questions regarding landscape water conservation requirements, please contact the Water Conservation Office at (831) 420-5230.

Sincerely,

Bill Kocher
Director



Santa Cruz County Sanitation District

701 OCEAN STREET, SUITE 410, SANTA CRUZ, CA 95060-4073
(831) 454-2160 FAX (831) 454-2089 TDD: (831) 454-2123

JOHN J. PRESLEIGH, DISTRICT ENGINEER

November 14, 2012

DEE MURRAY
LAND USE CONSULTANT
2272 KINSLEY STREET
SANTA CRUZ CA 95062

SUBJECT: SEWER AVAILABILITY AND DISTRICT'S CONDITIONS OF SERVICE
FOR THE FOLLOWING PROPOSED DEVELOPMENT:

APN: 27-261-51

APPLICATION NO.: N/A (Pre-application; no plans submitted.)

PARCEL ADDRESS: 100, 102, 104, 106, 108, & 110 Santa Maria Place

PROJECT DESCRIPTION: Multiple dwelling group (1 existing to remain, 1 existing to be removed; construct 1 duplex; construct 3 additional units)

Sewer service is available for the subject development upon completion of the following conditions. This notice is effective for one year from the issuance date to allow the applicant the time to receive tentative map, development or other discretionary permit approval. If after this time frame this project has not received approval from the Planning Department, a new sewer service availability letter must be obtained by the applicant. Once a tentative map is approved this letter shall apply until the tentative map approval expires.

Proposed location of on-site sewer lateral(s), clean-out(s), and connection(s) to existing public sewer must be shown on the plot plan of the building permit application.

Existing lateral(s) must be properly abandoned (including inspection by District) prior to issuance of demolition permit or relocation or disconnection of structure. An abandonment permit for disconnection work must be obtained from the District.

If applicable, Department of Public Works and District approval shall be obtained for an engineered sewer improvement plan, showing on-site and off-site sewers needed to provide service to each lot or unit proposed, before sewer connection permits can be issued. The improvement plan shall conform to the County's "Design Criteria" and shall also show any roads and easements. Existing and proposed easements shall be shown on any required Final Map. If a Final Map is not required, proof of recordation of existing or proposed easement is required.

DEE MURRAY
PAGE 2

If applicable, the applicant must form a homeowners' association with ownership and maintenance responsibilities for all on-site sewers for this project; reference to homeowner's association shall be included on the Final Map and in the Association's recorded CC&R's which shall be recorded. Applicant shall provide a copy of said CC&R's to the District prior to the filing of the final map.

This property is more than 200 feet from the nearest public sewer.

Yours truly,

JOHN J. PRESLEIGH
District Engineer

By: 

Rachél Lather
Senior Civil Engineer

DR:dls/316

c: Property Owner: William Black
806 Corcoran Street
Santa Cruz, CA 95062

(REV. 3-01)



Drainage Review

Routing No: 1 | Review Date: 02/19/2013

TRAVIS RIEBER (TRIEBER) : Incomplete

Completeness Comments:

Application Complete? ☐ Yes ☒ No

1. According to the plans runoff that currently drains across the property to the south towards Merrill Street is being diverted to 17th Avenue. Please provide a capacity and condition analysis for the entire diversion path to the point where the flow meets its natural path. Please include a drainage area map that clearly identifies the areas both onsite and offsite being diverted to 17th Avenue.

2. The diversion path includes a pipe through private property at 1630 Merrill Street. Please provide a letter from the property owner acknowledging responsibility for maintenance of the pipe and accepting additional water from the proposed diversion.

The applicant is encouraged to discuss the above comments with the reviewer, Travis Rieber, to avoid unnecessary additional routings. Please call the Dept. of Public Works, Storm Water Management Section, from 8:00 am to 12:00 noon if you have questions.

Policy Considerations and Compliance Issues:

Permit Conditions and Additional Information:

1. The calculations need to include quantification demonstrating maintenance of the pre-development 2 year, 2 hour storm event per part 3 section C #3a. Please note that per part 3 section I #6f of the design criteria 100% of the retention volume must be provided below the detention release elevation.

2. Please tributary drainage area map and calculations quantify the amount of runoff being received onsite from adjacent properties.

3. The proposed catch basins, permeable pavers and perforated sub drain along 17th Ave must be removed from the Right of Way. Please relocate these facilities inside the property line. The property owner will be responsible for maintaining these facilities.

4. A concrete cutoff wall is required for pond C to prevent saturation of the sidewalk and road way sub base.

5. Please provide cross section construction details for the proposed permeable pavers, under sidewalk drains, graded swales, and concrete cutoff walls.



Drainage Review

Routing No: 1 | Review Date: 02/19/2013

TRAVIS RIEBER (TRIEBER) : Incomplete

6. A minimum 6" cleanout/inspection riser reaching the ground surface is required at the ends of the proposed perforated sub drain pipes.

7. A trash enclosure is indicated on the plans. Trash enclosures must not receive drainage from adjacent pavement areas and are required to have overhead coverage. It is not indicated if the trash enclosure will have overhead coverage. Please clarify and revise.

8. Site plans shall specify maintenance requirements such as; what needs to be maintained, how often each drainage improvement needs to be maintained, what to look for indicating maintenance is required, and what the maintenance procedures are for each specific drainage improvement. A recorded maintenance agreement is required for the proposed drainage system. Please contact the County of Santa Cruz Recorder's office for appropriate recording procedure. The maintenance agreement form can be picked up from the Public Works office or can be found online at:

http://www.dpw.co.santa-cruz.ca.us/Storm_Water/FigureSWM25B.pdf

9. For fee calculations please provide tabulation of new impervious and semi-impervious (gravel, base rock, paver blocks, pervious pavement) areas resulting from the proposed project. Make clear on the plans by shading or hatching the limits of both the existing and new impervious areas. To receive credit for the existing impervious surfaces to be removed please provide documentation such as assessor's records, survey records, aerial photos or other official records that will help establish and determine the dates they were built.

Note: A drainage fee will be assessed on the net increase in impervious area. Reduced fees are assessed for semi-pervious surfacing (50%) to offset costs and encourage more extensive use of these materials.

10. Public Works staff will inspect the installation of the drainage related items. Once all other reviewing agencies have approved the building permit plans, please submit a copy of wet signed civil plans with the DPW signature block and a vicinity map on the first sheet. Please submit a construction estimate for all drainage related items. A construction inspection fee will be charged at 2% of the construction cost or a minimum of \$640.00.

Routing No: 2 | Review Date: 05/02/2013

TRAVIS RIEBER (TRIEBER) : Incomplete

2nd Review Comments



Drainage Review

Routing No: 2 | Review Date: 05/02/2013

TRAVIS RIEBER (TRIEBER) : Incomplete

Completeness Comments:

Application Complete? _ Yes ☒ No

The submitted calculations indicate that site soils have a saturated soil permeability of .6 inches per hour. However the NRCS Soil Survey maps site soils as Watsonville Loam which has a saturated soil permeability of less than .06 inches per hour between 18 and 39 inches below grade. A conservative use of the NRCS permeability rate for the more restrictive subsoil should be used in the design calculations per requirements of the CDC. Using this limiting layer in the sizing calculations will not allow for onsite retention of the 100 year storm event as the submitted calculations indicate, therefore the county does not see that the proposed design is feasible. Due to the limited permeability in the site soils the gravel pond areas will need to have sub-drains with release orifices (as previously proposed) to meet design criteria requirements. The previous completeness comments listed below must still be addressed.

1. The calculations state that runoff which currently drains across the property to the south towards Merrill Street is being diverted to 17th Avenue. Please provide a capacity and condition analysis for the entire diversion path to the point where the flow meets its natural path. Please include a drainage area map that clearly identifies the areas both onsite and offsite being diverted to 17th Avenue.
2. The diversion path includes a pipe through private property at 1630 Merrill Street. Please provide a letter from the property owner acknowledging responsibility for maintenance of the pipe and accepting additional water from the proposed diversion.

The applicant is encouraged to discuss the above comments with the reviewer, Travis Rieber, to avoid unnecessary additional routings. Please call the Dept. of Public Works, Storm Water Management Section, from 8:00 am to 12:00 noon if you have questions.

Policy Considerations and Compliance Issues:

Permit Conditions and Additional Information:

Additional comments from 2nd Review

1. It is not clear from the calculations what hydrologic design method is being used in the Permeable Interlocking Concrete Pavement Institute software to calculate the required retention volume. Please provide details for the chosen inputs and assumptions used, and demonstrate compliance with the design criteria.



Drainage Review

Routing No: 2 | Review Date: 05/02/2013

TRAVIS RIEBER (TRIEBER) : Incomplete

2. The previous retention system sizing calculations included a slope factor to account for the sloping gravel sub-base; it does not appear that this factor has been incorporated into the revised calculations. Please clarify and revise.

Routing No: 3 | Review Date: 08/12/2013

TRAVIS RIEBER (TRIEBER) : Complete

3rd Review

Completeness Comments:

Application Complete? ☒ Yes ☐ No

The civil plans dated 5/13/2013, drainage calculations dated 7/8/2013, and letters from the two downstream neighbors dated 6/28/2013 have been received and are approved for the planning application stage. Please see the permit conditions below for additional information to be provided at the building application stage.

Permit Conditions and Additional Information:

1. Please provide a tributary drainage area map and capacity calculations for the downstream gutter flow line to the next inlet along 17th Avenue. Please note that these calculations were previously performed by Mid Coast Engineers for application 04-0666. Please include these calculations in the final drainage study for this project.
2. Please make clear on the plans the orifice size for each of the three ponds to facilitate proper sizing by the contractor.
3. The proposed catch basin along 17th Ave must be removed from the Right of Way. Please relocate this facility inside the property line. The property owner will be responsible for maintaining this facility.
4. A concrete cutoff wall is required for pond C to prevent saturation of the sidewalk and road way sub base.
5. Please provide cross section construction details for the proposed permeable pavers, under sidewalk drains, graded swales, and concrete cutoff walls.
6. A minimum 6" cleanout/inspection riser reaching the ground surface is required at the ends of the proposed perforated sub drain pipes.



Drainage Review

Routing No: 3 | Review Date: 08/12/2013

TRAVIS RIEBER (TRIEBER) : Complete

7. A trash enclosure is indicated on the plans. Trash enclosures must not receive drainage from adjacent pavement areas and are required to have overhead coverage. It is not indicated if the trash enclosure will have overhead coverage. Please clarify and revise.

