



Staff Report to the Planning Commission

Application Number: **141087**

Applicant: Richard Falconer

Owner: Johnson, etal.

APN: 031-091-01

Agenda Date: May 13, 2015

Agenda Item #: 9

Time: After 9:00 a.m.

Project Description: Proposal to divide a 4.35 acre parcel into three parcels with a remainder parcel.

Location: Property located at the terminus of Childers Lane in Live Oak (2930 Childers Lane). Project access proposed off 30th Avenue, approximately 275 feet south of the intersection with Childers Lane.

Supervisory District: 1st District (District Supervisor: John Leopold)

Permits Required: Minor Land Division, Roadway/Roadside Exception

Technical Reviews: Preliminary Grading Review, Soils Report Review, Archaeological Report Review

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 141087, based on the attached findings and conditions.

Exhibits

- | | |
|---|---|
| A. Categorical Exemption (CEQA determination) | E. Assessor's, Location, Zoning and General Plan Maps |
| B. Findings | F. Design Guidelines |
| C. Conditions | G. Will Serve Letters |
| D. Project plans | H. Comments & Correspondence |

Parcel Information

Parcel Size:	4.35 acres
Existing Land Use - Parcel:	Residential
Existing Land Use - Surrounding:	Residential
Project Access:	30th Avenue

County of Santa Cruz Planning Department
701 Ocean Street, 4th Floor, Santa Cruz CA 95060

Planning Area: Live Oak
Land Use Designation: R-UL (Urban Low Density Residential)
Zone District: R-1-6-L (Single family residential - 6,000 square feet minimum, Historic Landmark combining district)
Coastal Zone: ☐ Inside ☒ Outside

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Soils: Report reviewed and accepted
Fire Hazard: Not a mapped constraint
Slopes: 2-5% in project area
Env. Sen. Habitat: Riparian corridor (Rodeo Gulch/Creek) to west of project site
Grading: 465 cubic yards (cut), 42 cubic yards (fill)
Tree Removal: 11 trees proposed to be removed within building envelopes
Scenic: Not a mapped resource
Drainage: Drainage plan reviewed and accepted
Archeology: Report reviewed and accepted - no archeological resources identified

Services Information

Urban/Rural Services Line: ☒ Inside ☐ Outside
Water Supply: City of Santa Cruz
Sewage Disposal: Santa Cruz County Sanitation District
Fire District: Central Fire Protection District
Drainage District: Zone 5 Flood Control District

Project Setting

The project site is located on the west side of 30th Avenue, approximately 300 feet south of the intersection with Childers Lane in the Live Oak planning area. The proposed building sites are relatively level and the property slopes down to Rodeo Gulch to the west. The remainder of the property is currently developed with two dwellings and a number of various outbuildings. The surrounding residential neighborhood is developed with single family dwellings.

Minor Land Division

This application includes a proposal to divide an approximately 4.35 acre property into three parcels and a remainder lot (Lot 1: 8,655 sf, Lot 2: 7,980 sf, Lot 3: 13,628 sf, Remainder: 3.34 acres). The existing dwellings and outbuildings are proposed to remain on the remainder lot, and the historic residence would not be altered or affected by the proposed land division.

The subject property is located in the R-1-6-L (Single family residential - 6,000 square feet minimum, Historic Landmark) zone district. The division of the parcel into three separate single family residential parcels (and a remainder lot), requires a minimum of 6,000 square feet of net developable land per parcel. The right of way for the proposed access roadway is deducted from

the net developable land area. Each proposed parcel contains sufficient net developable land area to comply with the minimum parcel size of the R-1-6-L (Single family residential - 6,000 square feet minimum, Historic Landmark) zone district.

The subject property is designated as Urban Low Density Residential (R-UL) in the General Plan. The Urban Low Density Residential (R-UL) General Plan designation requires new development to be within a density range of 6,000 square feet to 10,000 square feet of net developable land per residential unit. The proposed land division complies with the required General Plan density range.

Although the subject property contains a designated historic dwelling, the minor land division is proposed on the vacant portion of the lot, away from existing development, and would not alter or affect the historic resource.

Site Access

The three proposed single family residential parcels would be accessed from a new private cul-de-sac from the west side of 30th Avenue. The existing residences that are proposed to be retained on the remainder parcel would continue to be accessed from Childers Lane. The proposed roadway complies with the County Design Criteria for new local streets, with the exception of the requirement for a sidewalk along the south side of the proposed access road. The elimination of the sidewalk requires a Roadside Exception. A sidewalk is not necessary in this location, due to the small number of parcels to be served and the lack of residential parcels fronting the south side of the right of way. A Roadside Exception is considered as appropriate due to the number of residences served and the existing conditions within the surrounding neighborhood.

Site Improvements & Utilities

Site grading would be required for the access road to serve the proposed development and for rough grading of the building envelopes. Grading volumes would be approximately 465 cubic yards (cut) and 42 cubic yards (fill). The grading has been minimized through eliminating the unnecessary sidewalk on the south side of the proposed access road.

The property is located within the Urban Services Line and all utilities are available to serve the proposed development. Will serve letters have been provided from the both the City of Santa Cruz Water District and the Santa Cruz County Sanitation District.

Design Review

The proposed minor land division complies with the requirements of the County Design Review Ordinance, in that design guidelines have been provided for the construction of three new residences. The design guidelines require the future residences to incorporate architectural design features such as pitched roofs, varied materials, and front porches to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape. Adequate parking for the future residences would be provided on each parcel.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

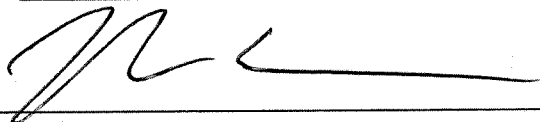
Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **141087**, based on the attached findings and conditions.

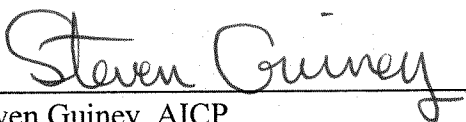
Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

Report Prepared By: _____


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Report Reviewed By: _____


Steven Guiney, AICP
Principal Planner
Development Review
Santa Cruz County Planning Department

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 141087

Assessor Parcel Number: 031-091-01

Project Location: 2930 Childers Lane

Project Description: Three lot minor land division with a remainder parcel

Person or Agency Proposing Project: Richard Falconer

Contact Phone Number: 408-209-2230

- A. _____ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. _____ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. _____ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. _____ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. X **Categorical Exemption**

Specify type: Class 15 - Minor Land Divisions (Section 15315)

F. Reasons why the project is exempt:

Minor land division within the urban services line with all urban services available.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Randall Adams, Project Planner

Date: _____

Subdivision Findings

1. That the proposed subdivision meets all requirements or conditions of the Subdivision Ordinance and the State Subdivision Map Act.

This finding can be made, in that the project meets all of the technical requirements of the Subdivision Ordinance and is consistent with the County General Plan and the Zoning Ordinance as set forth in the findings below.

2. That the proposed subdivision, its design, and its improvements, are consistent with the General Plan, and the area General Plan or specific plan, if any.

This finding can be made, in that the proposed division of land, its design, and its improvements, will be consistent with the General Plan. The project creates three single family residential parcels and a remainder parcel (Lot 1: 8,655 sf, Lot 2: 7,980 sf, Lot 3: 13,628 sf, Remainder: 3.34 acres). The property is located in the Urban Low Density Residential (R-UL) General Plan designation which allows a density of one parcel for each 6,000 to 10,000 square feet of net developable parcel area. The proposed project is consistent with the General Plan, in that each residential parcel will contain a minimum of 6,000 square feet of net developable area.

The project is consistent with the General Plan in that the full range of urban services is available, including public water and sewer service. Parcels will be accessed by a new private roadway and 30th Avenue. The proposed access road will require an exception to the County Design Criteria due to a variation in roadside improvements from those included in the County Design Criteria. The proposed roadway design provides adequate and safe vehicular and pedestrian access.

The subdivision, as conditioned, will be consistent with the General Plan regarding infill development, in that the proposed residential development will be consistent with the pattern of surrounding development, and the design guidelines require that structures be consistent with the character of similar developments in the surrounding area.

3. That the proposed subdivision complies with Zoning Ordinance provisions as to uses of land, lot sizes and dimensions and any other applicable regulations.

This finding can be made, in that the use of the property will be residential in nature, unit densities meet the minimum standards for the R-1-6 (Single family residential - 6,000 square feet minimum) zone district where the project is located, and the project will be consistent with the required site standards of the R-1-6 zone district.

4. That the site of the proposed subdivision is physically suitable for the type and density of development.

This finding can be made, in that no challenging topography affects the building site, technical reports prepared for the property conclude that the site is suitable for residential development, and the proposed building envelopes are properly configured to allow development in compliance with the required site standards.

5. That the design of the proposed subdivision or type of improvements will not cause substantial environmental damage nor substantially and avoidably injure fish or wildlife or their habitat.

This finding can be made, in that the site design and building envelope for Lot 3 is aligned to avoid the riparian corridor, and no mapped or observed sensitive habitats or threatened species will be adversely impacted through the development of the site.

6. That the proposed subdivision or type of improvements will not cause serious public health problems.

This finding can be made, in that municipal water and sewer services are available to serve all proposed parcels.

7. That the design of the proposed subdivision or type of improvements will not conflict with easements, acquired by the public at large, for access through, or use of property within the proposed subdivision.

This finding can be made, in that no such easements are known to affect the project site.

8. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities.

This finding can be made, in that the resulting parcels are oriented to the extent possible in a manner to take advantage of solar opportunities.

9. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076) and any other applicable requirements of this chapter.

This finding can be made, in that the design guidelines require that any future residences incorporate architectural design features such as pitched roofs, varied materials, and articulated front facades to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape. The surrounding neighborhood contains single family residential development. The design and layout of the proposed land division is compatible with the surrounding pattern of development.

Roadway/Roadside Exception Findings

1. The improvements are not appropriate due to the character of development in the area and the lack of such improvements on surrounding developed property.

This finding can be made, in that full local street improvements would not be consistent with the pattern of development in the neighborhood or the improvements on the existing roadway that accesses the project site (30th Avenue). The proposed roadway varies from the County Design Criteria in terms of width and improvements with a 48.43 foot wide right of way, 24 foot wide pavement section, 6 foot wide parking on one side, a sidewalk on one side, and landscaping on both sides of the roadway. The County Design Criteria standard for a local street is a 56 feet wide right of way with parking, sidewalks, and landscaping on both sides of the roadway. A Roadside Exception is required for the proposed roadway due to the lack of a sidewalk on the south side. A sidewalk is not necessary in this location, as there are no homes or parcels that would take access from the south side of the roadway. A Roadside Exception is considered as appropriate due to the number of residences served and the existing conditions within the surrounding neighborhood.

County Code Section 15.10.050(F)(1) allows for exceptions to roadside improvements when those improvements would not be appropriate due to the character of existing or proposed development.

Conditions of Approval

Land Division 141087

Applicant: Richard Falconer

Property Owner: Johnson, etal.

Assessor's Parcel Number(s): 031-091-01

Property Address and Location: Property located at the terminus of Childers Lane in Live Oak (2930 Childers Lane). Project access proposed off 30th Avenue, approximately 275 feet south of the intersection with Childers Lane.

Planning Area: Live Oak

Exhibit(s):

D. Tentative Map - prepared by Robert L. DeWitt & Associates, revised 1/13/15.

All correspondence and maps relating to this land division shall carry the land division number noted above.

I. Prior to exercising any rights granted by this Approval, the owner shall:

A. Sign, date and return one copy of the Approval to indicate acceptance and agreement with the conditions thereof.

II. A Parcel Map for the land division must be recorded prior to the expiration date of the tentative map and prior to sale, lease or financing of any new lots. The Parcel Map shall be submitted to the County Surveyor (Department of Public Works) for review and approval prior to recordation. No improvements, including, without limitation, grading and vegetation removal, shall be done prior to recording the Parcel Map unless such improvements are allowable on the parcel as a whole (prior to approval of the land division). The Parcel Map shall meet the following requirements:

A. The Parcel Map shall be in general conformance with the approved Tentative Map and shall conform to the conditions contained herein. All other State and County laws relating to improvement of the property, or affecting public health and safety shall remain fully applicable.

B. This land division shall result in no more than three (3) single family residential units, and a private right of way for access, utilities, and landscaping.

C. The minimum aggregate parcel area shall be 6,000 square feet of net developable land per unit.

D. The following items shall be shown on the Parcel Map:

1. Building envelopes, common area and/or building setback lines located

according to the approved Tentative Map. The building envelopes for the perimeter of the project shall meet the minimum setbacks for the R-1-6 zone district of 20 feet for front yards, 20 feet for street side yards, 5 and 8 feet for side yards, and 15 feet for rear yards.

