

841 CAPITOLA ROAD



189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

PLANNING PACKAGE

05/05/2025

DRAWING INDEX - PLANNING PACKAGE

GENERAL	
GP0.00	COVER SHEET AND SHEET INDEX
GP0.01	STATE HOUSING LAW INFORMATION
GP0.02	PROJECT DATA
GP0.03	EXISTING SITE PHOTOS
GP0.04	RENDERINGS
GP0.05	SHADOW STUDIES
GP0.06	OPEN SPACE DIAGRAMS
GP0.10	PRELIM EGRESS & ACCESSIBILITY SITE PLAN
GP0.11	PRELIM EGRESS & ACCESSIBILITY LEVEL 1
GP0.12	PRELIM EGRESS & ACCESSIBILITY LEVEL 2 THRU 4
GP0.15	PRELIM EGRESS & ACCESSIBILITY LEVEL 5
GP0.20	DRAFT CALGREEN MANDATORY CHECKLIST
GP0.21	DRAFT CALGREEN MANDATORY CHECKLIST
SURVEY	
LS.1	LAND SURVEY
CIVIL	
C1.0	PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN (S)
C1.1	PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN (N)
C2.0	PRELIMINARY EROSION CONTROL NOTES AND DETAILS
C2.1	PRELIMINARY EROSION CONTROL PLAN
C3.0	PRELIMINARY STORMWATER CONTROL PLAN
C3.1	PRELIMINARY STORMWATER CONTROL DETAILS
ARCHITECTURAL	
AP0.50D	DEMOLITION SITE PLAN + EXISTING ELEVATIONS
AP0.51	PROPOSED SITE PLAN + SITE ELEVATIONS
AP1.01	PROPOSED FLOOR PLAN LEVEL 1
AP1.02	PROPOSED FLOOR PLAN LEVEL 2
AP1.03	PROPOSED FLOOR PLAN LEVEL 3
AP1.04	PROPOSED FLOOR PLAN LEVEL 4
AP1.05	PROPOSED FLOOR PLAN LEVEL 5
AP1.06	PROPOSED ROOF PLAN
AP1.07	TRASH ENCLOSURE
AP3.01	PROPOSED BUILDING EXTERIOR ELEVATIONS
AP3.02	PROPOSED BUILDING EXTERIOR ELEVATIONS
AP6.02	PROPOSED BUILDING SECTIONS
AP9.01	BICYCLE PARKING INFO
AP9.02	LIGHTING PLAN
LANDSCAPE	
L1.1	SITE LANDSCAPE PLAN
L1.2	SITE LANDSCAPE PLAN
L2.2	LEVEL 5 LANDSCAPE PLAN

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062



ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number	026-491-40
Project number	21110
Print Date	05.23.25
Drawn by	LB
Checked by	OH
Scale	NTS

All drawings and written material appearing herein constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.

COVER SHEET AND SHEET INDEX

GP0.00



PROJECT DIRECTORY

OWNER

841 CAPITOLA LLC
CO: WORKBENCH
CONTACT: TIM GORDIN
189 WALNUT AVE.
SANTA CRUZ, CA 95060
P: 831.902.9734 EXT 201
E: tim@workbenchbuilt.com

ARCHITECT

WORKBENCH
CONTACT: JAMILEH CANNON
189 WALNUT AVE.
SANTA CRUZ, CA 95060
P: 831.227.2217
E: jamileh@workbenchbuilt.com

CONTRACTOR

WORKBENCH
CONTACT: TIM GORDIN
189 WALNUT AVE.
SANTA CRUZ, CA 95060
P: 831.227.2217
E: tim@workbenchbuilt.com

CIVIL ENGINEER

IFLAND ENGINEERS
CONTACT: JON IFLAND
5300 SOQUEL AVE, STE 101
SANTA CRUZ, CA 95062
P: 831.426.5313
E: info@iflandengineers.com

LANDSCAPE ARCHITECT

MBLA
CONTACT: MEGAN BISHOP
P.O. BOX 328
APTOS, CA 95001
P: 831.818.9227
E: megan@mb-landarch.com

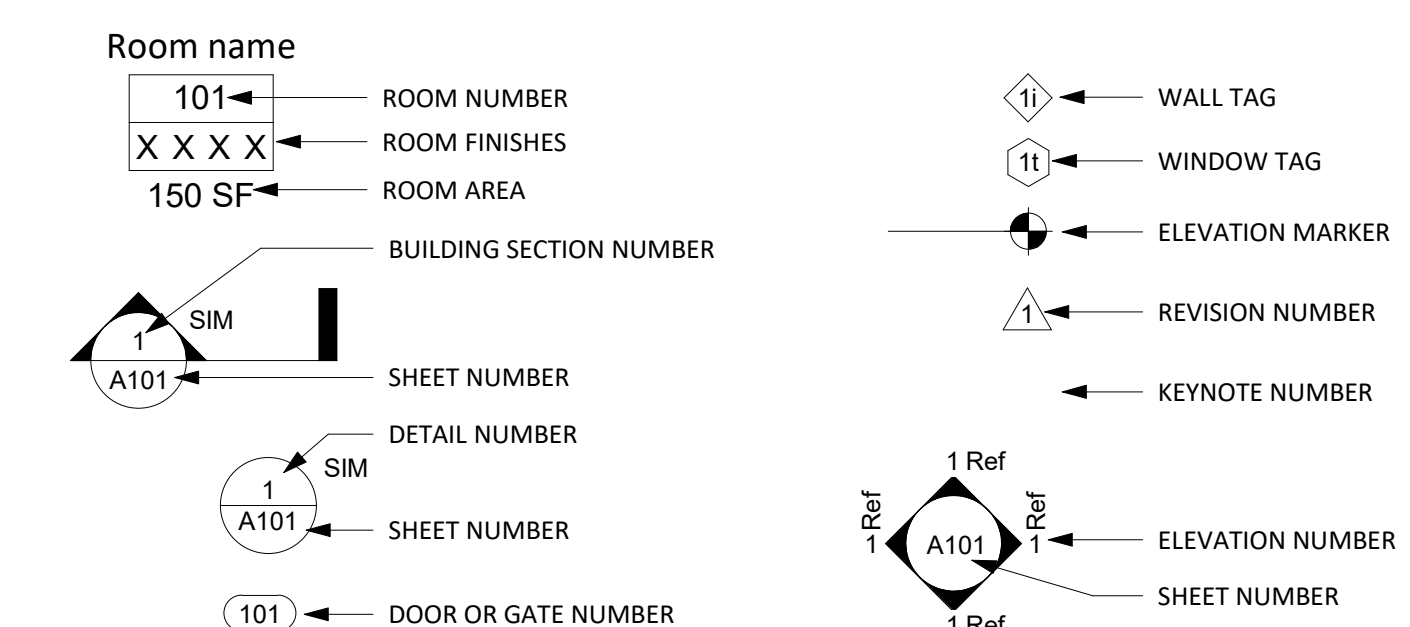
GEOTECHNICAL

ROCK SOLID ENGINEERING
CONTACT: DUSTY OSBURN
1100 MAIN ST, STE A
WATSONVILLE, CA 95076
P: 831.724.5868
E: office@rocksolidengineers.com

ARBORIST

DAVEY RESOURCE GROUP
CONTACT: BRENDA WONG/
ELIZABETH LANHAM
ISA CERTIFIED ARBORIST
P: 650.372.8116
E: drgecnal@davey.com

GRAPHIC LEGEND



STATE HOUSING LAW INFORMATION

841 Capitola - Application # 241371 | 841 Capitola Rd, Santa Cruz, CA 95062



workbench

189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD

841 CAPITOLA ROAD
SANTA CRUZ, CA 95062



ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number	026-491-40
Project number	21110
Print Date	05.23.25
Drawn by	CT
Checked by	OH
Scale	NTS

All drawings and written material appearing herein constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.

STATE HOUSING LAW INFORMATION

GPO.01

STATEMENT OF APPLICATION

This is an application for a housing development permit, as defined in Gov. Code § 65905.5(b)(3), and the application must be reviewed pursuant to the Permit Streamlining Act (Gov. Code § 65920 et. seq.).

Per Gov. Code § 65943(a), "Not later than 30 calendar days after any public agency has received an application for a development project, the agency shall determine in writing whether the application is complete and shall immediately transmit the determination to the applicant for the development project. ... If the written determination is not made within 30 days after receipt of the application, and the application includes a statement that it is an application for a development permit, the application shall be deemed complete for purposes of this chapter..."

In accordance with Gov. Code § 65945, Applicant hereby requests to receive notice from the city or county of a proposal to adopt or amend any of the following plans or ordinances: a general plan (or any element thereof; and including any local coastal program, area plan, community plan, or airport land use compatibility plan), a specific plan, a zoning ordinance, an ordinance affecting building permits or grading permits, or any other ordinance which may affect the Project or the Project site.

SB 330 PRELIMINARY APPLICATION

Applicant provided an "SB 330 preliminary application" including all of the information required for a preliminary application in accordance with Gov. Code § 65941.1. Having provided this preliminary application containing all of the required information, the preliminary application is deemed complete pursuant to Gov. Code § 65941.1(a).

The number of residential units (as per Gov. Code § 65589.5(o)(2)(E), "... exclusive of any increase resulting from the receipt of a density bonus, incentive, concession, waiver, or similar provision, including any other locally authorized program that offers additional density or other development bonuses when affordable housing is provided.") in the preliminary application was 14 units. That number in this application is 40 units, which is a change of 185.7%.

Because this is a builder's remedy project with an SB 330 preliminary application effective prior to January 1, 2025, in accordance with Gov. Code § 65915(f)(7)(B), the 20 percent limitation on SB 330 preliminary applications does not apply.

HOUSING ACCOUNTABILITY ACT AND BUILDER'S REMEDY

The Project provides 7.50% of total units as defined in Gov. Code § 65915(o)(8)(A) for extremely low income households (or deeper affordability), and thus qualifies under Gov. Code § 65589.5(d) and (h)(3)(C)(i)(I) (i.e., HAA housing for mixed-income households 7% ELI) as a housing development project for very low, low-, or moderate-income households, and the "... local agency shall not disapprove the housing development project ... or condition approval in a manner that renders the housing development project ... infeasible ..." except in accordance with subdivision (d) of the Housing Accountability Act.

In accordance with Gov. Code § 65589.5(d)(6), (f)(6), and (h)(11) the Project is proposed as a "builder's remedy" project.

MINISTERIAL PROCESSING

The Project does not qualify for ministerial processing.

STATE DENSITY BONUS LAW ELIGIBILITY

The Project meets or exceeds the minimum eligibility qualifications to use the State Density Bonus Law (SDBL) in accordance with Gov. Code § 65915(b)(1)(B) by providing 4 very low income (or deeper affordability) units, which is 10.0% of total units, as defined in § 65915(o)(9).

PARKING REQUIRED

The Project developer hereby requests that the jurisdiction not require a vehicular parking ratio exceeding the ratios specified in Gov. Code § 65915(p)(1). The jurisdiction "... shall not require a vehicular parking ratio, inclusion of parking for persons with a disability and guests ... that exceeds the following ratios:" 0 to 1 Bedroom: 1 onsite parking space; 2 to 3 Bedrooms: 1.5 onsite parking spaces; 4+ bedrooms: 2.5 parking spaces (on- or off-site); One bedspace in a student housing development: 6 parking spaces (on- or off-site).

The Parking Required and Parking Proposed for the Project is calculated and indicated under PARKING REQUIRED on Sheet GP0.02.

TOTAL DENSITY

This is a builder's remedy project that is allowed a maximum base density of 39.5 units in accordance with Gov. Code § 65589.5(h)(11)(C)(i)(I). This number rounds up to 40 units in accordance with Gov. Code § 65915(q). The project proposes 40 units of base density.

State Density Bonus Law allows up to 20 bonus units if the Project maxes out the "first" density bonus, plus up to 20 bonus units if the Project maxes out the "second" density bonus.

State ADU law allows up to 2 units of "lot-based" ADUs (2 ADUs per legal parcel with a proposed multifamily structure) per Gov. Code § 66323(a)(4)(iii).

The Project proposes 40 Base Units, 17 Bonus Units from the first density bonus, and 0 ADUs (not including ADUs that may be added after entitlement).

The maximum number of units allowed is 82, and the total number of units proposed by the Project is 57.

	First		Second		Total
	Base Density	Density Bonus	Density Bonus	ADUs	
Allowed Units	40 Units	20 Units	20 Units	2 Units	82 Units
Proposed Units	40 Units	17 Units	Not Used	0 Units	57 Units

BASE DENSITY

BUILDER'S REMEDY BASE UNITS PROPOSED 40 UNITS

Builder's Remedy Density — Base Units Allowed

The Project site has a total area of 38,217 sq ft (0.877 acres), per Survey, and a maximum base density, without builder's remedy, of 15.0 dwelling units per acre. The maximum base density, without builder's remedy, is 13.2 units. This number rounds up to 14 units in accordance with Gov. Code § 65915(q).

This is a builder's remedy project that is allowed a maximum base density of 39.5 units in accordance with Gov. Code § 65589.5(h)(11)(C)(i)(I). This number rounds up to 40 units in accordance with Gov. Code § 65915(q). The project proposes 40 units of base density.

Please see the Cover Letter provided with this resubmittal for more information on the calculation of density for the builder's remedy project.

Lot	General Plan	Specific Plan	Zoning	Max DUA	Gross Lot Area	Source of Area	Unit Density
1	R-UM		R-1-5	15.00 DUA	38,217.29 Sq Ft	Survey	13.2 Units
2				0.00 DUA	0.00 Sq Ft	Survey	0.0 Units
3				0.00 DUA	0.00 Sq Ft	Survey	0.0 Units
Density Allowed by Gen. Plan, Spec. Plan, or Zoning				15.00 DUA	38,217.29 Sq Ft	0.877 Acres	13.2 Units

BONUS DENSITY

BONUS UNITS PROPOSED 17 UNITS

The Project seeks a density bonus in accordance with Gov. Code § 65915(b)(1)(B) by providing 4 VLI units (or lower), which is 10.00% of the "40 total units" as defined in Gov. Code § 65915(o)(9). Because this is a builder's remedy project providing ELI units in accordance with Gov. Code § 65589.5(h)(3)(C)(i)(I), Gov. Code § 65589.5(f)(6)(c)(iv) requires that the Project "... shall be eligible for the same density bonus, incentives or concessions, and waivers or reductions of development standards as provided to a housing development project that dedicates three percentage points more units to very low income households" The percentage VLI is thus adjusted to 13.00%, which rounds down to 13%. The Project therefore qualifies for a 42.50% "first" density bonus of 17 units in accordance with Gov. Code § 65915(f)(2).

The Project is not applying for the "second" density bonus available pursuant to Gov. Code § 65915(v). The Project qualifies for 17 bonus units, and proposes 17 bonus units.

BONUS UNITS ALLOWED (CALCULATED ON BUILDER'S REMEDY BASE UNITS PROPOSED)

	Base Units	Affordable Units	% Affordable	% Bonus	Bonus Units
First Density Bonus	40 Units	4 VLI units	13% VLI units*	42.50%	17 Units
Second Density Bonus	40 Units	Not Used	Not Used	Not Used	Not Used
Bonus Density Allowed				42.50%	17 Units

* This is a builder's remedy project and adds 3 percentage points to the % VLI units. Ref: Gov. Code § 65589.5(f)(6)(c)(iv).

LOT-BASED ADU

LOT-BASED ADUs PROPOSED 0 UNITS

In accordance with Gov. Code § 66323(a)(4)(iii), State law requires that a local agency approve "[o]n a lot with a proposed multifamily dwelling, not more than two detached accessory dwelling units." The Project consists of 1 legal lot(s) on which a multifamily dwelling is proposed. Thus, the Project is allowed 2 such "lot-based" ADUs. However, no lot-based ADUs are proposed with this application.

EXISTING RESIDENTIAL UNITS & REPLACEMENT UNITS

The Project Site contains 1 existing residential unit on an existing assessor parcel: APN 026-491-40 contains one (1) two-bedroom, one-bath house, and no other residential units. A ten-year tax history, provided by the Santa Cruz County Tax Collector, is provided in the SUP documents for this resubmittal. The tax history shows that the tax bills were sent to GZSANKA LES & BLANCHE TRUSTEES at the 841 Capitola Rd address for tax years 2014-2015 through 2020-21, with a homeowner's exemption. The tax bill for tax year 2021-2022 was sent to GZSANKA EUGENE PETER in Campbell, CA, still with a homeowner's exemption. The tax bill for tax years 2022-2023 and 2023-2024 were sent to the current owner, 841 CAPITOLA LLC at Applicant's 189 Walnut Ave address. The current owner has held the property vacant since purchase. The house has not been occupied by a renter in the past five years. This unit is not subject to the replacement requirements of Gov. Code § 65915(c)(3).

CONCESSIONS / INCENTIVES

Because this is a builder's remedy project providing ELI units in accordance with Gov. Code § 65589.5(h)(3)(C)(i)(I), Gov. Code § 65589.5(f)(6)(c)(iv) requires that the Project "... shall be eligible for the same ... incentives or concessions ... as provided to a housing development project that dedicates three percentage points more units to very low income households" The percentage VLI is thus adjusted to 10.50%, which rounds down to 13%. Because the project includes 13% of total units (excluding density bonus units) provided at VLI or deeper affordability, the Project qualifies for 2 concessions / incentives in accordance with Gov. Code § 65915(d)(2)(B).

The Project qualifies for an additional 2 concessions / incentives in accordance with Gov. Code § 65589.5(f)(6)(C)(ii), because the Project is a builder's remedy project. The Project qualifies for a total of 4 concessions / incentives.

The following concessions / incentives are proposed with this application. Concessions / incentives may be changed, added, or removed prior to final project approval.

CONCESSIONS / INCENTIVES — 4 AVAILABLE, 4 USED.

1. **Expedite Appeal Process** – In the event of any appeal of the Project or any of its approvals, the County shall hold a hearing to consider the appeal(s) before the Board of Supervisors within 25 calendar days after the expiration of the appeal period prescribed by Santa Cruz County Code. County shall not grant or allow an extension of the appeal period, except that upon request of the Applicant, County shall grant an extension specified by the Applicant not to exceed 65 calendar days beyond the 25 calendar day deadline to conduct the Board of Supervisors hearing. The Board of Supervisors shall not refer the appeal(s) to any subordinate decision-making body before deciding whether to approve or deny the appeal. County shall do all things necessary to effectuate this concession, including making timely public notices to allow for the expedited appeal before the Board of Supervisors. If any element of this concession is contrary to state law, the County shall expedite its decision on the appeal as nearly consistent with this concession as is allowed by state law. This concession/incentive is requested pursuant to Gov. Code §§ 65915(d) and 65915(k)(3). This concession will result in identifiable and actual cost reductions to provide for affordable housing costs. Appeals and their associated delays to final project approval impose substantial costs in the form of land carrying costs, fees to consultants, increases in construction costs due to inflation, etc.

2. **Priority Processing** – Applicant requests that upon making the determination that this development permit application is complete, the project will be immediately assigned to staff for processing in advance of all nonpriority applications (i.e., any development permit application that has not requested an incentive or concession for priority processing) including scheduling for environmental review (if required) and subsequent scheduling for public hearing and final action by the decision-making body or bodies. This concession/incentive is requested pursuant to Gov. Code §§ 65915(d) and 65915(k)(3). This concession will result in identifiable and actual cost reductions to provide for affordable housing costs. Accelerating final project approval saves substantial costs in the form of land carrying costs, increases in construction costs due to inflation, etc.

3. **Reduce the Parking Required by SCCC to zero spaces** – The parking required for the project by Santa Cruz County Code shall be reduced to zero (0) spaces. The project owner intends to provide parking as indicated in the project plans, and to provide ADA and EV parking spaces as required by State and federal law. However, the development permit approval for this Project shall not require the project to provide any parking spaces. The project qualifies for parking reductions in accordance with the State Density Bonus Law. For clarity, and conciseness, in addition to the waiver requested for parking Applicant chooses to request this concession in addition to other parking reductions and waivers. This concession/incentive will result in identifiable and actual cost reductions to provide for affordable housing costs. This concession/incentive is requested pursuant to Gov. Code §§ 65915(d) and 65915(k)(1). The cost to construct parking spaces is a major component of a project's cost.

4. **Allow conversion ADUs concurrent with construction of the multifamily structure** – Applicant requests that the County shall, for the purposes of accessory dwelling units required to be ministerially approved in accordance with Gov. Code § 66323(a)(3)(A) ("multifamily conversion ADUs"), deem and define the word "existing" to mean that the development permit for the multifamily dwelling structure has been approved, and deem and define the phrase "not used as livable space" to mean that the portions of the multifamily dwelling structure either i) have not been issued a final certificate of occupancy, or ii) are not livable space as defined by Gov. Code 66310(e). Applicant requests that the County place a Condition of Approval on the Project instructing the Building Official to follow the definitions of "existing" and "not used as livable space" as stated in this incentive, and requiring County Staff and Decision Bodies to approve building permits for, and allow construction of, multifamily conversion ADUs (if applied for) concurrently with the building permits for, and construction of, the multifamily dwelling structure. This concession/incentive is requested pursuant to Gov. Code §§ 65915(d) and 65915(k)(3). Decisions regarding how much space is needed for storage areas, maintenance areas, and resident amenities is often not entirely determined at the planning permit phase, and the spaces may better be used as ADUs. This concession will result in identifiable and actual cost reductions to provide for affordable housing costs. The ability to convert non-livable space to dwelling units reduces the cost associated with operating non-livable space, and the ability to convert non-livable space at time of building permit issuance and before certificate of occupancy reduces the cost of first constructing the space as non-livable space prior to conversion.

WAIVERS / REDUCTIONS OF DEVELOPMENT STANDARDS

In accordance with Gov. Code 65915(e)(1), "In no case may a city, county, or city and county apply any development standard that will have the effect of physically precluding the construction of a development meeting the criteria of subdivision (b) at the densities or with the concessions or incentives permitted by this section. Subject to paragraph (3), an applicant may submit ... a proposal for the waiver or reduction of development standards ..."

The court in Wollmer v. City of Berkeley found "Standards may be waived that physically preclude construction of a housing development meeting the requirements for a density bonus, period."

The court in Bankers Hill 150 v. City of San Diego found "[U]nless one of the statutory exceptions applies, so long as a proposed housing development project meets the criteria of the Density Bonus Law by including the necessary affordable units, a city may not apply any development standard that would physically preclude construction of that project as designed, even if the building includes "amenities" beyond the bare minimum of building components."

To assist the Jurisdiction in complying with the State Density Bonus Law requirement not to apply any development standard that would physically preclude the Project as designed and proposed, the Applicant has identified the following development standards which, if applied, would physically preclude the Project, and hereby proposes that the Jurisdiction waive or reduce the conflicting development standards.

- 1 Building Height
- 2 Open Space
- 3 Bicycle Parking
- 4 Vehicle Parking
- 5 Setbacks
- 6 SCCC 13.11.075(A)(2)(a) requiring incorporation of mature trees. No on-site trees will be retained.
- The following OVERARCHING Objective County of Santa Cruz Design Guidelines
- A4 On-Site Parking
- A5 Setbacks
- B1 Upper floor stepbacks
- D2 Residential Unit Pedestrian Access
- D3 Parking and Access
- D8 Bike Parking
- F1 Stepped Massing
- G4 Tree Placement
- The following MULTIFAMILY RESIDENTIAL Objective County of Santa Cruz Design Guidelines
- A1 Building Placement - Neighborhoods
- A3 Building Orientation
- B1 Building Mass
- B5 Building Step-Backs
- C1 Private Open Space
- C2 Common Open Space

PROJECT DATA

LOT ADDRESS: 841 CAPITOLA RD, SANTA CRUZ, CA 95062
APN: 026-491-40
LOT SIZE (PER SURVEY): 38,217.29 SF (0.877 ACRES)

APPLICANT HAS IDENTIFIED THE R-UHF GENERAL PLAN DESIGNATION AND RF ZONING DESIGNATION AS FACILITATING THIS BUILDER'S REMEDY PROJECT IN ACCORDANCE WITH GOV CODE § 65589.5(f)(6)(A).

LAND USE / ZONING PER LOCAL AGENCY: ZONING: R-1-5; LAND USE: R-UM
LAND USE / ZONING FOR BUILDER'S REMEDY: ZONING: R-FLEX; LAND USE: R-UHF

DENSITY (PER GENERAL PLAN): R-UM: 7-15 UNITS PER ACRE R-UHF: 22-45 UNITS PER ACRE

BUILDING CONSTRUCTION TYPE: TYPE III-A
SPRINKLERED: YES
PROPOSED NUMBER OF STORIES: 5-STORIES

BUILDING OCCUPANCIES: R-2 (RESIDENTIAL)
 S-2 (STORAGE)
 B (AMENITY)
 A-3 (TERRACE/DECK)

EXISTING RESIDENCE AREA: 1,496 SF (2 BED/1 BA HOUSE (ASSESSOR))
EXISTING ACCESSORY BUILDINGS: 1,108.15 SF (EXISTING BUILDING)
 114.45 (SHED) + 315.56 (COOP)
 3,034.16 SF TOTAL

NEW BUILDING AREA: 52,919 SF

NEW BUILDING FOOTPRINT: 10,924 SF

EXISTING LOT COVERAGE: 6.5%
NEW LOT COVERAGE: 28.6%
 CALCULATION: 10,924/38,217=28.6

FLOOR AREA RATIO (FAR): ALLOWED: R-1-5: 0.5:1 RF: 1.5:1
 PROVIDED (LOT TOTAL): 52,919/38,217=1.38 : 1

GROSS BUILDING AREA & UNIT MIX

GROSS AREA BY USE

LEVEL	RESIDENTIAL	CIRCULATION	AMENITY	SERVICE	TOTALS	UNIT TYPE	COUNT
LEVEL 1	6,781 SF	2,426 SF	1,215 SF	502 SF	10,924 SF	STUDIO A	2
LEVEL 2	7,958 SF	2,298 SF	463 SF	178 SF	10,897 SF	STUDIO B	5
LEVEL 3	7,958 SF	2,298 SF	463 SF	178 SF	10,897 SF	1 BED	35
LEVEL 4	7,958 SF	2,298 SF	463 SF	178 SF	10,897 SF	2 BED	15
LEVEL 5	6,085 SF	2,198 SF	842 SF	178 SF	9,303 SF	TOTAL UNITS	57
GRAND TOTALS	36,739 SF	11,520 SF	3,445 SF	1,215 SF	52,919 SF		

SCOPE OF WORK

THE PROJECT IS A 57-UNIT MULTI-FAMILY DEVELOPMENT LOCATED AT 841 CAPITOLA ROAD IN UNINCORPORATED SANTA CRUZ COUNTY. THE MULTI-FAMILY UNITS ARE CONTAINED IN A SINGLE BUILDING CONSTRUCTED FROM PRE-FABRICATED/FACTORY-BUILT MODULES. THE EXTERIOR OF THE BUILDING IS A COMPLIMENTARY MIX OF PAINTED STUCCO IN WHITE, BEIGE AND CHARCOAL GREY COLORS. WOOD OR WOOD-LOOK SIDING AND SUN CANOPIES/AWNING ARE LOCATED AT STRATEGIC DOOR AND WINDOW LOCATIONS. THE FLAT ROOFS WILL SUPPORT A PHOTOVOLTAIC SYSTEM, SCREENED BY PARAPET WALLS.

THE PROJECT SITE CONTAINS AN EXISTING HOME AND SEVERAL ACCESSORY STRUCTURES IN SEVERE DISREPAIR THAT WILL BE DEMOLISHED. A HISTORIC EVALUATION REPORT DATED FEBRUARY 22, 2023 FOUND THAT THE EXISTING STRUCTURES "NO LONGER POSSESS SUFFICIENT INTEGRITY OF SETTING, DESIGN, MATERIALS, WORKMANSHIP, FEELING AND ASSOCIATION FOR THEM TO QUALIFY FOR LISTING ON THE NATIONAL REGISTER OF HISTORIC PLACES OR THE CALIFORNIA REGISTER OF HISTORICAL RESOURCES AS INDIVIDUAL RESOURCES OR AS A GROUP OF RESOURCES THAT COMMUNICATE A HISTORIC AGRICULTURAL USE." APPLICANT PROPOSES TO DEMO/REMOVE ALL EXISTING TREES FROM THE SITE, AND WILL EITHER PLANT REPLACEMENT TREES OR PAY THE IN-LIEU FEE. APPLICANT WILL EVALUATE POTENTIAL TO PRESERVE EXISTING TREES BEFORE SUBMITTING FOR BUILDING PERMITS.

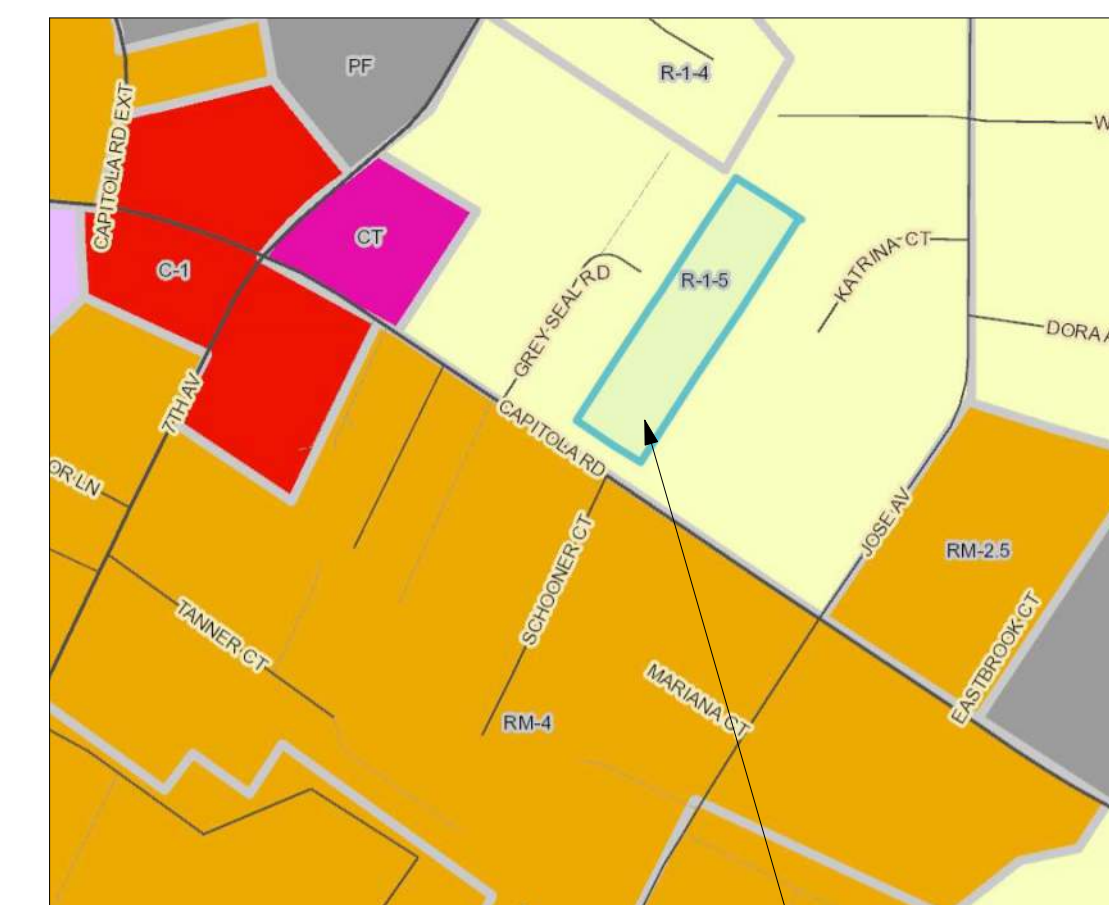
THIS PROJECT IS PRIVATELY FUNDED AND NO PUBLIC FUNDING PROPOSED.

ASSESSORS MAP



VICINITY MAP

N.T.S



PLANNING CODE NOTES

BUILDING HEIGHT SDBL WAIVER HT. LIMIT: (SMC 13.10.323-2)	ALLOWED: HEIGHT: 28' STORIES: 2 PROVIDED: HEIGHT: 63'-6 3/4" STORIES: 5	R-1-5: 28' RF: 3	BICYCLE PARKING: SDBL WAIVER TABLE 13.16.040-1	REQUIRED: 69 CLASS-I SPACES (1 SPACE/UNIT + 20%) 15 CLASS-II SPACES (1 SPACES/4 UNITS)	PROVIDED: 70 CLASS-I SPACES (0 SPACE/UNIT + 20%) 16 CLASS-II SPACES (1 SPACES/4 UNITS)	SEE AP9.01 FOR MORE INFO ON BICYCLE PARKING
LOT SIZE / COVERAGE LOT COVERAGE: (SMC 13.10.323-2)	ALLOWED: MAXIMUM LOT COVERAGE: 40% PROVIDED: LOT COVERAGE: 28.4%	R-1-5: 40% RF: N/A	VEHICLE PARKING SDBL WAIVER SDBL PARKING REQUIREMENTS GOV'T. CODE 65915(p)	REQUIRED: REQUIRED PER TABLE 13.16.050-1* ≤750 SF 1 + 20% GUEST >750 SF 2 + 20% GUEST	REQUIRED PER SDBL* STUDIO 1 SPACE 1 BEDROOM 1 SPACE 2 BEDROOM 1.5 SPACES 3 BEDROOM 1.5 SPACES 4 BEDROOM 2.5 SPACES	SCC 13.16.050 CGSBC 4.106.4.2
SETBACKS SETBACKS: (13.10.323)	REQUIRED: FRONT: 50' REAR: 15' SIDE: 8' & 5'	R-1-5: 10' RF: 15' 5' & 5'	PROVIDED: FRONT: 20' REAR: 15' SIDE: 5' & 8'	REQUIRED: 3 STALLS ELECTRIC VEHICLE CHARGING STATION (EVCS) 10% OF PROVIDED PARKING REQUIRED TO BE EVCS CAPABLE	PROVIDED: 3 STALLS EVCS, 12 STALLS EV-R	ADDITIONAL SITE CONDITIONS POINT SOURCE AIR/WATER POLLUTANTS: NO RECORDED PUBLIC EASEMENTS: NO VERY HIGH FIRE SEVERITY ZONE: NO COASTAL ZONE: NO WETLANDS: NO STREAM OR OTHER RESOURCE: NO HAZARDOUS WASTE SITE: NO SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY 100-YEAR FLOOD: NO DELINEATED EARTHQUAKE FAULT ZONE: NO HISTORIC/CULTURAL RESOURCES: NO SPECIES OF CONCERN: NO
OPEN SPACE SDBL WAIVER (13.10.323)	REQUIRED: RF COMMON: MINIMUM 15% OF GROSS SITE AREA (COMMON AND/OR PRIVATE SPACE). IF GROUP OPEN SPACE PROVIDED, APPLY A MINIMUM DIMENSION OF 15' FOR SITES UP TO 1/2 ACRE, AND 20' FOR SITES LARGER THAN 1/2 ACRE.		PROVIDED: SEE OPEN SPACE DIAGRAMS ON SHEET GP0.06	REQUIRED: 12 STALLS EV CHARGING RECEPTACLES (EV-R) 40% OF PROVIDED PARKING REQUIRED TO BE EV READY		

841 CAPITOLA CONTEXT & MOBILITY



189 WALNUT AVENUE
 SANTA CRUZ, CA 95060
 WORKBENCHBUILT.COM
 P: 831.227.2217

841 CAPITOLA ROAD
 841 CAPITOLA ROAD
 SANTA CRUZ, CA 95062



ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number	026-491-40
Project number	21110
Print Date	05.23.25
Drawn by	OH/LB
Checked by	OH
Scale	As indicated

All drawings and written material appearing herein constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.

PROJECT DATA

GP0.02



1



2



3



4



5



6



7



8



9



10



11



12



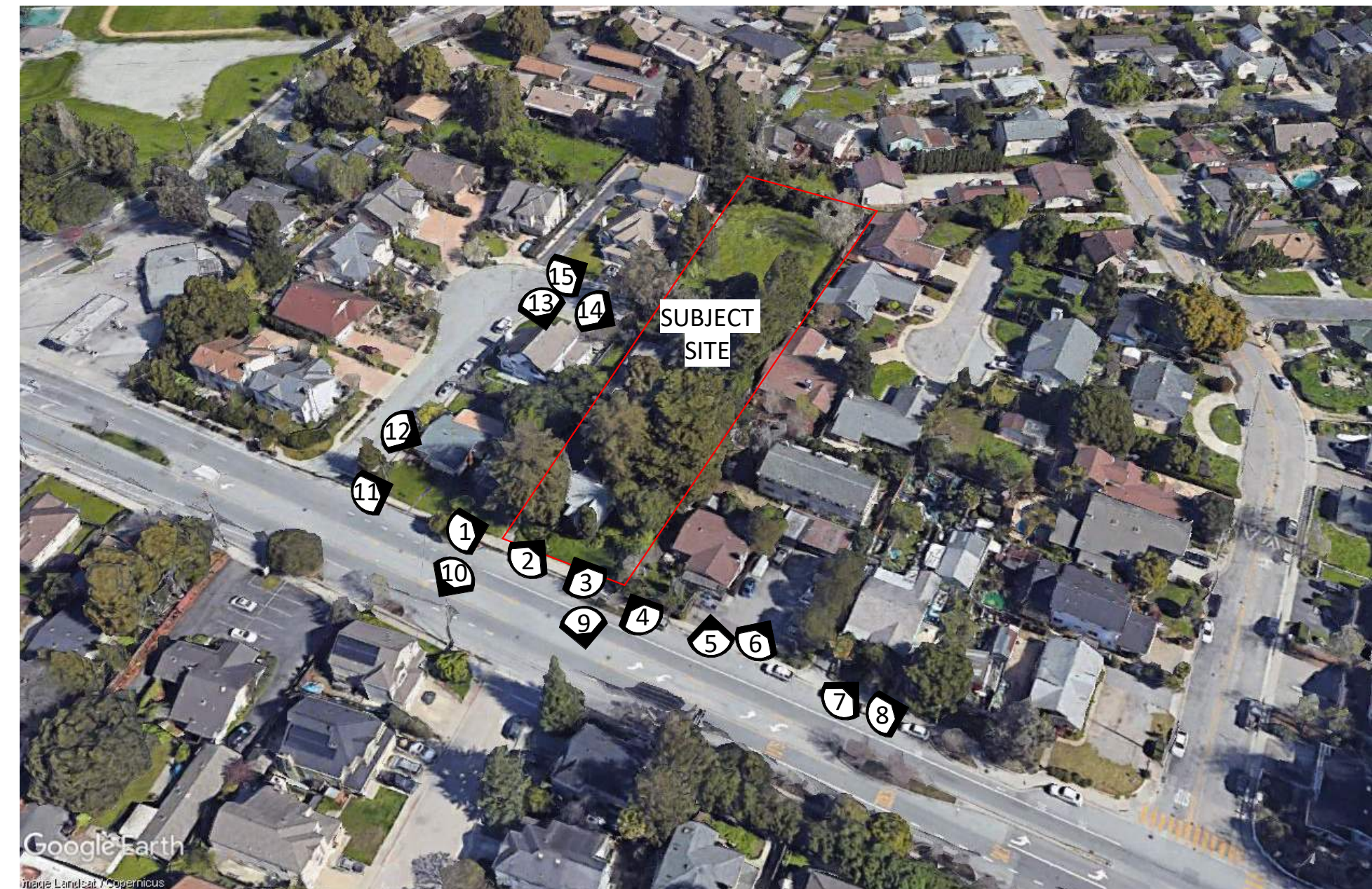
13



14



15



189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062



ISSUES/ REVISIONS		
Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number 026-491-40
Project number 21110
Print Date 05.23.25
Drawn by OH
Checked by EB
Scale NTS

All drawings and written material appearing herein constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.