8. All catch basins shall be marked with the legend "NO DUMPING DRAINS TO OCEAN. NO TIRE DESECHO CORRE AL MAR."

9. Site plans shall specify maintenance requirements such as; what needs to be maintained, how often each drainage improvement needs to be maintained, what to look for indicating maintenance is required, and what the maintenance procedures are for each specific drainage improvement. A recorded maintenance agreement is required for the proposed drainage system. Please contact the County of Santa Cruz Recorder's office for appropriate recording procedure. The maintenance agreement form can be picked up from the Public Works office or can be found online at: http://www.dpw.co.santa-cruz.ca.us/Storm_Water/FigureSWM25B.pdf

10. For fee calculations please provide tabulation of new impervious and semi-impervious (gravel, base rock, paver blocks, pervious pavement) areas resulting from the proposed project. Make clear on the plans by shading or hatching the limits of both the existing and new impervious areas. To receive credit for the existing impervious surfaces to be removed please provide documentation such as assessor's records, survey records, aerial photos or other official records that will help establish and determine the dates they were built.

Note: A drainage fee will be assessed on the net increase in impervious area. Reduced fees are assessed for semi-pervious surfacing (50%) to offset costs and encourage more extensive use of these materials.

11. Public Works staff will inspect the installation of the drainage related items. Once all other reviewing agencies have approved the building permit plans, please submit a copy of wet signed civil plans with the DPW signature block and a vicinity map on the first sheet. Please submit a construction estimate for all drainage related items. A construction inspection fee will be charged at 2% of the construction cost or a minimum of \$640.00.

Driveway/Encroachment Review

Routing No: 1 | Review Date: 02/08/2013

DEBRA LOCATELLI (DLOCATELLI) : Complete



Driveway/Encroachment Review

Routing No: 1 | Review Date: 02/08/2013

DEBRA LOCATELLI (DLOCATELLI) : Complete

The following will be required to be addressed at the time of the building permit application:

1. Per plans, the driveway approach is proposed to be demolished and reconstructed (per Plan Sheet C1). Please note on plans that it is per the County of Santa Cruz Design Criteria, including FIG-DW1, FIG ST-6c and FIG ST-4a (with a note: dowels shall also be placed at all junctions with existing concrete). Details shall be included on plans.
2. Pavers are not allowed within a county right-of-way, please note the section within the co. right-of-way to be concrete. (Concrete is allowed because there is sidewalk, curb and gutter.)
3. Proposed Christy Catch Basins shall be relocated out of the county right-of-way.
4. Proposed water meters, located within the sidewalk, shall be flush to grade to prevent any tripping hazards.
5. Under sidewalk drain shall be per the County of Santa Cruz Design Criteria, FIG ST-4b, please include detail on plans.
6. Please show on plans proposed utility trench(es) within the County right-of-way, include County of Santa Cruz Design Criteria details FIG EP-1 and FIG EP-2.
6. Encroachment Permit shall be required for all proposed work within the County right-of-way; to be applied for prior to final approval of building permit application. Application plus 2 copies of civil plans shall be submitted directly to the Department of Public Works, attn: Encroachment Inspector.

Routing No: 2 | Review Date: 07/24/2013

ANNETTE OLSON (AOLSON) : Not Required

Environmental Planning

Routing No: 1 | Review Date: 02/19/2013

ANTONELLA GENTILE (AGENTILE) : Incomplete

Completeness Comments: Project is incomplete. Please provide the following:

Provide the diameter at breast height (DBH) for each of the existing trees on the site (to be removed and to be retained). Removal of any tree greater than 20" diameter requires a Significant Tree Removal Permit, which may be added to this application.

Compliance Comments:

Coastal Development Permit 04-0666 included the removal of a 24" maple tree. Although the permit was never exercised, the tree appears to have been removed. The condition for removal of this tree was to plant 2 replacement trees selected from the Significant Tree Replacement List. This



Environmental Planning

Routing No: 1 | Review Date: 02/19/2013

ANTONELLA GENTILE (AGENTILE) : Incomplete

list can be viewed here: <http://www.sccoplanning.com/LinkClick.aspx?fileticket=W30C4EzQwDI%3d&tabid=1059>. Please show these replacement trees on the landscape plan. Please note that if additional significant trees are shown for removal, additional replacement trees from the list will be required at a 2:1 ratio.

Preliminary Conditions of Approval

1. Prior to building application approval, plans shall include the following:

- A. Grading volumes, including overexcavation and recompaction volumes as required by the soils engineer;
- B. A reference to the soils report and update, including soils engineer contact information;
- C. The limits of disturbance;
- D. Tree protection fencing for the redwood tree at the southeast corner;
- E. A stormwater pollution control plan that meets the requirements of the County of Santa Cruz Stormwater Pollution Control Manual, found here: <http://www.sccoplanning.com/LinkClick.aspx?fileticket=3IQAaLghpM%3d&tabid=1073>.

2. Prior to building application approval, provide the following:

- A. Two copies of the soils report and update to be submitted with the building application;
- B. A plan review form signed by the soils engineer that lists all plan sheets by final revision date, once all agency comments have been addressed;
- C. If grading is proposed within the dripline of the redwood tree, recommendations and plan approval from a certified arborist for protection of the tree during construction.

3. Prior to site disturbance, contact the resource planner to set up a preconstruction meeting. The resource planner, soils engineer, the owner or a representative, the grading contractor, and the arborist (if required) shall attend this meeting.

4. Prior to project final, provide the following:



Environmental Planning

Routing No: 1 | Review Date: 02/19/2013

ANTONELLA GENTILE (AGENTILE) : Incomplete

A. A final inspection form signed by the soils engineer;

B. A final inspection form signed by the civil engineer.

Routing No: 2 | Review Date: 05/07/2013

ANTONELLA GENTILE (AGENTILE) : Complete

Completeness Comments: Project is complete per the requirements of Environmental Planning.

Compliance Comments:

Coastal Development Permit 04-0666 included the removal of a 24" maple tree. Although the permit was never exercised, the tree has been removed. The condition for removal of this tree was to plant 2 replacement trees selected from the Significant Tree Replacement List. This list can be viewed here: <http://www.sccoplanning.com/LinkClick.aspx?fileticket=W30C4EzQwDI%3d&tabid=1059>. Please show these replacement trees on the landscape plan. A condition has been added for this requirement.

Please note that if additional significant trees are shown for removal, additional replacement trees from the list will be required at a 2:1 ratio.

Conditions of Approval

1. Prior to building application approval, plans shall include the following:

A. Grading volumes, including overexcavation and recompaction volumes as required by the soils engineer;

B. A drainage plan that complies with 2010 CBC 1804.3;

C. A reference to the soils report and update, including soils engineer contact information;

D. The limits of disturbance;

E. Tree protection fencing for the redwood tree at the southeast corner;

F. A stormwater pollution control plan that meets the requirements of the County of Santa Cruz Stormwater Pollution Control Manual, found here: <http://www.sccoplanning.com/LinkClick.aspx?fileticket=3IQAAIghpM%3d&tabid=1073>;

EXHIBIT 6



Environmental Planning

Routing No: 2 | Review Date: 05/07/2013

ANTONELLA GENTILE (AGENTILE) : Complete

G. The landscape plan shall include at least 2 replacement trees selected from the Significant Tree Replacement List for the removal of the 24" maple.

2. Prior to building application approval, provide the following:

A. Two copies of the soils report and update to be submitted with the building application;

B. A plan review form signed by the soils engineer that lists all plan sheets by final revision date, once all agency comments have been addressed;

C. If grading is proposed within the dripline of the redwood tree, recommendations and plan approval from a certified arborist for protection of the tree during construction.

3. Prior to site disturbance, contact the resource planner to set up a preconstruction meeting. The resource planner, soils engineer, the owner or a representative, the grading contractor, and the arborist (if required) shall attend this meeting.

4. Prior to project final, provide the following:

A. A final inspection form signed by the soils engineer;

B. A final inspection form signed by the civil engineer.

Routing No: 3 | Review Date: 07/24/2013

ANNETTE OLSON (AOLSON) : Not Required

Fire Review

Routing No: 1 | Review Date: 02/06/2013

KAREN MILLER (KMILLER) : Complete

Date: February 1, 2013

To: Dee Murray

Applicant: same

From: Jim Dias

Subject: Santa Maria Place, Development

Address 100 thru 110 Santa Maria Place, Santa Cruz CA 95062

APN: 027-261-51

EXHIBIT



Fire Review

Routing No: 1 | Review Date: 02/06/2013

KAREN MILLER (KMILLER) : Complete

OCC:

Permit: 131027

We have reviewed plans for the above subject project.

The following NOTES must be added to notes on velums by the designer/architect in order to satisfy District requirements:

The FIRE FLOW requirement for the subject property is 2000 gallons per minute.

NOTE, on the plans, the required FIRE FLOW and the available FIRE FLOW. SHOW on the plans a public fire hydrant meeting the minimum required fire flow for the buildings, within 150 feet of any portion of the property.

The turnaround as shown does not meet design criteria for an approved turnaround (72'). The parcel is not wide enough to meet the required width requirements (86'), however with a redesign of the side-lot to unit 3, an additional 9 to 10 feet can be gained (still 4' short, but will be accepted). Treat this side of the turnaround as on the opposite side and protect the fence line with the placement of bollards.

NOTE on plan the marking of all curbs as "FIRE LANE – NO PARKING" throughout.

Make corrections and resubmit with a copy of this letter for recheck.

Submit a check in the amount of \$115.00 for this particular plan check, made payable to Central Fire Protection District. A \$50.00 **Late Fee** may be added to your plan check fees if payment is not received within 30 days of the date of this Discretionary Letter. INVOICE MAILED TO OWNER. Please contact the Fire Prevention Secretary at (831) 479-6843 for total fees due for your project.

If you should have any questions regarding the plan check comments, please call Fire Marshal Jeanette Devery at (831)479-6843 or email her at jeanetted@centralfpd.com. All other questions may be directed to Fire Prevention at (831)479-6843.

CC: File & County

As a condition of submittal of these plans, the submitter, designer and installer certify that these plans and details comply with applicable Specifications, Standards, Codes and Ordinances, agree that they are solely responsible for compliance with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent review, inspection or other source. Further, the submitter, designer, and installer agrees to hold harmless from any and all alleged claims to have arisen from any compliance deficiencies, without prejudice, the reviewer and the Central FPD of Santa Cruz County.

Any beneficially interested party has the right to appeal the order served by the Fire Chief by filing a written "NOTICE OF APPEAL" with the office of the Fire Chief within ten days after service of such written order. The notice shall state the order appealed from, the identity and mailing address of the appellant, and the specific grounds upon which the appeal is taken.