2. Show the net area of each lot to nearest square foot.
 3. The owner's certificate shall include:
 - a. An irrevocable offer of dedication to the County of Santa Cruz for a 6 foot wide PUE along property frontage of 30th Avenue.
 4. All easements and dedications to be recorded prior to recordation of the Parcel Map.
- E. The following requirements shall be noted on the Parcel Map as items to be completed prior to obtaining a building permit on lots created by this land division:
1. New parcel numbers for all of the parcels must be assigned by the Assessor's Office prior to application for a Building Permit on any parcel created by this land division.
 2. Lots shall be connected for water service to the City of Santa Cruz Water District. All regulations and conditions of the water district shall be met. Proof of water service availability is required prior to issuance of a building permit on any parcel.
 3. Lots shall be connected for sewer service to Santa Cruz County Sanitation District. All regulations and conditions of the sanitation district shall be met. Proof of sewer service availability is required prior to issuance of a building permit on any parcel.
 4. All future construction on the lots shall conform to the design guidelines approved for this land division and shall also meet the following additional conditions:
 - a. All future development shall comply with the development standards for the R-1-6 zone district. Development on each parcel shall not exceed a 40% lot coverage, or a 50% floor area ratio, or other standard as may be established for the zone district.
 5. All future development on the lots shall comply with the requirements of the approved geotechnical report(s) for this project.
 6. All requirements of the Environmental Planning Section of the Planning Department shall be met, including the following:

- a. The applicant shall provide a habitat enhancement plan (prepared by the biotic report preparer or another qualified agency) for review by Environmental Planning, as required in the June 26, 2014 biotic report acceptance letter prepared by Matthew Johnston, Environmental Coordinator.
 - b. The applicant shall provide a tree protection, removal, and replacement plan that meets the specifications provided in the biotic report prepared by Biotic Resources Group dated May 14, 2014.
 - c. The applicant shall provide a stormwater pollution control plan that meets the requirements set forth in the County's Construction Site Stormwater Pollution Control BMP Manual.
7. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district in which the project is located.
8. Prior to any building permit issuance or ground disturbance, a detailed erosion control plan shall be reviewed and approved by the Department of Public Works and the Planning Department. Earthwork between October 15 and April 15 requires a separate winter grading approval from Environmental Planning that may or may not be granted. The erosion control plans shall identify the type of erosion control practices to be used and shall include the following:
 - a. Silt and grease traps shall be installed according to the approved improvement plans.
 - b. An effective sediment barrier placed along the perimeter of the disturbance area and maintenance of the barrier.
 - c. Spoils management that prevents loose material from clearing, excavation, and other activities from entering any drainage channel.
9. Any changes from the approved Exhibit "D", including but not limited to the Tentative Map or Preliminary Improvement Plans, must be submitted for review and approval by the Planning Department. Changes may be forwarded to the decision making body to consider if they are sufficiently material to warrant consideration at a public hearing noticed in accordance with Section 18.10.223 of the County Code. Any changes that are on the final plans which do not conform to the project conditions of approval shall be specifically illustrated on a separate sheet and highlighted in

yellow on any set of plans submitted to the County for review.

III. Prior to recordation of the Parcel Map, the following requirements shall be met:

- A. Submit a letter of certification from the Tax Collector's Office that there are no outstanding tax liabilities affecting the subject parcels.
- B. Meet all drainage requirements of the Department of Public Works, Stormwater Management Services section.
- C. Meet all requirements of the Environmental Planning section of the Planning Department including, without limitation, the following conditions:
 - 1. Tree protection fencing shall be shown on the grading plan.
- D. Meet all requirements of the Santa Cruz County Sanitation District including, without limitation, the following standard conditions:
 - 1. Submit and secure approval of an engineered sewer improvement plan providing sanitary sewer service to each parcel.
 - 2. Pay all necessary bonding, deposits, and connections fees, and furnish a copy of any CC&R's or shared maintenance agreement to the district.
- E. A Homeowners Association (HOA) shall be formed, or a shared maintenance agreement shall be established, for maintenance of all areas under common ownership including, sidewalks, roadways, all landscaping, drainage structures, water lines, sewer laterals, fences, silt and grease traps and buildings. CC&R's and/or the shared maintenance agreement shall include the following, which are permit conditions:
 - 1. All landscaping within the private right of way shall be permanently maintained by the HOA or shared maintenance association.
 - 2. All drainage structures, including the proposed detention system, porous asphalt concrete, proposed swale in the private drainage easement, and silt and grease traps, shall be permanently maintained by the HOA or shared maintenance association.
 - 3. Annual inspection of the silt and grease traps and drainage structures shall be performed and reports sent to the Drainage section of the Department of Public Works on an annual basis. Inspections shall be performed prior to October 15 each year. The expense for inspections and report preparation shall be the responsibility of the HOA or shared maintenance association.
 - a. A brief annual report shall be prepared by the trap inspector at the conclusion of each October inspection and submitted to the

Drainage section of the Department of Public Works within 5 days of the inspection. This monitoring report shall specify any repairs that have been done or that are needed to allow the trap to function adequately.

- F. Engineered improvement plans for all water line extensions required by City of Santa Cruz Water District shall be submitted for the review and approval of the water agency.
- G. All new utilities shall be underground. All facility relocation, upgrades or installations required for utilities service to the project shall be noted on the construction plans. All preliminary engineering for such utility improvements is the responsibility of the owner/applicant. Pad-mounted transformers shall not be located in the front setback or in any area visible from public view unless they are completely screened by walls and/or landscaping (underground vaults may be located in the front setback). Utility equipment such as gas meters and electrical panels shall not be visible from public streets or building entries. Backflow prevention devices must be located in the least visually obtrusive location.
- H. All requirements of the Central Fire Protection District shall be met.
- I. Park dedication in-lieu fees shall be paid for three (3) new dwelling units. These fees are currently \$1,000 per bedroom, but are subject to change. (3 bedroom dwelling units will be assumed at the time of map recordation)
- J. Child Care Development fees shall be paid for three (3) new dwelling units. These fees are currently \$109 per bedroom, but are subject to change. (3 bedroom dwelling units will be assumed at the time of map recordation)
- K. Transportation improvement fees shall be paid for three (3) new dwelling units. These fees are currently \$3,000 per unit, but are subject to change.
- L. Roadside improvement fees shall be paid for three (3) new dwelling units. These fees are currently \$3,000 per unit, but are subject to change.
- M. Add a note to the Parcel Map that the affordable housing fees for this project, that are in effect at the time of building permit issuance, shall be paid in compliance with the Affordable Housing Requirements specified by Chapter 17.10 of the County Code. The housing fees are determined by square footage and currently apply to the third unit, but will apply to the first and second units starting in August 2015.
- N. Submit and secure approval of engineered improvement plans from the Department of Public Works and the Planning Department for all roads, curbs and gutters, storm drains, erosion control, and other improvements required by the Subdivision Ordinance, noted on the attached tentative map and/or specified in these conditions of approval. A subdivision agreement backed by financial

securities (equal to 150% of engineer's estimate of the cost of improvements), per Sections 14.01.510 and 511 of the Subdivision Ordinance, shall be executed to guarantee completion of this work. Improvement plans shall meet the following requirements:

1. All improvements shall be prepared by a registered civil engineer and shall meet the requirements of the County of Santa Cruz Design Criteria except as modified in these conditions of approval. Plans shall also comply with applicable provisions of the State Building Code regarding accessibility.
 - a. The proposed access road shall be constructed per the approved improvement plans for this permit, except as modified by these conditions. A Roadside Exception is approved to vary from County standards with respect to the width of the right of way, sidewalks, and landscaping.
2. Complete drainage details including existing and proposed contours, plan views and centerline profiles of all driveway improvements, complete drainage calculations and all volumes of excavated and fill soils.
3. Details for the installation of required silt and grease traps. Submit a silt and grease trap maintenance agreement to the Department of Public Works.
4. A detailed erosion control plan shall be submitted which includes the following: a clearing and grading schedule that limits grading to the period of April 15 - October 15, clearly marked disturbance envelope, revegetation specifications, silt barrier locations, temporary road surfacing and construction entry stabilization, sediment barriers around drain inlets, etc. This plan shall be integrated with the improvement plans that are approved by the Department of Public Works, and shall be submitted to Environmental Planning staff for review and approval prior to recording of the Parcel Map.
5. In order to ensure that the one hour air quality threshold for the pollutant acrolein is not exceeded during demolition and paving, prior to the issuance of the grading permit, the applicant shall modify the grading plans to include notes incorporating the construction conditions given by the Monterey Bay Unified Air Pollution Control District (MBUAPCD) as follows:
 - i. All pre-1994 diesel equipment shall be retrofitted with EPA certified diesel oxidation catalysts *or* all such equipment shall be fueled with B99 diesel fuel;
 - ii. Applicant shall retain receipts for purchases of catalysts or B99 diesel fuel until completion of the project;

hired to conduct nesting bird surveys no more than 2 weeks prior to removal. If active bird nests are observed, removal may only occur as specified in the recommendations provided in the biotic report prepared by Biotic Resources Group dated May 14, 2014.

- E. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- F. To minimize noise, dust and nuisance impacts of surrounding properties to insignificant levels during construction, the owner/applicant shall or shall have the project contractor, comply with the following measures during all construction work:
 - 1. Limit all construction to the time between 8:00 am and 5:00 pm weekdays unless a temporary exception to this time restriction is approved in advance by County Planning to address an emergency situation; and
 - 2. Each day it does not rain, wet all exposed soil frequently enough to prevent significant amounts of dust from leaving the site.
 - 3. The applicant shall designate a disturbance coordinator and a 24-hour contact number shall be conspicuously posted on the job site. The disturbance coordinator shall record the name, phone number, and nature of all complaints received regarding the construction site. The disturbance coordinator shall investigate complaints and take remedial action, if necessary, within 24 hours of receipt of the complaint or inquiry.
- G. Construction of improvements shall comply with the requirements of the approved geotechnical report(s) for this project. The project geotechnical engineer shall inspect the completed project and certify in writing that the improvements have been constructed in conformance with the geotechnical report(s).
- H. All required land division improvements shall be installed and inspected prior to final inspection clearance for any new structure on the new lots.
- V. In the event that future County inspections of the subject property disclose non-compliance with any Conditions of this Approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including Approval revocation.

- VI. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.
- E. Within 30 days of the issuance of this development approval, the Development Approval Holder shall record in the office of the Santa Cruz County Recorder an agreement, which incorporates the provisions of this condition, or this development approval shall become null and void.

AMENDMENTS TO THIS LAND DIVISION APPROVAL SHALL BE PROCESSED IN ACCORDANCE WITH CHAPTER 18.10 OF THE COUNTY CODE.

This Tentative Map is approved subject to the above conditions and the attached map, and expires 24 months after the 14-day appeal period. The Parcel Map for this division, including improvement plans if required, should be submitted to the County Surveyor for checking at least 90 days prior to the expiration date and in no event later than 3 weeks prior to the expiration date.

Application #: 141087
APN: 031-091-01
Owner: Johnson, etal.

cc: County Surveyor

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Steven Guiney, AICP
Principal Planner

Randall Adams
Project Planner

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Planning Commission, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.

1. REFERENCED TO S. C. CO. CODE SECTION 14.01.208
FORM AND CONTENT FOR TENTATIVE MAPS

- [illegible]

The map displays a residential neighborhood with the following features:

- Streets:** Capitol Road (vertical), Shirley Dr (horizontal), Childers Ln (horizontal), Eldon Ln (horizontal), Remick Way (vertical), and several others including 10th Ave, 11th Ave, 12th Ave, 13th Ave, 14th Ave, 15th Ave, 16th Ave, 17th Ave, 18th Ave, 19th Ave, 20th Ave, 21st Ave, 22nd Ave, 23rd Ave, 24th Ave, 25th Ave, 26th Ave, 27th Ave, 28th Ave, 29th Ave, 30th Ave, 31st Ave, 32nd Ave, 33rd Ave, 34th Ave, 35th Ave, 36th Ave, 37th Ave, 38th Ave, 39th Ave, 40th Ave, 41st Ave, 42nd Ave, 43rd Ave, 44th Ave, 45th Ave, 46th Ave, 47th Ave, 48th Ave, 49th Ave, 50th Ave, 51st Ave, 52nd Ave, 53rd Ave, 54th Ave, 55th Ave, 56th Ave, 57th Ave, 58th Ave, 59th Ave, 60th Ave, 61st Ave, 62nd Ave, 63rd Ave, 64th Ave, 65th Ave, 66th Ave, 67th Ave, 68th Ave, 69th Ave, 70th Ave, 71st Ave, 72nd Ave, 73rd Ave, 74th Ave, 75th Ave, 76th Ave, 77th Ave, 78th Ave, 79th Ave, 80th Ave, 81st Ave, 82nd Ave, 83rd Ave, 84th Ave, 85th Ave, 86th Ave, 87th Ave, 88th Ave, 89th Ave, 90th Ave, 91st Ave, 92nd Ave, 93rd Ave, 94th Ave, 95th Ave, 96th Ave, 97th Ave, 98th Ave, 99th Ave, 100th Ave.
- Project Site:** A large, irregularly shaped lot is highlighted with diagonal hatching and labeled "PROJECT SITE".
- Other Labels:** "CHILDERS LN", "ELDON LN", "REMIK WAY", "SHIRLEY DR", "CAPITOL RD", "10TH AVE", "11TH AVE", "12TH AVE", "13TH AVE", "14TH AVE", "15TH AVE", "16TH AVE", "17TH AVE", "18TH AVE", "19TH AVE", "20TH AVE", "21ST AVE", "22ND AVE", "23RD AVE", "24TH AVE", "25TH AVE", "26TH AVE", "27TH AVE", "28TH AVE", "29TH AVE", "30TH AVE", "31ST AVE", "32ND AVE", "33RD AVE", "34TH AVE", "35TH AVE", "36TH AVE", "37TH AVE", "38TH AVE", "39TH AVE", "40TH AVE", "41ST AVE", "42ND AVE", "43RD AVE", "44TH AVE", "45TH AVE", "46TH AVE", "47TH AVE", "48TH AVE", "49TH AVE", "50TH AVE", "51ST AVE", "52ND AVE", "53RD AVE", "54TH AVE", "55TH AVE", "56TH AVE", "57TH AVE", "58TH AVE", "59TH AVE", "60TH AVE", "61ST AVE", "62ND AVE", "63RD AVE", "64TH AVE", "65TH AVE", "66TH AVE", "67TH AVE", "68TH AVE", "69TH AVE", "70TH AVE", "71ST AVE", "72ND AVE", "73RD AVE", "74TH AVE", "75TH AVE", "76TH AVE", "77TH AVE", "78TH AVE", "79TH AVE", "80TH AVE", "81ST AVE", "82ND AVE", "83RD AVE", "84TH AVE", "85TH AVE", "86TH AVE", "87TH AVE", "88TH AVE", "89TH AVE", "90TH AVE", "91ST AVE", "92ND AVE", "93RD AVE", "94TH AVE", "95TH AVE", "96TH AVE", "97TH AVE", "98TH AVE", "99TH AVE", "100TH AVE".

Construction contractor agrees that in accordance with generally accepted construction practices, the contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property. The contractor agrees to apply consequences and not be limited to normal warnings, and a contractor's agreement to defend, indemnify, and hold design professional harmless from any and all liability, including but not limited to the design professional's liability, shall be null and void if the contractor is alleged, in connection with performance of work on this project, accepting liability arising from the sole negligence of the design professional.