EXISTING SITE PHOTOS
GP0.03



A1: VIEW FROM CAPITOLA ROAD, 0 YEAR PLANTING



A2: VIEW FROM CAPITOLA ROAD, 5 YEAR PLANTING



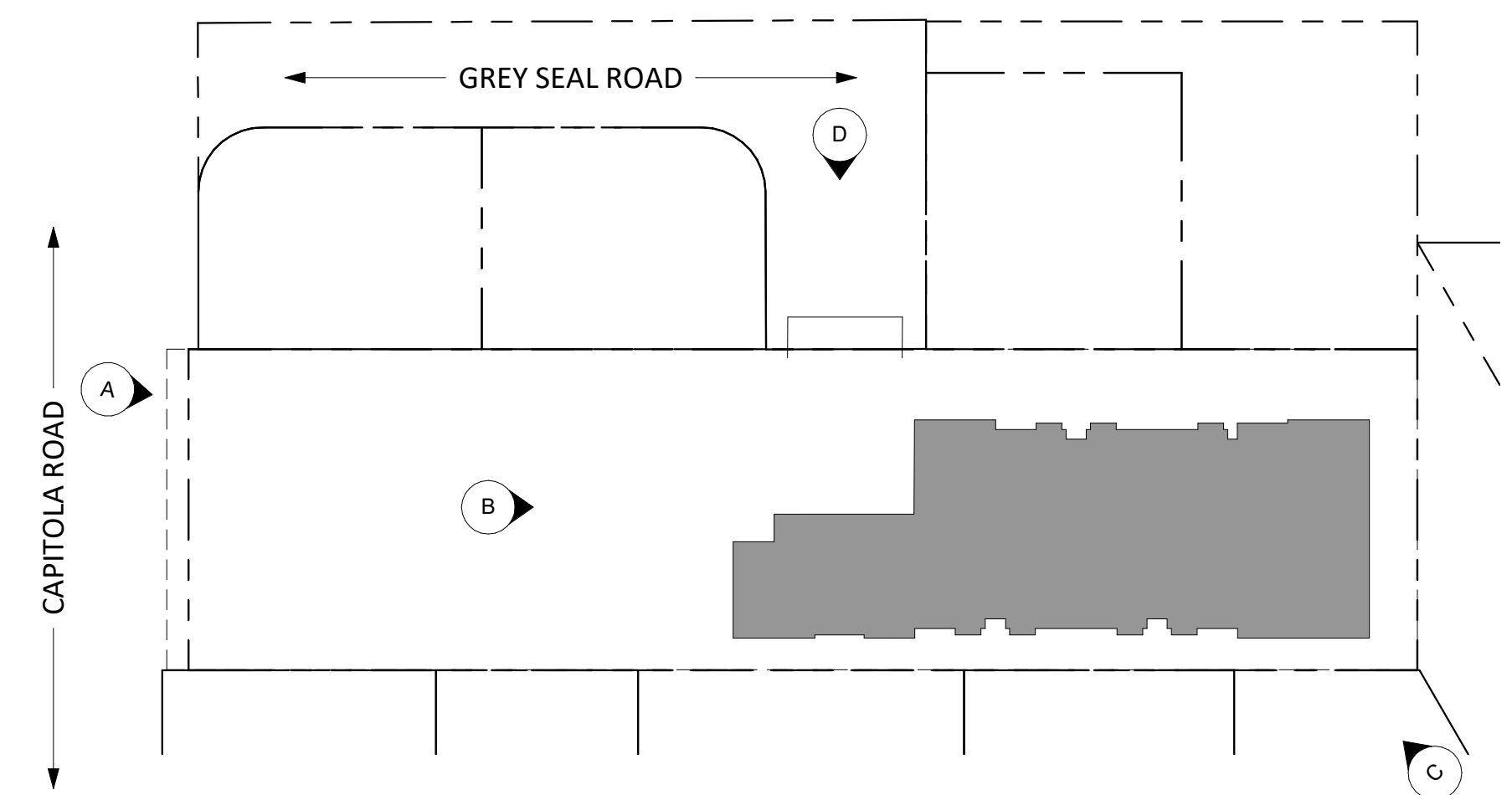
B: VIEW FROM PARKING LOT



C: VIEW FROM ADJACENT PROPERTY



D: VIEW FROM GREY SEAL ROAD



① RENDERING KEYPLAN
1" = 50'-0"



ISSUES/ REVISIONS

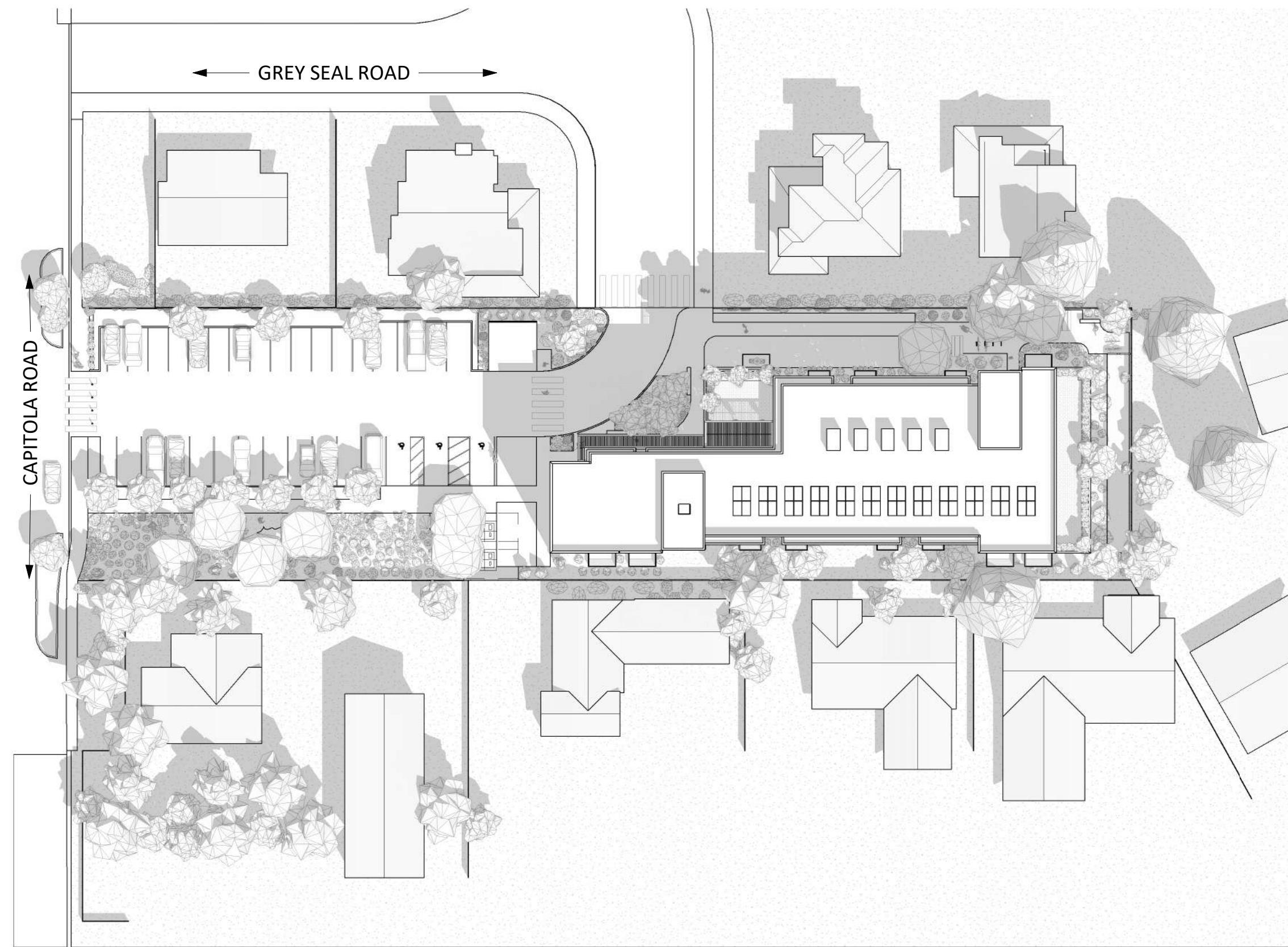
Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number	026-491-40
Project number	21110
Print Date	05.23.25
Drawn by	OH
Checked by	EB
Scale	NTS

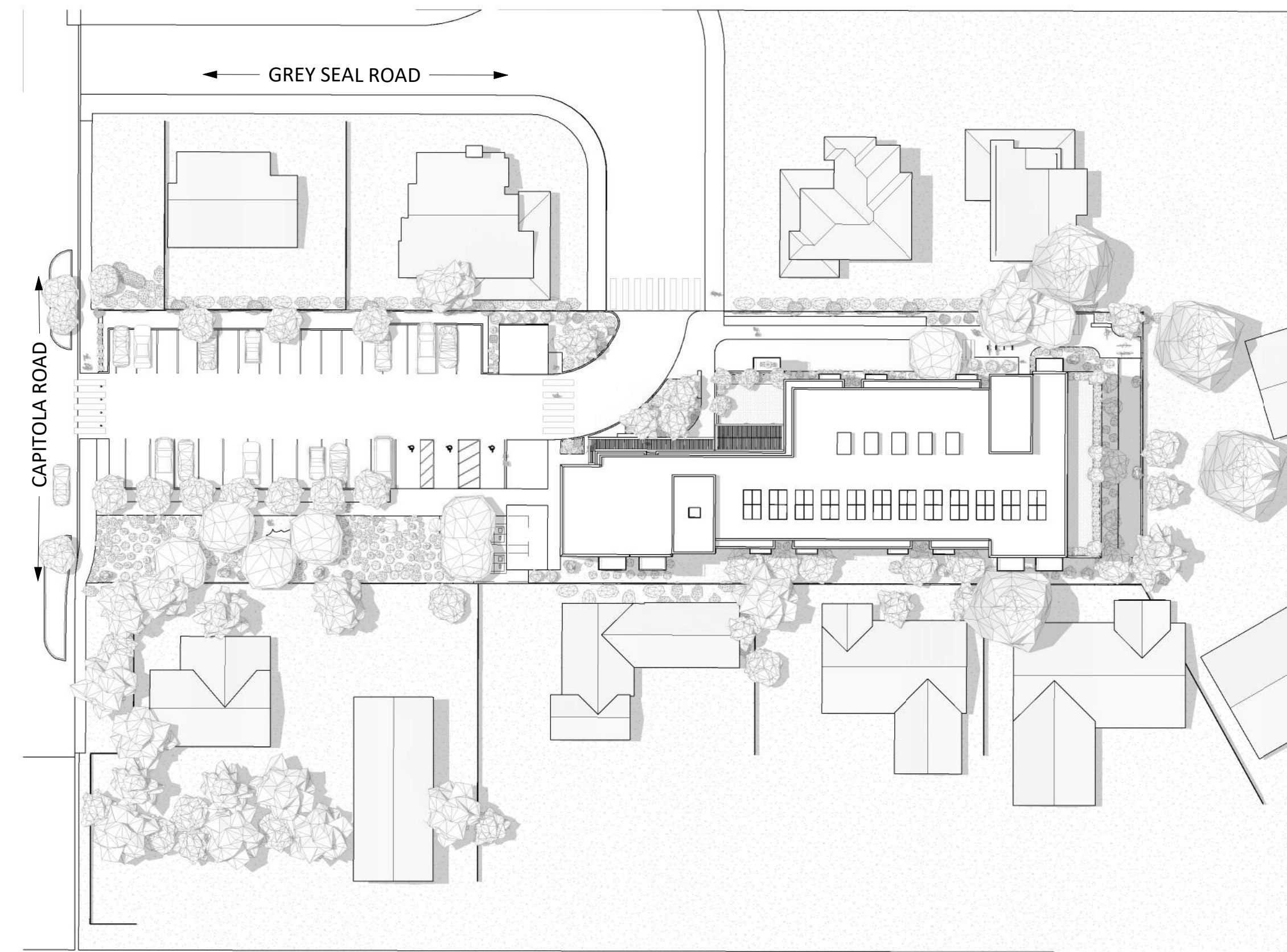
All drawings and written material appearing herein constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.

RENDERINGS

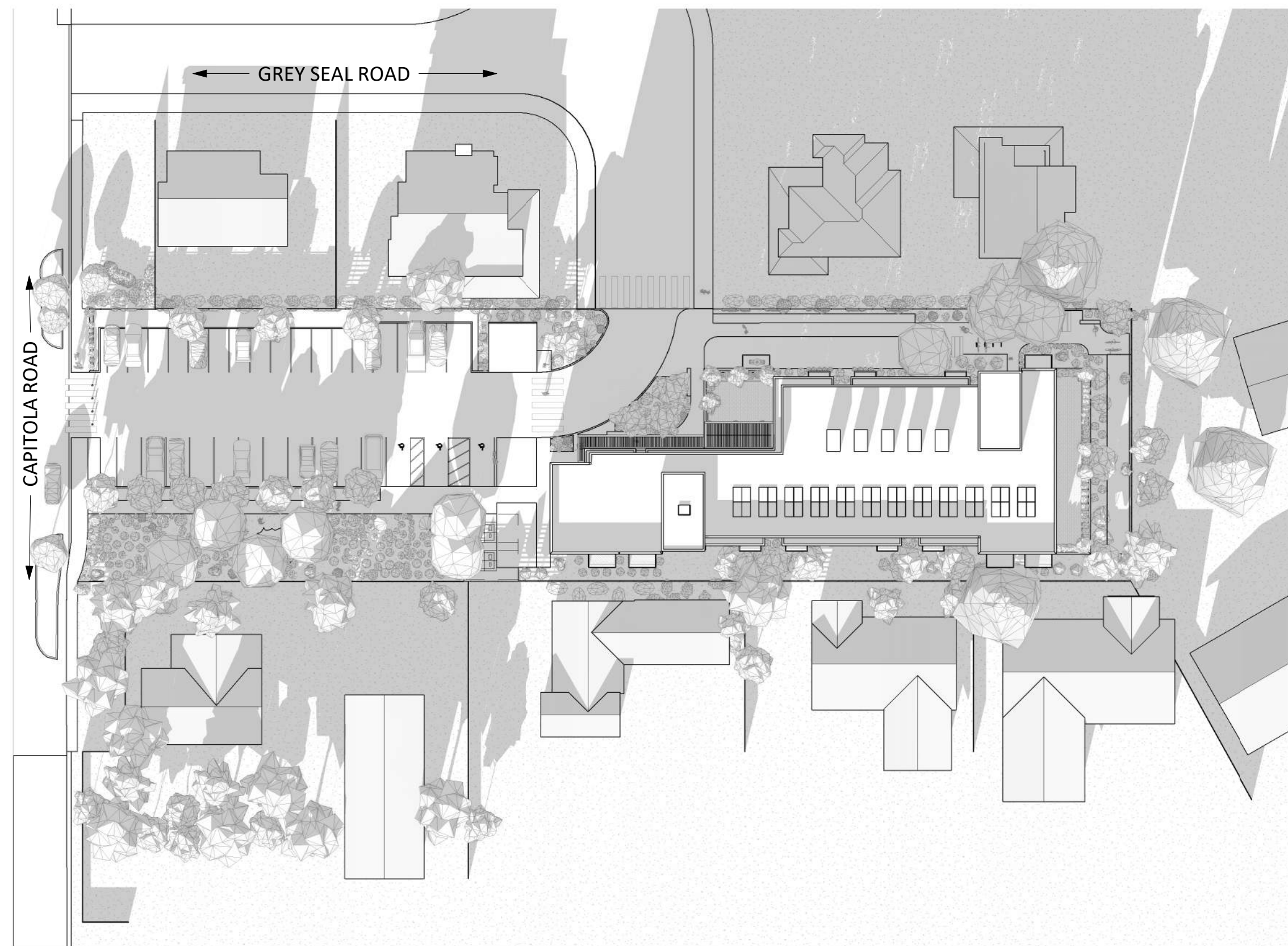
GP0.04



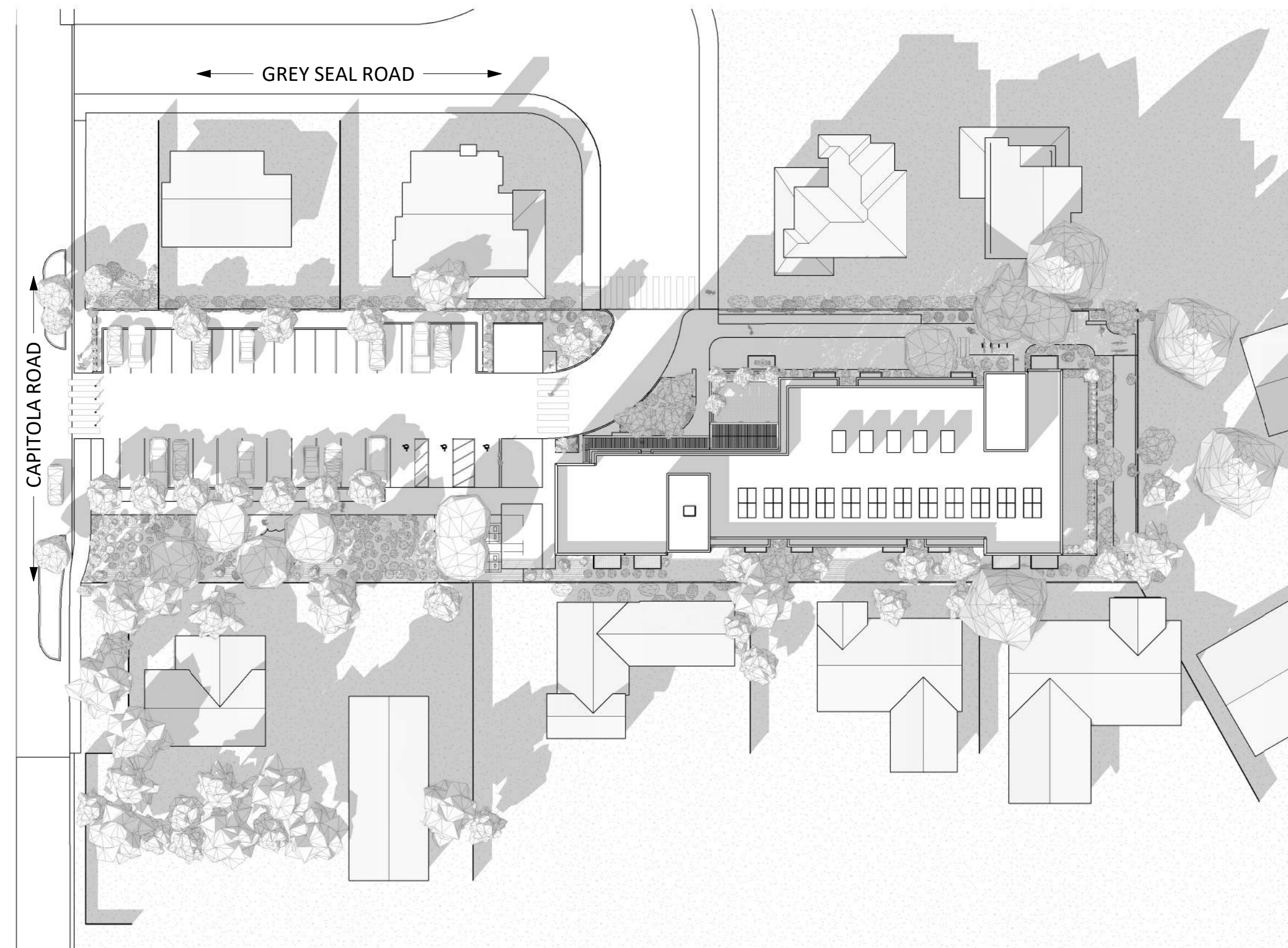
③ SOLAR STUDY - JUNE 21 - 10AM



① SOLAR STUDY - JUNE 21 - 2PM



④ SOLAR STUDY - DECEMBER 21- 10AM



② SOLAR STUDY - DECEMBER 21- 2PM

SHADOW STUDY NOTES

1. NEIGHBORING BUILDING MODEL INFORMATION IS FROM GIS AND GOOGLE EARTH DATA, HEIGHT AND ROOF FORMS ARE MODELED AS ARE APPROXIMATE.
2. TREES ARE LOCATED ON SITE PER ARBORIST REPORT. TREES OUTSIDE OF THE SUBJECT PROPERTY LINE ARE LOCATED APPROXIMATELY BASED ON GOOGLE EARTH DATA.
3. SHADOWS ARE ILLUSTRATED ON JUNE 21 AND DECEMBER 21 AT 10AM AND 2PM AS REQUIRED BY THE SANTA CRUZ COUNTY PLANNING UNIVERSAL LIST OF REQUIRED INFORMATION.



189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062

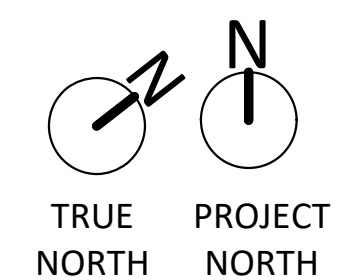


ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number 026-491-40
Project number 21110
Print Date 05.23.25
Drawn by OH
Checked by OH
Scale As indicated

All drawings and written material appearing herein constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.



SHADOW STUDIES

GP0.05



189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062



ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number 026-491-40
Project number 21110
Print Date 05.23.25
Drawn by HP
Checked by OH
Scale As indicated

All drawings and written material appearing herein constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.

OPEN SPACE DIAGRAMS
GPO.06

OPEN SPACE NOTES

- SEE SHEET GP SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION.
- SEE LANDSCAPE PLANS FOR INFORMATION ON PLANTING AND TERRACE DESIGN.

- COMMON
- COMMON INDOOR SPACE
- PRIVATE

Level	OPEN SPACE TYPE	Area
COMMON		
LEVEL 1	COMMON	5,644 SF
LEVEL 5	COMMON	1,597 SF
		7,241 SF
COMMON INDOOR SPACE		
LEVEL 1	COMMON INDOOR SPACE	637 SF
LEVEL 5	COMMON INDOOR SPACE	761 SF
		1,398 SF
PRIVATE		
LEVEL 1	PRIVATE	480 SF
LEVEL 2	PRIVATE	480 SF
LEVEL 3	PRIVATE	530 SF
LEVEL 4	PRIVATE	530 SF
LEVEL 5	PRIVATE	430 SF
		2,450 SF

SANTA CRUZ COUNTY OPEN SPACE REQUIREMENTS
(PER RF-ZONING, 13.10.323)
WAIVER REQUESTED, SEE GPO.03

PROJECT INFORMATION

TOTAL UNITS:	57 UNITS
SITE AREA:	38,217.29 SF (0.877 ACRES)

COMMON USABLE OPEN SPACE

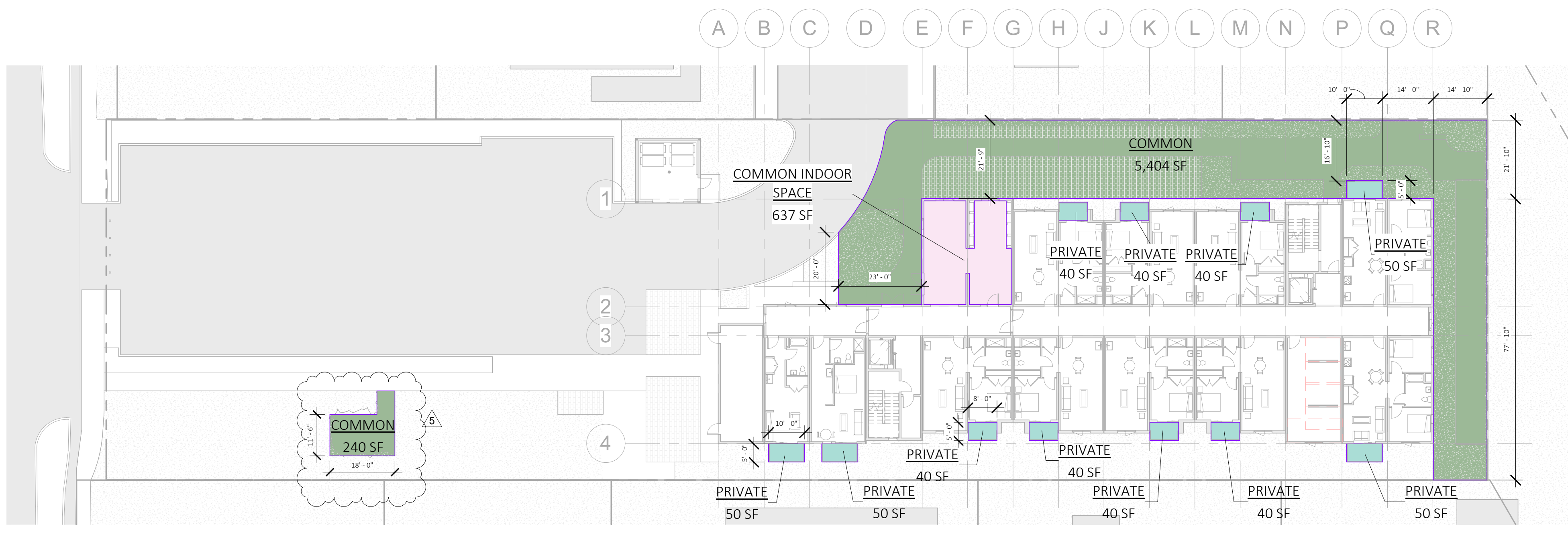
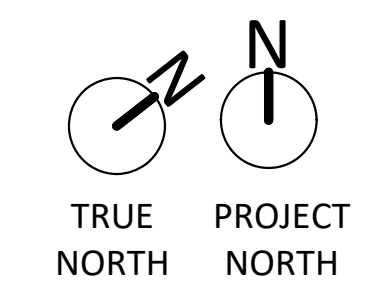
REQUIRED: 5,732.59 SF
SCCMC: 13.10.323 (MINIMUM 15% OF GROSS SITE AREA (COMMON AND/OR PRIVATE SPACE). IF GROUP OPEN SPACE PROVIDED, APPLY A MINIMUM DIMENSION OF 15' FOR SITES UP TO 1/2 ACRE, AND 20' FOR SITES LARGER THAN 1/2 ACRE.)

PROVIDED: 7,241 SF
WAIVER REQUESTED (MIN DIMENSION VARIES, SEE DIAGRAMS GPO.06/1 THRU 5)

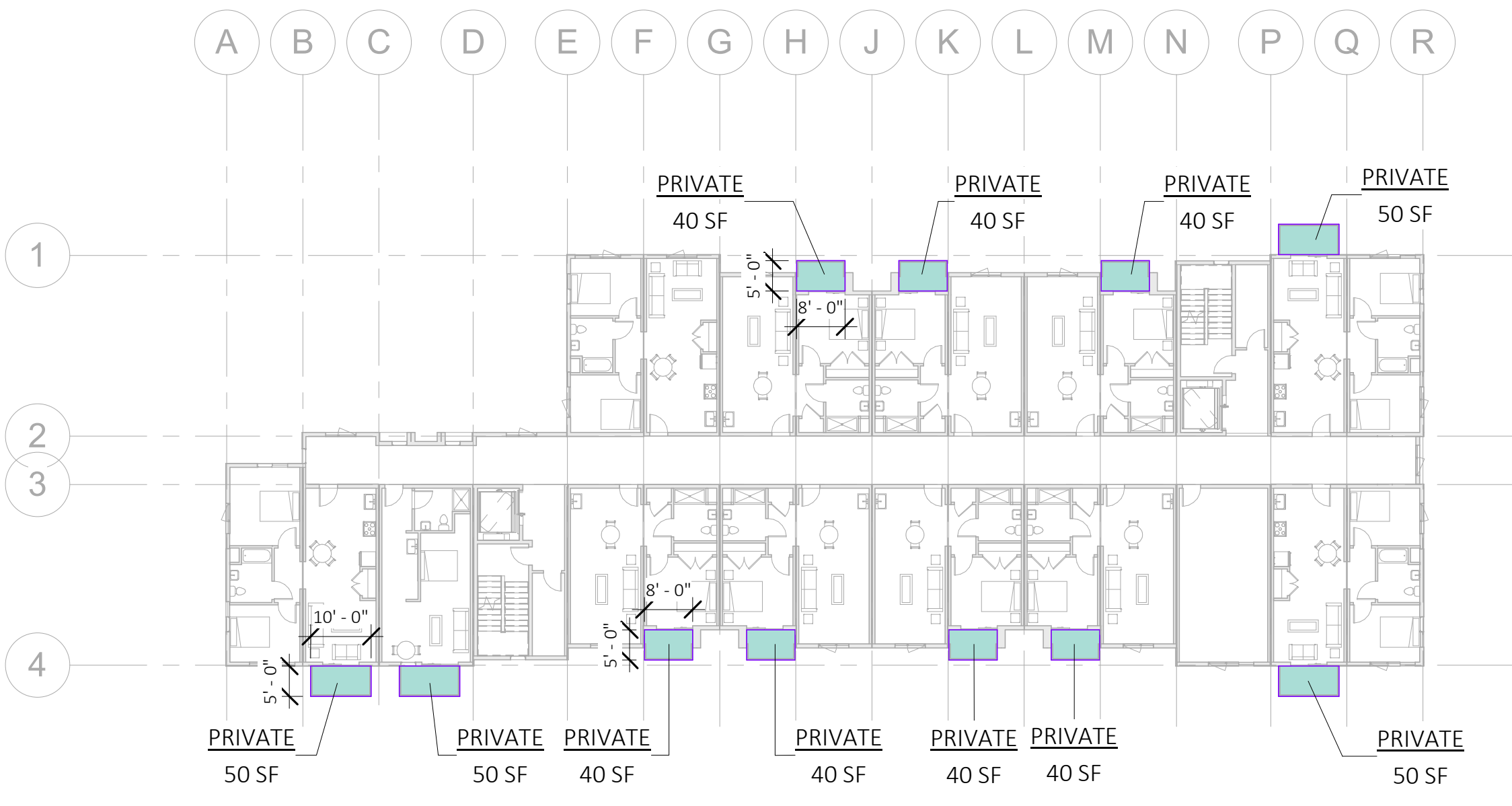
PRIVATE USABLE OPEN SPACE

REQUIRED: 56 UNITS X 50% = 28 PRIVATE OPEN SPACES @ 60 SF EACH (MINIMUM OF 60 SF PER UNIT FOR 50% OR MORE OF UNITS INCLUDED IN PROJECT, WITH A MINIMUM DIMENSION OF 6'.)

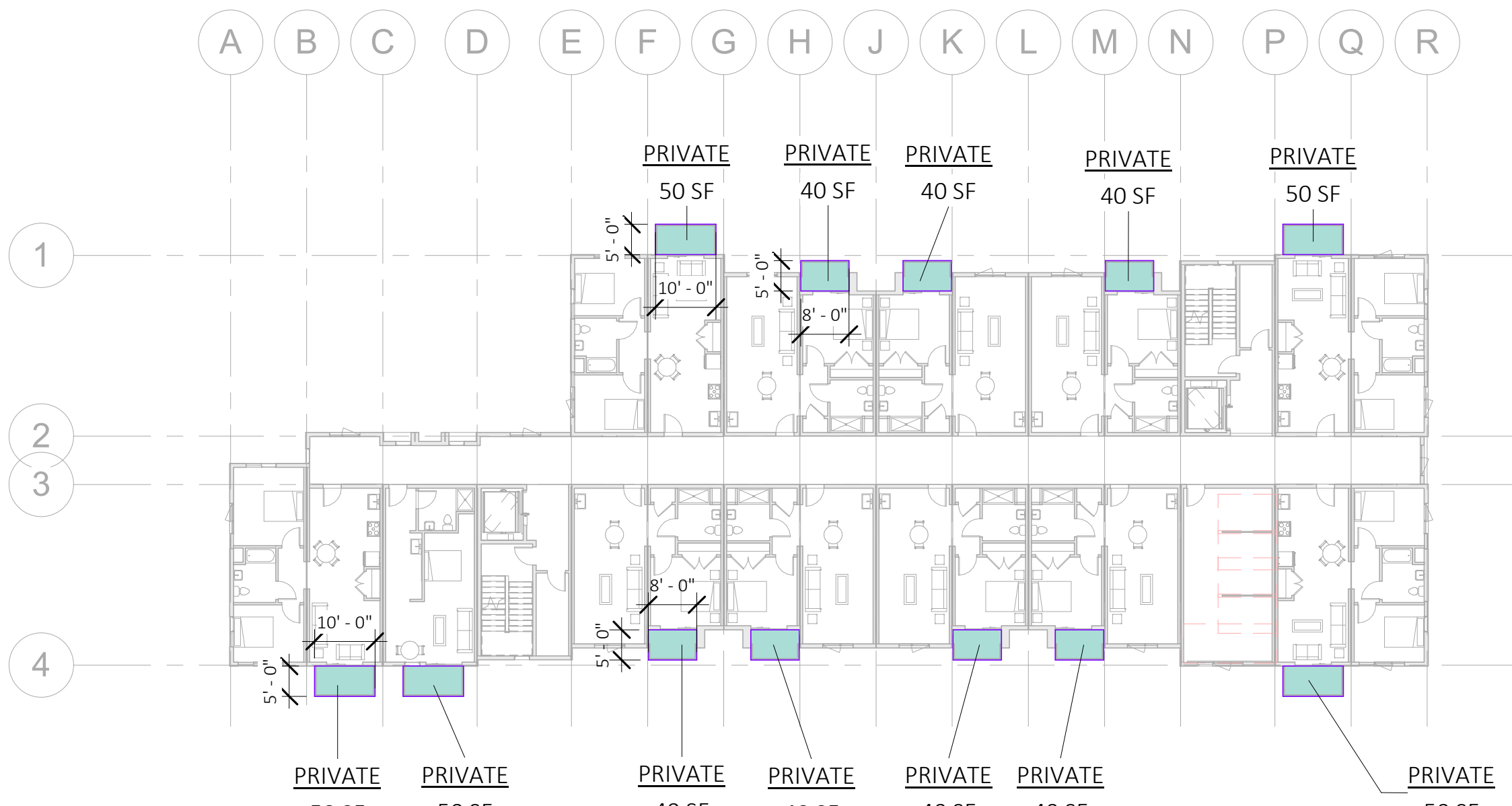
PROVIDED: 56 PRIVATE OPEN SPACES @ 43.7 SF AVG PER UNIT, MINIMUM DIMENSION 5'. (SEE DIAGRAMS GPO.06/1 THRU 5)



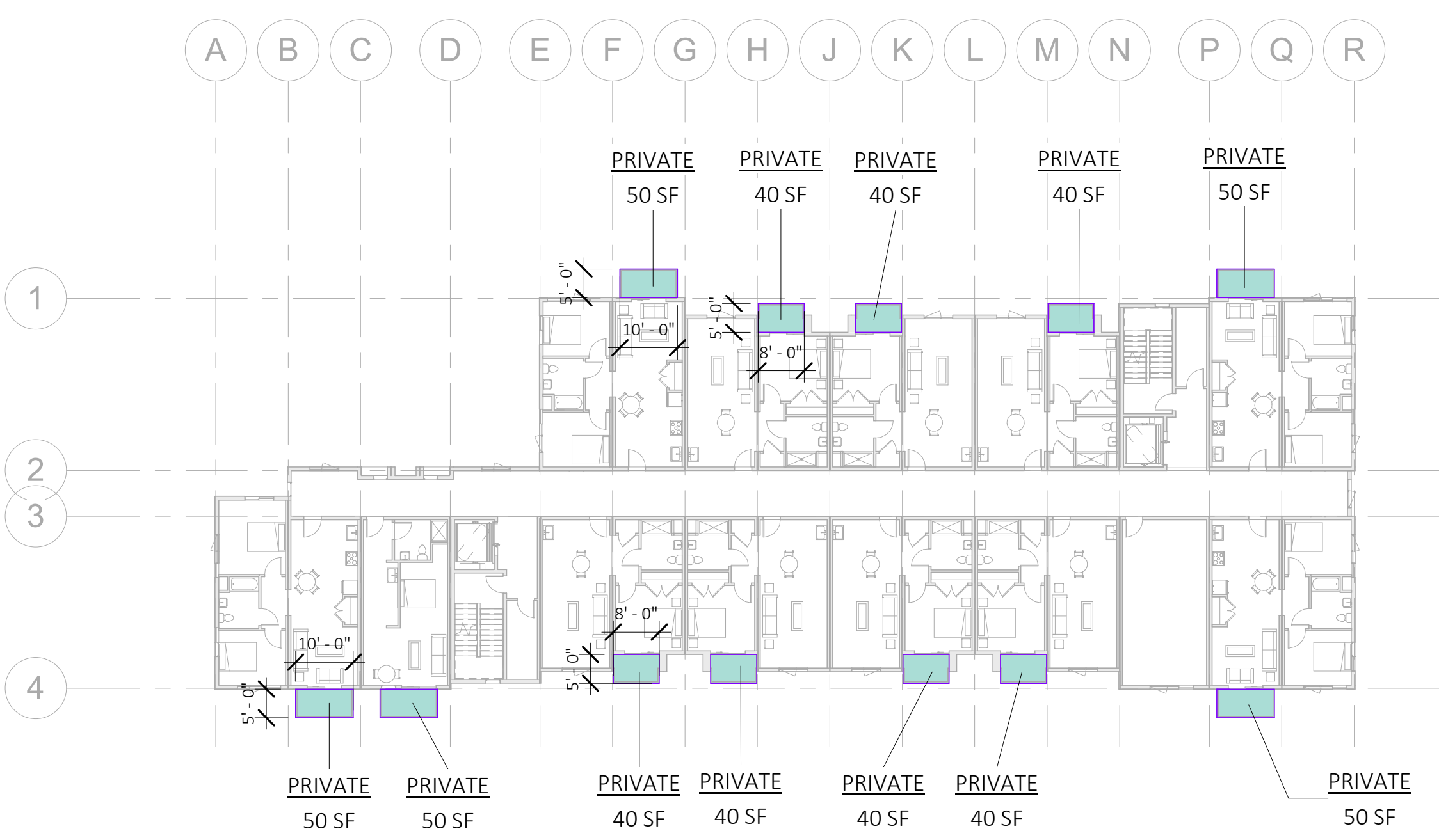
① LEVEL 1
3/64" = 1'-0"