-20120



Fire Review

Routing No: 2 | Review Date: 05/13/2013

KAREN MILLER (KMILLER) : Complete

Routing No: 3 | Review Date: 07/24/2013

ANNETTE OLSON (AOLSON) : Not Required

Project Review

Routing No: 1 | Review Date: 02/21/2013

ANNETTE OLSON (AOLSON) : Incomplete

See letter in file.

Routing No: 2 | Review Date: 05/13/2013

ANNETTE OLSON (AOLSON) : Incomplete

See letter in file.

Routing No: 3 | Review Date: 08/14/2013

ANNETTE OLSON (AOLSON) : Complete

Road Engineering Review

Routing No: 1 | Review Date: 02/12/2013

RODOLFO RIVAS (RRIVAS) : Complete

Completeness Comments:

Permit Conditions and Additional Information:

The project is within the Live Oak Transportation Improvement Area (TIA) and is subject to TIA fees. The current fee is \$ 4,200 (\$ 2,100 roadside improvement fees + \$ 2,100 transportation improvement fees) per multi-family residential unit. There are currently two housing units on the subject parcel. One of the existing units will be demolished and one will remain. The project is eligible to have TIA fees reduced by an applicable credit due to the two existing housing units.

The TIA fees are calculated as follows:

Number of Multi-family residential units = 4 (6 proposed - 2 credit).



Road Engineering Review

Routing No: 1 | Review Date: 02/12/2013

RODOLFO RIVAS (RRIVAS) : Complete

TIA fees = 4 units x \$ 4,200 per unit = \$ **16,800.**

Note: The above TIA fees were calculated using current fee rate. The rate in effect at the time of payment of TIA fees will be used to determine TIA fees.

Routing No: 2 | Review Date: 07/24/2013

ANNETTE OLSON (AOLSON) : Not Required

Sanitation Review

Routing No: 1 | Review Date: 02/11/2013

DLANE ROMEO (DROMEO) : Incomplete

Application is Incomplete

No. 1 Review Summary Statement; Appl. No. 131027; APN: 27-261-51 :

The Santa Cruz County Sanitation District has reviewed your application for development and sanitary sewer service is currently available to serve your project, subject to the requirements listed below. The project is not located within an impacted sewer basin and is conceptually approved. The project sewer design and connection of the project to the Santa Cruz County Sanitation District system will be required to conform to the County Design Criteria (CDC) Part 4, Sanitary Sewer Design, June 2006 edition, and additional information is required to ensure that the project is in conformance with these criteria and Santa Cruz County Sanitation District policies. Please review the comments regarding the project design and provide the additional information needed to satisfy the requirements of the Santa Cruz County Sanitation District.

This review notice is effective for one year from the issuance date to allow the applicant the time to receive tentative map, development or other discretionary permit approval. If after this time frame this project has not received approval from the Planning Department, a new availability letter must be obtained by the applicant. Once a tentative map is approved this letter shall apply until the tentative map approval expires.

Reference for County Design Criteria:

<http://www.dpw.co.santa-cruz.ca.us/DESIGNCRITERIA.PDF>

Completeness Items:

A complete engineered sewer plan, addressing all issues required by District staff and meeting



Sanitation Review

Routing No: 1 | Review Date: 02/11/2013

DIANE ROMEO (DROMEO) : Incomplete

County "Design Criteria" standards (unless a variance is allowed), is required. District approval of the proposed discretionary permit is withheld until the plan meets all requirements. The following items need to be shown on the plans:

Show proposed sewer collector line and laterals (including length of pipe, pipe material, cleanouts located maximum of 100-feet apart along with ground and invert elevations) and slope noted (minimum 2%) and connection to the existing public sewer. Show sewer rim and invert elevations on plans. Note on plans which laterals are required to be fitted with a backflow/overflow preventative device per Design Criteria.

Provide profile of onsite sewer collector line and label "To be privately maintained." The onsite sewer line shall meet standards for a private collector line and shall not be accepted by the District in the event that the property is subdivided. Minimum cover over sewer collector line and laterals shall be maintained and limits of special protections of pipe (concrete encasement and/or the use of special pipe) shall be noted on plans.

Include District's "General Notes" on plans. Contact staff for electronic copy.

Because this application is incomplete in addressing County requirements, resulting revisions and additions will necessitate further review comment and possibly different or additional requirements.

All resubmittals shall be made through the Planning Department. Materials left with Public Works will not be processed or returned.

Permit Condition

Attach an approved) copy of the sewer system plan to the building permit submittal.

Any questions regarding the above criteria should be directed to Diane Romeo of the Sanitation Engineering division at (831) 454-2160.

Routing No: 2 | Review Date: 04/30/2013

DIANE ROMEO (DROMEO) : Complete

Application is complete

No. 2 Review Summary Statement; Appl. No. 131027; APN: 27-261-51 :

The Santa Cruz County Sanitation District has reviewed your application for development and sanitary sewer service is currently available to serve your project, subject to the requirements listed



Sanitation Review

Routing No: 2 | Review Date: 04/30/2013

DIANE ROMEO (DROMEO) : Complete

below. The project is not located within an impacted sewer basin and is conceptually approved. The project sewer design and connection of the project to the Santa Cruz County Sanitation District system will be required to conform to the County Design Criteria (CDC) Part 4, Sanitary Sewer Design, June 2006 edition, and additional information is required to ensure that the project is in conformance with these criteria and Santa Cruz County Sanitation District policies. Please review the comments regarding the project design and provide the additional information needed to satisfy the requirements of the Santa Cruz County Sanitation District.

This review notice is effective for one year from the issuance date to allow the applicant the time to receive tentative map, development or other discretionary permit approval. If after this time frame this project has not received approval from the Planning Department, a new availability letter must be obtained by the applicant. Once a tentative map is approved this letter shall apply until the tentative map approval expires.

Reference for County Design Criteria:

<http://www.dpw.co.santa-cruz.ca.us/DESIGNCRITERIA.PDF>

Completeness Items:

The sewer improvement plan submitted for the second review for the subject project will be complete and approved contingent upon the following changes being made to the plans:

?Show proposed sewer collector line with cleanouts located maximum of 100-feet apart.

?Show a backflow/overflow preventative device per Design Criteria on Unit 1. Backflow, or overflow, preventative devices may be located 2 feet outside of each unit's foundation and may act as a cleanout. A cleanout is required 2 feet outside of the foundation if backflow or overflow device is located elsewhere.

All resubmittals shall be made through the Planning Department. Materials left with Public Works will not be processed or returned. Any future changes to these plans shall be routed to the District for review to determine if additional conditions by the District are required by the plan change. All changes shall be highlighted as plan revisions and changes may cause additional requirements to meet District standards.

Permit Condition



Sanitation Review

Routing No: 2 | Review Date: 04/30/2013

DIANE ROMEO (DROMEO) : Complete

Attach an approved copy of the approved sewer system plan to the building permit submittal.

Any questions regarding the above criteria should be directed to Diane Romeo of the Sanitation Engineering division at (831) 454-2160.

Routing No: 3 | Review Date: 07/24/2013

ANNETTE OLSON (AOLSON) : Not Required

NEW WATER SERVICE INFORMATION FORM

City of Santa Cruz Water Department 212 Locust Street Suite C Santa Cruz, CA 95060 Phone (831) 420-5210 Fax 831-420-5201

APN: 027-261-51 Multiple APN? ☒ N Project Address: 721 17th Ave Date: 10/18/2012
 Revision 1: 10/8/2013
 Revision 2:

PROJECT DESCRIPTION:

Proposal to demolish one dwelling (on a site with two existing units) and construct one duplex and one triplex (five new multi-family units) for a total of six units. Will Serve Letter for proposed triplex and duplex development.

APPLICANT INFORMATION:

Name: James William Black Phone:
 Mailing Address: 3726 Tiffani Ct. Cell:
 City/State/Zip: Santa Cruz CA 95065- Fax:
 Email:

REPRESENTATIVE INFORMATION:

Name: Dee Murray Phone:
 Mailing Address: Plnr A Olson PLN14@co.santa-cruz.ca.us Cell:
 City/State/Zip: Email: deeinduse@yahoo.com Fax:

SECTION 1 EXISTING MAIN AND SERVICES

Main Size/Type/Age: 10"A-C Elevation zone: ☒ N No connection fee credits for services inactive over 24 months
 Sizes Account #'s Old SIO #'s Status Date Closed Type
 34x58 080-00140 Active res-mf

SECTION 2 FIREFLOWS

Hyd # 757 Size/Type: 6"dbl Static 85 Res 72 Flow 1310 Flow w/20# Res. 3124 FF Date 05/10 Location: 17th @ Merrill
 Hyd # Size/Type: Static Res Flow Flow w/20# Res. FF Date Location:

SECTION 3 WATER SERVICE FEE Totals (see Page 2 for Details)

Plan Review Fees:		Permit Fees:		Meter		Water		Sewer		Zone Cap		Credits:		Total Due:	
				Inst Fees:		Conn Fees:		Conn Fees:		Fees:					
Service/Hydrant Eng	\$600	Service/Hydrant Install	\$930.00												
Backflow	\$100	Backflow	\$100.00												
Irrigation	\$85	St. Opening	\$0.00												
		Misc Fees	\$50.00												
Totals	\$785		\$1,080.00	\$1,810	\$29,385	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$33,060.00

SECTION 4:

BP# PLAN APP # 131027 PLANNER Annette Olson REVIEWED BY S. Reiker

ADDITIONAL COMMENTS: 10/08/13 Pl Ap 131027 City of Santa Cruz Water (SCWD) Engineering Comments: Revisions required - provide complete set of proposed building plans and water utility site plans to SCWD Eng Div at 212 Locust St 95060. Plan review required to determine new water and fire service configuration and fees. Verify if all 3 units are legal units of record from the County Planning Dept in writing to the SCWD for one Water Syst Dev MRU credit for unit to be demo. The Assessor record only specifies 2 ex dwelling units. Above fees are estimated to install 5 - 1" FxD water services per SCWD Detail 4A with separate taps to the 10" water main in 17th; and retrofit the existing 3/4" water service box to current SCWD Sids per Dtl 5 and install a separate irrigation meter is required to be eligible for MRU fees noted (\$4,471) otherwise min fee is \$6,530. A separate 3/4" x 5/8" irrigation meter with an RP backflow assembly is estimated. Landscape and irrigation plan review by Water Conservation Office is required. A Will Serve Letter for proposed triplex and duplex development was provided previously. See APN Files. Building Permits and Fire Protection Requirements Form (signed by Central Fire) will be required to apply for new water service.