UNAUTHORIZED CHANGES AND USES:
The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

ACEC
AMERICAN COUNCIL OF ENGINEERING
California

JOHNSON FAMILY TRUST
OF THE LANDS OF

3 LOT MINOR LAND DIVISION
FOR A
WITH A REMAINDER LOT

LOCATED AT
30 CHILDER'S LANE EXT.
Santa Cruz, California
APN: 031-091-01

THE TOP OF A BOLT (MARKED WITH "X") ON
SOUTHEAST CORNER OF THE RAILROAD CROSSING
SIGNAL 21' WEST OF CENTERLINE 30TH AVENUE AND
13' NORTH FROM C/L OF TRACKS. ELEVATION=49.65'
(SANTA CRUZ CO. SURVEYOR BM #5)

S 89°41'21"W BETWEEN BRASS DISCS FOUND IN SURVEY MONUMENT BOXES AS SHOWN HEREON ALONG THE CENTERLINE OF CHILDER'S LANE EXT., AND AS SHOWN ON THE TRACT MAP FOR CAPITOLA RIDGE SUBDIVISION RECORDED IN VOLUME 82 OF MAPS, AT PAGE 1, SANTA CRUZ COUNTY RECORDS.

TM1	TITLE SHEET
TM2	TEMPERATURE MAP
P1	LAYOUT PLAN/1 SHEET
P2	CUL-DE-SAC GRADING AND DRAINAGE PLAN
P3	UTILITY PLAN
P4	UTILITY DETAILS
P5	DETAILS
P6	PROFILE AND SECTION
P7	STORMWATER POLLUTION CONTROL PLAN
P8	HOUSE FOOTPRINT PLAN (LOTS 1 & 2)
P9	HOUSE FOOTPRINT PLAN (LOT 3)
P10	STANDARD DETAILS
P11	SANTA CRUZ WATER DEPARTMENT DETAILS
	CROSS SECTIONS

VICINITY MAP
NOT TO SCALE

100

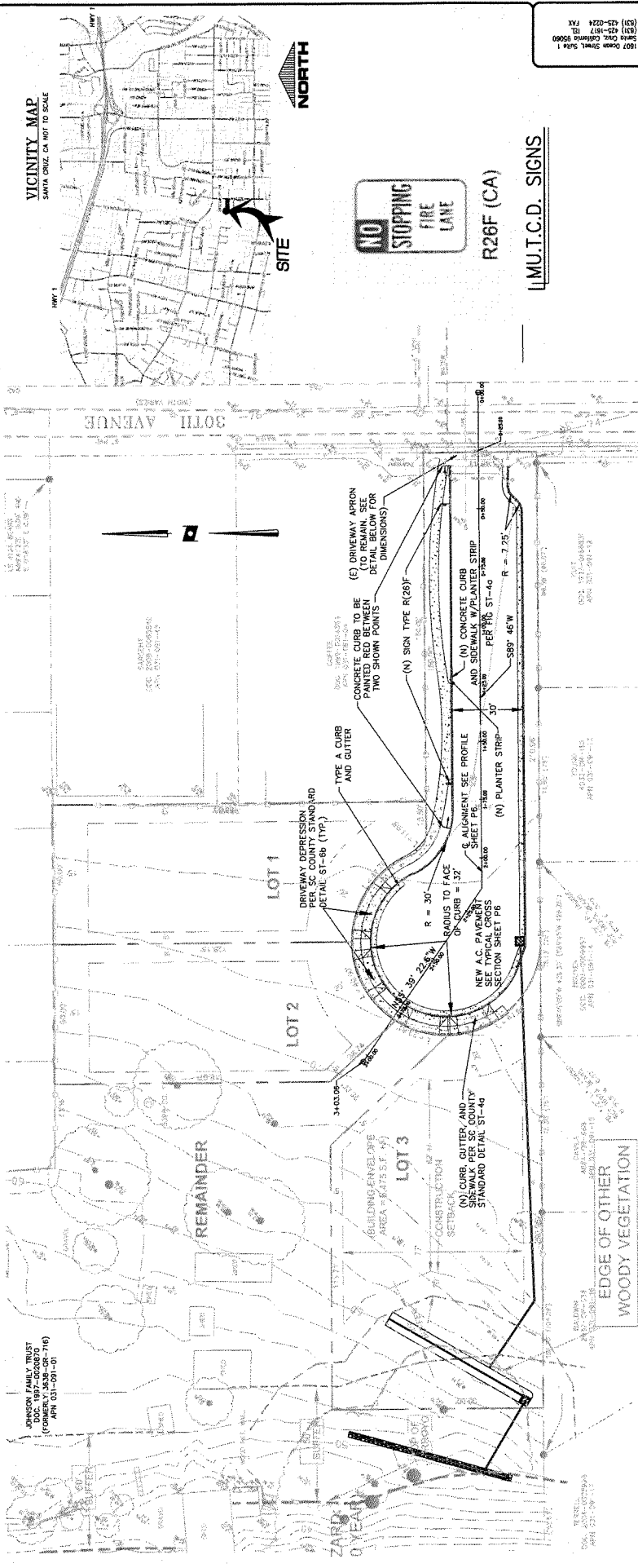
1607 Ocean Street, Suite 1
Santa Cruz, California 95060
(831) 425-1617 TLL
(831) 425-0224 FAX

Robert L. Dew
& Associates,
Civil Engineers & La

DRAWING: DPH
 DATE: 3-08-14
 R13068 TEST-
 NAME: ACTIVE MAP LONG
 REVISION:
 ISSUED: 10-23-14
 REVISION: 1-13-15
 PROJECT: R13068
 SHEET:
 TM1 of 2

GENERAL NOTES

- 1) SURVEY AND TOPOGRAPHIC MAP PREPARED AT THE REQUEST OF JOHN JOHNSON, OWNER, JOHNSON FAMILY TRUST, 2930 CHILDER'S LANE EXT., SANTA CRUZ, CA 95062
- 2) APR. 03-09-01
- 3) TENTATIVE MAP IS BASED UPON A SURVEY BY ENGINEERS AND LAND SURVEYORS, DATED DECEMBER 2009.
- 4) WATER SERVICE: METERS WATER CONNECTION TO THE SANTA CRUZ AVENUE.
- 5) SEWER DISPOSAL: NEW LOTS SHALL BE PROVIDED WITH A SEWER CONNECTION TO THE EXISTING SEWER MAIN AT 30TH AVENUE.
- 6) OTHER UTILITIES: LOTS TO BE CONNECTED TO EXISTING FACILITIES FOR POWER, TELEPHONE, AND CABLE TV SERVICE.
- 7) MAINTENANCE OF THE PROPOSED RIGHT-OF-WAY AND ADJACENT EXISTING RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF A HOME OWNERS ASSOCIATION TO BE ESTABLISHED WITH RECOGNITION OF THE FINAL MAP.
- 8) STREET DRAINAGE FROM LOT 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000, 1001, 1002, 1003, 1004, 1005, 1006, 1007, 1008, 1009, 1010, 1011, 1012, 1013, 1014, 1015, 1016, 1017, 1018, 1019, 1020, 1021, 1022, 1023, 1024, 1025, 1026, 1027, 1028, 1029, 1030, 1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242, 1243, 1244, 1245, 1246, 1247, 1248, 1249, 1250, 1251, 1252, 1253, 1254, 1255, 1256, 1257, 1258, 1259, 1260, 1261, 1262, 1263, 1264, 1265, 1266, 1267, 1268, 1269, 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293, 1294, 1295, 1296, 1297, 1298, 1299, 1300, 1301, 1302, 1303, 1304, 1305, 1306, 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1325, 1326, 1327, 1328, 1329, 1330, 1331, 1332, 1333, 1334, 1335, 1336, 1337, 1338, 1339, 1340, 1341, 1342, 1343, 1344, 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1511, 1512, 1513, 1514, 1515, 1516, 1517, 1518, 1519, 1520, 1521, 1522, 1523, 1524, 1525, 1526, 1527, 1528, 1529, 1530, 1531, 1532, 1533, 1534, 1535, 1536, 1537, 1538, 1539, 1540, 1541, 1542, 1543, 1544, 1545, 1546, 1547, 1548, 1549, 1550, 1551, 1552, 1553, 1554, 1555, 1556, 1557, 1558, 1559, 1560, 1561, 1562, 1563, 1564, 1565, 1566, 1567, 1568, 1569, 1570, 1571, 1572, 1573, 1574, 1575, 1576, 1577, 1578, 1579, 1580, 1581, 1582, 1583, 1584, 1585, 1586, 1587, 1588, 1589, 1590, 1591, 1592, 1593, 1594, 1595, 1596, 1597, 1598, 1599, 1600, 1601, 1602, 1603, 1604, 1605, 1606, 1607, 1608, 1609, 1610, 1611, 1612, 1613, 1614, 1615, 1616, 1617, 1618, 1619, 1620, 1621, 1622, 1623, 1624, 1625, 1626, 1627, 1628, 1629, 1630, 1631, 1632, 1633, 1634, 1635, 1636, 1637, 1638, 1639, 1640, 1641, 1642, 1643, 1644, 1645, 1646, 1647, 1648, 1649, 1650, 1651, 1652, 1653, 1654, 1655, 1656, 1657, 1658, 1659, 1660, 1661, 1662, 1663, 1664, 1665, 1666, 1667, 1668, 1669, 1670, 1671, 1672, 1673, 1674, 1675, 1676, 1677, 1678, 1679, 1680, 1681, 1682, 1683, 1684, 1685, 1686, 1687, 1688, 1689, 1690, 1691, 1692, 1693, 1694, 1695, 1696, 1697, 1698, 1699, 1700, 1701, 1702, 1703, 1704, 1705, 1706, 1707, 1708, 1709, 1710, 1711, 1712, 1713, 1714, 1715, 1716, 1717, 1718, 1719, 1720, 1721, 1722, 1723, 1724, 1725, 1726, 1727, 1728, 1729, 1730, 1731, 1732, 1733, 1734, 1735, 1736, 1737, 1738, 1739, 1740, 1741, 1742, 1743, 1744, 1745, 1746, 1747, 1748, 1749, 1750, 1751, 1752, 1753, 1754, 1755, 1756, 1757, 1758, 1759, 1760, 1761, 1762, 1763, 1764, 1765, 1766, 1767, 1768, 1769, 1770, 1771, 1772, 1773, 1774, 1775, 1776, 1777, 1778, 1779, 1780, 1781, 1782, 1783, 1784, 1785, 1786, 1787, 1788, 1789, 1790, 1791, 1792, 1793, 1794, 1795, 1796, 1797, 1798, 1799, 1800, 1801, 1802, 1803, 1804, 1805, 1806, 1807, 1808, 1809, 1810, 1811, 1812, 1813, 1814, 1815, 1816, 1817, 1818, 1819, 1820, 1821, 1822, 1823, 1824, 1825, 1826, 1827, 1828, 1829, 1830, 1831, 1832, 1833, 1834, 1835, 1836, 1837, 1838, 1839, 1840, 1841, 1842, 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2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2



GENERAL NOTES

- 1) PREPARED AT THE REQUEST OF DEBBIE AND RICHARD FALCONER.
- 2) APN: 031-091-01.
- 3) BASED UPON A SURVEY BY ROBERT L. DEWITT & ASSOCIATES, INC., CIVIL ENGINEERS AND LAND SURVEYORS, DATED DECEMBER 2008.
- 4) CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING CONSTRUCTION. THE CONTRACTOR SHALL BE MADE TO APPLY CONTINGENCY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- 5) ALL DISTURBED LAND IS TO BE SEED WITH ANNUAL RYE GRASS AT AN APPLICATION RATE OF 40 LB./ACRE.

MAINTENANCE AGREEMENT NOTES

UPON NOTARIZED SIGNATURE OF THE MAINTENANCE AGREEMENT FORM, THE OWNER AGREES TO THE FOLLOWING MAINTENANCE PROCEDURES OF THE DRAINAGE SYSTEM.

- 1) BI-ANNUAL CLEANING OF THE CATCH BASIN FOR REMOVAL OF SEDIMENT AND DEBRIS. SYSTEM SHALL BE CLEANED PRIOR TO OCTOBER 15TH.
- 2) MONITOR DRAIN SYSTEM DURING FIRST HEAVY RAIN EVENT TO ENSURE PROPER SYSTEM OPERATION.
- 3) PLANT HEALTH IN THE BIOTENTION FACILITY IS TO BE EVALUATED BI-ANNUALLY. REPLACEMENT AND PRUNING OF PLANTS IS TO BE DONE IN THE SPRING AFTER THE HEAVY RAIN SEASON AND PRIOR TO OCTOBER 15.
- 4) THE DETENTION FACILITY IS TO BE INSPECTED AT THE OUTLET STRUCTURE FOR ACCUMULATED DEBRIS AFFECTING THE HYDRAULIC CAPACITY. THE OFFICE OUTLET AND IF PIPE SHALL BE INSPECTED FOR DEBRIS AND CLEANED AS NEEDED.
- 5) THE OUTLET ROCK TRENCH SHALL BE INSPECTED FOR EROSION DUE TO EXCESSIVE STORMWATER RUNOFF. IF EROSION IS OBSERVED, THE ROCK TRENCH SHALL BE MODIFIED TO DISPERSE THE RUNOFF. THE ROCK TRENCH SHALL BE MODIFIED TO DISPERSE THE RUNOFF. THE ROCK TRENCH SHALL BE MODIFIED TO DISPERSE THE RUNOFF.
- 6) THE DETENTION FACILITY IS TO BE INSPECTED FOR ACCUMULATED DEBRIS AFFECTING THE HYDRAULIC CAPACITY. THE OFFICE OUTLET AND IF PIPE SHALL BE INSPECTED FOR DEBRIS AND CLEANED AS NEEDED.
- 7) THE OWNERS OF LOTS 1 AND 2 ACKNOWLEDGE THAT THE PROPERTIES EXCEED STORMWATER RUNOFF CAPACITY AND THAT THE PROPERTIES AND 2 SHALL BE KEPT UNOCCUPIED FOR STORMWATER RUNOFF TO PASS THROUGH.