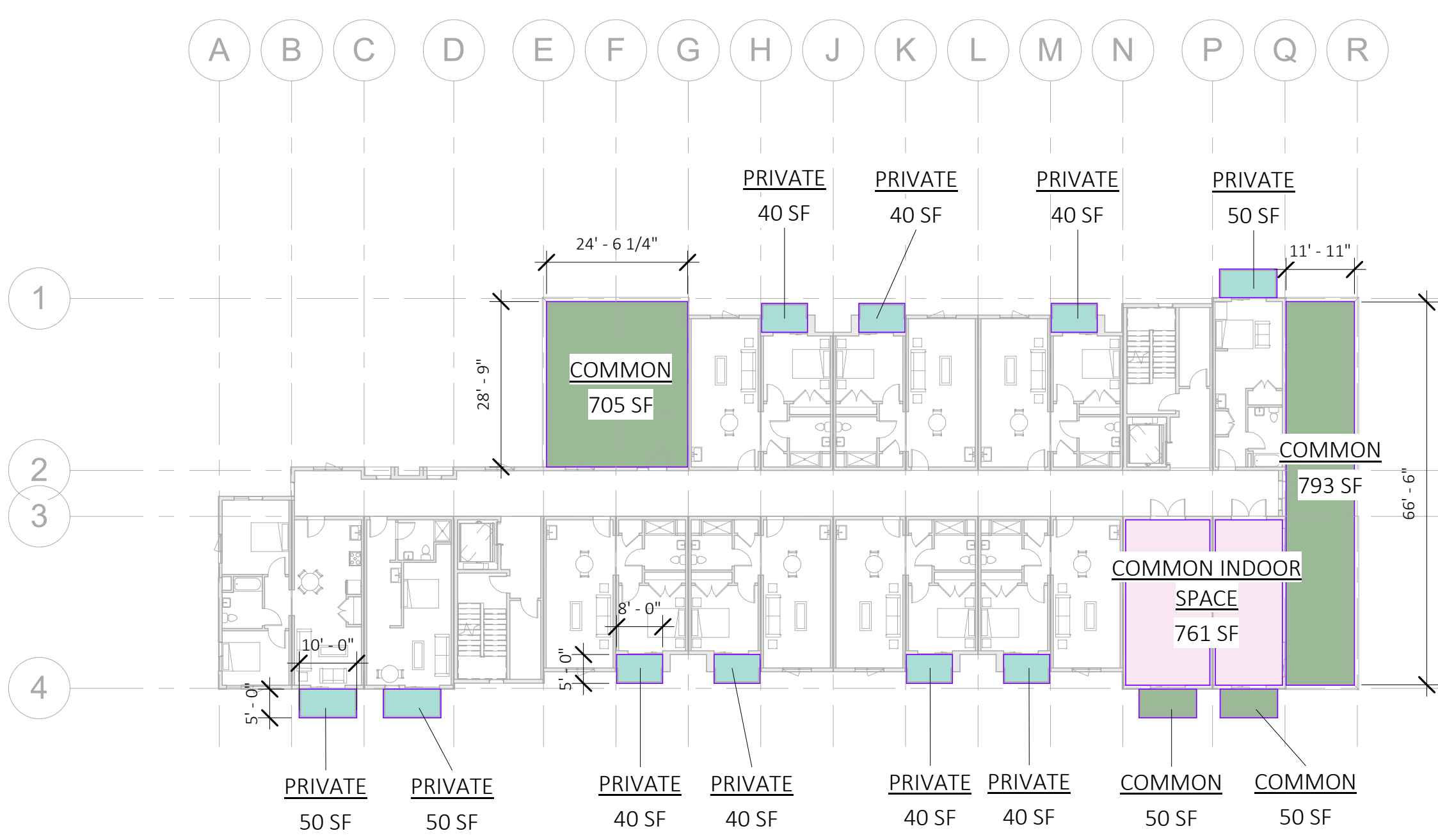
② LEVEL 2
3/64" = 1'-0"



③ LEVEL 3
3/64" = 1'-0"



④ LEVEL 4
3/64" = 1'-0"



⑤ LEVEL 5
3/64" = 1'-0"

CODE DIAGRAM GENERAL NOTES

- INTERIOR NON-BEARING PARTITIONS ARE NOT REQUIRED TO BE RATED UNLESS OTHERWISE NOTED.
- ALL CORRIDORS AT RESIDENTIAL LEVELS ARE GREATER THAN THE 44" WIDTH AS REQUIRED BY CBC
- NOTE THAT ALL SPACES WITH LESS THAN 50 OCCUPANTS REQUIRE ONE MEANS OF EGRESS. SPACES WITH MORE THAN 50 OCCUPANTS REQUIRE TWO MEANS OF EGRESS.
- ALL 3'-0" WIDE DOORS (WHICH ARE TYPICAL) HAVE SUFFICIENT EGRESS WIDTH FOR 180 OCCUPANTS.
- CBC 11A APPLIES TO RESIDENCES AND MOST COMMON AREAS
- SEE CIVIL PLANS FOR SITE GRADING INFORMATION AND REQUIRED SLOPES/CROSS SLOPES.
- EXIT SEPARATION DISTANCE REQUIREMENT PER CBC SECTION 1007.1.1, EXCEPTION 2. NOT LESS THAN ONE THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.
- TRAVEL PATH DISTANCES PER CBC TABLE 1017.2

FILL / HATCH LEGEND

CODE / ACCESS SYMBOL LEGEND

- MAXIMUM OVERALL DIAGONAL DIMENSION PER CBC 1007.1.1
- EXIT SEPARATION DISTANCE PER 1007.1.1
- EXIT ACCESS TRAVEL DISTANCE; MAX DISTANCE PER CBC TABLE 1017.2 = 250'
- COMMON PATH OF TRAVEL; MAX DISTANCE PER CBC TABLE 1006.2.1 = 125'
- OCCUPANT LOAD AND EXITING DIRECTION
- EGRESS PATH OF TRAVEL WITH TRAVEL WIDTH REQUIRED (PROVIDE MINIMUM ILLUMINATION FOR EXITING - REFER TO ELECTRICAL DRAWINGS COORDINATED IN BUILDING PERMIT PHASE)
- EXTERIOR EGRESS PATH TO ROW WITH TRAVEL WIDTH REQUIRED (PROVIDE MINIMUM ILLUMINATION FOR EXITING - REFER TO ELECTRICAL DRAWINGS COORDINATED IN BUILDING PERMIT PHASE)

RESIDENTIAL	
ROOM NAME	ROOM NAME
AREA: ### SF	ROOM AREA
OT: R-2	OCCUPANCY TYPE / SPACE FUNCTION PER CBC TABLE 1004.5
OLF: ### SF	OCCUPANT LOAD FACTOR PER CBC TABLE 1004.5
OCC: ##	OCCUPANT LOAD

OCCUPANCY LOAD CALCULATIONS

PER CBC 1006.2.1 & CBC TABLE 1004.5

LEVEL 1: 55 OCCUPANTS = 2 EXITS REQUIRED
 LEVEL 2: 53 OCCUPANTS = 2 EXITS REQUIRED
 LEVEL 3: 53 OCCUPANTS = 2 EXITS REQUIRED
 LEVEL 4: 53 OCCUPANTS = 2 EXITS REQUIRED
 LEVEL 5: 172 OCCUPANTS = 2 EXITS REQUIRED
TOTAL: 386 OCCUPANTS

ROOM OCCUPANCY SCHEDULE - SITE			
AREA	OCCUPANCY CLASSIFICATION	OCCUPANT LOAD FACTOR	OCCUPANTS
LEVEL 1			
676 SF	B	150 SF	5
7,947 SF	R-2	200 SF	45
854 SF	S-2	300 SF	5
9,478 SF			55
LEVEL 2			
314 SF			0
8,956 SF	R-2	200 SF	49
567 SF	S-2	300 SF	4
9,836 SF			53
LEVEL 3			
314 SF			0
7,338 SF	R-2	200 SF	40
567 SF	S-2	300 SF	4
8,219 SF			44
LEVEL 4			
314 SF			0
7,338 SF	R-2	200 SF	40
567 SF	S-2	300 SF	4
8,219 SF			44
LEVEL 5			
314 SF			0
1,352 SF	A-3	15 SF	91
7,098 SF	R-2	200 SF	38
607 SF	R-2/ASSEMBLY	15 SF	41
146 SF	S-2	300 SF	2
9,516 SF			172
45,267 SF			368



189 WALNUT AVENUE
 SANTA CRUZ, CA 95060
 WORKBENCHBUILT.COM
 P: 831.227.2217

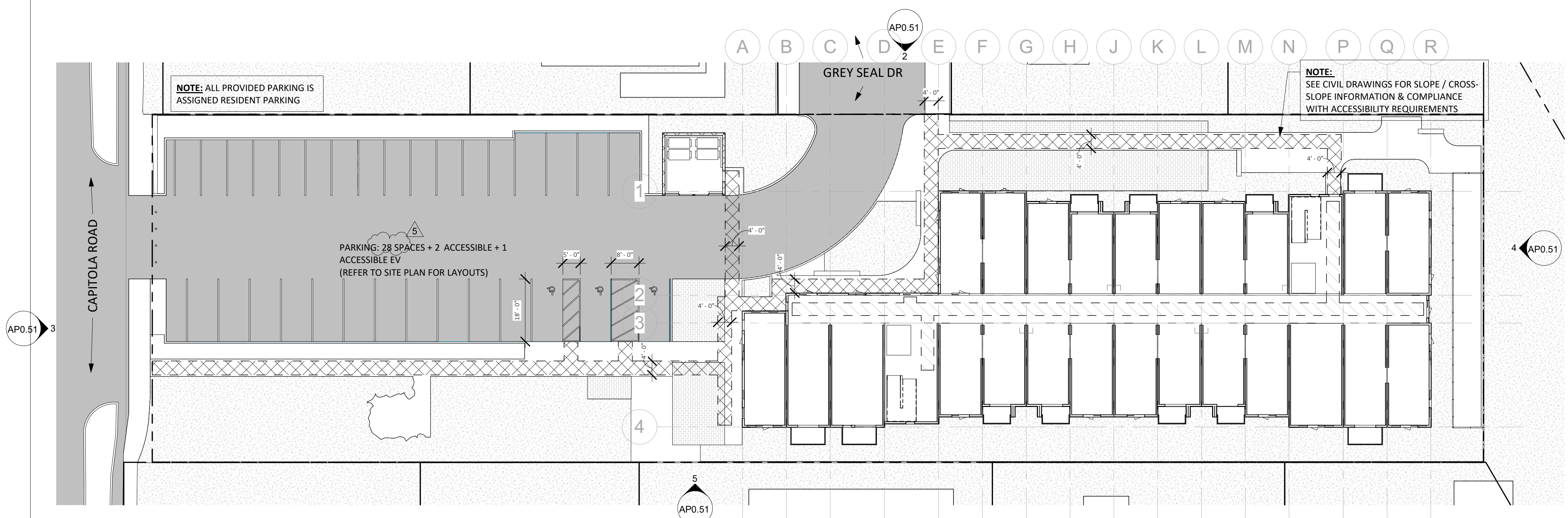
841 CAPITOLA ROAD
 841 CAPITOLA ROAD
 SANTA CRUZ, CA 95062



ISSUES/ REVISIONS		
Issue	DESCRIPTION	DATE
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number	026-491-40
Project number	21110
Print Date	05.23.25
Drawn by	OH
Checked by	OH
Scale	As indicated

PRELIM EGRESS & ACCESSIBILITY SITE PLAN
GPO.10



1 CODE - SITE PLAN
 1" = 20'-0"

5/23/2025 4:12:02 PM

CODE DIAGRAM GENERAL NOTES

- INTERIOR NON-BEARING PARTITIONS ARE NOT REQUIRED TO BE RATED UNLESS OTHERWISE NOTED.
- ALL CORRIDORS AT RESIDENTIAL LEVELS ARE GREATER THAN THE 44" WIDTH AS REQUIRED BY CBC.
- NOTE THAT ALL SPACES WITH LESS THAN 50 OCCUPANTS REQUIRE ONE MEANS OF EGRESS. SPACES WITH MORE THAN 50 OCCUPANTS REQUIRE TWO MEANS OF EGRESS.
- ALL 3'-0" WIDE DOORS (WHICH ARE TYPICAL) HAVE SUFFICIENT EGRESS WIDTH FOR 180 OCCUPANTS.
- CBC 11A APPLIES TO RESIDENCES AND MOST COMMON AREAS.
- SEE CIVIL PLANS FOR SITE GRADING INFORMATION AND REQUIRED SLOPES/CROSS SLOPES.
- EXIT SEPARATION DISTANCE REQUIREMENT PER CBC SECTION 1007.1.1, EXCEPTION 2. NOT LESS THAN ONE THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.
- TRAVEL PATH DISTANCES PER CBC TABLE 1017.2.

FILL / HATCH LEGEND

- B
- NOT OCCUPIED
- R-2
- S-2

CODE / ACCESS SYMBOL LEGEND

- MAXIMUM OVERALL DIAGONAL DIMENSION PER CBC 1007.1.1
 - EXIT SEPARATION DISTANCE PER 1007.1.1
 - EXIT ACCESS TRAVEL DISTANCE; MAX DISTANCE PER CBC TABLE 1017.2 = 250'
 - COMMON PATH OF TRAVEL; MAX DISTANCE PER CBC TABLE 1006.2.1 = 125'
 - OCCUPANT LOAD AND EXITING DIRECTION
 - EGRESS PATH OF TRAVEL WITH TRAVEL WIDTH REQUIRED (PROVIDE MINIMUM ILLUMINATION FOR EXITING - REFER TO ELECTRICAL DRAWINGS COORDINATED IN BUILDING PERMIT PHASE)
 - EXTERIOR EGRESS PATH TO ROW WITH TRAVEL WIDTH REQUIRED (PROVIDE MINIMUM ILLUMINATION FOR EXITING - REFER TO ELECTRICAL DRAWINGS COORDINATED IN BUILDING PERMIT PHASE)
- RESIDENTIAL**
- ROOM NAME** ← ROOM NAME
 - AREA: ### SF** ← ROOM AREA
 - OT: R-2** ← OCCUPANCY TYPE / SPACE FUNCTION PER CBC TABLE 1004.5
 - OLF: ### SF** ← OCCUPANT LOAD FACTOR PER CBC TABLE 1004.5
 - OCC: ##** ← OCCUPANT LOAD

OCCUPANCY LOAD CALCULATIONS

PER CBC 1006.2.1 & CBC TABLE 1004.5

LEVEL 1: 55 OCCUPANTS = 2 EXITS REQUIRED
 LEVEL 2: 53 OCCUPANTS = 2 EXITS REQUIRED
 LEVEL 3: 53 OCCUPANTS = 2 EXITS REQUIRED
 LEVEL 4: 53 OCCUPANTS = 2 EXITS REQUIRED
 LEVEL 5: 172 OCCUPANTS = 2 EXITS REQUIRED
TOTAL: 386 OCCUPANTS

MINIMUM ALLOWABLE DISTANCE BETWEEN EXITS PER 1007.1.1 EXCEPTION 1:
 = 1/3 LONGEST DIAGONAL
 = 207' / 3
 = 69'

ACTUAL DISTANCE:
 = 123' +/-
COMPLIES

MAXIMUM ALLOWABLE EXIT ACCESS DISTANCE PER TABLE 1017.2:
 = 250'

ACTUAL DISTANCE:
 = 108' +/-
COMPLIES

MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE PER TABLE 1006.2.1:
 = 125'

ACTUAL DISTANCE:
 = 83' +/-
COMPLIES

MAXIMUM DEAD END CORRIDOR:
 = 20' FOR BUILDINGS WITH SPRINKLERS PER 903.3.1.2
 = 50' FOR BUILDINGS WITH SPRINKLER PER 903.3.1.1

ACTUAL DISTANCE:
 = 38' +/-
COMPLIES

ROOM OCCUPANCY SCHEDULE - LEVEL 1				
ROOM NAME	AREA	OCCUPANCY CLASSIFICATION	OCCUPANT LOAD FACTOR	OCCUPANTS
B				
LOBBY/LOUNGE	676 SF	B	150 SF	5
676 SF 5				
R-2				
1 BED	585 SF	R-2	200 SF	3
1 BED	585 SF	R-2	200 SF	3
1 BED	585 SF	R-2	200 SF	3
1 BED	585 SF	R-2	200 SF	3
1 BED	585 SF	R-2	200 SF	3
1 BED	585 SF	R-2	200 SF	3
1 BED	585 SF	R-2	200 SF	3
1 BED	585 SF	R-2	200 SF	3
2 BED	695 SF	R-2	200 SF	4
2 BED	695 SF	R-2	200 SF	4
CIRCULATION	984 SF	R-2	200 SF	5
CIRCULATION	222 SF	R-2	200 SF	2
CIRCULATION	411 SF	R-2	200 SF	3
CIRCULATION	99 SF	R-2	200 SF	1
STUDIO A	324 SF	R-2	200 SF	2
STUDIO B	419 SF	R-2	200 SF	3
7,947 SF				45
S-2				
BICYCLE STORAGE	420 SF	S-2	300 SF	2
ELEC ROOM	373 SF	S-2	300 SF	2
STORAGE / MEP	61 SF	S-2	300 SF	1
854 SF				5
Grand total				55



189 WALNUT AVENUE
 SANTA CRUZ, CA 95060
 WORKBENCHBUILT.COM
 P: 831.227.2217

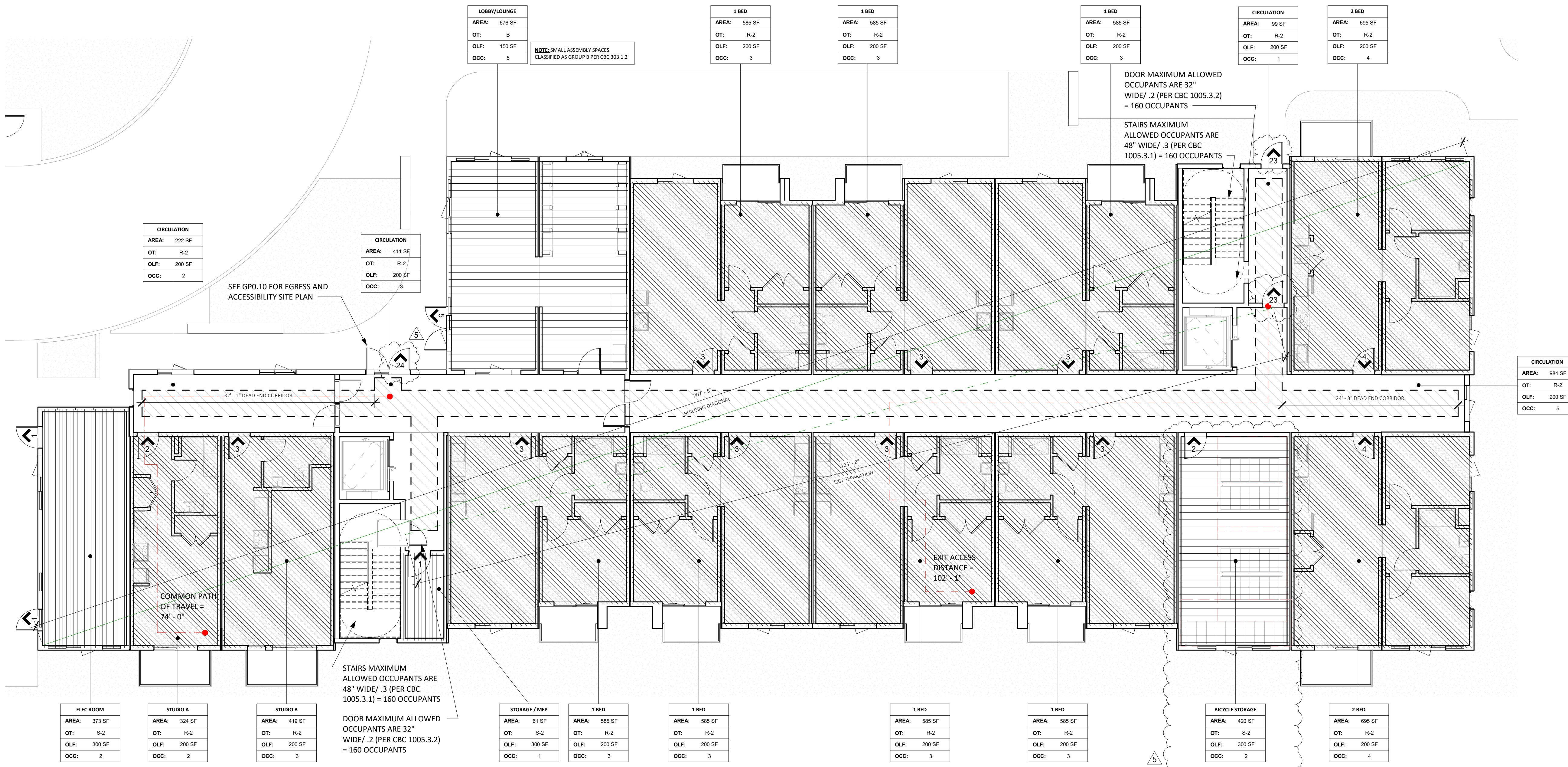
841 CAPITOLA ROAD
 841 CAPITOLA ROAD
 SANTA CRUZ, CA 95062



ISSUES/ REVISIONS		
Issue	DESCRIPTION	DATE
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number 026-491-40
 Project number 21110
 Print Date 05.23.25
 Drawn by OH
 Checked by OH
 Scale As indicated

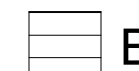

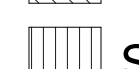
PRELIM EGRESS & ACCESSIBILITY LEVEL 1
GPO.11










CODE DIAGRAM GENERAL NOTES

- INTERIOR NON-BEARING PARTITIONS ARE NOT REQUIRED TO BE RATED UNLESS OTHERWISE NOTED.
- ALL CORRIDORS AT RESIDENTIAL LEVELS ARE GREATER THAN THE 44" WIDTH AS REQUIRED BY CBC.
- NOTE THAT ALL SPACES WITH LESS THAN 50 OCCUPANTS REQUIRE ONE MEANS OF EGRESS. SPACES WITH MORE THAN 50 OCCUPANTS REQUIRE TWO MEANS OF EGRESS.
- ALL 3'-0" WIDE DOORS (WHICH ARE TYPICAL) HAVE SUFFICIENT EGRESS WIDTH FOR 180 OCCUPANTS.
- CBC 11A APPLIES TO RESIDENCES AND MOST COMMON AREAS.
- SEE CIVIL PLANS FOR SITE GRADING INFORMATION AND REQUIRED SLOPES/CROSS SLOPES.
- EXIT SEPARATION DISTANCE REQUIREMENT PER CBC SECTION 1007.1.1, EXCEPTION 2. NOT LESS THAN ONE THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.
- TRAVEL PATH DISTANCES PER CBC TABLE 1017.2.

FILL / HATCH LEGEND

-  B
-  R-2
-  S-2

CODE / ACCESS SYMBOL LEGEND

-  MAXIMUM OVERALL DIAGONAL DIMENSION PER CBC 1007.1.1
-  EXIT SEPARATION DISTANCE PER 1007.1.1
-  EXIT ACCESS TRAVEL DISTANCE; MAX DISTANCE PER CBC TABLE 1017.2 = 250'
-  COMMON PATH OF TRAVEL; MAX DISTANCE PER CBC TABLE 1006.2.1 = 125'
-  OCCUPANT LOAD AND EXITING DIRECTION
-  EGRESS PATH OF TRAVEL WITH TRAVEL WIDTH REQUIRED (PROVIDE MINIMUM ILLUMINATION FOR EXITING - REFER TO ELECTRICAL DRAWINGS COORDINATED IN BUILDING PERMIT PHASE)
-  EXTERIOR EGRESS PATH TO ROW WITH TRAVEL WIDTH REQUIRED (PROVIDE MINIMUM ILLUMINATION FOR EXITING - REFER TO ELECTRICAL DRAWINGS COORDINATED IN BUILDING PERMIT PHASE)

RESIDENTIAL	
ROOM NAME	ROOM NAME
AREA: ### SF	ROOM AREA
OT: R-2	OCCUPANCY TYPE / SPACE FUNCTION PER CBC TABLE 1004.5
OLF: ### SF	OCCUPANT LOAD FACTOR PER CBC TABLE 1004.5
OCC: ##	OCCUPANT LOAD

OCCUPANCY LOAD CALCULATIONS

PER CBC 1006.2.1 & CBC TABLE 1004.5

LEVEL 1: 55 OCCUPANTS = 2 EXITS REQUIRED
 LEVEL 2: 53 OCCUPANTS = 2 EXITS REQUIRED
 LEVEL 3: 53 OCCUPANTS = 2 EXITS REQUIRED
 LEVEL 4: 53 OCCUPANTS = 2 EXITS REQUIRED
 LEVEL 5: 172 OCCUPANTS = 2 EXITS REQUIRED
TOTAL: 386 OCCUPANTS

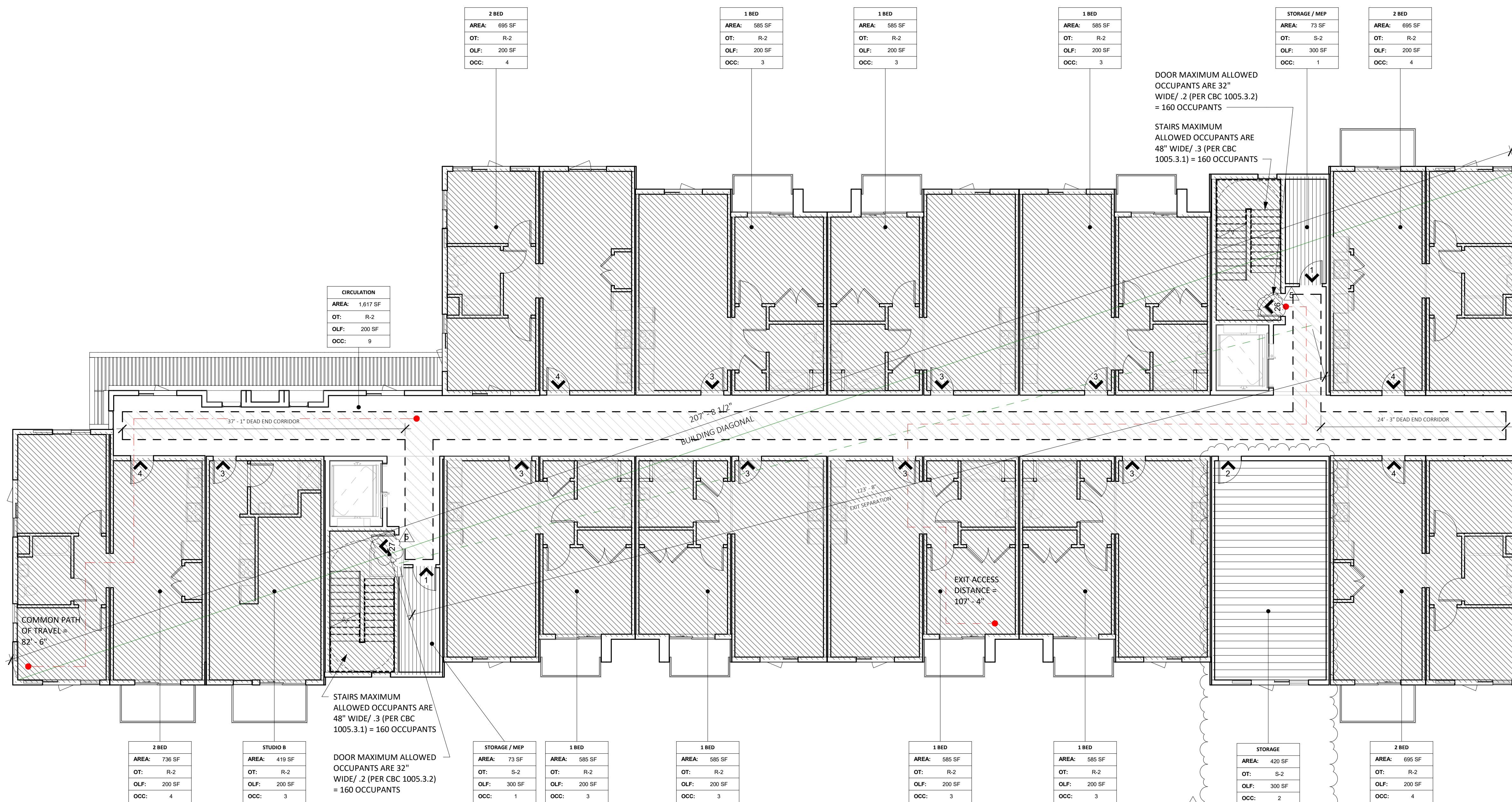
MINIMUM ALLOWABLE DISTANCE BETWEEN EXITS PER 1007.1.1 EXCEPTION 1:
 = 1/3 LONGEST DIAGONAL
 = 207' / 3
 = 69'
ACTUAL DISTANCE:
 = 123' +/-
COMPLIES

MAXIMUM ALLOWABLE EXIT ACCESS DISTANCE PER TABLE 1017.2:
 = 250'
ACTUAL DISTANCE:
 = 108' +/-
COMPLIES

MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE PER TABLE 1006.2.1:
 = 125'
ACTUAL DISTANCE:
 = 83' +/-
COMPLIES

MAXIMUM DEAD END CORRIDOR:
 = 20' FOR BUILDINGS WITH SPRINKLERS PER 903.3.1.2
 = 50' FOR BUILDINGS WITH SPRINKLER PER 903.3.1.1
ACTUAL DISTANCE:
 = 38' +/-
COMPLIES

ROOM OCCUPANCY SCHEDULE - LEVEL 2 THRU 4				
ROOM NAME	AREA	OCCUPANCY CLASSIFICATION	OCCUPANT LOAD FACTOR	OCCUPANTS
STAIR	157 SF			
STAIR	157 SF			
	314 SF			0
R-2				
1 BED	585 SF	R-2	200 SF	3
1 BED	585 SF	R-2	200 SF	3
1 BED	585 SF	R-2	200 SF	3
1 BED	585 SF	R-2	200 SF	3
1 BED	585 SF	R-2	200 SF	3
1 BED	585 SF	R-2	200 SF	3
1 BED	585 SF	R-2	200 SF	3
2 BED	695 SF	R-2	200 SF	4
2 BED	736 SF	R-2	200 SF	4
2 BED	695 SF	R-2	200 SF	4
2 BED	695 SF	R-2	200 SF	4
CIRCULATION	1,617 SF	R-2	200 SF	9
STUDIO B	419 SF	R-2	200 SF	3
	8,956 SF			49
S-2				
STORAGE	420 SF	S-2	300 SF	2
STORAGE / MEP	73 SF	S-2	300 SF	1
STORAGE / MEP	73 SF	S-2	300 SF	1
	567 SF			4
Grand total	9,836 SF			53



189 WALNUT AVENUE
 SANTA CRUZ, CA 95060
 WORKBENCHBUILT.COM
 P: 831.227.2217

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062



ISSUES/ REVISIONS		
Issue	DESCRIPTION	DATE
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number	026-491-40
Project number	21110
Print Date	05.23.25
Drawn by	OH
Checked by	OH
Scale	As indicated

All drawings and written material appearing herein constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.

PRELIM EGRESS & ACCESSIBILITY LEVEL 2 THRU 4
GPO.12

CODE DIAGRAM GENERAL NOTES

- INTERIOR NON-BEARING PARTITIONS ARE NOT REQUIRED TO BE RATED UNLESS OTHERWISE NOTED.
- ALL CORRIDORS AT RESIDENTIAL LEVELS ARE GREATER THAN THE 44" WIDTH AS REQUIRED BY CBC.
- NOTE THAT ALL SPACES WITH LESS THAN 50 OCCUPANTS REQUIRE ONE MEANS OF EGRESS. SPACES WITH MORE THAN 50 OCCUPANTS REQUIRE TWO MEANS OF EGRESS.
- ALL 3'-0" WIDE DOORS (WHICH ARE TYPICAL) HAVE SUFFICIENT EGRESS WIDTH FOR 180 OCCUPANTS.
- CBC 11A APPLIES TO RESIDENCES AND MOST COMMON AREAS.
- SEE CIVIL PLANS FOR SITE GRADING INFORMATION AND REQUIRED SLOPES/CROSS SLOPES.
- EXIT SEPARATION DISTANCE REQUIREMENT PER CBC SECTION 1007.1.1, EXCEPTION 2. NOT LESS THAN ONE THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.
- TRAVEL PATH DISTANCES PER CBC TABLE 1017.2.

FILL / HATCH LEGEND

- A-3
- B
- R-2
- S-2

CODE / ACCESS SYMBOL LEGEND

- MAXIMUM OVERALL DIAGONAL DIMENSION PER CBC 1007.1.1
- EXIT SEPARATION DISTANCE PER 1007.1.1
- EXIT ACCESS TRAVEL DISTANCE; MAX DISTANCE PER CBC TABLE 1017.2 = 250'
- COMMON PATH OF TRAVEL; MAX DISTANCE PER CBC TABLE 1006.2.1 = 125'
- OCCUPANT LOAD AND EXITING DIRECTION
- EGRESS PATH OF TRAVEL WITH TRAVEL WIDTH REQUIRED (PROVIDE MINIMUM ILLUMINATION FOR EXITING - REFER TO ELECTRICAL DRAWINGS COORDINATED IN BUILDING PERMIT PHASE)
- EXTERIOR EGRESS PATH TO ROW WITH TRAVEL WIDTH REQUIRED (PROVIDE MINIMUM ILLUMINATION FOR EXITING - REFER TO ELECTRICAL DRAWINGS COORDINATED IN BUILDING PERMIT PHASE)

RESIDENTIAL	
ROOM NAME	ROOM NAME
AREA: ### SF	ROOM AREA
OT: R-2	OCCUPANCY TYPE / SPACE FUNCTION PER CBC TABLE 1004.5
OLF: ### SF	OCCUPANT LOAD FACTOR PER CBC TABLE 1004.5
OCC: ##	OCCUPANT LOAD

OCCUPANCY LOAD CALCULATIONS

PER CBC 1006.2.1 & CBC TABLE 1004.5

LEVEL 1: 55 OCCUPANTS = 2 EXITS REQUIRED
 LEVEL 2: 53 OCCUPANTS = 2 EXITS REQUIRED
 LEVEL 3: 53 OCCUPANTS = 2 EXITS REQUIRED
 LEVEL 4: 53 OCCUPANTS = 2 EXITS REQUIRED
 LEVEL 5: 172 OCCUPANTS = 2 EXITS REQUIRED
TOTAL: 386 OCCUPANTS

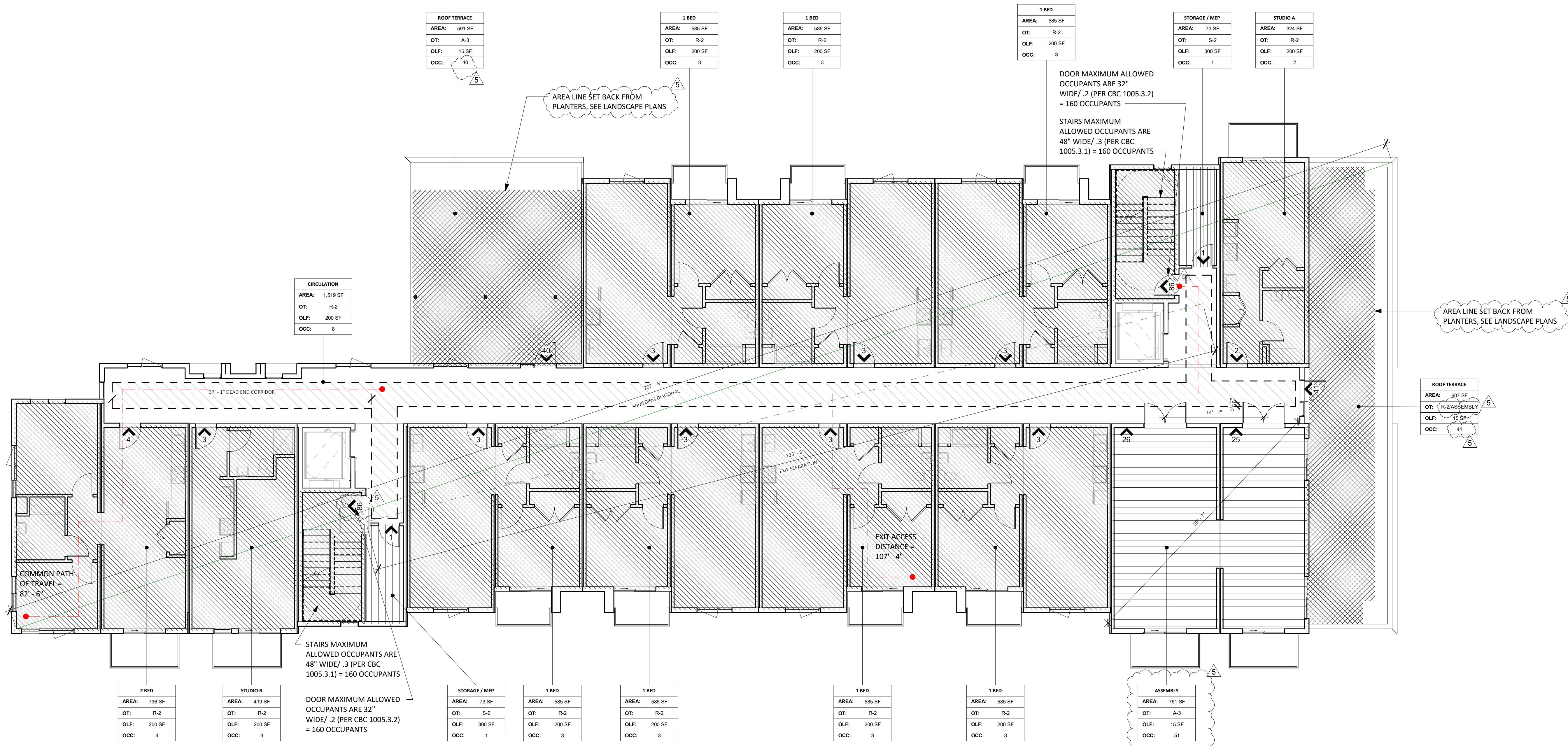
MINIMUM ALLOWABLE DISTANCE BETWEEN EXITS PER 1007.1.1 EXCEPTION 1:
 = 1/3 LONGEST DIAGONAL
 = 207' / 3
 = 69'
ACTUAL DISTANCE:
 = 123' +/-
COMPLIES

MAXIMUM ALLOWABLE EXIT ACCESS DISTANCE PER TABLE 1017.2:
 = 250'
ACTUAL DISTANCE:
 = 108' +/-
COMPLIES

MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE PER TABLE 1006.2.1:
 = 125'
ACTUAL DISTANCE:
 = 83' +/-
COMPLIES

MAXIMUM DEAD END CORRIDOR:
 = 20' FOR BUILDINGS WITH SPRINKLERS PER 903.3.1.2
 = 50' FOR BUILDINGS WITH SPRINKLER PER 903.3.1.1
ACTUAL DISTANCE:
 = 38' +/-
COMPLIES

ROOM OCCUPANCY SCHEDULE - LEVEL 5				
ROOM NAME	AREA	OCCUPANCY CLASSIFICATION	OCCUPANT LOAD FACTOR	OCCUPANTS
STAIR	157 SF			
STAIR	157 SF			
	314 SF			0
A-3				
ASSEMBLY	761 SF	A-3	15 SF	51
ROOF TERRACE	591 SF	A-3	15 SF	40
	1,352 SF			91
R-2				
1 BED	585 SF	R-2	200 SF	3
1 BED	585 SF	R-2	200 SF	3
1 BED	585 SF	R-2	200 SF	3
1 BED	585 SF	R-2	200 SF	3
1 BED	585 SF	R-2	200 SF	3
1 BED	585 SF	R-2	200 SF	3
2 BED	736 SF	R-2	200 SF	4
CIRCULATION	1,519 SF	R-2	200 SF	8
STUDIO A	324 SF	R-2	200 SF	2
STUDIO B	419 SF	R-2	200 SF	3
	7,098 SF			38
R-2/ASSEMBLY				
ROOF TERRACE	607 SF	R-2/ASSEMBLY	15 SF	41
	607 SF			41
S-2				
STORAGE / MEP	73 SF	S-2	300 SF	1
STORAGE / MEP	73 SF	S-2	300 SF	1
	146 SF			2
Grand total	9,516 SF			172



189 WALNUT AVENUE
 SANTA CRUZ, CA 95060
 WORKBENCHBUILT.COM
 P: 831.227.2217

841 CAPITOLA ROAD
 841 CAPITOLA ROAD
 SANTA CRUZ, CA 95062



ISSUES/ REVISIONS		
Issue	DESCRIPTION	DATE
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number	026-491-40
Project number	21110
Print Date	05.23.25
Drawn by	OH
Checked by	EB
Scale	As indicated

PRELIM EGRESS & ACCESSIBILITY LEVEL 5
GPO.15

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (July 2024 Supplement)



189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062



Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number	026-491-40
Project number	21110
Print Date	05.23.25
Drawn by	LB
Checked by	EB
Scale	

All drawings and written material appearing herein constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.