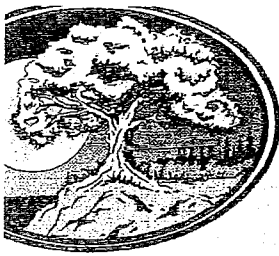
QUALIFICATIONS

Service will be furnished upon: (1) payment of the required fees due at the time service is requested (an approved building permit set of plans is required), and, (2) installation of the adequately sized water services, water mains and fire hydrants as required for the project under the rules and regulations of the Santa Cruz Water Department and the appropriate Fire District and any restrictions that may be in effect at the time application for service is made. NOTICE: This form does not in any way obligate the city. It is provided only as an estimate to assist you in your planning and as a record for the Water Department. The requirements set forth on this form may be changed or corrected at any time without prior notice. Fees collected by other agencies are not included on this form.

SECTION 5 WATER SERVICE FEE DETAILS APN: 027-261-51

SIO Info		Use Info				SIO Fees				Permit Fees				Totals
Lat Size / Br Config		Use Type	Mtr ID	Mtr Size	Mtr Type	Num Units	Inst Fee	Water	Sys Dev Chgs Sewer	Zone Capacity	Insp Fee	Eng Rvw Hrs	BF Rvw Fee	Backflow Permit Type # Dev Fee
1 1"FXD D14		MRU		1	Disc	0	\$310	\$4,571	\$0	\$0.00	155	2	\$100	\$0 0 \$0
						Credits	\$0	\$0	\$0	\$0.00				
						Sub total Fees:	\$310	\$4,571	\$0	\$0.00				
						Sub total Credits:	\$0	\$0	\$0	\$0.00				
						SIO Totals:	\$310	\$4,571	\$0	\$0.00		2	\$100	\$0 0 \$0
														\$4,981.00
SIO Info		Use Info				SIO Fees				Permit Fees				Totals
Lat Size / Br Config		Use Type	Mtr ID	Mtr Size	Mtr Type	Num Units	Inst Fee	Water	Sys Dev Chgs Sewer	Zone Capacity	Insp Fee	Eng Rvw Hrs	BF Rvw Fee	Backflow Permit Type # Dev Fee
1 1"FXD D14		MRU		1	Disc	0	\$310	\$4,571	\$0	\$0.00	155	2	\$100	\$0 0 \$0
						Credits	\$0	\$0	\$0	\$0.00				
						Sub total Fees:	\$310	\$4,571	\$0	\$0.00				
						Sub total Credits:	\$0	\$0	\$0	\$0.00				
						SIO Totals:	\$310	\$4,571	\$0	\$0.00		2	\$100	\$0 0 \$0
														\$4,981.00
SIO Info		Use Info				SIO Fees				Permit Fees				Totals
Lat Size / Br Config		Use Type	Mtr ID	Mtr Size	Mtr Type	Num Units	Inst Fee	Water	Sys Dev Chgs Sewer	Zone Capacity	Insp Fee	Eng Rvw Hrs	BF Rvw Fee	Backflow Permit Type # Dev Fee
1 1"FXD D14		MRU		1	Disc	0	\$310	\$4,571	\$0	\$0.00	155	2	\$100	\$0 0 \$0
						Credits	\$0	\$0	\$0	\$0.00				
						Sub total Fees:	\$310	\$4,571	\$0	\$0.00				
						Sub total Credits:	\$0	\$0	\$0	\$0.00				
						SIO Totals:	\$310	\$4,571	\$0	\$0.00		2	\$100	\$0 0 \$0
														\$4,981.00

Total Permit Insp Fees: 1080



Live Oak School District

Excellence is achieved through a caring partnership

Tamra Taylor, Ed. D.
Superintendent

Patricia P. Deming
Assistant Superintendent
Business Services

January 8, 2013

Dee Murray
Land Use Consultant
2272 Kinsley Street
Santa Cruz, CA 95062

RE: APN 027-261-51

Dear Mrs. Murray

Under its authority, and consistent with the County's General Plan, the District has established a Mello-Roos Facilities District. The Mello-Roos is to meet the supplemental mitigation cost not covered by the District's current developer fees. The mitigation costs are set forth in the District's adopted Facilities Master Plan: Developmental Impact Mitigation Plan.

The District seeks mitigation as a condition of approval of the impact of your project of development [creating two (2) or more lots] within its boundaries. This condition is based on the full mitigation impacts of these developments upon the District's facilities. You are required to enroll your property in the District's Mello-Roos to help meet the impact of mitigation on the school district. The supplemental mitigation necessary after the developer fee assessment is \$11,636 for single family homes and \$5,818 for multi-family homes. These amounts could either be paid as a one-time assessment or paid over time as a parcel fee through the District's Mello-Roos CFD, in which case the fee will be assessed through the annual property taxes paid on the property. We will be offering Mello-Roos options to finance the cost should you choose to do so.

Please contact me at 475-6333 ext. 213 if you have any questions or would like to discuss finance options.

Your cooperation and assistance in this matter is greatly appreciated.

Sincerely,

Kim Espinosa
Budget Analyst, Live Oak School District

DISTRICT OFFICE 984-1 BOSTWICK LANE SANTA CRUZ, CA 95062-1798 (831) 475-6333 FAX (831) 475-2638
Del Mar School 1959 Merrill Street 477-2063 Green Acres School 966 Bostwick Lane 475-0111
Live Oak School 1916 Capitola Road 475-2000 Shoreline Middle School 855 17th Avenue 475-6565
Ocean Alternative School 984-6 Bostwick Lane 475-0767 Cypress Charter High School 2039 Merrill Street 477-0302

www.lodo.santacruz.k12.ca.us

Project No. SC10453
23 January 2013

MR. WILLIAM BLACK
c/o Dee Murray
2272 Kinsley Street
Santa Cruz, California 95062

Subject: Update to Geotechnical Investigation

Reference: Proposed New Duplex and Triplex
APN 027-261-51
721 17th Avenue
Santa Cruz, California

Dear Mr. Black:

As requested, this letter updates our Geotechnical Investigation, dated 7 October 2003 (Project No. SC8348). The report was prepared for a proposed new duplex and a triplex on APN 027-261-39. The current parcel number for the property is APN 027-261-51. We understand you have purchased the property and intend to construct the duplex and triplex and associated improvements.

The scope of our work for this update letter included: 1) review of the 2003 report; 2) a site reconnaissance, 3) preparation and submittal of this letter.

We visited the site on 22 January 2013 to evaluate site conditions. The existing dwelling unit on the east side of the property is occupied. The west portion of the property is vegetated with low grass. A small mound of soil and organic material was observed near the end of the driveway. The conditions are essentially unchanged from conditions at the time our report was prepared.

Based on our recent observations and review of the 2003 Geotechnical Investigation for the project, the conclusions and recommendations presented in the report are still valid and may be used for design and construction of the proposed project. We have also provided the following supplemental design criteria and recommendations for the project:

1. The 2010 California Building Code (CBC) provides site class definitions for seismic design of structures. Based on these definitions, a review of the site soil properties presented on our soil boring logs, the site is classified **Site Class D**, in accordance with Table 1613.5.2 in the 2010 CBC. The project site is located at Longitude 121.986896° West and Latitude 36.965606° North.

William Black
Project No. SC10453
721 17th Avenue
23 January 2013
Page 2

2. The following maximum considered earthquake and five percent damped design spectral response accelerations adjusted for site class effects should be used for seismic design based on Sections 1613.5.3 and 1613.5.4 of the 2010 CBC.
 - A. $S_{MS} = 1.500$ (0.2 - second period)
 - B. $S_{M1} = 0.900$ (1.0 - second period)
 - C. $S_{DS} = 1.000$ (0.2 - second period)
 - D. $S_{D1} = 0.600$ (1.0 - second period)
3. A pre-construction meeting should be held on site to evaluate conditions following demolition activities and review grading requirements. The meeting should be attended by the geotechnical engineer, the owner's representative, and the grading contractor, at a minimum.
4. Except where superseded by this update letter, all recommendations in the 7 October 2003 Geotechnical Investigation should also be followed.

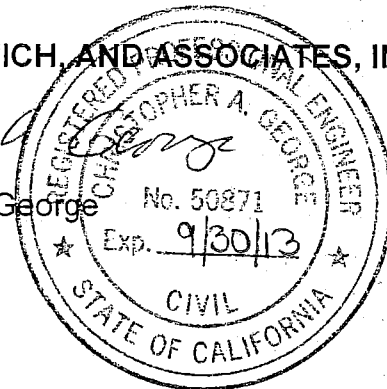
If you have any questions concerning this letter, please contact our office.

Respectfully Submitted,

HARO, KASUNICH, AND ASSOCIATES, INC.




Christopher A. George
C.E. 50871



CAG/sr

Copies: 1 to Addressee via email only (bill@imagineeringonline.com)
3 to Dee Murray and email (deelnuse@yahoo.com)
1 to Jeff Roper via email only (roperengineering.com)

CLIENT: WILLIAM BLACK	 ROPER ENGINEERING CIVIL ENGINEERING & LAND SURVEYING 64 PENNY LANE, SUITE A WATSONVILLE, CA 95076 (831) 724-5300	JOB NO.: 12047
LOCATION: 100 SANTA MARIA PL		DATE: JULY 8, 2013
DRAINAGE CALCS		SHEET: 1 OF 8

IMPERVIOUS AREAS

IMPERVIOUS AREAS INCLUDE BUILDINGS, CONCRETE AND PERMEABLE PAVER SURFACES
SEE TABULATION BELOW

10 YEAR STORM DETENTION CALCS

SEE SANTA CRUZ COUNTY DETENTION CALCULATION SHEETS
SHEETS 4 THRU 6

STORAGE VOLUME PROVIDED

A PONDING AREA
X 0.5 SLOPE FACTOR
X 0.4 POROSITY FACTOR
X 1.25' DEPTH AT CATCH BASIN

0.25A STORAGE VOLUME

ALLOWABLE RELEASE RATE

SEE SANTA CRUZ COUNTY DETENTION CALCULATION SHEETS
SHEETS 4 THRU 6

OUTLET SIZING

FLOW THROUGH ORIFICE

$Q = CA(2GH)^{0.5}$ (EQUATION 4-21 BRADDER & KING HANDBOOK)

WHERE:

C = 0.6 (COEFFICIENT OF DISCHARGE PER TABLE 4-3 BRADDER & KING HANDBOOK)

