



Staff Report to the Planning Commission

Application Number: **201378**

Applicant: Angshupriya Pathak, ABA Architects
Owner: County of Santa Cruz
APN: 039-102-43 & 039-102-21
Site Address: 7695 Soquel Drive, Santa Cruz

Agenda Date: January 12, 2022
Agenda Item #: 08
Time: After 9:30 a.m.

Project Description: Proposal to demolish the existing Aptos Branch Library and construct a new library building measuring approximately 12,490 gross square feet in size. Requires a Commercial Development Permit, Variances to reduce the front, side, and rear yards by six feet from the required setback 20 feet to 14 feet, approval of a Master Site Plan, Design Review, Sign Exception, and Preliminary Grading Approval.

Location: Property is located on the northeast side of Soquel Drive at its intersection with East Ledyard Way (7695 Soquel Drive). The library building is located on APN No. 039-102-43 and a portion of the associated parking lot is located on APN No. 039-102-21.

Permits Required: Commercial Development Permit, Variances to reduce the front, side, and rear yards by six feet from the required setback 20 feet to 14 feet, Master Site Plan, Sign Exception, Design Review, and Preliminary Grading Approval

Supervisory District: Second District (District Supervisor: Zach Friend)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 201378, based on the attached findings and conditions.

Project Description & Setting

The subject parcel is located in Aptos on the northeast side of Soquel Drive, an east-west arterial roadway connecting downtown Santa Cruz with Aptos and mid-County communities. The project site is located on a corner lot, at the intersection of Soquel Drive and East Ledyard Way. East Ledyard Way is a short street connecting the residential neighborhood to the north of the site with Soquel Drive. The project site is located within the vicinity of other public facilities as well as regional and neighborhood-serving commercial uses along Soquel Drive.

The current application is to demolish the existing one-story Aptos Branch Library (measuring approximately 8,800 gross square feet) and construct a new one-story library building measuring

approximately 12,490 gross square feet in size. The proposed library will include spaces for children, teens, and adults to access traditional books as well as online materials. Separate spaces will be available for community events, meeting rooms, library collections, reading and study rooms, library programming, and staff areas. Three distinct outdoor spaces are proposed at the rear of the new library building to include a staff garden, a children's garden, and an outdoor reading area. The outdoor areas will provide flexible spaces for reading and library programming.

At the adjoining parking lot, the project reorients parking spaces from angled to straight, accommodating parking for 73 vehicles inclusive of the required accessible and electric charging spaces. The parking lot would be repaired and slurry sealed. The proposed trash enclosure would contain both trash and recycling receptacles and would be fully enclosed with a roof overhead to control any odor.

The new library building would be surrounded by generous landscaping, with additional plantings provided in planters within the parking lot and along its peripheries. The project also includes the following offsite improvements:

- Partial demolition and reconstruction of the existing curb, gutter, and sidewalk along Soquel Drive, including a new bus shelter and pad
- Demolition of existing curb and sidewalk along East Ledyard Way and reconstruction of new concrete curb, gutter, and sidewalk
- Construction of a new driveway approach to serve the library site
- Construction of new curb, gutter, and sidewalk along the site frontage heading northwest along Soquel Drive
- Extension of storm drain from East Ledyard Way across the project frontage heading northwest along Soquel Drive
- Construction of a retaining wall at the northwesterly terminus of the new curb, gutter, and sidewalk
- New fire service to serve the new building, located behind the reconstructed bus pad
- New accessible and pedestrian accesses along the back of sidewalk
- Reconstruction of the existing curb inlet at the intersection with East Ledyard Way
- New crosswalk, stop bar and legend at East Ledyard Way
- Construction of stormwater treatment and detention facilities between the library and back of new sidewalk along Soquel Drive

Programming

The Aptos Branch Library is a Santa Cruz County public library providing library services for the mid-County area. The project would replace the existing library with a new and larger building, but the function and programming of the library would remain essentially the same. A maximum of ten staff members are expected on-site at any one time. Staff would be present at the library from 8:00 a.m. to 8:00 p.m.; however, the library would be open to the public from 10:00 a.m. to 8:00 p.m., with periodic special programs and events to occur in the Community Room from 9:00 a.m. to 10:00 p.m. Expected deliveries to the site include a library courier service six days a week, building maintenance visits once a week, and weekly or bi-monthly supply deliveries.

Required Approvals

The project requires Commercial Development Permit to establish a nonresidential use at the site.

Approval of Variances are required to reduce the front, side, and rear yards by six feet from the required setback of 20 feet to 14 feet.

Approval of a Master Site Plan by the Planning Commission accompanied by a finding of General Plan consistency pursuant to Section 65402 of the California Government Code is required for a new conditionally permitted use in the PF (Public Facilities) zone district.

Preliminary Grading Review is required per Santa Cruz County (SCCC) Chapter 16.20 to assess and place conditions of approval on the proposed grading work associated with the project.

Per SCCC Chapter 13.11 Design Review is required for all County projects including public buildings.

A Sign Exception is required per SCCC 13.10.587 to permit 196.5 square feet of cumulative sign area where the zone district allows only 50 square feet.

Project Background

In 1973, the existing Aptos Branch Library building was approved pursuant to Use Permit 4757-U. In 2008, a Minor Variation (08-0316) to Use Permit 4757-U was approved to expand the parking area onto the adjacent parcel (APN 039-102-21) to provide sufficient parking for the existing library facility.

Zoning & General Plan Consistency

The subject properties consist of two abutting lots measuring approximately 43,438 square feet (1.007 acre) and 10,424 square feet (0.24 acre) in size respectively. The library building is located on APN No. 039-102-43 in the PF (Public Facilities) zone district, a designation in which libraries are conditionally permitted. The proposed library would replace an existing library use and is a conditionally permitted use within the zone district and the zoning is consistent with the site's P (Public Facilities) General Plan designation. A portion of the associated parking lot is located on APN No. 039-102-21 in the PA (Professional Administrative Office), a designation in which libraries are also conditionally permitted, consistent with the C-O (Professional Administrative Office) General Plan designation.

The PF zone district contains standard minimum 10-foot setback requirements for all yards; however, pursuant to SCCC 13.10.363(B)(2), on PF-zoned parcels adjacent to residential districts, all minimum yards are increased to 20 feet. The northeast property line of the project site is bordered by a residential (R-1-8) zone district; thus, all required setbacks are 20 feet.

A summary of the required and proposed site and development standards relevant to the project are summarized in the table below:

Development Standard	PF Site Standards	Proposed
Front yard setback	20 feet	About 20 feet (Variance required for 6-foot roof eave encroachment)
Rear yard setback	20 feet	About 20 feet (Variance required for 6-foot roof eave encroachment)
Side yard setbacks	20 feet	About 20 feet (Variance required for 6-foot roof eave encroachment)
Maximum height	35 feet	About 22 feet 6 inches at roof peak
Maximum number of stories	3 stories	1 story
Vehicle parking	1 space per 300 square feet of gross floor area (42 spaces required)	73 spaces

Setback Variances

The project proposes a reduction to the required 20-foot setbacks to allow for minor encroachments of roof eaves up to a maximum of six feet at several locations on the site. Other than minor encroachments of the roof eaves, all components of the proposed building would meet all site standards requirements. For a Variance to be granted pursuant to SCCC Section 13.10.230, specific findings must be met. These findings can be met in that the subject parcel has constraints that restrict development of the site. Due to parcel constraints, approval of Variances to setbacks is necessary for construction of the roof eaves associated with the proposed public library building.

Sign Exception

A sign exception is requested, as allowed by SCCC Section 13.10.587, to permit 196.5 square feet of cumulative sign area where the zone district allows only 50 square feet. The proposed signage program (Exhibit D) would be in proportion to the size of the library building and the associated site improvements. Abutting residential properties are located only along the northern periphery of the project site and no signage would be directed towards, or visible from adjacent residential zoning. Further, no illuminated signage would be visible from any nearby property located within a residential zone district. Thus, the signage program would have virtually no visual impact to the residential zone district. The project site is not visible from a scenic corridor as designated in the General Plan. All signage is proposed to be constructed of aluminum and is designed to be consistent with the architectural character of the building and an integral part of the landscaped site plan area. A pedestrian-level sign at the intersection of Soquel Drive and East Ledyard Way would be subtly and indirectly illuminated via two in-grade LED well lights.

Master Site Plan

Pursuant to SCCC 13.10.365, prior to or concurrently with the approval of any new use for which a Level V (or higher) approval is required in the PF zone district, a development permit

for a Master Site Plan shall be approved by the Planning Commission and such approval shall be accompanied by a finding of General Plan consistency pursuant to Section 65402 of the California Government Code.

Libraries are conditionally permitted uses within the PF zone district and the proposed library use, though larger in size, would be essentially identical in programming and function as the existing library use at the site. No other uses are proposed in conjunction with the library use at this time. Any new uses proposed in the future would need to comply with the requirements of the applicable zone district and General Plan designation. Phased construction is not proposed. Construction would be permitted to commence upon issuance of the building permit and any other required construction-related permits. A General Plan consistency finding pursuant to California Government Code Section 65402, which outlines the due process of review for real property acquisitions and dedications, is not applicable to the proposed project.

In accordance with SCCC Section 13.10.365(A)(4), future site and facility development permits, when applied for pursuant to an approved Master Site Plan, may be processed as a Level IV approval or according to an over-the-counter staff review specified by the conditions of the Master Site Plan development permit approval. The intent of this Code section is to ensure all phased development is compatible with an approved Master Site Plan. Being that that the proposed project entails construction of a library, and phased construction is not proposed, it is appropriate to allow future site and facility development permits to be processed in accordance with an administrative Level III Master Site Plan Amendment Permit. A Condition of Approval establishing this permit requirement has been added.

Grading and Trees

Grading volumes in the amount of approximately 1,760 cubic yards of cut and 275 cubic yards of fill are proposed for construction of the project. A total of 36 trees are proposed for removal due to their location in the construction area. The trees proposed for removal are all relatively young and none are considered as Significant Trees pursuant to County regulations. Eight trees would be retained. An arborist report (James P. Allen & Associates, November 19, 2020) is included in the project file and has been reviewed and accepted by Environmental Planning staff. A landscape plan (Exhibit D) has been provided, which includes 24 replacement trees, vegetation, and hardscape designed to complement the proposed building.

Design Review

Institutional and public projects, including libraries, are subject to the County's Design Review Ordinance (County Code Chapter 13.11). The placement of the proposed replacement library building is skewed to utilize the full potential of the site's solar orientation, effectively setting the corner of the block with a building massing that is both visually interesting and elegantly respects neighborhood scale. The proposed one-story library would showcase a gently pitched roof at varying planes and heights as viewed from the Soquel Drive and East Ledyard Way rights-of-way. Photovoltaic arrays would be installed on the roof on its south-facing pitch. Building heights are intentionally lower along its northeastern edge to preserve neighbors' privacy and views. Additionally, all eight existing trees along the neighboring residential fence line would be retained to further preserve buffering. The submitted design contains sufficient varying architectural elements, fenestration, and wall planes to break up the apparent mass and

bulk of the structure, ensuring that it will not read visually as a monolithic structure.

Although the specific materials may change depending upon the final cost of construction, the range of possible siding materials would be compatible with the character of the neighborhood. The project plans include the base bid as well as more expensive options if the library is able to raise additional funds prior to construction. Cement plaster for all siding is proposed as the base bid, and alternative (more expensive) options include adding composite siding at the southwest iconic corner and/or entry fin wall. Selected materials and colors associated with the proposed signage relate well to the building design.

The project includes fencing and retaining walls visible from adjacent rights of way. A security fence measuring approximately seven feet in height is proposed along a portion of the side yard fronting the East Ledyard Way and new retaining walls are proposed at various locations throughout the site frontage. The fencing at East Ledyard Way would extend approximately 60 linear feet and would secure the proposed outdoor flex spaces to be located at the rear of the building. Like the siding alternatives mentioned above, the project landscape plans include the base bid as well as more expensive options if additional funds can be raised prior to construction. Chain link fencing is proposed as the base bid, and alternative options include a wood picket fence or an ornamental welded wire fence. The site is an upsloping lot; therefore, the proposed retaining walls will substantially be depressed into grade. The stepped design will follow the natural topography of the upsloping grade. The purpose of the retaining walls is to improve site safety and accessibility for the proposed use. The existing library site also contains retaining walls for the same reasons. The design of the retaining walls is consistent with the character of the proposed development and will not impede drivers' line of sight.

The proposed parking lot re-design would meet objectives for safe, convenient, and understandable pedestrian, bicycle, and vehicle circulation and parking. The parking lot would contain biotreatment basins, a landscape island, and peripheral landscape areas with a generous landscaping and tree planting plan to soften the appearance of the parking lot. As proposed, the project complies with the requirements of the County Design Review Ordinance.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number 201378, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

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Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information

CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 201378
Assessor Parcel Number: 039-102-43 & 039-102-21
Project Location: 7695 Soquel Drive, Santa Cruz

Project Description: Proposal to demolish the existing Aptos Branch Library and construct a new library building measuring approximately 12,490 gross square feet in size.

Person or Agency Proposing Project: Angshupriya Pathak, ABA Architects on behalf of the County of Santa Cruz

Contact Phone Number: 831-420-2430

- A. The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. Ministerial Project involving only the use of fixed standards or objective measurements without personal judgment.
- D. Statutory Exemption other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. Categorical Exemption

Specify type: Class 2 – Replacement or Reconstruction of Existing Facilities (Section 15302)

F. Reasons why the project is exempt:

Reconstruction of an existing public library building measuring approximately 8,800 gsf with a new public library building measuring approximately 12,490 gsf.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Jonathan DiSalvo, Project Planner

Date: _____

EXHIBIT A

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for public library uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the public library and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the PF (Public Facilities) zone district as the primary use of the property will continue to be a public library use that meets all current site standards for the zone district except for the requested variances for minor encroachments of roof eaves into setbacks for which findings for a variance can be made.

A sign exception is requested, as allowed by SCCC Section 13.10.587, to permit 196.5 square feet of cumulative sign area where the zone district allows only 50 square feet. The proposed signage program (Exhibit D) would be in proportion to the size of the library building and the associated site improvements. Abutting residential properties are located only along the northern periphery of the project site and no signage would be directed towards, or visible from adjacent residential zoning. Further, no illuminated signage would be visible from any nearby property located within a residential zone district. Thus, the signage program would have virtually no visual impact to the residential zone district. The project site is not visible from a scenic corridor as designated in the General Plan. All signage is proposed to be constructed of aluminum and is designed to be consistent with the architectural character of the building and an integral part of the landscaped site plan area. A pedestrian-level sign at the intersection of Soquel Drive and East Ledyard Way would be subtly and indirectly illuminated via two in-grade LED well lights.

This proposal is also consistent with County Code Section 13.10.355 in regard to the requirement for a Master Site Plan approval. A General Plan consistency finding pursuant to California Government Code Section 65402, which outlines the due process of review for real property acquisitions and dedications, is not applicable to the proposed project.

The proposed retaining walls and fencing will allow for adequate visibility of vehicles entering the street and will not obstruct the light and air of the street or any nearby properties.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed public library use is consistent with the use and density requirements specified for the P (Public Facilities) land use designation in the County General Plan.

The proposed library complies with General Plan Policy 7.15.1 (Siting Libraries) which requires locating libraries within community centers or nearby major commercial centers. The project complies with this policy as the library parcel is located within a major commercial corridor, is located across Soquel Drive from the Aptos Center Shopping Mall and is approximately 350 feet to the north of the Rancho Del Mar Shopping Center. The project also complies with General Plan Policy 7.15.2 (Support and Expansion of Libraries) which specifically calls for expanding the Aptos Branch Library.

The project complies with General Plan Policy 8.5.2 (Commercial Compatibility with Other Uses) in that building and site design pays careful attention to adjacent uses, especially residential uses bordering the northern periphery of the project site by intentionally lowering building height and retaining existing trees at the rear yard to encourage buffering between uses. This project would replace an existing public library with a new library, remaining essentially the same in program and function. This project results in thoughtful building architecture, which will contribute to community visual character and includes generous landscaping to soften its hardscape elements. The parking lot design, as coordinated with proposed off-site improvements, will allow for the safe flow of bicycles, pedestrians, and vehicles entering from and existing to Soquel Drive.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities, and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed public library would replace an existing library at the project site. The existing library measures approximately 8,800 gross square feet and the proposed library would measure approximately 12,490 gross square feet. Though the new library would be approximately 30 percent larger in size than the existing library, the function and programming of the new library would remain essentially the same.

The project is subject to Transportation Improvement (TIA) fees for its net new trip ends (19 trips). The project is also eligible for TIA fee credits for certain off-site improvements constructed by the project. The project is located along Soquel Drive which is a major arterial for vehicles, bicycles, and transit and would also contain ample on-site parking, limiting parking spill-over onto adjacent streets. The site is well-served by transit, and a bus stop for Santa Cruz Metro 55, 69W, 71, and 91X bus routes is located along the Soquel Drive frontage, abutting the project site. Thus, the net increase of trips generated by the proposed project is not expected to adversely impact existing roads or intersections in the surrounding area.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed public library is consistent with the land use intensity and density of the neighborhood. As directed by the General Plan, the library would be sited within a commercial corridor. The project would result in an expansion of the Aptos Branch Library which is an objective of the General Plan. Residential uses are located along the northern property line of the project site. All homes are separated from the library property in that they front on Arden Way and their rear yards border the project site. The project also retains existing trees along its northern property line to provide additional buffering. The southern-most neighboring parcel, located at the intersection of Arden Way and East Ledyard Way, is residentially zoned but does not contain a residence; the parcel is owned by the Soquel Creek Water District and contains unmanned water utility infrastructure. Across East Ledyard Way is a Wells Fargo Bank building and a church. Directly across Soquel Drive from the project site is a Catholic Church and the Aptos Center Shopping Mall. Abutting the project site to the north of the parking lot is a non-conforming residential structure located within the PA zone district, a commercial designation. The proposed library is designed and sited appropriately given the surrounding land uses.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed public library will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area.

Institutional and public projects, including libraries, are subject to the County's Design Review Ordinance (County Code Chapter 13.11). The placement of the proposed replacement library building is skewed to utilize the full potential of the site's solar orientation, effectively setting the corner of the block with a building massing that is both visually interesting and elegantly respects neighborhood scale. The proposed one-story library would showcase a gently pitched roof at varying planes and heights as viewed from the Soquel Drive and East Ledyard Way rights-of-way. Photovoltaic arrays would be installed on the roof on its south-facing pitch. Building heights are intentionally lower along its northeastern edge to preserve neighbors' privacy and views. Additionally, all eight existing trees along the neighboring residential fence line would be retained to further preserve buffering. The submitted design contains sufficient varying architectural elements, fenestration, and wall planes to break up the apparent mass and bulk of the structure, ensuring that it will not read visually as a monolithic structure.

Although the specific materials may change depending upon the final cost of construction, the range of possible siding materials would be compatible with the character of the neighborhood. The project plans include the base bid as well as more expensive options if the library is able to raise additional funds prior to construction. Cement plaster for all siding is proposed as the base bid, and alternative (more expensive) options include adding composite siding at the southwest iconic corner and/or entry fin wall. Selected materials and colors associated with the proposed

signage relate well to the building design.

The project includes fencing and retaining walls visible from adjacent rights of way. A security fence measuring approximately seven feet in height is proposed along a portion of the side yard fronting the East Ledyard Way and new retaining walls are proposed at various locations throughout the site frontage. The fencing at East Ledyard Way would extend approximately 60 linear feet and would secure the proposed outdoor flex spaces to be located at the rear of the building. Like the siding alternatives mentioned above, the project landscape plans include the base bid as well as more expensive options if additional funds can be raised prior to construction. Chain link fencing is proposed as the base bid, and alternative options include a wood picket fence or an ornamental welded wire fence. The site is an upsloping lot; therefore, the proposed retaining walls will substantially be depressed into grade. The stepped design will follow the natural topography of the upsloping grade. The purpose of the retaining walls is to improve site safety and accessibility for the proposed use. The existing library site also contains retaining walls for the same reasons. The design of the retaining walls is consistent with the character of the proposed development and will not impede drivers' line of sight.

The proposed parking lot re-design would meet objectives for safe, convenient, and understandable pedestrian, bicycle, and vehicle circulation and parking. The parking lot would contain biotreatment basins, a landscape island, and peripheral landscape areas with a generous landscaping and tree planting plan to soften the appearance of the parking lot. As proposed, the project complies with the requirements of the County Design Review Ordinance.

Variance Findings

1. That because of special circumstances applicable to the property, including size, shape, topography, location, or surroundings, the strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

This finding can be made, in that the size and surroundings of the parcel create special circumstances for which setback variances can be granted. The subject parcel has a width of approximately 135 feet and is only bordered by properties within a residential zoning classification along the northeastern edge of the project site.

The rear yard setback is measured from the northeastern portion of the site bordering residential properties, the side setback is measured from the East Ledyard Way frontage (southeast portion of the site), and the front setback is measured from the Soquel Drive frontage (southwest portion of the site). In the rear yard, the roof eave encroaches into the 20-foot rear yard setback at four separate locations. The respective encroachments measure approximately five feet, three feet, two feet, and three feet. In the side yard, the roof eave encroaches into the 20-foot side yard setback at one location, measuring approximately six feet. In the front yard, the roof eave encroaches into the 20-foot front yard setback at four separate locations. The encroachments measure approximately six feet and three feet.

The intent of SCCC Section 13.10.363(B)(2) in requiring increased setbacks for PF-zoned properties adjacent to residential zone districts is to apply added protective measures to buffer residential uses from impacts associated with public facilities located nearby. The proposed project is not expected to create adverse impacts to adjacent residentially zoned properties for the following reasons: first, the library building itself as proposed would meet all setback requirements with the exception of minor portions of the roof eaves at select locations. Secondly, building heights (at approximately 15 feet) are intentionally lower at the portion of the site closer to adjacent residential properties, and the roof eaves as designed further the goals of SCCC Section 13.10.323(B)(2) in that they draw the roof line even lower to grade, further protecting privacy of adjacent properties. Third, portions of the existing library building are located within the 20-foot rear setback, and the proposed replacement building would not result in a significant impact to adjacent residential properties as compared to existing conditions.

As for the front and side yard setbacks, both Soquel Drive and East Ledyard Way frontages can be classified as non-residential. Like the rear yard setback variance described in this section, other than minor encroachments of the roof eaves at several locations, all components of the proposed building along the front and side yard frontages would meet all setback requirements. Due to the width and orientation of the subject parcel, the proposed location of public library is appropriate, as the project design would take advantage of solar opportunities while effectively navigating the physical constraints of the site and adjacent residential properties. The ability to construct an appropriately sized public library building both furthers the goals of the County General Plan and is a privilege enjoyed by other properties under identical zoning classification.

2. That the granting of the variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.

This finding can be made in that the proposed public library building will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties and will meet all current setbacks in the zone district other than minor encroachments of its roof eaves into rear, side, and front setbacks. The permitted building height limit is 35 feet and three stories in the PF zone district. This is a proposal for a one-story building with a maximum height of 22.5 feet at the roof peak, 12.5 feet below the allowed height maximum. Though the project proposes a reduction of the required setbacks, the structure will not result in adverse impacts to sight distance or impede traffic. The proposed setback encroachments are not expected to be materially detrimental to public health safety or welfare, or injurious to property or improvements in the vicinity.

3. That the granting of such variances shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.

This finding can be made, in that the project would not constitute a grant of special privileges in that the project would comply with all site standards for the zone district, with exception of minor encroachment of roof eaves into setbacks. In all, the project design is appropriate for a public library and is compatible with the visual character of the neighborhood and is consistent with the density and intensity of the area. The roof eaves as designed further the goals of SCCC Section 13.10.323(B)(2) in that they reduce visual massing and draw the roof line even lower to grade, protecting privacy of adjacent residential properties. Other parcels in the PF zone district similarly constrained by parcel width and surrounding residential uses would be eligible for a variance, therefore the granting of the variances would not be a grant of special privileges.

Conditions of Approval

Exhibit D: Project plans, prepared by Anderson Brule Architects, dated July 14, 2021.

- I. This permit authorizes the construction of a public library measuring approximately 12,490 gross square feet in size as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
 - C. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - D. Obtain a Grading Permit from the Santa Cruz County Building Official.
 - E. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Planning Department review

and approval.

3. Grading, drainage, and erosion control plans.
 4. Details showing compliance with fire department requirements. If the proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
 - C. Meet all requirements of the County Department of Public Works, Road Engineering Division.
 - D. All off-site improvements shall be designed in conformance with County Department of Public Works requirements.
 - E. Meet all requirements of the Soquel Creek Water District. Proof of water service availability is required prior to application for a Building Permit.
 - F. Meet all requirements of the Santa Cruz County Sanitation District. Proof of sanitary sewer service availability is required prior to application for a Building Permit.
 - G. Meet all requirements of the County Department of Environmental Health Services.
 - H. Meet all requirements of the Environmental Planning section of the Planning Department, including the following:
 1. Submit an arborist plan review letter from the project arborist for review and approval at the time of building permit submittal.
 2. A pre-construction meeting prior to the start of any demolition work shall be arranged by the project contractor. The following people shall be in attendance: project geotechnical engineer, project arborist, grading contractor and County Resource Planner from the Environmental Planning Section (Robert Loveland 831 454-3163).
 - I. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
 - J. Submit 3 copies of plan review letters prepared and stamped by the project Geotechnical Engineer.

- K. Pay the current fees for Roadside and Transportation improvements for 19 additional daily trips. Currently, these fees are, respectively, \$300 and \$300 per additional daily trip. Off-site improvements constructed by the project are eligible for TIA fee credit at the unit fee amounts specified in the Unified Fee Schedule.
 - L. Provide required off-street parking for a minimum of 42 cars. A minimum of 38 total parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - M. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- IV. Operational Conditions
- A. Master Site Plan: The proposed library building, and associated uses are authorized as a Master Site Plan approved for the Aptos Branch Library.
 - 1. Future site and facility development permits, when applied for pursuant to the approved master site plan, may be processed as a Level III Master Site Plan Amendment Permit review. Planning staff may also elevate a request for Master Site Plan Amendment review to a Level IV review if public notice is warranted.

2. Any permitted sign lighting shall be unobtrusive to adjacent properties and any glare shall be directed onto the site. Illuminated signs that would be visible from residential properties are prohibited. Where sign lighting is permitted on site, only indirect illumination or low-intensity interior illumination shall be used. Where allowed on-site, illumination of any signs is only permitted during open business hours. Illumination of signs is prohibited when the library is closed.

B. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.

B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:

1. COUNTY bears its own attorney's fees and costs; and
2. COUNTY defends the action in good faith.

C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of

any of the terms or conditions of the development approval without the prior written consent of the COUNTY.

- D. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Planning Commission, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.



APTOS BRANCH LIBRARY

7695 SOQUEL DRIVE
APTOS, CA 95003

PLANNING RESUBMITTAL #3
NOVEMBER 17, 2021

COUNTY STAMP AND ISSUANCE



ANDERSON BRUHL
ARCHITECTS
325 South First Street, Suite 100
San Jose, California 95113
408.282.1100
www.andersonbruhl.com
CONSULTANTS (p.04)

EXHIBIT D

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021



NO.	DATE	REVISIONS

PROJECT TITLE
APTOS BRANCH LIBRARY
7695 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 2006693
DATE 7/14/21
SHEET TITLE

COVER SHEET

SCALE
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SANTA CRUZ COUNTY GRADING NOTES

- NO LAWN CLIPPING, BAKING, OR EXHAUSTING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS A SPECIAL BURNING PERMIT IS OBTAINED FROM THE PLANNING DIRECTOR.
- NO LAWN DISTRIBUTION SHALL TAKE PLACE FROM THE RESULT OF GRADING, EXCEPT THE RESULT OF GRADING OPERATIONS CONDUCTED BY THE PLANNING DIRECTOR.
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CONSTRUCTION EQUIPMENT EMISSION STANDARDS

- ALL CONSTRUCTION EQUIPMENT SHALL BE OPERATED IN ACCORDANCE WITH THE CURRENT EDITION OF THE COUNTY OF SANTA CRUZ LOCAL ORDINANCE.
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SANTA CRUZ COUNTY GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE REQUIREMENTS IN THE CURRENT EDITION OF THE COUNTY OF SANTA CRUZ LOCAL ORDINANCE.
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SANTA CRUZ COUNTY SANITATION DISTRICT GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE REQUIREMENTS IN THE CURRENT EDITION OF THE COUNTY OF SANTA CRUZ LOCAL ORDINANCE.
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EXHIBIT D



ANDERSON BROSIE
ARCHITECTS
300 South First Street, Suite 400
San Jose, California 95113
Tel: (408) 291-1111
Fax: (408) 291-1112
P.L.A.C.E. NO. 2007



**PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021**

**NOT FOR
CONSTRUCTION**

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PROJECT TITLE
**APTOS BRANCH
LIBRARY**
7695 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 2006050
DATE 11/02/2021
SHEET TITLE

SCALE
C1.1



ANDERSON BULLS
ARCHITECTS
322 South First Street, Suite 400
San Jose, California 95113
408.281.1111
www.andersonbulls.com



3500 SOQUEL AVE, SUITE 101
SAN JOSE, CA 95135
TEL (408) 248-5113
WWW.IRELANDENGINERS.COM
E:LAND@ENR.NC.20027

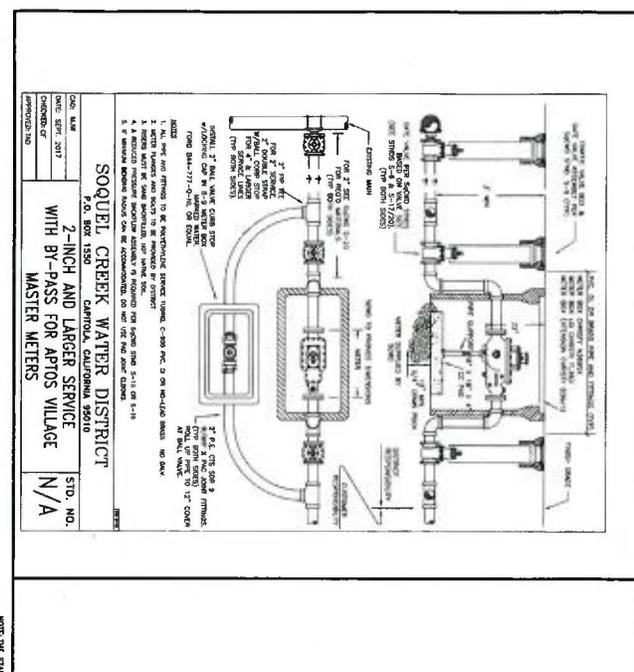
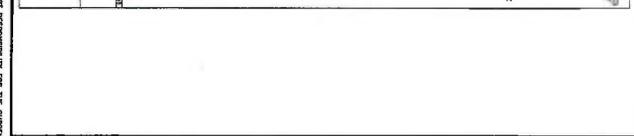
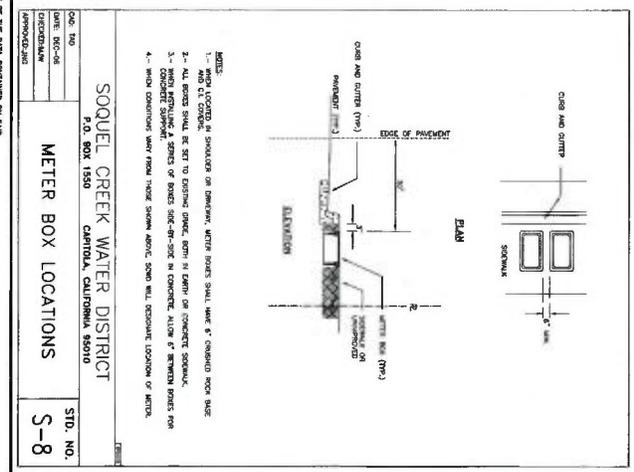
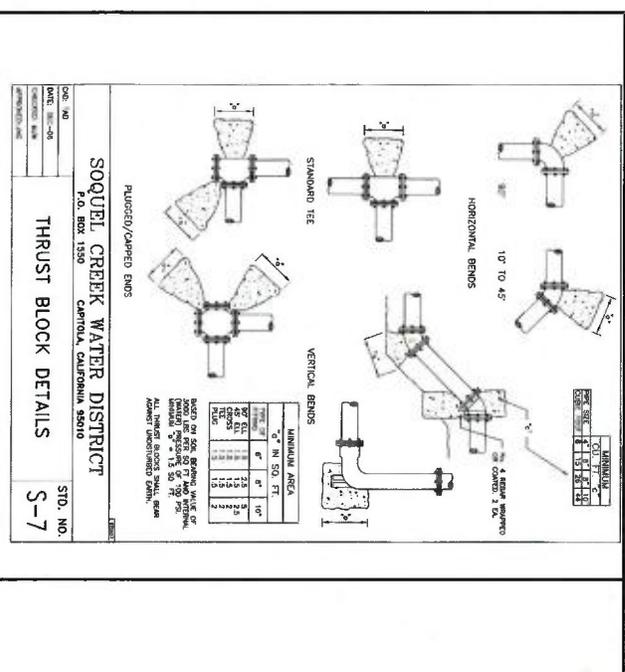
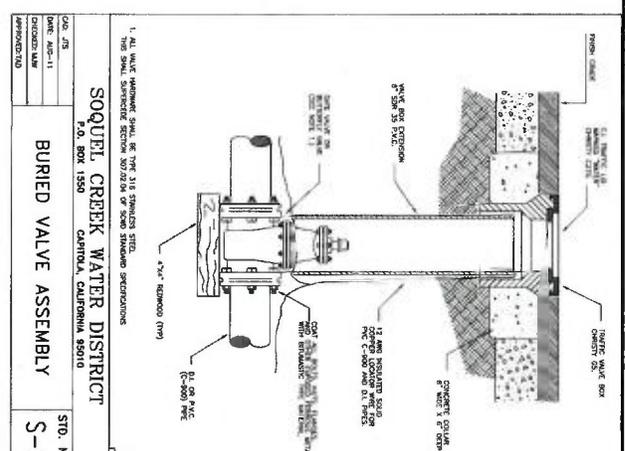
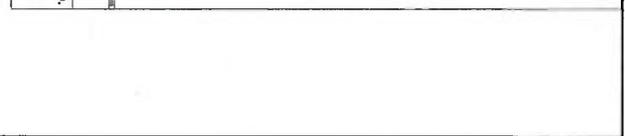
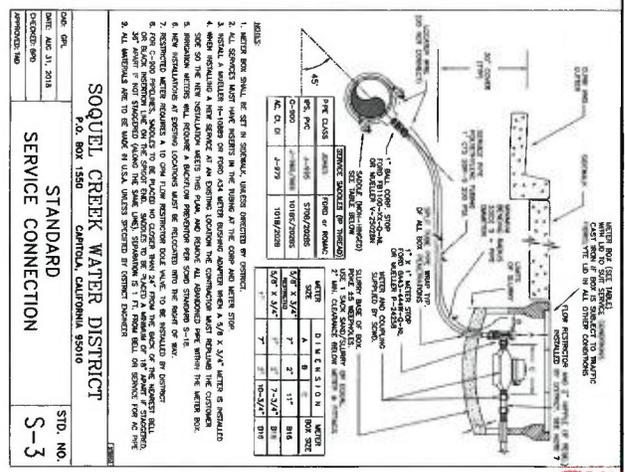
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REUBENHITZL #3
NOVEMBER 17, 2021

NOT FOR CONSTRUCTION

PROJECT TITLE
APTOS BRANCH LIBRARY
7695 SOQUEL DR.
APTOS, CA 95003

NO.	DATE	REVISIONS

SCALE
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NOTE: THE STANDARD DETAILS ON THIS SET ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR DOES NOT ACCEPT RESPONSIBILITY FOR THE CORRECTNESS OF THE DATA CONTAINED ON THIS SET OF DETAILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.