DRAFT CALGREEN MANDATORY CHECKLIST
GPO.20

Y	N/A	RESPON. PARTY	CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL	Y	N/A	RESPON. PARTY	4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities.	Y	N/A	RESPON. PARTY	DIVISION 4.2 ENERGY EFFICIENCY	Y	N/A	RESPON. PARTY	4.304 OUTDOOR WATER USE																								
			<p>301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.</p> <p>301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.</p> <p>The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.</p> <p>Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.</p> <p>Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.</p> <p>301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.</p> <p>SECTION 302 MIXED OCCUPANCY BUILDINGS</p> <p>302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.</p> <p>Exceptions:</p> <ol style="list-style-type: none"> [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the <i>California Building Code</i>, shall not be considered mixed occupancies. Live/Work units shall comply with Chapter 4 and Appendix A4, as applicable. <p>DIVISION 4.1 PLANNING AND DESIGN</p> <p>ABBREVIATION DEFINITIONS:</p> <p>HCD Department of Housing and Community Development BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety OSHPD Office of Statewide Health Planning and Development LR Low Rise HR High Rise AA Additions and Alterations N New</p> <p>CHAPTER 4 RESIDENTIAL MANDATORY MEASURES</p> <p>SECTION 4.102 DEFINITIONS</p> <p>4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)</p> <p>FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar porous material used to collect or channel drainage or runoff water.</p> <p>WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.</p> <p>4.106 SITE DEVELOPMENT</p> <p>4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.</p> <p>4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.</p> <ol style="list-style-type: none"> Retention basins of sufficient size shall be utilized to retain storm water on the site. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency. Compliance with a lawfully enacted storm water management ordinance. <p>Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil.</p> <p>(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)</p> <p>4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flow to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:</p> <ol style="list-style-type: none"> Swales Water collection and disposal systems French drains Water retention gardens Other water measures which keep surface water away from buildings and aid in groundwater recharge. <p>Exception: Additions and alterations not altering the drainage path.</p> <p>4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Section 4.106.4.1 or 4.106.4.2. Electric vehicle supply equipment (EVSE) shall comply with the <i>California Electrical Code</i>.</p> <p>Exceptions:</p> <ol style="list-style-type: none"> On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: <ol style="list-style-type: none"> 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power. 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities. <p>4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.</p> <p>Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the <i>California Electrical Code</i>.</p> <p>4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".</p>				<p>4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Section 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as an EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details.</p> <p>4.106.4.2.1 Reserved.</p> <p>4.106.4.2.2 Multifamily dwellings, hotels and motels</p> <ol style="list-style-type: none"> EV ready parking spaces with receptacles. <ol style="list-style-type: none"> Hotels and motels. Forty (40) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. Multifamily parking facilities. Forty (40) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. EV charging receptacles required by this section shall be located in at least one assigned parking space per dwelling unit where assigned parking is provided but need not exceed forty (40) percent of the total number of assigned parking spaces provided on the site. <p>Exception: Areas of parking facilities served by parking lifts, including but not limited to automated mechanical-access open parking garages as defined in the <i>California Building Code</i>; or parking facilities otherwise incapable of supporting electric vehicle charging.</p> Receptacle power source. EV charging receptacles in multifamily parking facilities shall be provided with a dedicated branch circuit connected to the dwelling unit's electrical panel, unless determined as infeasible by the project builder or designer and subject to concurrence of the local enforcing agency. <p>Exception: Areas of parking facilities served by parking lifts, including but not limited to automated mechanical-access open parking garages as defined in the <i>California Building Code</i>; or parking facilities otherwise incapable of supporting electric vehicle charging.</p> Receptacle configurations. 208/240V EV charging receptacles shall comply with one of the following configurations: <ol style="list-style-type: none"> For 20-ampere receptacles, NEMA 6-20R For 30-ampere receptacles, NEMA 14-30R For 50-ampere receptacles, NEMA 14-50R EV ready parking spaces with EV chargers. <ol style="list-style-type: none"> Hotels and motels. Ten (10) percent of the total number of parking spaces shall be equipped with Level 2 EV chargers. At least fifty (50) percent of the required EV chargers shall be equipped with J1772 connectors. Multifamily parking facilities. Ten (10) percent of the total number of parking spaces shall be equipped with Level 2 EV chargers. At least fifty (50) percent of the required EV chargers shall be equipped with J1772 connectors. Where common use parking or unassigned parking is provided, EV chargers shall be located in common use or unassigned parking areas and shall be available for use by all residents or guests. <p>Where low power Level 2 EV charging receptacles or Level 2 EV chargers are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EV chargers shall have a capacity of not less than 30 amperes.</p> <p>4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Electric vehicle charging stations required by Section 4.106.4.2.2, Item 2, with EV chargers installed shall comply with Section 4.106.4.2.2.1.1.</p> <p>Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See <i>California Building Code</i>, Chapter 11B, for applicable requirements.</p> <p>4.106.4.2.2.1.1 Electric vehicle charging stations (EVCS) spaces with EV chargers installed; dimensions and location. EVCS spaces shall be designed to comply with the following:</p> <ol style="list-style-type: none"> The minimum length of each EVCS space shall be 16 feet (5486 mm). The minimum width of each EVCS space shall be 9 feet (2743 mm). One in every 25 EVCS spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EVCS space is 12 feet (3658 mm). Surface slope for this EVCS space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction. These EVCS spaces shall also comply with at least one of the following: <ol style="list-style-type: none"> The EVCS space shall be located adjacent to an accessible parking space meeting the requirements of the <i>California Building Code</i>, Chapter 11A, to allow use of the EV charger from the accessible parking space. The EVCS space shall be located on an accessible route, as defined in the <i>California Building Code</i>, Chapter 2, to the building. <p>Exception: Electric vehicle charging stations designed and constructed in compliance with the <i>California Building Code</i>, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1.</p> <p>4.106.4.2.2.1.2 Accessible electric vehicle charging station spaces. In addition to the requirements in Section 4.106.4.2.2.1.1, all EV chargers, where installed, shall comply with the accessibility provisions for EV chargers in the <i>California Building Code</i>, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with <i>California Building Code</i>, Chapter 11A, Section 1109A.</p> <p>4.106.4.2.3 Reserved.</p> <p>4.106.4.2.4 Reserved.</p> <p>4.106.4.2.5 Electric vehicle ready space signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).</p> <p>4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multi-family buildings. Where new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or altered shall be EV capable spaces to support future Level 2 electric vehicle supply equipment. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE".</p> <p>Notes:</p> <ol style="list-style-type: none"> Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. 				<p>DIVISION 4.2 ENERGY EFFICIENCY</p> <p>4.201 GENERAL</p> <p>4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.</p> <p>DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION</p> <p>4.303 INDOOR WATER USE</p> <p>4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.1.4.</p> <p>Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.</p> <p>4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.</p> <p>Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.</p> <p>4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.</p> <p>4.303.1.3 Showerheads.</p> <p>4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 60 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.</p> <p>4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time.</p> <p>Note: A hand-held shower shall be considered a showerhead.</p> <p>4.303.1.4 Faucets.</p> <p>4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.</p> <p>4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.</p> <p>4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.</p> <p>4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.</p> <p>Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.</p> <p>4.303.1.4.5 Pre-rinse spray valves. When installed, shall meet the requirements in the <i>California Code of Regulations</i>, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (g)(7) and shall be equipped with an integral automatic shutoff.</p> <p>FOR REFERENCE ONLY: The following table and code section have been reprinted from the <i>California Code of Regulations</i>, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section 1605.3 (h)(4)(A).</p> <table border="1"> <thead> <tr> <th>PRODUCT CLASS [spray force in ounce force (ozf)]</th> <th>MAXIMUM FLOW RATE (gpm)</th> </tr> </thead> <tbody> <tr> <td>Product Class 1 (≤ 5.0 ozf)</td> <td>1.00</td> </tr> <tr> <td>Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)</td> <td>1.20</td> </tr> <tr> <td>Product Class 3 (> 8.0 ozf)</td> <td>1.28</td> </tr> </tbody> </table> <p>Title 20 Section 1605.3 (h)(4)(A). Commercial pre-rinse spray valves manufactured on or after January 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)]</p> <p>4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings. Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the <i>California Plumbing Code</i>.</p> <p>4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the <i>California Plumbing Code</i>, and shall meet the applicable standards referenced in Table 1701.1 of the <i>California Plumbing Code</i>.</p> <p>NOTE: THIS TABLE COMPLETES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.</p> <table border="1"> <thead> <tr> <th>FIXTURE TYPE</th> <th>FLOW RATE</th> </tr> </thead> <tbody> <tr> <td>SHOWER HEADS (RESIDENTIAL)</td> <td>1.8 GPM @ 80 PSI</td> </tr> <tr> <td>LAVATORY FAUCETS (RESIDENTIAL)</td> <td>MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI</td> </tr> <tr> <td>LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS</td> <td>0.5 GPM @ 60 PSI</td> </tr> <tr> <td>KITCHEN FAUCETS</td> <td>1.8 GPM @ 60 PSI</td> </tr> <tr> <td>METERING FAUCETS</td> <td>0.2 GAL/CYCLE</td> </tr> <tr> <td>WATER CLOSET</td> <td>1.28 GAL/FLUSH</td> </tr> <tr> <td>URINALS</td> <td>0.125 GAL/FLUSH</td> </tr> </tbody> </table>	PRODUCT CLASS [spray force in ounce force (ozf)]	MAXIMUM FLOW RATE (gpm)	Product Class 1 (≤ 5.0 ozf)	1.00	Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)	1.20	Product Class 3 (> 8.0 ozf)	1.28	FIXTURE TYPE	FLOW RATE	SHOWER HEADS (RESIDENTIAL)	1.8 GPM @ 80 PSI	LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI	LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI	KITCHEN FAUCETS	1.8 GPM @ 60 PSI	METERING FAUCETS	0.2 GAL/CYCLE	WATER CLOSET	1.28 GAL/FLUSH	URINALS	0.125 GAL/FLUSH				<p>4.304 OUTDOOR WATER USE</p> <p>4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MVELO), whichever is more stringent.</p> <p>NOTES:</p> <ol style="list-style-type: none"> The Model Water Efficient Landscape Ordinance (MVELO) is located in the <i>California Code Regulations</i>, Title 23, Chapter 2.7, Division 2. MVELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov <p>DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY</p> <p>4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE</p> <p>4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.</p> <p>4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING</p> <p>4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.</p> <p>Exceptions:</p> <ol style="list-style-type: none"> Excavated soil and land-clearing debris. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. <p>4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.</p> <ol style="list-style-type: none"> Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream). Identify diversion facilities where the construction and demolition waste material collected will be taken. Identify construction methods employed to reduce the amount of construction and demolition waste generated. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both. <p>4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.</p> <p>Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.</p> <p>4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.0 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.</p> <p>4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.</p> <p>4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5, Section 4.408.3 or Section 4.408.4.</p> <p>Notes:</p> <ol style="list-style-type: none"> Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle). <p>4.410 BUILDING MAINTENANCE AND OPERATION</p> <p>4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:</p> <ol style="list-style-type: none"> Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure. Operation and maintenance instructions for the following: <ol style="list-style-type: none"> Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment. Roof and yard drainage, including gutters and downspouts. Space conditioning systems, including condensers and air filters. Landscape irrigation systems. Water reuse systems. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations. Public transportation and/or carpool options available in the area. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. Information about water-conserving landscape and irrigation design and controllers which conserve water. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc. Information about state solar energy and incentive programs available. A copy of all special inspections verifications required by the enforcing agency or this code. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures. Information and/or drawings identifying the location of grab bar reinforcements. <p>4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.</p> <p>Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.</p> <p>DIVISION 4.5 ENVIRONMENTAL QUALITY</p> <p>SECTION 4.501 GENERAL</p> <p>4.501.1 Scope The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.</p> <p>SECTION 4.502 DEFINITIONS</p> <p>5.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)</p> <p>AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.</p> <p>COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood joists or finger-jointed lumber, all as specified in California Code of Regulations (CCR), title 17, Section 91320.1.</p> <p>DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.</p>
PRODUCT CLASS [spray force in ounce force (ozf)]	MAXIMUM FLOW RATE (gpm)																																						
Product Class 1 (≤ 5.0 ozf)	1.00																																						
Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf)	1.20																																						
Product Class 3 (> 8.0 ozf)	1.28																																						
FIXTURE TYPE	FLOW RATE																																						
SHOWER HEADS (RESIDENTIAL)	1.8 GPM @ 80 PSI																																						
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI																																						
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI																																						
KITCHEN FAUCETS	1.8 GPM @ 60 PSI																																						
METERING FAUCETS	0.2 GAL/CYCLE																																						
WATER CLOSET	1.28 GAL/FLUSH																																						
URINALS	0.125 GAL/FLUSH																																						

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

NOTE:
SURVEY INCLUDED FOR
INFORMATIONAL PURPOSES ONLY.



189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062



ISSUES/ REVISIONS

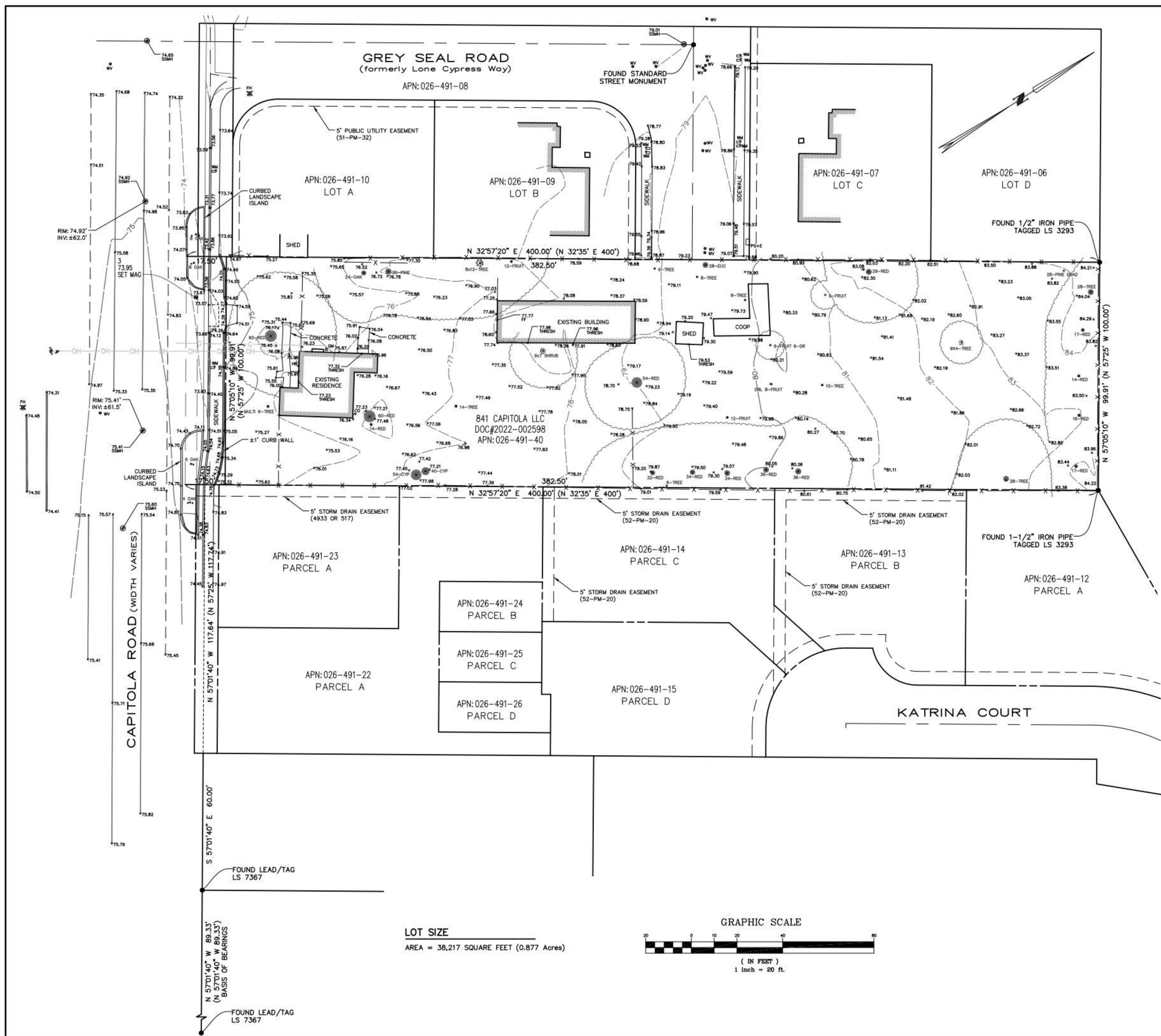
Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number	026-491-40
Project number	21110
Print Date	05.23.25
Drawn by	ALS
Checked by	EB
Scale	AS INDICATED

All drawings and written material appearing herein constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.

LAND SURVEY

LS.1



BASIS OF BEARINGS
BEARINGS FOR THIS SURVEY ARE BASED ON THE SOUTHWESTERN BOUNDARY OF LOT 1 AS SHOWN ON THAT MAP FILED IN VOLUME 58 OF PARCEL MAPS AT PAGE 19, SANTA CRUZ COUNTY RECORDS AND WAS ESTABLISHED BETWEEN FOUND LEAD PLUG AND TAGS LS7367 AS SHOWN HEREON
NORTH 57°01'40" WEST

BASIS OF ELEVATIONS
ELEVATIONS FOR THIS SURVEY ARE SHOWN IN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND WERE ESTABLISHED BY A REALTIME KINEMATIC (RTK) GPS TIE TO COUNTY BENCHMARK #11. THE SITE BENCHMARK IS CONTROL POINT #3 (SET MAG).
ELEVATION #3 = 73.95' (NAVD88)

TREE NOTE
TREE DIAMETERS ARE MEASURED AT APPROXIMATELY CHEST HEIGHT. USE CAUTION WHEN DESIGNING CLOSELY TO TREE TRUNKS BY TAKING INTO CONSIDERATION THE POSSIBLE "SPREAD" OR "LEAN" OF TREES.

UTILITY NOTE
UTILITY LOCATIONS ARE APPROXIMATE. UTILITIES SHOWN ON THIS MAP WERE DETERMINED FROM SURFACE EVIDENCE OF UNDERGROUND LOCATIONS, DURING A SURVEY BY ALPHA LAND SURVEYS IN APRIL 2022.

LEGEND

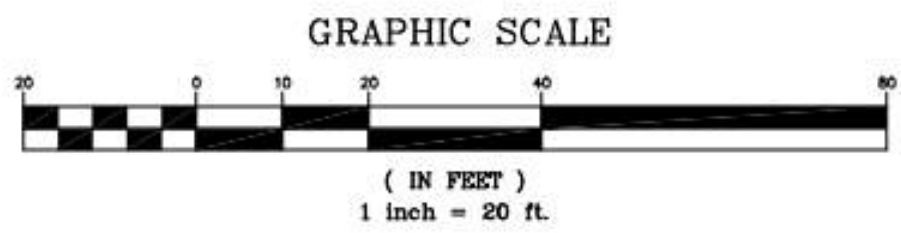
- PROPERTY LINE
- - - EASEMENT LINE
- - - CONTOUR INTERVAL, MAJOR
- - - CONTOUR INTERVAL, MINOR
- - - DRIP LINE
- - - FENCE LINE
- - - OVERHEAD UTILITY LINE
- - - UNDERGROUND GAS LINE
- - - TIE LINE
- DISTANCE MEASURED
- (100)
- FOUND MONUMENT, AS NOTED
- SITE BENCHMARK
- TREE, AS NOTED
- SPOT ELEVATION

CONTOUR INTERVAL = 1 FOOT
DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF

ABBREVIATIONS

APN	ASSESSORS PARCEL NUMBER
CO	CLEANOUT
CYP	CYPRESS
DBL	DOUBLE
DOC	DOCUMENT
EM	ELECTRIC METER
EUC	EUCALYPTUS
FF	FINISHED FLOOR
FH	FIRE HYDRANT
GM	GAS METER
HB	HOSE BIB
JP	UTILITY POLE
MH	MANHOLE
MULTI	MULTIPLE
PG+E	PACIFIC GAS AND ELECTRIC
RED	REDWOOD
SD	STORM DRAIN
SS	SANITARY SEWER
THRESH	THRESHOLD
WM	WATER METER
WV	WATER VALVE

LOT SIZE
AREA = 38,217 SQUARE FEET (0.877 Acres)



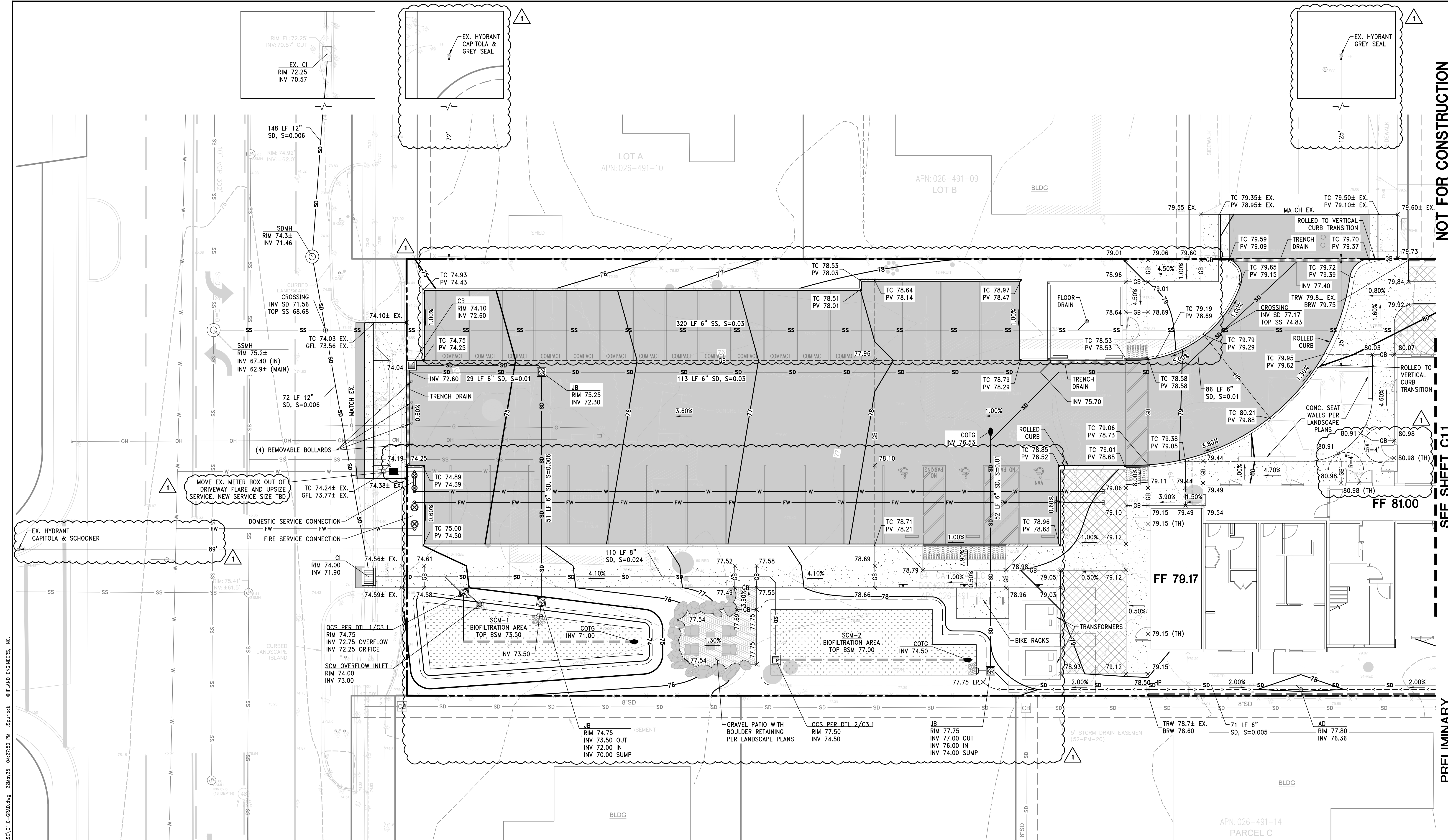
Signature

SANTA CRUZ COUNTY APN: 026-491-40

ALPHA LAND SURVEYS, INC.

4444 SCOTT'S VALLEY DR. #7 SCOTT'S VALLEY, CA 95066 (831) 438-4453	P.O. BOX 1146 MORGAN HILL, CA 95038 (831) 438-4453	TOPOGRAPHIC MAP AND BOUNDARY SURVEY 841 CAPITOLA ROAD COUNTY OF SANTA CRUZ	SHEET 1 OF ONE
--	--	---	----------------------

1" = 20' DATE: 6/29/2023 JOB#: 2022-053

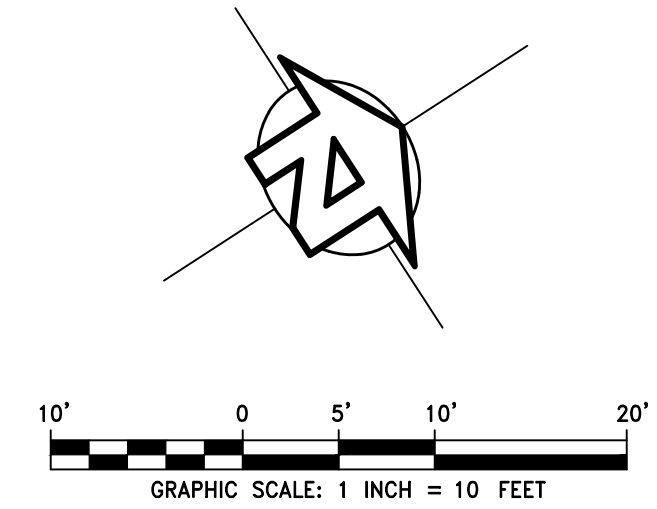


ESTIMATED EARTHWORK QUANTITIES	
1,700±	CUBIC YARDS CUT
200±	CUBIC YARDS FILL
1,500±	CUBIC YARDS EXPORT

NOTES:
 1. ESTIMATE DOES NOT INCLUDE BUILDING OR RETAINING WALL FOUNDATIONS, UTILITY TRENCH VOLUMES OR ANY OVEREXCAVATION, IF REQUIRED BY SITE CONDITIONS.
 2. ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% EXPANSION FACTOR ON ALL CUT MATERIAL.
 3. PRIOR TO COMMENCEMENT OF WORK CONTRACTOR SHALL CONFIRM THAT ESTIMATES ARE CORRECT.

LEGEND	
	ASPHALT PAVING
	CONCRETE SIDEWALK
	PERVIOUS PAVERS

- NOTES:**
- ALL COMPACTION AND GRADING SHALL BE PERFORMED UNDER THE STRICT SUPERVISION OF THE GEOTECHNICAL ENGINEER.
 - CONTRACTOR TO VERIFY WITH THE GEOTECHNICAL REPORT AND ANY SUBSEQUENT ADDENDUM LETTERS FOR FINAL THICKNESS AND COMPACTION OF THE BUILDING PAD PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO VERIFY THE STRUCTURAL SECTION FOR SLAB ON GRADE FLOORS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION.
 - ALL TREES WITHIN THE PROJECT BOUNDARY TO BE REMOVED AS SHOWN ON ARCHITECTURAL PLANS.
 - PRIVATE SANITARY SEWER COLLECTOR AND LATERALS SHALL BE PRIVATELY MAINTAINED.



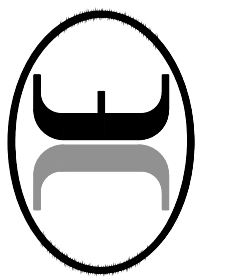
NOT FOR CONSTRUCTION

SEE SHEET C1.1

PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN (S)

841 CAPITOLA ROAD

IFLAND ENGINEERS
 CIVIL ENGINEERING • LAND PLANNING • STRUCTURAL DESIGN
 1609 SEABRIGHT AVE. SUITE A2
 SANTA CRUZ, CA 95062
 TEL: (831) 426-5333
 www.iflandengineers.com



841 CAPITOLA ROAD, SANTA CRUZ, CALIFORNIA

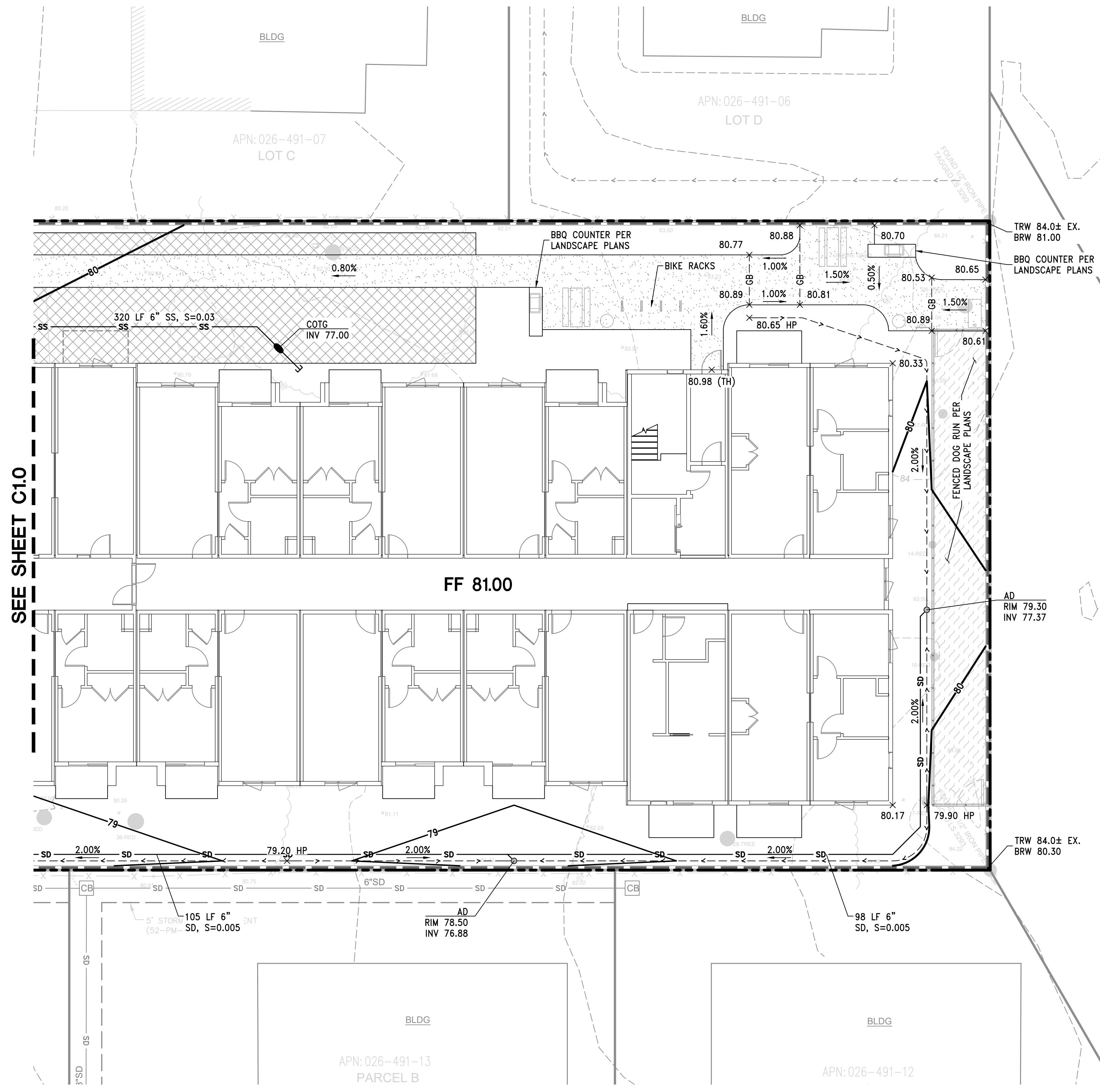
APN 026-491-40	DESIGN DEVELOPMENT	DRAWN STAFF
DATE 09/30/2024	DESIGN STAFF	STAFF
SHEET		C1.0
JOB NO. 22001.02		

DATE	REVISION
05/05/25	STAFF PLAN REV-03
03/17/25	STAFF PLAN REV-02B
07/30/24	STAFF DISCRETIONARY PLANNING APP
09/30/24	STAFF DISCRETIONARY PLANNING APP
07/18/24	STAFF DISCRETIONARY PLANNING APP

I:\PROJECTS\2024\22001.02_WORK\DWG\C1.0-GRAD.dwg 22May25 04:27:50 PM JSpurnock © IFLAND ENGINEERS, INC.



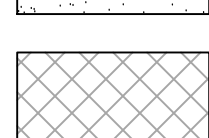
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF IFLAND ENGINEERS, INC. AND MAY NOT BE REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT OF IFLAND ENGINEERS, INC.

I:\PROJECTS\22001.02_WORK\DWG\1 - DD PHASE\C1.1-GRAD.dwg 22May25 04:28:07 PM JSpurlock © IFLAND ENGINEERS, INC.



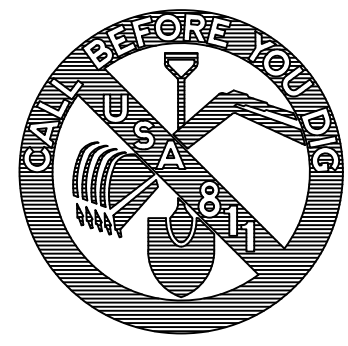
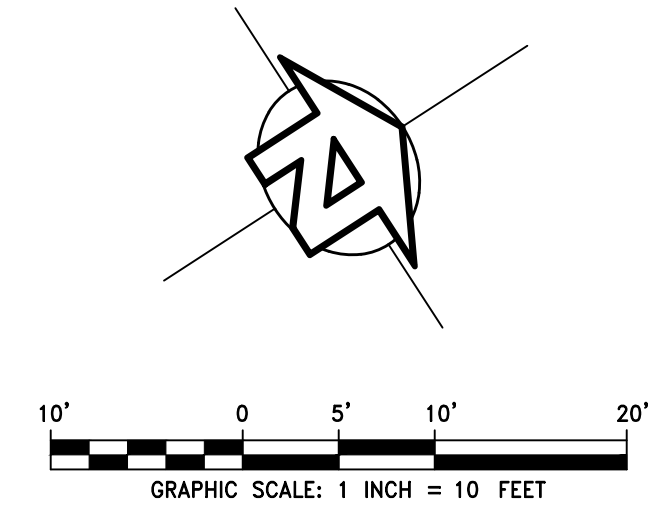
SEE SHEET C1.0

LEGEND

-  ASPHALT PAVING
-  CONCRETE SIDEWALK
-  PERVIOUS PAVERS

NOTES:

1. SEE NOTES ON SHEET C1.0.



PRELIMINARY

GRADING, DRAINAGE, & UTILITY PLAN (IN)

841 CAPITOLA ROAD

841 CAPITOLA ROAD, SANTA CRUZ, CALIFORNIA

NOT FOR CONSTRUCTION

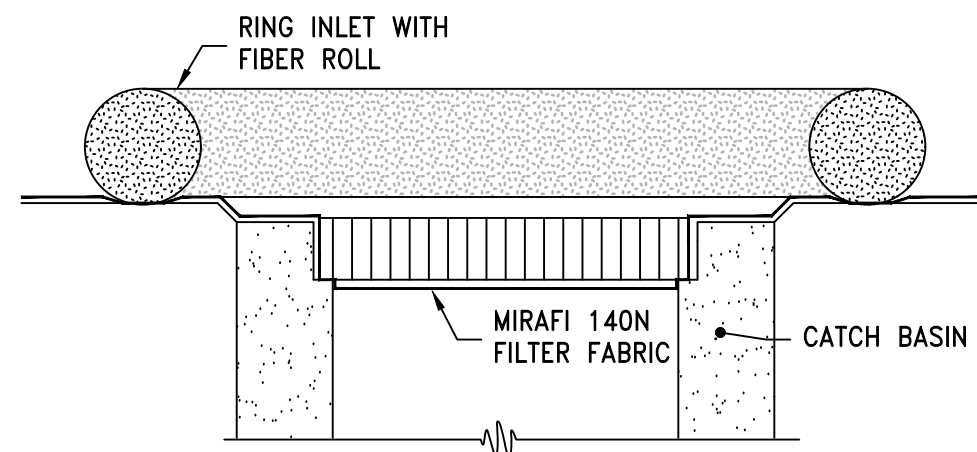
APN 026-491-40	DESIGN DEVELOPMENT	DRAWN STAFF
DATE 09/30/2024	DESIGN STAFF	STAFF
SHEET		C1.1
JOB NO. 22001.02		

IFLAND ENGINEERS
 CIVIL ENGINEERING • LAND PLANNING • STRUCTURAL DESIGN

1509 SEABRIGHT AVE. SUITE A2
 SANTA CRUZ, CA 95062
 TEL 831 426-5333
 www.iflandengineers.com

REV	DATE	REVISION
05/05/25		
05/17/25		
07/30/25		
09/30/24		
07/18/24		

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF IFLAND ENGINEERS, INC. AND MAY NOT BE REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT OF IFLAND ENGINEERS, INC.