EXISTING DRIVEWAY APRON DETAIL

SCALE: 1"=10'

LAYOUT PLAN

SCALE: 1"=20'

PRELIMINARY LAYOUT PLAN

PREPARED AT THE REQUEST OF

Richard and Debbie Falconer

2930 Childers Lane Ext.
Santa Cruz, CA
APN: 031-091-01

UNAUTHORIZED CHANGES AND USES:

NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. ANY UNAUTHORIZED CHANGES OR USES OF THIS DRAWING SHALL BE THE RESPONSIBILITY OF THE USER.

JOHNSON FAMILY TRUST
DOC. 1987-000870
(FORMER: 1509-00-716)
APN: 031-091-01

CEC
AMERICAN COUNCIL OF ENGINEERS
California

GRAPHIC SCALE
1 inch = 50 ft.

EDGE OF OTHER WOODY VEGETATION

UNOCCUPIED LOT 1

UNOCCUPIED LOT 2

UNOCCUPIED LOT 3

UNOCCUPIED LOT 4

UNOCCUPIED LOT 5

UNOCCUPIED LOT 6

UNOCCUPIED LOT 7

UNOCCUPIED LOT 8

UNOCCUPIED LOT 9

UNOCCUPIED LOT 10

UNOCCUPIED LOT 11

UNOCCUPIED LOT 12

UNOCCUPIED LOT 13

UNOCCUPIED LOT 14

UNOCCUPIED LOT 15

UNOCCUPIED LOT 16

UNOCCUPIED LOT 17

UNOCCUPIED LOT 18

UNOCCUPIED LOT 19

UNOCCUPIED LOT 20

UNOCCUPIED LOT 21

UNOCCUPIED LOT 22

UNOCCUPIED LOT 23

UNOCCUPIED LOT 24

UNOCCUPIED LOT 25

UNOCCUPIED LOT 26

UNOCCUPIED LOT 27

UNOCCUPIED LOT 28

UNOCCUPIED LOT 29

UNOCCUPIED LOT 30

UNOCCUPIED LOT 31

UNOCCUPIED LOT 32

UNOCCUPIED LOT 33

UNOCCUPIED LOT 34

UNOCCUPIED LOT 35

UNOCCUPIED LOT 36

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UNOCCUPIED LOT 89

UNOCCUPIED LOT 90

UNOCCUPIED LOT 91

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UNOCCUPIED LOT 93

UNOCCUPIED LOT 94

UNOCCUPIED LOT 95

UNOCCUPIED LOT 96

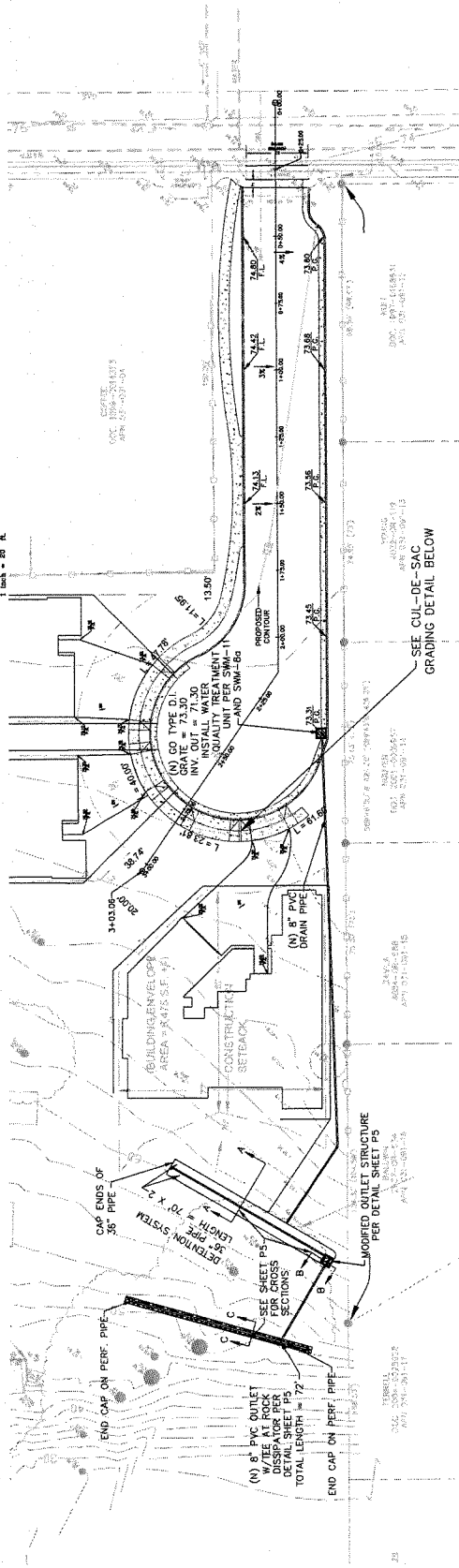
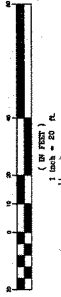
UNOCCUPIED LOT 97

UNOCCUPIED LOT 98

UNOCCUPIED LOT 99

UNOCCUPIED LOT 100

GRAPHIC SCALE



GRADING PLAN
SCALE: 1"=20'

GRADING NOTES

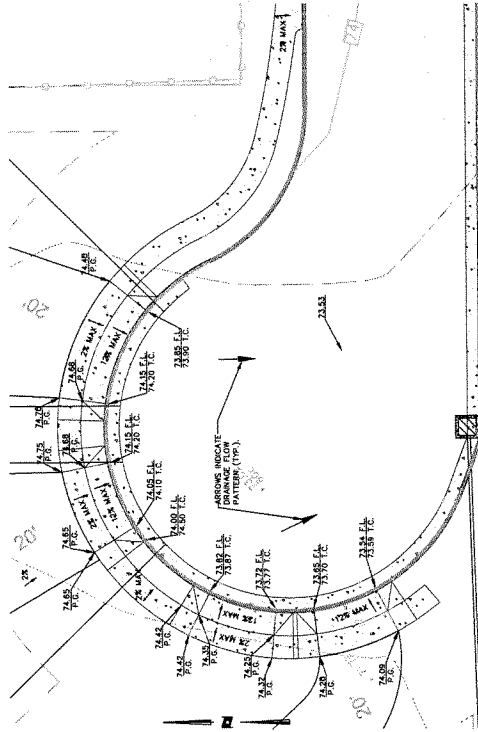
- ESTIMATED EARTHWORK QUANTITIES
ROADWAY = 372 C.Y.
FILL = 42 C.Y.
DRAINAGE CUT = 185 C.Y.
NET = 445 (CUT)
- THE CROSS SLOPE OF THE SIDEWALK SHALL NOT EXCEED 2% (SLOPED TOWARDS THE ROAD)
- SIDE SLOPES ARE TO BE NO GREATER THAN 4:1

DRAINAGE NOTES

- ALL INLETS ARE TO BE MARKED "NO DUMPING DRAINS TO BAY"

CUL-DE-SAC GRADING DETAIL
SCALE: 1"=10'

GRAPHIC SCALE



PRELIMINARY

CUL-DE-SAC GRADING AND DRAINAGE PLAN

PREPARED AT THE REQUEST OF
Richard and Debbie Falconer
2930 Childers Lane Ext.
Santa Cruz, CA
APN: 031-091-01



ROBERT L. DEWITT

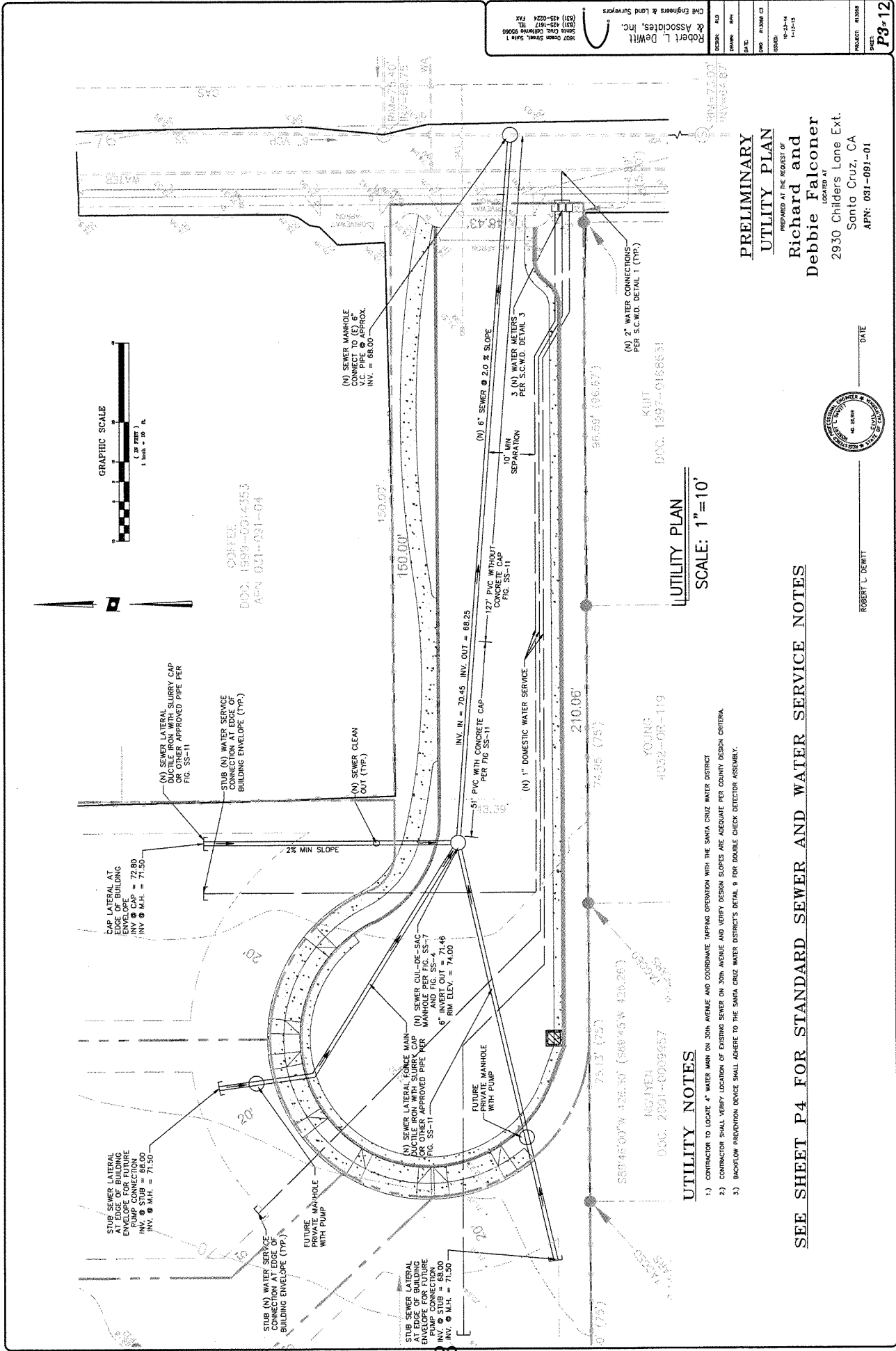
DATE

1607 Ocean Street, Suite 1
Santa Cruz, California 95060
(408) 425-0224 FAX
(408) 425-0224 TEL

Robert L. DeWitt
& Associates, Inc.
Civil Engineers & Land Surveyors

DESIGN: RLD
DRAWN: RPN
DATE:
SHEET: 1 OF 1

PROJECT: #1608
SHEET: 1 OF 1
P2-12



PRELIMINARY UTILITY PLAN

PREPARED AT THE REQUEST OF
**Richard and
 Debbie Falconer**
 2930 Childers Lane Ext.
 Santa Cruz, CA
 APRN: 031-091-01



ROBERT L. DEWITT

DATE

SHEET
P3 of 12

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Robert L. Dewitt
 & Associates, Inc.
 Civil Engineers & Land Surveyors

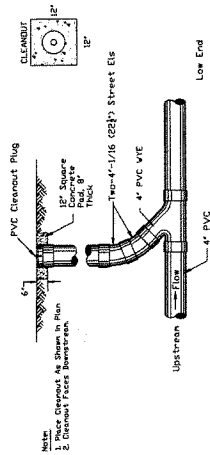
DESIGNER	RLD
DRAWN	RPH
CHECKED	
DATE	
PROJECT	R3006 C3
ISSUED	10-13-14
	1-12-15

SEE SHEET P4 FOR STANDARD SEWER AND WATER SERVICE NOTES

UTILITY PLAN
 SCALE: 1"=10'

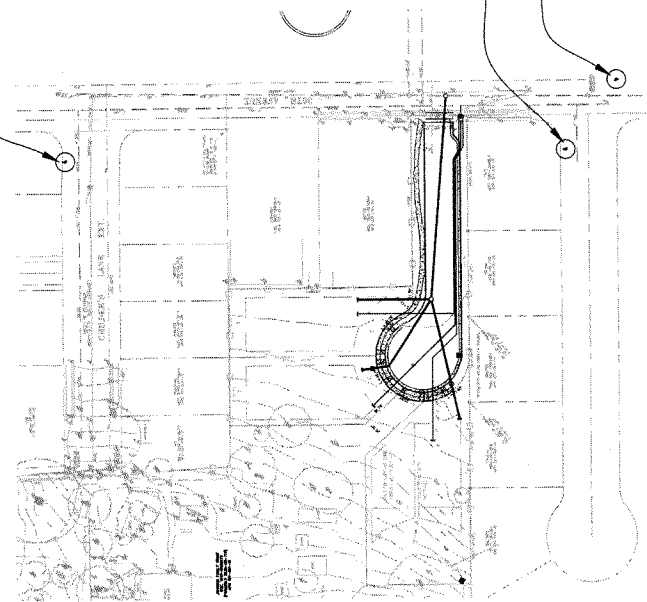
UTILITY NOTES

- 1) CONTRACTOR TO LOCATE 4" WATER MAIN ON 30th AVENUE AND COORDINATE TAPPING OPERATION WITH THE SANTA CRUZ WATER DISTRICT
- 2) CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SEWER ON 30th AVENUE AND VERIFY DESIGN SLOPES ARE ADEQUATE PER COUNTY DESIGN CRITERIA.
- 3) BACKFLOW PREVENTION DEVICE SHALL ADHERE TO THE SANTA CRUZ WATER DISTRICT'S DETAIL 9 FOR DOUBLE CHECK DETECTOR ASSEMBLY.