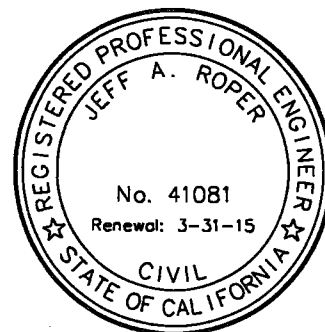
A = $(\pi/4)D^2$ (SF) (AREA OF ORIFICE)

D = DIAMETER OF ORIFICE (FT)

G = 32.2 FT/SEC/SEC (ACCELERATION DUE TO GRAVITY)

H = 1.0 FT (HEIGHT FROM WATER SURFACE TO CENTER OF ORIFICE)

Q = PREDEVELOPMENT FLOW RATE (CFS)



SEE SHEET 2

SEE SHEET 3

DRAINAGE AREA DESIGNATION	DRAINAGE AREA		PAVER AREA (SF)	POND AREA (SF)	PROVIDED STORAGE (CF)	REQUIRED STORAGE (CF)	ALLOWABLE RELEASE RATE (CFS)	ORIFICE SIZING (INCHES)
	(SF)	(ACRES)						
A	6511	0.15	2994	2747	687	223	0.077	1 11/16
B	3146	0.17	2454	2417	604	108	0.037	1 3/16
C	5368	0.12	2452	1593	398	187	0.064	1 9/16

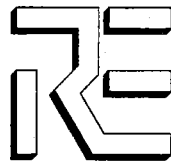
2 YEAR STORM MITIGATION

DUE TO LOW ONSITE SOIL PERMEABILITY (< 0.06 INCHES/HOUR PER NRCS SOIL SURVEY) 2 YEAR-2 HOUR STORM RETENTION IS NOT FEASIBLE. 2 YEAR STORM WILL BE MITIGATED BY ALLOWING ROOF RUNOFF TO FILTER THROUGH THE PERMEABLE PAVERS, PERMITTING CONTACT WITH THE NATIVE SOIL SUBGRADE. THE 2 YEAR STORM RUNOFF WILL BE SLOWED BY ITS TRAVEL THROUGH THE PERMEABLE PAVER SUBGRADE PRIOR TO RELEASE. THE PERFORATED OUTLET PIPE WILL BE HELD 0.2 FEET OFF OF SUBGRADE TO HELP PROMOTE SOME PERCOLATION.

CLIENT: WILLIAM BLACK

LOCATION: 100 SANTA MARIA PL

DRAINAGE CALCS



ROPER ENGINEERING
CIVIL ENGINEERING & LAND SURVEYING
64 PENNY LANE, SUITE A
WATSONVILLE, CA 95076
(831) 724-5300

JOB NO.: 12047

DATE: JULY 8, 2013

SHEET: 2 OF 8

PRE-DEVELOPMENT DRAINAGE AREAS

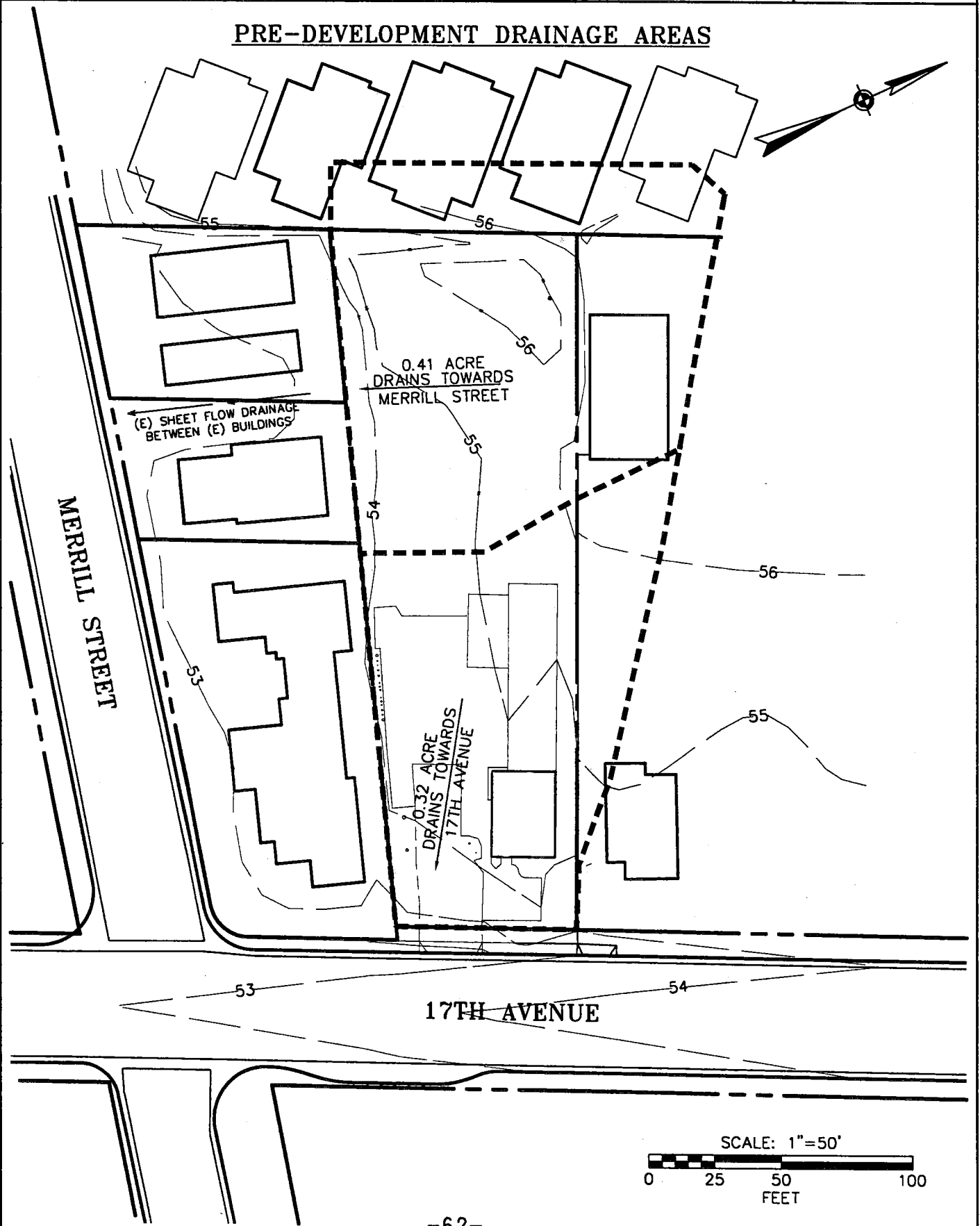

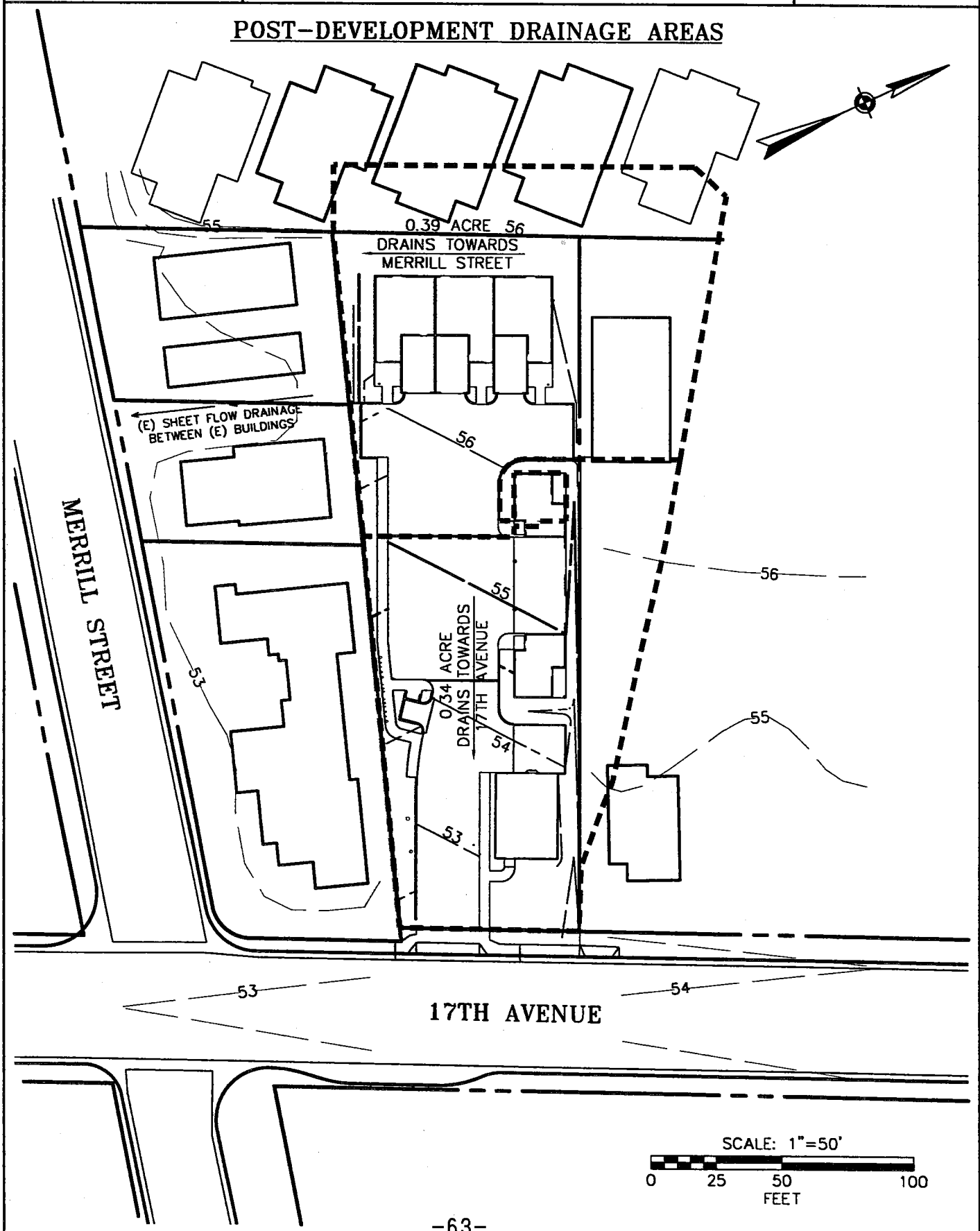



EXHIBIT 4

CLIENT: WILLIAM BLACK	 ROPER ENGINEERING CIVIL ENGINEERING & LAND SURVEYING 64 PENNY LANE, SUITE A WATSONVILLE, CA 95076 (831) 724-5300	JOB NO.: 12047
LOCATION: 100 SANTA MARIA PL		DATE: JULY 8, 2013
DRAINAGE CALCS		SHEET: 3 OF 8