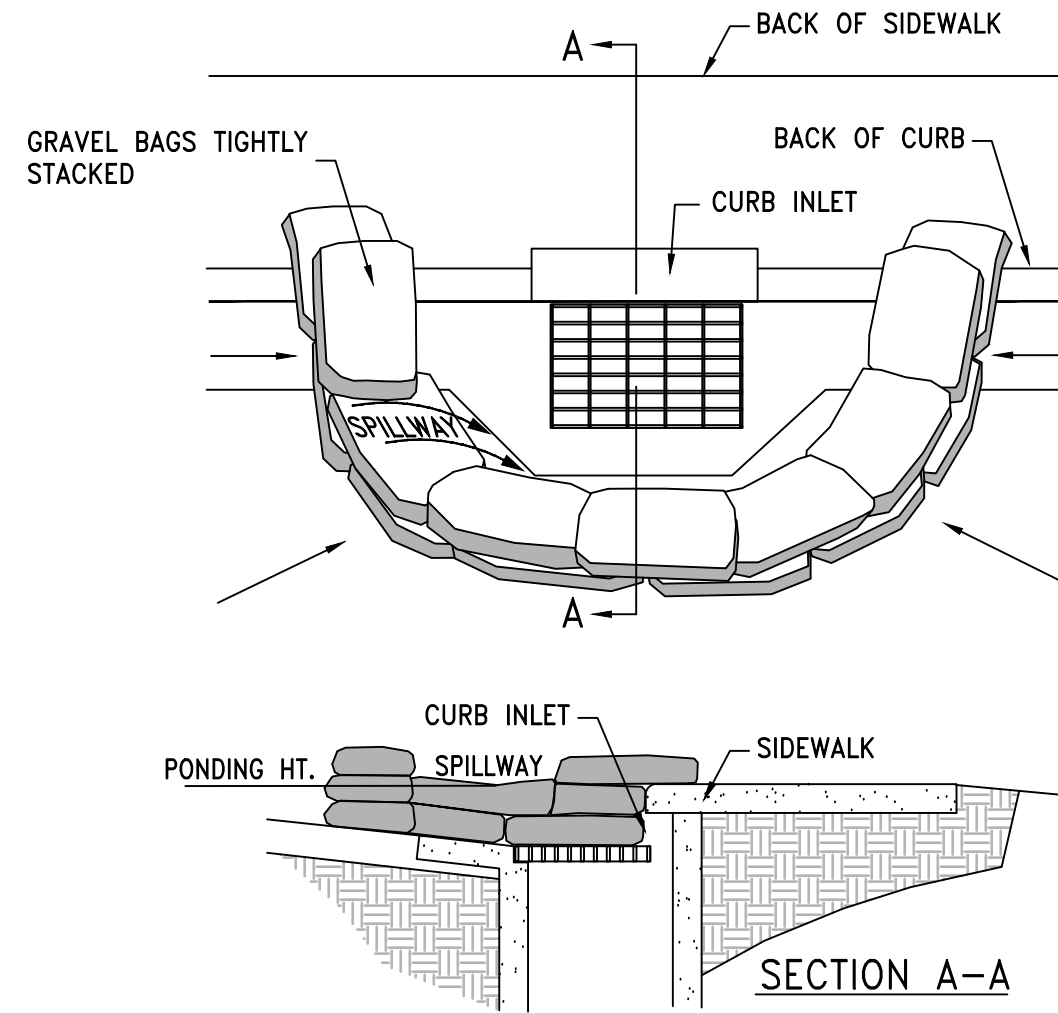


INSPECTION AND MAINTENANCE:

1. FILTER FABRIC BARRIERS SHALL BE INSPECTED WEEKLY AFTER EACH SIGNIFICANT STORM - 1 INCH RAINFALL (25.4 MM) IN 24 HOUR PERIOD. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
2. SEDIMENT SHOULD BE REMOVED WHEN IT REACHES 3" MAXIMUM HEIGHT. AT THAT TIME INSPECT THE FILTER MATERIAL FOR TEARS AND CLEAN OR REPLACE AS REQUIRED.
3. THE REMOVED SEDIMENT SHALL BE DISTRIBUTED EVENLY ACROSS AREAS ON-SITE, CONFORM WITH THE EXISTING GRADE AND BE REVEGETATED OR OTHERWISE STABILIZED PER EROSION CONTROL NOTES.

CATCH BASIN PROTECTION
NTS

2



CONSTRUCTION SPECIFICATIONS:

1. PLACE THE BARRIERS ON GENTLY SLOPING STREETS WHERE WATER CAN POND.
2. THE BARRIERS MUST ALLOW FOR OVERFLOW FROM A SEVERE STORM EVENT. SLOPE RUNOFF SHALL BE ALLOWED TO FLOW OVER BLOCKS AND GRAVEL AND NOT BE BYPASSED OVER THE CURB. A SPILLWAY SHALL BE CONSTRUCTED WITH THE SANDBAG STRUCTURES TO ALLOW OVERFLOW.
3. THE SANDBAG SHOULD BE OF WOVEN-TYPE GEOTEXTILE FABRIC.
4. THE SANDBAGS SHALL BE FILLED WITH 3/4 INCH (19 MM) DRAIN ROCK OR 1/4 INCH (6 MM) PEA GRAVEL.
5. THE SANDBAGS SHALL BE PLACED IN A CURVED ROW FROM THE TOP OF CURB AT LEAST 3 FEET (0.9 M) INTO THE STREET. THE ROW SHOULD BE CURVED AT THE ENDS, POINTING UPHILL.
6. SEVERAL LAYERS OF BAGS SHOULD BE OVERLAPPED AND PACKED TIGHTLY.
7. LEAVE A ONE-SANDBAG GAP IN THE TOP ROW TO ACT AS A SPILLWAY.

FOR BLOCK AND GRAVEL TYPE BARRIERS:

8. PLACE TWO CONCRETE BLOCKS ON THEIR SIDES PERPENDICULAR TO THE CURB AT EITHER END OF THE INLET OPENING. THESE WILL SERVE AS SPACER BLOCKS.
9. PLACE CONCRETE BLOCKS ON THEIR SIDES ACROSS THE FRONT OF THE INLET AND ABUTTING THE SPACER BLOCKS. THE OPENINGS IN THE BLOCKS SHOULD FACE OUTWARD, NOT UPWARD.
10. CUT A 2 BY 4 INCH (51 BY 102 MM) STUD THE LENGTH OF THE CURB INLET PLUS THE WIDTH OF THE TWO SPACER BLOCKS. PLACE THE STUD THROUGH THE OUTER HOLE OF EACH SPACER BLOCK TO HELP KEEP THE FRONT BLOCKS IN PLACE.
11. PLACE WIRE MESH OVER THE OUTSIDE VERTICAL FACE (OPEN ENDS) OF THE CONCRETE BLOCKS TO PREVENT STONE FROM BEING WASHED THROUGH THE BLOCKS.
12. USE CHICKEN WIRE, HARDWARE CLOTH WITH 1/2 INCH (13 MM) OPENINGS, OR FILTER FABRIC. REFER TO APPENDIX - GEOTEXTILES/GEOSYNTHETICS.
13. PLACE 3/4 - 1 1/2 INCH (19-34 MM) GRAVEL AGAINST THE WIRE TO THE TOP OF THE BARRIER.

INSPECTION AND MAINTENANCE:

14. INSPECT AND CLEAN BARRIER DURING AND AFTER EACH SIGNIFICANT STORM AND REMOVE SEDIMENT FROM BEHIND SANDBAG STRUCTURE AFTER EVERY STORM.
15. ANY SEDIMENT AND GRAVEL SHALL BE IMMEDIATELY REMOVED FROM THE TRAVELED WAY OF ROADS.
16. THE REMOVED SEDIMENT SHALL BE PLACED WHERE IT CANNOT ENTER A STORM DRAIN, STREAM, OR BE TRANSPORTED OFF SITE.
17. IF THE GRAVEL BECOMES CLOGGED WITH SEDIMENT, IT MUST BE CAREFULLY REMOVED FROM THE INLET AND EITHER CLEARED OR REPLACED.

CURB INLET PROTECTION
NTS

1

EROSION CONTROL NOTES

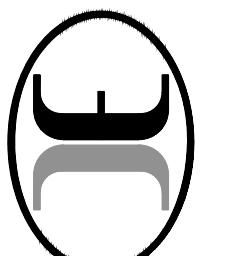
1. THE EROSION CONTROL PLANS IN THIS SET SHALL BE REVIEWED AND IMPLEMENTED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
2. NO LAND CLEARING, GRADING OR EXCAVATION SHALL BE DONE BETWEEN OCTOBER 1ST AND APRIL 30TH. ANY DEVIATION FROM THIS CONDITION REQUIRES REVIEW AND APPROVAL OF A SEPARATE WINTER EROSION CONTROL PLAN BY ENVIRONMENTAL PLANNING PRIOR TO BEGINNING CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
3. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM ANY ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED BY THE PLANNING DIRECTOR AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.
4. PRIOR TO ANY FORECAST RAIN AND ANYTIME BETWEEN OCTOBER 1ST AND APRIL 30TH, AT THE END OF EACH WORKDAY, AT THE END OF EACH WORKWEEK, THE DEVELOPER SHALL IMPLEMENT ALL TEMPORARY MEASURES NECESSARY TO PREVENT EROSION AND SILTATION, UNTIL THE PROJECT HAS BEEN FINALIZED. THESE MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, DIRECT SEEDING OF THE AFFECTED AREAS, STRAW MULCHING, AND/OR INSTALLATION OF STRAW BALES DAMS/SILT FENCES.
5. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO LEAVE THE SITE. USE OF SILT AND GREASE TRAPS, FILTER BERMS, OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE.
6. ALL AREAS ON- AND OFF-SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR SEEDING WITH ANNUAL WINTER BARLEY.
7. ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
8. ANY MATERIAL STOCKPILED, FOR LONGER THAN 14 DAYS, DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
9. UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED SOILS SHALL BE PERMANENTLY REVEGETATED PER LANDSCAPING PLAN. THE PROTECTION REQUIRED BY SECTION 16.19.140 SHALL BE INSTALLED PRIOR TO CALLING FOR FINAL APPROVAL OF THE PROJECT AND AT ALL TIMES BETWEEN OCTOBER 1ST AND APRIL 30TH. SUCH PROTECTION SHALL BE MAINTAINED FOR AT LEAST ONE WINTER UNTIL PERMANENT PROTECTION IS ESTABLISHED.
10. EXPOSED SOIL ON SLOPES GREATER THAN 20% SHALL BE SEED, COVERED WITH 2 INCHES OF STRAW, AND AN EROSION CONTROL BLANKET. THE EROSION CONTROL BLANKET SHALL BE STAKED IN PLACE.
11. IT IS THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES, NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
12. ALL SPILLS AND/OR LEAKS SHALL BE IMMEDIATELY CLEANED UP AND MITIGATED PER THE SPILL RESPONSE REQUIREMENTS SPECIFIED IN THE CONTRACTORS O&M STANDARDS.

SITE HOUSEKEEPING NOTES

- CONSTRUCTION MATERIALS**
- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
 - ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
 - EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
 - BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.
- WASTE MANAGEMENT**
- DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
 - SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
 - SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
 - COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
 - DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
 - STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
 - PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ONSITE AND SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY; AND CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.
- VEHICLE STORAGE AND MAINTENANCE**
- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK INTO THE GROUND, STORM DRAINS OR SURFACE WATERS.
 - ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
 - LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.
- LANDSCAPE MATERIALS**
- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED
 - CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
 - DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
 - APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURER RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
 - STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVER OR STORE SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

NOT FOR CONSTRUCTION

1608 SEABRIGHT AVE. SUITE A2
SANTA CRUZ, CA 95062
TEL: (858) 426-5838
www.iflandengineers.com

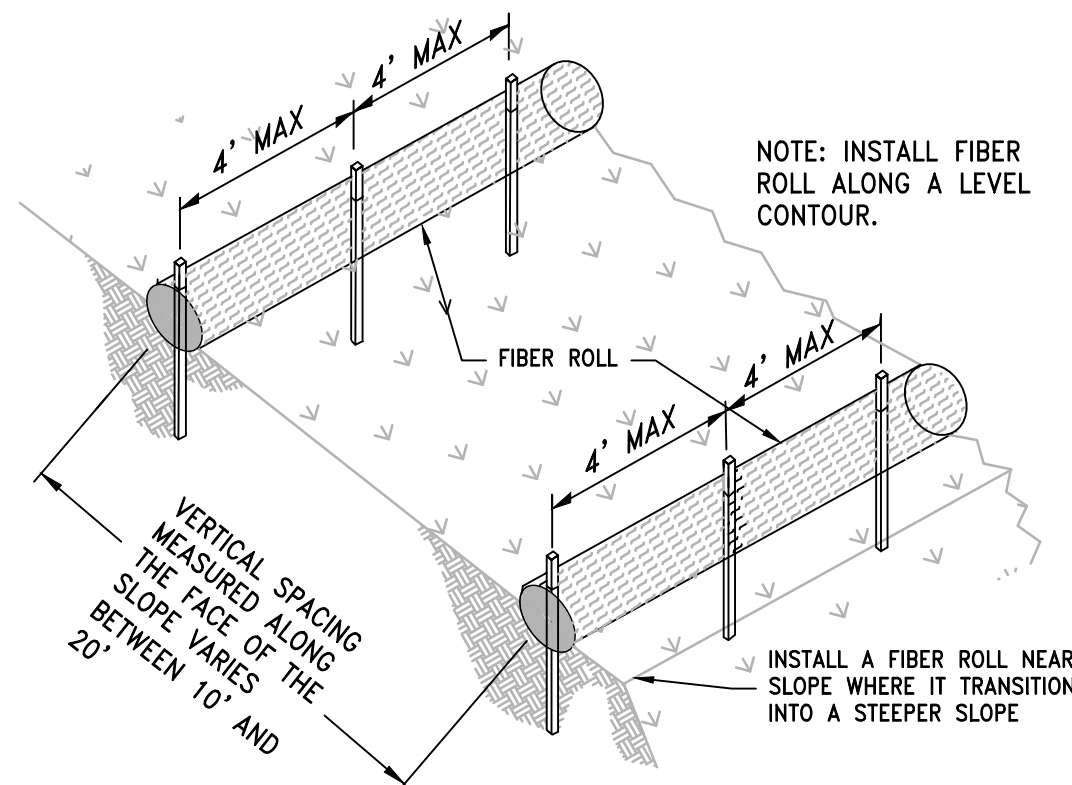


PRELIMINARY
EROSION CONTROL NOTES AND DETAILS
841 CAPITOLA ROAD
841 CAPITOLA ROAD, SANTA CRUZ, CALIFORNIA

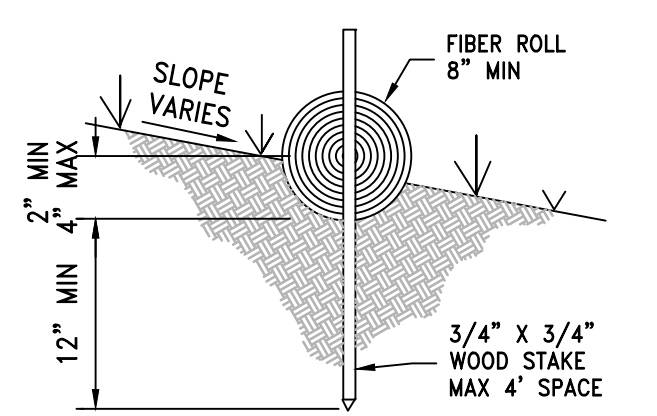
APN 026-491-40
DESIGN DEVELOPMENT
DATE 09/30/2024
DRAWN STAFF
DESIGN STAFF

SHEET
C2.0

JOB NO. 22001.02



TYPICAL INSTALLATION



ENTRENCHMENT DETAIL

CONSTRUCTION SPECIFICATIONS

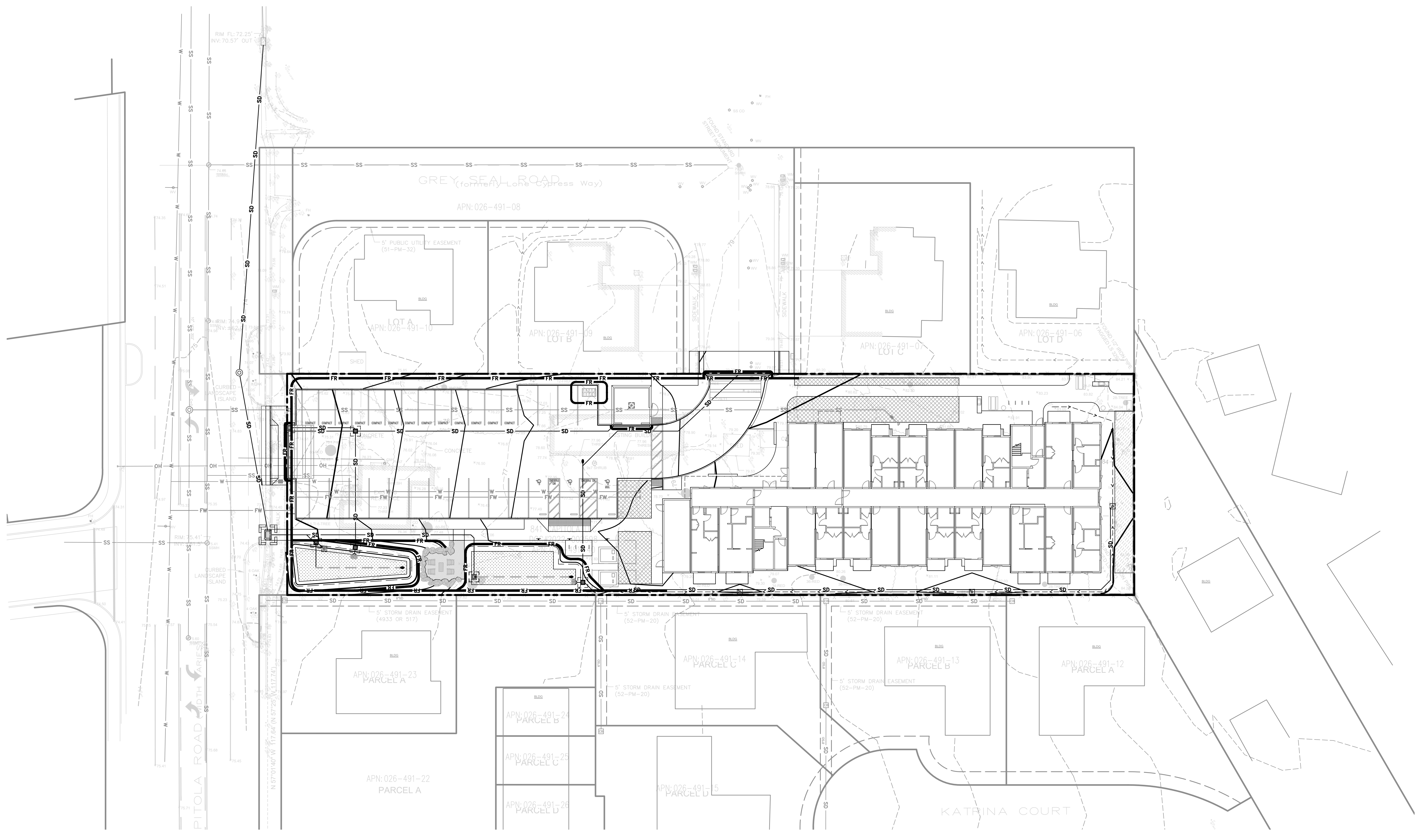
1. PREPARE SLOPE BEFORE THE FIBER ROLL PROCEDURE IS STARTED. SHALLOW GULLIES SHOULD BE SMOOTHED AS WORK PROGRESSES.
 2. DIG SMALL TRENCHES ACROSS SLOPE ON CONTOUR TO PLACE FIBER ROLLS IN. THE TRENCH SHOULD BE DEEP ENOUGH TO ACCOMMODATE HALF THE THICKNESS OF THE FIBER ROLL. WHEN THE SOIL IS LOOSE AND UNCOMPACTED, THE TRENCH SHOULD BE DEEP ENOUGH TO BURY THE FIBER ROLL 2/3 OF ITS THICKNESS BECAUSE THE GROUND WILL SETTLE. IT IS CRITICAL THAT FIBER ROLLS ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, PARALLEL TO THE SLOPE CONTOUR.
 3. START BUILDING TRENCHES AND INSTALL FIBER ROLLS FROM THE BOTTOM OF THE SLOPE AND WORK UP.
 4. CONSTRUCT TRENCHES AT CONTOUR INTERVALS OF THREE TO EIGHT FEET APART DEPENDING ON STEEPNESS OF SLOPE. THE STEEPER THE SLOPE, THE CLOSER TOGETHER THE TRENCHES.
 5. LAY THE FIBER ROLL ALONG THE TRENCHES FITTING IT SNUGLY AGAINST THE SOIL. MAKE SURE NO GAPS EXIST BETWEEN THE SOIL AND THE FIBER ROLL. USE A STRAIGHT BAR TO DRIVE HOLES THROUGH THE FIBER ROLL AND INTO THE SOIL FOR THE WOODEN STAKES.
 6. DRIVE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOIL. LEAVE ONLY ONE OR TWO INCHES OF STAKE EXPOSED ABOVE FIBER ROLL. IF USING WILLOW STAKES REFER TO USDA SOIL CONSERVATION SERVICE TECHNICAL GUIDE, BIOENGINEERING, FOR GUIDELINES FOR PREPARING LIVE WILLOW MATERIAL.
 7. INSTALL STAKES AT LEAST EVERY FOUR FEET APART THROUGH FIBER ROLL. ADDITIONAL STAKES MAY BE DRIVEN ON THE DOWNSLOPE SIDE OF THE TRENCHES ON HIGHLY ERODIBLE OR VERY STEEP SLOPES.
- INSTALLATION AND MAINTENANCE**
8. INSPECT THE FIBER ROLL AND THE SLOPES AFTER SIGNIFICANT STORMS. MAKE SURE THE FIBER ROLLS ARE IN CONTACT WITH THE SOIL.
 9. REPAIR ANY RILLS OR GULLIES PROMPTLY.
 10. RESEED OR REPLANT VEGETATION IF NECESSARY UNTIL THE SLOPE IS STABILIZED.

FIBER ROLLS
NTS

SLOPE INSTALLATION TABLE	
SLOPE	MAX FIBER ROLL SPACING (FT)
4:1 (OR FLATTER)	20
4:1 TO 2:1	15
GREATER THAN 2:1	10

3

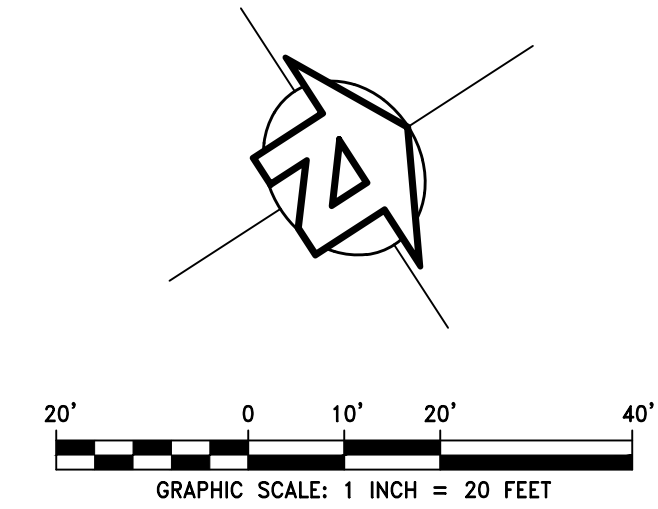
I:\PROJECTS\22001.02_WORKER\DWG\1 - DD PHASE\C2.1-EROS.dwg 22May25 04:28:32 PM JSpurlock © IFLAND ENGINEERS, INC.



ENVIRONMENTAL PLANNING	
COUNTY OF SANTA CRUZ STATE OF CALIFORNIA	
REVIEWED BY: _____	DATE _____
APPROVED BY: _____	DATE _____

NOTES:
1. SEE EROSION CONTROL NOTES AND DETAILS SHEET AS PART OF THIS PLAN SET.

LEGEND	
	FIBER ROLLS PER NOTE 1
	PORTABLE TOILET
	RUMBLE PAD CONSTRUCTION ENTRANCE
	CATCH BASIN PROTECTION PER NOTE 1
	CURB INLET PROTECTION PER NOTE 1



NOT FOR CONSTRUCTION

PRELIMINARY
EROSION CONTROL PLAN
841 CAPITOLA ROAD
841 CAPITOLA ROAD, SANTA CRUZ, CALIFORNIA

IFLAND ENGINEERS
CIVIL ENGINEERING • LAND PLANNING • STRUCTURAL DESIGN

1609 SEABRIGHT AVE. SUITE A2
SANTA CRUZ, CA 95062
TEL: (858) 426-5333
www.iflandengineers.com

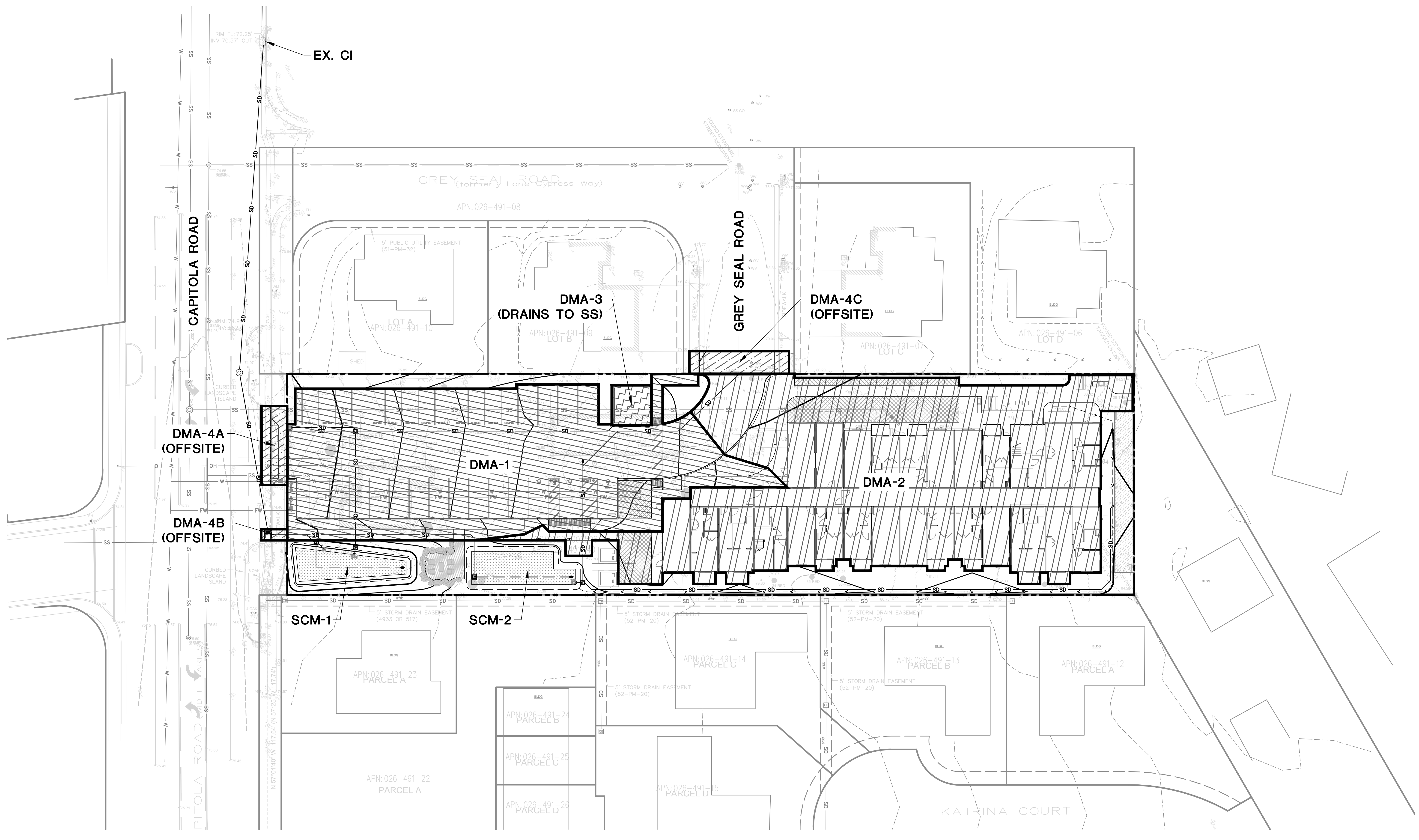
APN 026-491-40	DESIGN DEVELOPMENT	DRAWN STAFF
DATE	DESIGN STAFF	STAFF
09/30/2024		

SHEET	C2.1
JOB NO. 22001.02	

DATE	REVISION
05/05/25	STAFF A PLANING REV-03
05/17/25	STAFF PLANNING REV-02B
07/30/25	STAFF PLANNING SUBMITTAL 02
09/30/24	STAFF DISCRETIONARY PLANNING APP
09/30/24	STAFF DISCRETIONARY PLANNING APP
07/18/24	STAFF DISCRETIONARY PLANNING APP
07/18/24	STAFF DISCRETIONARY PLANNING APP

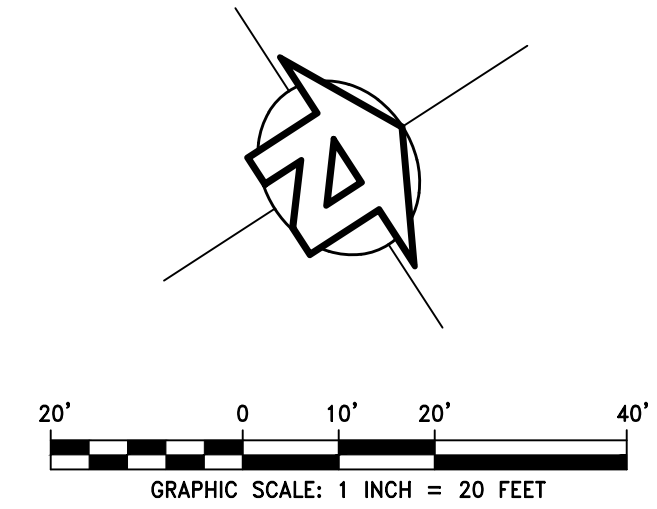
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF IFLAND ENGINEERS, INC. AND MAY NOT BE REPRODUCED OR MODIFIED WITHOUT THE WRITTEN CONSENT OF IFLAND ENGINEERS, INC.

I:\PROJECTS\22001.02_WORK\DWG\1 - DD PHASE\C3.0-SINCP.dwg 22May25 04:28:48 PM JSpurlock © IFLAND ENGINEERS, INC.



NOTES:

1. DMA-1 CONSISTS OF THE PARKING LOT AND OTHER ADJACENT IMPERVIOUS SURFACES. RUNOFF FROM DMA-1 IS CAPTURED AND CONVEYED TO SCM-1.
2. DMA-2 CONSISTS OF THE BUILDING AND OTHER ADJACENT IMPERVIOUS SURFACES. RUNOFF FROM DMA-2 IS CAPTURED AND CONVEYED TO SCM-2.
3. DMA-3 CONSISTS OF THE TRASH ENCLOSURE AREA, WHICH IS NOT PERMITTED TO DISCHARGE TO THE STORM DRAIN SYSTEM. RUNOFF FROM DMA-3 IS INSTEAD DISCHARGED TO THE SEWER IN CAPITOLA ROAD.
4. DMA-4A, -4B, & -4C CONSIST OF OFF-SITE IMPERVIOUS AREAS. RUNOFF FROM THESE AREAS IS OFFSET BY SCM-2 AS DESCRIBED BELOW.
5. SCM-1 IS A BIOFILTRATION AREA AT THE SOUTHEAST CORNER OF THE SITE. SCM-1 HAS BEEN SIZED TO DETAIN THE VOLUME OF RUNOFF PRODUCED BY THE 10-YEAR, 15 MINUTE STORM EVENT AT PRE-DEVELOPMENT RELEASE RATES. DUE TO THE SHALLOW EXISTING STORM DRAIN IN CAPITOLA ROAD, SCM-1 IS UNABLE TO DISCHARGE AT THE TOP OF THE GRAVEL LAYER. SEE SHEET C3.1 FOR A DETAIL SHOWING WHERE SCM-1 DISCHARGES AND HOW IT MEETS ALL OTHER DESIGN PARAMETERS REQUIRED BY THE COUNTY DESIGN CRITERIA.
6. SCM-2 IS A BIOFILTRATION AREA AT THE SOUTHEAST CORNER OF THE SITE. SCM-2 HAS BEEN SIZED TO DETAIN THE VOLUME OF RUNOFF PRODUCED BY THE 10-YEAR, 15-MINUTE STORM EVENT AT PRE-DEVELOPMENT RELEASE RATES. TO OFFSET UNCAPTURED OFFSITE IMPERVIOUS AREAS, THE RELEASE RATE FOR SCM-2 HAS BEEN REDUCED BY THE RATE OF RUNOFF PRODUCED BY DMA-4A, -4B, & -4C. SEE SHEET C3.1 FOR A DETAIL SHOWING HOW SCM-2 MEETS THE MINIMUM DESIGN PARAMETERS REQUIRED BY THE COUNTY DESIGN CRITERIA.



NOT FOR CONSTRUCTION

**PRELIMINARY
STORMWATER CONTROL PLAN
841 CAPITOLA ROAD**

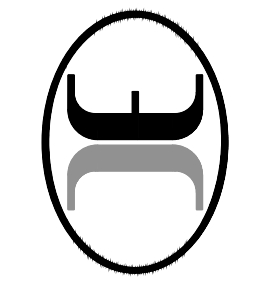
841 CAPITOLA ROAD, SANTA CRUZ, CALIFORNIA

APN 026-491-40	DESIGN DEVELOPMENT	DRAWN STAFF
DATE	DESIGN STAFF	STAFF
09/30/2024		

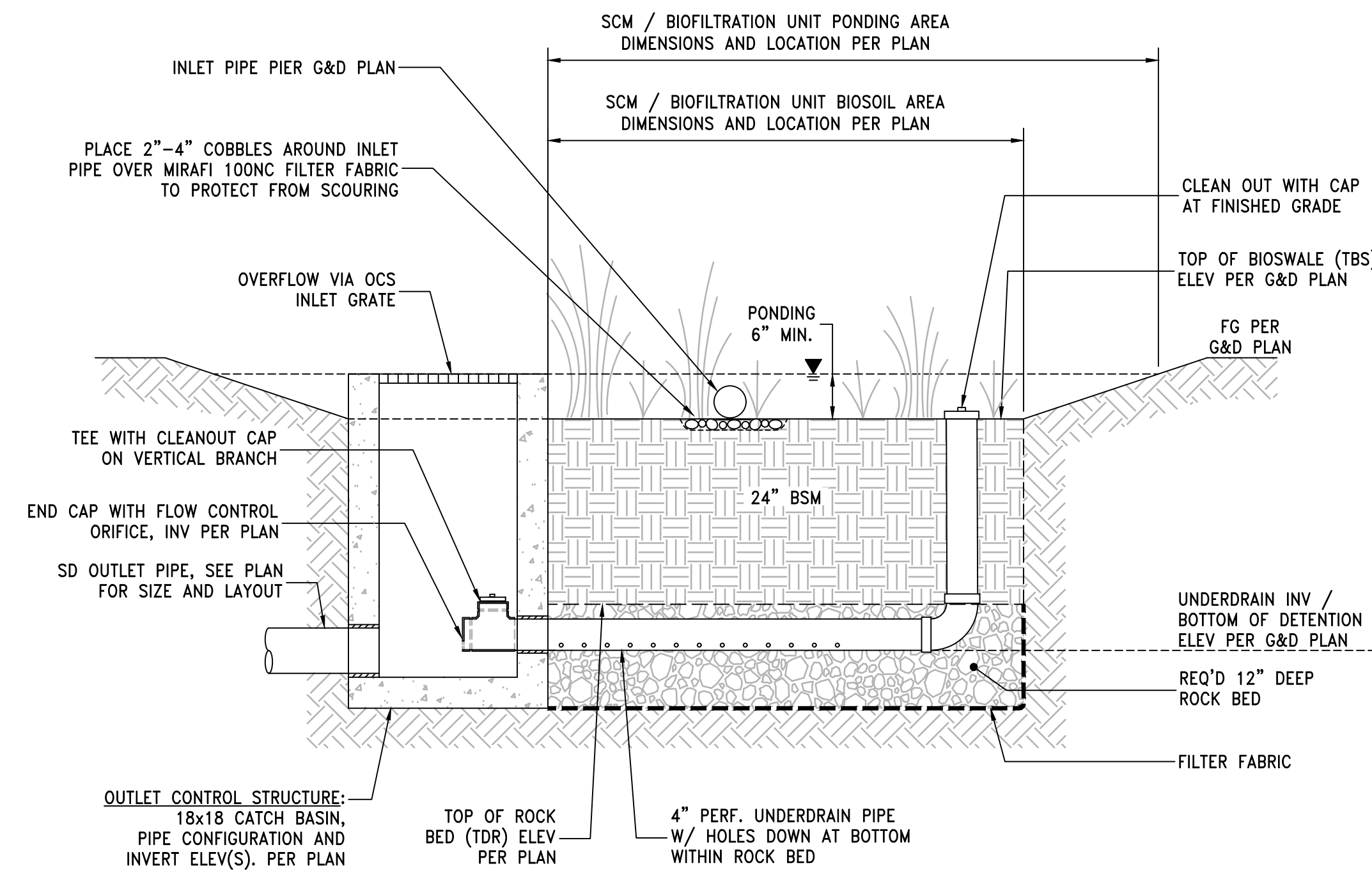
SHEET
C3.0

JOB NO. 22001.02

IFLAND ENGINEERS
CIVIL ENGINEERING • LAND PLANNING • STRUCTURAL DESIGN
1509 SEABRIGHT AVE. SUITE A2
SANTA CRUZ, CA 95062
TEL 831 426-5333
www.iflandengineers.com