ANDERSON BAULS
ARCHITECTS

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San Jose, California 95113
408.263.5933 | www.andersonbaus.com

CONSULTANTS LOGO



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SAN JOSE, CA 95135
TEL: (408) 268-5115
WWW.DEIPLANDENGINEERS.COM
PLAND 208101.20027

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

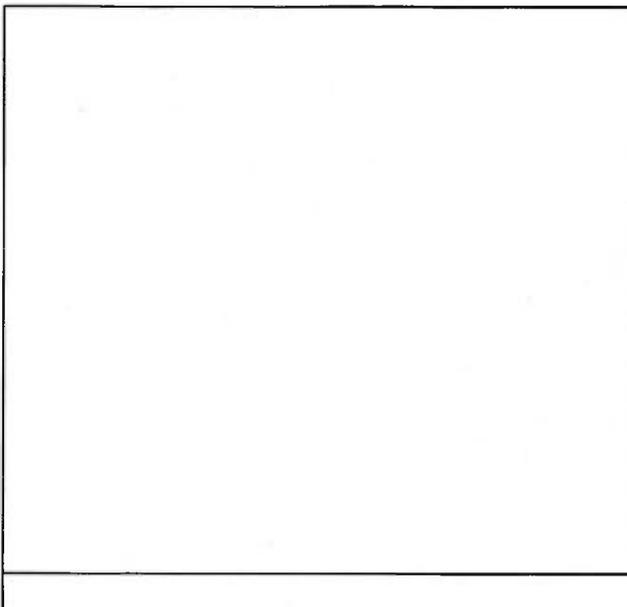
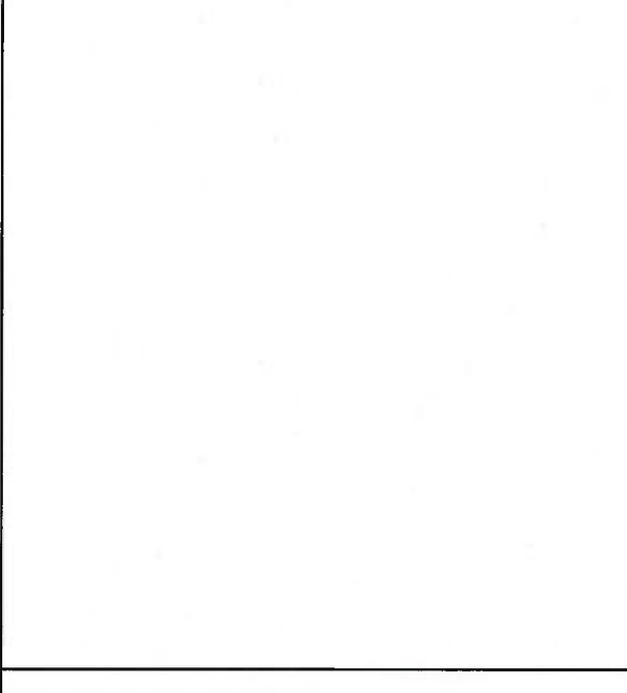
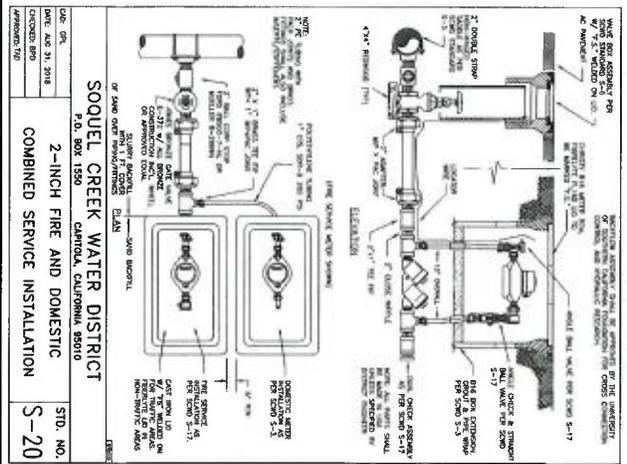
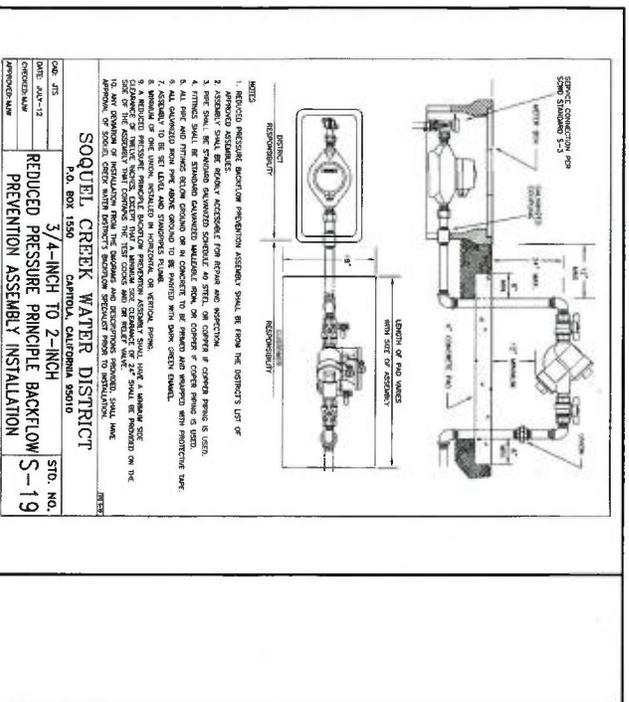
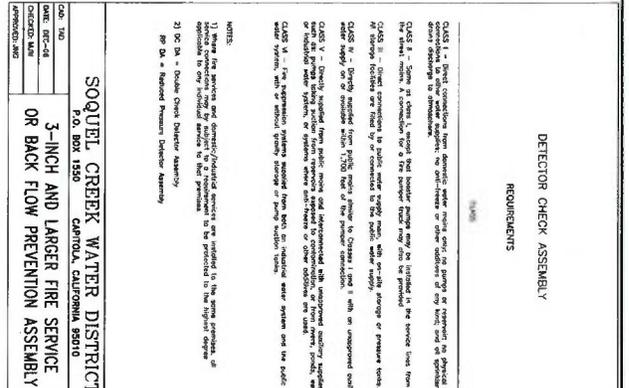
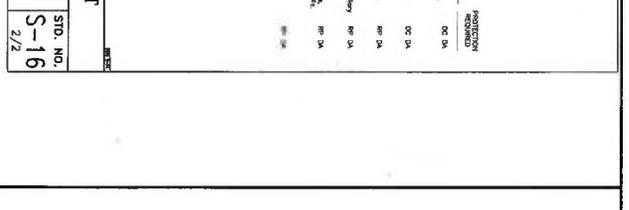
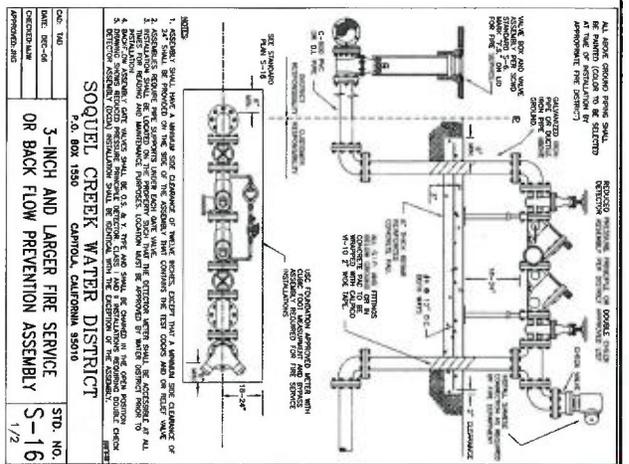
NOT FOR CONSTRUCTION

NO.	DATE	REVISIONS

PROJECT TITLE
APTOS BRANCH
LIBRARY
7696 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 2006659
DATE 1/16/2021
SHEET TITLE
SCWD
DETAILS

SCALE
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NOTE: THE DRAWING OFFICE FOR THIS PROJECT HAS THE RESPONSIBILITY FOR THE CORRECTNESS OF THE DIMENSIONS. THE DESIGNER HAS THE RESPONSIBILITY FOR THE CORRECTNESS OF THE DIMENSIONS. THE DESIGNER HAS THE RESPONSIBILITY FOR THE CORRECTNESS OF THE DIMENSIONS. THE DESIGNER HAS THE RESPONSIBILITY FOR THE CORRECTNESS OF THE DIMENSIONS. THE DESIGNER HAS THE RESPONSIBILITY FOR THE CORRECTNESS OF THE DIMENSIONS.



ANDERSON BRUL & ARCHITECTS
320 South Third Street, 4th Floor
San Francisco, CA 94107
415.774.2000
www.andersonbrul.com



5000 SOMERSET AVE, SUITE 101
SAN FRANCISCO, CA 94116
TEL: (415) 424-5113
FAX: (415) 424-1194
E-MAIL: IRELAND@IRELANDENGINERS.COM
E-MAIL: 20007

CONSULTANTS LOGO

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

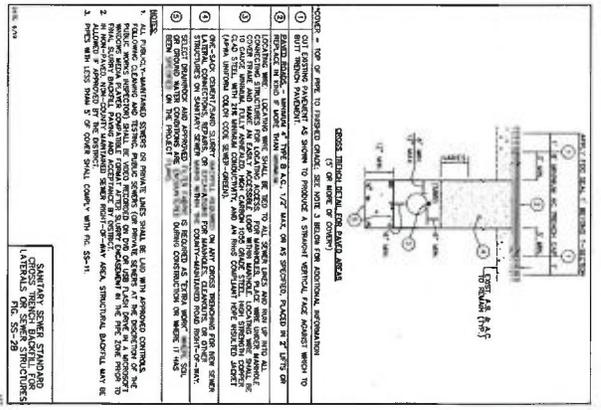
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PROJECT TITLE
APTOS BRANCH
LIBRARY
7895 SOQUEL DR.
APTOS, CA 95003

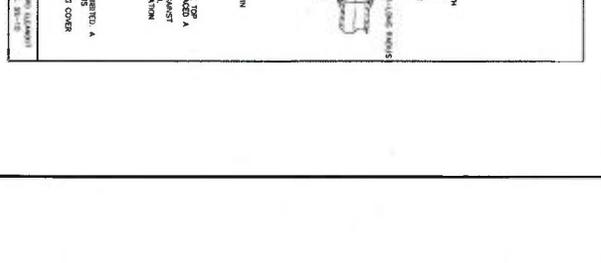
PROJECT NO. 200409
DATE 11/02/2021
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SCC DETAILS

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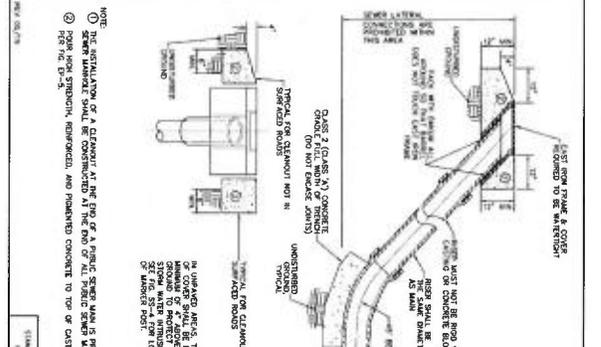
SECTION 1 - TOP OF PIPE TO FINISH GRADE, SEE NOTE 3 BELOW FOR ADDITIONAL INFORMATION

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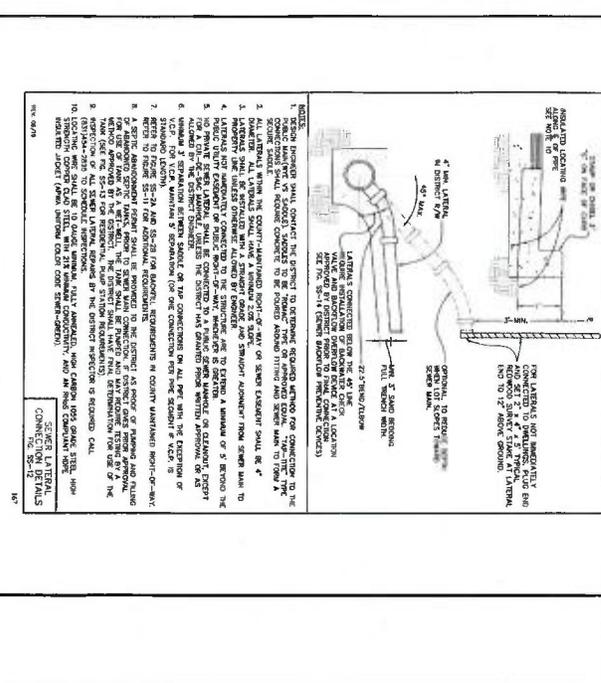
SECTION 2 - FINISH GRADE TO TOP OF CONCRETE SLAB, SEE NOTE 3 BELOW FOR ADDITIONAL INFORMATION

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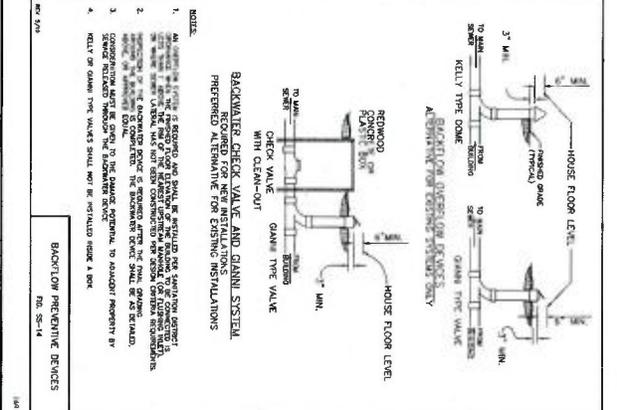
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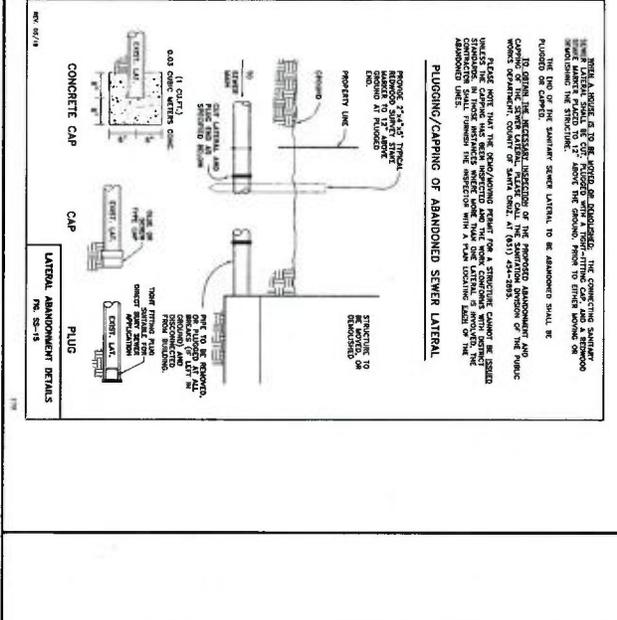
SECTION 4 - FINISH GRADE TO TOP OF CONCRETE SLAB, SEE NOTE 3 BELOW FOR ADDITIONAL INFORMATION

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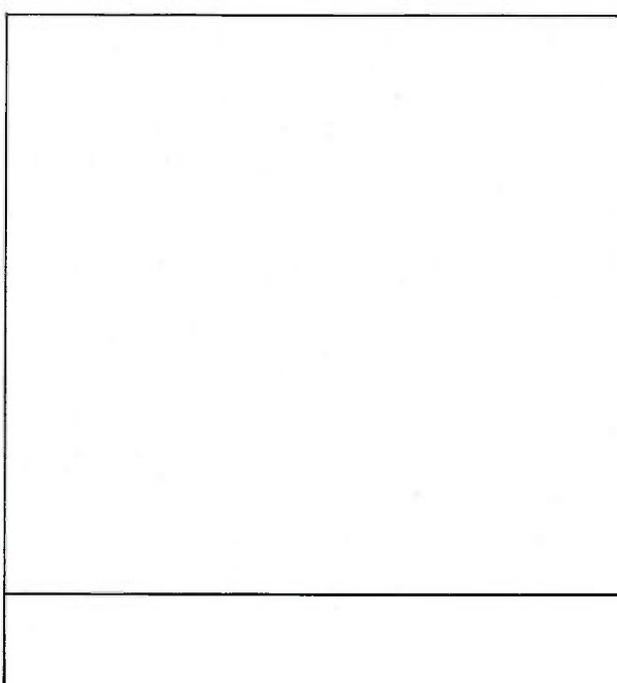
SECTION 5 - FINISH GRADE TO TOP OF CONCRETE SLAB, SEE NOTE 3 BELOW FOR ADDITIONAL INFORMATION

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5. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
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7. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
8. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
9. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
10. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO



SECTION 6 - FINISH GRADE TO TOP OF CONCRETE SLAB, SEE NOTE 3 BELOW FOR ADDITIONAL INFORMATION

1. ALL FINISH GRADES SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
2. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
3. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
4. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
5. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
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7. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
8. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
9. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
10. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO



SECTION 7 - FINISH GRADE TO TOP OF CONCRETE SLAB, SEE NOTE 3 BELOW FOR ADDITIONAL INFORMATION

1. ALL FINISH GRADES SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
2. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
3. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
4. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
5. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
6. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
7. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
8. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
9. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO
10. FINISH GRADE SHALL BE FINISHED TO PRODUCE A SMOOTH, UNIFORM, TRUE ADJUST WHICH TO

NOTE: THE STANDARD DETAILS ON THIS SHEET ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE DATA CONTAINED ON EACH DETAIL AND PROVIDE THE CONTRACTOR TO OBTAIN CLIENT CONSENT FOR USE ON THE PROJECT. SHOULD ANY DISCREPANCIES BECOME EVIDENT BETWEEN THESE PLANS AND THE CURRENT DETAIL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION.



ANDERSON BULL
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SAN DIEGO, CA 92108
TEL (619) 224-5515
FAX (619) 499-1785
IRLAND_098101_2007



PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

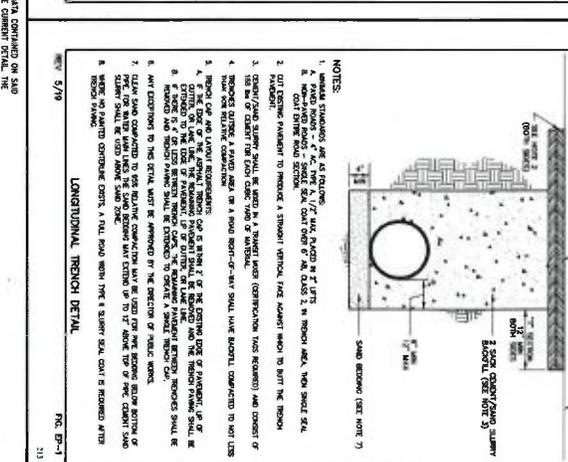
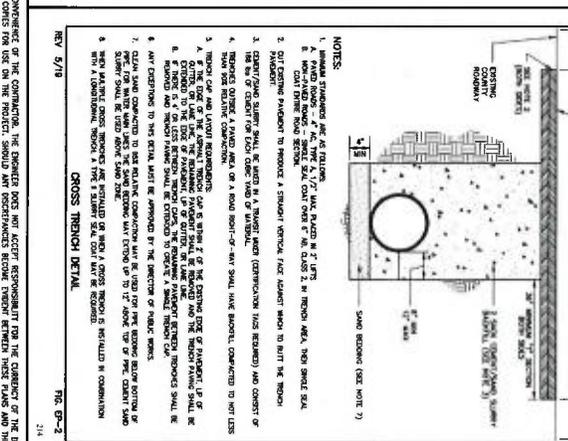
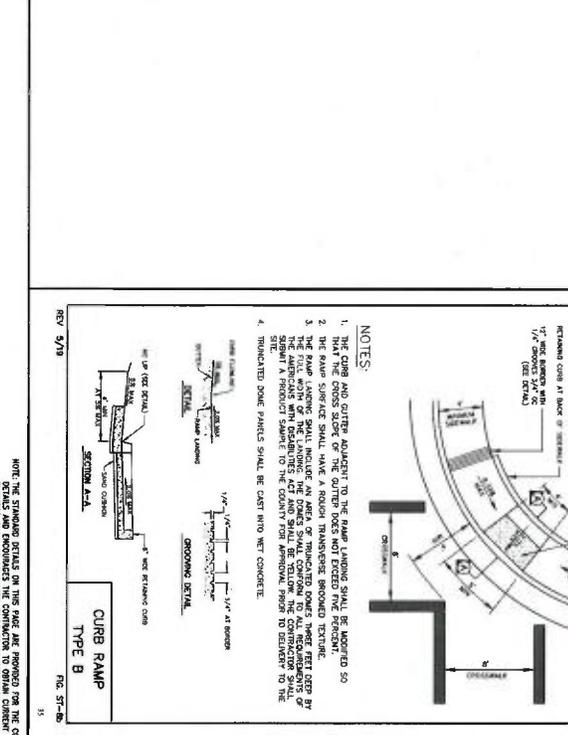
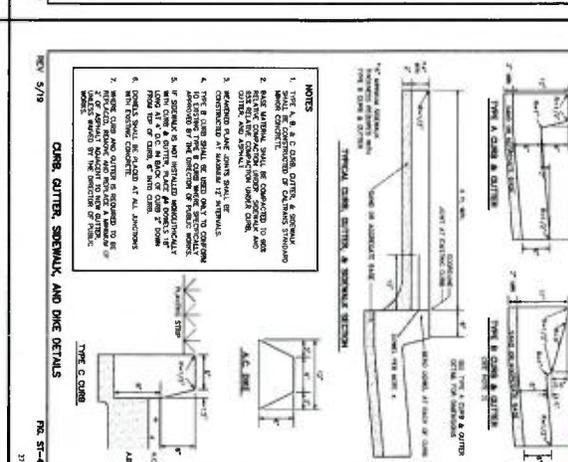
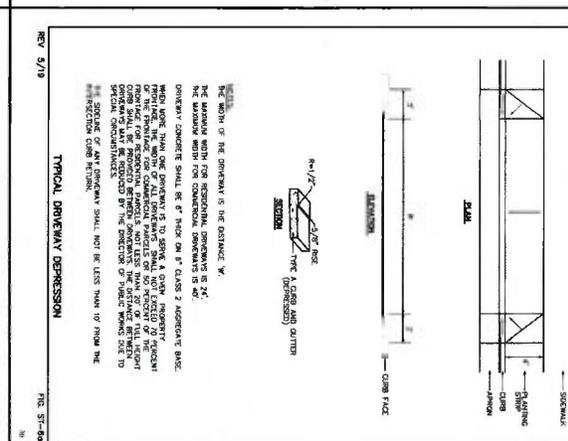
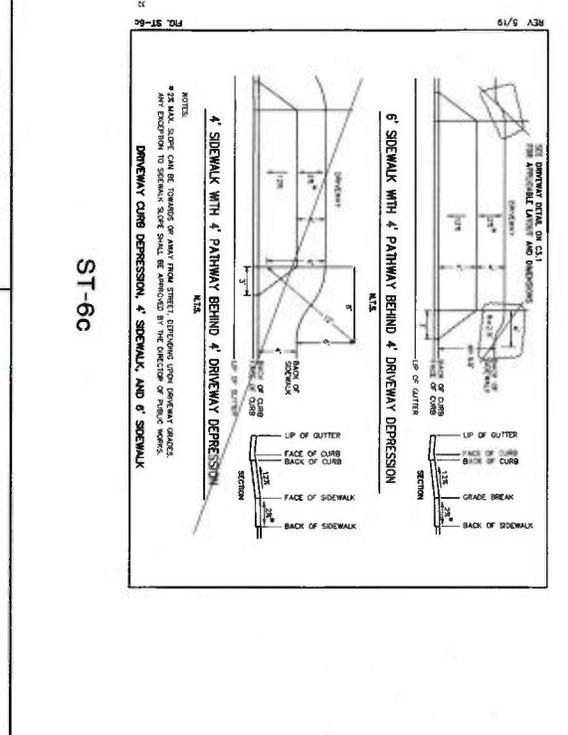
NOT FOR CONSTRUCTION

NO.	DATE	REVISIONS

PROJECT TITLE
APTOS BRANCH
LIBRARY
7899 SQUEL DR.
APTOS, CA 95003

PROJECT NO. 200600
DATE 11/02/21
SHEET TITLE
SCC DETAILS

SCALE
C2.3



NOTES:
1. THE STANDARD DETAILS ON THIS SHEET ARE PROVIDED FOR THE CONSTRUCTION OF THE CURB AND DRIVEWAY DEPRESSIONS. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND MAKE ANY NECESSARY ADJUSTMENTS TO THE DETAILS TO ACCOMMODATE THE EXISTING CONDITIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.



ANDERSON BULLI ARCHITECTS

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WWW.IRELANDENGINEERS.COM
ISO 9001:2015 NO. 2007

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

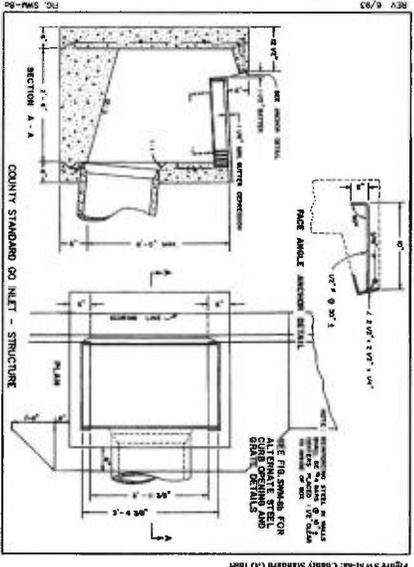
NOT FOR CONSTRUCTION

NO.	DATE	REVISIONS

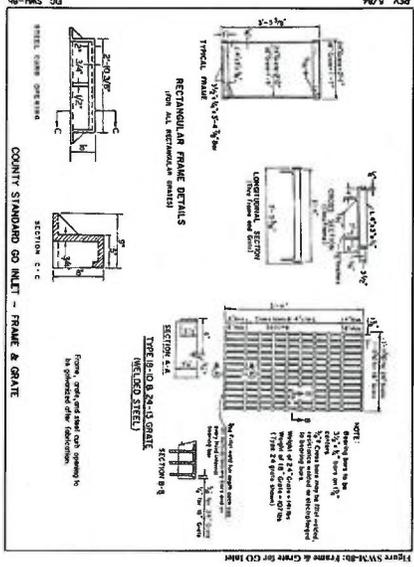
PROJECT TITLE
APTOS BRANCH LIBRARY
7695 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 2004691
DATE 11/02/2021
SHEET TITLE
SCC DETAILS

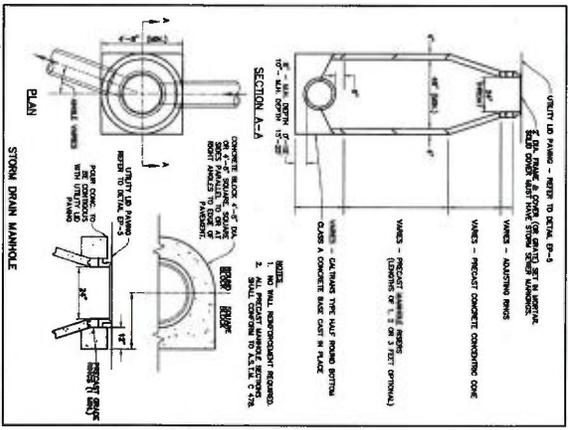
SCALE
C2.4



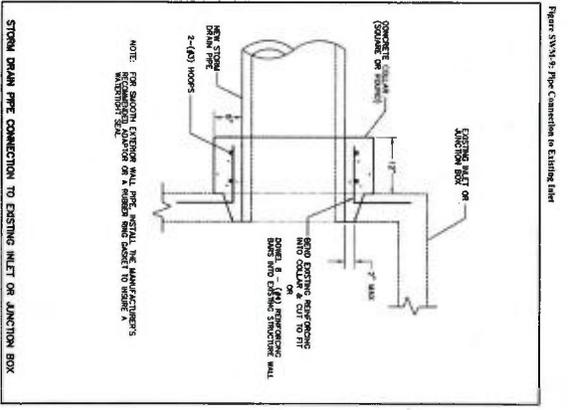
SWM-8a



SWM-8b



SWM-8c



SWM-8d

NOTE: THE DRAWING DETAILS OF THIS SHEET ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE DATA CONTAINED IN THIS SHEET AND FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION.



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IFLAND CA310.2007



PLANNING
RESUBMITAL #3
NOVEMBER 17, 2021

NOT FOR CONSTRUCTION

NO.	DATE	REVISIONS

PROJECT TITLE
APTOS BRANCH
LIBRARY
7895 SQUALE DR.
APTOS, CA 95003

PROJECT NO. 2006050
DATE 11/02/21
SHEET TITLE ON-SITE
DETAILS

SCALE C2.5

5

CURB AND GUTTER
M/S

NOTES:

- REMOVE 1/2" CONSTRUCTION EXPANSION JOINTS AT 10' O.C. INSTALL 1/4" ASPHALT CHAMFER TO MATCH EXISTING CURBS AT 10' O.C. AND AT ALL CURB EXTENSIONS AND CHANGES IN DIRECTION.
- TOP AND FRONT OF CURB AND GUTTER TO BE FINISH BRUSH AFTER TROWELLING, BRUSHING TO BE FINISHED TO LINE OF CURB.
- SET SLOPE REPORT FOR CONSTRUCTION REQUIREMENTS SPECIFIC CURB.
- SUBGRADE CONSTRUCTION AND CONSTRUCTION SHALL BE PERFORMED UNDER THE SUPERVISION OF THE SOILS ENGINEER.
- PERMANENT CURBER CLASS 3 CONCRETE FOR ON-SITE.

6

VERTICAL CURB
M/S

NOTES:

- REMOVE 1/2" CONSTRUCTION EXPANSION JOINTS AT 10' O.C. INSTALL 1/4" ASPHALT CHAMFER TO MATCH EXISTING CURBS AT 10' O.C. AND AT ALL CURB EXTENSIONS AND CHANGES IN DIRECTION.
- TOP AND FRONT OF CURB AND GUTTER TO BE FINISH BRUSH AFTER TROWELLING, BRUSHING TO BE FINISHED TO LINE OF CURB.
- SET SLOPE REPORT FOR CONSTRUCTION REQUIREMENTS SPECIFIC CURB IF DIFFERENT FROM STANDARD CURB.
- SUBGRADE CONSTRUCTION AND CONSTRUCTION SHALL BE PERFORMED UNDER THE SUPERVISION OF THE SOILS ENGINEER.
- FOR JAWS NEXT TO EXISTING ROADWAY, ROAD STRIPS MAY BE SUBSTITUTED WITH STRIPS 1" WIDE (1" MIN. DEPTH) OR (1 1/2" MIN. DEPTH TO EXISTING SUBGRADE)
- PERMANENT CURBER CLASS 3 CONCRETE FOR ON-SITE.

7

FLASH CURB
M/S

NOTES:

- REMOVE 1/2" CONSTRUCTION EXPANSION JOINTS AT 10' O.C. INSTALL 1/4" ASPHALT CHAMFER TO MATCH EXISTING CURBS AT 10' O.C. AND AT ALL CURB EXTENSIONS AND CHANGES IN DIRECTION.
- TOP AND FRONT OF CURB TO BE FINISH BRUSH AFTER TROWELLING, BRUSHING TO BE FINISHED TO LINE OF CURB.
- SET SLOPE REPORT FOR CONSTRUCTION REQUIREMENTS SPECIFIC CURB.
- SUBGRADE CONSTRUCTION AND CONSTRUCTION SHALL BE PERFORMED UNDER THE SUPERVISION OF THE SOILS ENGINEER.
- FOR JAWS NEXT TO EXISTING ROADWAY, ROAD STRIPS MAY BE SUBSTITUTED WITH STRIPS 1" WIDE (1" MIN. DEPTH) OR (1 1/2" MIN. DEPTH TO EXISTING SUBGRADE)
- PERMANENT CURBER CLASS 3 CONCRETE FOR ON-SITE.

8

TAPER CURB
M/S

NOTES:

- REMOVE 1/2" CONSTRUCTION EXPANSION JOINTS AT 10' O.C. INSTALL 1/4" ASPHALT CHAMFER TO MATCH EXISTING CURBS AT 10' O.C. AND AT ALL CURB EXTENSIONS AND CHANGES IN DIRECTION.
- TOP AND FRONT OF CURB AND GUTTER TO BE FINISH BRUSH AFTER TROWELLING, BRUSHING TO BE FINISHED TO LINE OF CURB.
- SET SLOPE REPORT FOR CONSTRUCTION REQUIREMENTS SPECIFIC CURB.
- SUBGRADE CONSTRUCTION AND CONSTRUCTION SHALL BE PERFORMED UNDER THE SUPERVISION OF THE SOILS ENGINEER.

1

CATCH BASIN
M/S

NOTES:

- ALL GRATES WITHIN DRIVE LANE'S AND WALKWAYS SHALL BE THICKER DRAINING.

2

CONCRETE MANHOLE
M/S

NOTES:

- PROJECT MANHOLE TO CONFORM TO ASTM C-446.
- REINFORCED STEEL TO BE CALIBRATED FROM STEEL.
- ALL JOINTS SHALL BE COATED WITH 1/2" MINIMUM HOT OIL SCALED.
- MANHOLE HEIGHT: 12", 14", 16", 18", 20", 24", 30", 36", 42", 48"

3

CLEANOUT TO GRADE
M/S

NOTES:

- MANHOLE TO BE CONFORM TO ASTM C-446.
- REINFORCED STEEL TO BE CALIBRATED FROM STEEL.
- ALL JOINTS SHALL BE COATED WITH 1/2" MINIMUM HOT OIL SCALED.
- MANHOLE HEIGHT: 12", 14", 16", 18", 20", 24", 30", 36", 42", 48"

4

TRENCH DETAIL FOR PRIVATE ON-SITE
M/S

NOTES:

- REINFORCEMENT AND SUBGRADE MATERIAL SHALL BE 1/2" DIAMETER OR EQUIVALENT TO THE PERMANENT STRUCTURE'S REQUIREMENTS. ALL REINFORCEMENT SHALL BE SUBJECT TO APPROVAL OF THE GEOTECHNICAL ENGINEER.
- FOR SLOPE RELATIVE CONSTRUCTION IF NO SLOPE REPORT EXISTS, IT SHALL BE 1:1.
- FOR SLOPE RELATIVE CONSTRUCTION IF NO SLOPE REPORT EXISTS, IT SHALL BE 1:1.