POST-DEVELOPMENT DRAINAGE AREAS



CLIENT: WILLIAM BLACK	 ROPER ENGINEERING CIVIL ENGINEERING & LAND SURVEYING 64 PENNY LANE, SUITE A WATSONVILLE, CA 95076 (831) 724-5300	JOB NO.: 12047
LOCATION: 100 SANTA MARIA PL		DATE: JULY 8, 2013
DRAINAGE CALCS		SHEET: 4 OF 8

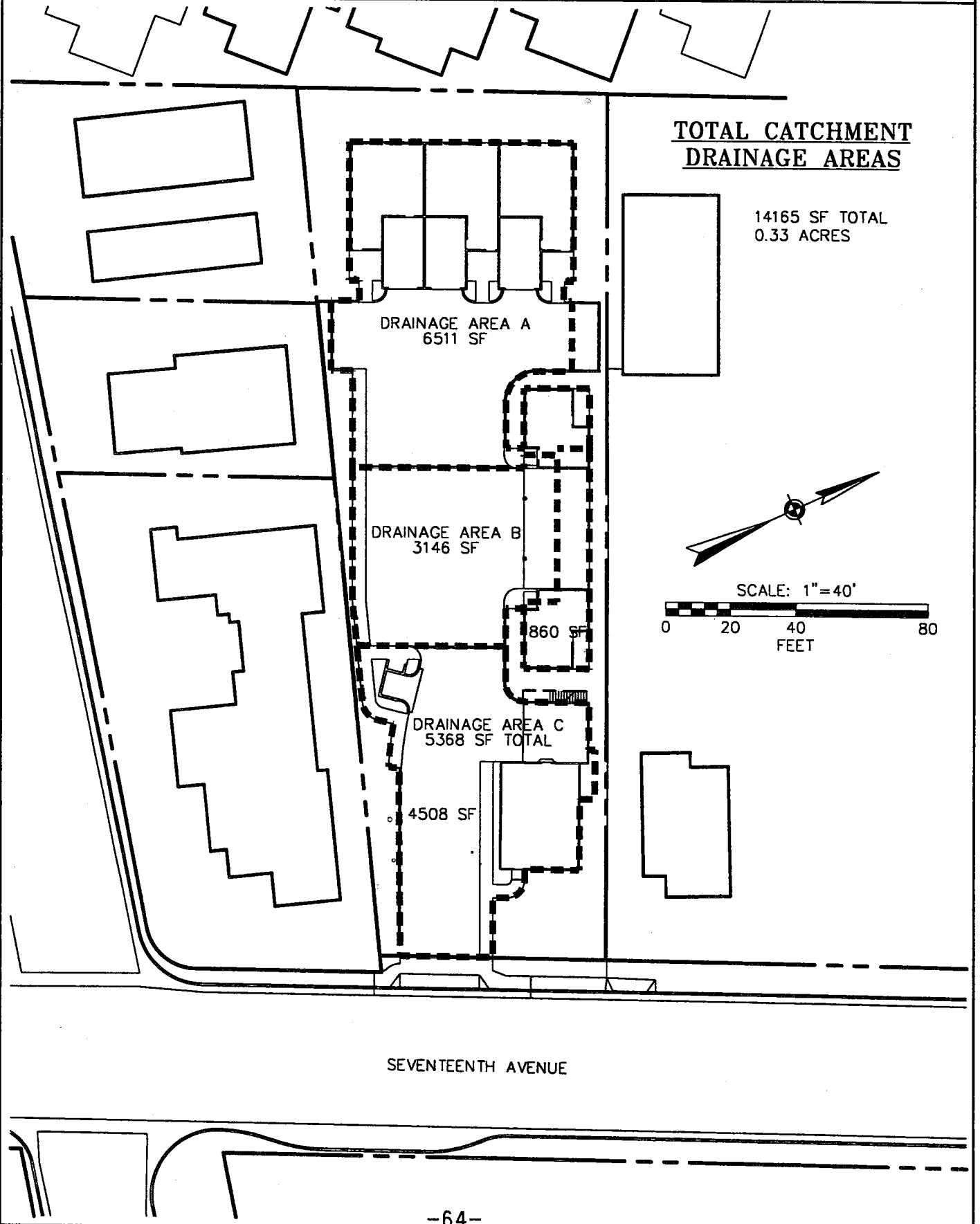
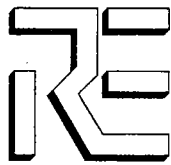


EXHIBIT 1

CLIENT: WILLIAM BLACK

LOCATION: 100 SANTA MARIA PL

DRAINAGE CALCS

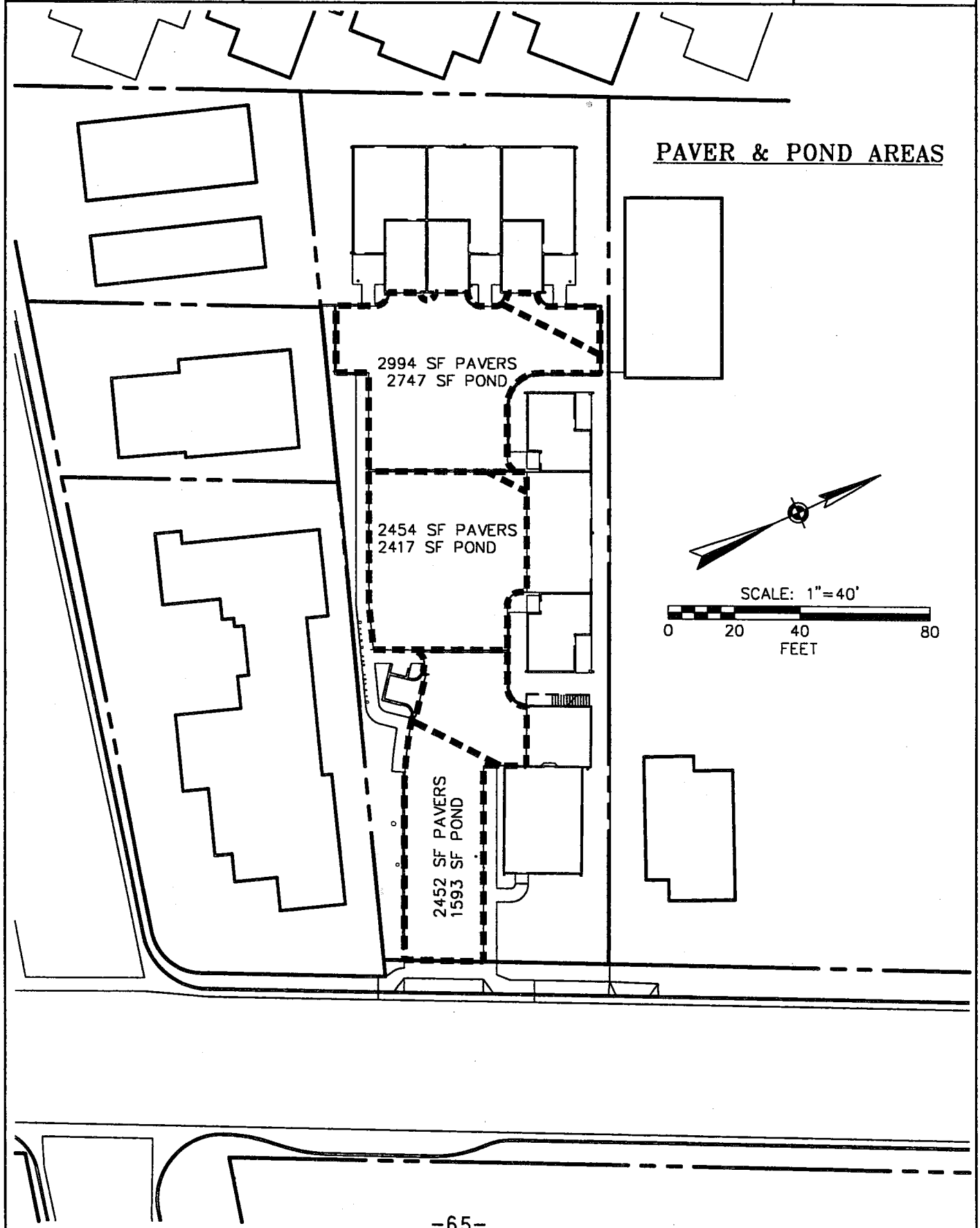


ROPER ENGINEERING
CIVIL ENGINEERING & LAND SURVEYING
64 PENNY LANE, SUITE A
WATSONVILLE, CA 95076
(831) 724-5300

JOB NO.: 12047

DATE: JULY 8, 2013

SHEET: 5 OF 8



EXIST

RUNOFF DETENTION BY THE MODIFIED RATIONAL METHOD

Data Entry: PRESS TAB & ENTER DESIGN VALUES SS Ver: 1.0

Site Location P60 Isoleth:	1.40	Fig. SWM-2 in County Design Criteria
Rational Coefficients Cpre:	0.30	See note # 2
Cpost:	0.90	See note # 2
Impervious Area:	6511 ft ²	See note # 2 and # 4

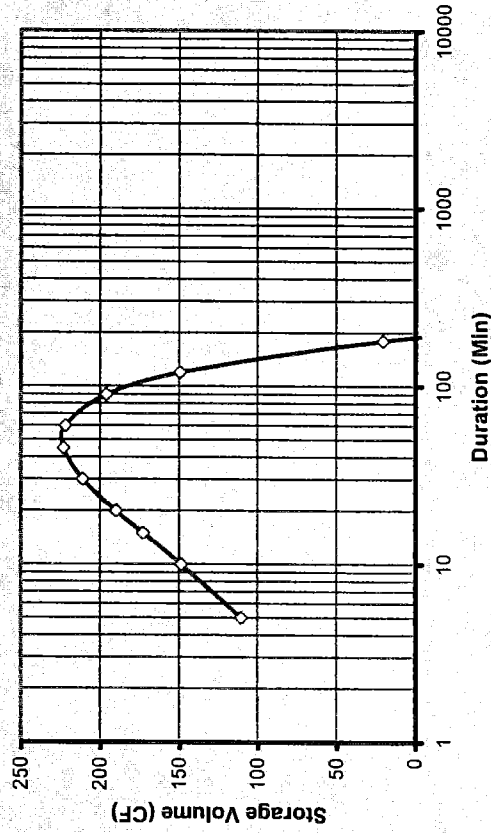
STRUCTURE DIMENSIONS FOR DETENTION

223	ft ³ storage volume calculated		
40	% void space assumed		
559	ft ³ excavated volume needed		
Structure	Length	Width*	Depth*
Ratios	52.00	52.00	0.21
Dimen. (ft)	51.96	51.96	0.21