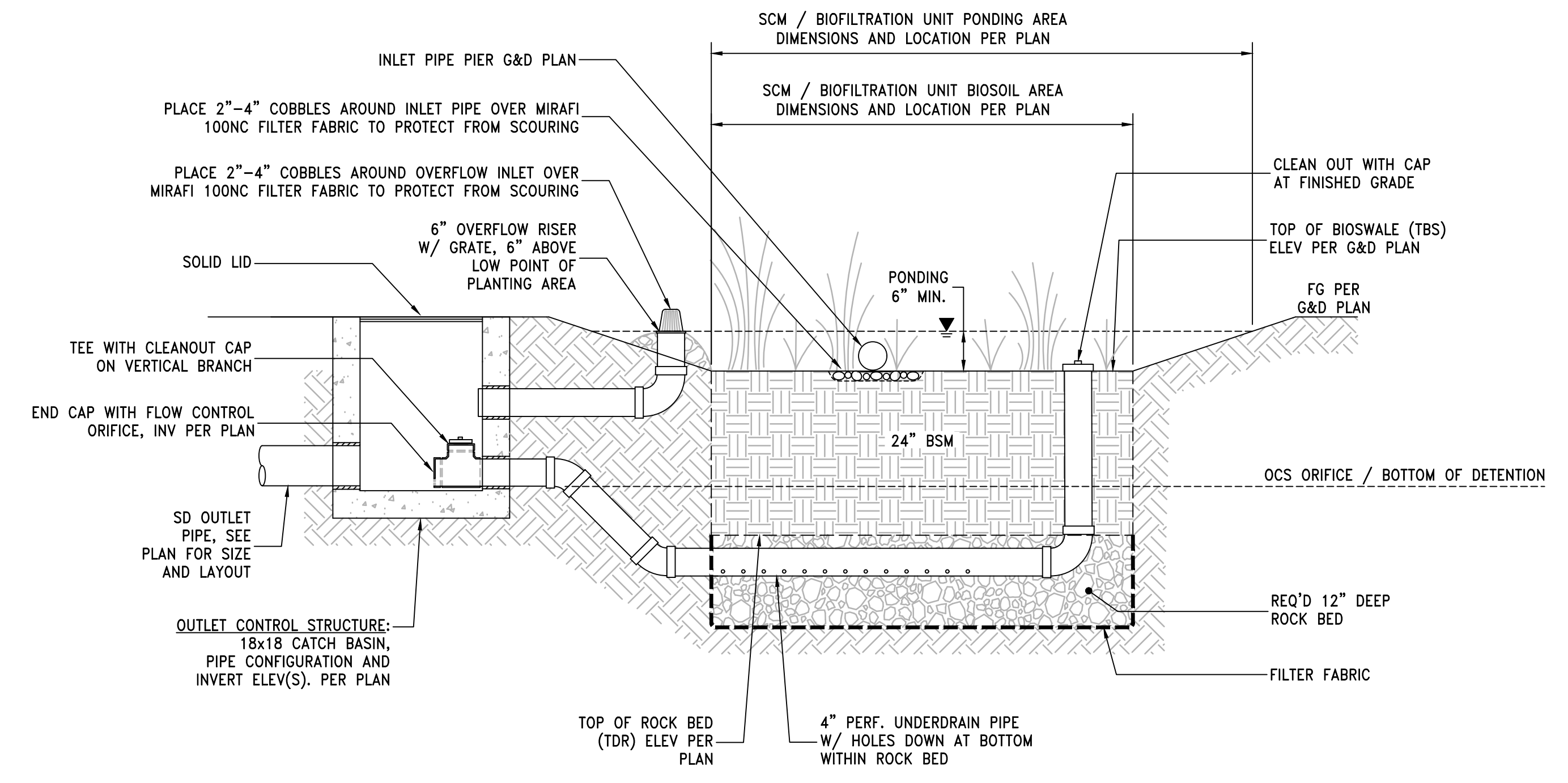


REV.	DATE	REVISION
05/05/25		
05/17/25		
07/30/25		
09/30/24		
07/18/24		



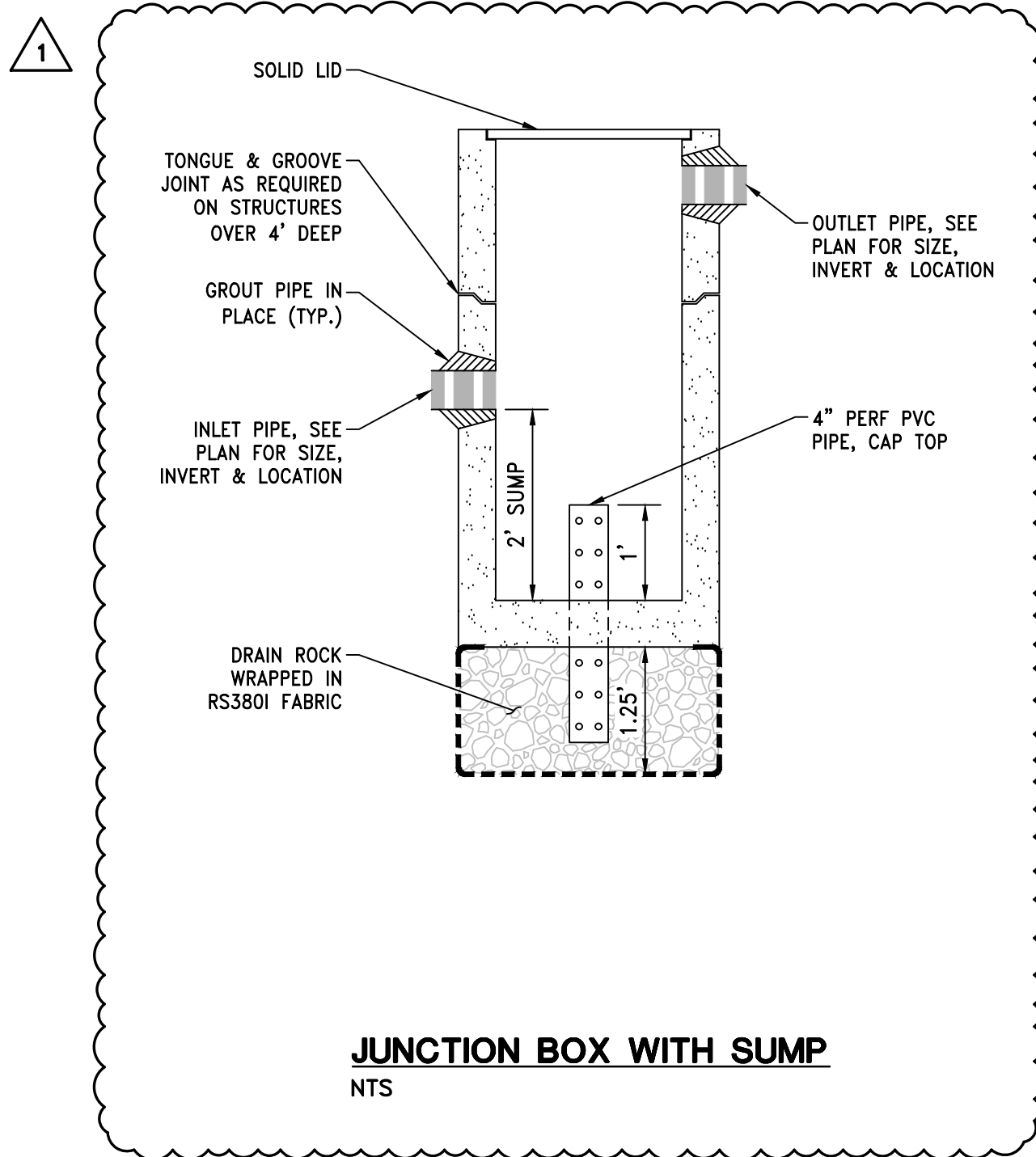
SCM2 - BIOFILTRATION UNIT - PART 2
NTS

2



SCM1 - BIOFILTRATION UNIT - PART 1
NTS

1



JUNCTION BOX WITH SUMP
NTS

4

- NOTES**
- IT IS INFEASIBLE TO PROVIDE RETENTION VOLUME THAT DRAINS WITHIN 48 HOURS. THESE SCMs HAVE BEEN DESIGNED TO PROVIDE DETENTION AND THE MINIMUM RETENTION VOLUME REQUIRED BY THE COUNTY DESIGN CRITERIA.
 - SURFACE OF THE PLANTING BED SHALL BE RELATIVELY LEVEL BUT MAY HAVE A SLIGHT SLOPE TO DISTRIBUTE WATER THROUGHOUT SURFACE AREA.
- UNDER DRAIN AND OVERFLOW**
- INSTALL FILTER FABRIC AT SCM ROCK BED EDGES AND BOTTOM IN CONTACT WITH NATIVE SOIL.
 - UNDER DRAIN SHALL CONSIST OF A MINIMUM 4" INCH DIAMETER PERFORATED PIPE WITH CLEANOUTS AND CONNECTION TO THE SCM'S OUTLET CONTROL STRUCTURE. PLACE UNDER DRAIN WITH PERFORATIONS FACING DOWNWARD. OUTLET CONTROL STRUCTURE'S FLOW CONTROL ORIFICE SIZE SHALL BE PROVIDED IN THE FINAL DRAINAGE REPORT.
 - THE UNDER DRAIN TRENCH SHALL INCLUDE A MINIMUM 12 INCH THICK LAYER OF PEA GRAVEL, ASTM #8 DRAIN ROCK. ACTUAL DEPTH OF ROCK BED SHALL BE AS INDICATED ON THE PLANS.
 - A CLEANOUT FOR THE UNDER DRAIN SHALL BE PROVIDED, CONSISTING OF A VERTICAL, RIGID, NON PERFORATED PVC PIPE, WITH A MINIMUM DIAMETER OF 4 INCHES AND A WATERTIGHT CAP FIT FLUSH WITH THE PLANTER BED SURFACE.
 - TO AVOID CLOGGING, FILTER FABRIC SHALL NOT BE USED IN OR AROUND THE UNDER DRAIN. IT MAY BE USED BETWEEN THE BIOTREATMENT SOIL MIX AND THE DRAIN ROCK.
- SOIL REQUIREMENTS**
- PLANTING SOILS SHALL MEET THE BIOTREATMENT SOIL MIX SPECIFICATIONS APPROPRIATE FOR THE JURISDICTION. A MINIMUM INFILTRATION RATE OF 5 IN/HR AND A MAXIMUM INFILTRATION RATE OF 10 IN/HR ARE REQUIRED.
- VEGETATION**
- PLANT SPECIES SELECTED SHALL BE SUITABLE FOR BIOTRETENTION AREA LOCATION, BIOTREATMENT SOILS AND OCCASIONAL INUNDATION.
 - VEGETATION SHOULD NOT BLOCK INFLOW, CREATE SAFETY ISSUES OR OBSTRUCT FACILITIES.
 - PLANTING SELECTIONS ARE SUBJECT TO THE LANDSCAPING REQUIREMENTS OF THE LOCAL JURISDICTION AND SHALL BE SELECTED BY A LICENSED LANDSCAPE ARCHITECT OR ARCHITECT.
- CONSTRUCTION REQUIREMENTS**
- BIOTRETENTION AREAS ARE NOT INTENDED TO WORK AS CONSTRUCTION PHASE BMP'S. PROTECT THE AREA FROM CONSTRUCTION SITE RUNOFF; DIVERT RUNOFF FROM UNSTABILIZED AREAS AWAY FROM COMPLETED BIOTRETENTION AREAS.
- MAINTENANCE**
- CONDUCT BIENNIAL EVALUATION OF THE HEALTH OF THE VEGETATION AND REMOVE AND REPLACE DEAD OR DYING PLANTS.
 - MAINTAIN VEGETATION AND THE IRRIGATION SYSTEM.
 - AVOID THE USE OF PESTICIDES AND QUICK RELEASE SYNTHETIC FERTILIZERS.
 - BEFORE THE WET SEASON BEGINS, VERIFY THAT THERE IS SUFFICIENT BIOTREATMENT SOIL MEDIA TO EFFECTIVELY FILTER STORMWATER. REMOVE ACCUMULATIONS OF SEDIMENT, LITTER AND DEBRIS AS NECESSARY.
 - PERIODICALLY CHECK DOWNSPOUTS, INLETS AND OVERFLOW PIPING. REMOVE DEBRIS AND REPAIR/REPLACE DAMAGED OR DISCONNECTED PIPES.

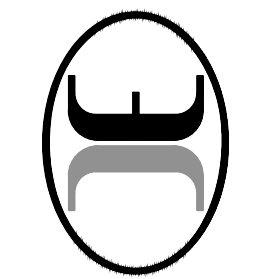
SCM - BIOFILTRATION UNIT - PART 3
NTS

3

NOT FOR CONSTRUCTION

1508 BEARBRIGHT AVE. SUITE A2
SANTA CRUZ, CA 95062
TEL: (831) 426-5333
www.iflandengineers.com

IFLAND ENGINEERS
CIVIL ENGINEERING • LAND PLANNING • STRUCTURAL DESIGN



PRELIMINARY
STORMWATER CONTROL DETAILS
841 CAPITOLA ROAD
841 CAPITOLA ROAD, SANTA CRUZ, CALIFORNIA

APN 026-491-40
DESIGN DEVELOPMENT
DRAWN: STAFF
DESIGN: STAFF
DATE: 09/30/2024

SHEET
C3.1

JOB NO. 22001.02

I:\PROJECTS\2024\22001.02_WORK\DWG\1 - DD PHASE\DD PHASE\C3.1-Detail.dwg 22May25 04:28:55 PM JSBartock © IFLAND ENGINEERS, INC.

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF IFLAND ENGINEERS, INC. AND MAY BE REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT OF IFLAND ENGINEERS, INC. ©



189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062



ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number 026-491-40
Project number 21110
Print Date 05.23.25
Drawn by LB/OH
Checked by EB
Scale As indicated

All drawings and written material appearing herein constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.

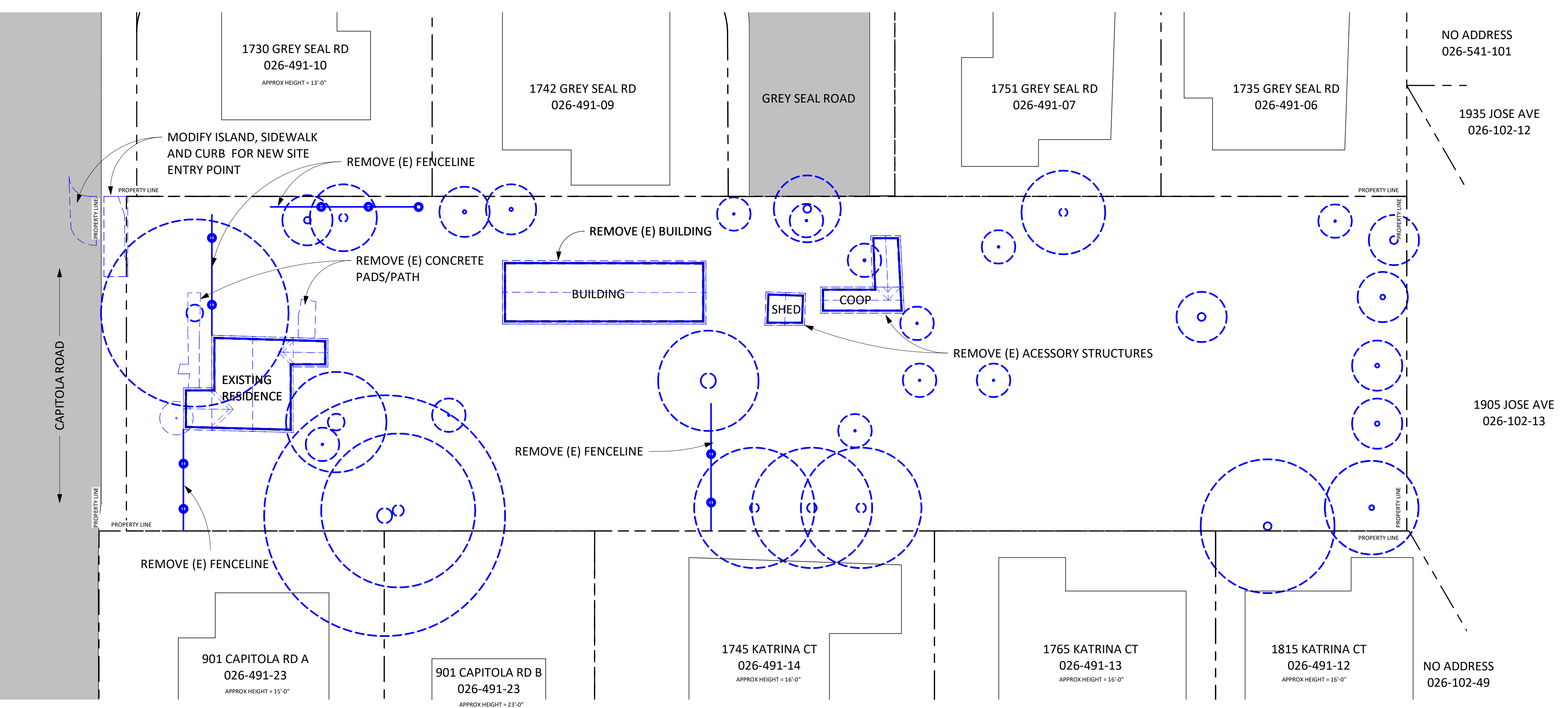
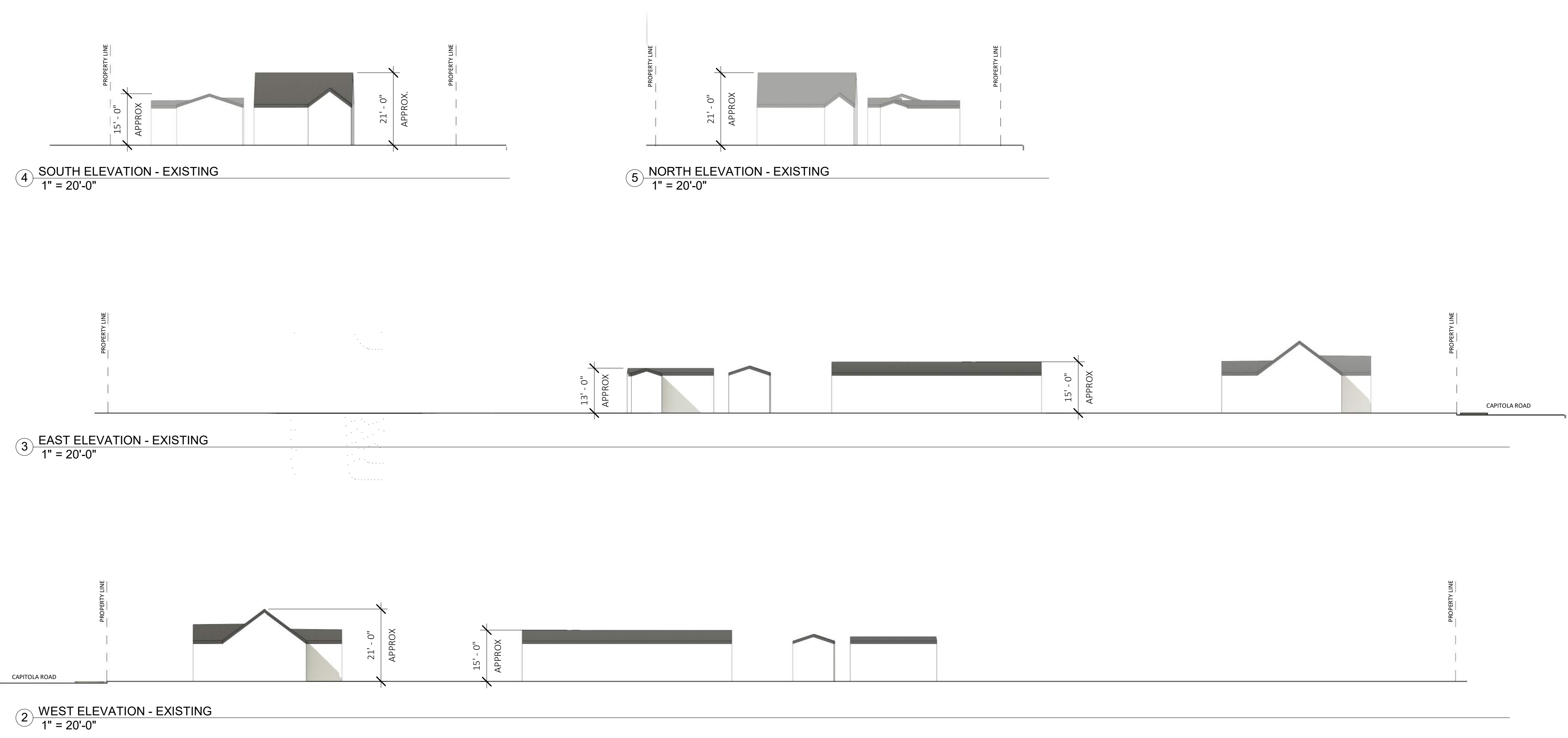
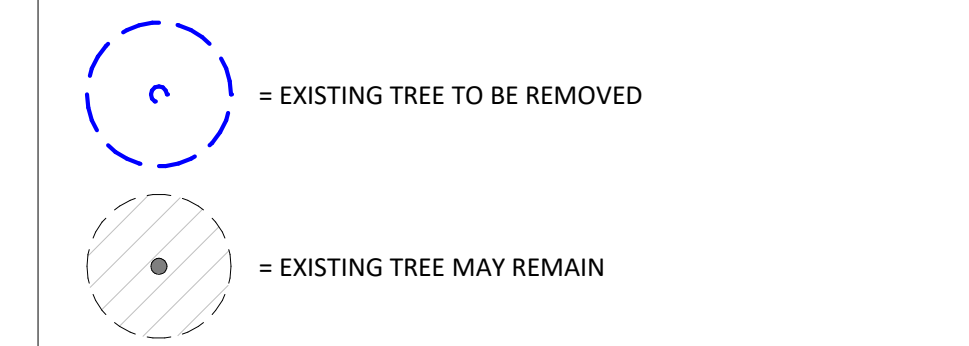
DEMOLITION SITE PLAN + EXISTING ELEVATIONS
AP0.50D

EXISTING ELEVATION NOTES

- EXISTING ELEVATIONS ARE BASED ON SURVEY DATA, FIELD PHOTOGRAPHS AND MEASUREMENTS AND GOOGLE EARTH IMAGERY. THEY ARE SHOWN IN A DIAGRAMMATIC MANNER TO CAPTURE THE GENERAL HEIGHT AND MASSING OF EXISTING STRUCTURES.
- REFER TO SHEET GP0.03 FOR EXISTING SITE PHOTOS
- REFER TO SHEET LS.1 FOR SURVEY INCLUDED FOR INFORMATIONAL PURPOSES ONLY

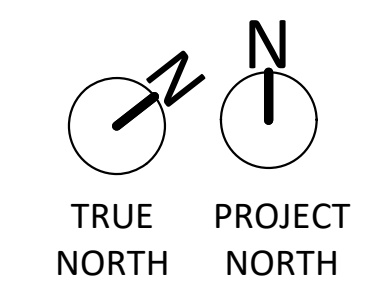
DEMOLITION SITE PLAN

- SEE G SERIES SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION.
- REFERENCE LAND SURVEY FOR SITE ELEVATIONS, SLOPES AND EXISTING SITE CONDITIONS.
- REFERENCE LAND SURVEY FOR TREE LOCATIONS AND SIZES.



① **SITE PLAN_DEMO**
1" = 20'-0"

5/23/2025 4:08:27 PM





189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062



ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number	026-491-40
Project number	21110
Print Date	05.23.25
Drawn by	LB
Checked by	EB
Scale	As indicated

PROPOSED SITE PLAN + SITE ELEVATIONS
AP0.51

ELEVATION NOTES

- SEE BUILDING ELEVATIONS FOR MATERIAL TAGS AND KEYNOTES. MATERIALS ILLUSTRATED IN THE ELEVATIONS ARE REPRESENTATIVE OF CONCEPT DESIGN LEVEL FINISH SELECTIONS. FINAL EXTERIOR MATERIALS AND SYSTEMS WILL EVOLVE AS THE PROJECT PROGRESSES. PROPERTY LINES ARE SHOWN RELATIVE TO THE ELEVATION, REFER TO PLAN DRAWINGS FOR MORE INFORMATION ON PROPERTY LINE DIMENSIONS AND LOCATIONS.
- CURBS AND STREETS ARE SHOWN RELATIVE TO THE ELEVATION VIEW, REFER TO LAND SURVEY FOR EXISTING CURB, GUTTER, AND STREET INFORMATION.

SITE KEYNOTES

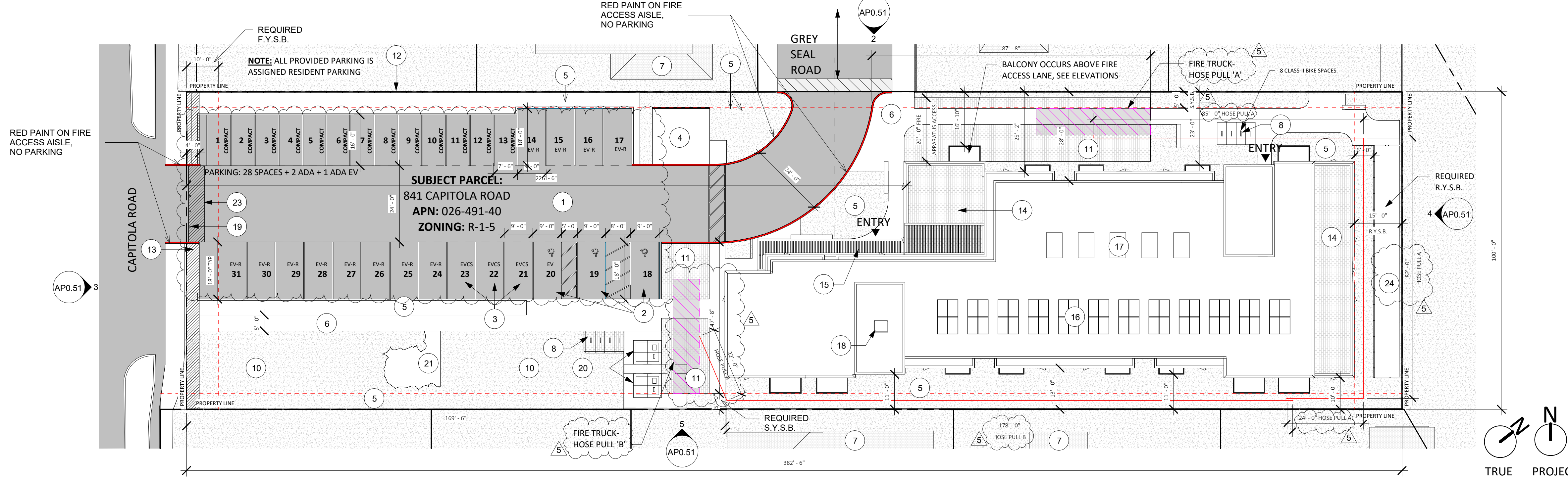
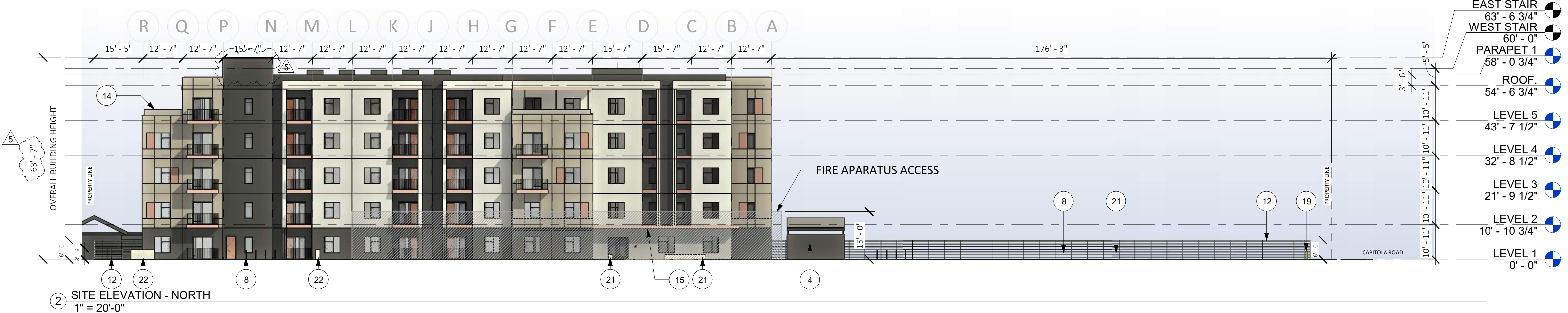
KEYNOTE SCHEDULE - SITE PLAN AND ELEVATIONS	
KEYNOTE	MATERIAL
1	PARKING LOT
2	ACCESSIBLE PARKING STALL
3	EV PARKING STALL
4	TRASH ENCLOSURE
5	PLANTED AREA
6	RAISED WALKWAY
7	RESIDENCE BEYOND
8	CLASS II BIKE PARKING
9	EXISTING TREE(S) TO REMAIN
10	BIORETENTION AREA, SEE CIVIL DRAWINGS
11	PERVIOUS PAVERS
12	NEW WOOD FENCE
13	4' WIDE DEDICATED EASEMENT
14	ROOF TERRACE
15	ENTRANCE CANOPY
16	SOLAR PHOTOVOLTAICS, INDICATIVE
17	PLACEHOLDER MECHANICAL EQUIPMENT, INDICATIVE
18	ROOF ACCESS HATCH, INDICATIVE
19	REMOVABLE BOLLARDS
20	PAD MOUNTED TRANSFORMER, PLACEHOLDER
21	SEATING AREA, REF LANDSCAPE
22	OUTDOOR BBQ, REF LANDSCAPE
23	5' BACKUP ZONE
24	DOG RUN

SITE PLAN NOTES

- SEE G SERIES SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION. ADJACENT BUILDING HEIGHTS ARE APPROXIMATE AND ARE TAKEN FROM ADJACENT GRADE ELEVATIONS. REFERENCE LAND SURVEY FOR SITE ELEVATIONS, SLOPES AND EXISTING SITE CONDITIONS.
- = REQUIRED SETBACK
- = PROPOSED SETBACK (NUMBER SETBACKS TO VARY FROM REQUIREMENTS)
- = FIRE HOSE PULL

FIRE DEPARTMENT NOTES

- THESE PLANS ARE IN COMPLIANCE WITH THE CALIFORNIA BUILDING & FIRE CODES (2022) AND CENTRAL FIRE PROTECTION DISTRICT AMENDMENTS.
- THE FIRE ALARM SYSTEM REQUIRES A SEPARATE PERMIT AND SUBMITTAL. CFC 907.1
- THE FIRE SPRINKLER SYSTEM REQUIRES A SEPARATE PERMIT AND SUBMITTAL. CFC 903.1.
- MINIMUM FIRE FLOW IS 1500 GALLONS PER MINUTE FOR 120 MINUTES.
- THE BUILDING SHALL BE PROTECTED BY AN APPROVED AUTOMATIC SPRINKLING SYSTEM APPLYING WITH THE CURRENT EDITION OF NFPA 13 CURRENTLY ADOPTED IN CHAPTER 35 OF THE CBC. NEW/UPGRADED HYDRANTS, WATER STORAGE TANKS, AND/OR UPGRADED ROADWAYS SHALL BE INSTALLED PRIOR TO AND DURING TIME OF CONSTRUCTION (CFC 901.3)
- IF THE NUMBER OF CEILING SPRINKLERS IS GREATER THAN THE NUMBER OF SHELL SPRINKLERS, OR IF MORE THAN ONE DROP IS SUPPLIED FROM ANY 1" OUTLET, THE SYSTEM SHALL BE RECALCULATED.
- THE DESIGNER/INSTALLER SHALL SUBMIT THREE (3) SETS OF PLANS AND ONE (1) SET OF CALCULATIONS FOR THE AUTOMATIC SPRINKLER SYSTEM TO THIS AGENCY FOR APPROVAL. INSTALLATION SHALL FOLLOW OUR GUIDE SHEET. CUT SHEETS SHALL INCLUDE, BUT NOT BE LIMITED TO PIPING, VALVES, GAUGES, AND SPRINKLER HEADS.
- AN UNDERGROUND FIRE PROTECTION SYSTEM WORKING DRAWING MUST BE PREPARED BY THE DESIGNER/INSTALLER. THE PLANS SHALL COMPLY WITH THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLATION POLICY HANDOUT. UNDERGROUND PLAN SUBMITTAL AND PERMIT WILL BE ISSUED TO A CLASS C-16 OR C-36 CONTRACTOR OR BY AN OWNER/BUILDER OF AN OWNER-OCCUPIED SINGLE-FAMILY DWELLING.
- A 30-FOOT CLEARANCE SHALL BE MAINTAINED WITH NON-COMBUSTIBLE VEGETATION AROUND ALL STRUCTURES OR TO THE PROPERTY LINE WHICHEVER IS A SHORTER DISTANCE.
 - EXCEPTION: SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVERS, PROVIDED THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM NATIVE GROWTH TO ANY STRUCTURE.
- THE JOB COPIES OF THE BUILDING AND FIRE SYSTEMS PLANS AND PERMITS MUST BE ON-SITE DURING INSPECTIONS.
- HOSE PULL CLEARANCE SHALL MEET A MAXIMUM OF 200 FEET, PER CENTRAL FIRE. HOSE PULL LENGTH A=200 FEET. HOSE PULL LENGTH B=191 FEET.





189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062



ISSUES/ REVISIONS		
Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number	026-491-40
Project number	21110
Print Date	05.23.25
Drawn by	LB
Checked by	EB
Scale	As indicated

PROPOSED FLOOR PLAN LEVEL 1
AP1.01

FLOOR PLAN NOTES

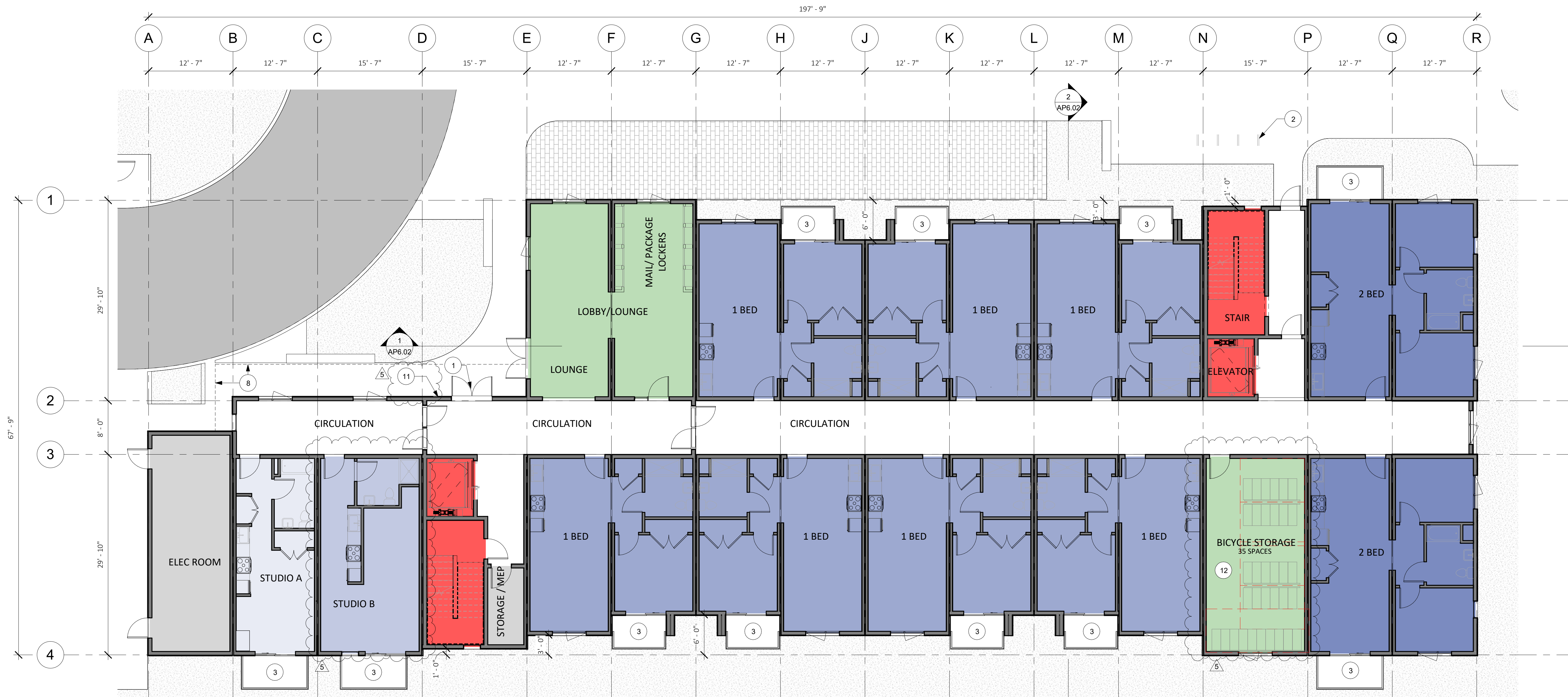
- SEE G-SERIES SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION
- ALL UNITS SHALL BE ADAPTABLE PER CBC CH 11A
- ALL UNITS SHALL GET IN-UNIT WASHER/DRYERS IN COMPLIANCE WITH CPC TABLE 422.1 & CBC 1135A.
- ROOF COVERINGS SHALL BE NO LESS THAN A CLASS B RATED ROOF.
- ALL UNITS ARE COVERED DWELLING UNITS PER CBC 11A AND WILL BE ACCESSIBLE AS REQUIRED.

UNIT TYPE	COUNT
STUDIO A	2
STUDIO B	5
1 BED	35
2 BED	15
TOTAL UNITS	57

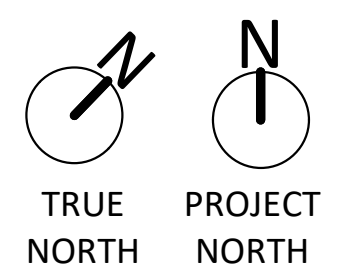
FLOOR PLAN KEYED NOTES

KEYNOTE SCHEDULE - FLOOR PLAN

KEYNOTE	NOTE
1	ENTRY
2	CLASS II BIKE PARKING
3	PRIVATE BALCONY
4	COMMON TERRACE
5	SOLAR PHOTOVOLTAICS / PV ARRAY, INDICATIVE
6	FLAT ROOF / MEMBRANE ROOF OR SIM.
7	SOLAR CANOPY / SHADE STRUCTURE / AWNING OR SIM.
8	DASH INDICATES CANOPY / AWNING OVERHEAD
9	ROOF ACCESS HATCH, INDICATIVE
10	PLACEHOLDER ROOFTOP MECHANICAL EQUIPMENT, INDICATIVE
11	KNOX BOX AND KEY
12	CLASS-1 BICYCLE PARKING



1 FIRST FLOOR PLAN
1/8" = 1'-0"





189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062



ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number 026-491-40
Project number 21110
Print Date 05.23.25
Drawn by LB
Checked by EB
Scale As indicated

All drawings and written material appearing herein constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.

PROPOSED FLOOR PLAN LEVEL 2
AP1.02

UNIT TYPE	COUNT
STUDIO A	2
STUDIO B	5
1 BED	35
2 BED	15
TOTAL UNITS	57

FLOOR PLAN NOTES

- SEE G-SERIES SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION
- ALL UNITS SHALL BE ADAPTABLE PER CBC CH 11A
- ALL UNITS SHALL GET IN-UNIT WASHER/DRYERS IN COMPLIANCE WITH CPC TABLE 422.1 & CBC 1135A.
- ROOF COVERINGS SHALL BE NO LESS THAN A CLASS B RATED ROOF.
- ALL UNITS ARE COVERED DWELLING UNITS PER CBC 11A AND WILL BE ACCESSIBLE AS REQUIRED.

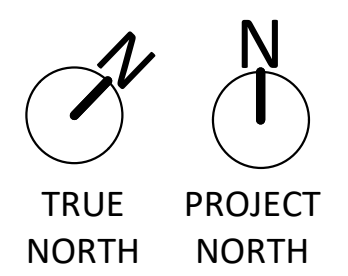
FLOOR PLAN KEYED NOTES

KEYNOTE SCHEDULE - FLOOR PLAN

KEYNOTE	NOTE
1	ENTRY
2	CLASS II BIKE PARKING
3	PRIVATE BALCONY
4	COMMON TERRACE
5	SOLAR PHOTOVOLTAICS / PV ARRAY, INDICATIVE
6	FLAT ROOF / MEMBRANE ROOF OR SIM.
7	SOLAR CANOPY / SHADE STRUCTURE / AWNING OR SIM.
8	DASH INDICATES CANOPY / AWNING OVERHEAD
9	ROOF ACCESS HATCH, INDICATIVE
10	PLACEHOLDER ROOFTOP MECHANICAL EQUIPMENT, INDICATIVE
11	KNOX BOX AND KEY
12	CLASS-1 BICYCLE PARKING



1 SECOND FLOOR PLAN
1/8" = 1'-0"





189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062



ISSUES/ REVISIONS		
Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number	026-491-40
Project number	21110
Print Date	05.23.25
Drawn by	LB
Checked by	EB
Scale	As indicated

PROPOSED FLOOR
PLAN LEVEL 3
AP1.03

FLOOR PLAN NOTES

- SEE G-SERIES SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION
- ALL UNITS SHALL BE ADAPTABLE PER CBC CH 11A
- ALL UNITS SHALL GET IN-UNIT WASHER/DRYERS IN COMPLIANCE WITH CPC TABLE 422.1 & CBC 1135A.
- ROOF COVERINGS SHALL BE NO LESS THAN A CLASS B RATED ROOF.
- ALL UNITS ARE COVERED DWELLING UNITS PER CBC 11A AND WILL BE ACCESSIBLE AS REQUIRED.

FLOOR PLAN KEYED NOTES

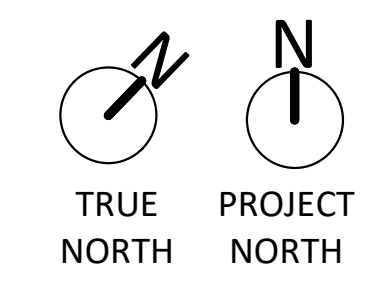
KEYNOTE SCHEDULE - FLOOR PLAN

KEYNOTE	NOTE
1	ENTRY
2	CLASS II BIKE PARKING
3	PRIVATE BALCONY
4	COMMON TERRACE
5	SOLAR PHOTOVOLTAICS / PV ARRAY, INDICATIVE
6	FLAT ROOF / MEMBRANE ROOF OR SIM.
7	SOLAR CANOPY / SHADE STRUCTURE / AWNING OR SIM.
8	DASH INDICATES CANOPY / AWNING OVERHEAD
9	ROOF ACCESS HATCH, INDICATIVE
10	PLACEHOLDER ROOFTOP MECHANICAL EQUIPMENT, INDICATIVE
11	KNOX BOX AND KEY
12	CLASS-1 BICYCLE PARKING

UNIT TYPE	COUNT
STUDIO A	2
STUDIO B	5
1 BED	35
2 BED	15
TOTAL UNITS	57



1 THIRD FLOOR PLAN
1/8" = 1'-0"





189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062



ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number 026-491-40
Project number 21110
Print Date 05.23.25
Drawn by LB
Checked by EB
Scale As indicated

All drawings and written material appearing herein constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.