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FAX (408) 282-7155
IPLAND-0301-NOV-2022



PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

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NO.	DATE	REVISIONS

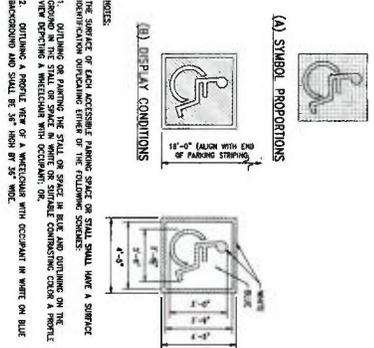
PROJECT TITLE

APTOS BRANCH
LIBRARY
7896 SOQUEL DR
APTOS, CA 95003

PROJECT NO. 200689
DATE 11/02/21
SHEET TITLE

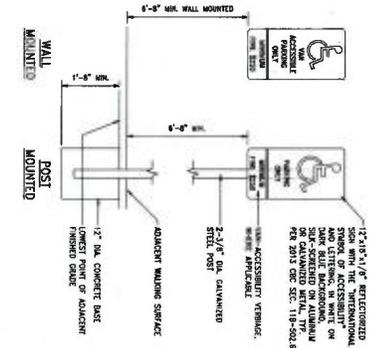
ON-SITE
DETAILS

C2.7



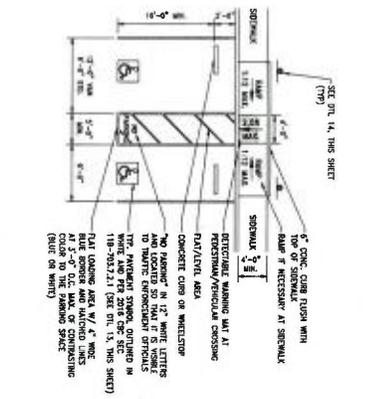
ACCESSIBLE PARKING STALL & PARKING SIGNS PART 3

17



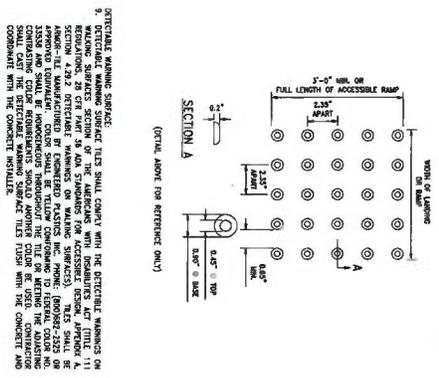
ACCESSIBLE PARKING STALL & PARKING SIGNS PART 2

18



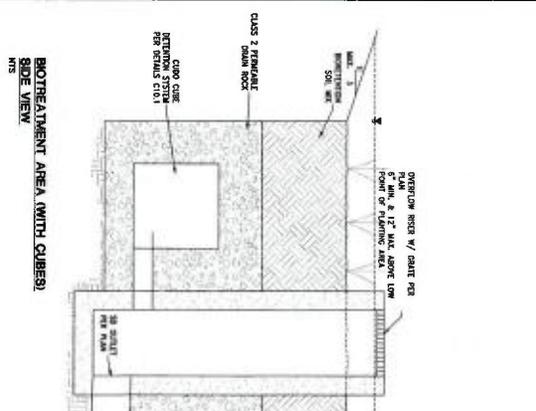
ACCESSIBLE PARKING STALL & PARKING SIGNS PART 1

19



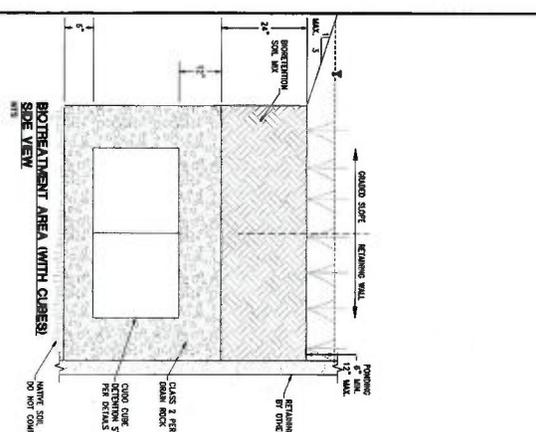
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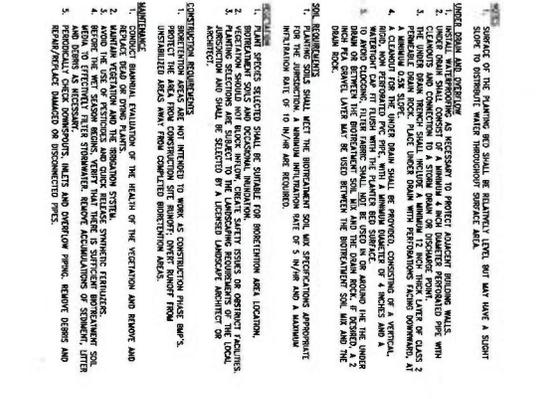
BOTREATMENT AREA (WITH CURB)

21



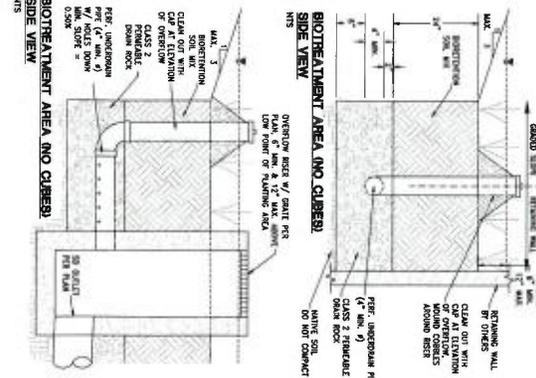
BOTREATMENT AREA (WITH CURB)

22



BOTREATMENT AREA AND CURB

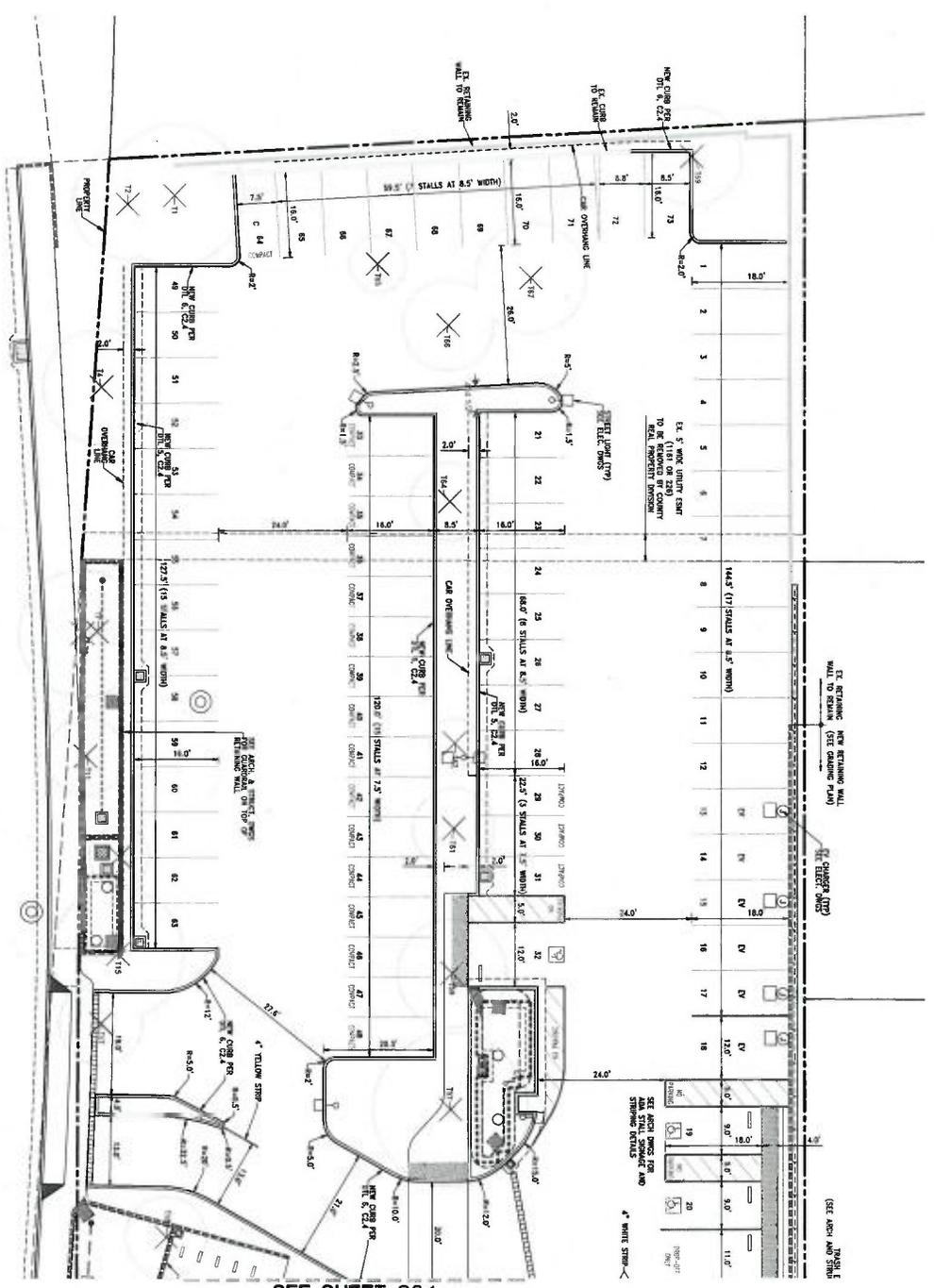
23



BOTREATMENT AREA AND CURB

24

NOTE: SEE DETAILS ON THIS PAGE AND FOR ON-SITE IMPROVEMENTS ONLY. SEE SHEETS C2.3 THROUGH C2.4 FOR OFF-SITE IMPROVEMENT DETAILS.



SOQUEL DRIVE

SEE SHEET C3.1

EXHIBIT D



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 IRLAND_CSN@GMAIL.COM



PLANNING RESUBMITTAL #3
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NO.	DATE	REVISIONS
1	11/17/2021	ISSUED FOR PERMITS
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT TITLE

APTOS BRANCH LIBRARY

7695 SOQUEL DR.
 APTOS, CA 95003

PROJECT NO. 2004095
 DATE 11/03/2021
 SHEET TITLE

SITEPLAN (NORTH)

SCALE
 1" = 10'-0"

C3.0

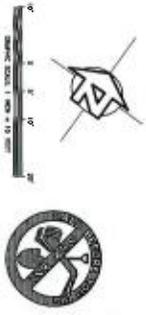


EXHIBIT D



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Fax: (714) 751-1101

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IRVINE, CA 92614
TEL: (949) 428-5312
FAX: (949) 428-1782
IRVINE, CA 92614



100% DESIGN
DEVELOPMENT SET

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NO.	DATE	REVISIONS

PROJECT TITLE

**APTOS BRANCH
LIBRARY**

7695 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 2004055

DATE 07/28/07

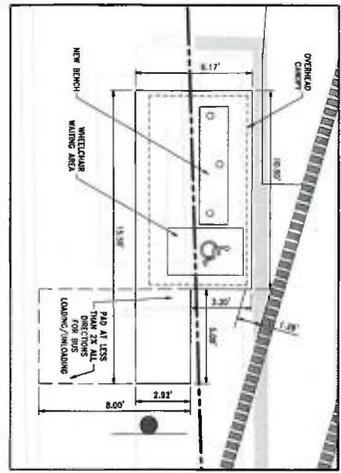
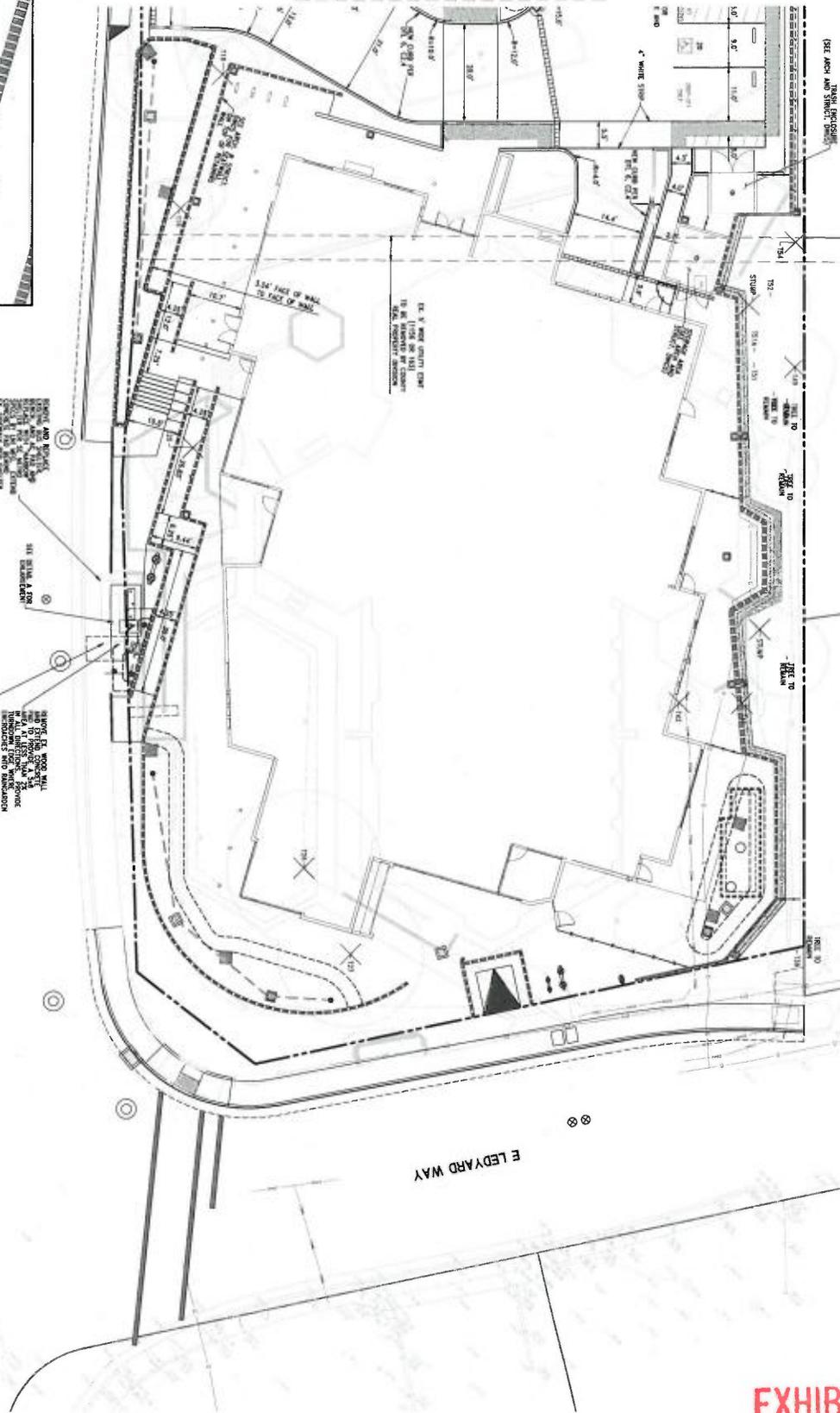
SHEET TITLE

**SITE PLAN
(SOUTH)**

SCALE
GRAPHIC SCALE: 1" = 10'-0"

C3.1

SEE SHEET C3.0



DETAIL A
SCALE: 1" = 5'

EXHIBIT D



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FAX (408) 428-1763
www.irelandengineers.com
P/NOV 03/NOV 2022



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RESUBMITTAL #3
NOVEMBER 17, 2021

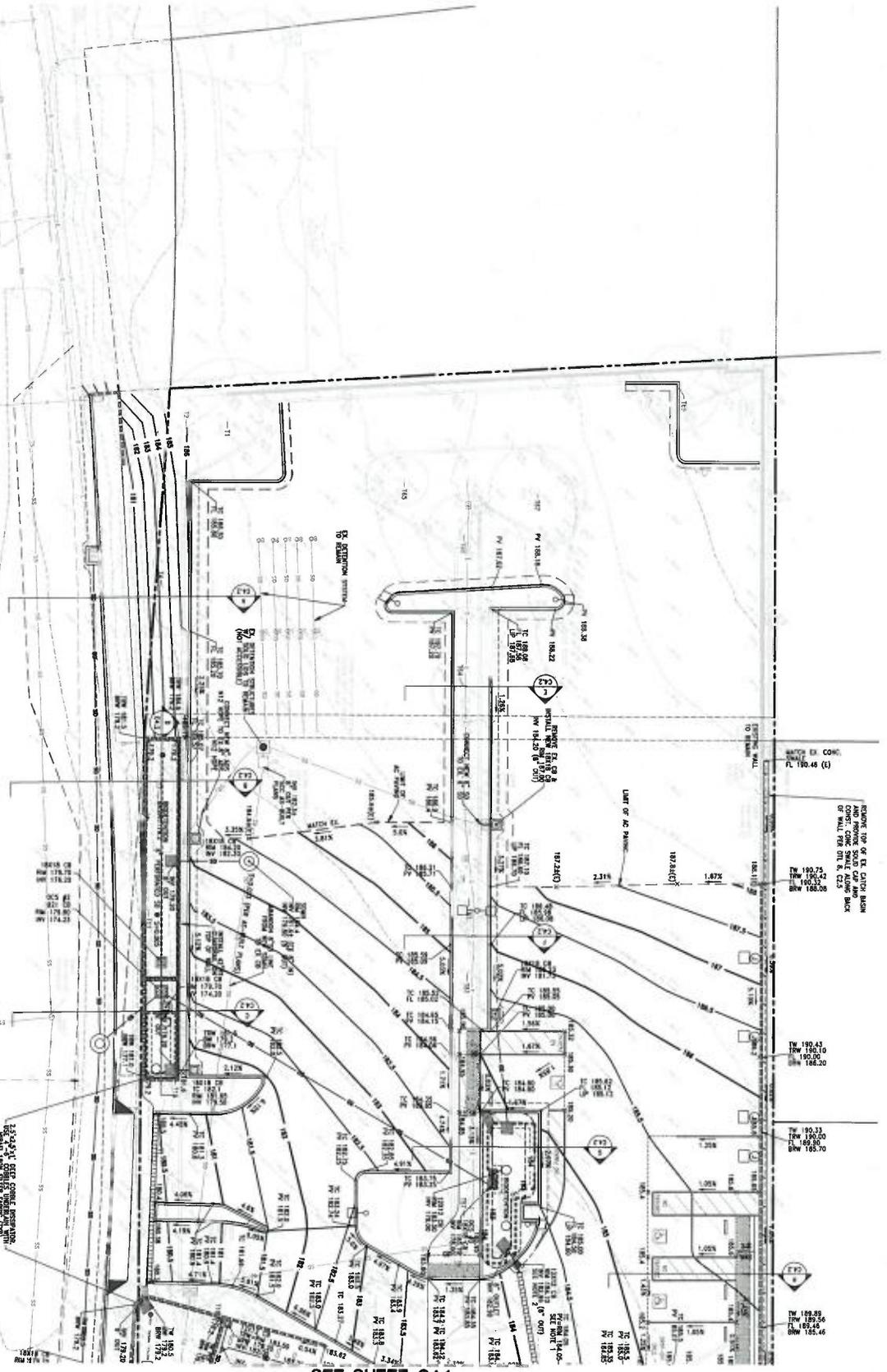
NOT FOR CONSTRUCTION

NO.	DATE	REVISIONS

PROJECT TITLE
**APTOS BRANCH
LIBRARY**
7896 SOQUEL DR.
APTOS, CA 95003

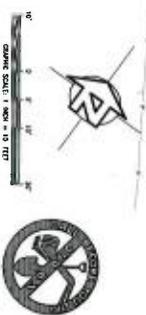
PROJECT NO. 2006059
DATE 11/02/2021
SHEET TITLE
**GRADING &
DRAINAGE
PLAN
(NORTH)**

SCALE
C4.0



SEE SHEETS C6.0 & C6.1 FOR SOQUEL DRIVE IMPROVEMENTS

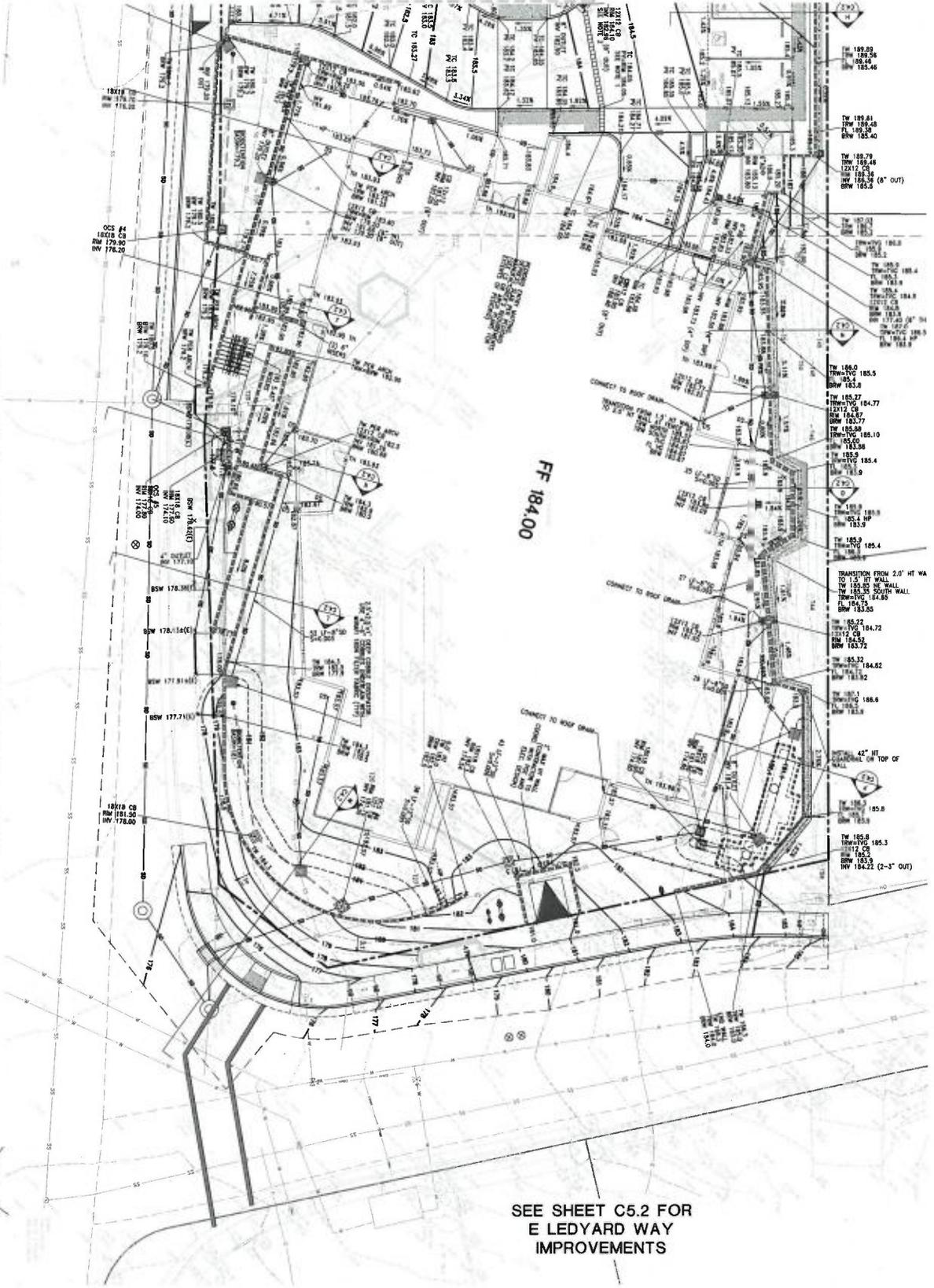
- NOTES:
1. NOTIFY A WISE KING AND DRAIN WITH A/SB INTERNAL SLOPE CONTRACTOR TO CONTACT A/SB DRAIN FOR SHOP DRAWINGS
 2. CONTACT A/SB DRAIN TO CHECK DRAW WITH SCHEDULE 40 PIPE.



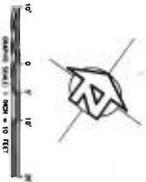
SEE SHEET C4.0

- NOTES:**
1. INSTALL 4" VENT K110 AND DRAIN WITH 0.2% INTERNAL SLOPE. CONTRACTOR TO CONTACT AEC DRAIN FOR SHOP DRAWINGS
 2. CONNECT 4" SHOP DRAIN TO DRAIN MAIN WITH SCHEDULE 40 PIPE

SEE SHEETS C5.0 & C5.1 FOR SOQUEL DRIVE IMPROVEMENTS



SEE SHEET C5.2 FOR E LEDYARD WAY IMPROVEMENTS



SCALE: AS SHOWN

PROJECT NO. 2006050

DATE 11/10/2021

SHEET TITLE GRADING & DRAINAGE PLAN (SOUTH)

C4.1

PROJECT TITLE APTOS BRANCH LIBRARY

7099 SOQUEL DR. APTOS, CA 95003

NO.	DATE	REVISIONS

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PLANNING RESUBMITTAL #3

NOVEMBER 17, 2021



ISLAND ENGINEERS

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DANA POINT, CA 92622
TEL (949) 448-5111
WWW.ISLANDENGINEERS.COM
IFLAND_CAD.DWG, 20072

CONSULTANTS LOGO

ANDERSON BAUSCH ARCHITECTS

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406 20th Street, 10th Floor
SAN FRANCISCO, CA 94104



EXHIBIT D

EXHIBIT D



ANDERSON BRULÉ
ARCHITECTS

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FAX (415) 426-1753
WWW.IRELANDENR.COM
IFLAND_CAD.DWG, 2007



**PLANNING
RESUBMITAL #3
NOVEMBER 17, 2021**

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CONSTRUCTION**

NO.	DATE	REVISIONS

PROJECT TITLE

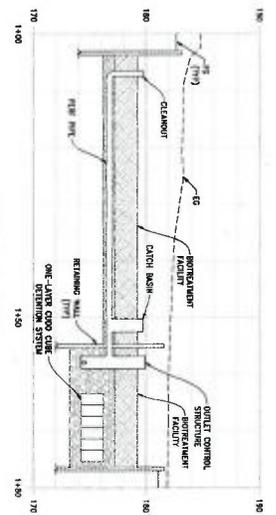
**APTOS BRANCH
LIBRARY**

7695 SQUELE DR.
APTOS, CA 95003

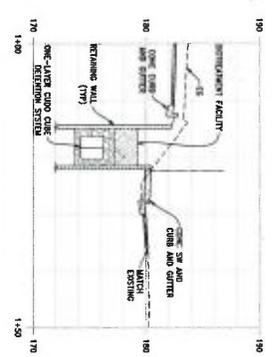
PROJECT NO. 200655
DATE 11/02/2021
SHEET TITLE

**GRADING
CROSS SECTIONS**

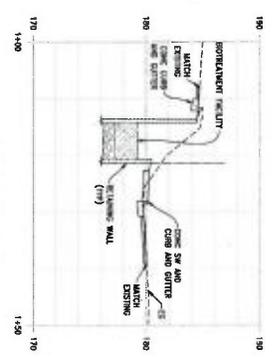
SCALE
VERTICAL SCALE: 1" = 4'-0"
HORIZONTAL SCALE: 1" = 10'-0"
C4.2



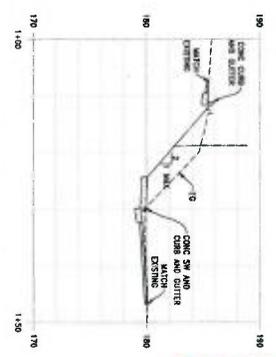
SECTION D PROFILE
SCALE: 1"=10' (H) / 1"=4' (V)



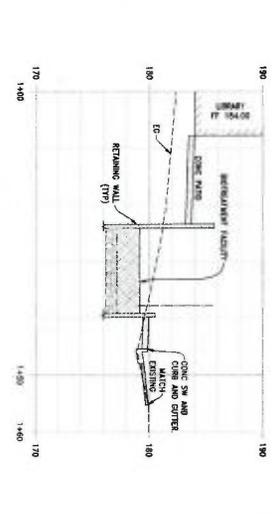
SECTION C PROFILE
SCALE: 1"=10' (H) / 1"=4' (V)



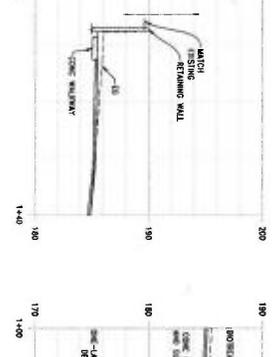
SECTION B PROFILE
SCALE: 1"=10' (H) / 1"=4' (V)



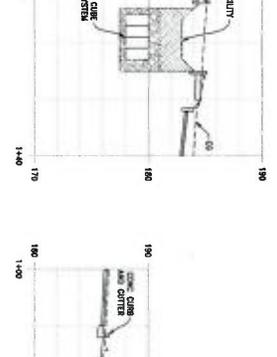
SECTION A PROFILE
SCALE: 1"=10' (H) / 1"=4' (V)



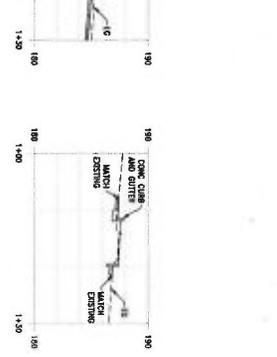
SECTION I PROFILE
SCALE: 1"=10' (H) / 1"=4' (V)



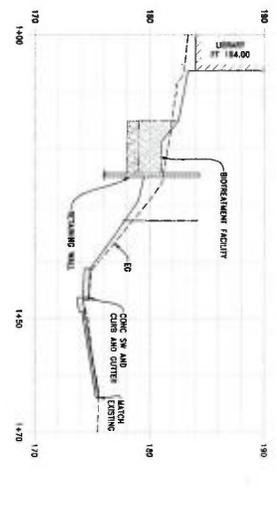
SECTION H PROFILE
SCALE: 1"=10' (H) / 1"=4' (V)



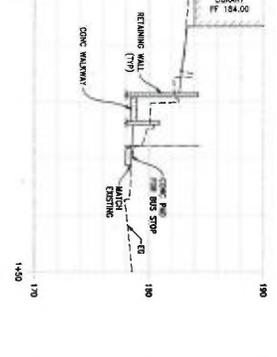
SECTION G PROFILE
SCALE: 1"=10' (H) / 1"=4' (V)



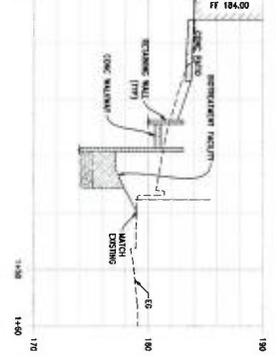
SECTION F PROFILE
SCALE: 1"=10' (H) / 1"=4' (V)



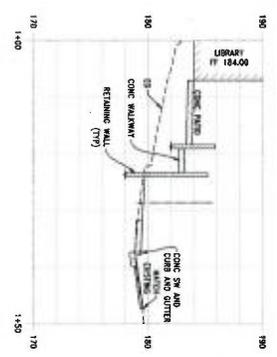
SECTION M PROFILE
SCALE: 1"=10' (H) / 1"=4' (V)



SECTION L PROFILE
SCALE: 1"=10' (H) / 1"=4' (V)



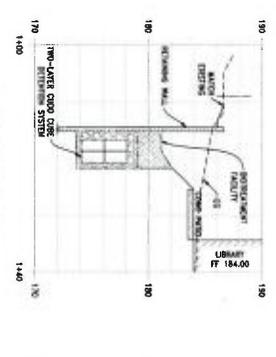
SECTION K PROFILE
SCALE: 1"=10' (H) / 1"=4' (V)



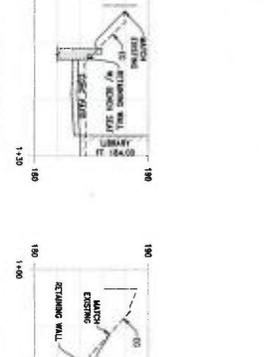
SECTION J PROFILE
SCALE: 1"=10' (H) / 1"=4' (V)



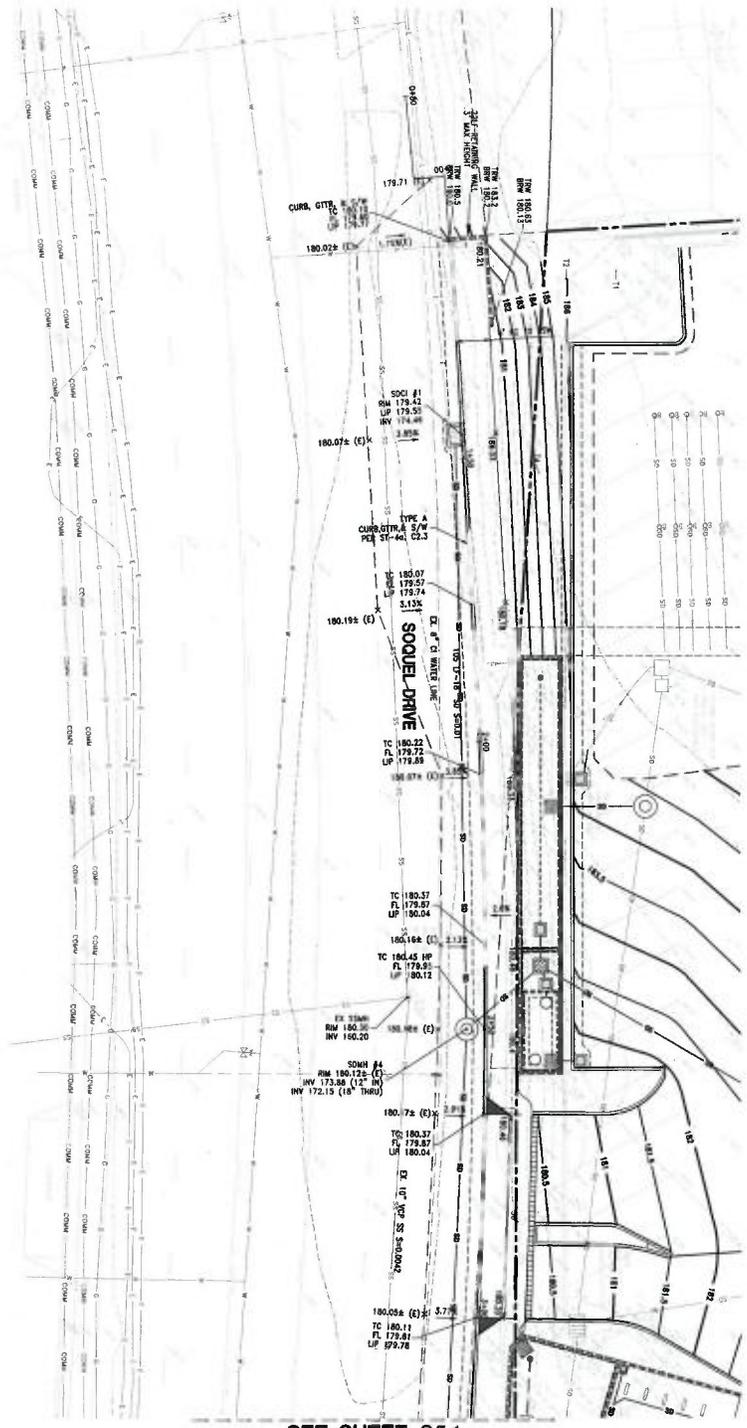
SECTION P PROFILE
SCALE: 1"=10' (H) / 1"=4' (V)



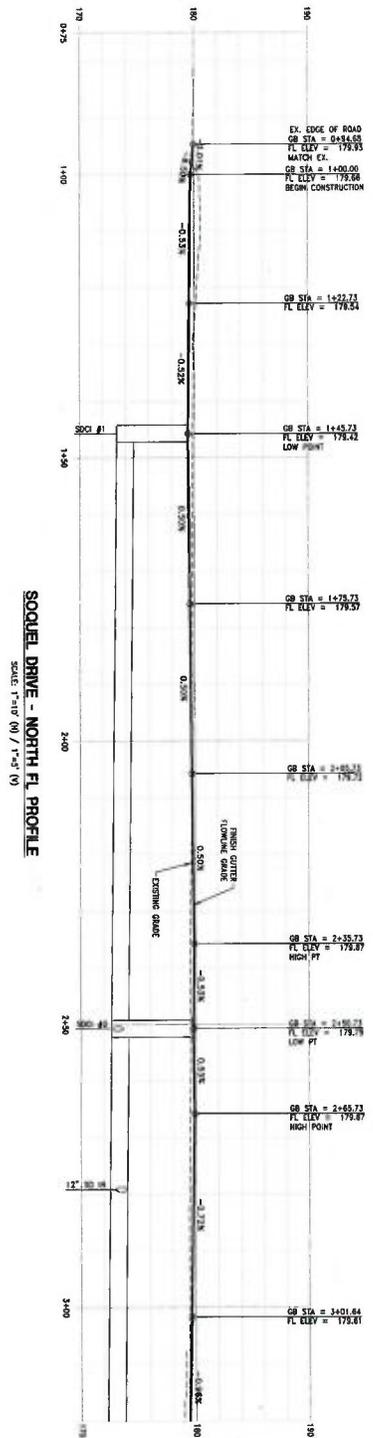
SECTION O PROFILE
SCALE: 1"=10' (H) / 1"=4' (V)



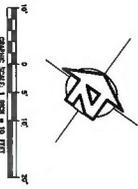
SECTION N PROFILE
SCALE: 1"=10' (H) / 1"=4' (V)



SEE SHEET C5.1



SOQUEL DRIVE - NORTH FL PROFILE
SCALE: 1"=10' (H) / 1"=40' (V)



SCALE
C5.0

PROJECT NO. 2006059
DATE 11/02/07
SHEET TITLE
SOQUEL DR
IMPROVEMENT
PLAN & PROFILE
(NORTH)

PROJECT TITLE
APTOS BRANCH
LIBRARY
7695 SOQUEL DR.
APTOS, CA 95003

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

NOT FOR CONSTRUCTION

PLANNING
RESUBMITAL #3
NOVEMBER 17, 2007



300 SOUTH JEFFERSON ST.
SUITE 200
APTOS, CA 95003
TEL (831) 424-5313
WWW.HIGHLANDENGINEERS.COM
IFLAND_O&B_NO. 2007



CONSULTANTS (DDO)
ANDERSON BAUER
ARCHITECTS
325 South Pine Street, 4th Floor
Aptos, CA 95003
408.281.0001 / www.abae.com



EXHIBIT D

EXHIBIT D



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408.284.1100 | 408.284.1101
www.andersonbeule.com



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SAN JOSE, CA 95128
TEL (408) 426-5515
FAX (408) 426-1785
www.ifland.com
IFL040-039-001-2007

CONSULTANTS LOGO



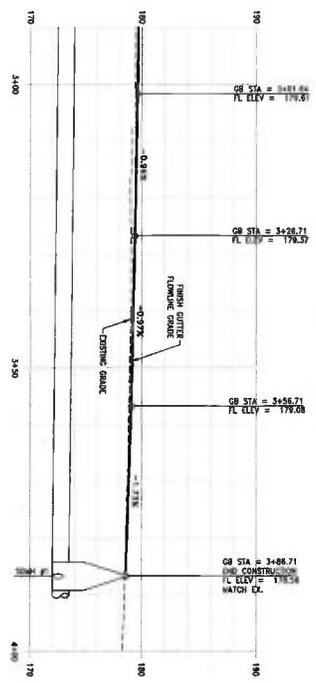
PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOT FOR CONSTRUCTION

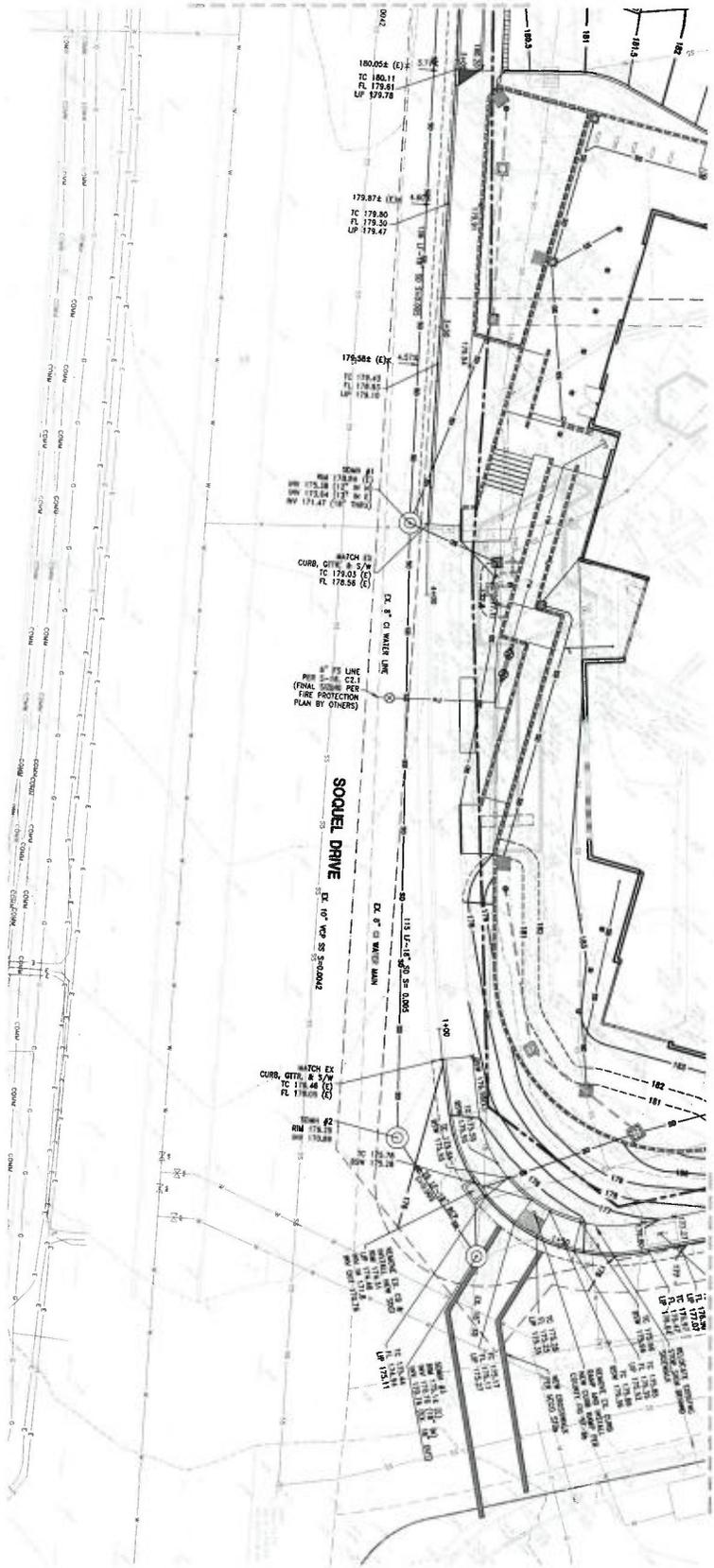
NO.	DATE	REVISIONS

PROJECT TITLE
**APTOS BRANCH
LIBRARY**
7695 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 2004650
DATE 11/09/2021
SHEET TITLE
**SOQUEL DR
IMPROVEMENT
PLAN & PROFILE
(SOUTH)**
SCALE
C5.1