*For pipe, use the square root of the sectional area

*For pipe, use the square root of the sectional area

10 - YEAR DESIGN STORM				DETENTION @ 15 MIN.	
Storm Duration (min)	10 - Year Intensity (in/hr)	10 - Yr. Release Qpre (cfs)	10 - Year Qpost (cfs)	Detention Rate To Storage (cfs)	Specified Storage Volume (cf)
1440	0.23	0.011	0.032	-0.045	-4868
1200	0.25	0.011	0.034	-0.042	-3821
960	0.28	0.013	0.038	-0.039	-2805
720	0.32	0.014	0.043	-0.034	-1832
480	0.38	0.017	0.051	-0.026	-924
360	0.43	0.019	0.058	-0.019	-509
240	0.51	0.023	0.069	-0.008	-138
180	0.58	0.026	0.078	0.002	20
120	0.69	0.031	0.093	0.017	149
90	0.78	0.035	0.106	0.029	196
60	0.93	0.042	0.126	0.049	222
45	1.05	0.048	0.143	0.066	223
30	1.26	0.057	0.171	0.094	211
20	1.50	0.068	0.203	0.127	190
15	1.70	0.077	0.230	0.154	173
10	2.03	0.092	0.275	0.198	149

10-Yr Post-Development Detention Storage Volume
@ 10-Yr Pre-Development Release Rate**Notes & Limitations on Use:**

- 1) The modified rational method, and therefore the standard calculations are applicable in watersheds up to 20 acres in size.
- 2) Required detention volume determinations shall be based on all net new impervious area both on and off-site, resulting from the proposed project. Pervious areas shall not be included in detention volume sizing; an exception may be made for incidental pervious areas less than 10% of the total area.
- 3) Gravel packed detention chambers shall specify on the plans, aggregate that is washed, angular, and uniformly graded (of single size), assuring void space not less than 35%.
- 4) A map showing boundaries of both regulated impervious areas and actual drainage areas routed to the hydraulic control structure of the detention facility is to be provided, clearly distinguishing between the two areas, and noting the square footage.
- 5) The EPA defines a class V injection well as any bored, drilled, or driven shaft, or dug hole that is deeper than its widest surface dimension, or an improved sinkhole, or a subsurface fluid distribution system. Such storm water drainage wells are "authorized by rule". For more information on these rules, contact the EPA. A web site link is provided from the County DPW Stormwater Management web page.

RUNOFF DETENTION BY THE MODIFIED RATIONAL METHOD

Data Entry: PRESS TAB & ENTER DESIGN VALUES SS Ver: 1.0

Site Location P60 Isoleth:	1.40	Fig. SWM-2 in County Design Criteria
Rational Coefficients Cpre:	0.30	See note # 2
Cpost:	0.90	See note # 2
Impervious Area:	3146 ft ²	See note # 2 and # 4

STRUCTURE DIMENSIONS FOR DETENTION

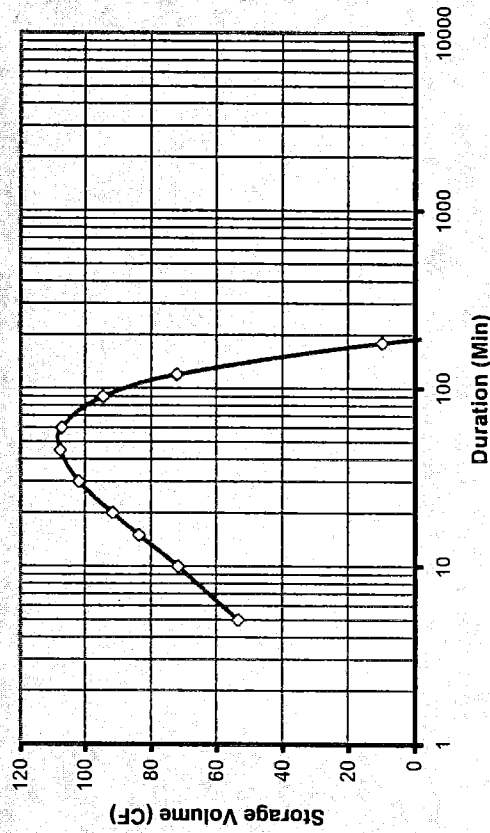
108	ft ³ storage volume calculated		
40	% void space assumed		
270	ft ³ excavated volume needed		
Structure	Length	Width*	Depth*
Ratios	49.00	49.00	0.11
Dimen. (ft)	49.00	49.00	0.11

*For pipe, use the square root of the sectional area

*For pipe, use the square root of the sectional area

10 - YEAR DESIGN STORM

Storm Duration (min)	10 - Yr. DESIGN STORM			DETENTION @ 15 MIN.	
	10 - Year Intensity (in/hr)	10 - Year Release Qpre (cfs)	10 - Year Qpost (cfs)	Detention Rate To Storage (cfs)	Specified Storage Volume (cf)
1440	0.23	0.005	0.015	-0.022	-2352
1200	0.25	0.006	0.017	-0.021	-1846
960	0.28	0.006	0.018	-0.019	-1355
720	0.32	0.007	0.021	-0.016	-885
480	0.38	0.008	0.025	-0.012	-446
360	0.43	0.009	0.028	-0.009	-246
240	0.51	0.011	0.033	-0.004	-67
180	0.58	0.013	0.038	0.001	10
120	0.69	0.015	0.045	0.008	72
90	0.78	0.017	0.051	0.014	95
60	0.93	0.020	0.061	0.024	107
45	1.05	0.023	0.069	0.032	108
30	1.26	0.027	0.082	0.045	102
20	1.50	0.033	0.098	0.061	92
15	1.70	0.037	0.111	0.074	84
10	2.03	0.044	0.133	0.096	72

10-Yr Post-Development Detention Storage Volume
@ 10-Yr Pre-Development Release Rate**Notes & Limitations on Use:**

- 1) The modified rational method, and therefore the standard calculations are applicable in watersheds up to 20 acres in size.
- 2) Required detention volume determinations shall be based on all net new impervious area both on and off-site, resulting from the proposed project. Pervious areas shall not be included in detention volume sizing; an exception may be made for incidental pervious areas less than 10% of the total area.
- 3) Gravel packed detention chambers shall specify on the plans, aggregate that is washed, angular, and uniformly graded (of single size), assuring void space not less than 35%.
- 4) A map showing boundaries of both regulated impervious areas and actual drainage areas routed to the hydraulic control structure of the detention facility is to be provided, clearly distinguishing between the two areas, and noting the square footage.
- 5) The EPA defines a class V injection well as any bored, drilled, or driven shaft, or dug hole that is deeper than its widest surface dimension, or an improved sinkhole, or a subsurface fluid distribution system. Such storm water drainage wells are "authorized by rule". For more information on these rules, contact the EPA. A web site link is provided from the County DPW Stormwater Management web page.

RUNOFF DETENTION BY THE MODIFIED RATIONAL METHOD

Data Entry: PRESS TAB & ENTER DESIGN VALUES		SS Ver: 1.0
Site Location P60 Isoleth:	1.40	Fig. SWM-2 in County Design Criteria
Rational Coefficients Cpre:	0.30	See note # 2
Cpost:	0.90	See note # 2
Impervious Area:	5446	ft ² See note # 2 and # 4

STRUCTURE DIMENSIONS FOR DETENTION

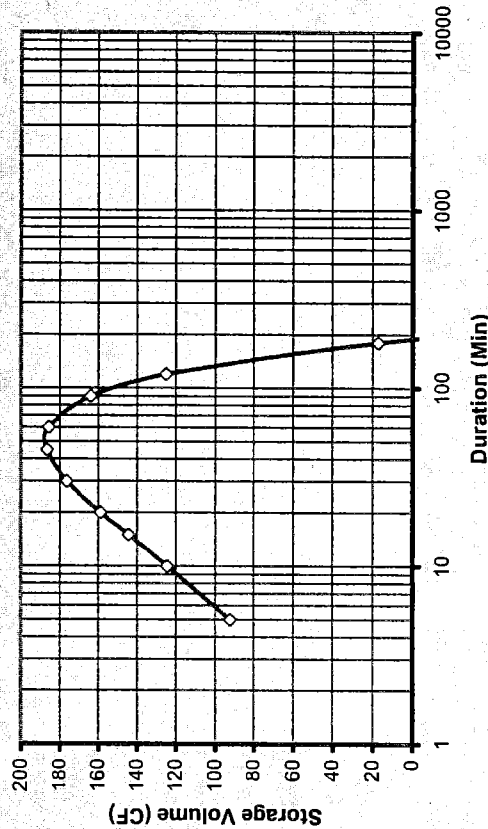
187	ft ³ storage volume calculated		
40	% void space assumed		
467	ft ³ excavated volume needed		
Structure	Length	Width*	Depth*
Ratios	40.00	40.00	0.29
Dimen. (ft)	40.00	40.00	0.29

*For pipe, use the square root of the sectional area

*For pipe, use the square root of the sectional area

10 - YEAR DESIGN STORM				DETENTION @ 15 MIN.	
Storm Duration (min)	10 - Year Intensity (in/hr)	10 - Year Release Qpre (cfs)	10 - Year Qpost (cfs)	Detention Rate To Storage (cfs)	Specified Storage Volume (cf)
1440	0.23	0.009	0.027	-0.038	-4072
1200	0.25	0.010	0.029	-0.036	-3196
960	0.28	0.011	0.032	-0.033	-2346
720	0.32	0.012	0.036	-0.028	-1532
480	0.38	0.014	0.043	-0.021	-773
360	0.43	0.016	0.048	-0.016	-426
240	0.51	0.019	0.058	-0.006	-116
180	0.58	0.022	0.066	0.001	17
120	0.69	0.026	0.078	0.014	125
90	0.78	0.030	0.089	0.024	164
60	0.93	0.035	0.106	0.041	186
45	1.05	0.040	0.120	0.055	187
30	1.26	0.048	0.143	0.078	176
20	1.50	0.057	0.170	0.106	159
15	1.70	0.064	0.193	0.129	145
10	2.03	0.077	0.230	0.166	124

10-Yr Post-Development Detention Storage Volume @ 10-Yr Pre-Development Release Rate



Notes & Limitations on Use:

- 1) The modified rational method, and therefore the standard calculations are applicable in watersheds up to 20 acres in size.
- 2) Required detention volume determinations shall be based on all net new impervious area both on and off-site, resulting from the proposed project. Pervious areas shall not be included in detention volume sizing; an exception may be made for incidental pervious areas less than 10% of the total area.
- 3) Gravel packed detention chambers shall specify on the plans, aggregate that is washed, angular, and uniformly graded (of single size), assuring void space not less than 35%.
- 4) A map showing boundaries of both regulated impervious areas and actual drainage areas routed to the hydraulic control structure of the detention facility is to be provided, clearly distinguishing between the two areas, and noting the square footage.
- 5) The EPA defines a class V injection well as any bored, drilled, or driven shaft, or dug hole that is deeper than its widest surface dimension, or an improved sinkhole, or a subsurface fluid distribution system. Such storm water drainage wells are "authorized by rule". For more information on these rules, contact the EPA. A web site link is provided from the County DPW Stormwater Management web page.