STANDARD CLEANOUT DETAIL
NOT TO SCALE

HYDRANT # 1734



HYDRANT LOCATION MAP
SCALE: 1" = 50'

(E) FIRE HYDRANTS: Ref.: S. C. Water Department

HYD. NO.	STATIC (psi)	RESIDUAL (psi)	FLOW (gpm)
#1734	86	78	1061
#1562	86	78	1061
#1376	82	68	888

FLOW @ 20 psi (gpm)	TEST DATE
2987	3/20/11
3316	3/20/11
1983	3/20/11



ROBERT L. DEWITT
DATE

**PRELIMINARY
UTILITY DETAILS**
PREPARED AT THE REQUEST OF
**Richard and
Debbie Falconer**
2930 Childers Lane Ext.
Santa Cruz, CA
APN: 031-091-01

SANTA CRUZ COUNTY SEWER NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE REQUIREMENTS IN THE CURRENT EDITION OF THE "COUNTY OF SANTA CRUZ DESIGN CRITERIA".
- ALL FIGURE (FIG.) REFERENCES, UNLESS OTHERWISE SPECIFIED, REFER TO STANDARD DRAWINGS IN THE CURRENT EDITION OF THE "COUNTY OF SANTA CRUZ DESIGN CRITERIA".
- NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.
- THE DEPARTMENT OF PUBLIC WORKS OR ITS AUTHORIZED REPRESENTATIVE SHALL HAVE THE AUTHORITY TO "STOP WORK" IF THE WORK IS NOT BEING DONE IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS.
- THE CONTRACTOR SHALL NOTIFY THE COUNTY CONSTRUCTION ENGINEER (831-454-2160) 24 HOURS PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE SANITATION DISTRICT INSPECTOR (831-454-2160 OR LEAVE MESSAGE AT 831-454-2888) BEFORE 9:00 AM AT LEAST 24 HOURS PRIOR TO THE CONNECTION OF ANY BUILDING SEWER TO THE SEWER LATERAL OR TO THE ABANDONMENT THEREOF (IN THE CASE OF ABANDONMENTS, NO REMEDIATION PERMITS WILL BE ISSUED UNTIL SAID SEWER LINE HAS BEEN ABANDONED).
- EACH NEW SANITARY SEWER LATERAL NOT IMMEDIATELY CONNECTED TO A DWELLING UNIT SHALL BE MARKED WITH A 2" X 4" X 5' REDWOOD STAKE MARKER, TO 12" ABOVE FINISH GRADE. AT THE END OF EACH NEW LATERAL SUB-OUT AN "S" SHALL BE PAINTED ON THE MARKER AND THE END OF EACH LATERAL SHALL BE PROPERLY CAPPED. ALL LATERALS INSTALLED IN NEW DEVELOPMENTS SHALL ALSO BE MARKED BY STAMPING AN "S" IN THE CURB JOINT ABOVE THE LATERAL.
- INSULATED COPPER WIRE (NO. 10) SHALL BE PLACED ALONG TOP OF ALL GRAVITY AND FORCE MAINS. THE WIRE SHALL BE ENCASED IN A PLASTIC COVER, OR METAL STRUCTURE.
- INSULATED COPPER WIRE (NO. 10) SHALL BE PLACED ALONG TOP OF ALL GRAVITY AND FORCE MAINS. THE WIRE SHALL BE ENCASED IN A PLASTIC COVER, OR METAL STRUCTURE.
- FOLLOWING THE SUCCESSFUL COMPLETION OF CLEANING AND TESTING, ALL SANITARY SEWER MAINS WHICH ARE TO BE COUNTY MAINTAINED, OR PRIVATE LINES AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR, SHALL FIRST BE FLOWED, THEN VIDEO-RECORDED AT THE DEVELOPER'S EXPENSE ON DAY TWO AFTER COMPLETION OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE A VIDEO RECORD OF THE PROJECT AND ANY ASSOCIATED SIGN-OUTS FOR BUILDING OCCUPANCY. THE CONTRACTOR SHALL REFER TO PART 4, "SANITARY SEWER DESIGN" OF THE DESIGN CRITERIA FOR SPECIFICATIONS ON PIPE LAYING, PIPELINE TESTING AND ALLOWABLE DESIGN TOLERANCES.
- BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED ON ALL LATERALS WHERE THE FINISHED FLOOR ELEVATION IS LESS THAN ONE FOOT ABOVE THE R/W ELEVATION OF THE MAIN. THE DEVICES SHALL BE INSTALLED IN SUCH A MANNER AS TO PREVENT ANY DAMAGE TO ADJACENT PROPERTY AS A RESULT OF SEWAGE RELEASED FROM THE DEVICE (FIGURE SS-14).
- UNDERGROUND UTILITY LOCATIONS SHOWN ARE COMPILED FROM INFORMATION SUPPLIED BY THE APPROPRIATE UTILITY AGENCY. CONTRACTOR SHALL VERIFY LOCATION OF AFFECTED UTILITY LINES AND POTENTIAL CONFLICTS ARE LIKELY OR DATA IS OTHERWISE INCOMPLETE.
- ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE.
- ALL SANITARY SEWERS WITHIN THE ROWWAY OR UNDER CURB, GUTTER OR SIDEWALK SHALL BE IN PLACE, VEGEATED AND APPROVED FOR ACCEPTANCE PRIOR TO PLACING THE PERMANENT PAVING ON SAID ROWWAY OR PLACING CURB, GUTTER OR SIDEWALK THEREON.
- IF SIDEWALK IS NOT PLACED MONOLITHICALLY WITH CURB AND GUTTER, PLACE #4 DOWELS 18" LONG AT 4" O.C. IN BACK OF CURB 3" BELOW TOP OF CURB, 6" INTO CONCRETE.
- REFER TO FIGURES SS-2A & -2B AND EP-1 & -2 FOR BACKFILL REQUIREMENTS REFER TO SS-11 FOR CONCRETE CAP AND ENCASUREMENT REQUIREMENTS.
- WATER SERVICE FOR THE SITE SHALL BE INSTALLED BY THE CONTRACTOR ACCORDING TO CITY OF SANTA CRUZ/SOQUEL CREEK WATER DISTRICT/CITY OF WATSONVILLE REQUIREMENTS PER DETAILS BY ARCHITECT/ENGINEER.
- BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPED SHALL BE PERMANENTLY PROTECTED FROM EROSION.
- THE CONTRACTOR SHALL MAINTAIN COUNTY JURISDICTION OF THE IMPROVEMENTS. AS DULY PLANS WILL BE PROVIDED BY COUNTY. ANY CHANGES FROM THE IMPROVEMENTS SHALL BE APPROVED BY THE DEPARTMENT OF PUBLIC WORKS. THE DEPARTMENT OF PUBLIC WORKS WILL REQUIRE NEGOTIATION AND ADJUSTMENT TO THE SATISFACTION OF THE COUNTY.
- SANITARY SEWER MANHOLES, SUBJECT TO SURFACE OR STORM WATER, SHALL HAVE WATER-TIGHT LIDS.

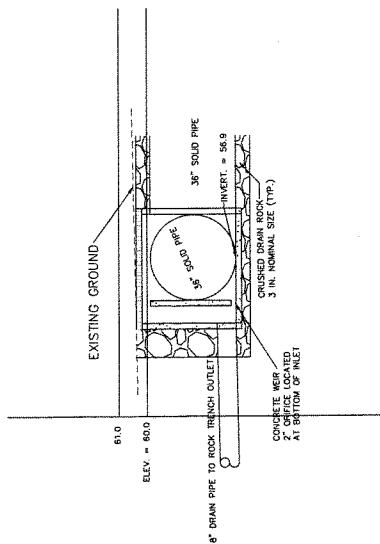
SANTA CRUZ WATER DEPARTMENT STANDARD NOTES

- ALL WORK ON THE WATER SYSTEM MUST BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST VERSION OF CITY OF SANTA CRUZ WATER DEPT (SCWD) STANDARD SPECIFICATIONS.
- A MINIMUM OF 2 WORKING DAYS NOTICE SHALL BE GIVEN TO THE SCWD BEFORE CONSTRUCTION ON ANY PORTION OF THE WATER SYSTEM. THE NOTICE SHALL BE GIVEN TO THE SCWD AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION. THE NOTICE SHALL BE GIVEN TO THE SCWD AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION. THE NOTICE SHALL BE GIVEN TO THE SCWD AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION.
- MINIMUM SEPARATION FROM OTHER PARALLEL AND CROSSING UTILITIES MUST BE MAINTAINED PER CURRENT STANDARD TECHNICAL SPECIFICATIONS.
- UTILITY LOCATIONS ARE APPROXIMATE. VERIFICATION OF ACTUAL UTILITIES AND LOCATIONS IS THE RESPONSIBILITY OF THE CONTRACTOR. CALL UNDERGROUND SERVICE ALERT AT LEAST TWO WORKING DAYS BEFORE DIGGING AT 800-227-2800.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO WORKING DAYS NOTICE TO SCWD FOR INSPECTION OF SERVICES THAT ARE TO BE RETIRED, MODIFIED OR RELOCATED. CONTRACTOR SHALL EXPOSE CORPORATION STOPS FOR SCWD STAFF TO OPERATE. ANY CORPORATION STOP THAT IS NOT EXPOSED BY THE CONTRACTOR SHALL BE EXPOSED BY SCWD STAFF. ANY CORPORATION STOP THAT IS NOT EXPOSED BY THE CONTRACTOR SHALL BE EXPOSED BY SCWD STAFF.
- RETIRED WATER MAINS SHALL BE REMOVED BY CONTRACTOR AND ALL SIDEWALK AND PAVING RESTORED. SERVICE LINES SHALL NOT BE CRIMPED AS A METHOD OF RETIREMENT OR SERVICE LINE MODIFICATION OR RELOCATION.
- APPROVAL BY THE SCWD FOR THE FIRE SERVICE INSTALLATION SHALL BE FOR THE SERVICE LINE LOCATION AND THE CONNECTION TO THE MAIN. THE FIRE SERVICE SIZE AND DESIGN APPROVAL ARE THE RESPONSIBILITY OF THE LOCAL FIRE PROTECTION AGENCY.
- TEMPORARY REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY INSTALLATIONS PER SCWD STANDARDS ARE REQUIRED FOR ALL CONSTRUCTION WATER USE.

1507 Ocean Street, Suite 100
Santa Cruz, CA 95060
(831) 428-1811
(831) 428-0224 FAX

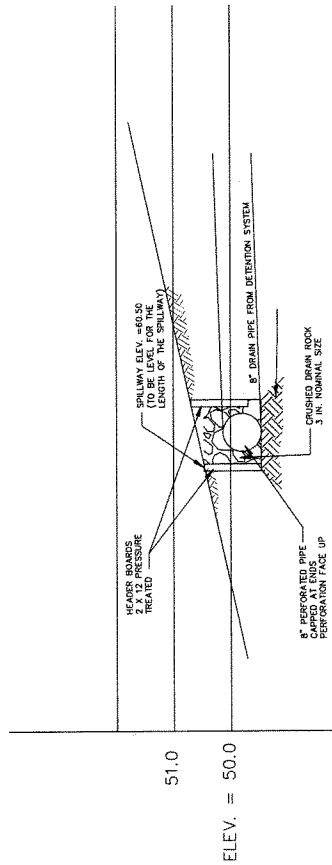
Robert L. Dewitt
& Associates, Inc.
Civil Engineers & Land Surveyors

DESIGN: RLD
DRAWN: RLD
DATE:
CHECK: RMD
ISSUED: 10-23-14
1-13-16
PROJECT: RMD
SHEET: P4-12



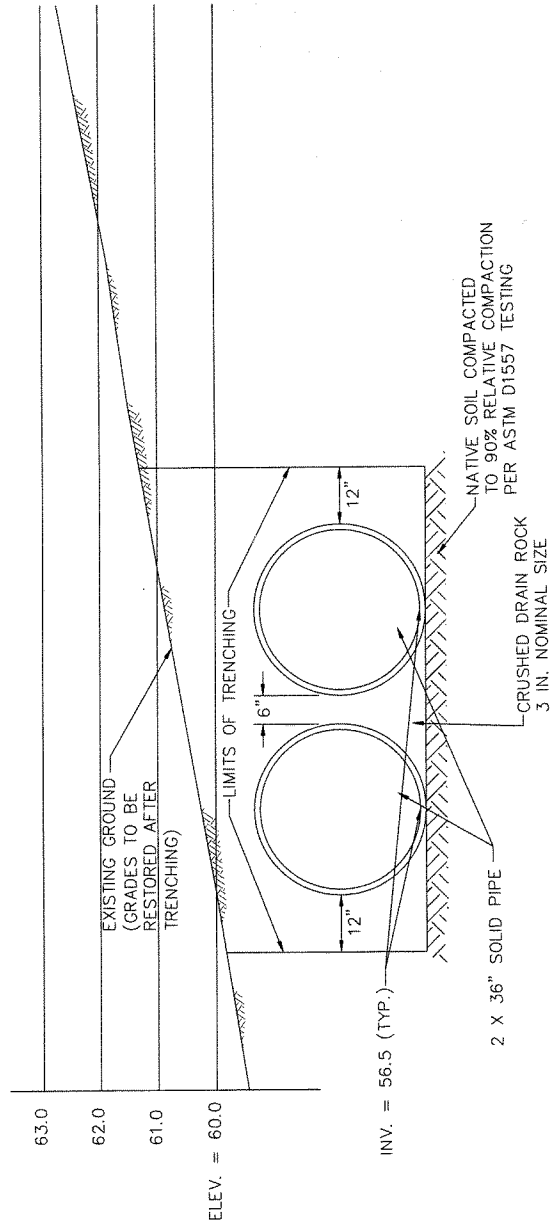
SECTION B-B MODIFIED CONCRETE OUTLET STRUCTURE

SCALE: 1"=2'



SECTION C-C ROCK TRENCH OUTLETS SECTION

SCALE: 1"=2'



SECTION A-A DETENTION SYSTEM TYPICAL CROSS SECTION

SCALE: 1"=1'



ROBERT L. DEWITT DATE

PRELIMINARY
DETAILS
PREPARED AT THE REQUEST OF
Richard and
Debbie Falconer
LOCAL AT
2930 Childers Lane Ext.
Santa Cruz, CA
APN: 031-091-01

Civil Engineers & Land Surveyors
Robert L. DeWitt
& Associates, Inc.
1807 Ocean Street, Suite 1
Santa Cruz, California 95060
(408) 428-1817
(408) 428-0224 FAX

DESIGN	RED
DRAWN	RYN
CHECK	RYN
DATE	10-23-14
PROJECT	R2008 C2
ISSUED	1-13-15
PROJECT	R2008
DATE	10-23-14
PROJECT	R2008
DATE	10-23-14

P5-12

OWNER/REPRESENTATIVE:
DEBBIE AND RICHARD FALCONER
1940 HARPER STREET
SANTA CRUZ, CA 95062

S.W.P.C.P. PRACTITIONER
ROBERT DEWITT/ROBERT L. DEWITT
1807 OCEAN STREET
SANTA CRUZ, CA 95060
(831) 425-1617
ridewitt@ridewitt.com

TOTAL AREA OF DISTURBANCE = 0.95 ACRES (41,500 S.F.)