SEE SHEET C5.0



SEE SHEET C5.2

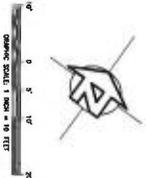


EXHIBIT D



ANDERSON BUELL
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225 South First Street, 4th Floor
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408.261.1100 | www.abae.com

CONSULTANTS (OO)



5000 SOMERSET AVE, SUITE 101
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WWW.IRELANDENGINEERS.COM
IR-040-028-ND-2007



**PLANNING
RESUBMITTAL #3**
NOVEMBER 17, 2021

**NOT FOR
CONSTRUCTION**

NO.	DATE	REVISIONS
1	NOVEMBER 17, 2021	ISSUED FOR CONSTRUCTION

PROJECT TITLE

**APTOS BRANCH
LIBRARY**
7695 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 2006255
DATE 11/02/2021
SHEET TITLE

**STREET SECTIONS
SOQUEL DRIVE**

SCALE
C5.3

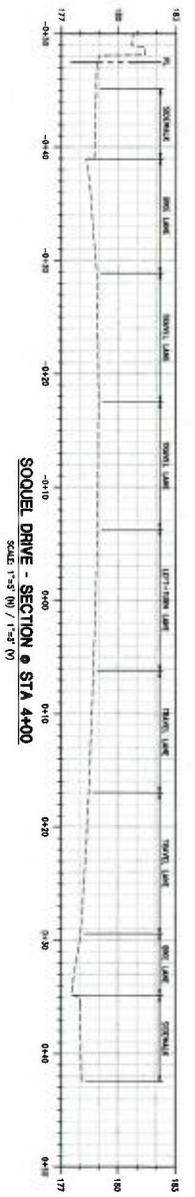
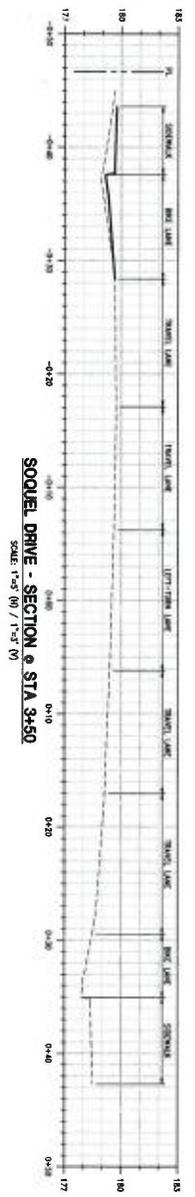
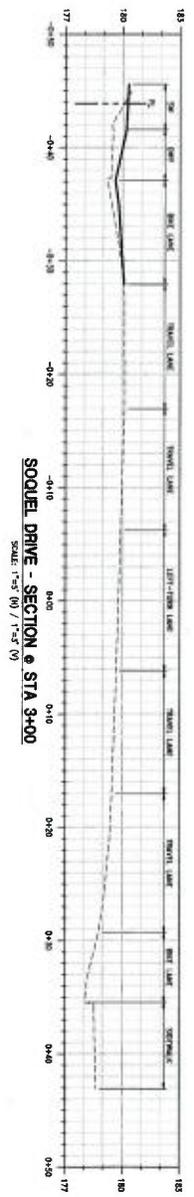
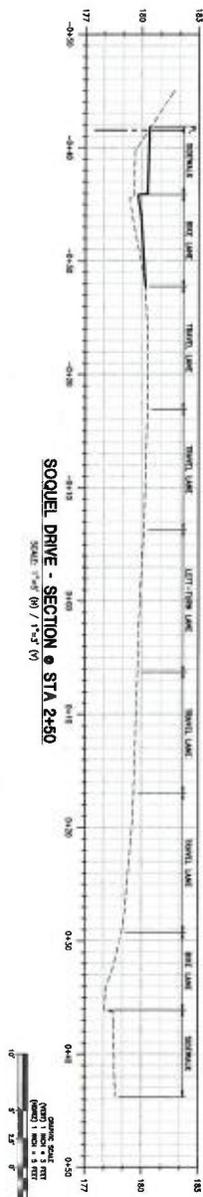
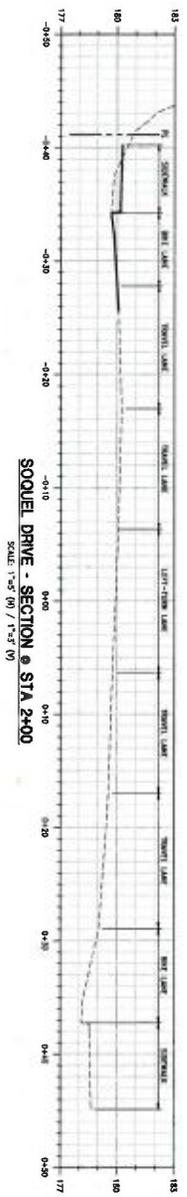
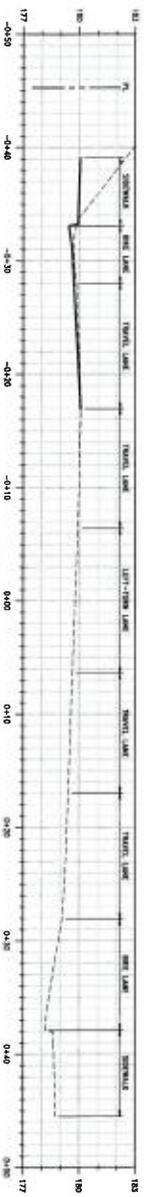


EXHIBIT D



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San Francisco, CA 94104
415.224.1101 | www.abrarch.com

CONSULTANTS (CC)



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IRLAND JOB NO. 20027



**PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021**

STAMP
**NOT FOR
CONSTRUCTION**

NO.	DATE	REVISIONS

PROJECT TITLE
**APTOS BRANCH
LIBRARY**

7665 SOQUEL DR,
APTOS, CA 95003

PROJECT NO. 2004050
DATE 11/02/2021
SHEET TITLE:

**STREET SECTIONS
E LEDYARD WAY**

SCALE
GRAPHIC SCALE
1" = 10' (HORIZONTAL)
1" = 2' (VERTICAL)
C5.4

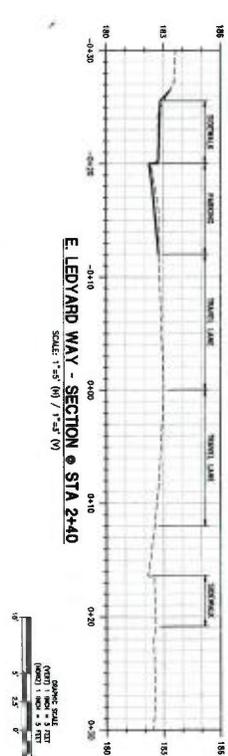
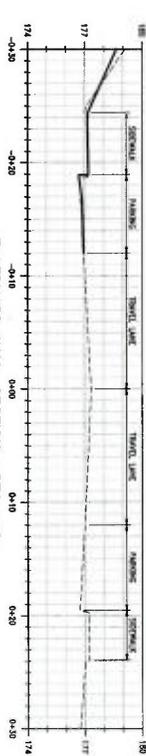


EXHIBIT D



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IRVINE, CA 92614
TEL (949) 256-5313
www.ohlанд.com
FLAND JOB NO. 2007



CONSULTANTS (003)
PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOT FOR CONSTRUCTION

NO.	DATE	REVISIONS

PROJECT TITLE
APTOS BRANCH LIBRARY

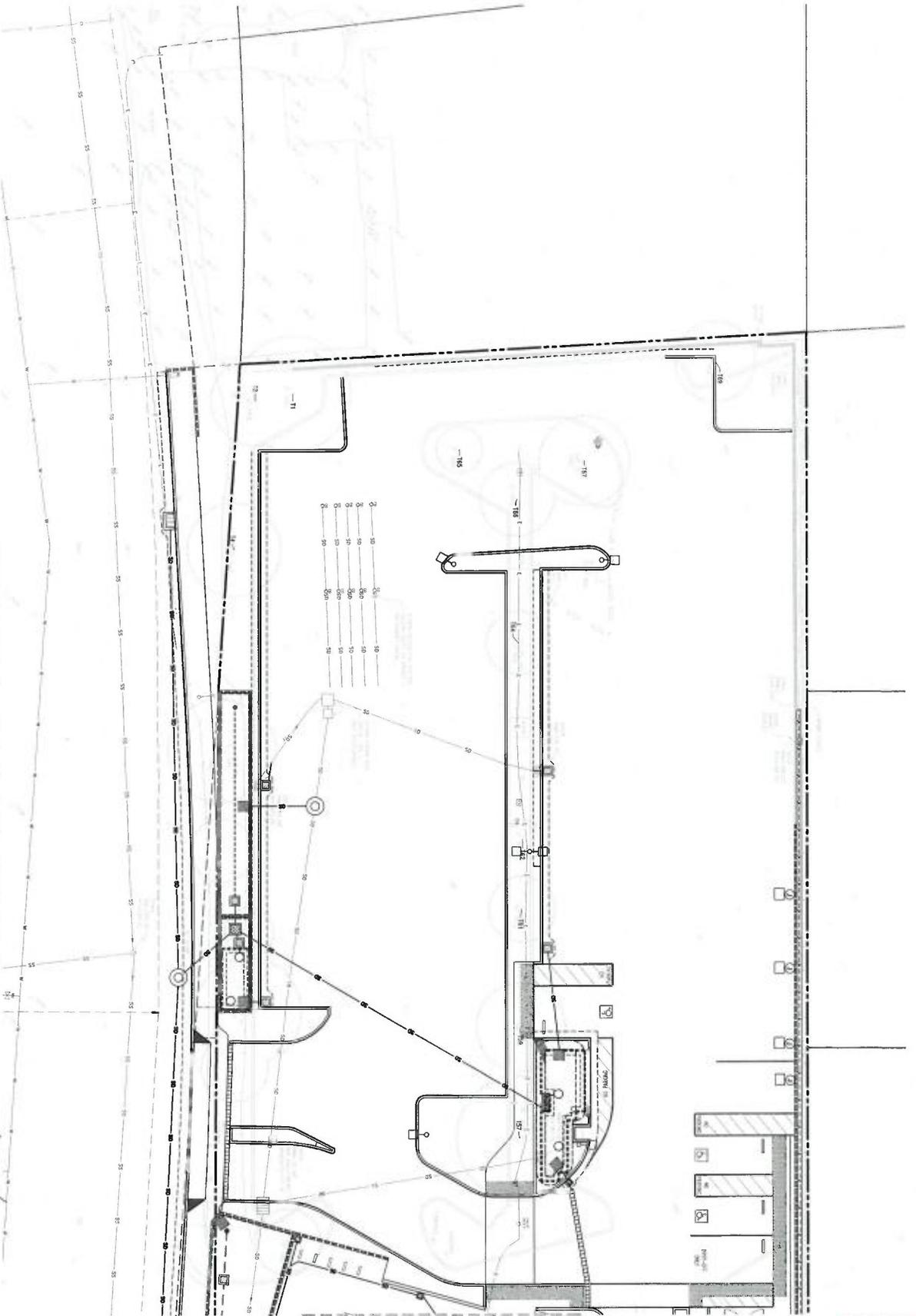
7895 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 200605
DATE 11/09/2021
SHEET TITLE

UTILITY PLAN (NORTH)

SCALE
GRAPHIC SCALE: 1" = 10' N.T.S.
C6.0

SEE SHEET C6.0 FOR SOQUEL DRIVE IMPROVEMENTS

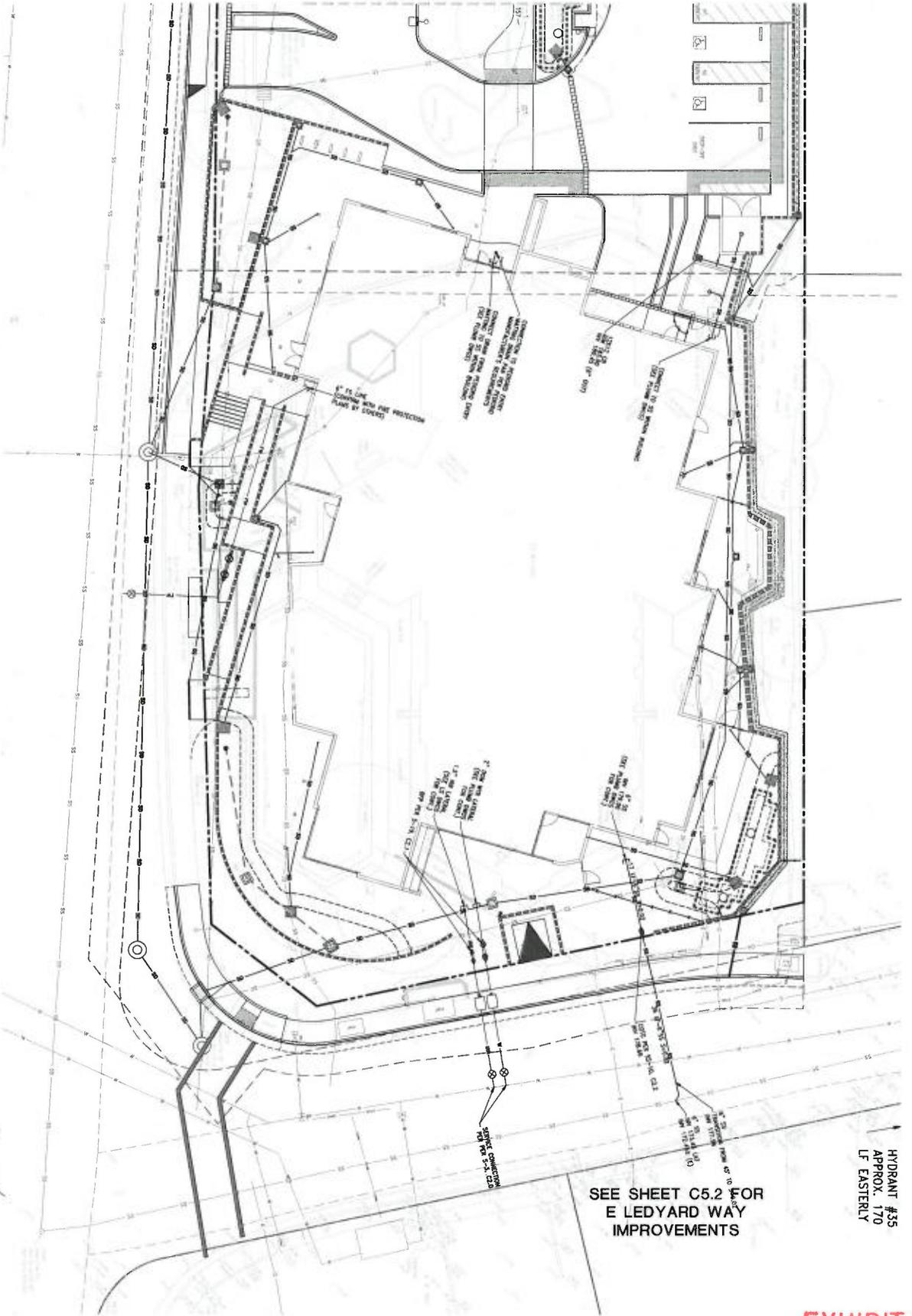


SEE SHEET C6.1

SEE SHEET C6.0

- NOTES:**
1. RETAIN EXISTING AT EXISTING EXISTING LANE MARK
 2. SEE TECHNICAL SPECIFICATIONS FOR IMPROVEMENTS AND CLEARANCE REQUIREMENTS SPREAD ON E LEDYARD WAY.

SEE SHEET C5.1 FOR SOQUEL DRIVE IMPROVEMENTS



HYDRANT #35
APPROX. 170
LF EASTERLY

SEE SHEET C5.2 FOR
E LEDYARD WAY
IMPROVEMENTS

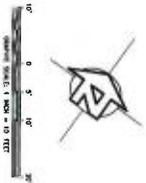


EXHIBIT D



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ISLAND
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5000 SOQUEL AVE, SUITE 101
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FAX (408) 258-7165
WWW.ISLANDENGINEERS.COM
19.040.030.000.2007



PLANNING
SUBMITTAL #3
NOVEMBER 11, 2021

**NOT FOR
CONSTRUCTION**

NO.	DATE	REVISIONS

PROJECT TITLE
**APTOS BRANCH
LIBRARY**
7696 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 2004659
DATE 11/02/2021
SHEET TITLE
**UTILITY
PLAN
(SOUTH)**

SCALE
AS SHOWN ON DRAWING
GRAPHIC SCALE: 1" = 10' (VERT)
GRAPHIC SCALE: 1" = 20' (HORIZ)
C6.1

EXHIBIT D



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ARCHITECTS
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SOQUEL, CA 95113
TEL (408) 426-5515
FAX (408) 426-1155
www.irelandengineers.com
IPLAND A/SB NO. 2007

COUNCIL TRAFFIC LOGO



**PLANNING
RESUBMITTAL #3**
NOVEMBER 17, 2021

**NOT FOR
CONSTRUCTION**

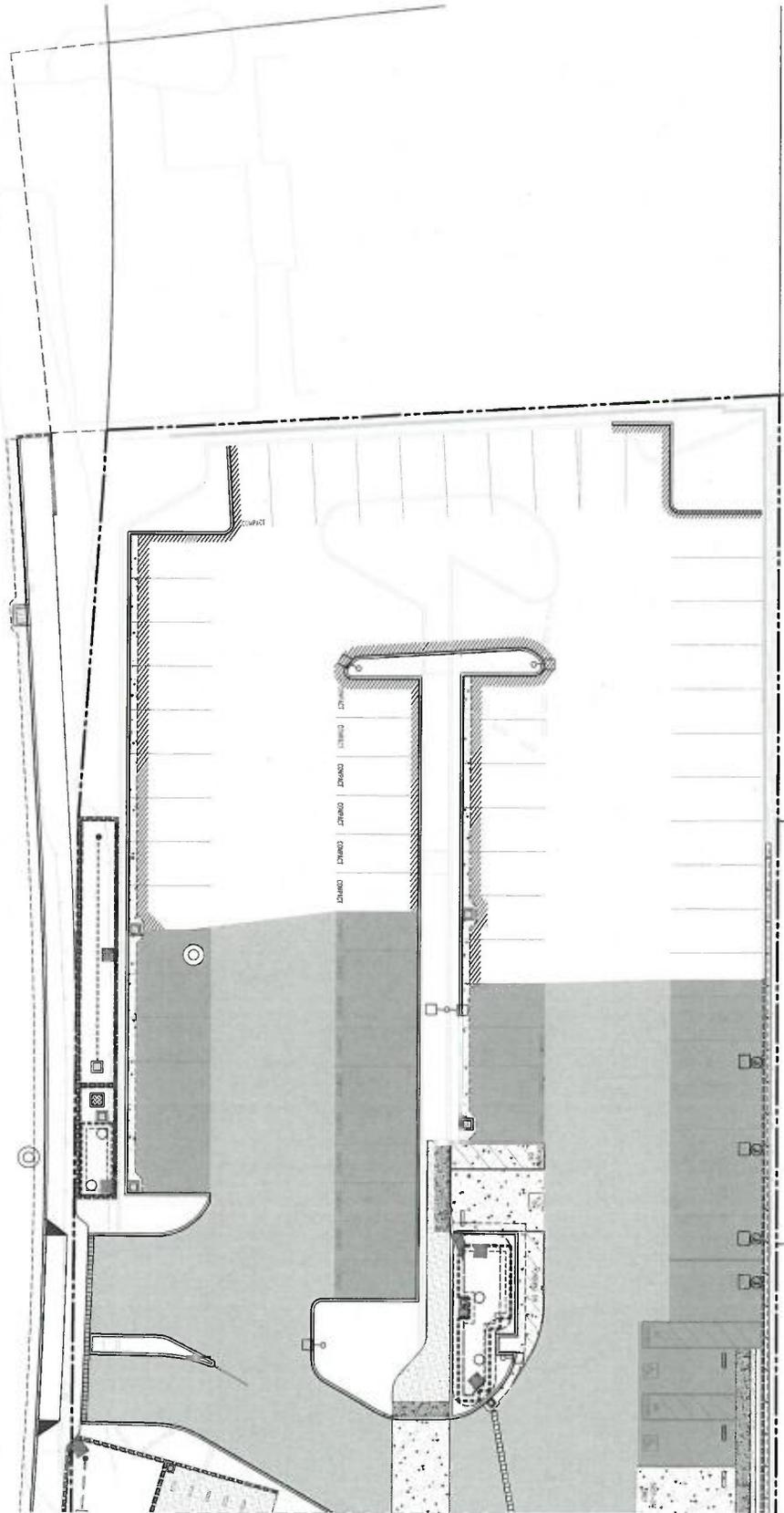
NO.	DATE	REVISIONS

PROJECT TITLE
**APTOS BRANCH
LIBRARY**
7655 SOQUEL DR.
APTOS, CA 95003

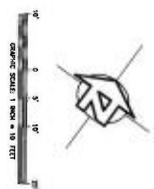
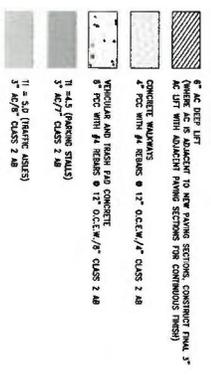
PROJECT NO.: 2006059
DATE: 11/02/2021
SHEET TITLE:
**PAVING PLAN
(NORTH)**

SCALE
AS SHOWN AND NOTED
ON SHEET
C7.0

**SEE SHEETS C5.0 & C5.1 FOR
SOQUEL DRIVE IMPROVEMENTS**



- NOTES:**
1. PAVEMENT SECTION PER GEOTECHNICAL INVESTIGATION REPORT BY HAZEN AND SUTHERLAND, INC., FILE NO. 1651-2284-112.
 2. PAVEMENT THICKNESS INCREASED FOR 11" = 4.5 FT 1.3 INCH TO ACCOMMODATE FOR UNIFORM THICKNESS.
 3. SEE GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION AND COMPLETION REQUIREMENTS.



SEE SHEET C7.1

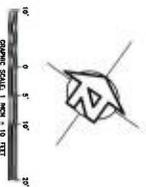
SEE SHEET C7.0

SEE SHEETS C5.0 & C5.1 FOR
SOQUEL DRIVE IMPROVEMENTS

SEE SHEET C5.2 FOR
E LEDYARD WAY
IMPROVEMENTS

- NOTES:
1. PAVEMENT SECTION PER GEOTECHNICAL INVESTIGATION REPORT BY PACIFIC CRIST ENGINEERING, INC. FILE NO. 1951-5284-112.
 2. PAVEMENT THICKNESS INCREASED FOR TI = 4.5 BY 1.0 INCH TO ACCOUNT FOR IMPROD THICKNESS.
 3. SEE GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION AND COMPACTION REQUIREMENTS.

-  12" AC ASP. LIFT
WHERE AC IS ADJACENT TO NEW PAVING SECTIONS, CONSTRUCT 12" AC LIFT WITH ADJACENT PAVING SECTIONS FOR CONTIGUOUS FINISH
-  CONCRETE WALKWAYS
-  4" RCC WITH #4 REBAR @ 12" O.C./W/4" CLASS 2 AB
-  VERTICULAR AND TRANS. PAD CONCRETE
-  6" RCC WITH #4 REBAR @ 12" O.C./W/4" CLASS 2 AB
-  TI = 4.5 (PAVING STATUS)
-  3" AC/7" CLASS 2 AB
-  TI = 5.0 (TRAFFIC ASBEST)
-  5" AC/8" CLASS 2 AB



PROJECT NO. 2004050
DATE 11/02/2021
SHEET TITLE
PAVING PLAN
(SOUTH)

C7.1

PROJECT TITLE
APTOS BRANCH
LIBRARY
7595 SOQUEL DR.
APTOS, CA 95003

NO. DATE REVISIONS	
NO.	DATE

NOT FOR
CONSTRUCTION

PLANNING
RESUBMITAL #3
NOVEMBER 17, 2021



3500 SOQUEL AVE. SUITE 101
APTOS, CA 95003
TEL (831) 426-5313
FAX (831) 426-1765
WWW.IFLANDENGINEERS.COM
IFLAND_CSN_NO. 20027



CONSULTANTS LOGO:

ANDERSON BRULL
ARCHITECTS
325 South First Street, 4th Floor
40520 1000 1000 1000 1000 1000



EXHIBIT D



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ARCHITECTS
325 South First Street, 4th Floor
San Jose, California 95113
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3500 SOQUEL AVE, SUITE 101
SAN JOSE, CA 95135
TEL: (408) 486-5515
FAX: (408) 456-1765
www.islandengineers.com
P: 04/03/2007, 2007



CONSULTANTS: 0003

**PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021**

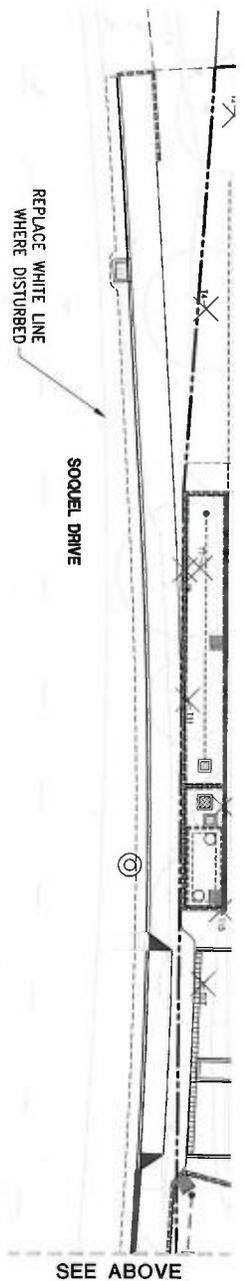
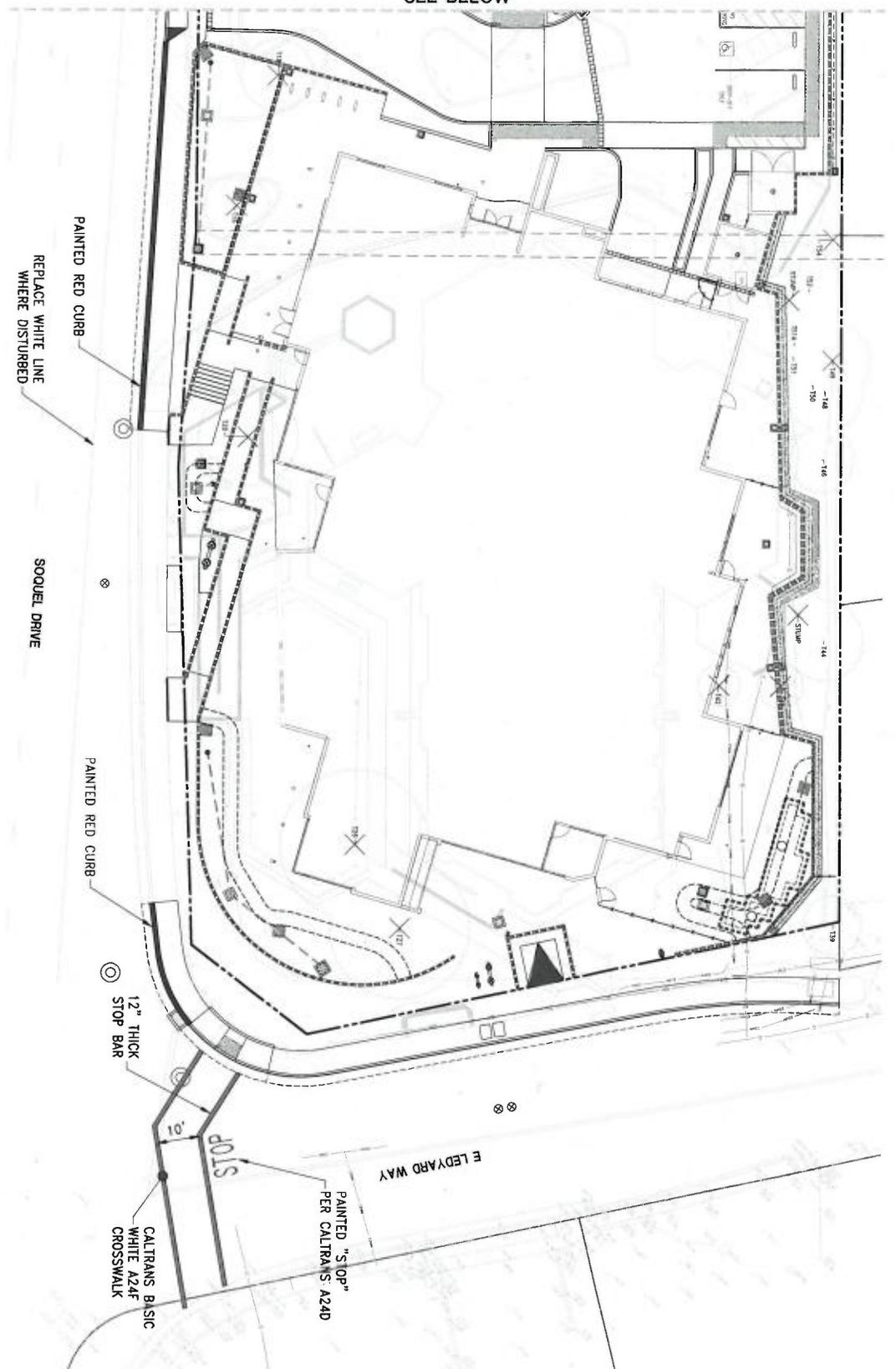
NO.	DATE	REVISIONS

PROJECT TITLE
**APTOS BRANCH
LIBRARY**
7696 SOQUEL DR.
APTOS, CA 95003

PROJECT NO.: 20040261
DATE: 11/09/2021
SHEET TITLE
**STRIPING
PLAN**

SCALE
AS SHOWN
GRAPHIC SCALE: 1" = 10' ± (SEE PLAN)
C8.0

SEE BELOW



SEE ABOVE

EXHIBIT D



ANDERSON BULL
ARCHITECTS

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San Jose, CA 95113
408.298.1551 | www.abarch.com

CONSULTANTS (CDD)



5909 SOMERSET AVE. SUITE 101
MARTIN, CALIF. CA 95052
TEL (925) 292-5313
www.IPLandeng.com
PLAND ABB NO. 20027



**PLANNING
RESUBMITTAL #3**
NOVEMBER 17, 2021

**NOT FOR
CONSTRUCTION**

NO.	DATE	REVISIONS

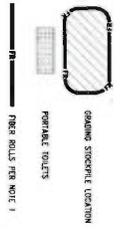
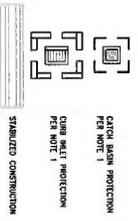
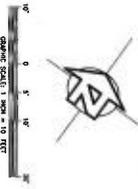
PROJECT TITLE
**APTOS BRANCH
LIBRARY**

7695 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 2004650
DATE 11/03/2021
SHEET TITLE

**EROSION
CONTROL PLAN
(NORTH)**

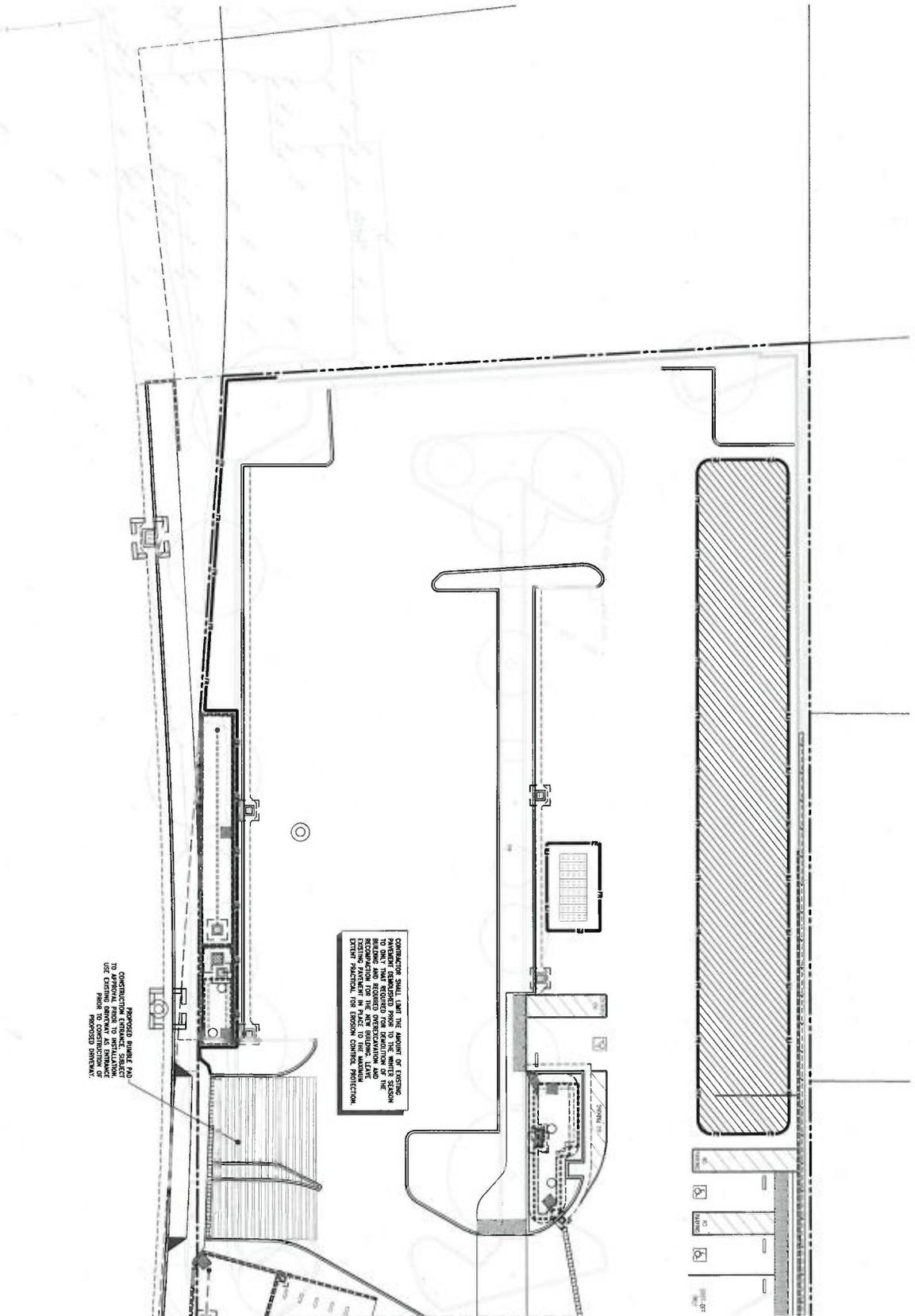
SHEET NO. **C9.0**



PROPOSED RIBBLE PAD
CONSTRUCTION SHALL BE
TO APPROVAL PRIOR TO INSTALLATION
USE OF CATCHING SYSTEM AS INDICATED
FROM PROPOSED SHEETWALL.

CONSTRUCTION SHALL LEAVE THE SURFACE OF EXISTING
ROADWAY UNDISTURBED PRIOR TO THE WHITE SLOTTED
TO ONE THAT REMAINS FROM REVISIONS OF THE
RECOMMENDATION FOR THE NEW BUILDING. LEAVE
EXISTING PAVEMENT FOR EROSION CONTROL PROTECTION.