Marshall Phillips Trust
1635 and 1639 Merrill Street
A.P.N.: 027-261-28
Santa Cruz, CA 95062

June 28, 2013

County of Santa Cruz
Public Works Department
Santa Cruz, CA

RE: 100 Santa Maria Place Property

To Whom it may concern:

This letter is being sent to advise that the Marshall Phillips Trust, the owner of 1635 and 1639 Merrill Street in Santa Cruz, CA is aware of the proposed project to build a triplex and a duplex adjacent to the above property at 100 Santa Maria Place. The property shares approx. 55 feet on the back of the property on Merrill Street. The plans call for pavers and pond areas to catch runoff. I have reviewed the civil engineering plans by Roper Engineering and understand that the proposed project creates storm water runoff onto our property. Our drainage system is maintained regularly and will continue to be in the foreseeable future. The current drainage system has never had issues with capacity in the area of the project at 100 Santa Maria Place and any additional flow is unlikely to create drainage problems on our property. Upon review of the civil engineering drainage plans, we have no objections to the proposed project.

Sincerely,



Paul Dobrovolsky
Marshall Phillips Trust
Property Manager

Joni Sampson
1633 Merrill Street
A.P.N.: 027-261-25
Santa Cruz, CA 95062
831-334-2430

June 28, 2013

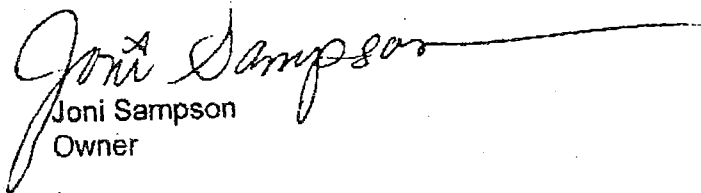
County of Santa Cruz
Public Works Department
Santa Cruz, CA

RE: 100 Santa Maria Place Property

To Whom it may concern:

This letter is being sent to advise that Joni Sampson, the owner of 1633 Merrill Street in Santa Cruz, CA is aware of the proposed project to build a triplex and a duplex adjacent to the above property at 100 Santa Maria Place. The property shares approx. 65 feet on the back corner of the property. The plans call for pavers and pond areas to catch runoff. I have reviewed the civil engineering plans by Roper Engineering and understand that the proposed project creates storm water runoff onto our property. Our drainage system is maintained regularly and will continue to be in the foreseeable future. The current drainage system has never had issues with capacity in the area of the project at 100 Santa Maria Place and any additional flow is unlikely to create drainage problems on our property. Upon review of the civil engineering drainage plans, we have no objections to the proposed project.

Sincerely,


Joni Sampson
Owner

DEE MURRAY
LAND USE CONSULTANT
2272 KINSLEY STREET
SANTA CRUZ, CA. 95062
(831) 475-5334
JANUARY 03, 2013

Dear Neighbor,

We will be conducting a neighborhood meeting on Sunday, January 13, 2013, from 1:00 to 2:00 PM, on property located at 721 – 17th Avenue, known as Assessor's Parcel No. 027-261-51. The purpose of this meeting is to allow you an opportunity to review plans to demolish one dwelling (on a site with two existing units), and construct five new multi-family units (one duplex and one triplex) for a total of six (6) units.

A Development Permit for the same number of units was approved by the County in 2005, and A Building Permit was issued. However, the previous owners did not exercise their permit.

After conducting this meeting we will be applying to the County Planning Dept. for a Coastal Permit, a Residential Development Permit and Preliminary Grading approval.

We look forward to your attendance at this meeting to answer any questions or concerns that you may have. If you have any questions prior to the meeting date, please contact me, Dee Murray at (831) 475-5334.

Thank you in advance for your time and consideration. Looking forward to meeting you on January 13, 2013,

Sincerely,



Dee Murray, Land Use Consultant

cc: Supervisor John Leopold

Planning Director Kathleen Molloy Previsich

EX-100-11

DEE MURRAY
LAND USE CONSULTANT
2272 KINSLEY STREET
SANTA CRUZ, CA. 95062
(831) 475-5334
JANUARY 23, 2013

Annette Olson
Project Planner
County of Santa Cruz
701 Ocean Street
400 Governmental Center
Santa Cruz, Ca. 95062

RE: 721 – 17TH Avenue
APN: 027-261-51

Dear Annette:

As a result of our neighborhood meeting, only one (1) person, Robert Lallis, property owner at 723 -17th Avenue, attended to review our plans. He resides to the north of subject property and stated that he was whole heartedly in favor of our proposal which he states will upgrade the neighborhood, (copy attached).

I received a letter from Mike Achkar, Road Association Member of the Del Mar Road Association (Merrill Street) (copy of his letter dated January 8, 2013, attached). He incorrectly quoted the zoning as RM-4 and stated that they would be in support of the current density and would not support an increase in density because of parking problems that they are experiencing in the their neighborhood. He stated that he would not be able to attend the neighborhood meeting. I responded to his letter correcting the Zoning which is RM-3 and not RM-4 where our proposal is consistent with the RM-3 Zone District, maintain 21,102 square feet of land area and providing 18 on-site parking spaces, with no off-street parking. We are offering to stipulate in the rental agreement that tenants and their guest are not to park in the street. (see my letter dated January 11, 2013, attached).

I also received a letter from the Live Oak School District informing us of the Mello –Roos fees that are applicable when creating two or more lots. See my letter dated January 12, 2013, informing them that our proposal will not create lots.

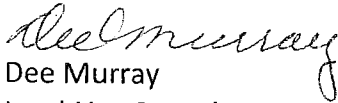
Annette Olson
Project Planner
Page 2

A copy of my letter dated January 03, 2013, notifying the property owners and tenants within a radius of 300 feet, together with a copy of the labels with their names and addresses, notifying them of the on-site neighborhood meeting to be held on January 13, 2013, is attached.

I am submitting 10 sets of plans as noted in the LORI form, 2 copies of the Updated Geotechnical Investigation by Haro & Kasunich & Associates, Inc., dated January 23, 2013. a Will Serve letter dated October 17, 2012, from the City of Santa Cruz Water Dept., and a Sewer Availability Letter dated November 14, 2012 from the County Public Works Dept.

Please feel free to contact me if you have any further questions.

Very truly yours,



Dee Murray
Land Use Consultant
cc: Bill Black

NEIGHBORHOOD MEETING HELD ON 6/13/63
721 - 17th AVE. APT: 027. 261-51

NAME:

ADDRESS:

Robert Lellis

723 17th Ave. 5A Apt 202

Mr. Lellis reviewed the plans and stated that he was wholeheartedly in favor of our project so that we will upgrade the neighborhood.

January 8, 2013

Dee Murray
Land Use Consultant
2272 Kinsley Street
Santa Cruz, CA 95062

RE: 721-17th Avenue

Dear Dee:

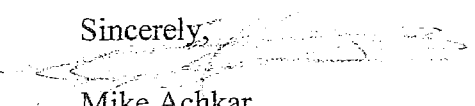
On behalf of the Del Mar Road Association(Merrill Street), please advise your client that we would be in support of developing the property at 721-17th Avenue under its current density of RM-4000 only. We would not be in support of an increase in density namely because of the parking problems we are experiencing in our neighborhood.

Parking and traffic have become a major problem on Merrill Street and 17th Avenue. It seems as if, there is not enough parking at the Breakwater and surrounding apartments and the increase has affected us negatively. We currently have cars illegally parked on our private street and even in our driveways at times regardless of the signs we recently posted.

We also have seen pedestrian traffic increase to and from these cars at night that has resulted in more crime and vandalism on our street. An increase in units on your client's property would further exasperate the ongoing traffic, crime, and parking issues. Unless the surrounding apartments can fix their current parking shortage, we don't believe you nor us would benefit with the development.

If you have any questions, please do not hesitate in contacting me at (408)691.6002
Thank you for your letter and we wish you the best development project possible.
Unfortunately, I can not attend your open house.

Sincerely,


Mike Achkar
Road Association Member

Cc: Supervisor John Leopold
Kathleen Molloy Previsch

DEE MURRAY
LAND USE CONSULTANT
2272 KINSLEY STREET
SANTA CRUZ, CA. 95062
(831) 475-5334
JANUARAY 11, 2013

Mike Achkar
Del Mar Road Association Member
1937 Merrill Street
Santa Cruz, Ca. 95062

RE: 721 -17th Avenue
APN: 027-261-51

Dear Mike,

Thank you for your letter of January 8, 2013.

I would like to point out that the zoning on the subject property is "RM-3" and not "RM-4" as noted in your letter. The density proposed is one unit per three thousand square feet of land area. The property consists of 21,102 square feet, accommodating 6 units.

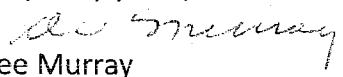
We appreciate your concern regarding the lack of on-site parking for the apartment buildings on 17th Avenue and Merrill Street that were built many years ago, where the tenants are parking along Merrill Street and some on private properties in your neighborhood.

Our project will provide 18 parking spaces on-site, with no on- street parking. Even though ample parking will be provided on site, we could consider placing a stipulation in the rental agreement that all tenants and guest must park on site and not along the streets.

We can assure you the development as proposed would enhance the neighborhood.

If you have any further questions, please do not hesitate to contact me at any time.

Very truly yours,


Dee Murray
Land Use Consultant
cc: Supervisor John Leopold
Kathleen Molloy Previsich