PROPOSED FLOOR PLAN LEVEL 4
AP1.04

FLOOR PLAN NOTES

- SEE G-SERIES SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION
- ALL UNITS SHALL BE ADAPTABLE PER CBC CH 11A
- ALL UNITS SHALL GET IN-UNIT WASHER/DRYERS IN COMPLIANCE WITH CPC TABLE 422.1 & CBC 1135A.
- ROOF COVERINGS SHALL BE NO LESS THAN A CLASS B RATED ROOF.
- ALL UNITS ARE COVERED DWELLING UNITS PER CBC 11A AND WILL BE ACCESSIBLE AS REQUIRED.

UNIT TYPE	COUNT
STUDIO A	2
STUDIO B	5
1 BED	35
2 BED	15
TOTAL UNITS	57

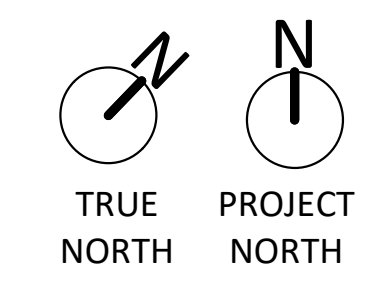
FLOOR PLAN KEYED NOTES

KEYNOTE SCHEDULE - FLOOR PLAN

KEYNOTE	NOTE
1	ENTRY
2	CLASS II BIKE PARKING
3	PRIVATE BALCONY
4	COMMON TERRACE
5	SOLAR PHOTOVOLTAICS / PV ARRAY, INDICATIVE
6	FLAT ROOF / MEMBRANE ROOF OR SIM.
7	SOLAR CANOPY / SHADE STRUCTURE / AWNING OR SIM.
8	DASH INDICATES CANOPY / AWNING OVERHEAD
9	ROOF ACCESS HATCH, INDICATIVE
10	PLACEHOLDER ROOFTOP MECHANICAL EQUIPMENT, INDICATIVE
11	KNOX BOX AND KEY
12	CLASS-1 BICYCLE PARKING



1 FOURTH FLOOR PLAN
1/8" = 1'-0"





189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062



ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number 026-491-40
Project number 21110
Print Date 05.23.25
Drawn by LB
Checked by EB
Scale As indicated

All drawings and written material appearing herein constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.

PROPOSED FLOOR PLAN LEVEL 5
AP1.05

FLOOR PLAN NOTES

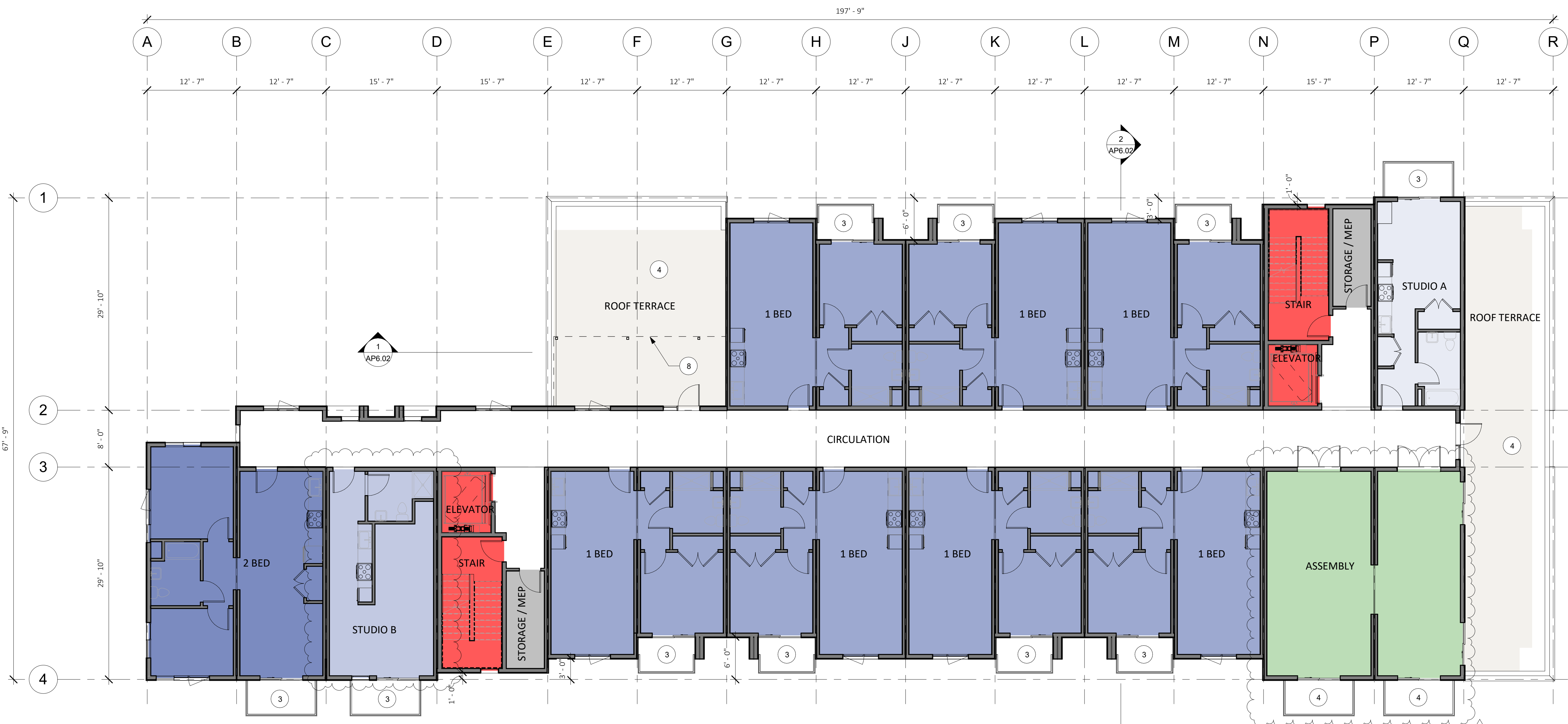
- SEE G-SERIES SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION
- ALL UNITS SHALL BE ADAPTABLE PER CBC CH 11A
- ALL UNITS SHALL GET IN-UNIT WASHER/DRYERS IN COMPLIANCE WITH CPC TABLE 422.1 & CBC 1135A.
- ROOF COVERINGS SHALL BE NO LESS THAN A CLASS B RATED ROOF.
- ALL UNITS ARE COVERED DWELLING UNITS PER CBC 11A AND WILL BE ACCESSIBLE AS REQUIRED.

UNIT TYPE	COUNT
STUDIO A	2
STUDIO B	5
1 BED	35
2 BED	15
TOTAL UNITS	57

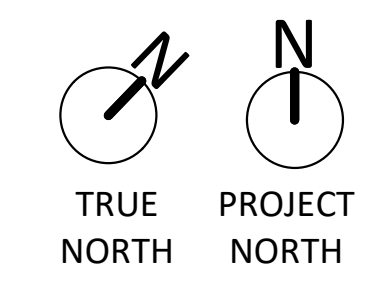
FLOOR PLAN KEYED NOTES

KEYNOTE SCHEDULE - FLOOR PLAN

KEYNOTE	NOTE
1	ENTRY
2	CLASS II BIKE PARKING
3	PRIVATE BALCONY
4	COMMON TERRACE
5	SOLAR PHOTOVOLTAICS / PV ARRAY, INDICATIVE
6	FLAT ROOF / MEMBRANE ROOF OR SIM.
7	SOLAR CANOPY / SHADE STRUCTURE / AWNING OR SIM.
8	DASH INDICATES CANOPY / AWNING OVERHEAD
9	ROOF ACCESS HATCH, INDICATIVE
10	PLACEHOLDER ROOFTOP MECHANICAL EQUIPMENT, INDICATIVE
11	KNOX BOX AND KEY
12	CLASS-1 BICYCLE PARKING



FIFTH FLOOR PLAN
1/8" = 1'-0"





189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062



ISSUES/ REVISIONS		
Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number	026-491-40
Project number	21110
Print Date	05.23.25
Drawn by	LB
Checked by	EB
Scale	As indicated

All drawings and written material appearing herein constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.

PROPOSED ROOF PLAN
AP1.06

FLOOR PLAN NOTES

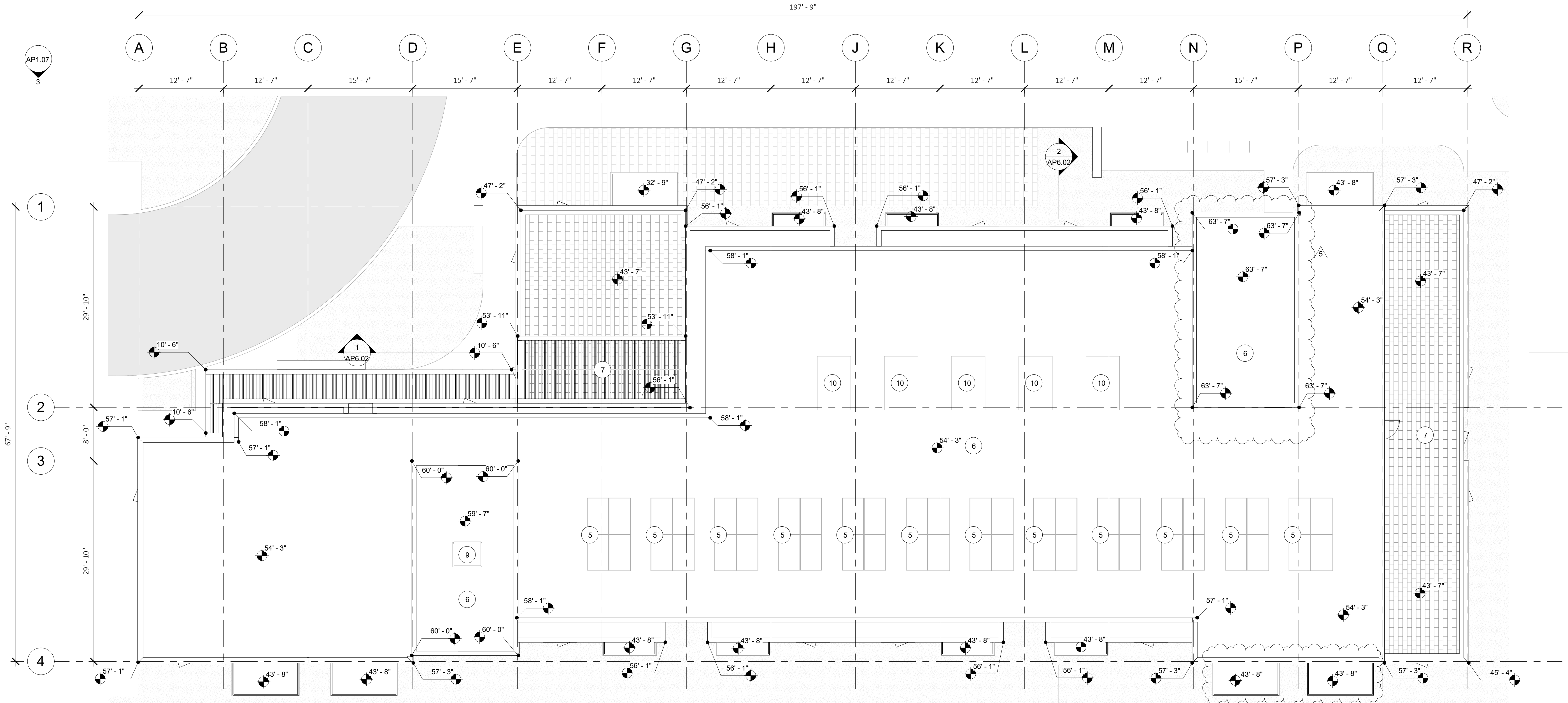
- SEE G-SERIES SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION
- ALL UNITS SHALL BE ADAPTABLE PER CBC CH 11A
- ALL UNITS SHALL GET IN-UNIT WASHER/DRYERS IN COMPLIANCE WITH CPC TABLE 422.1 & CBC 1135A.
- ROOF COVERINGS SHALL BE NO LESS THAN A CLASS B RATED ROOF.
- ALL UNITS ARE COVERED DWELLING UNITS PER CBC 11A AND WILL BE ACCESSIBLE AS REQUIRED.

UNIT TYPE	COUNT
STUDIO A	2
STUDIO B	5
1 BED	35
2 BED	15
TOTAL UNITS	57

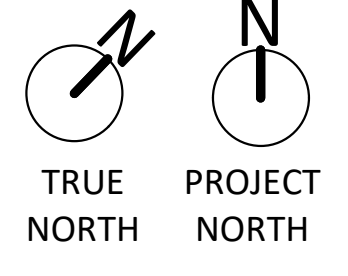
FLOOR PLAN KEYED NOTES

KEYNOTE SCHEDULE - FLOOR PLAN

KEYNOTE	NOTE
1	ENTRY
2	CLASS II BIKE PARKING
3	PRIVATE BALCONY
4	COMMON TERRACE
5	SOLAR PHOTOVOLTAICS / PV ARRAY, INDICATIVE
6	FLAT ROOF / MEMBRANE ROOF OR SIM.
7	SOLAR CANOPY / SHADE STRUCTURE / AWNING OR SIM.
8	DASH INDICATES CANOPY / AWNING OVERHEAD
9	ROOF ACCESS HATCH, INDICATIVE
10	PLACEHOLDER ROOFTOP MECHANICAL EQUIPMENT, INDICATIVE
11	KNOX BOX AND KEY
12	CLASS-1 BICYCLE PARKING



1 BUILDING PLAN - ROOF
1/8" = 1'-0"



5/23/2025 4:28:44 PM



189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062

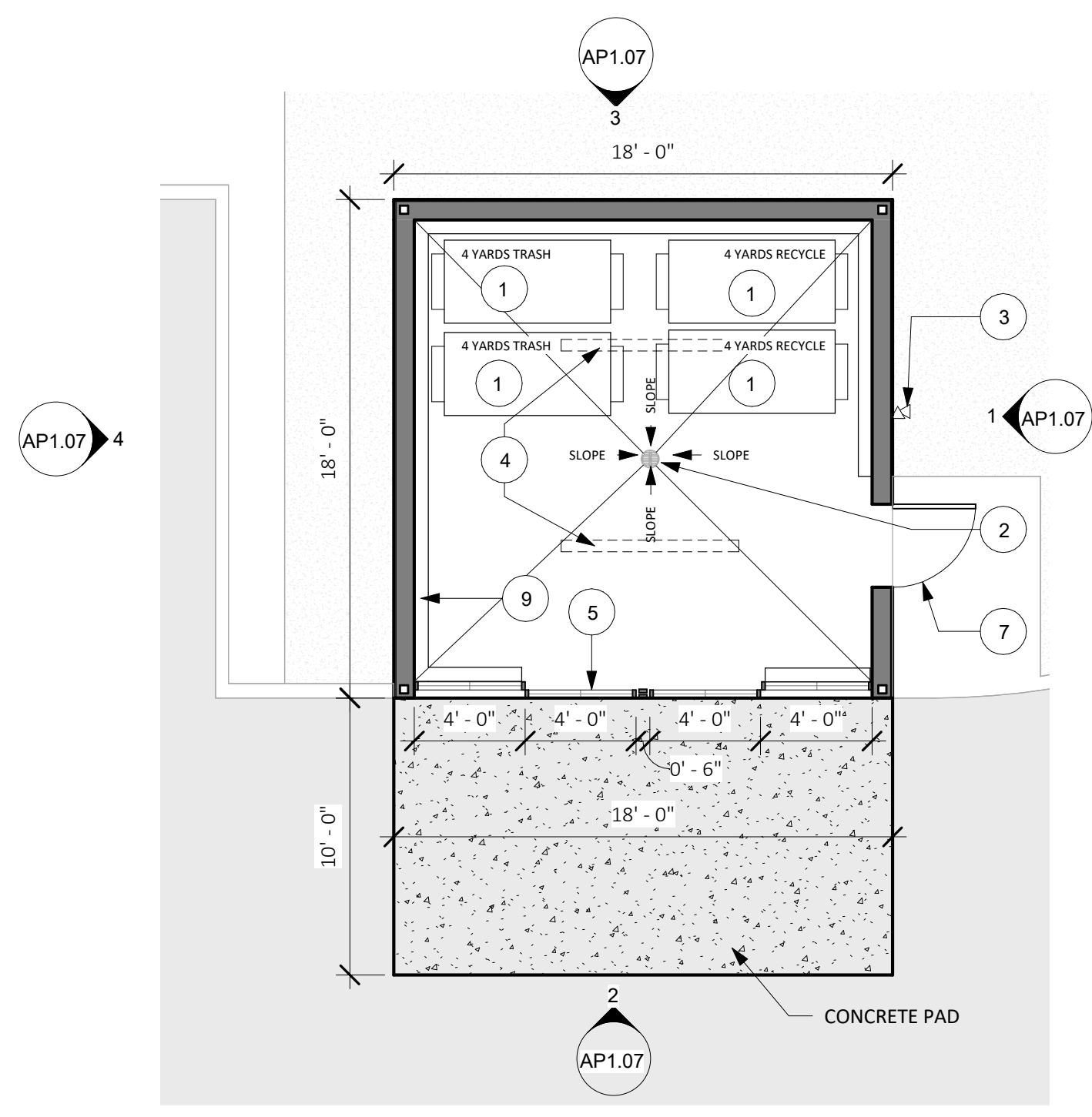


FLOOR PLAN NOTES

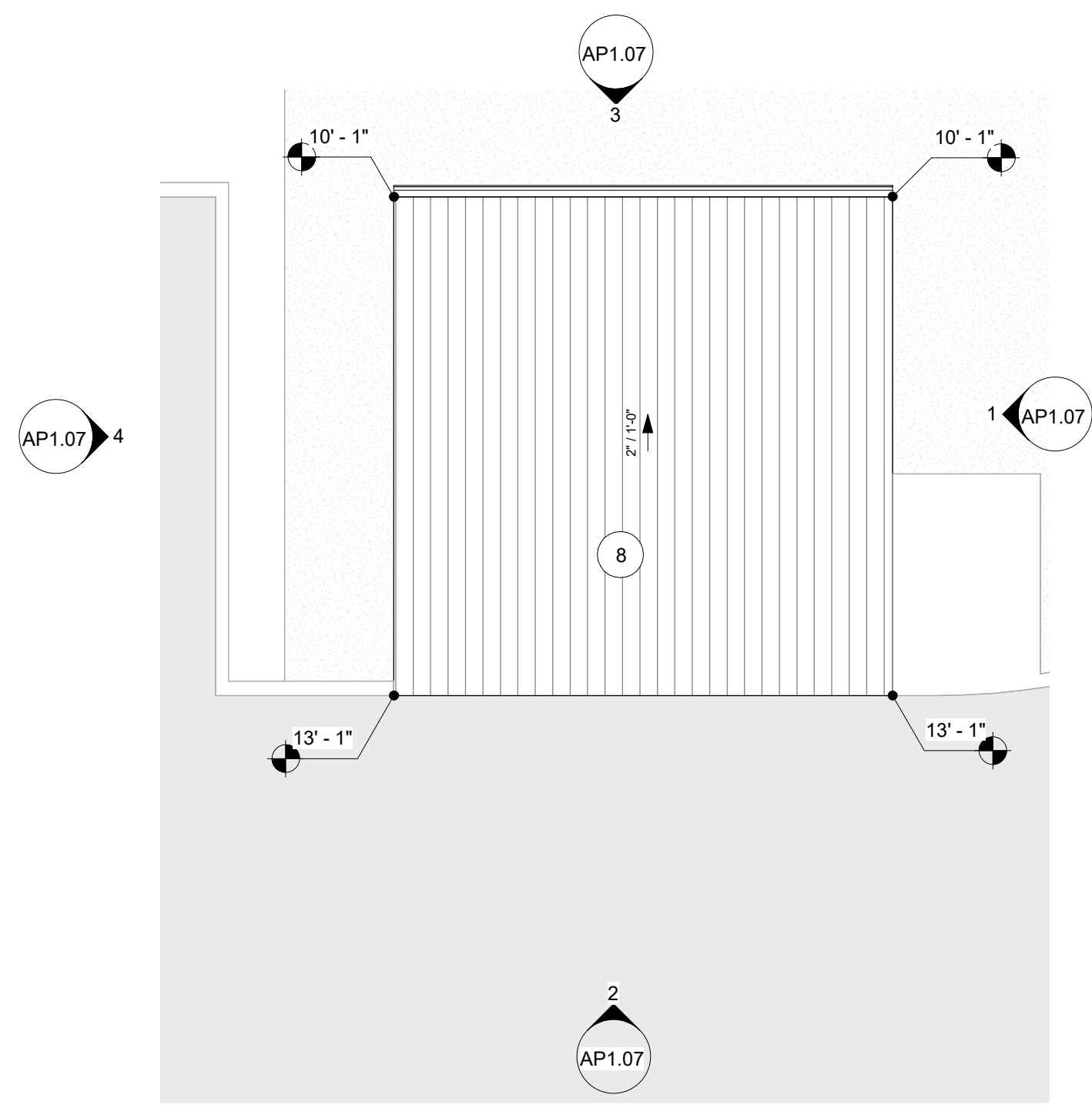
1. SEE G-SERIES SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION
2. ALL UNITS SHALL BE ADAPTABLE PER CBC CH 11A
3. ALL UNITS SHALL GET IN-UNIT WASHER/DRYERS IN COMPLIANCE WITH CPC TABLE 422.1 & CBC 1135A.
4. ROOF COVERINGS SHALL BE NO LESS THAN A CLASS B RATED ROOF.
5. ALL UNITS ARE COVERED DWELLING UNITS PER CBC 11A AND WILL BE ACCESSIBLE AS REQUIRED.

FLOOR PLAN KEYED NOTES

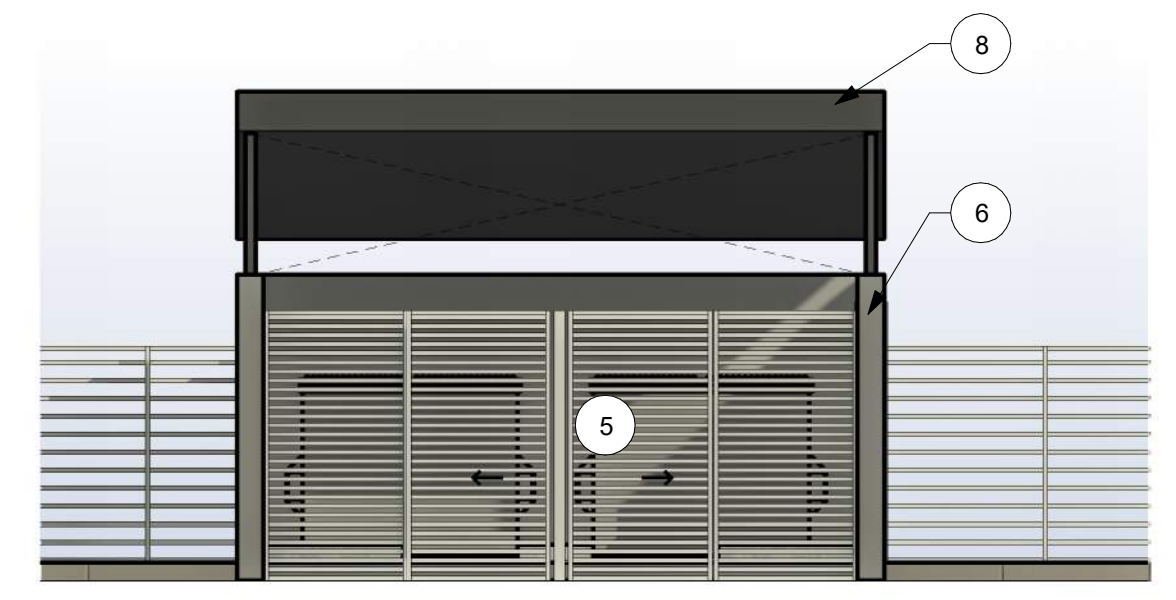
KEYNOTE	MATERIAL
1	4 CU/YD BIN
2	DRAIN TO SANITARY SEWER
3	HOSE BIBB
4	LED STRIP LIGHT
5	METAL SLIDING ACCESS GATE
6	CMU WALL WITH STUCCO
7	ACCESS DOOR
8	METAL DECK ROOF AND SUPPORT STRUCTURE, NOT INSULATED
9	6" CONCRETE CURB



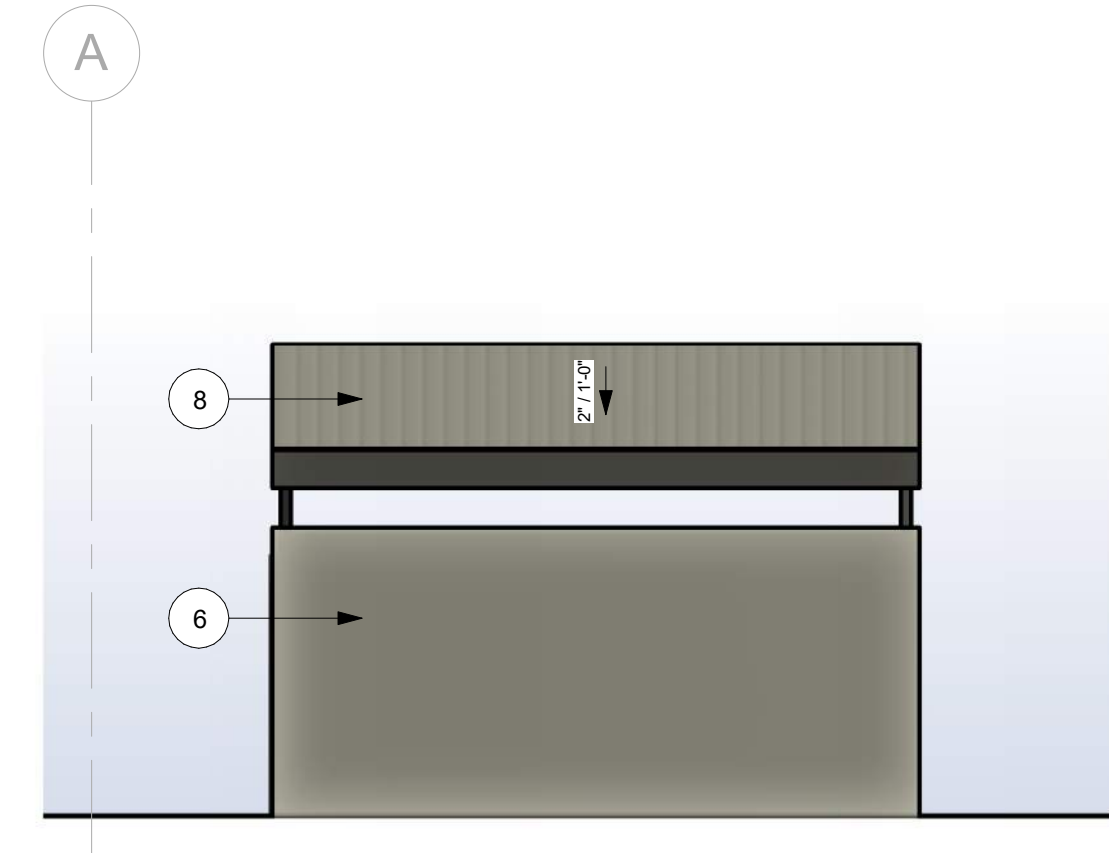
5 ENLARGED PLAN - TRASH ENCLOSURE
3/16" = 1'-0"



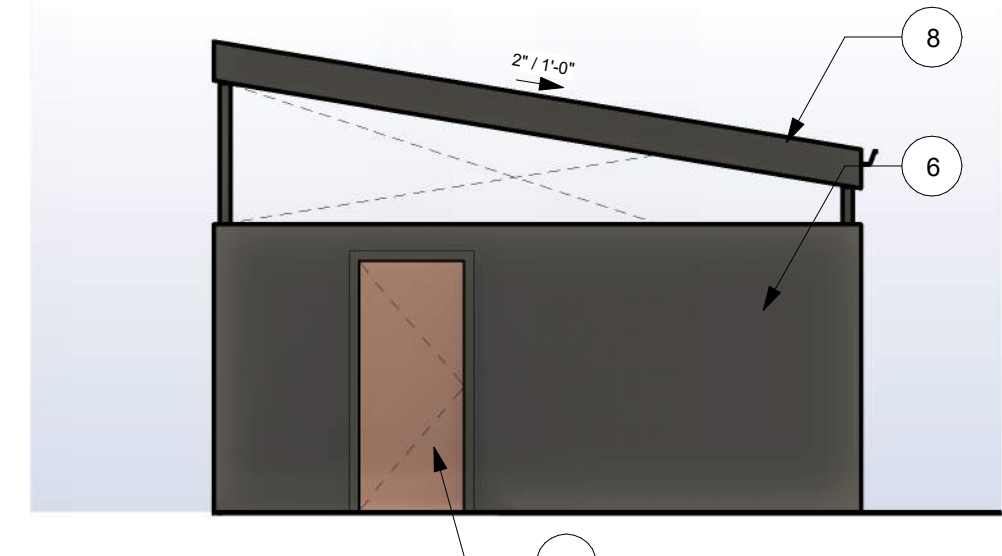
6 ENLARGED PLAN - TRASH ENCLOSURE ROOF
3/16" = 1'-0"



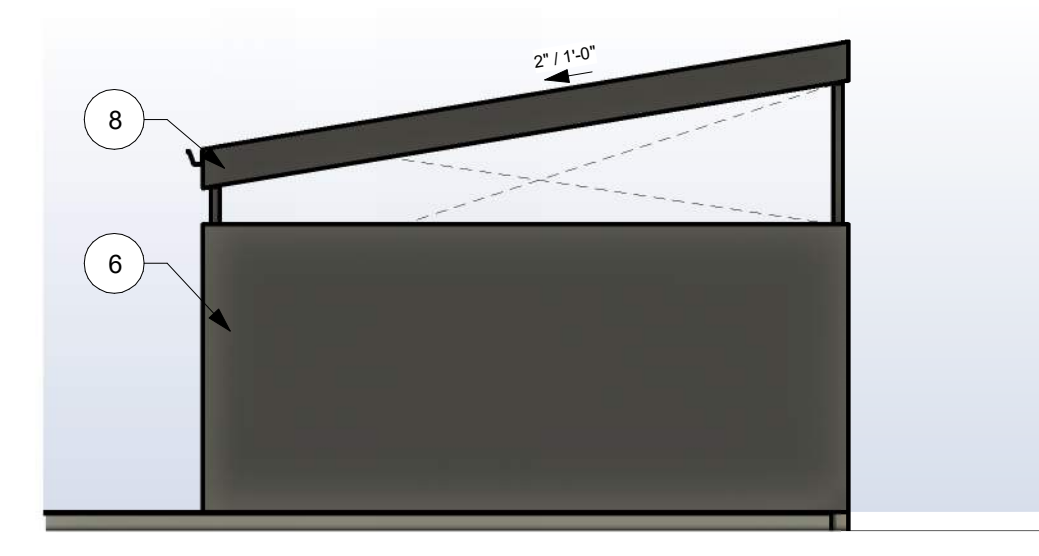
2 TRASH ENCLOSURE - SOUTH ELEVATION
3/16" = 1'-0"



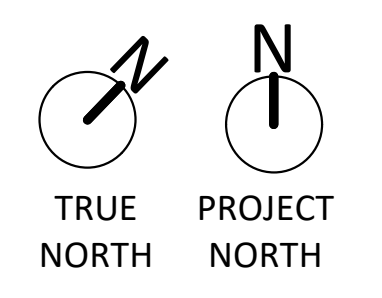
3 TRASH ENCLOSURE - NORTH ELEVATION
3/16" = 1'-0"



1 TRASH ENCLOSURE - EAST ELEVATION
3/16" = 1'-0"



4 TRASH ENCLOSURE - WEST ELEVATION
3/16" = 1'-0"



TRASH ENCLOSURE
AP1.07

ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025

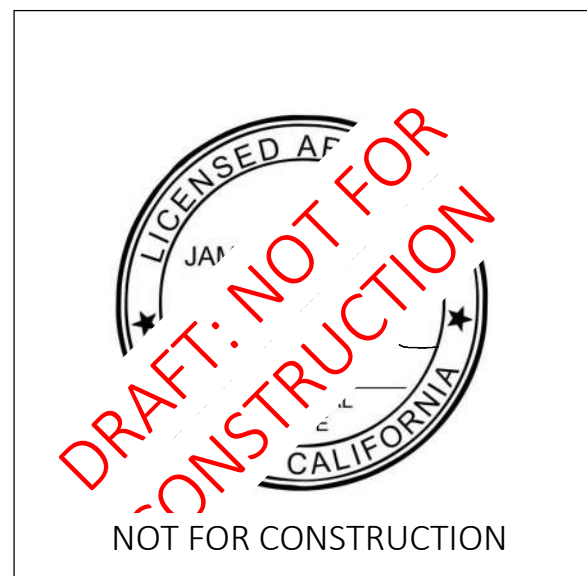
APN number	026-491-40
Project number	21110
Print Date	05.23.25
Drawn by	Author
Checked by	Checker
Scale	As indicated

All drawings and written material appearing herein constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.



189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062



ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number	026-491-40
Project number	21110
Print Date	05.23.25
Drawn by	LB
Checked by	EB
Scale	As indicated

All drawings and written material appearing herein constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.

PROPOSED BUILDING
EXTERIOR
ELEVATIONS
AP3.01

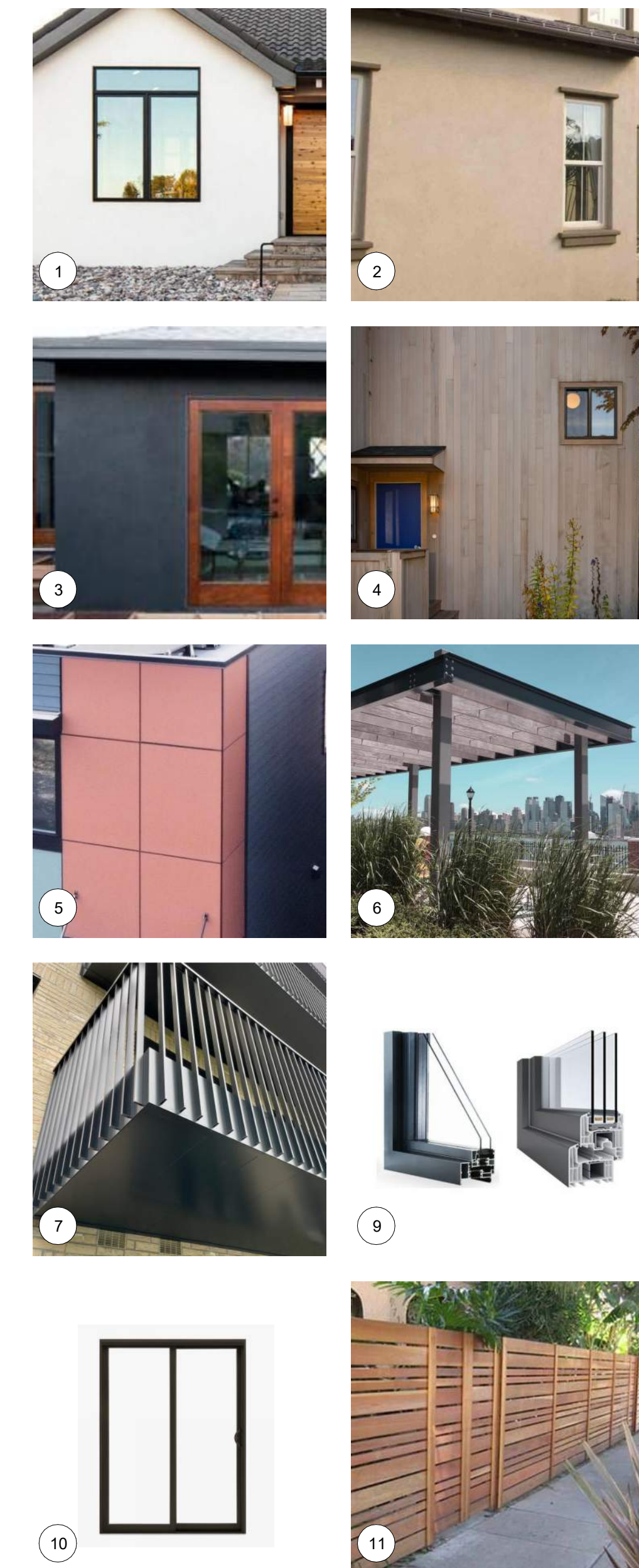
ELEVATIONS GENERAL NOTES

- REFER TO KEYED NOTES AND MATERIALS LEGEND FOR PROPOSED EXTERIOR FINISHES / MATERIALS.
- BUILDING HEIGHT MEASUREMENTS SHOWN RELATIVE TO ADJACENT GRADE.

EXTERIOR ELEVATION KEYNOTES

BUILDING ELEVATIONS	
KEYNOTE	MATERIAL
1	WHITE STUCCO OR SIM.
2	CREAM STUCCO OR SIM.
3	DARK GREY STUCCO OR SIM.
4	VERTICAL WOOD OR WOOD-LOOK SIDING OR SIM.
5	WARM RUST COLORED STUCCO OR FIBER CEMENT BOARD OR SIM.
6	METAL SHADE STRUCTURE / CANOPY / AWNING OR SIM.
7	PAINTED METAL BALCONY RAILING OR SIM.
8	PAINTED EXTERIOR DOOR
9	VINYL OR ALUMINUM WINDOWS OR SIM.
10	VINYL OR ALUMINUM GLAZED SLIDING DOOR OR SIM.
11	NEW WOOD FENCE
12	PLACEHOLDER ROOFTOP MECHANICAL EQUIPMENT, INDICATIVE

MATERIALS LEGEND



2 BUILDING ELEVATION - EAST
1" = 10'-0"



1 BUILDING ELEVATION - SOUTH
1" = 10'-0"



workbench

189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD

841 CAPITOLA ROAD
SANTA CRUZ, CA 95062



ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number	026-491-40
Project number	21110
Print Date	05.23.25
Drawn by	LB
Checked by	EB
Scale	As indicated

PROPOSED BUILDING
EXTERIOR
ELEVATIONS
AP3.02

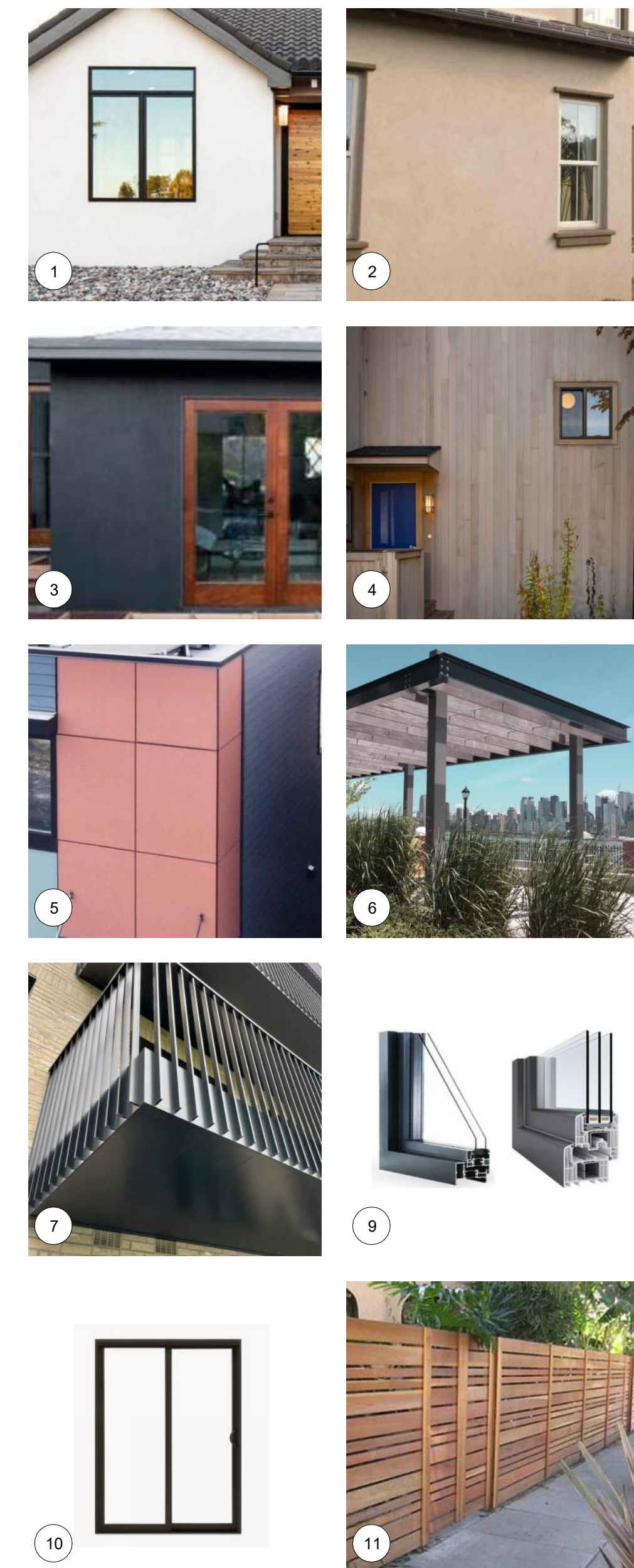
ELEVATIONS GENERAL NOTES

- REFER TO KEYED NOTES AND MATERIALS LEGEND FOR PROPOSED EXTERIOR FINISHES / MATERIALS.
- BUILDING HEIGHT MEASUREMENTS SHOWN RELATIVE TO ADJACENT GRADE.