SEE SHEET C8.1



ENVIRONMENTAL PLANNING
COUNTY OF SANTA CRUZ
STATE OF CALIFORNIA

REVIEWED BY: _____ DATE: _____
APPROVED BY: _____ DATE: _____

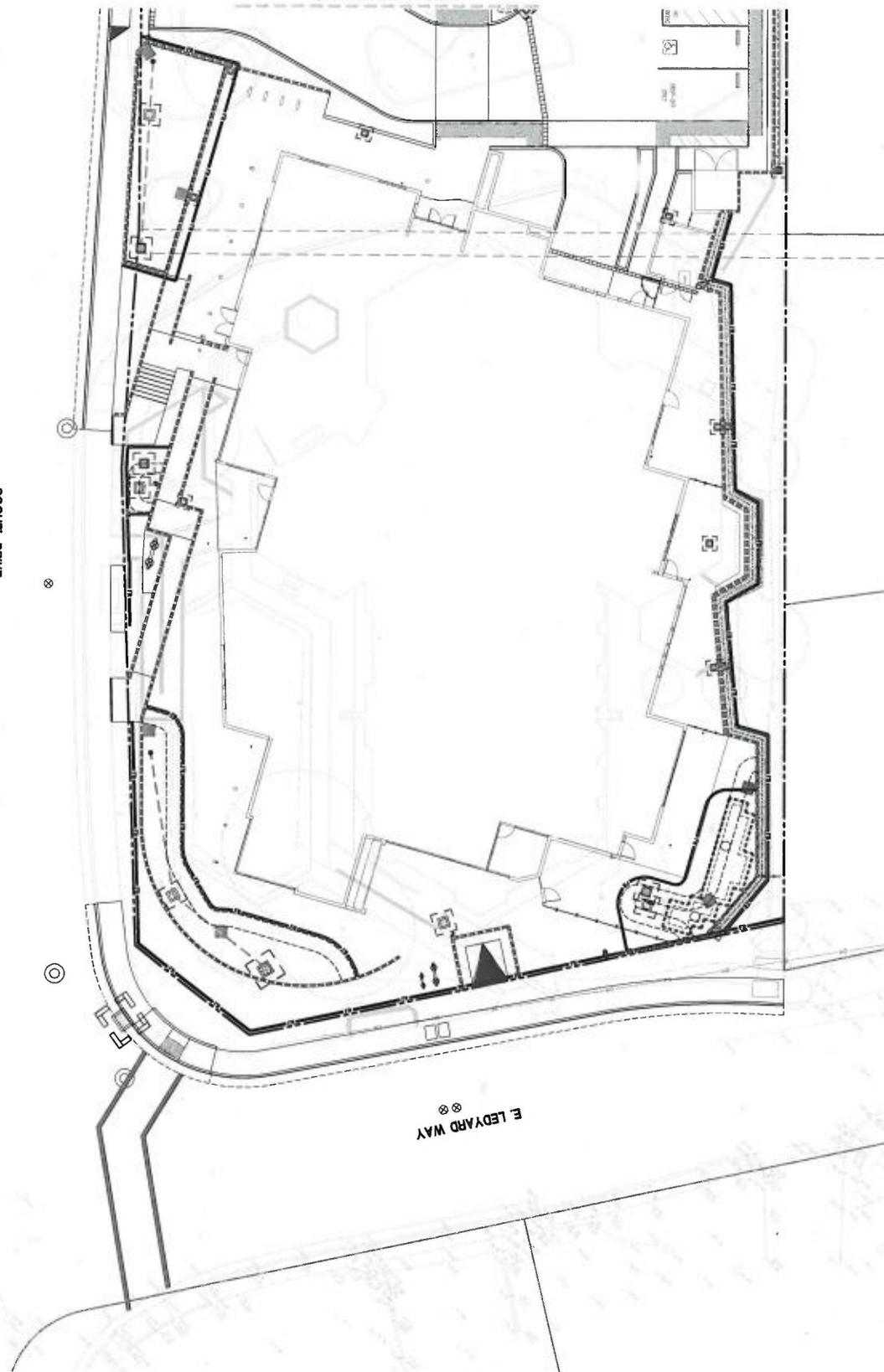
PREPARED BY THE EROSION CONTROL PLAN
SECTION OF THE CIVIL ENGINEERING DEPARTMENT
OF THE COUNTY OF SANTA CRUZ
PLANNING ENGINEERS, INC.
5200 SAN JUAN AVENUE, SUITE 210
SAN JUAN, CA 95052
408-298-1551
www.abarch.com

- NOTES:**
1. EXISTING AND PROPOSED AREAS SHALL BE SHOWN AS SHOWN ON THIS PLAN SET.
 2. CONSTRUCTION OF THE PROPOSED FACILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF ANY OTHER FACILITIES ON THE PROJECT SITE.
 3. EXPOSED SOIL AT BENCH OR CUT FOR EXISTING FACILITIES AND CATCH BASIN CONSTRUCTION SHALL BE PROTECTED FROM EROSION.
 4. PROJECT ENGINEER PROVIDES BELOW SCHEDULE.

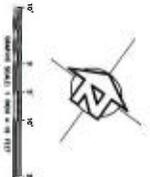
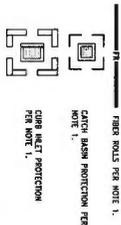
SEE SHEET C8.0

SOQUEL DRIVE

E LEDYARD WAY



- NOTES:**
1. SEE EROSION CONTROL NOTES AND DETAILS SHEET AS PART OF THIS PLAN SET.
 2. DOWNSTREAM OFFSITE TREATMENT FACILITIES SHALL BE CONSTRUCTED PRIOR TO CONSTRUCTION OF DOWNSTREAM OFFSITE AREAS ON THE PROJECT SITE.
 3. EROSION CONTROL FACILITIES AND CONSTRUCTION SYSTEMS SHALL NOT BE COMPACTED.



PROJECT NO. 200605
 DATE 11/02/2021
 SHEET TITLE
EROSION CONTROL PLAN (SOUTH)
 SCALE
C9.1

PROJECT TITLE
APTOS BRANCH LIBRARY
 7895 SOQUEL DR.
 APTOS, CA 95003

NO.	DATE	REVISIONS

NOT FOR CONSTRUCTION

PLANNING
RESUBMITTAL #3
 NOVEMBER 11, 2021



IFLAND ENGINEERS
 5309 SOQUEL AVE. SUITE 101
 APTOS, CA 95003
 TEL (831) 424-1115
 FAX (831) 424-1116
 WWW.IFLAND-CA.COM
 FL AND 020100-20027

CONSULTANTS LOGO
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 San Jose, California 95113
 408.283.1900
 www.andersonbros.com



EXHIBIT D

EXHIBIT D



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CONSULTANTS (020)



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www.iplandengineers.com
IFLAND_O&M.D. 2007



**PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021**

**NOT FOR
CONSTRUCTION**

NO.	DATE	REVISIONS

PROJECT TITLE

**APTOS BRANCH
LIBRARY**

7695 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 200695
DATE 11/02/21
SHEET TITLE

**STORM WATER
CONTROL PLAN**

SCALE

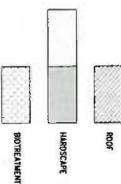
C10.0



SOQUEL DRIVE

E LEDYARD WAY

LEGEND





ANDERSON BRUEL
ARCHITECTS
325 South Third Street, 4th Floor
San Francisco, CA 94104
415.774.1100
www.andersonbruel.com

CONSULTANTS (LOGO)



5000 DOWD LANE, SUITE 101
SAN FRANCISCO, CA 94133
TEL (415) 748-5113
FAX (415) 748-1193
WWW.TETLAND.COM
IFC AND O&M NO. 20027



PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

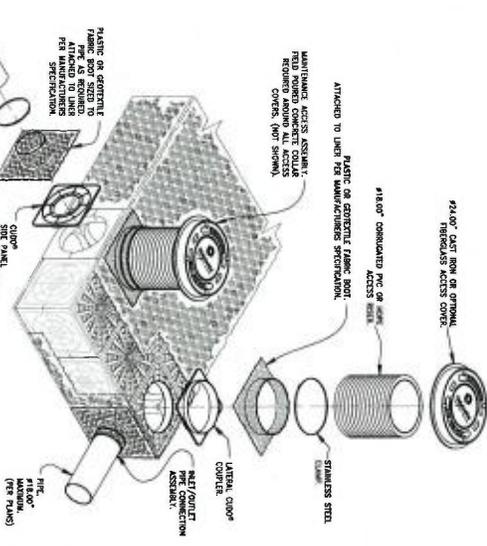
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NOT FOR CONSTRUCTION

NO.	DATE	REVISIONS
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PROJECT TITLE
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LIBRARY**
7595 SOQUEL DR.
APTOS, CA 95003

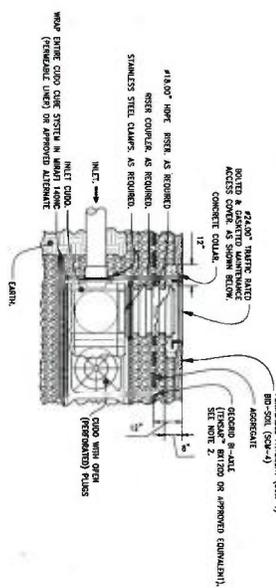
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DATE 11/02/2021
SHEET TITLE
**STORM WATER
CONTROL DETAILS**

SCALE
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C10.1



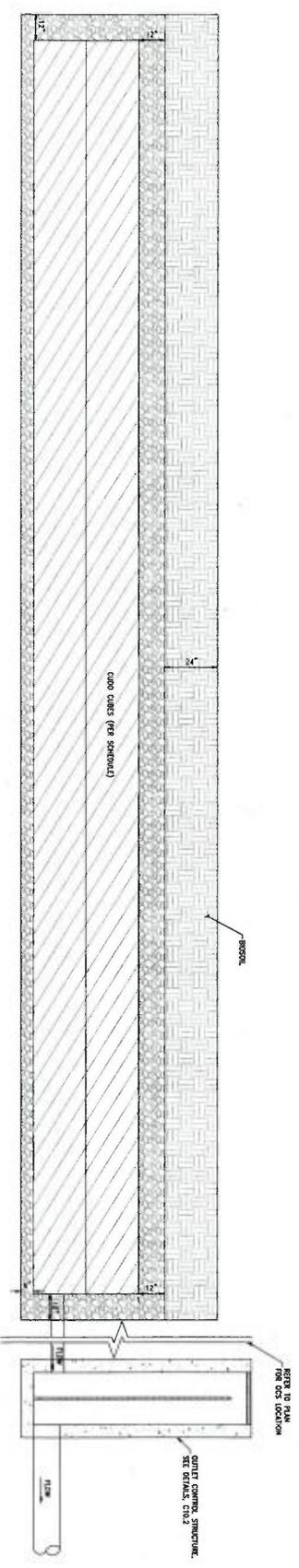
INLET/OUTLET CONNECTION TO CUDO CUBE SYSTEM
NTS

NOTE:
1. DETAIL PROVIDED BY QUOTEKIT FOR REFERENCE. ACTUAL SYSTEM UNIFORM MAY VARY



TYPICAL MAINTENANCE ACCESS TO CUDO CUBE SYSTEM
NTS

NOTES:
1. REFER TO CUDO INSTALLATION SPECIFICATIONS FOR MORE INFORMATION.
2. INSTALL CUDOING LATER (TYPICALLY 8\"/>



SECTION
NTS

SEE PLAN FOR LENGTH AND WIDTH OF CUDO CURBS AND DIMENSIONAL TOLERANCE

CUDO CURB SCHEDULE	NO. OF CURBS PER ROW
1-2	0
3	1
4	0
5	0
6	0
7	2



EXHIBIT D



ANDERSON HARRIS ARCHITECTS

137 South First Street, 8th Floor
San Jose, California 95113
408.281.1000 | www.andersonharris.com

CONSULTANTS (LOGO)



3500 SERRA, AVE., SUITE 101
SAN JOSE, CA 95132
TEL (408) 298-1115
www.iplandengineers.com
PLAND/CA/NOV. 2007



PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

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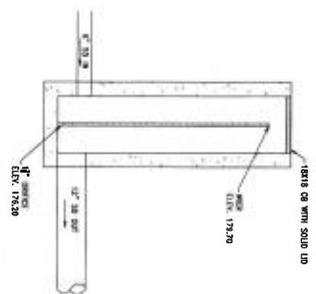
NO.	DATE	REVISIONS

PROJECT TITLE
APTOS BRANCH LIBRARY
7895 SQUEL DR., APTOS, CA 95003

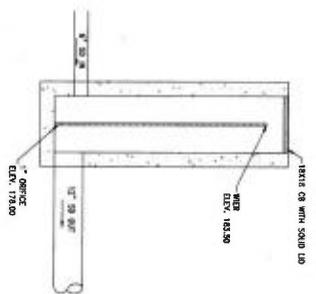
PROJECT NO. 2006099
DATE 11/02/2021

SHEET TITLE
STORM WATER CONTROL DETAILS

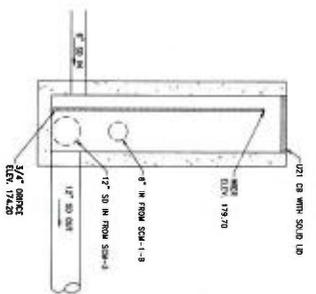
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C-10.2



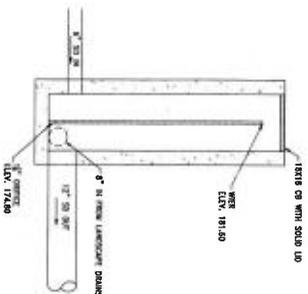
OUTLET CONTROL STRUCTURE #4
N15



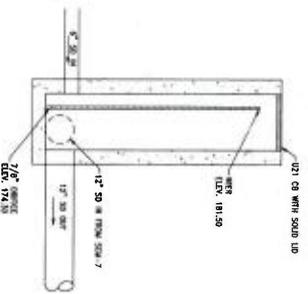
OUTLET CONTROL STRUCTURE #3
N15



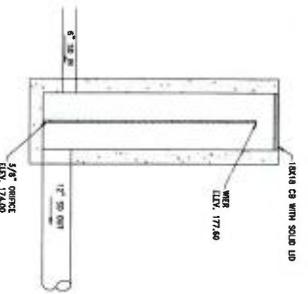
OUTLET CONTROL STRUCTURE #2
N15



OUTLET CONTROL STRUCTURE #7
N15



OUTLET CONTROL STRUCTURE #8
N15



OUTLET CONTROL STRUCTURE #5
N15

EXHIBIT D



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PHONE 817.423.0401 WWW.JLA.COM
Central Library Address: 11/22/2021

PLANNING
RESUBMITTAL #3
NOVEMBER 11, 2021

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NO.	DATE	REVISIONS
1	11/22/21	ISSUED FOR PERMIT

PROJECT TITLE
APTOS BRANCH LIBRARY
7695 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 200402
DATE 11/22/21
SHEET TITLE LANDSCAPE TITLE SHEET
SCALE L0.00

APTOS BRANCH LIBRARY

7695 SOQUEL DRIVE, APTOS, CA 95003
LANDSCAPE 500 CONSTRUCTION DOCUMENTS PACKAGE
SEPTEMBER 22, 2021

ABBREVIATIONS

0	AND ANGLE	GA	GRADE
1	AT CENTERLINE	GN	GROUND
2	BEARING	GR	GRADE
3	BEARING	HT	HEIGHT
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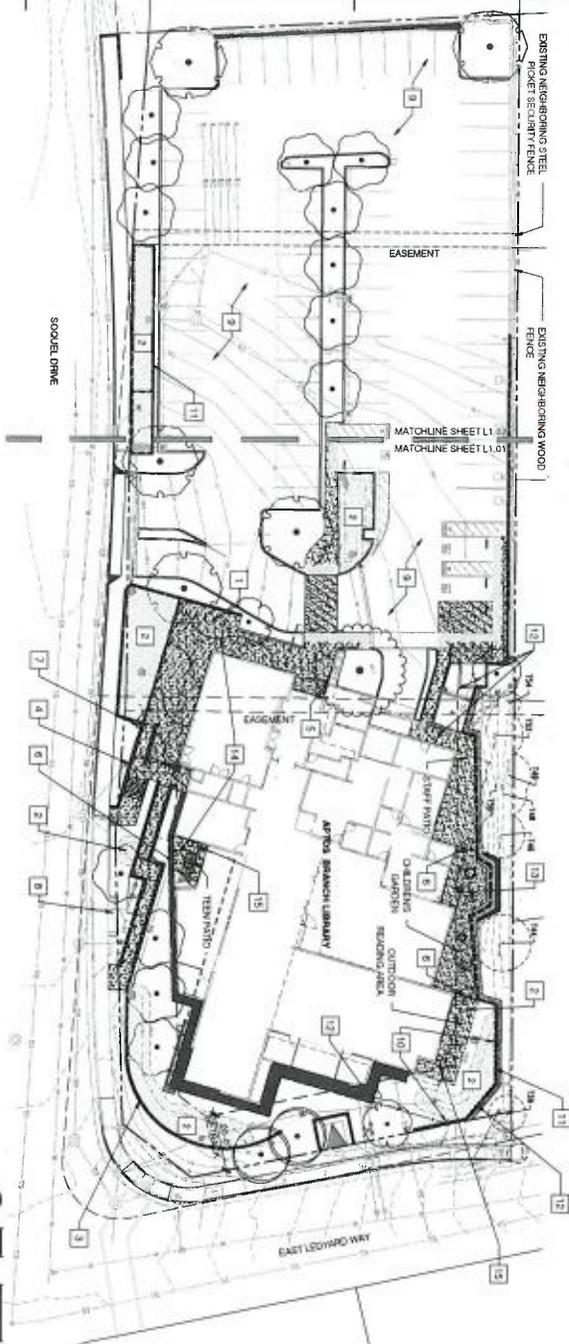
SHEET INDEX

SHEET	DESCRIPTION
L1.00	LANDSCAPE TITLE SHEET
L1.01	OVERALL LANDSCAPE SITE PLAN
L1.02	MATERIALS ENLARGEMENT PLAN
L1.03	MATERIALS DETAILS
L1.04	CONCRETE RAISED FLOORS SECTIONS
L1.05	IRIGATION PLAN
L1.06	IRIGATION DETAILS AND NOTES
L1.07	IRIGATION DETAILS
L1.08	IRIGATION DETAILS
L1.09	IRIGATION DETAILS
L1.10	IRIGATION DETAILS
L1.11	IRIGATION DETAILS
L1.12	IRIGATION DETAILS
L1.13	IRIGATION DETAILS
L1.14	IRIGATION DETAILS
L1.15	IRIGATION DETAILS
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L1.36	IRIGATION DETAILS
L1.37	IRIGATION DETAILS
L1.38	IRIGATION DETAILS
L1.39	IRIGATION DETAILS
L1.40	IRIGATION DETAILS

GENERAL NOTES

- REFER TO CIVIL ENGINEERS DRAWINGS FOR EXISTING CONDITIONS. DO NOT START WORK UNTIL ALL PROTECTIONS ARE IN PLACE.
- ALL MATERIALS AND WORKMANSHIP TO CONFORM TO ALL APPLICABLE GOVERNING CODES AND ORDINANCES. WHERE THESE DRAWINGS VARY FROM THOSE CODES AND/OR ORDINANCES, THE CONTRACTOR IS TO FOLLOW THE DRAWINGS UNLESS OTHERWISE NOTED. THE DRAWINGS DO NOT CONFLICT WITH CODE. IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT AND OWNERS REPRESENTATIVE.
- FIELD VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWINGS PRIOR TO COMMENCEMENT OF ANY WORK UNDER THIS CONTRACT, INCLUDING BUT NOT LIMITED TO, SETBACKS, EASEMENTS, UTILITIES, ENCROACHMENTS, AND PROJECT LIMITS OF WORK. IMMEDIATELY REPORT DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS TO LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK. SEE NOTE 7.
- DO NOT UNDERTAKE ANY PROCESS WITH CONSTRUCTION AS DESIGNED WHEN UTILITIES OR UTILITIES THAT CONSTRUCTION DISCREPANCIES AND GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS AND THE REPRESENTATION OF THESE DRAWINGS IMMEDIATELY BRING REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO EXECUTING WORK.
- IMMEDIATE EXCAVATION IN VICINITY OF UTILITIES AND EXISTING IMPROVEMENTS WITH GREAT CARE. ASSUME FULL RESPONSIBILITY FOR THESE IMPROVEMENTS ARE DAMAGED DUE TO CONTRACTORS NEGLIGENCE.
- PROVIDE CONTINUOUS COORDINATION WITH OWNERS REPRESENTATIVE AND DESIGN DRAWINGS.
- NOTIFY UNDERGROUND AND TIG ALERT SERVICE AT SIX AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION OPERATIONS.
- PRIOR TO INSTALLING HARDSCAPE ELEMENTS, REVIEW LOCATIONS OF UTILITY ELEMENTS SUCH AS DIMENSION BOXES, GEOS, METERS, CONDUITS, CLEAN-OUTS, COVERS, ETC., WITH OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- ENSURE THAT FROTH GRADE HAS BEEN ACCEPTED BY OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO BEGINNING HARDSCAPE LAYOUT AND FINE GRADING.
- NOTIFY LANDSCAPE ARCHITECT A MINIMUM OF FIVE (5) WORKING DAYS IN ADVANCE PRIOR TO SCHEDULING A CONTRACTOR REQUESTED SITE VISIT. LANDSCAPE ARCHITECT HAS THE RIGHT TO VISIT THE PROJECT AND OTHER SITE FEATURES.
- CONTRACTOR TO VERIFY QUANTITIES BASED ON FIELD MEASUREMENTS.
- FIELD VERIFY AND LAYOUT DIMENSIONS OF DECKING, FENCING, CONSTRUCTION VERIFY WITH LANDSCAPE ARCHITECT AND OWNERS REPRESENTATIVE.
- VERTICAL DIMENSIONS TAKE PRECEDENCE OVER SCALING OF DRAWINGS.
- WHEN DIMENSIONS ARE CALLED OUT AS EQUAL, ORDER, MEASURED TO THE CENTERLINE UNLESS OTHERWISE NOTED TO FACE OF WALL, BUILDING OR OTHER REFERRED SITE IMPROVEMENT, UNLESS OTHERWISE NOTED. DIMENSIONS TO CENTERLINE ARE AS INDICATED.
- INSTALL INTERSECTING ELEMENTS AT 90 DEGREES TO EACH OTHER UNLESS NOTED OTHERWISE.
- CONTRACTOR TO VERIFY STRUCTURAL CALCULATIONS FOR STRUCTURAL REQUIREMENTS SUCH AS FOOTINGS AND FENCING. CALCULATIONS SHALL BE SIGNED AND STAMPED BY A CALIFORNIA LICENSED STRUCTURAL ENGINEER.

0000001 1:22:22 PM



SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	BIKE RACKS - SEE SPECS. AND DETAIL	12	SECURITY FENCE AND GATES - SEE ADD ALTERNATES NOTE 4, SHEET L1.01
2	BIO DETENTION - SEE CIVIL AND PLANTING PLANS	13	DECORATIVE PAVING AT CHILDREN'S GARDEN - SEE ADD ALTERNATES NOTE 2, SHEET L1.01
3	MONUMENT SIGN - SEE SIGNAGE DRAWINGS	14	PERESTRITA CONCRETE AT ENTRY AND TEEN NITTO - SEE ADD ALTERNATES NOTE 2, SHEET L1.01
4	SIGNAGE ALONG SCHOOL DRIVE - SEE SIGNAGE DRAWINGS	15	TRASH AND RECYCLING RECEPTACLES
5	MAIN ENTRY BUILDING SIGNAGE - SEE SIGNAGE DRAWINGS		
6	PUBLIC ART FENCE AND GATE, PROVIDED BY OWNER AND NOT IN CONTRACT. GATE IS TOTAL SHALL BE EQUIPPED WITH PASTOR-PERSONNEL.		
7	FLAGPOLE LOCATION - SEE ARCHITECTURAL DRAWINGS		
8	EXISTING BIKES STOP AND SHELTER		
9	ASPHALT PAVING - SEE CIVIL DRAWINGS		
10	RETAINING WALL - SEE ADD ALTERNATES NOTE 1, SHEET L1.01		
11	GUARDRAIL (A/B BIORETENTION)		

LEGEND

	PROPERTY LINE
	SETBACK
	EASEMENT
	MATCHLINE
	EXISTING TREE TO REMAIN (APPROXIMATE TREE CROWN) - SEE PROPOSED PERCENT DIRT AND MULCH FOR EACH TREE. SEE CIVIL DRAWINGS ROOTZONE OF TREES - SEE CIVIL DRAWINGS
	TYPE A1 CONCRETE PAVING WITH BROOK FINISH AND SAW CUT SCORE CANTS EVERY 4 FEET AND EXPANSION CANTS EVERY 8 FEET. SEE CIVIL DRAWINGS. SEE ADD ALTERNATES NOTES 2 AND 3, L1.01
	TYPE A2 TRAFFIC-PAVED MEDIUM-SIZE CONCRETE PAVING BROOK FINISH AND SAW CUT SCORE CANTS EVERY 4 FEET AND EXPANSION CANTS EVERY 8 FEET. SEE CIVIL DRAWINGS.
	TYPE B PERESTRITA CONCRETE PAVING WITH BROOK FINISH AND SAW CUT SCORE CANTS EVERY 4 FEET AND EXPANSION CANTS EVERY 8 FEET. SEE CIVIL DRAWINGS. SEE ADD ALTERNATES NOTES 2 AND 3, L1.01
	SCORE CANT - SEE CIVIL DRAWINGS
	EXPANSION CANT - SEE CIVIL DRAWINGS

EXHIBIT D



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 400.326.1800 | www.abaarch.com
CONSULTANTS 10027

JONI LANECKI
 6 A S O C I A T E S
 515 WEST 11th STREET, SUITE 1200
 PHOENIX, AZ 85003 | WWW.JLACOM
 California Landscaper Added Status: 3110

PLANNING
RESUBMITTAL #3
 NOVEMBER 17, 2021

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NO.	DATE	REVISIONS

APTOS BRANCH LIBRARY
 7855 SOULEL DR.
 APTOS, CA 95003

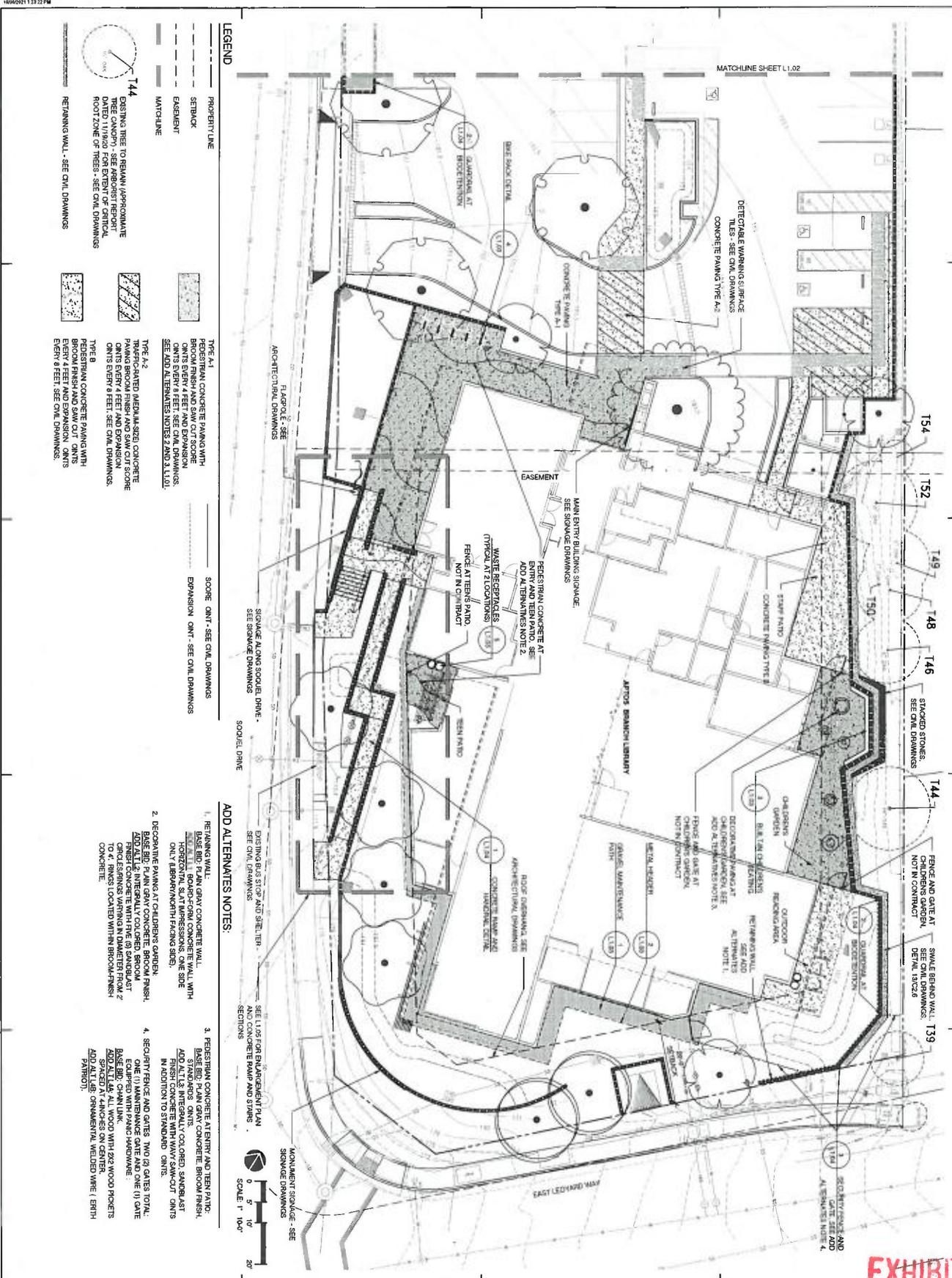
PROJECT TITLE

PROJECT NO. 2004650
 DATE 11/02/21
 SHEET TITLE

OVERALL LANDSCAPE SITE PLAN

SCALE 1" = 30'-0"

L1.00



LEGEND

PROPERTY LINE	TYPE A.1	PEDESTRIAN CONCRETE PAVING WITH BROOM FINISH AND SAW CUT SCORE
SETBACK	EXPANSION	SCORE ONIT - SEE CIVIL DRAWINGS
EASEMENT	CONTRACT	EXPANSION ONIT - SEE CIVIL DRAWINGS
MATCHLINE	TYPE A.2	REPARTICULATED MEDIUM SIZE CONCRETE WITH BROOM FINISH AND SAW CUT SCORE
	TYPE B	PEDESTRIAN CONCRETE PAVING WITH BROOM FINISH AND SAW CUT
		CONCRETE WITH EXPANSION JOINTS EVERY 4 FEET AND EXPANSION JOINTS EVERY 8 FEET. SEE CIVIL DRAWINGS.
		EXISTING TREE TO REMAIN (APPROXIMATE DATED 1/1/20) FOR EXTENT OF PERMANENT ROOT ZONE OF TREES - SEE CIVIL DRAWINGS
		RETAINING WALL - SEE CIVIL DRAWINGS

ADD ALTERNATES NOTES:

1. RETAINING WALL - BASE BID: PLAIN GRAY CONCRETE WALL WITH 1/2" REINFORCING BARS. BOARD-FORM CONCRETE WALL WITH HORIZONTAL SLAT IMPRESSIONS. ONE SIDE ONIT. (ALTERNATE) FINISH SIDE.
2. DEGRADATIVE PAVING AT CHILDREN'S GARDEN - BASE BID: PLAIN GRAY CONCRETE GARDEN FINISH. ALTERNATE: CONCRETE WITH THE 5/8" SANDBLAST CAROL ESPRIMO VARIING IN DIAMETER FROM 2" TO 4". RINGS LOCATED WITH BROOM-FINISH CONCRETE.
3. PEDESTRIAN CONCRETE AT ENTRY AND TEN PATIO - BASE BID: PLAIN GRAY CONCRETE. SANDBLAST STANDARDS ONITS. ADD ALTS: INTERGRAL COLOR. SANDBLAST IN ADDITION TO STANDARD ONITS.
4. SECURITY FENCE AND GATES - TWO (2) GATES TOTAL. BASE BID: PLAIN GRAY CONCRETE. GATES TO BE CONCRETE WITH PLANK HANDRAIL. ADD ALTS: ALL WOOD WITH 2X5 WOOD PICKETS. ADD ALTS: CHAIN LINK. ADD ALTS: CHAIN LINK WITH WIRE (BRN PATRIOT).

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NO DATE RESPONSE

T	DATE	PERSON	REVISION

PROJECT TITLE: APTOS BRANCH LIBRARY

7695 SCOOLE DR. APTOS, CA 95023

PLANNING RESUBMITTAL #3

NOVEMBER 17, 2021

ABA

ANDERSON BRUNS ARCHITECTS

550 SWIFT ST. SUITE 200, CA 95008
PHONE: (831) 420-0101 WWW.ABA.COM
California Landscape Architect License 3183

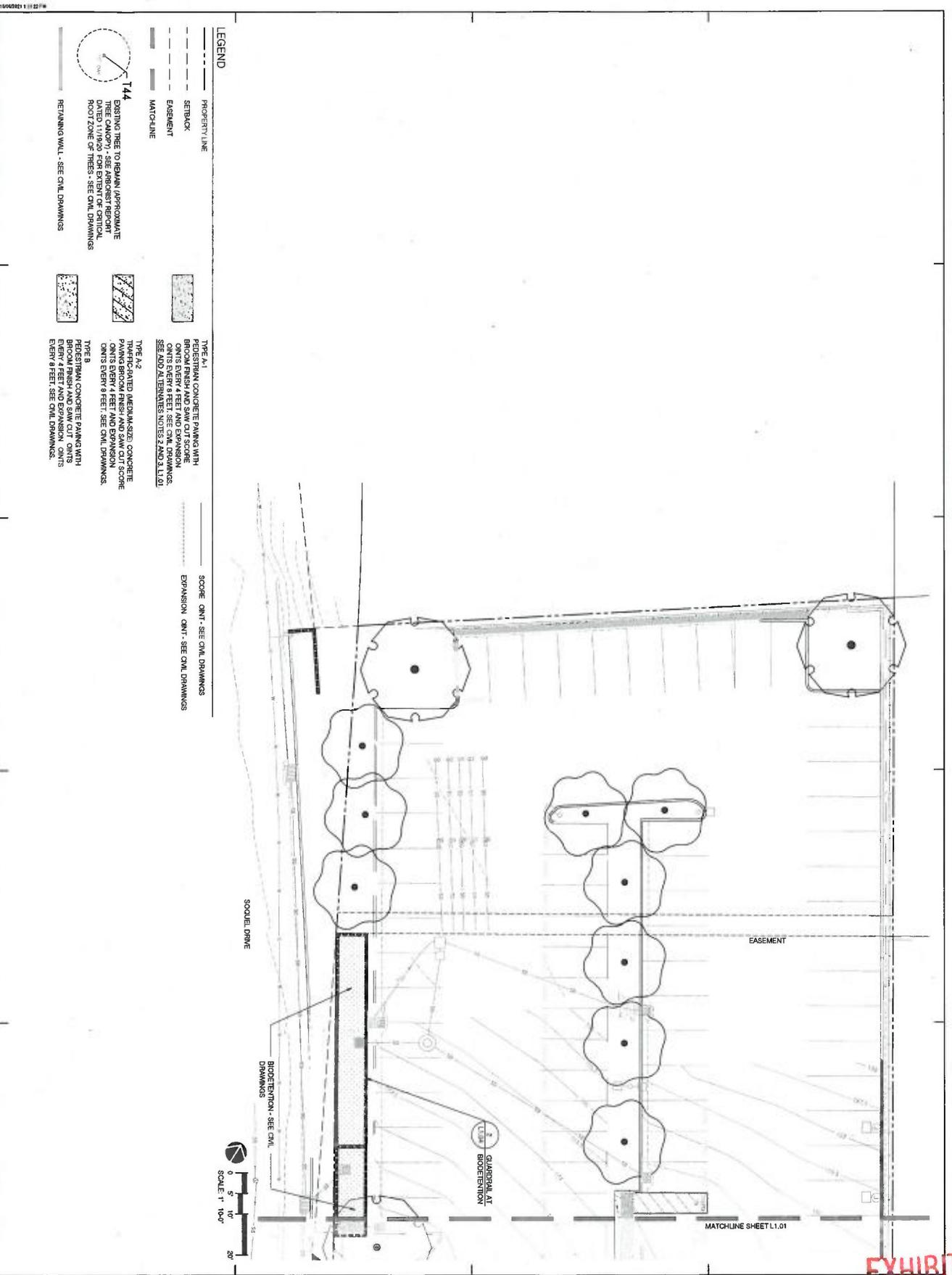
CONSULTANTS LOG

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PHONE: (831) 420-0101 WWW.ABA.COM
400 2ND ST. SUITE 100, CA 95008
PHONE: (831) 420-0101 WWW.ABA.COM

EXHIBIT D

SCALE: 1" = 10'-0"

L1.01



LEGEND

PROPERTY LINE
 SETBACK
 EASEMENT
 MATCHLINE

T4.4
 EXISTING TREE TO REMAIN (APPROXIMATE TREE CROWN AND SPREAD PERIODICAL DATED 1/1/20). SEE REPORT OF PERIODICAL ROOT ZONE OF TREES. - SEE CIVIL DRAWINGS

REMAINING WALL - SEE CIVIL DRAWINGS

TYPE A.1
 PEDESTRIAN CONCRETE PAVING WITH BROOM FINISH AND SAW CUT JOINTS EVERY 4 FEET AND EXPANSION JOINTS EVERY 9 FEET. - SEE CIVIL DRAWINGS. SEE ADD ALTERNATES NOTES 2 AND 3, L1.01

TYPE A.2
 THICKENED MEDIUM-SIZE CONCRETE PEDESTRIAN PAVING WITH BROOM FINISH AND SAW CUT JOINTS EVERY 4 FEET AND EXPANSION JOINTS EVERY 9 FEET. - SEE CIVIL DRAWINGS. SEE ADD ALTERNATES NOTES 2 AND 3, L1.01

TYPE B
 PEDESTRIAN CONCRETE PAVING WITH BROOM FINISH AND SAW CUT JOINTS EVERY 4 FEET AND EXPANSION JOINTS EVERY 9 FEET. - SEE CIVIL DRAWINGS.