BETWEEN OCTOBER 15, AND APRIL 5, EXPOSED SOIL SHALL BE PROTECTED FROM PROSODIUM AND POTASSIUM LEACHING BY COVERING WITH A TIGHTLY SEALED FILTER BERM, OR OTHER MEANS THAT WILL PREVENT TURBID RUNOFF TO ADJACENT PROPERTIES.

1. UNNECESSARY GRADING AND DISTURBING OF SOIL SHALL BE AVOIDED.
2. ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF-SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF INTO ADJACENT PROPERTIES.
3. UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED AREAS SHALL BE PERMANENTLY REVEGETATED WITH GRASS.

- [illegible]

4 AREAS THAT ARE SENSITIVE HABITAT, THE SEED MIX AND STRAW SHALL BE AS RECOMMENDED BY THE PROJECT BIOLOGIST, BE INDICATED ON THE PLANS AND APPROVED BY THE PLANNING DEPARTMENT.



GRAPHIC SCALE

07-1-2000

CONSTRUCTION MATERIALS

- [illegible]

WASTE MANAGEMENT

3. DISPOSAL OF AND RINSE OF WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PROHIBITED.
4. SANITATION FACILITIES SHALL BE LOCATED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE CONTAINED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
5. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
6. WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
7. DISCHARGE FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATERS SHALL BE PREVENTED.
8. STOCKPILED WASTE MATERIALS SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
9. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
10. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY.
11. MEASURES OTHER THAN LEAKS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE STORM DRAINAGE SYSTEM AND ONTO THE SURROUNDING AREAS.

STORMWATER POLLUTION CONTROL PLAN

PREPARED AT THE REQUEST OF

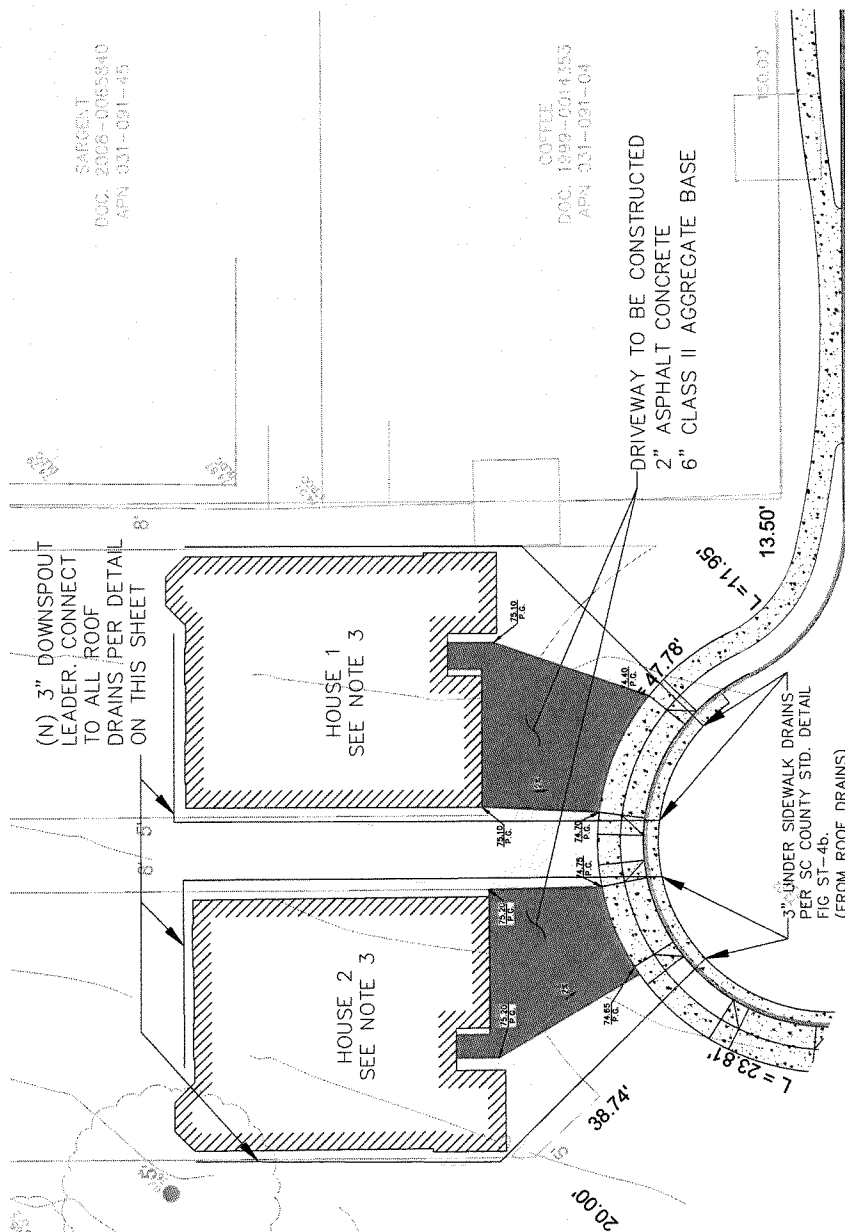
**Richard and
Debbie Falconer**
LOCATED AT
2930 Childers Lane Ext.
Santa Cruz, CA
APN: 031-091-01

ENERGY | NEW YORK

DATE _____

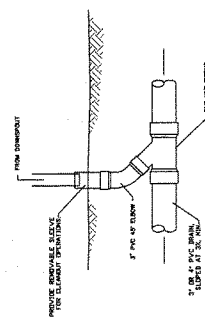


PERSON: RLD	
ORGAN: BPH	
DATE:	
NO: R13088 C7	
SUBJ:	10-23-14 1-13-15
PROJECT: R13088	
SHEET:	P7 of 12



NOTES

- HOUSE FOOTPRINT SHOWN ONLY. SEE BUILDING PLANS BY FARRELL FABER AND ASSOCIATES.



PRELIMINARY HOUSE FOOTPRINT PLAN (LOTS 1 & 2)

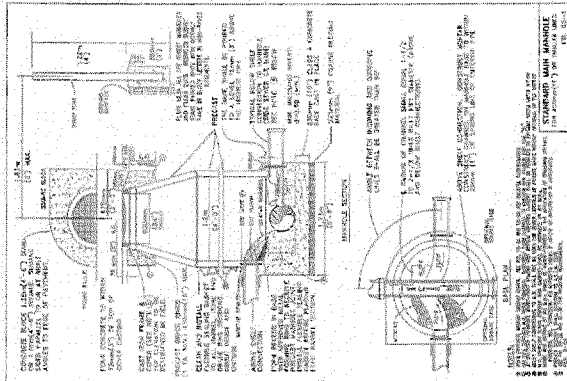
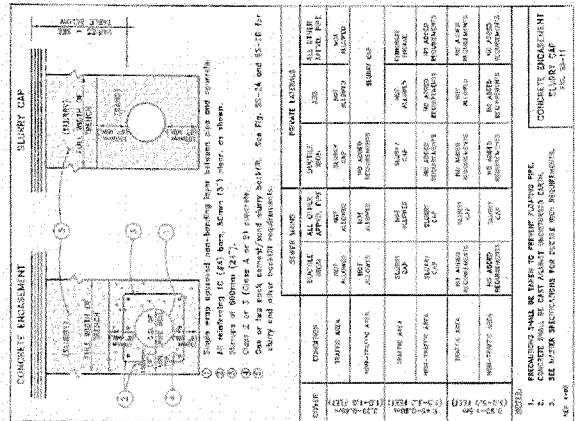
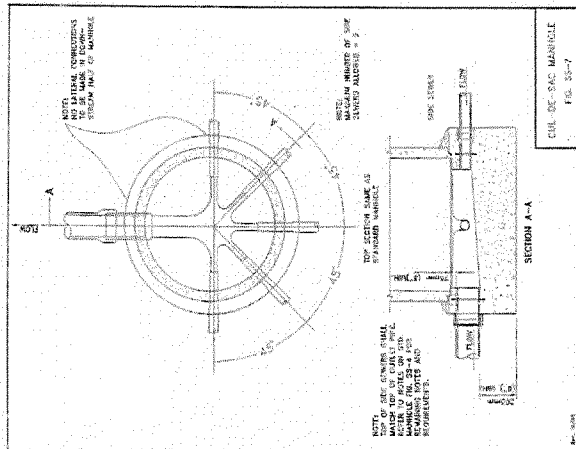
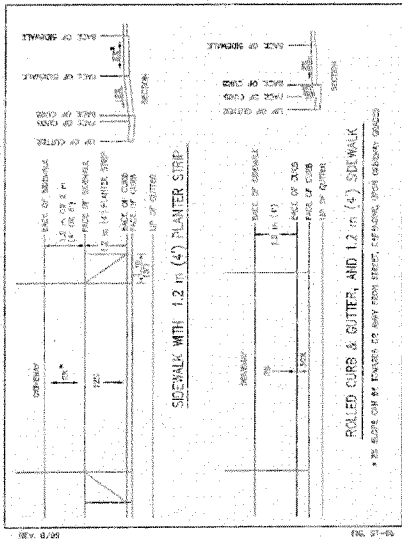
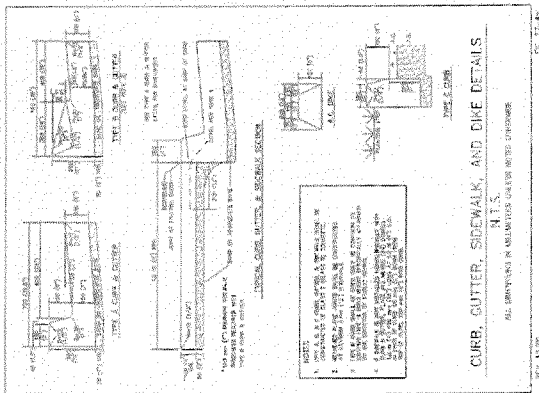
PREPARED AT THE REQUEST OF
**Richard and
Debbie Falconer**
2930 Childers Lane Ext.
Santa Cruz, CA
APN: 031-091-01



ROBERT L. DEWITT
DATE

Robert L. DeWitt
& Associates, Inc.
Civil Engineers & Land Surveyors
1687 Ocean Street, Suite 1
Santa Cruz, California 95060
TEL: (831) 428-0224 FAX: (831) 428-0224