SCOPE: ONT - SEE CIVIL DRAWINGS
 EXPANSION: ONT - SEE CIVIL DRAWINGS



SCALE DRIVE

PROJECTION - SEE CIVIL DRAWINGS

GENERAL AT UTM PROJECTION

MATCHLINE SHEET L1.01

EASEMENT

EXHIBIT D



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 San Jose, California 95113
 408.298.1820 | www.andberls.com

JONI JANICKI
 C.A.S.P. 01/13
 515 SWIFT ST. SANTA CRUZ, CA 95060
 PHONE: (513) 423-2461 | WWW.AJACKR.COM
 California License Number: Architect License: 1183

PLANNING RESUBMITTAL #3
 NOVEMBER 17, 2021

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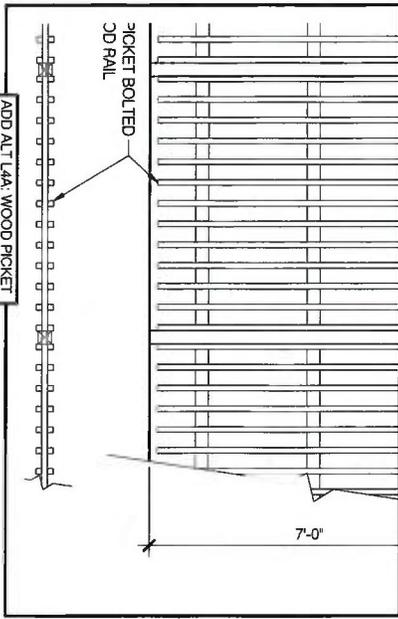
NO.	DATE	REVISION

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 7895 SOQUEL DR.
 APTOS, CA 95003

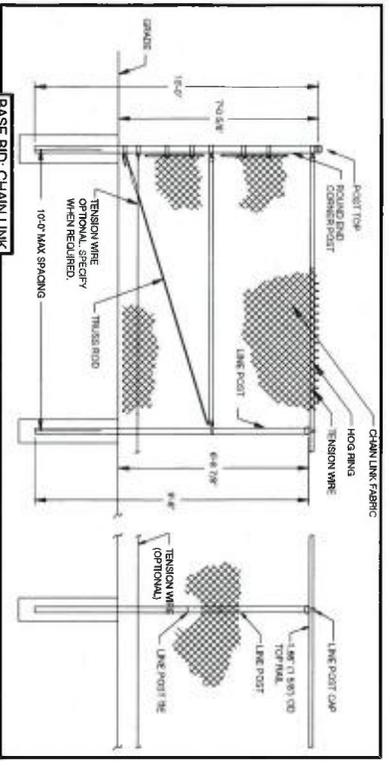
MATERIALS ENLARGEMENT PLAN
 PROJECT NO: 200650
 DATE: 11/02/21
 SHEET TITLE: L1.02



ADD ALT LAB ORNAMENTAL WELDED WIRE



ADD ALT LAB WOOD PICKET



BASE BID CHAIN LINK

3 SECURITY FENCE AND GATE

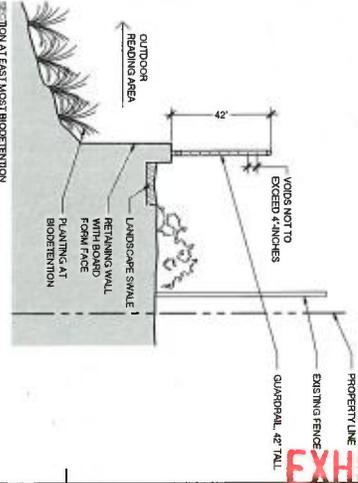
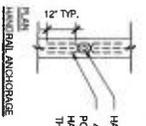
- SECURITY FENCE AND GATE NOTES:
- 1. FENCE SHALL BE 7-1/2 FT TALL AND INCLUDE:
 - ONE (1) MAINTENANCE GATE
 - ONE (1) EMERGENCY GATE EQUIPPED WITH PANIC HARDWARE
 - RETAINING WALL AND IN-GROUND VENTILATION CONDITIONS
 - 2. CONTRACTOR TO SUBMIT PRODUCT DATA AND SHOP DRAWINGS OF FENCING FOR APPROVAL.



2 GUARDRAIL (AT BORETENTION)

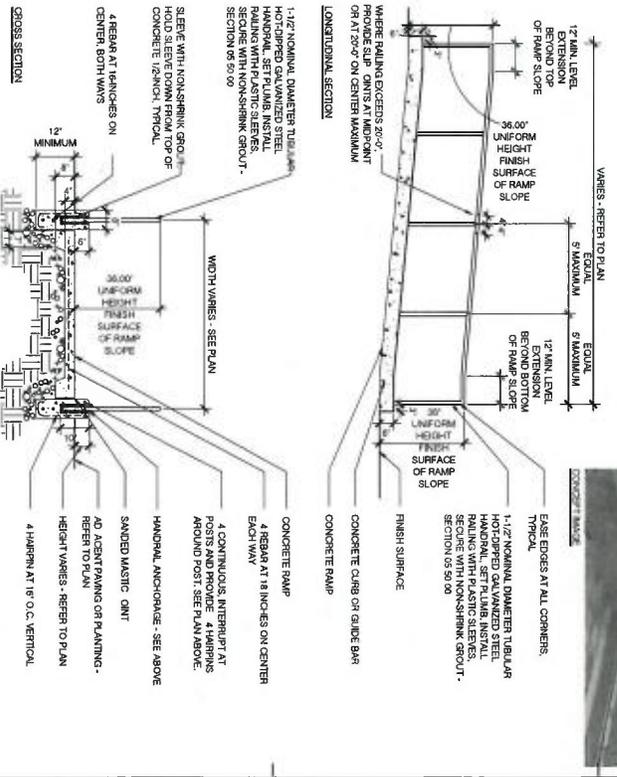
1/2" 1'-0"

- NOTES:
1. ALL WALL THICKNESS OF STEEL TO BE SCHEDULE 40.
 2. REFER TO SECTION 05 50 00



1 CONCRETE RAMP AND HANDRAIL DETAIL

1/2" 1'-0"



1 MATERIALS

DATE: 11/02/21
 SHEET TITLE: MATERIALS

SCALE: AS NOTED

L1.04

NOT FOR CONSTRUCTION

PLANNING RESUBMITTAL #3 NOVEMBER 17, 2021

JONI JANICKI
 4.15.2021 11:13

CONSULTANTS LOGO

ABBA ARCHITECTS

EXHIBIT D

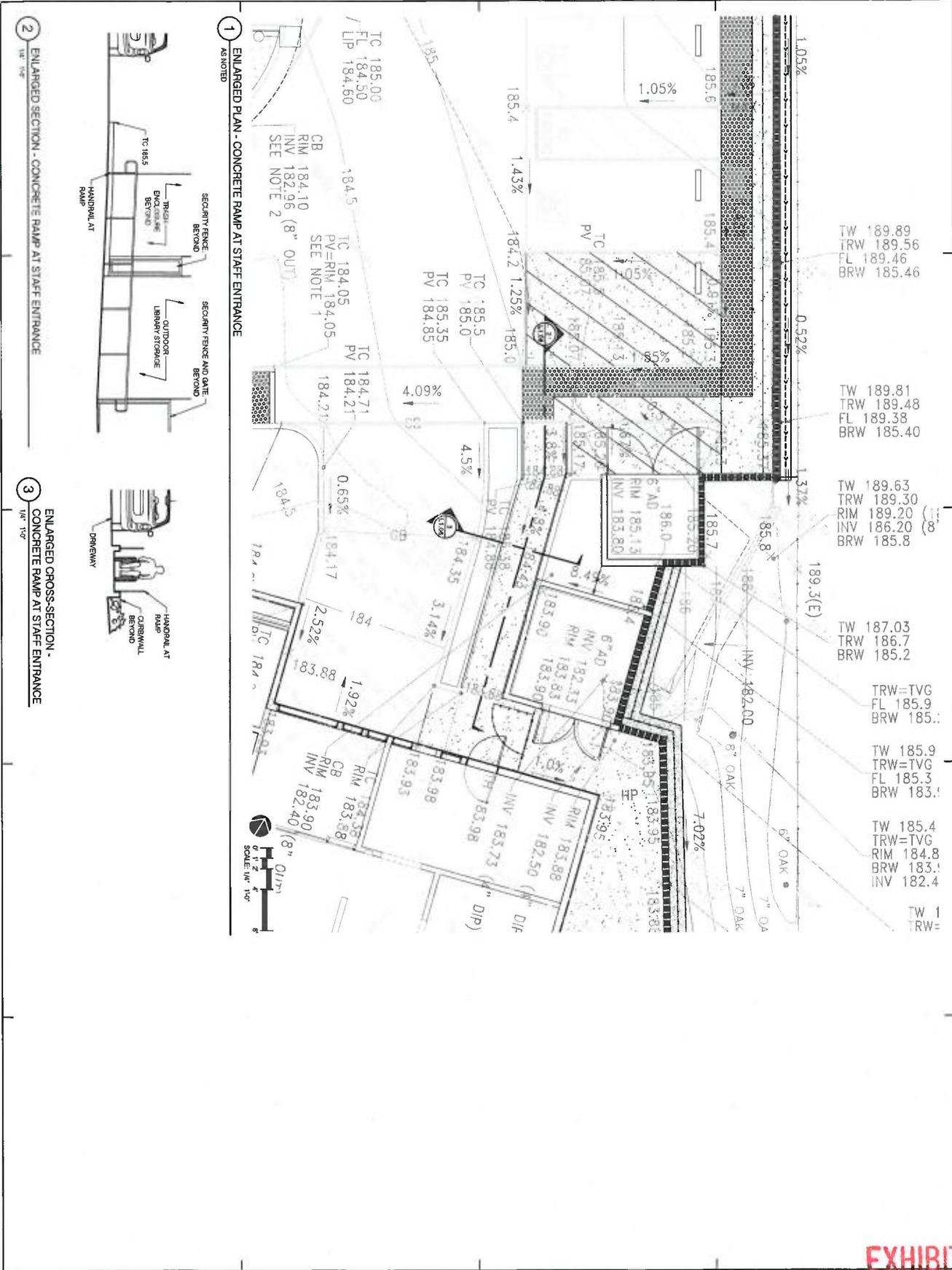


EXHIBIT D



ANDERSON BAULS
ARCHITECTS
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San Jose, California 95113
408.261.1200 | www.aba.com

JONI JANICKI
GRASSCOURT
515 SWIFT ST. SANTA CLARA CA 95050
PHONE: 408.423.0400 | WWW.JAL.COM
California Landscape Architect License: 180

PLANNING
RESUBMITTAL #3
NOVEMBER 11, 2021

NOT FOR
CONSTRUCTION

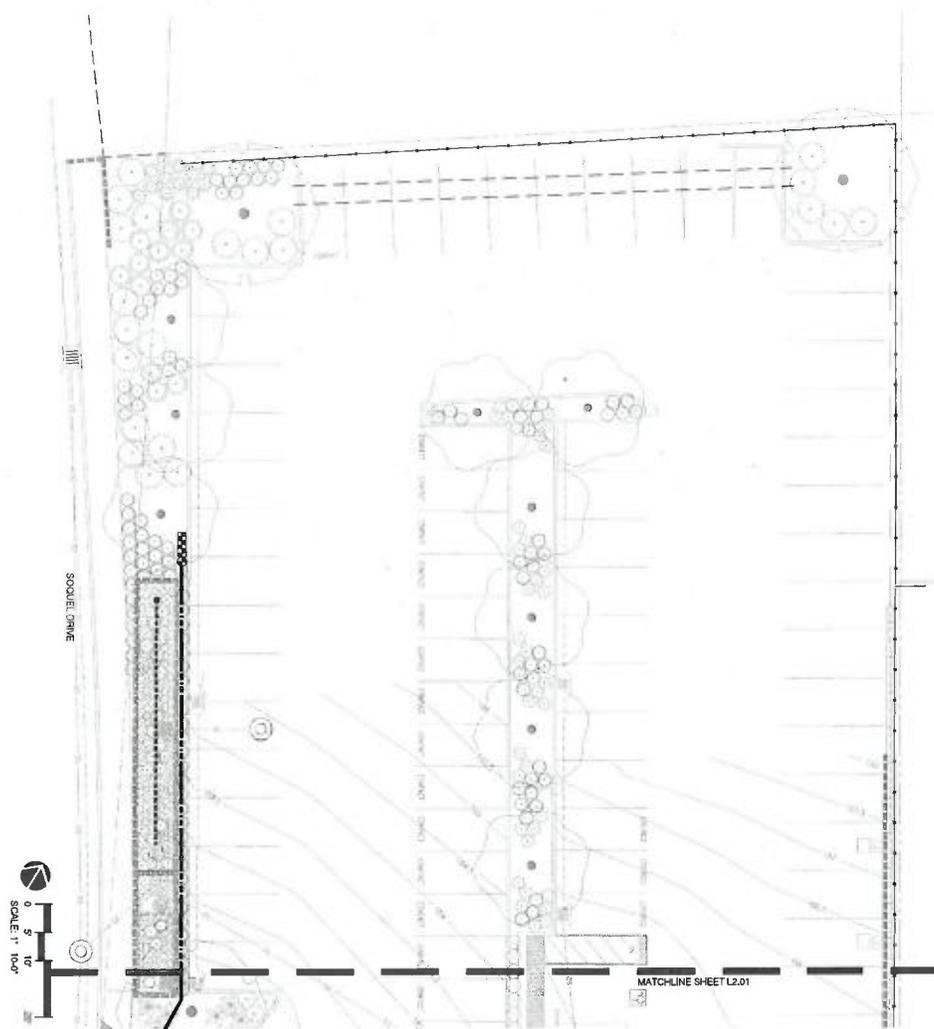
NO.	DATE	REVISIONS

PROJECT TITLE
APTOS BRANCH
LIBRARY
7695 SOQUEL DR.
APTOS, CA 95003

PROJECTION
DATE
SHEET TITLE
ENLARGED PLAN
AND CONCRETE
RAMP SECTIONS

SCALE
AS NOTED
L1.06

Engineering Consultants
 Russell D. Winkler Associates, Inc.
 C O A
 1 2 3 4



- NOTES:
- ONE BARBER SYMBOL IS SHOWN AT TREES FOR GRAPHIC CLARITY ONLY. ALL OTHER BARBERS IN EACH TREE SHALL BE SHOWN AS DETAIL NUMBER OF BARBERS AS DETAIL.
 - IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING REARTH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVES OR SCHEDULE 40 PVC CONDUIT. SLEEVING SHALL BE INSTALLED WITHIN HARDSCAPE SURFACES. ALL SLEEVING SHALL BE CONTAINED WITH SLEEVES PROVIDE VERTICAL SLEEVES FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE BOSS AT 12" MINIMUM BIRTH AND 12" FROM HARDSCAPE SURFACE.
 - UNSIZED LATERAL LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4" IN SIZE (TYPICAL).
 - SIZE OF LATERAL PIPE SHALL BE AS FOLLOWS:
 0.75" 0-6 GPM
 1" 7-12 GPM
 1.25" 13-20 GPM
 - SIZE OF LATERAL PIPE FOR COMBINE 1/2" O.C. GARD WITH 0.6 GPM OR LESS EMITTERS SHALL BE AS FOLLOWS:
 0.75 0-500 FT
 1" 501-1100 FT

EXHIBIT D



ANDERSON BRUF & ARCHITECTS
 307 East First Street, 20th Floor
 San Jose, California 95113
 408.266.1888 www.abarandbruf.com

CONSULTING ENGINEER
 DON L. JENNIFER
 LICENSED PROFESSIONAL ENGINEER
 611 SHREVE ST., SUITE 102, CA 95069
 PHONE: 415.852.1888 FAX: 415.852.1888
 CALIFORNIA LICENSE NUMBER: 51833

PLANNING
 RESUBMITTAL #3
 NOVEMBER 17, 2021

STAMP
 NOT FOR CONSTRUCTION

NO.	DATE	REVISIONS

PROJECT TITLE
 APTOS BRANCH LIBRARY
 7695 SQUUEL DR., APTOS, CA 95003

PROJECT NO. 2006/059
 DATE 11/02/21
 SHEET TITLE

IRRIGATION PLAN

SCALE 1" = 100'
 L2.02



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ARCHITECTS

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Phone: 503.425.1001
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Portland, OR 97204
Phone: 503.425.1001
www.gasparoli.com

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOT FOR
CONSTRUCTION

NO.	DATE	REVISIONS

PROJECT TITLE

APTOS BRANCH
LIBRARY

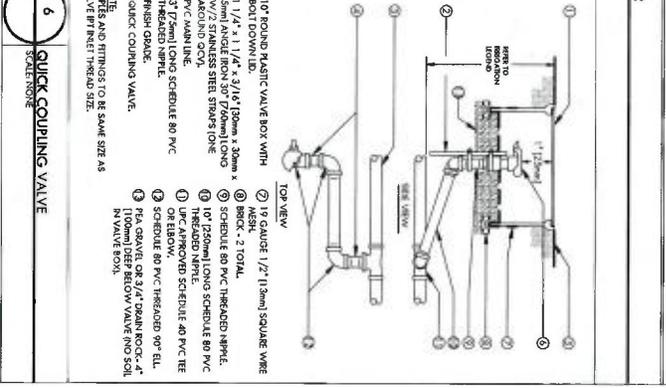
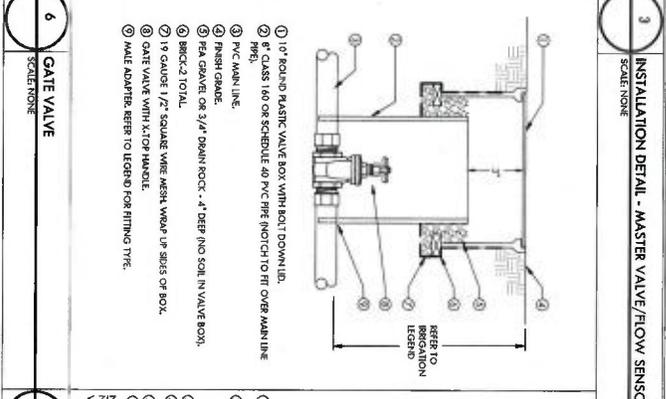
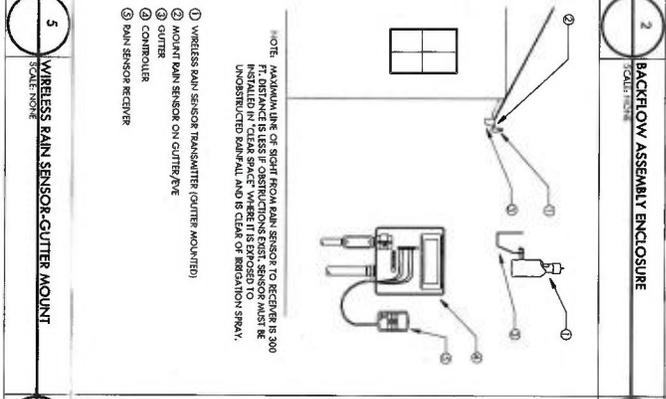
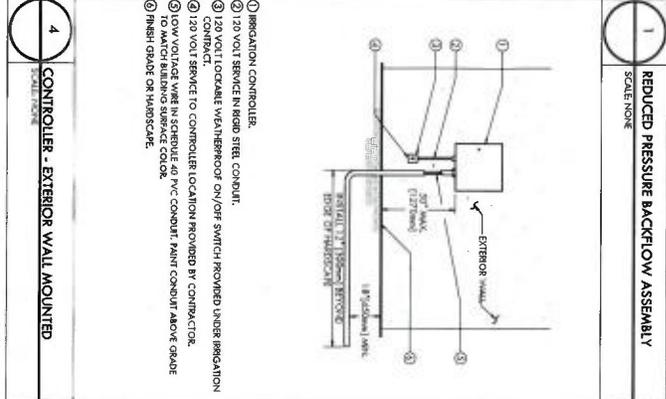
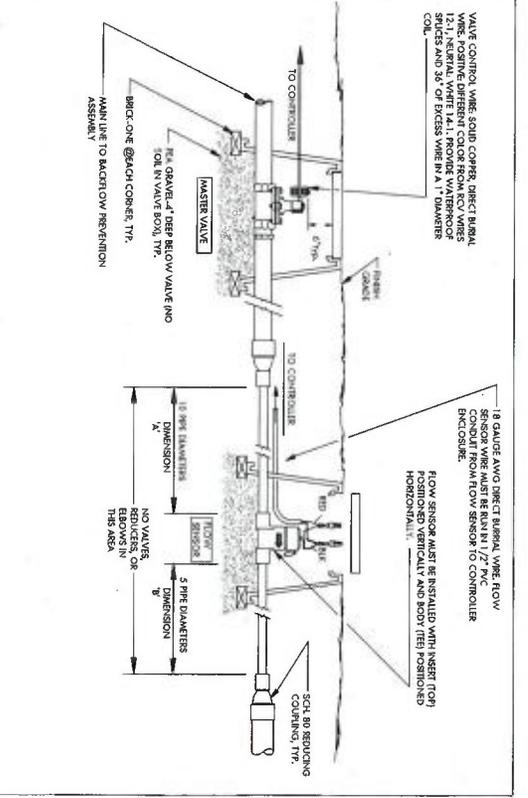
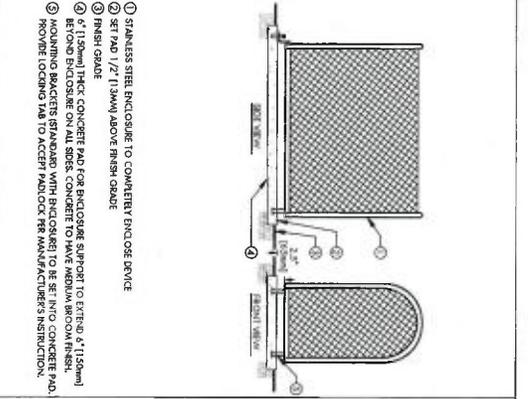
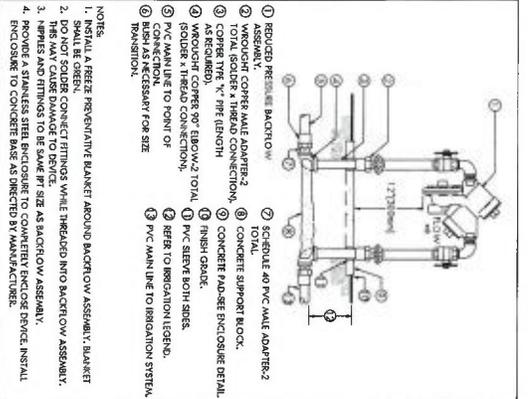
7595 SCUDEL DR.
APTOS, CA 95003

PROJECT NO. 200659
DATE 11/02/21
SHEET TITLE

IRRIGATION
DETAILS

SCALE NTS

L2.04



PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOT FOR CONSTRUCTION

NO.	DATE	REVISIONS

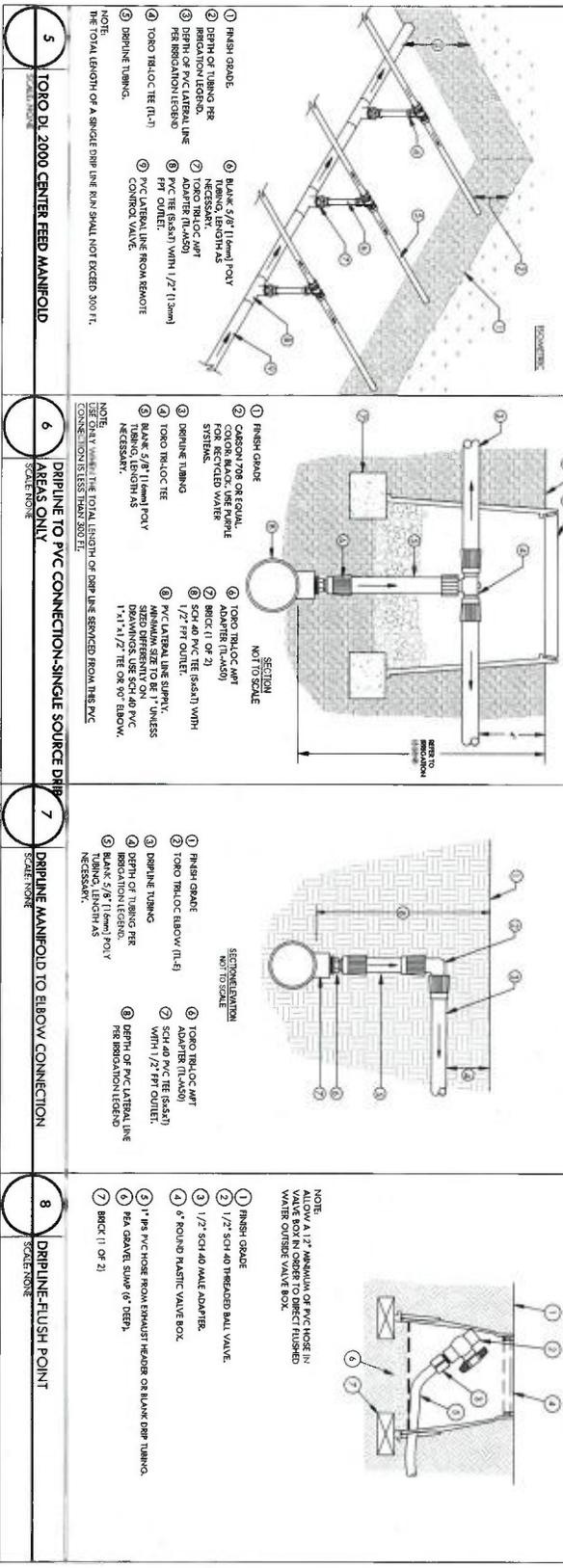
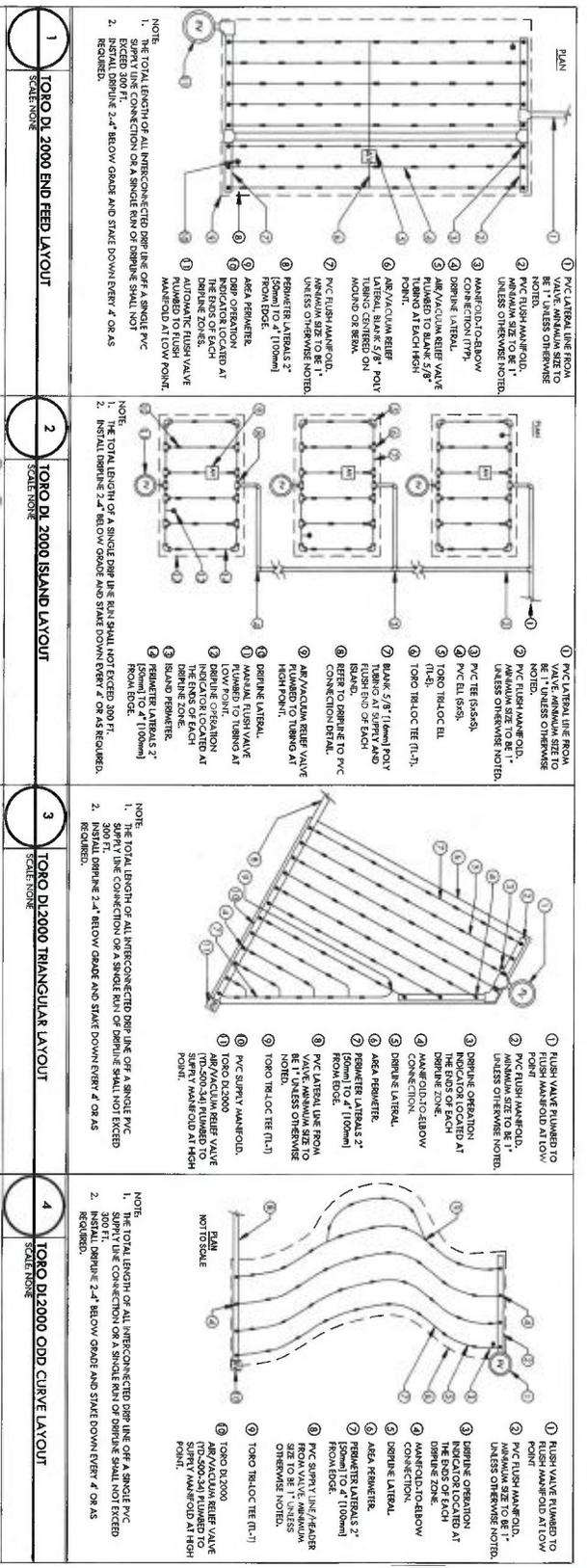
PROJECT TITLE
APTOS BRANCH LIBRARY
7895 SCOULE DR.
APTOS, CA 95003

PROJECT NO. 200650
DATE 11/02/21

SHEET TITLE
IRRIGATION DETAILS

SCALE: M/S

L2.06





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 408.291.1881 | www.andbr.com

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 JON L JAMECKI ASSOCIATES
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 California Landmarks Architect License 3182

PLANNING RESUBMITTAL #3
 NOVEMBER 17, 2021

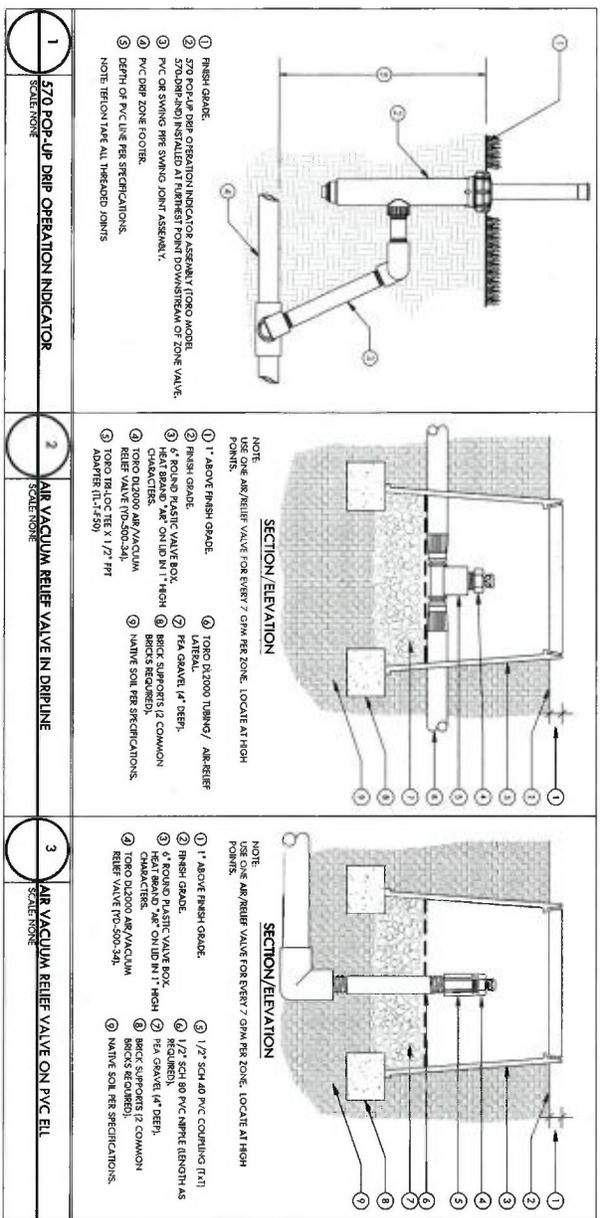
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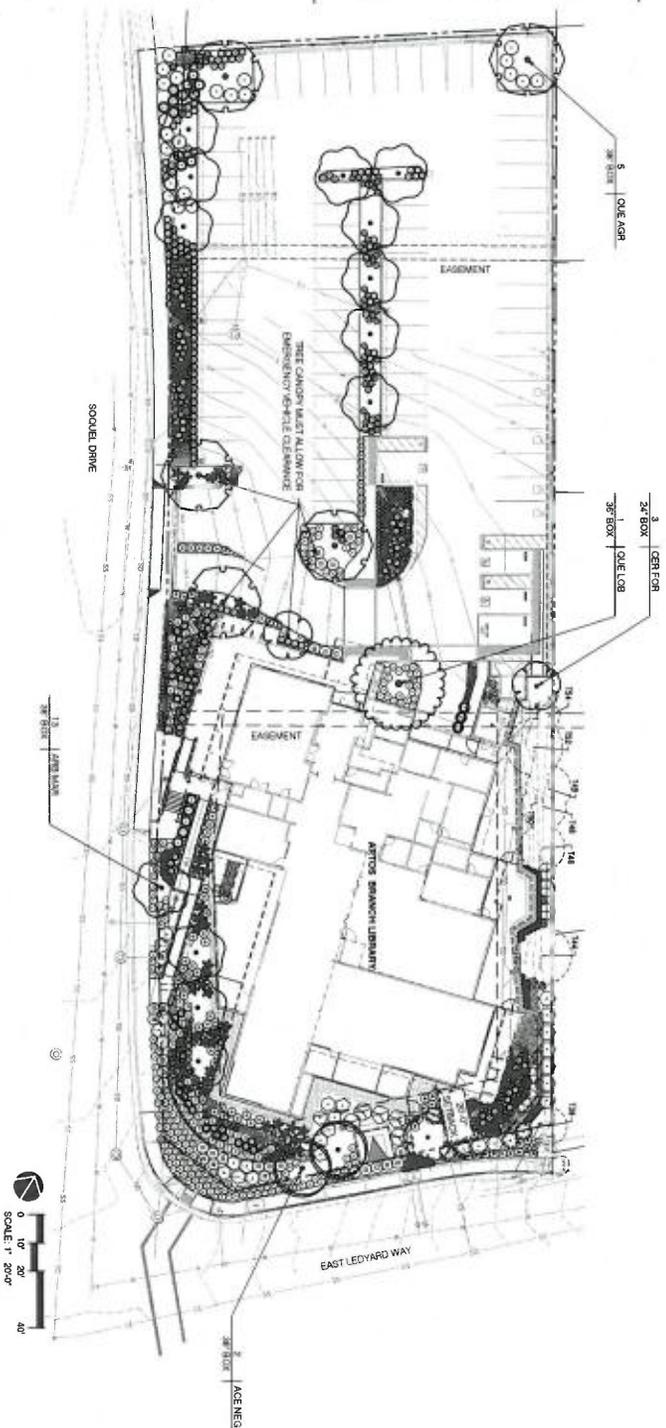
NO.	DATE	REVISIONS

PROJECT TITLE
 APTOS BRANCH LIBRARY
 7896 SQUUEL DR.
 APTOS, CA 95003

PROJECT NO. 280459
 DATE 11/02/21
 SHEET TITLE

IRRIGATION DETAILS
 SCALE NTS
 L2.07





LEGEND

144

EXISTING TREES TO REMAIN CRITICAL ROOT ZONE
 (CROSS HATCH) PER ARBORIST REPORT - SEE ARBORIST
 REPORT FOR CRITICAL ROOT ZONE OF TREES - SEE CIVIL DRAWINGS
 FOR CRITICAL ROOT ZONE OF TREES - SEE CIVIL DRAWINGS

EXHIBIT D



**ANDERSON BRULE
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 WWW.ABACONFIG.COM

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**PLANNING
 RESUBMITTAL #3**
 NOVEMBER 17, 2021

**NOT FOR
 CONSTRUCTION**

NO.	DATE	REVISIONS

PROJECT TITLE

**APTOS BRANCH
 LIBRARY**

7896 SCHOOL DR.
 APTOS, CA 95003

PROJECT NO. 2000659

DATE 11/02/21

SHEET TITLE

**TREE PLANTING
 PLAN**

SCALE 1" = 20'-0"

L3.00

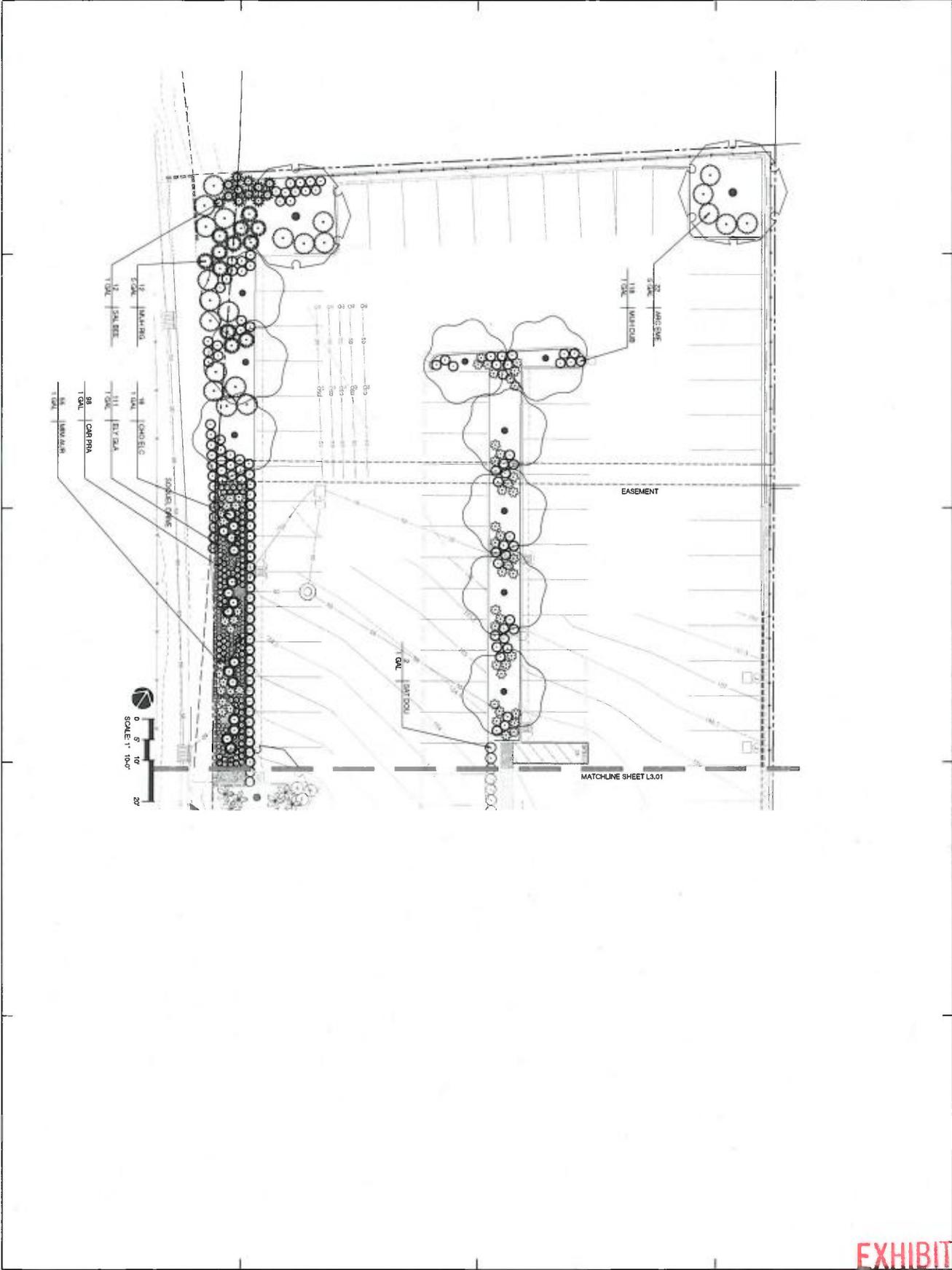


EXHIBIT D



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 CARMEL, CA 95008

PLANNING RESUBMITTAL #3
 NOVEMBER 17, 2021

NOT FOR CONSTRUCTION

NO.	DATE	RESPONSE

PROJECT TITLE
APTOS BRANCH LIBRARY
 7696 SOQUIEL DR.
 APTOS, CA 95003

PROJECT NO. 2006050
DATE 11/02/21
SHEET TITLE

PLANTING ENLARGEMENT PLAN

SCALE 1" = 10'-0"
L3.02

EXHIBIT D



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California Landscape Architect License 1843

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOT FOR
CONSTRUCTION

NO.	DATE	REVISIONS
1	08/11/21	ISSUED FOR PERMITS
2	08/11/21	ISSUED FOR PERMITS
3	08/11/21	ISSUED FOR PERMITS
4	08/11/21	ISSUED FOR PERMITS
5	08/11/21	ISSUED FOR PERMITS

PROJECT TITLE
APTOS BRANCH
LIBRARY
7896 SQUELIE DR.
APTOS, CA 95003

PROJECT NO. 2006059
DATE 1/10/21
SHEET TITLE

PLANT
SCHEDULE
AND
NOTES

SCALE
L3.03

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	AGE NEG 2		ACER NEGUNDO	BOX ELDER	36" BOX	
	ARB MAR 13		ARBUTUS X MARIANA	MARIANA STRAWBERRY TREE	36" BOX	
	GER FOR 3		CERAS CANADENSIS FOREST PANSY	FOREST PANSY EASTERN REDBUD	24" BOX	
	QUE AGR 5		QUERCUS AGERFOLIA	COASTLIVE OAK	36" BOX	
	QUE LOS 1		QUERCUS LOBATA	VALLEY OAK	36" BOX	
	ARB DNE 22		ARTOCARPUS X EMBELID CARPET	EMBROID CARPET MANZANITA	5 GAL	
	ART CAL 43		ARTEMISA CALIFORNICA	CALIFORNIA SAGEBRUSH	1 GAL	
	CAR PMA 427		CAREX PNEGMOUS	CALIFORNIA FIELD SEDGE	1 GAL	
	CEA HOR 8		CEANOLOTUS GRESSUS HORIZONTALIS	CANAL CREEPER	5 GAL	
	CHO ELC 79		CHONOROPETALUM TECTORIUM EL CAMPO	EL CAMPO SMALL OYER RUSH	1 GAL	
	COR CAL 8		CORYLIS CORNUTA CALIFORNICA	WESTERN HAZELNUT	5 GAL	
	ELY GLA 428		ELIYMS GALICUS	BLUE WILDRYE	1 GAL	
	EM POL 56		EMMONSIIUM FASCICULATUM POLIOPOLIUM	EASTERN MOHAWE BUCKWHEAT	1 GAL	
	HET ARB 5		HETEROMELES ARBUTIFOLIA	TOYON	5 GAL	
	IRIDOU 42		IRIS DOUGLASSIANA	DOUGLAS IRIS	1 GAL	
	LET CAN 14		LEMNAIS COMPENSATUS CANYON PRINCE	CANYON PRINCE GIANT WILD RICE	1 GAL	
	LOM HIR 31		LONGICORN HERBIFOLIA	HONEYBUCKLE	5 GAL	
	MAM ALR 111		MIMULUS ALPINEUS	STICKY MONKEYFLOWER	1 GAL	
	MULH DUB 129		MULHBERGIA DUBIA	PINE MULKY	1 GAL	
	MULH RIG 20		MULHBERGIA RIGENS	DEER GRASS	5 GAL	
	POL MAM 25		POLYTOPIUM MAMMILLUM	WESTERN SWORD FERN	1 GAL	
	PRB GUL 12		PRBUS SANGONELLUM GULMONSIIUM	RED FLOWERING CURRANT	5 GAL	
	RUBA IRS 19		RUBUS IRSINUS	CALIFORNIA BLACKBERRY	5 GAL	
	SAL SPA 28		SALVIA SPATHACEA	HILMANSIBOND SAGE	1 GAL	
	SAL BEE 16		SALVIA X BEES BLISS	BEES BLISS SAGE	1 GAL	
	SMT DOW 207		SMT DNE X DOUGLASSII	YERBA BUENA	1 GAL	



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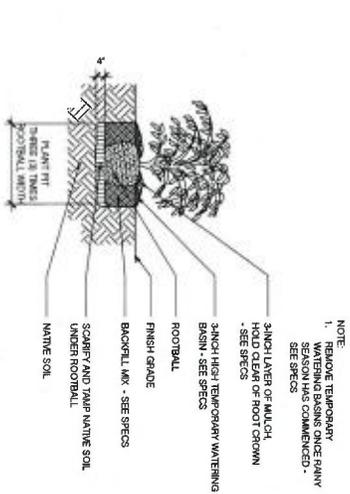
PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOT FOR
CONSTRUCTION

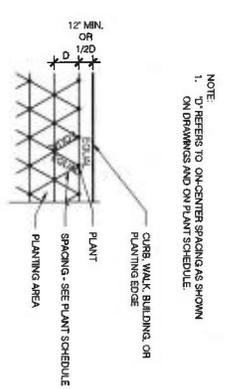
NO.	DATE	REVISIONS

PROJECT TITLE
APTOS BRANCH
LIBRARY
7695 SQUEL DR.
APTOS, CA 95003

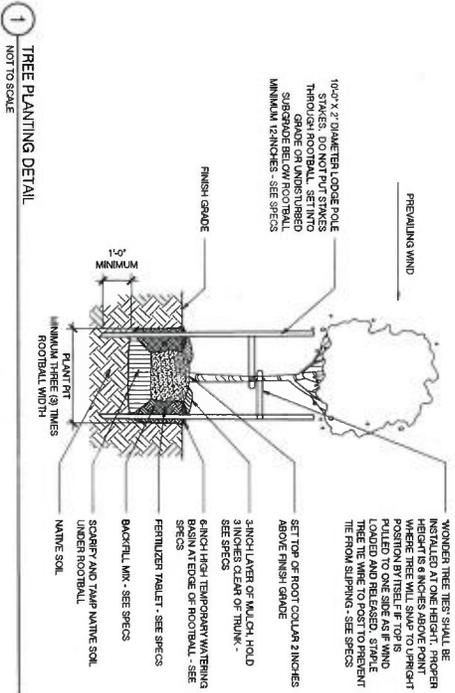
PROJECT NO. 2006059
DATE 11/02/21
SHEET TITLE PLANTING DETAILS
SCALE AS NOTED
L3.04



2 SHRUB PLANTING DETAIL
NOT TO SCALE



3 TYPICAL PLANT SPACING DETAIL
NOT TO SCALE



1 TREE PLANTING DETAIL
NOT TO SCALE



SITE PLAN SHEET NOTES

SEE SHEET #1107 FOR ADDITIONAL INFORMATION
SEE SHEET #1109 FOR ADDITIONAL SITE INFORMATION

EXHIBIT D



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San Diego, California 92116
619.594.1111
www.abatech.com

CONSULTANTS LOGO

SITE PLAN KEYNOTES

- 1101 PROJECT BOUNDARY, SEE SEPARATE SHEETS FOR ADDITIONAL INFORMATION
- 1102 PROPERTY LINE
- 1103 EXISTING CURB, SEE ELECTRICAL DIMENSIONS FOR ADDITIONAL INFORMATION
- 1104 EXISTING DRIVE, SEE ELECTRICAL DIMENSIONS FOR ADDITIONAL INFORMATION
- 1105 EXISTING DRIVE, SEE ELECTRICAL DIMENSIONS FOR ADDITIONAL INFORMATION
- 1106 EXISTING DRIVE, SEE ELECTRICAL DIMENSIONS FOR ADDITIONAL INFORMATION
- 1107 ACCESSIBLE DRIVE, SEE SHEETS 1114-1116 FOR ADDITIONAL INFORMATION
- 1108 EXISTING DRIVE, SEE SHEETS 1114-1116 FOR ADDITIONAL INFORMATION
- 1109 EXISTING DRIVE, SEE SHEETS 1114-1116 FOR ADDITIONAL INFORMATION
- 1110 EXISTING DRIVE, SEE SHEETS 1114-1116 FOR ADDITIONAL INFORMATION
- 1111 EXISTING DRIVE, SEE SHEETS 1114-1116 FOR ADDITIONAL INFORMATION
- 1112 EXISTING DRIVE, SEE SHEETS 1114-1116 FOR ADDITIONAL INFORMATION
- 1113 EXISTING DRIVE, SEE SHEETS 1114-1116 FOR ADDITIONAL INFORMATION
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- 1117 EXISTING DRIVE, SEE SHEETS 1114-1116 FOR ADDITIONAL INFORMATION
- 1118 EXISTING DRIVE, SEE SHEETS 1114-1116 FOR ADDITIONAL INFORMATION
- 1119 EXISTING DRIVE, SEE SHEETS 1114-1116 FOR ADDITIONAL INFORMATION
- 1120 EXISTING DRIVE, SEE SHEETS 1114-1116 FOR ADDITIONAL INFORMATION
- 1121 EXISTING DRIVE, SEE SHEETS 1114-1116 FOR ADDITIONAL INFORMATION
- 1122 EXISTING DRIVE, SEE SHEETS 1114-1116 FOR ADDITIONAL INFORMATION
- 1123 EXISTING DRIVE, SEE SHEETS 1114-1116 FOR ADDITIONAL INFORMATION
- 1124 EXISTING DRIVE, SEE SHEETS 1114-1116 FOR ADDITIONAL INFORMATION
- 1125 EXISTING DRIVE, SEE SHEETS 1114-1116 FOR ADDITIONAL INFORMATION
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- 1134 EXISTING DRIVE, SEE SHEETS 1114-1116 FOR ADDITIONAL INFORMATION
- 1135 EXISTING DRIVE, SEE SHEETS 1114-1116 FOR ADDITIONAL INFORMATION

SITE PLAN LEGEND

NO.	DATE	REVISIONS



PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

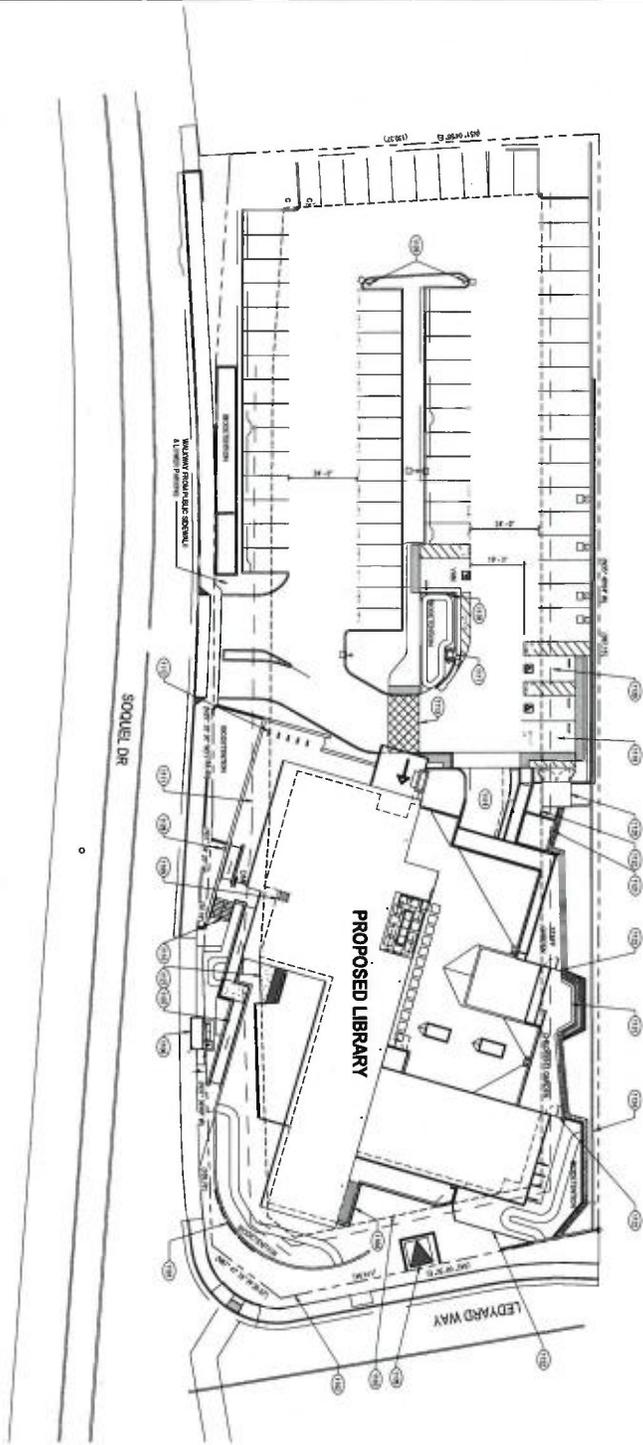
PROJECT TITLE

APTOS BRANCH LIBRARY
7685 SQUEL DR.
APTOS, CA 95003

PROJECT NO. 200459
DATE 02/21
SHEET TITLE

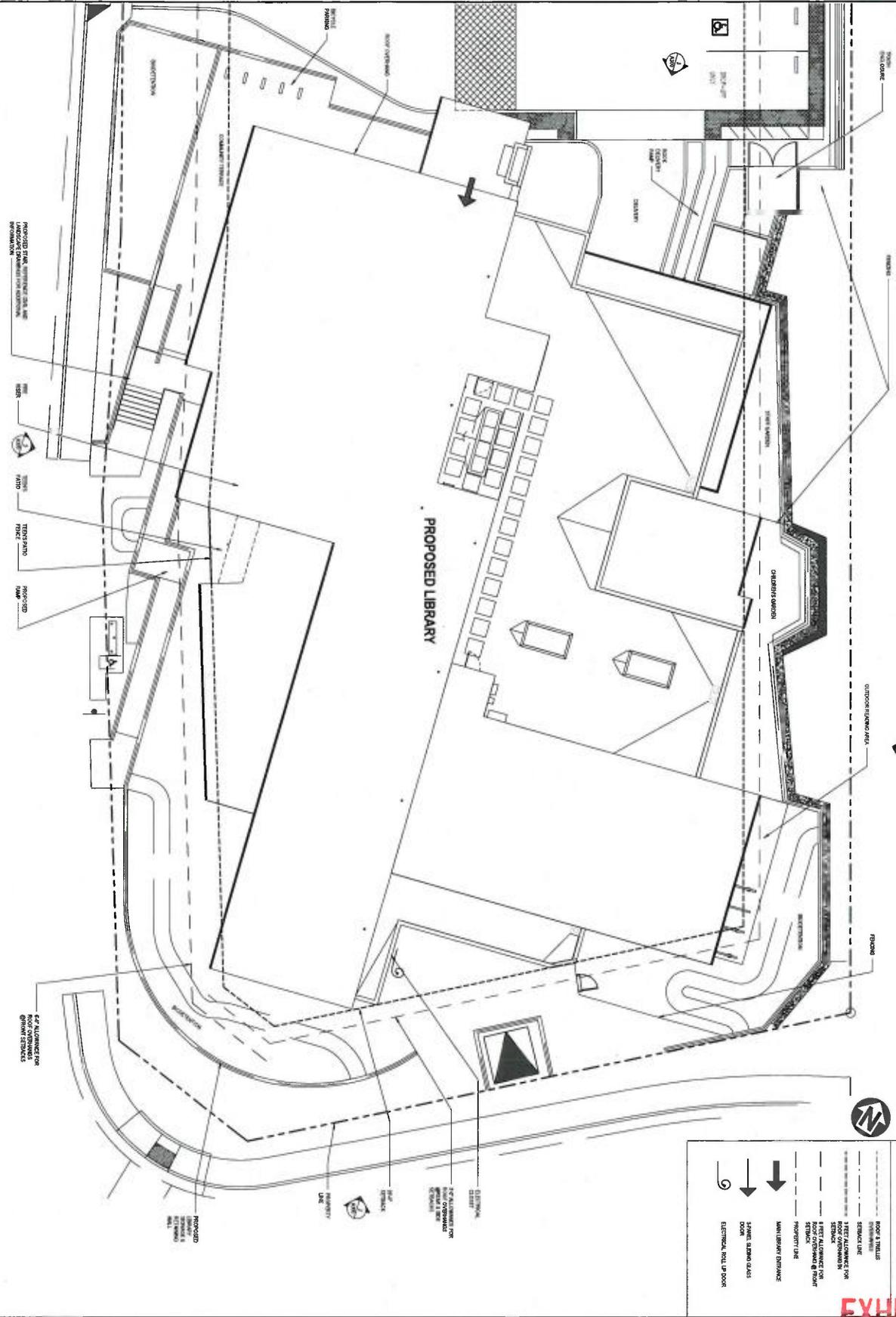
SITE PLAN

SCALE: 1" = 20'-0"
A100 P



1 SITE PLAN
1" = 20'-0"

1 ENLARGED SITE PLAN
11/17/21



ENLARGED SITE PLAN LEGEND

- PROPERTY LINE
- EASEMENT
- 10' SETBACK FOR SIDEWALKS
- 10' SETBACK FOR DRIVEWAYS
- 10' SETBACK FOR DRIVEWAYS @ FRONT
- 10' SETBACK FOR DRIVEWAYS @ REAR
- MAIN LIBRARY ENTRANCE
- 3' SIDE WALKWAY
- 3' SIDE WALKWAY
- ELECTRICAL RAIL IN DOCK

EXHIBIT D



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352 South Park Street, 8th Floor
San Jose, California 95113
408.268.1883 | www.abarct.com
CONSULTANTS LOGO

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021



NO.	DATE	REVISIONS

PROJECT TITLE:
APTOS BRANCH LIBRARY
7685 SOUTH DR.
APTOS, CA 95003

PROJECT NO.: 2004059
DATE: 7/14/21
SHEET TITLE:

ENLARGED SITE PLAN

SCALE: 1/8" = 1'-0"
A110P



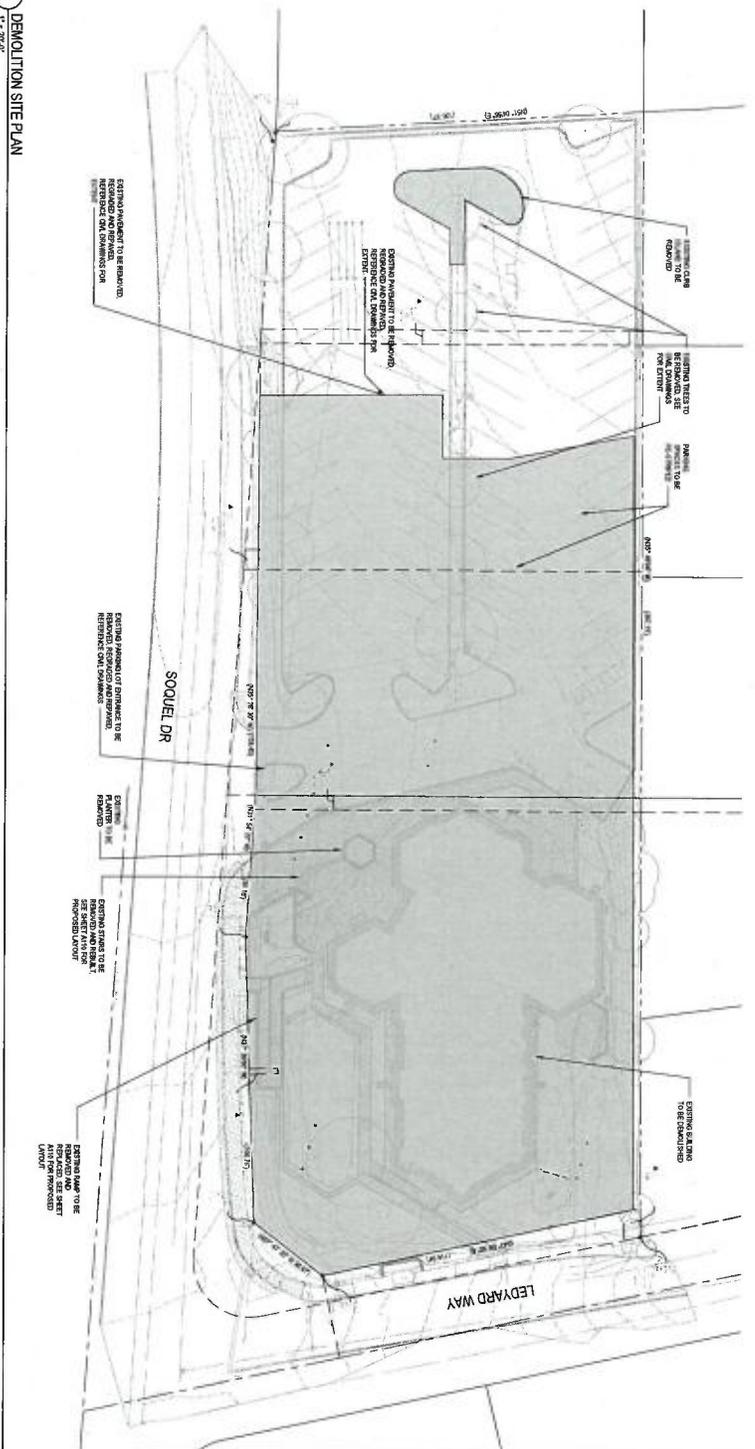
SITE DEMOLITION PLAN LEGEND

AREA OF DEMOLITION

SITE DEMOLITION SHEET NOTES

- A. CONSTRUCTION TO COMPLEMENT WITH EXISTING FRONT TO DEMOLITION
- B. CONSTRUCTION TO MATCH EXISTING ADJACENT FRONT TO DEMOLITION
- C. CONSTRUCTION TO MATCH EXISTING SIDE FRONT TO DEMOLITION
- D. CONSTRUCTION TO MATCH EXISTING REAR FRONT TO DEMOLITION
- E. CONSTRUCTION TO MATCH EXISTING SIDE REAR FRONT TO DEMOLITION
- F. CONSTRUCTION TO MATCH EXISTING REAR REAR FRONT TO DEMOLITION
- G. CONSTRUCTION TO MATCH EXISTING SIDE REAR REAR FRONT TO DEMOLITION
- H. CONSTRUCTION TO MATCH EXISTING REAR REAR REAR FRONT TO DEMOLITION
- I. CONSTRUCTION TO MATCH EXISTING SIDE REAR REAR REAR FRONT TO DEMOLITION
- J. CONSTRUCTION TO MATCH EXISTING REAR REAR REAR REAR FRONT TO DEMOLITION
- K. CONSTRUCTION TO MATCH EXISTING SIDE REAR REAR REAR REAR FRONT TO DEMOLITION
- L. CONSTRUCTION TO MATCH EXISTING REAR REAR REAR REAR REAR FRONT TO DEMOLITION
- M. CONSTRUCTION TO MATCH EXISTING SIDE REAR REAR REAR REAR REAR FRONT TO DEMOLITION
- N. CONSTRUCTION TO MATCH EXISTING REAR REAR REAR REAR REAR REAR FRONT TO DEMOLITION
- O. CONSTRUCTION TO MATCH EXISTING SIDE REAR REAR REAR REAR REAR REAR FRONT TO DEMOLITION
- P. CONSTRUCTION TO MATCH EXISTING REAR REAR REAR REAR REAR REAR REAR FRONT TO DEMOLITION
- Q. CONSTRUCTION TO MATCH EXISTING SIDE REAR REAR REAR REAR REAR REAR REAR FRONT TO DEMOLITION
- R. CONSTRUCTION TO MATCH EXISTING REAR REAR REAR REAR REAR REAR REAR REAR FRONT TO DEMOLITION
- S. CONSTRUCTION TO MATCH EXISTING SIDE REAR REAR REAR REAR REAR REAR REAR REAR FRONT TO DEMOLITION
- T. CONSTRUCTION TO MATCH EXISTING REAR REAR REAR REAR REAR REAR REAR REAR REAR FRONT TO DEMOLITION
- U. CONSTRUCTION TO MATCH EXISTING SIDE REAR REAR REAR REAR REAR REAR REAR REAR REAR FRONT TO DEMOLITION
- V. CONSTRUCTION TO MATCH EXISTING REAR FRONT TO DEMOLITION
- W. CONSTRUCTION TO MATCH EXISTING SIDE REAR FRONT TO DEMOLITION
- X. CONSTRUCTION TO MATCH EXISTING REAR FRONT TO DEMOLITION
- Y. CONSTRUCTION TO MATCH EXISTING SIDE REAR FRONT TO DEMOLITION
- Z. CONSTRUCTION TO MATCH EXISTING REAR FRONT TO DEMOLITION

1 DEMOLITION SITE PLAN
11-2021



CONSULTANTS LOGO

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408.281.1881
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PLANNING
RESUBMITAL #3
NOVEMBER 17, 2021



NO.	DATE	REVISIONS

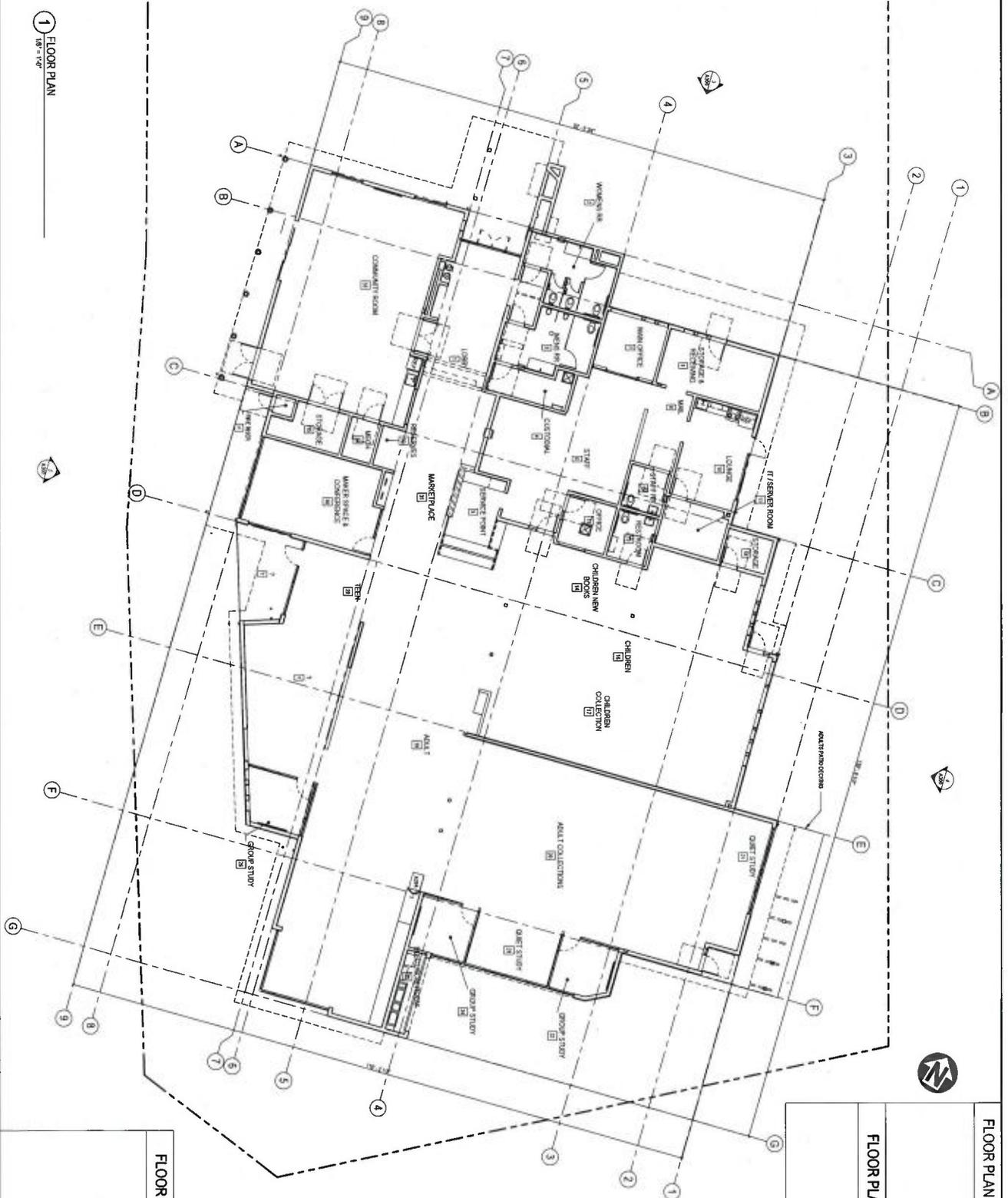
PROJECT TITLE:
APTOS BRANCH LIBRARY
7665 SOQUEL DR.
APTOS, CA 95003

PROJECT NO.: 2006499
DATE: 7/14/21
SHEET TITLE:

SITE DEMOLITION PLAN

SCALE: As Indicated

A150P



1 FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN SHEET NOTES

FLOOR PLAN LEGEND



FLOOR PLAN LEGEND

EXHIBIT D



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CONSULTANTS LOGO

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021



NO.	DATE	REVISIONS

PROJECT TITLE
APTOS BRANCH LIBRARY
7895 SQUEL DR.
APTOS, CA 95003

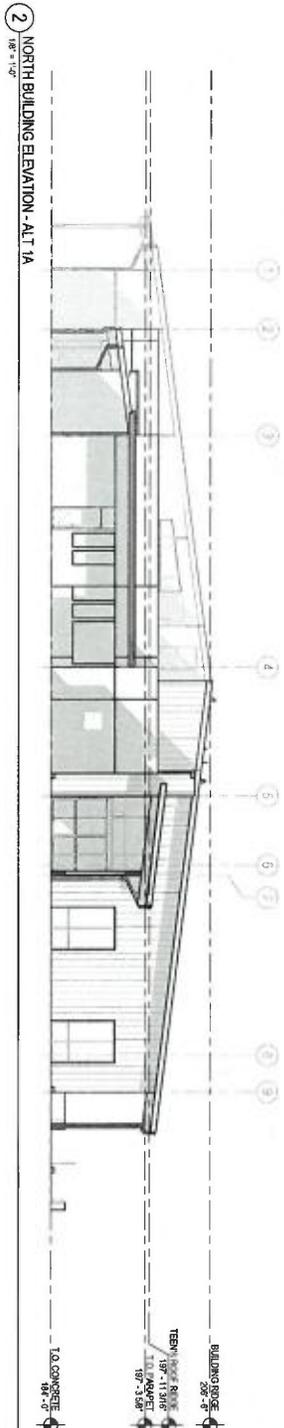
PROJECT NO. 2006062
DATE 7/14/21
SHEET TITLE

FLOOR PLAN

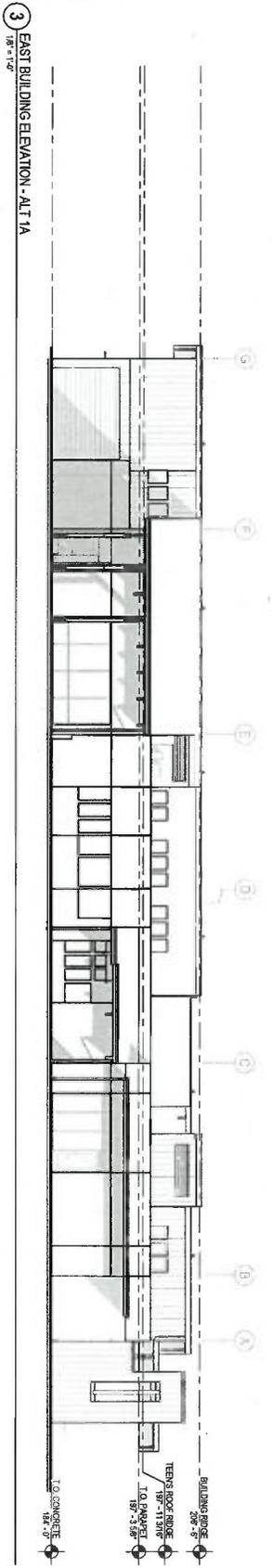
SCALE: 1/8" = 1'-0"
A200 P



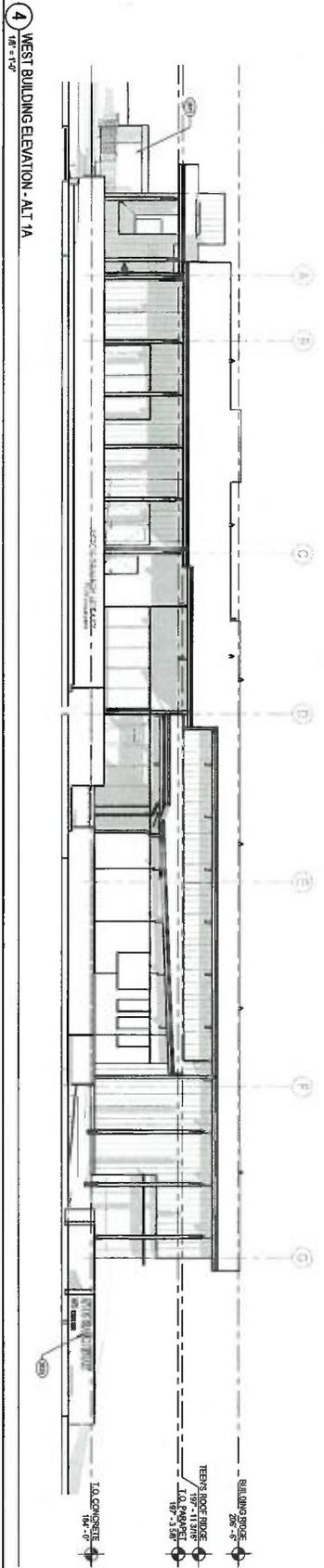
1 SOUTH BUILDING ELEVATION - ALT 1A
1/8" = 1'-0"



2 NORTH BUILDING ELEVATION - ALT 1A
1/8" = 1'-0"



3 EAST BUILDING ELEVATION - ALT 1A
1/8" = 1'-0"

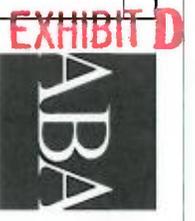
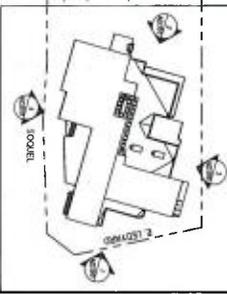


4 WEST BUILDING ELEVATION - ALT 1A
1/8" = 1'-0"

KEYNOTES

- 201 THIN BUILDING: SEE SHEET A40
- 202 MASONRY COURSE: SEE SHEET A40
- 203 EXTERIOR FINISH: SEE SHEET A40

KEY PLAN



ANDERSON BRUIS
ARCHITECTS
252 South First Street, 9th Floor
San Jose, California 95113
408.292.1933 | www.abarc.com