DESIGN: RLD	DATE: 10-12-14
DRAWN: RLV	REVISION: 1-12-15
CHECKED: RLV	
PROJECT: R2008	
SHEET: 12	



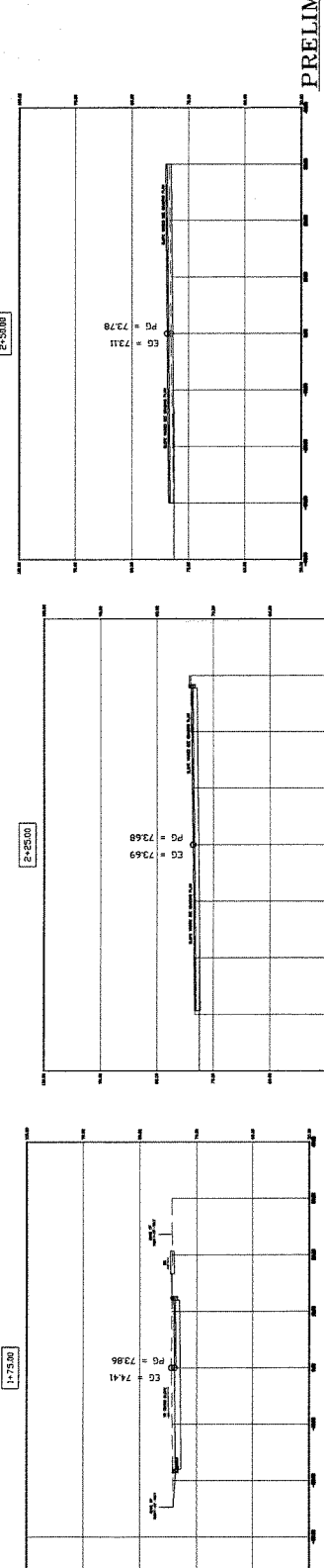
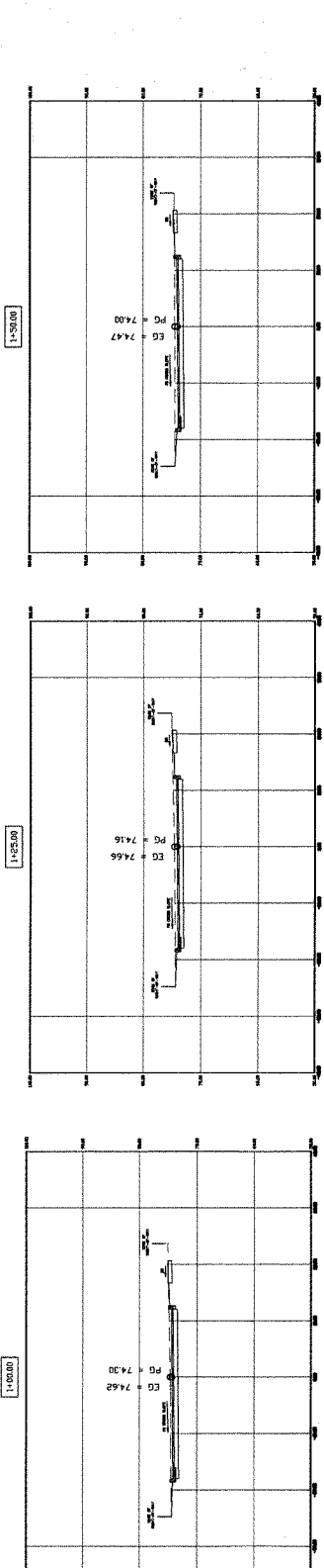
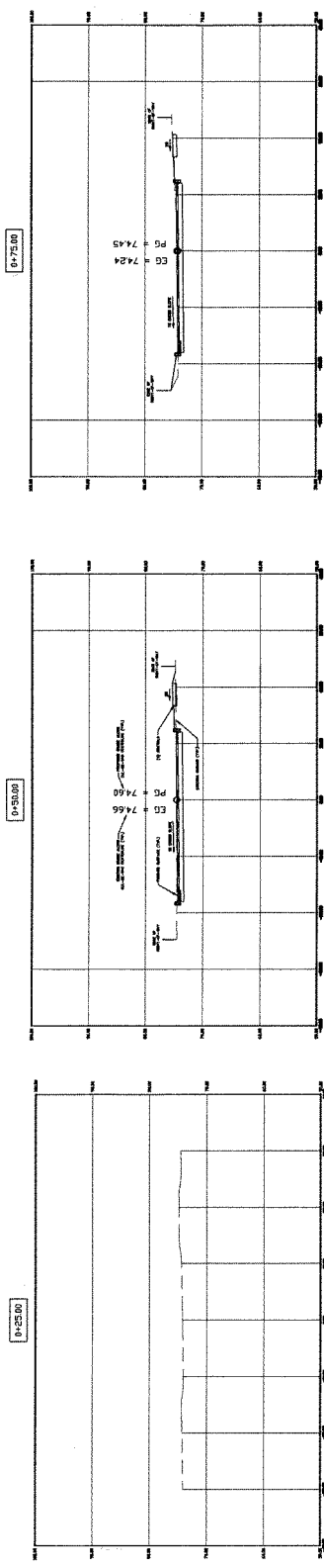
**PRELIMINARY
STANDARD DETAILS**
PREPARED AT THE REQUEST OF
**Richard and
Debbie Falconer**
2930 Childers Lane Ext.
Santa Cruz, CA
APN: 031-091-01



DATE: _____
ROBERT L. DEWITT

Civil Engineers & Land Surveyors
Robert L. DeWitt
& Associates, Inc.
1607 Ocean Street, Suite 1
Santa Cruz, California 95060
(408) 429-0224 FAX
(408) 429-0224 FAX

PROJECT: ROAD
SHEET: P10-12
DATE: 10-21-14
1-13-15
DRAWN: RPN
CHECKED: RPN
DATE: 10-21-14
1-13-15
PROJECT: ROAD
SHEET: P10-12



CUL-DE-SAC CROSS SECTIONS
VERTICAL AND HORIZONTAL SCALE: 1"=10'

PRELIMINARY
CROSS SECTIONS
PREPARED AT THE REQUEST OF
Richard and Debbie Falconer
LOCATED AT
2930 Childers Lane Ext.
Santa Cruz, CA
APN: 031-091-01



ROBERT L. DEWITT DATE

Robert L. Dewitt
& Associates, Inc.
Civil Engineers & Land Surveyors
1607 Ocean Street, Suite 1
Santa Cruz, California 95060
(408) 425-1617 TEL
(408) 425-0224 FAX

PROJECT: R1000
SHEET: **112 of 12**
DATE: 10-23-14
DRAWN: RJD
CHECKED: RJD
REVISION: CS
1-11-13

FOR TAX PURPOSES ONLY

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POR. RANCHO ARROYO DEL RODEO
S. 1/2 SEC. 16, T.11S., R.1W., M.D.B. & M.

Tax Area Code
82-040

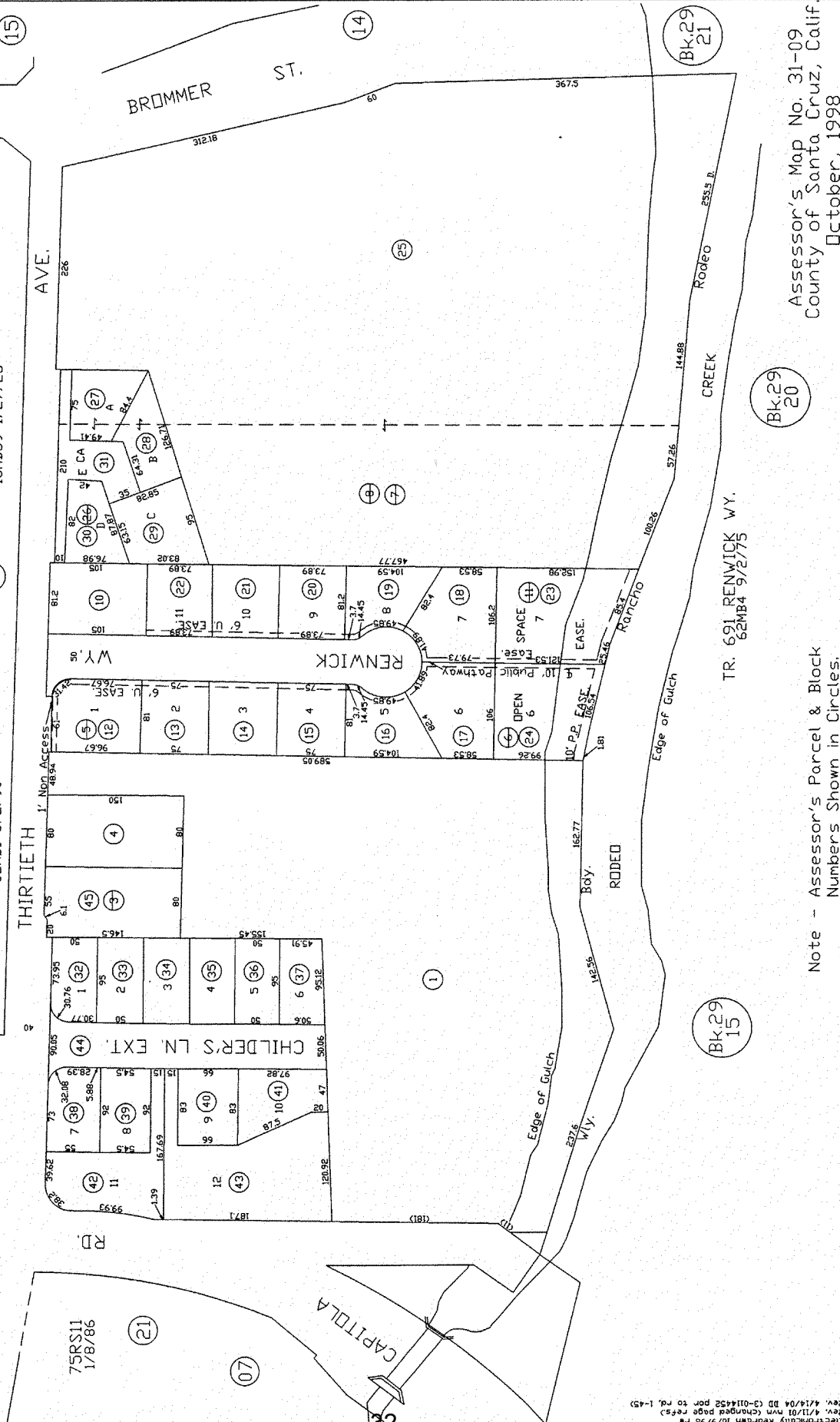
31-09

75RS11
1/8/86

CAPITOLA RIDGE TR. 865
82MB1 5/2/90

WILSON BROS. TR. NO. 4
18MB39 1/27/23

47MB33
11/13/86



Note - Assessor's Parcel & Block
Numbers Shown in Circles.

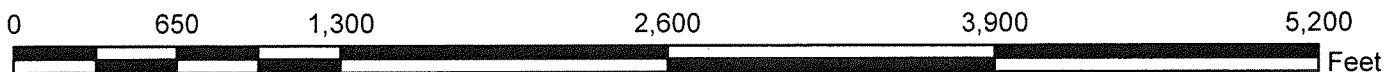
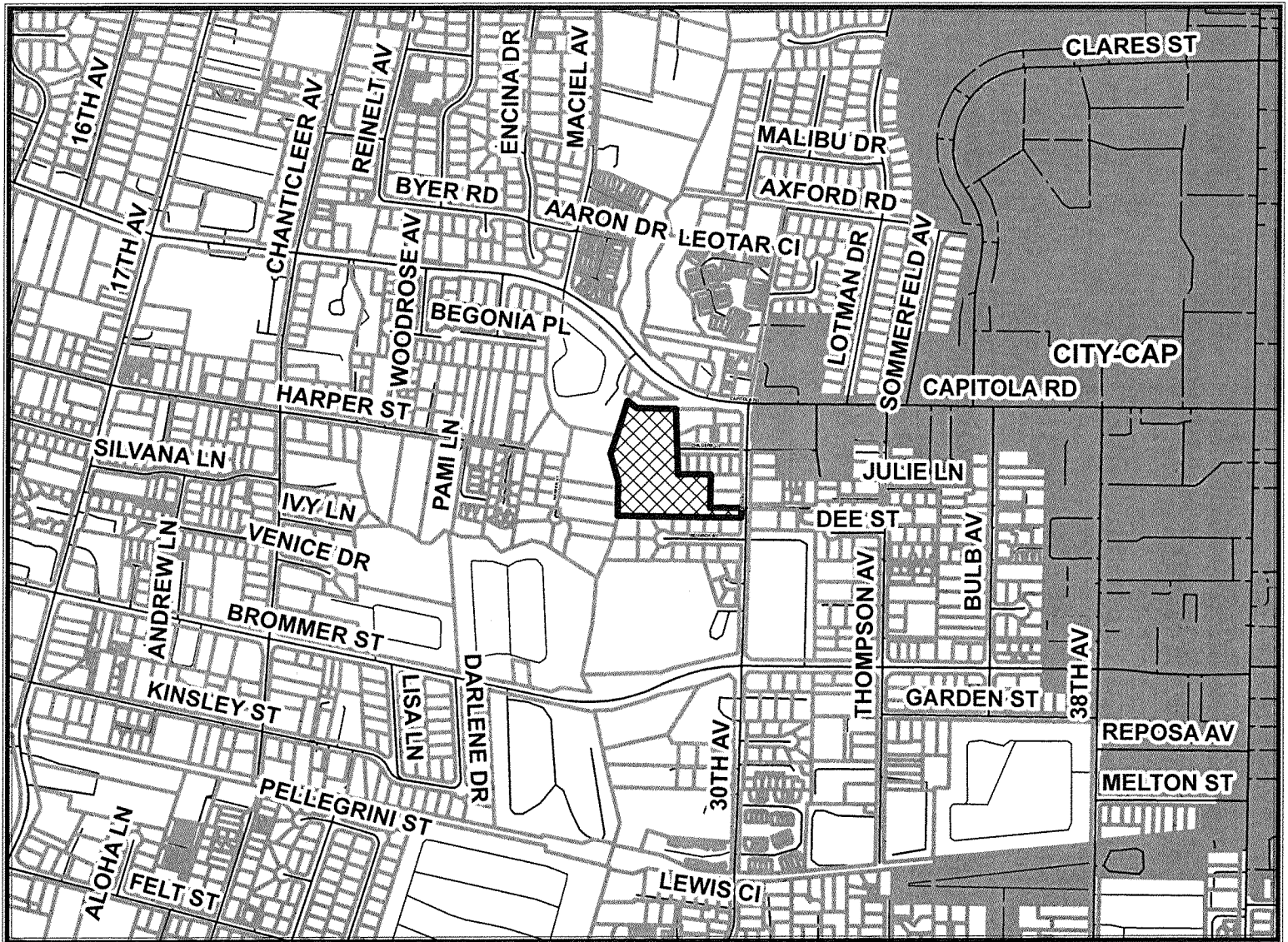
Assessor's Map No. 31-09
County of Santa Cruz, Calif.
October, 1998

Electronically Redrawn 10/9/98
Rev. 4/11/01 nrm (changed page refs)
Rev. 4/14/04 BD (3-011452 por to rd. 1-45)