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

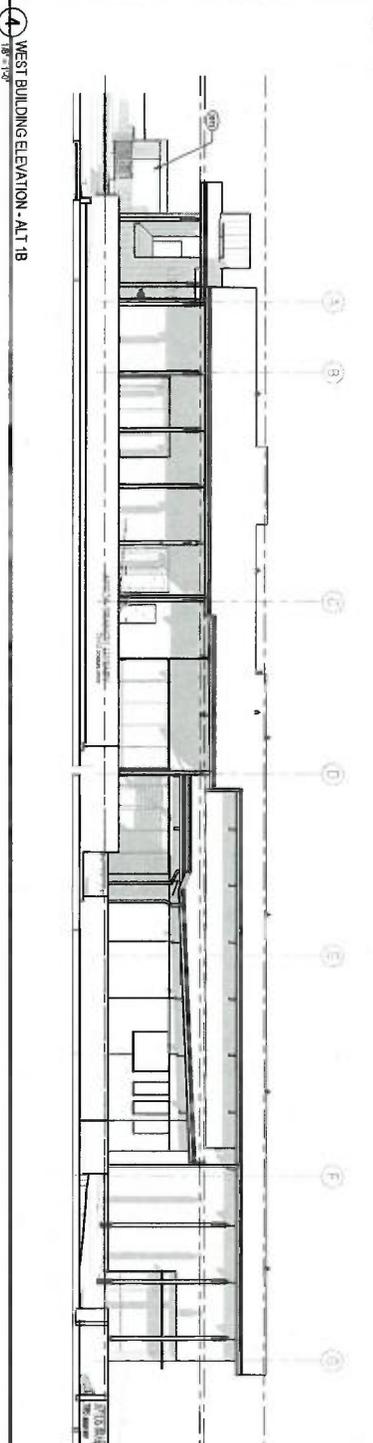
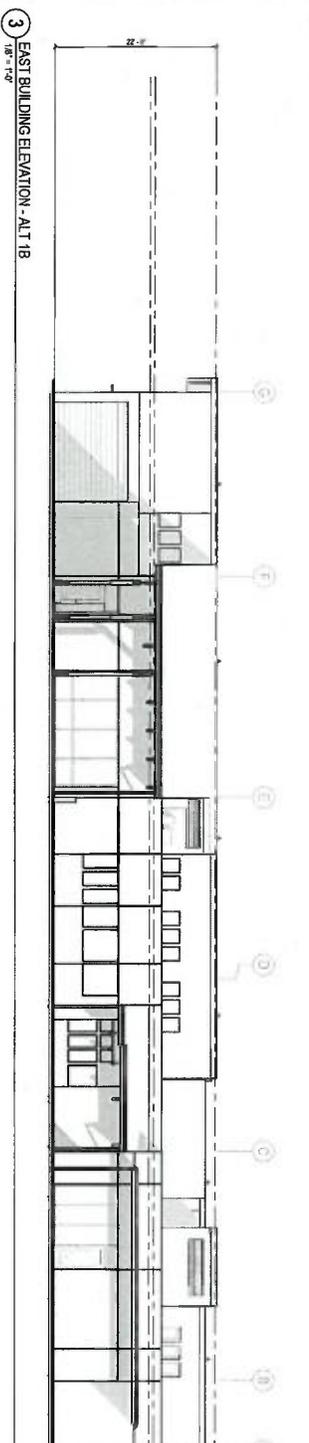
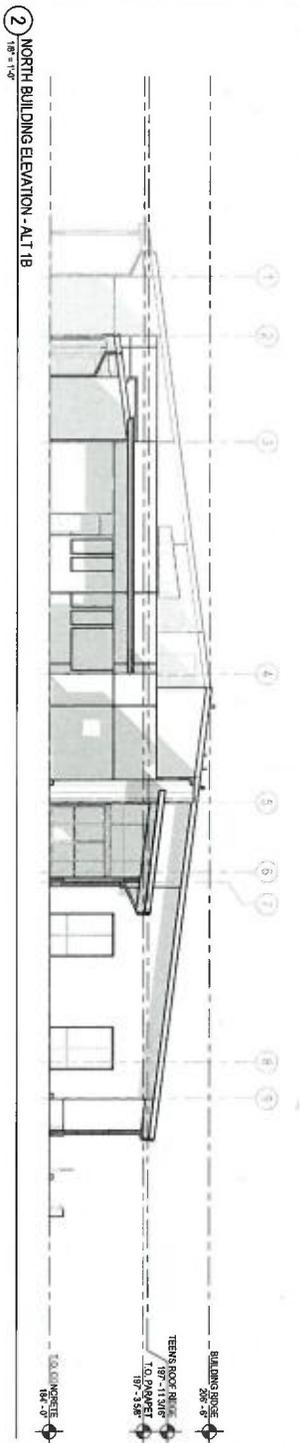
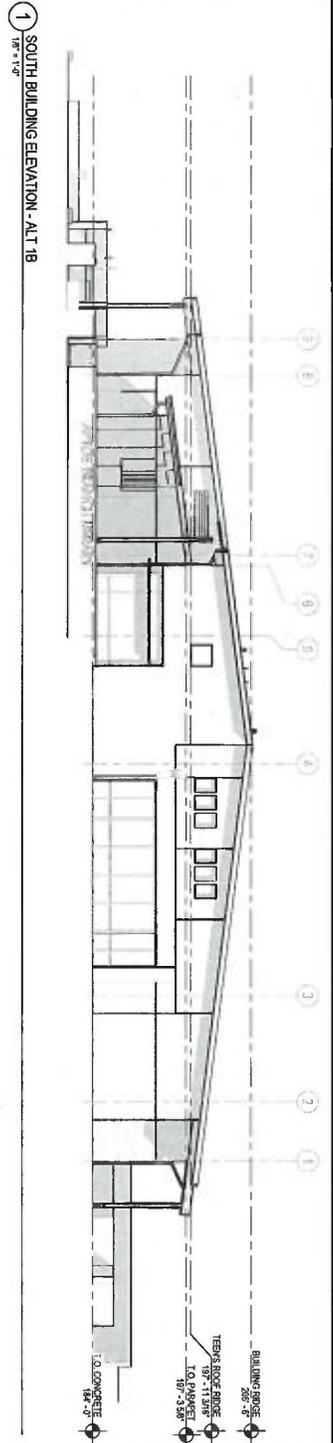


NO.	DATE	REVISIONS

PROJECT TITLE
APTOS BRANCH
LIBRARY
7696 SQUELIE DR.
APTOS, CA 95003

PROJECT NO. 200659
DATE 7/16/21
SHEET TITLE
EXTERIOR
ELEVATIONS

SCALE: As Indicated
AD300



KEYNOTES
 FROM FIELDWORK SEE SHEET A40
 FROM DRAWING ROOM SEE SHEET A40

KEY PLAN

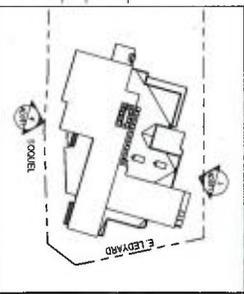
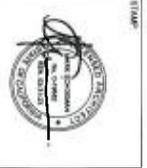


EXHIBIT D



ANDERSON BROS ARCHITECTS
 2200 Main Street, Suite 1010
 San Francisco, CA 94109
 415.774.1088 | www.andersonbros.com

PLANNING RESUBMITTAL #3
 NOVEMBER 17, 2021

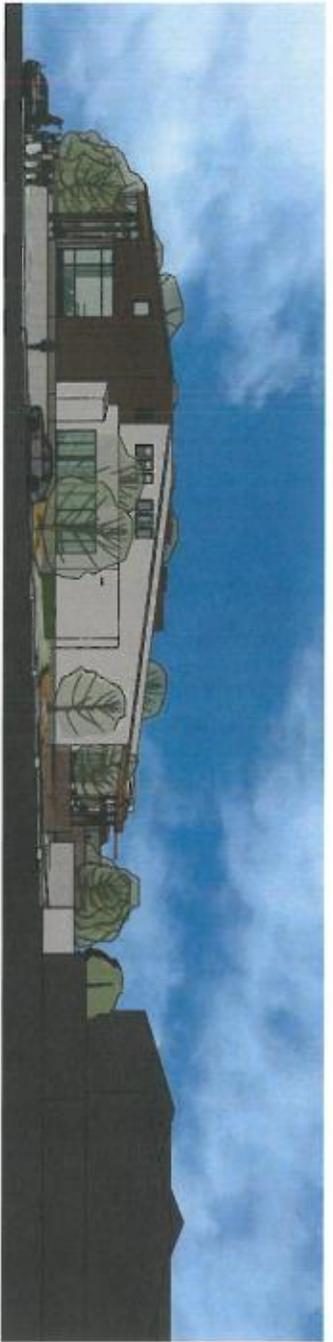


NO.	DATE	REVISIONS

PROJECT TITLE
APTOS BRANCH LIBRARY
 7895 SOUJEL DR.
 APTOS, CA 95003

PROJECT NO. 2004650
DATE 7/14/21
SHEET TITLE
EXTERIOR ELEVATIONS

SCALE As Shown
AD301



SITE SECTION



VIEW FROM CORNER OF LEDYARD AND SOQUEL



SOQUEL FACADE



SOQUEL FACADE



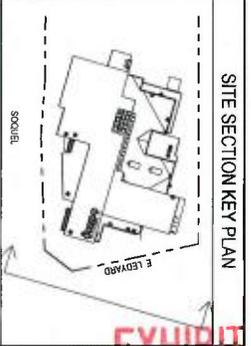
MAIN ENTRANCE



AERIAL VIEW



BACK PORCH



MATERIAL LEGEND

	PLASTER - OFF WHITE		CONCRETE/ STACKED MASONRY
	WOOD/WOOD COMPOSITE		ROOF - TPO - OFF WHITE
	GLAZING - STOREFRONT DARK ANODIZED BRONZE		

EXHIBIT D



ANDERSON BUTTE ARCHITECTS
 208 South Park Street, 4th Floor
 Astoria, OR 97103
 503.325.1800 | www.abaarch.com
 CONSULTANTS LOGO

PLANNING RESUBMITTAL #3
 NOVEMBER 17, 2021



NO.	DATE	REVISIONS

PROJECT TITLE
 APTOS BRANCH LIBRARY
 7696 SOQUEL DR.
 APTOS, CA 95003

PROJECT NO. 2004026
 DATE 05/21/21
 SHEET TITLE
 SITE SECTION AND MASSING PERSPECTIVES

SCALE 1" = 50'-0"
 AD401 P

1 SITE PLAN
1" = 30'-0"

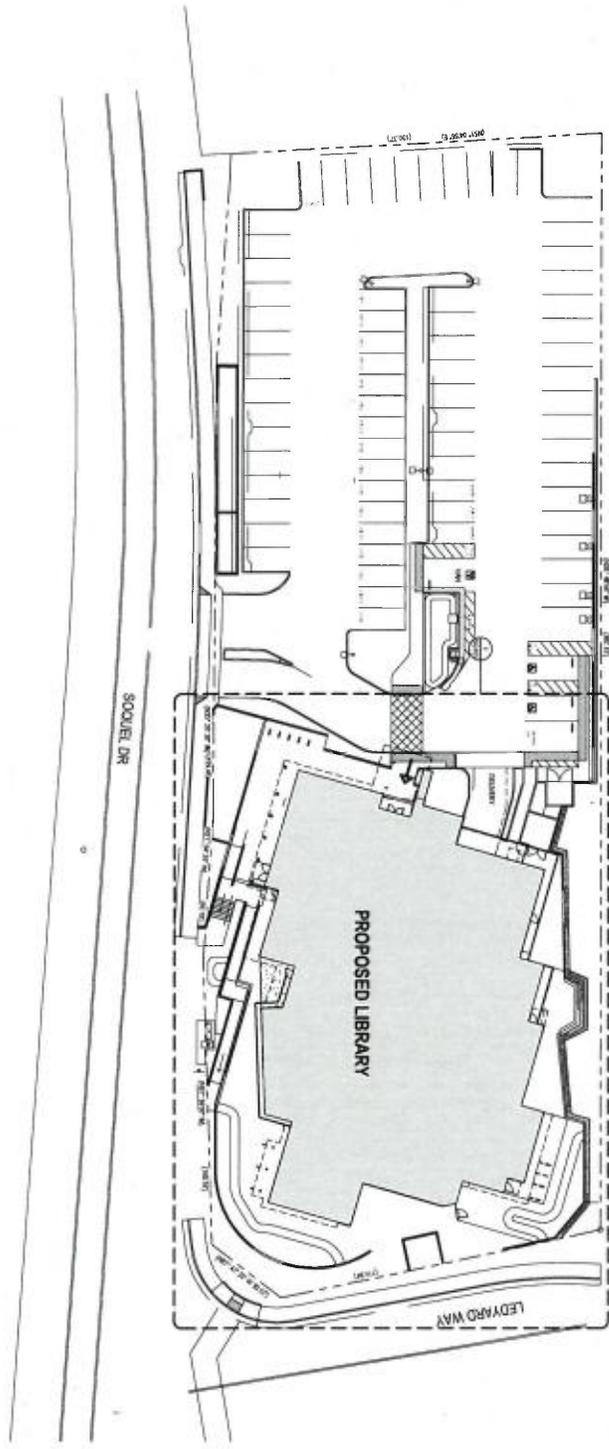


EXHIBIT D



ANDERSON BRUCE
ARCHITECTS
315 South Park Street, 4th Floor
San Jose, California 95113
408.278.1051 | www.abarc.com
CONSULTANTS LOGO

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021



NO.	DATE	REVISIONS

PROJECT TITLE
**APTOS BRANCH
LIBRARY**
7895 SQUEL DR,
APTOS, CA 95003

PROJECT NO. 2006693
DATE 7/14/21
SHEET TITLE

SITE PLAN -
SIGNAGE

SCALE 1" = 30'-0"
SG100

EXHIBIT D

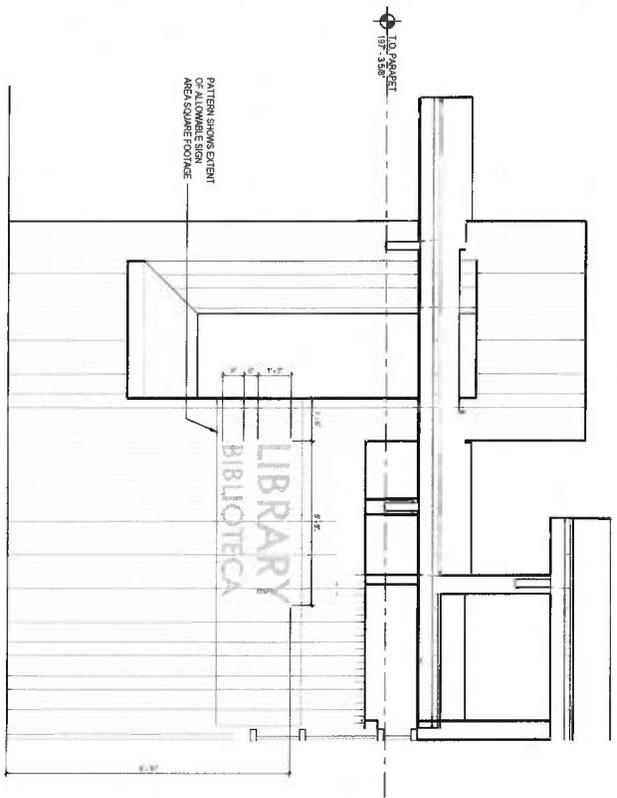
SHEET NOTES

1. NOT TO BE TRANSPARENT OR IR
2. LETTERING TO BE CLEAR AND/OR ALUMINA SIGN MOUNTED
3. SIGN TO BE ALUMINA SIGN MOUNTED
4. HIGH PERFORMANCE POWDER COATED GRAVE COLOR FINISH TO BE COATED
5. ALL PANELS TO BE WEATHER RESISTANT TO BE USED AT INTERSECTION AT SOQUEL DR AND LEYARD WAY

EXTERIOR SIGNAGE CALCULATIONS			
SIGN DESCRIPTION: 1x1x10 FT SIGNAGE			
SIGN LOCATION	DESCRIPTION	ALLOWABLE SIGN AREA SQ. FT.	ACTUAL SQ. FT.
MAIN DRIVE BUILDING SIGNAGE	Signage at the library main entrance	3,000 SQ. FT.	3,000 SQ. FT.
SOQUEL ACADEMICAL SIGNAGE	Signage at the Soquel Academic Building	1,000 SQ. FT.	1,000 SQ. FT.
MONUMENT SIGN	Signage at the corner of Soquel and Leyard	1,000 SQ. FT.	1,000 SQ. FT.
TOTAL SIGNAGE	3	5,000 SQ. FT.	5,000 SQ. FT.

ANDERSON BULL
ARCHITECTS
325 South First Street, 4th Floor
San Jose, California 95113
408.263.1100
www.andersonbull.com

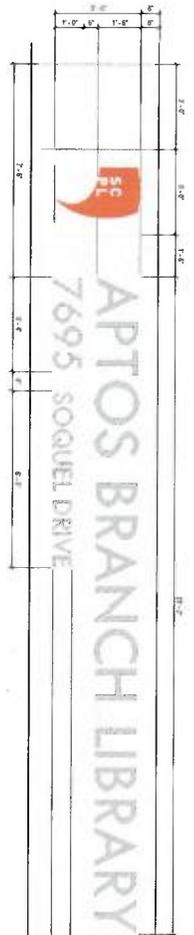
CONSULTANTS LOGO



1 IDENTIFICATION SIGN - ELEVATION
1/2" = 1'-0"

2 PEDESTRIAN - ORIENTED SIGN ALONG SOQUEL DR - ELEVATION
1/2" = 1'-0"

3 PEDESTRIAN - ORIENTED SIGN ALONG SOQUEL DR - PLAN VIEW
1/2" = 1'-0"



4 PEDESTRIAN - ORIENTED SIGN AT INTERSECTION AT SOQUEL DR AND LEYARD WAY - ELEVATION
1/2" = 1'-0"

5 PEDESTRIAN - ORIENTED SIGN AT INTERSECTION AT SOQUEL DR AND LEYARD WAY - PLAN VIEW
1/2" = 1'-0"

NOTE (2) IN-GRADE LED WELL LIGHTS
UL LISTED FOR WET ZONES

NOT FOR CONSTRUCTION

50% CONSTRUCTION DOCUMENT SET

NO.	DATE	REVISIONS

PROJECT TITLE
APTOS BRANCH LIBRARY
7695 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 2004056
DATE 7/14/21
SHEET TITLE
ENLARGED EXTERIOR SIGNAGE ELEVATIONS

SCALE As indicated
SG104

Electronically Redrawn 12/15/97 wrp
 Rev. 4/29/88 KSA (CA)
 Rev. 8/19/99 CB (9-0046632, LBA 2-51)
 Rev. 12/7/99 CB (9-0052964, LBA 2-52)
 Rev. 11/8/05 CB (9-0043913, LBA 2-53)
 Rev. 7/24/19 jg (129M02)

FOR TAX PURPOSES ONLY

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POR. APTOS RANCHO
 SEC. 12, T.11S., R.1W., & SEC. 7 & 18, T.11S., R.1E., M.D.B. & M.

SEC. 7
 SEC. 18

Tax Area Code
 69-273

39-10



(37) 036PM17 8/1/1980
 032PM19 4/16/1979

(21) 050PM70 3/8/1990

7/18
 12/13

LEDYARD ACRES SUB #1
 018M56 2/25/1925

129M02 3/28/2019

086M14 10/5/1992

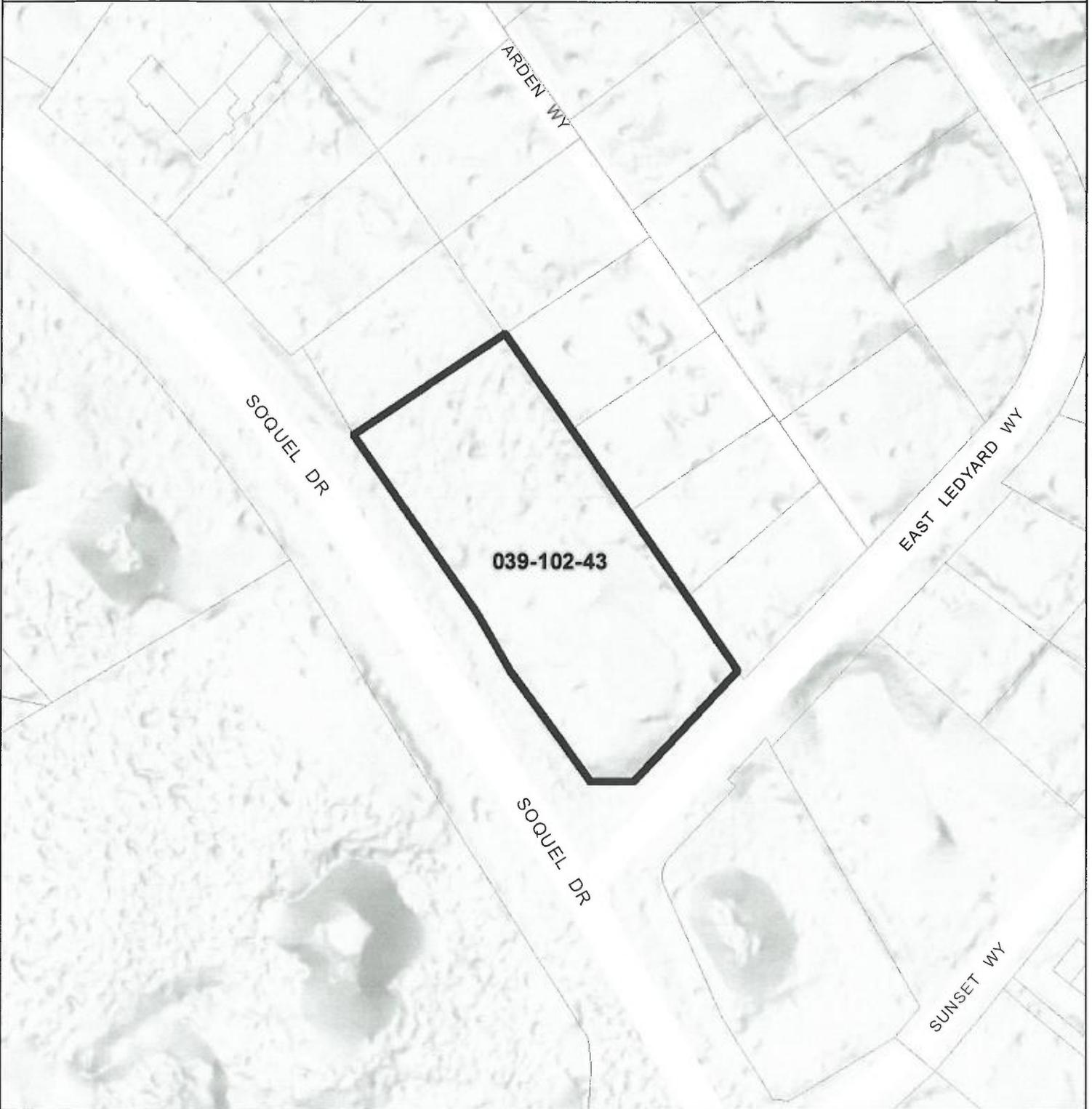
Note - Assessor's Parcel & Block
 Numbers Shown In Circles.

Assessor's Map No. 39-10
 County of Santa Cruz, Calif.
 Dec., 1997

EXHIBIT E



Parcel Location Map

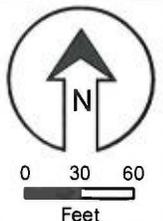


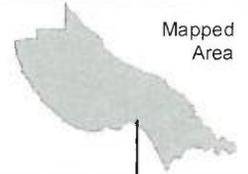
Parcel: 03910243

-  Study Parcel
-  Assessor Parcel Boundary

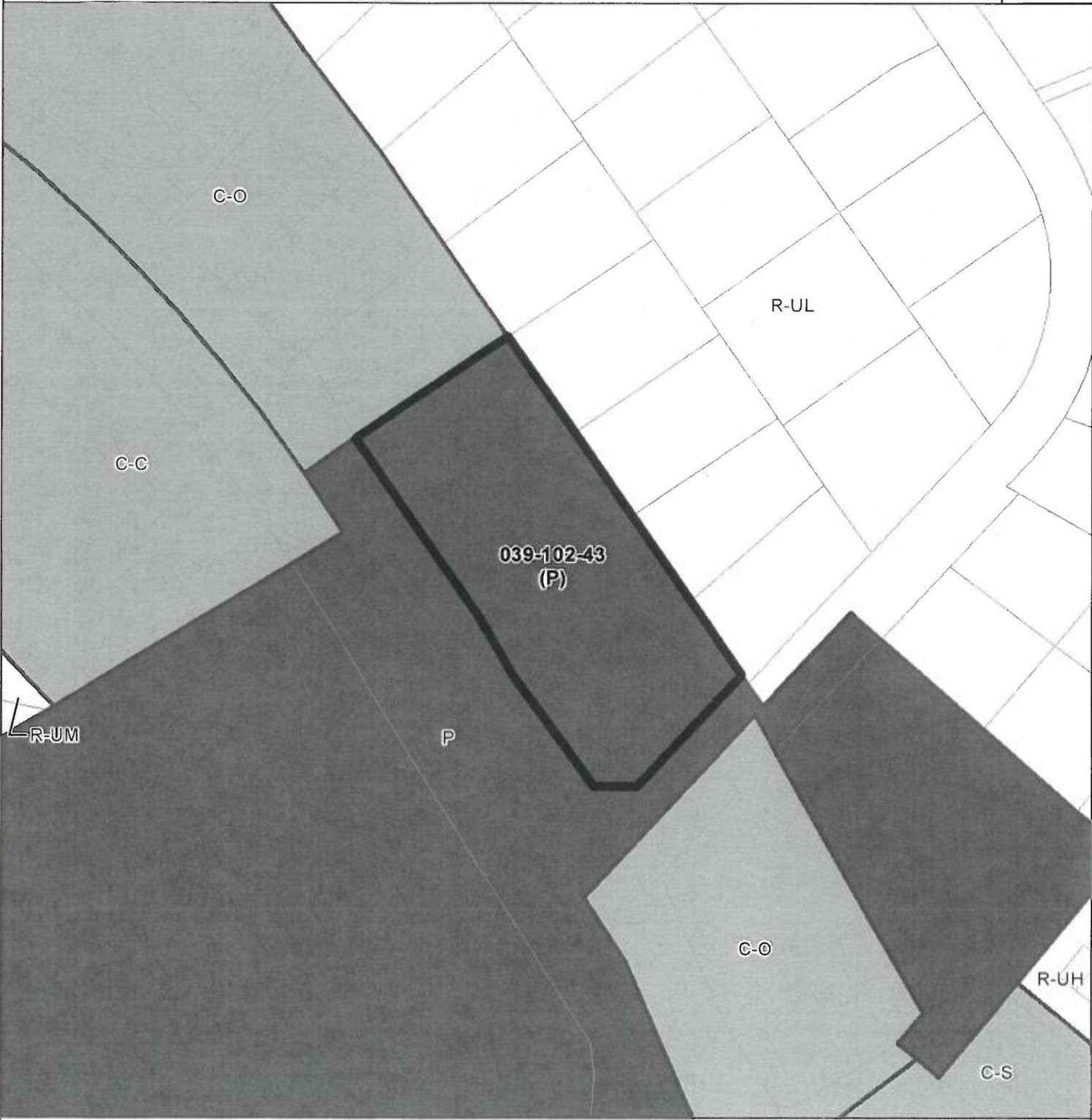
Map printed: 29 Dec. 2021

EXHIBIT E





Parcel General Plan Map



- | | |
|--|--|
|  C-C Commercial Community |  R-UM Res. Urban Medium Density |
|  C-O Commercial Office |  R-UL Res. Urban Low Density |
|  C-S Commercial Services | |
|  P Public Facilities | |
|  R-UH Res. Urban High Density | |

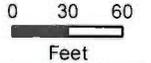


EXHIBIT E



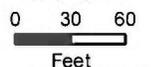
Parcel Zoning Map

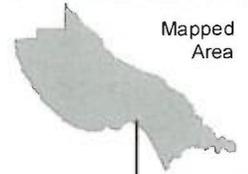


- C-1 *Neighborhood Commercial*
- C-4 *Commercial Services*
- PA *Professional/Admin Office*
- PF *Public/Community Facilities*
- R-1 *Single-Family Residential*
- RM *Residential Multi-Family*



EXHIBIT E





Parcel Location Map

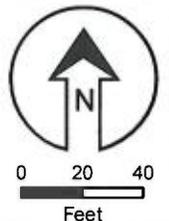


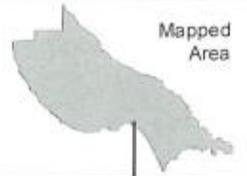
Parcel: 03910221

-  Study Parcel
-  Assessor Parcel Boundary

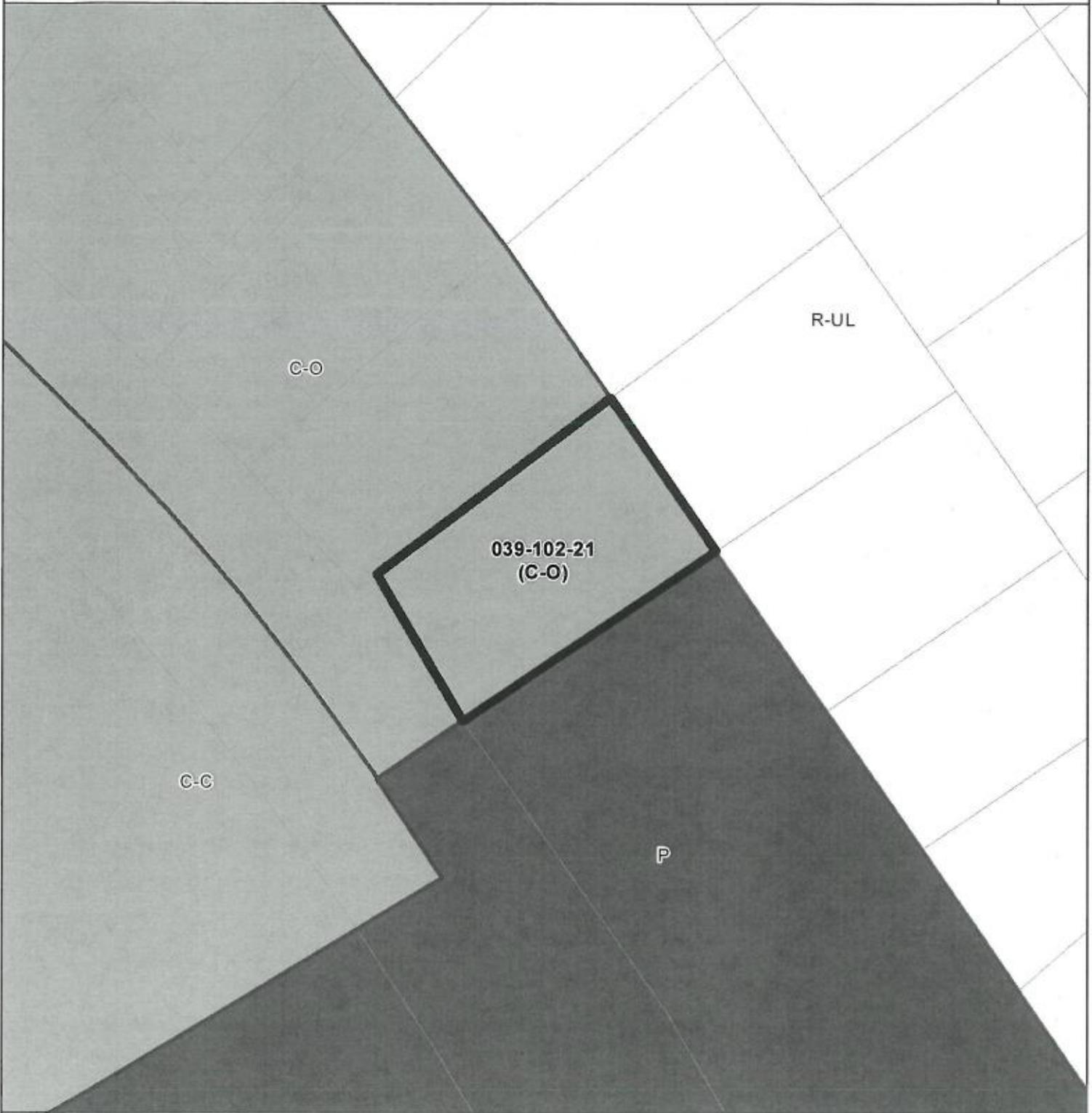
Map printed: 29 Dec. 2021

EXHIBIT E





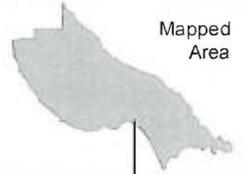
Parcel General Plan Map



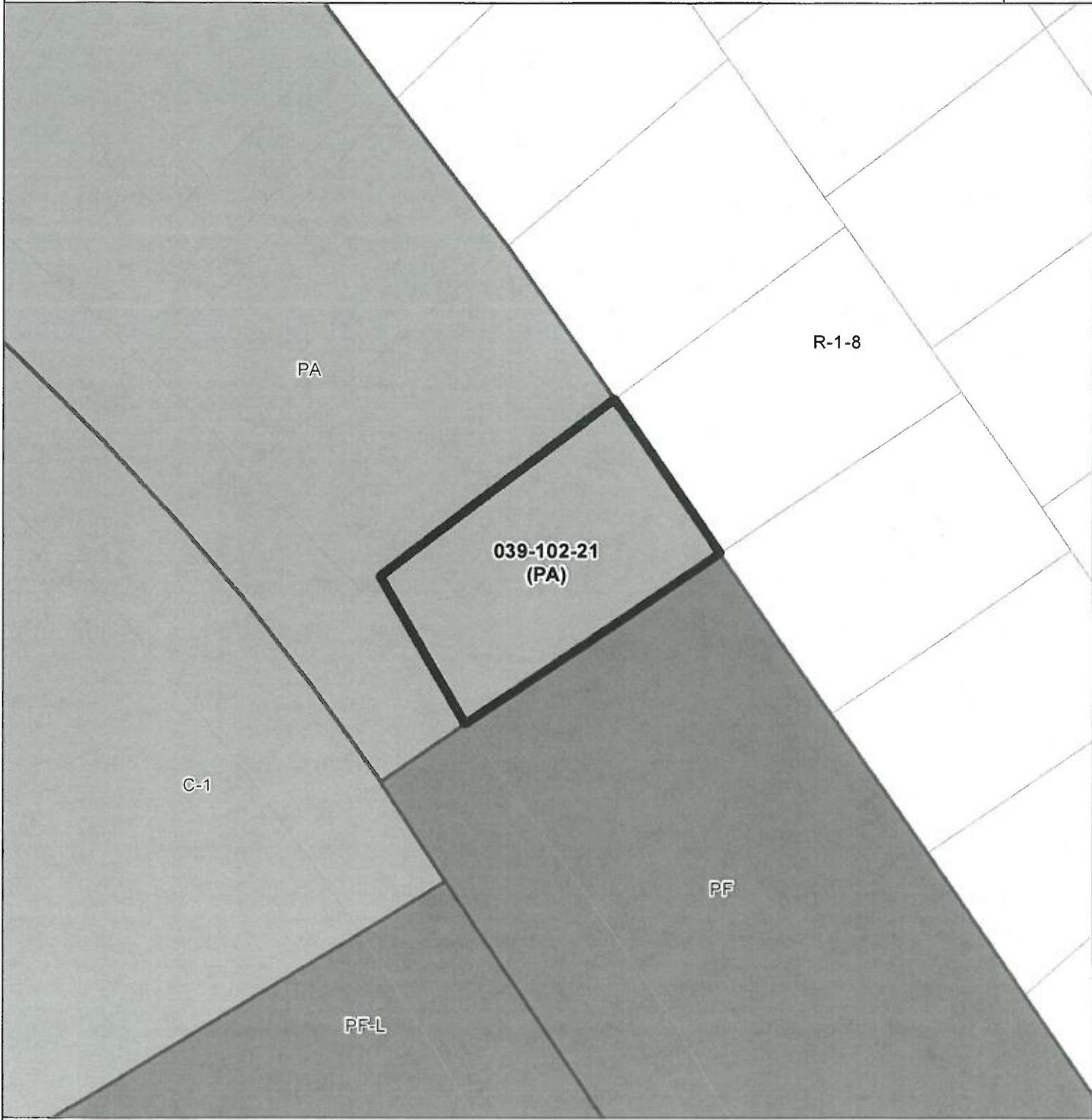
-  C-C *Commercial Community*
-  C-O *Commercial Office*
-  P *Public Facilities*
-  R-UL *Res. Urban Low Density*

EXHIBIT E



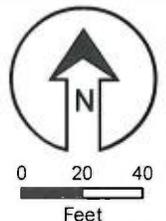


Parcel Zoning Map



-  C-1 *Neighborhood Commercial*
-  PA *Professional/Admin Office*
-  PF *Public/Community Facilities*
-  R-1 *Single-Family Residential*

EXHIBIT 



Parcel Information

Services Information

Urban/Rural Services Line: X Inside ___ Outside
Water Supply: Soquel Creek Water District
Sewage Disposal: Santa Cruz Sanitation District
Fire District: Central Fire Protection District
Drainage District: Zone 6

Parcel Information

Parcel Size: 039-102-43: 43,438 square feet (1.007 acre),
039-102-21: 10,424 square feet (0.24 acre)
Existing Land Use - Parcel: Public Library
Existing Land Use - Surrounding: Residential, Commercial, Institutional, Public Facilities
Project Access: Soquel Drive
Planning Area: Aptos
Land Use Designation: P (Public Facilities)
Zone District: PF (Public Facilities)
Coastal Zone: ___ Inside X Outside
Appealable to Calif. Coastal Comm. ___ Yes X No

Technical Reviews: Soils Report Review (REV201131)

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Fire Hazard: Not a mapped constraint
Slopes: Flat and upsloping lot, 0 to 20% slope
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: 1,760 cubic yards cut, 275 cubic yards fill
Tree Removal: 36 trees proposed to be removed, 8 trees retained, 24 trees to be planted
Scenic: Mapped Scenic
Archeology: Not mapped/no physical evidence on site