EXHIBIT E

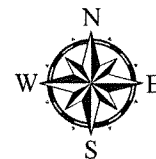


Location Map



LEGEND

-  APN: 031-091-01
-  Assessors Parcels
-  Street
-  CITY OF CAPITOLA

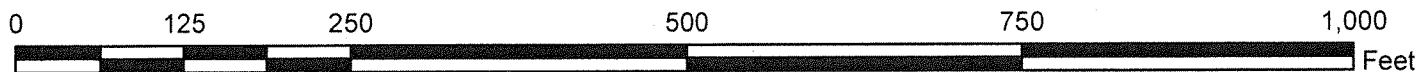
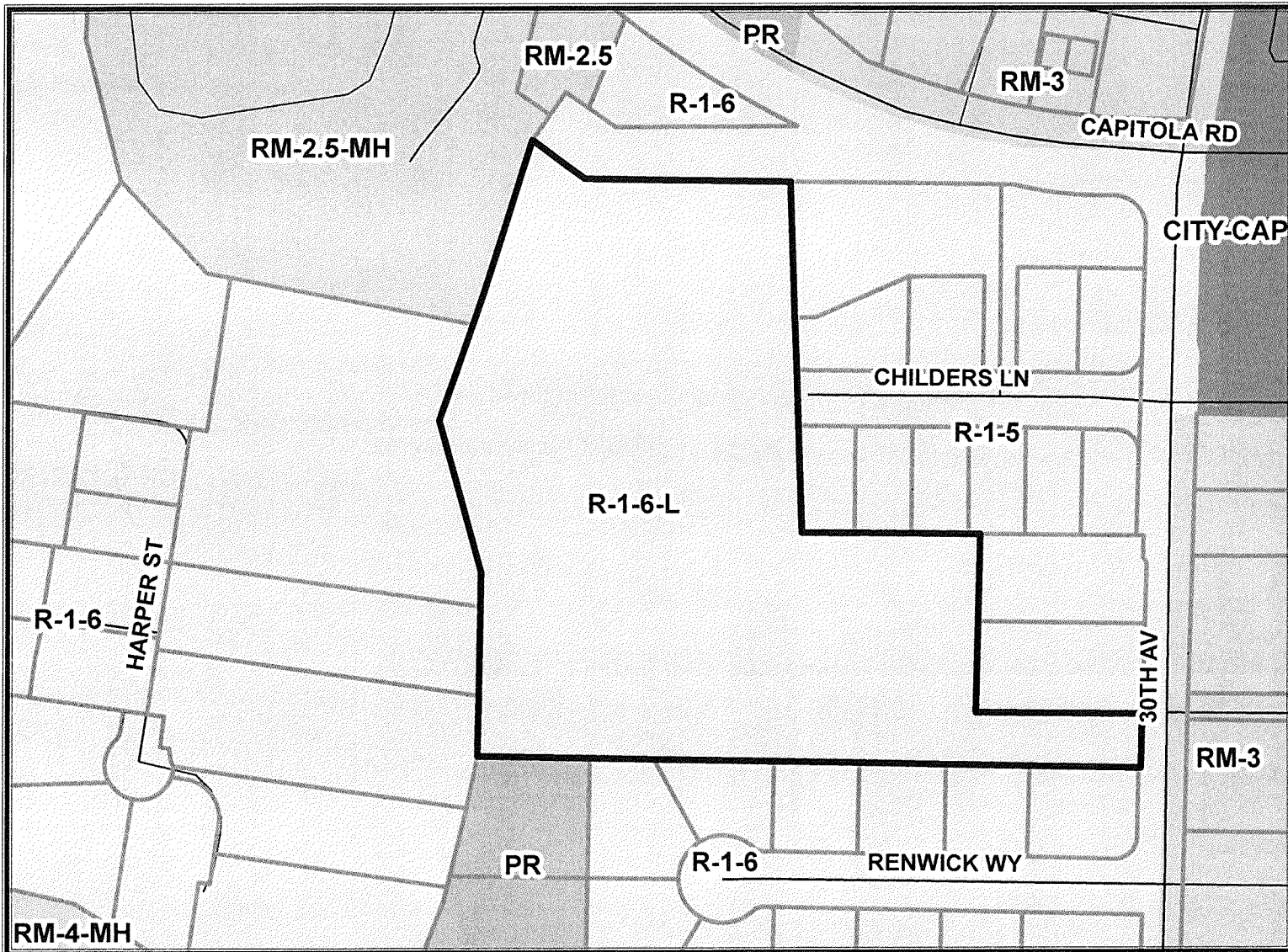


Map Created by
County of Santa Cruz
Planning Department
June 2014

EXHIBIT E

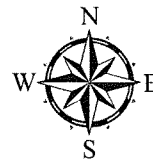


Zoning Map



LEGEND

- APN: 031-091-01
- Assessors Parcels
- Street
- CITY OF CAPITOLA
- RESIDENTIAL-SINGLE FAMILY
- RESIDENTIAL-MULTI FAMILY
- PARK

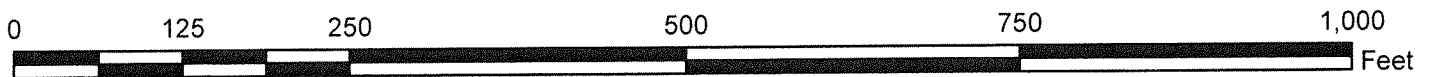
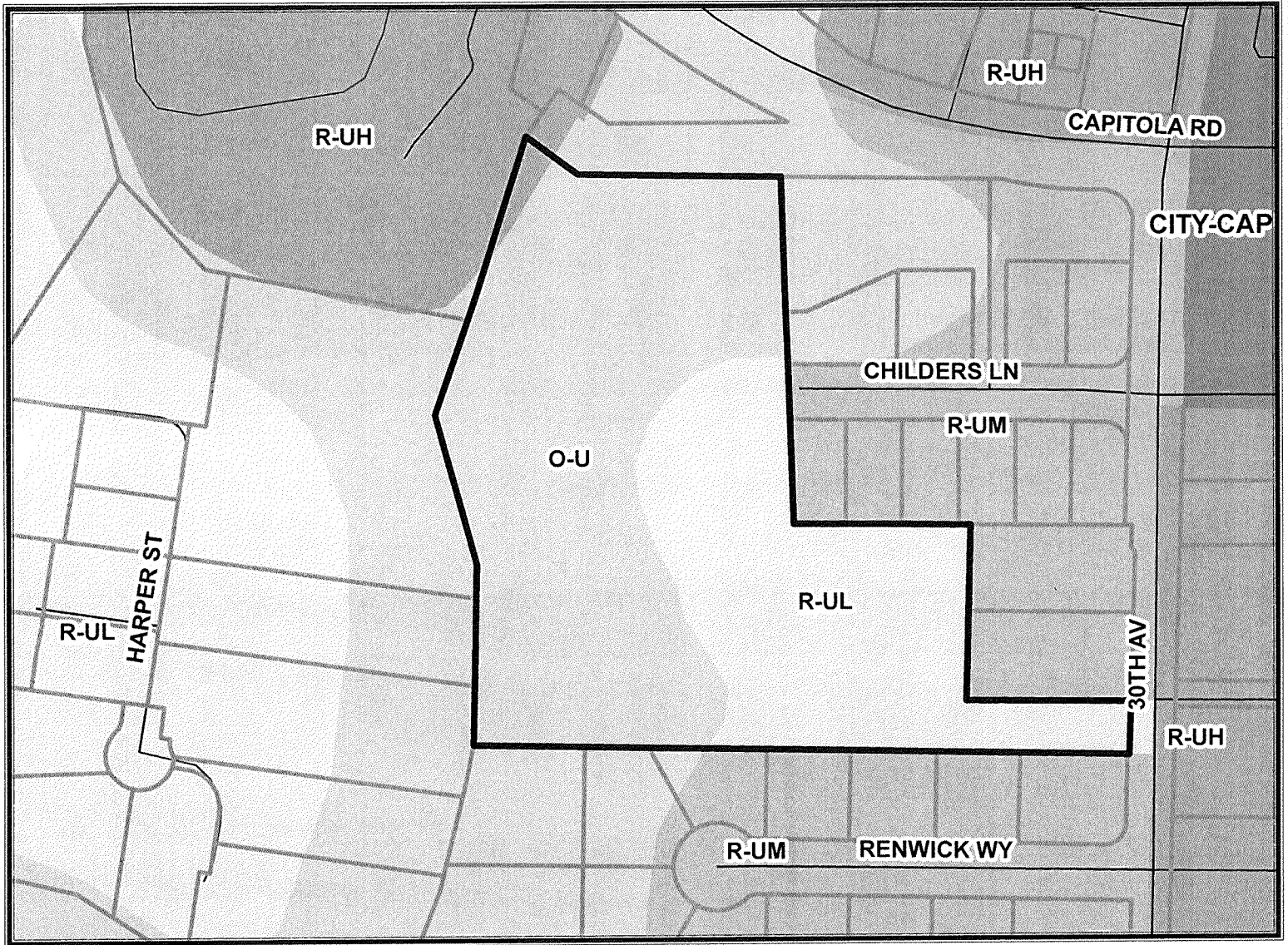


Map Created by
County of Santa Cruz
Planning Department
June 2014

EXHIBIT E

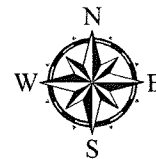


General Plan Designation Map



LEGEND

- APN: 031-091-01
- Assessors Parcels
- Street
- CITY OF CAPITOLA
- Residential - Urban Low Density
- Urban Open Space
- Residential - Urban Medium Density
- Residential - Urban High Density



Map Created by
County of Santa Cruz
Planning Department
June 2014

EXHIBIT E

**General Design Guidelines for Childers Lane/30th Avenue Minor Land Division
(Applicable to three new parcels.)**

031-091-01

May 30, 2014

1. Standard setbacks will be 20-foot front yard, 5 and 8-foot side yards and 15-foot rear yards. Rear yards may be approximately 40 to 45 feet deep.
2. Houses shall contain at least 3-bedrooms and 2 bathrooms.
3. Each house shall have a 2-car attached garage.
4. Roofs will be composition shingle with pitch of not less than 5:12 or 6:12. Roofs shall be a combination of hip and gables.
5. Eaves shall have at least 2-foot overhang with gutters and downspouts.
6. Houses shall have front entry covered porches to add visual interest to the facades and create more of a neighborly ambiance.
7. Parcels on the north side of the new private street will be one-story.
8. Parcel 3 on the south side of the street will be 1 story from the cul-du-sac with a walk-out lower level facing west.
9. Materials shall be a combination of wood, stucco and stone siding.
10. Windows will be dual-paned vinyl.
11. Exterior colors shall be muted earth tone; using No-VOC paint.
12. "Green" technology; energy-efficient appliances and water-saving plumbing fixtures. House on Parcel 3 proposed to have solar power. Parcels 1 and 2 houses proposed to be "solar-ready".



WATER DEPARTMENT

212 Locust Street, Suite C Santa Cruz CA 95060 Phone (831) 420-5200 Fax (831) 420-5201

March 12, 2014

Richard & Debbie Falconer
1940 Harper St
Santa Cruz, CA 95062

Re: **PROPOSED 3-LOT SUBDIVISION OF AN EXISTING 4.3 ACRE LOT LOCATED AT
2930 30TH AVE; APN 031-091-01**

Dear Mr. & Mrs. Falconer:

This letter is to advise you that the subject parcel is located within the service area of the Santa Cruz Water Department and potable water is currently available for normal domestic use and fire protection. Service will be provided to each parcel upon payment of the fees and charges in effect at the time of service application and upon completion of the installation, at developer expense, of any water mains, service connections, fire hydrants and other facilities required for the development under the rules and regulations of the Santa Cruz Water Department. The development will also be subject to the City's Landscape Water Conservation requirements.

At the present time:

the required water system improvements are not complete; and
financial arrangements have not been made to the satisfaction of the City to guarantee
payment of all unpaid claims.

This letter will remain in effect for a period of two years from the above date. It should be noted, however, that the City Council may elect to declare a moratorium on new service connections due to drought conditions or other water emergency. Such a declaration would supersede this statement of water availability.

If you have any questions regarding service requirements, please call the Engineering Division at (831) 420-5210. If you have questions regarding landscape water conservation requirements, please contact the Water Conservation Office at (831) 420-5230.

Sincerely,

Rosemary Menard
Water Director

RM/jns
Cc: SCWD Engineering



Santa Cruz County Sanitation District

701 OCEAN STREET, SUITE 410, SANTA CRUZ, CA 95060-4073
(831) 454-2160 FAX (831) 454-2089 TDD: (831) 454-2123

JOHN J PRESLEIGH, DISTRICT ENGINEER

FEBRUARY 11, 2014

POWERS LAND PLANNING, INC.
P.O. BOX 2409
APTOS, CA 95001

SUBJECT: SEWER AVAILABILITY AND DISTRICT'S CONDITIONS OF SERVICE FOR
THE FOLLOWING PROPOSED DEVELOPMENT:

APN: 031-091-01 APPLICATION NO.: N/A

PARCEL ADDRESS: 2930 CHILDERS LANE EXT.

PROJECT DESCRIPTION: MINOR LAND DIVISION (3 SFD)

Sewer service is available for the subject development upon completion of the following conditions. This notice is effective for one year from the issuance date to allow the applicant the time to receive tentative map, development or other discretionary permit approval. If after this time frame this project has not received approval from the Planning Department, a new sewer service availability letter must be obtained by the applicant. Once a tentative map is approved this letter shall apply until the tentative map approval expires.

Proposed location of on-site sewer lateral(s), clean-out(s), and connection(s) to existing public sewer must be shown on the plot plan of the building permit application.

Department of Public Works and District approval shall be obtained for an engineered sewer improvement plan, showing on-site and off-site sewers needed to provide service to each lot or unit proposed, before sewer connection permits can be issued. The improvement plan shall conform to the County's "Design Criteria" and shall also show any roads and easements. Existing and proposed easements shall be shown on any required Final Map. If a Final Map is not required, proof of recordation of existing or proposed easement is required.

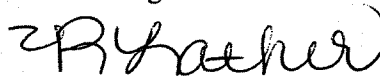
Show all existing and proposed plumbing fixtures on floor plans of building application.

Other: No downstream capacity problem or other issue is known at this time. However, downstream sewer requirements will again be studied at time of Planning Permit review, at which time the District reserves the right to add or modify downstream sewer requirements.

Yours truly,

JOHN J. PRESLEIGH
District Engineer

By:



Rachél Lather
Sanitation Engineer

RGH:tlp/463

c: Applicant: Powers Land Planning, Inc.
P.O. Box 2409
Aptos, CA 95001

Property Owner: Johnson Family Trust, Kent Johnson - Doug Johnson
7036 22nd Ave NW
Seattle, WA 98117