EXTERIOR ELEVATION KEYNOTES

BUILDING ELEVATIONS	
KEYNOTE	MATERIAL
1	WHITE STUCCO OR SIM.
2	CREAM STUCCO OR SIM.
3	DARK GREY STUCCO OR SIM.
4	VERTICAL WOOD OR WOOD-LOOK SIDING OR SIM.
5	WARM RUST COLORED STUCCO OR FIBER CEMENT BOARD OR SIM.
6	METAL SHADE STRUCTURE / CANOPY / AWNING OR SIM.
7	PAINTED METAL BALCONY RAILING OR SIM.
8	PAINTED EXTERIOR DOOR
9	VINYL OR ALUMINUM WINDOWS OR SIM.
10	VINYL OR ALUMINUM GLAZED SLIDING DOOR OR SIM.
11	NEW WOOD FENCE
12	PLACEHOLDER ROOFTOP MECHANICAL EQUIPMENT, INDICATIVE

MATERIALS LEGEND



2 BUILDING ELEVATION - WEST
1" = 10'-0"



1 BUILDING ELEVATION - NORTH
1" = 10'-0"



189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062

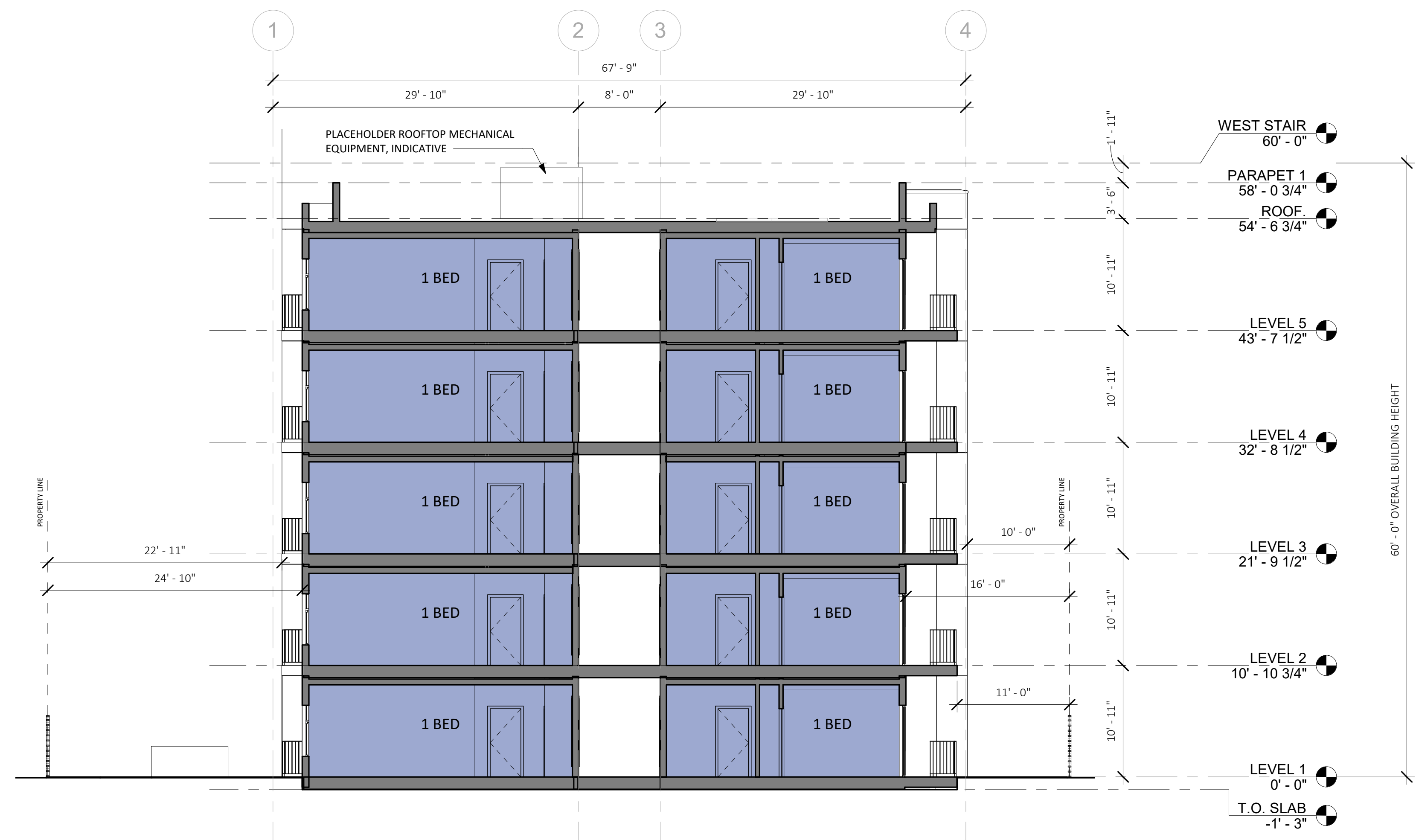


ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number 026-491-40
Project number 21110
Print Date 05.23.25
Drawn by LB
Checked by EB
Scale 1/8" = 1'-0"

PROPOSED BUILDING SECTIONS
AP6.02



2 BUILDING B - SECTION 2
1/8" = 1'-0"



1 BUILDING B - SECTION 1
1/8" = 1'-0"

5/23/2025 4:09:52 PM



workbench

189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062



ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number	026-491-40
Project number	21110
Print Date	05.23.25
Drawn by	LB
Checked by	EB
Scale	NTS

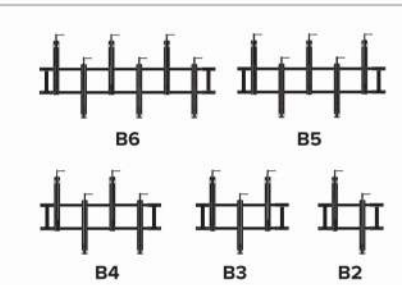
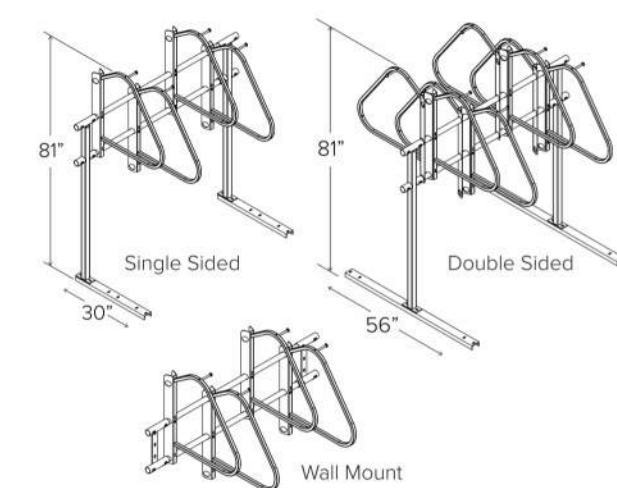
All drawings and written material appearing herein constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.

BICYCLE PARKING INFO

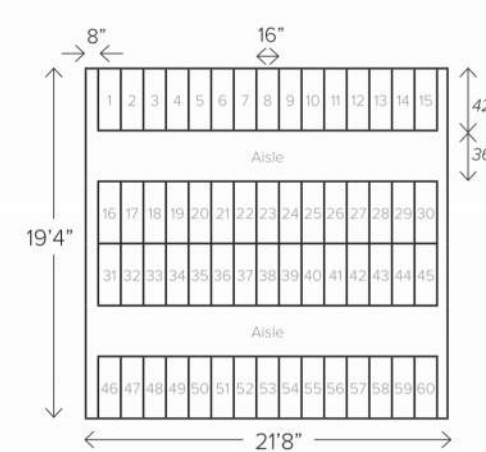
AP9.01

PROPOSED CLASS-I BICYCLE PARKING

DERO Ultra Space Saver Squared Submittal Sheet



Ultra Space Saver Squared sections vary in length to fit most spaces



As a general guideline, the above space can fit approximately 60 bicycles.

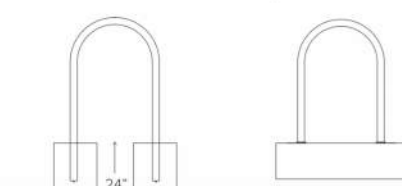
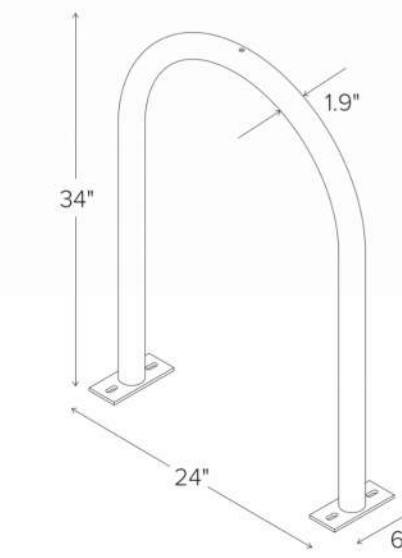
The Ultra Space Saver Squared parks one bike every 15" with a typical bike extending out 42" from the wall.

- CAPACITY** Modular construction
1 bike per arm
- MATERIALS** **Hanger:** 1" square tube with steel slider head with tamperproof locking bolts.
Upright: 2" square tube.
Feet: AISI #3 x 41 galvanized steel channel.
Crossbeams: 2" sched. 40 galvanized pipe.
- FINISHES**
- Black Powder Coat (Interior Use)**
Our interior powder coat finish assures a high level of adhesion and durability for indoor use by following these steps:
1. Sandblast
2. Final thick TGIC polyester powder coat
 - Black Powder Coat (Exterior Use)** Additional Cost
Our exterior powder coat finish assures a high level of adhesion and durability for outdoor or exposed air use by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGIC polyester powder coat
- MOUNT OPTIONS**
- Floor mount**
Ultra Space Saver Squared have steel channel feet (30" for single sided and 56" for double sided units) which must be anchored to the floor.
 - Wall mount**
A wall mounted unit which contains special brackets is also available for CMU or solid concrete walls. Cannot be used on sheetrock without additional support.
- WHEEL STOPS**
- Include wheel stops**
Optional wheel stops are available for an additional cost

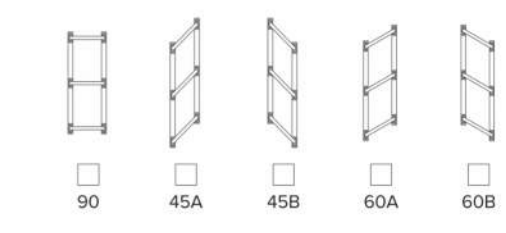


PROPOSED CLASS-II BICYCLE PARKING

DERO Hoop Rack Submittal Sheet



- CAPACITY** 2 Bikes
- MATERIALS** 1.5" schedule 40 pipe (1.9" OD)
- FINISHES**
- Galvanized**
An after fabrication hot dipped galvanized finish is our standard option.
 - Powder Coat**
Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGIC polyester powder coat
 - Stainless**
Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.
- MOUNT OPTIONS**
- Surface**
Foot Mount has two 2.5" x 6" x .25" feet with two anchors per foot. Specify foot mount for this option. Tamper-resistant fasteners available upon request.
 - In-Ground**
In-ground mount is embedded into concrete base. Specify in-ground mount for this option.
 - Rail**
Rail Mounted Downtown Racks are bolted to two parallel rails which can be left freestanding or anchored to the ground. Rails are heavy duty 3" x 14" x 3/16" thick galvanized mounting rails. Specify rail mount for this option.



OPTIONAL LEAN BAR Add Lean Bar





189 WALNUT AVENUE
SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217

841 CAPITOLA ROAD
841 CAPITOLA ROAD
SANTA CRUZ, CA 95062



ISSUES/ REVISIONS		
Issue	DESCRIPTION	DATE
0	SB330	03.18.24
1	SB 35 APP (WITHDRAWN)	7.3.24
2	DISCRETIONARY PLANNING APP	9.30.24
3	PLANNING SUBMITTAL 02	1.30.2025
4	PLANNING REV-02B	3.17.2025
5	PLANNING REVISION 3	5.5.2025

APN number	026-491-40
Project number	21110
Print Date	05.23.25
Drawn by	LB
Checked by	EB
Scale	As indicated

All drawings and written material appearing herein constitute original and unpublished work of Workbench, Inc. and may not be duplicated, used or disclosed without written consent of the Workbench, Inc.

LIGHTING PLAN
AP9.02

LIGHTING PLAN NOTES

- SEE G SHEETS FOR GENERAL NOTES AND PROJECT INFORMATION.
- SEE PLANS FOR ROOM NAMES.
- SEE SURVEY FOR PROPOSED PARCEL DIMENSIONS.
- SEE LANDSCAPE AND CIVIL DRAWINGS FOR ELEVATIONS, MATERIALS, DETAILS, DIMENSIONS AND PLANTING AREAS AT SIDEWALKS.
- SEE LIGHTING FIXTURE SCHEDULE FOR PRELIMINARY PROPOSED LIGHT FIXTURE STYLES AND FINISHES, FINAL SELECTIONS TO BE PROVIDED IN THE BUILDING PERMIT STAGE.
- FINAL LIGHTING PLAN WILL BE COORDINATED WITH SITE PHOTOMETRIC STUDIES PROVIDED BY A LIGHTING / ELECTRICAL ENGINEER.


PRELIMINARY LIGHTING
FIXTURE SCHEDULE




F1 ●
FENCE / GATE MOUNTED SCONCE LIGHT
B.O.D.: dweLED MOD LED WALL SCONCE
FINISH : DARK BRONZE



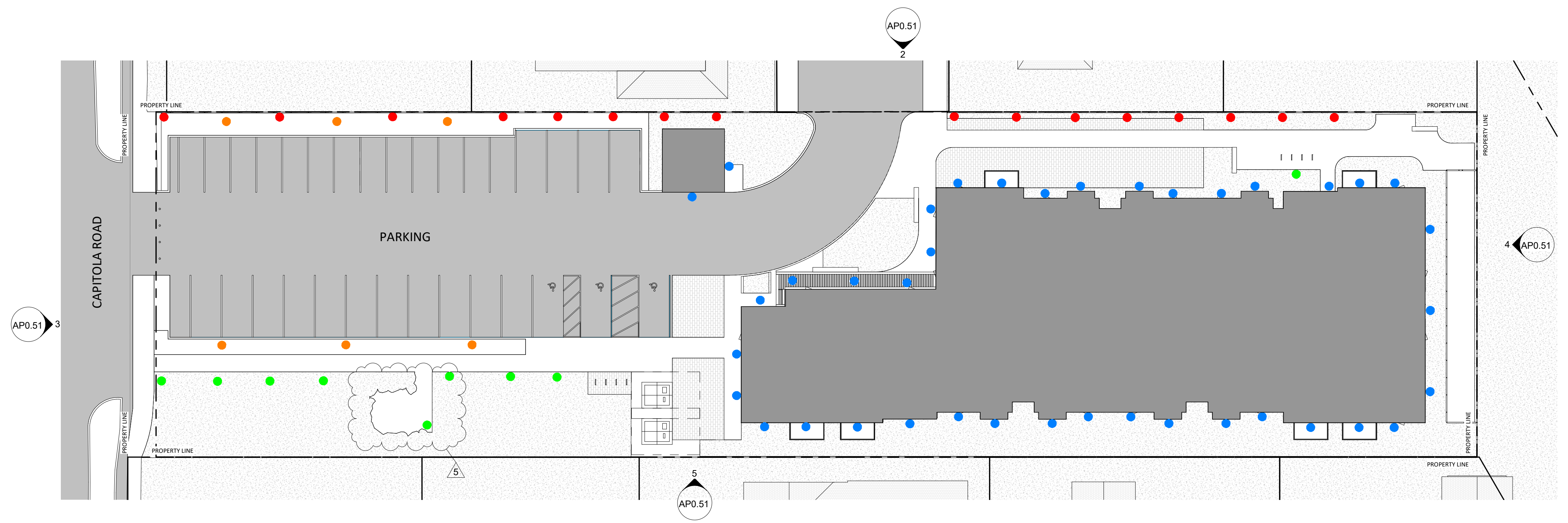
F2 ●
WALL MOUNTED SCONCE LIGHT
B.O.D.: dweLED MOD LED WALL SCONCE
FINISH : DARK BRONZE



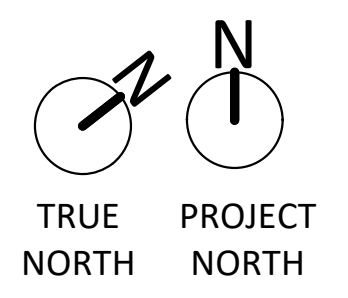
F3 ●
BOLLARD
B.O.D.: BEGA LED BOLLARD
FINISH : DARK BRONZE
NIGHT SKY APPROVED



F4 ●
POLE LIGHT
B.O.D.: BEGA LED POLE LIGHT
FINISH : DARK BRONZE
NIGHT SKY APPROVED



1 LIGHTING PLAN
1" = 20'-0"

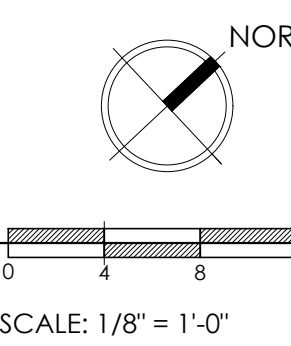


THIS SHEET TO BE PRINTED AT

WATER EFFICIENT LANDSCAPE ORDINANCE COMPLIANT
UPON BUILDING DEPARTMENT SUBMITTAL THE PLANTING IRRIGATION PLANS SHALL COMPLY WITH THE COUNTY OF SAN DIEGO WATER EFFICIENT LANDSCAPE ORDINANCE, MUNICIPAL CHAPTER 13.11, AND SHALL INCLUDE HYDROZONING DELTA WATER USE CALCULATION WATERING SCHEDULE.

841 CAPITOLA ROAD

841 CAPITOLA ROAD
SANTA CRUZ, CA 95061
APN: 026-491-4



PLAN REVISIONS

SB 330	
SB 35 APP (WITHDRAWN)	
DISCR. PLANNING APP	
PLANNING SUBMITTAL 02	
PLANNING REV-02B	
PLANNING REV-03	

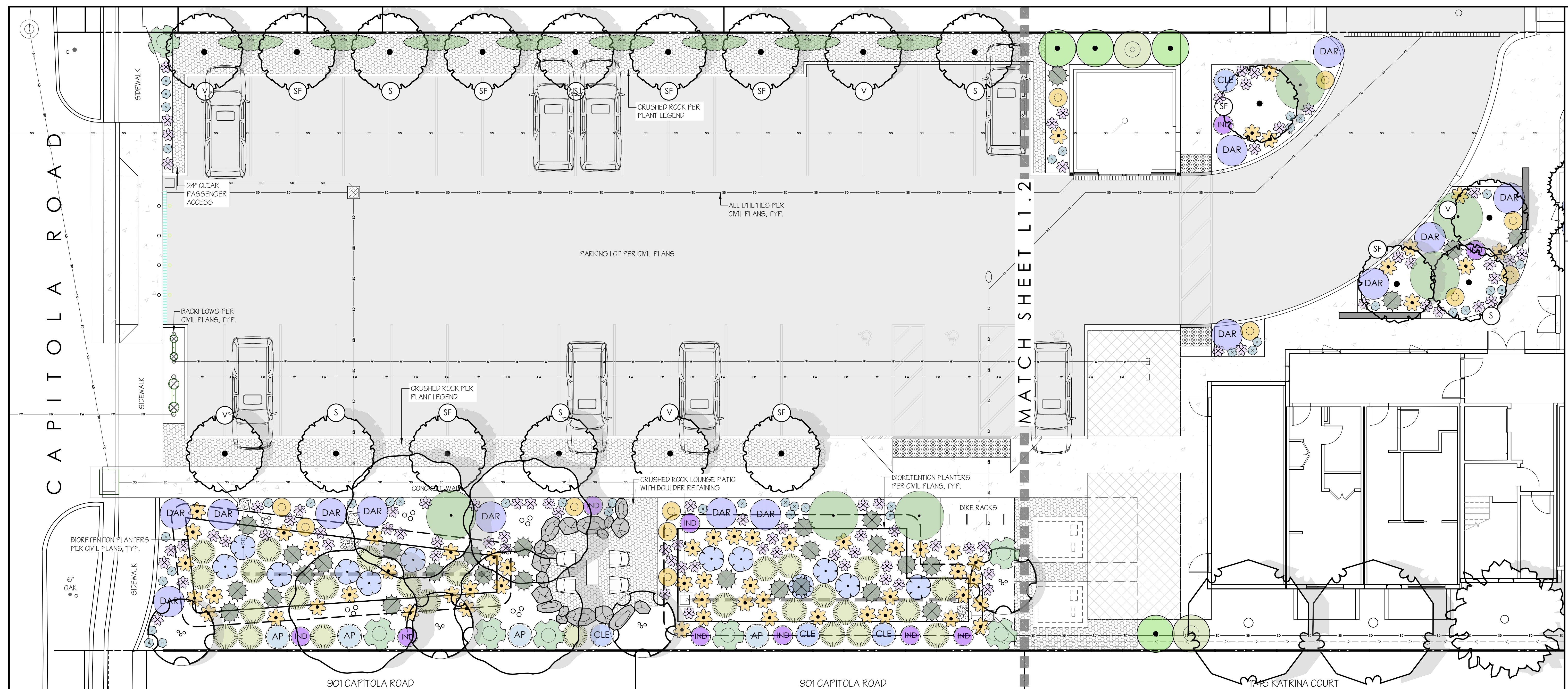
DATE: 5/5/2020
JOB: 2212

SHEET TITLE

SITE LANDSCAPE PLAN

SHEET NUMBER

L1.1



PLANT LEGEND

TREES	BOTANICAL NAME / COMMON NAME	SIZE	QTY	MATURE HT/WIDTH	WUCOLS
OS	ACER PALMATUM 'OSAKAZUKI' / OSAKAZUKI JAPANESE MAPLE	15 GAL	1	20' X 20'	M
W	ACER PALMATUM 'WOLFF' / EMPEROR 1 JAPANESE MAPLE	15 GAL	4	15' X 15'	M
SF	**ARCTOSTAPHYLOS 'DR. HURD' / MANZANITA (LIMBED TO TREE)	15 GAL	10	12' X 12'	L
S	CORNUS KOUSA 'SUMMER FUN' / SUMMER FUN DOGWOOD TREE STANDARD TRUNK	15 GAL	5	20' X 15'	M
V	CORNUS KOUSA 'SATOMI' / SATOMI DOGWOOD TREE STANDARD TRUNK	15 GAL	3	20' X 12'	M
	CORNUS VENUS / VENUS DOGWOOD TREE STANDARD TRUNK	15 GAL	3	20' X 15'	M
	LAGERSTROEMIA INDICA 'ZUNI' / PURPLE CRAFT MYRTLE	15 GAL	4	9' X 8'	L
	**LYONOTHAMNUS FLORIBUNDUS SSP. ASPLENIFOLIUS FERN-LEAF CATALINA IRONWOOD	15 GAL	6	30' X 25'	L
	**UMBELLULARIA CALIFORNICA / CALIFORNIA LAUREL	15 GAL	4	20' X 18'	L
	**QUERCUS AGRIFOLIA / COAST LIVE OAK SEE PLANTING NOTE #6	24" BX	4	40' X 40'	L

SHRUBS AND PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	QTY	MATURE HT/WIDTH	WUCOLS
	**ACHILLEA 'LAVENDER BEAUTY' / LIGHT PURPLE YARROW	1 GAL	72	2' X 3'	L
	**ACHILLEA MILLEFOLIUM 'TERRA COTTA' / ORANGE YARROW	1 GAL	56	2' X 4'	L
	**ARCTOSTAPHYLOS 'PACIFIC MIST' / MANZANITA	5 GAL	7	2' X 10'	L
	**ARCTOSTAPHYLOS 'SUNSET' / MANZANITA	5 GAL	10	3' X 5'	L
	**CLINOPODIUM DOUGLASSII / YERBA BUENA	1 GAL	14	6" X 3"	L
	**DUDLEYA BRITTONI	3 GAL	12	1' X 1'	L
	**HELOCHERA MAXIMA / ISLAND ALUM ROOT	1 GAL	18	2.5' X 2.5'	M
	**MIMULUS AURANTIACUS / STICKY MONKEY FLOWER	1 GAL	9	2.5' X 2.5'	VL
	**POLYSTICHUM MUNITUM / WESTERN SWORD FERN	5 GAL	10	4' X 4'	M
	PITTOSPORUM TENUIFOLIUM SILVER SHEEN	5 GAL	3	10' X 6'	L

SHRUBS AND PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	QTY	MATURE HT/WIDTH	WUCOLS
	PITTOSPORUM TENUIFOLIUM 'SILVER MAGIC'	15 GAL	3	12' X 6'	L
	PITTOSPORUM TENUIFOLIUM	15 GAL	1	15' X 10'	L
	PRUNUS LAUROCERASUS / ENGLISH LAUREL	1 GAL	4	15' X 10'	M
	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / ROSEMARY	1 GAL	6	15' X 4'	L
	**SALVIA 'DARA'S CHOICE' / DARA'S CHOICE SAGE	1 GAL	20	15' X 6'	L
	**SALVIA AFIANA / WHITE SAGE	1 GAL	5	4' X 4'	VL
	**SALVIA CLEVELANDII / CLEVELAND SAGE	1 GAL	6	4' X 4'	L
	**SALVIA INDIGO SPIRES' / INDIGO SAGE	1 GAL	12	4' X 3'	L
	**SALVIA SFATHACEA / HUMMINGBIRD SAGE	1 GAL	7	2' X 3'	L
	**STACHYS BYZANTINA / LAMB'S EARS	1 GAL	75	1' X 15'	L
	**WOODWARDIA FIMBRATA / GIANT CHAIN FERN	1 GAL	48	4' X 4'	M

GRASSES	BOTANICAL NAME / COMMON NAME	SIZE	QTY	MATURE HT/WIDTH	WUCOLS
	CHONDROPETALUM TECTORUM / CAPE RUSH	1 GAL	30	3' X 3'	L
	**MULLENBERGIA RIGENS / DEERGRASS	5 GAL	29	4' X 4'	L

VINES	BOTANICAL NAME / COMMON NAME	SIZE	QTY	MATURE HT/WIDTH	WUCOLS
	PANDOREA JASMINOIDES 'LADY DI' / WHITE BOWER VINE	5 GAL	14	15' X 15'	M
	VITIS CALIFORNICA / CALIFORNIA WILD GRAPE	5 GAL	2	10' X 10'	L

GROUND COVER	DESCRIPTION MATURE	SIZE	QTY
	3" LAYER GOLD DECOMPOSED GRANITE 1/4" INSTALL WEED BARRIER BENEATH	3/8"	1,408 SF

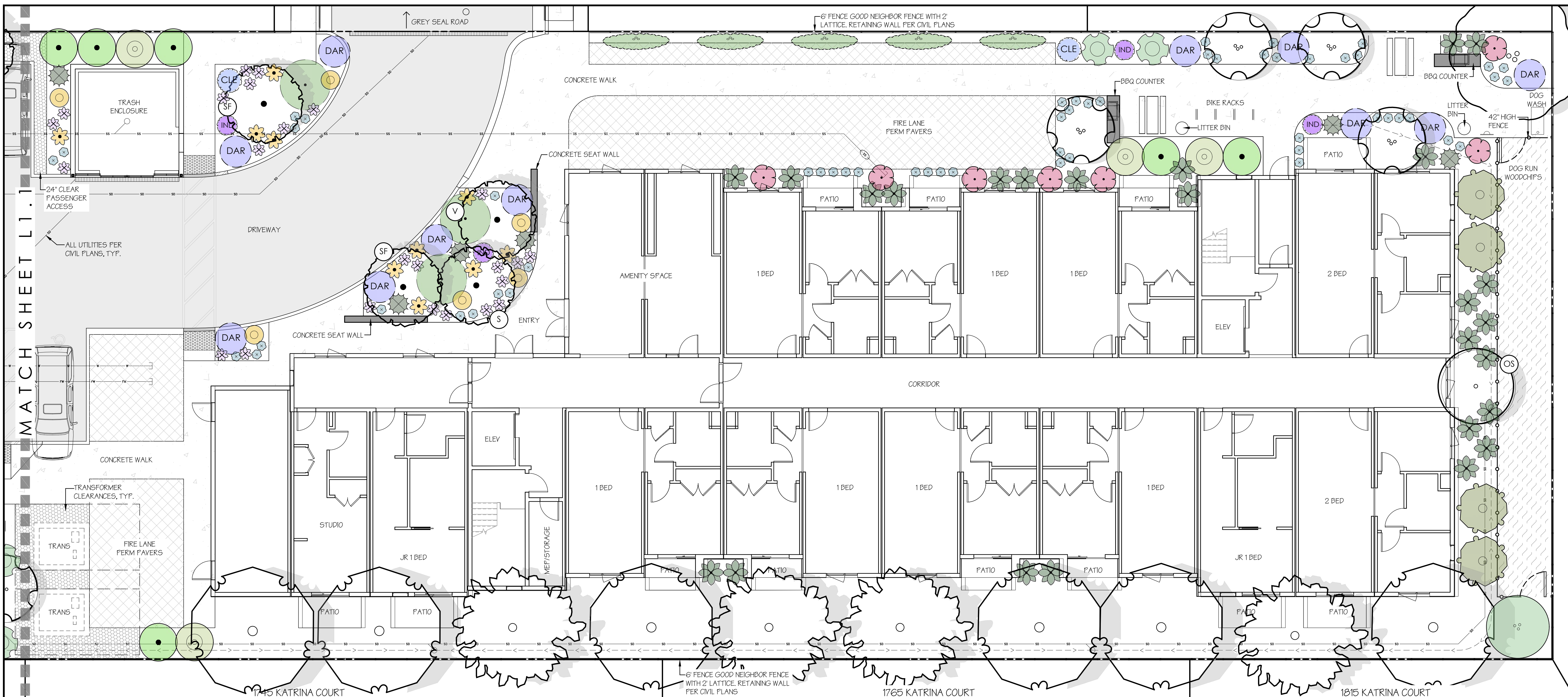
** = CALIFORNIA NATIVE PLANT

PLANTING NOTES

- TOTAL LANDSCAPED AREA = 8,475 SF
- SOIL TO BE TESTED BY ACCREDITED SOIL TESTING LABORATORY. CONTRACTOR SHALL THOROUGHLY INCORPORATE SOIL ADDITIVES AND FERTILIZERS IN ALL PLANTING AREAS AT RATES AND DEPTHS RECOMMENDED BY SOILS LAB. SOIL SHALL BE TILLED TO A DEPTH OF 6" AND AMENDED WITH RECOMMENDED PRODUCTS TO PROMOTE INFILTRATION AND WATER RETENTION. ALL SOIL SHALL BE CLEAR OF DEBRIS AND CONSTRUCTION SOILS.
- SOIL MIX IN BIORETENTION AREAS SHALL BE A HOMOGENEOUS MIX OF 60-70% FINE SAND (MEETING ASTM D422 OR CALTRANS TEST METHOD C202) AND 30-40% WEED-FREE, MANURE-FREE, STABLE COMPOST. NOTE: ALL SANDS COMPLYING WITH ASTM C33 FOR FINE AGGREGATE COMPLY WITH SIEVE SIZE/GRADATION REQUIREMENTS. THE SOIL MIX/MEDIA TO BE USED IN BIORETENTION/RAIN GARDEN AREAS SHALL HAVE A MINIMUM INFILTRATION RATE OF 5 IN/HR. PREVIOUSLY: ASTM C33 STANDARDS
- ALL PLANT MATERIAL IN BIORETENTION AREA PER CENTRAL CALIFORNIA COAST TECHNICAL ASSISTANCE MEMO (TAM) LID PLANT GUIDANCE FOR BIORETENTION DO NOT ADD FERTILIZERS IN BIORETENTION AREAS. MULCH LAYER TO BE 1-2" THICK COMPOST MULCH THAT WILL NOT FLOAT.
- ALL OTHER PLANTING ON SITE TO RECEIVE A 3" THICK LAYER OF BARK MULCH EQUAL TO REDWOOD, FIR, CEDAR, OR A COMBINATION OF THESE. THE COMPOSITION OF THE MULCH SHALL BE A MIX OF SHREDDED BARK, WOOD AND SAWDUST, 0-4"; NO GORILLA HAIR SHALL BE USED.
- PREFERABLY AND IF FEASIBLE, QUERCUS AGRIFOLIA PER PLAN TO BE TRANSPLANTED SITE SEEDLINGS FROM THE NORTHWEST AND NORTHEAST PORTION OF THE SITE. IF NO SUITABLE SEEDLINGS ARE FEASIBLY TRANSPLANTABLE, NEW QUERCUS AGRIFOLIA PER LEGEND TO BE USED.
- ALL PLANTERS ON LEVEL 5 TO RECEIVE CLEAN POTTING SOIL AND DRIP IRRIGATION.
- THE INSTALLED LANDSCAPE SHALL BE MAINTAINED FREE OF INVASIVE PLANTS.
- MULCH STOCKPILES: LOCATE AND STORE MULCH IN A WAY THAT PREVENTS DISCHARGE TO THE STORM DRAIN SYSTEM.

PRELIMINARY IRRIGATION NOTES

- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- ALL NEW TREES TO RECEIVE TWO (2) TREE BUBBLERS TO BE EQUAL TO: HUNTER KZWS-18-50-CV (0.5 GPM) TREE ROOT BUBBLERS 18" DEEP
 - ALL NEW PERENNIALS, SHRUBS AND PLANTER POTS TO RECEIVE DRIP (POINT-SOURCE) EMITTERS EQUAL TO: HUNTER HE-B SINGLE OUTLET WITH SCREEN
 - DRIP VALVES SHALL BE EQUAL TO HUNTER IC2-101 - BELOW GRADE IN VALVE BOXES (FOUR IN ONE VALVE BOX).
 - LOCATE EQUIPMENT IN NEAREST ADJACENT PLANTERS AS FEASIBLE AND INDICATE EXACT LOCATION ON AS-BUILT DRAWINGS. DRAWINGS TO INCLUDE ALL IRRIGATION VALVES, MAIN LINES, LATERALS, AND HYDROZONES.
 - CONTRACTOR SHALL USE EXTREME CARE WHERE IT IS NECESSARY TO TRENCH NEAR EXISTING TREES. EXCAVATION IN AREAS EXHIBITING ROOTS 2" AND LARGER SHALL BE DONE BY HAND. ROOTS 1" OR LARGER IN DIAMETER DAMAGED IN CONSTRUCTION SHALL BE CLEANLY CUT AND NOT LEFT IN A RAGGED CONDITION. TREE ROOTS SHALL BE COVERED WITH WET BURLAP WHILE EXPOSED.
 - NO POTABLE WATER SHALL BE APPLIED DURING AND WITHIN 48 HOURS FOLLOWING MEASURABLE RAINFALL
 - IRRIGATION SYSTEM SHALL BE INSPECTED REGULARLY FOR LEAKS, MISALIGNED HEADS AND BAD VALVES. BROKEN EQUIPMENT SHALL BE REPAIRED PROMPTLY WITH IDENTICAL OR EQUIVALENT EQUIPMENT, AND WATERING SCHEDULES SHALL BE ADJUSTED TO REFLECT VARIATIONS IN WATER NEED BASED ON SEASON OR PLANT MATURITY.
 - PROGRAMMING OF THE NEW CONTROLLER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE. IT IS THE RESPONSIBILITY OF THE OWNER TO MAKE ADJUSTMENTS IN THE PROGRAM FOR SEASONAL WEATHER CHANGES AND MICROCLIMATIC VARIATIONS. THIS WATERING SCHEDULE IS INTENDED AS A GUIDE ONLY. ACTUAL WATER USE WILL VARY DURING THE YEAR DEPENDING ON WEATHER AND INDIVIDUAL SITE CONDITIONS. WATCH PLANTS FOR ANY STRESS AND IMMEDIATELY ADJUST SCHEDULE ACCORDINGLY. CONTRACTOR TO PROVIDE TRAINING TO OWNER'S REPRESENTATIVE FOR IRRIGATION PROGRAMMING. PROGRAMMING GUIDE SHOULD BE INCLUDED WITH CLOSEOUT DOCUMENTS.



MATCH SHEET L1.1

PLANT LEGEND

TREES	BOTANICAL NAME / COMMON NAME	SIZE	QTY	MATURE HT/WIDTH	WUCOLS
OS	ACER PALMATUM 'OSAKAZUKI' / OSAKAZUKI JAPANESE MAPLE	15 GAL	1	20' X 20'	M
W	ACER PALMATUM 'WOLFF' / EMPEROR 1 JAPANESE MAPLE	15 GAL	4	15' X 15'	M
SF	**ARCTOSTAPHYLOS 'DR. HURD' / MANZANITA (LIMBED TO TREE)	15 GAL	10	12' X 12'	L
S	CORNUS KOUSA 'SUMMER FUN' / SUMMER FUN DOGWOOD TREE STANDARD TRUNK	15 GAL	5	20' X 15'	M
V	CORNUS KOUSA 'SATOMI' / SATOMI DOGWOOD TREE STANDARD TRUNK	15 GAL	3	20' X 12'	M
	CORNUS VENUS' / VENUS DOGWOOD TREE STANDARD TRUNK	15 GAL	3	20' X 15'	M
	LAGERSTROEMIA INDICA 'ZUNI' / PURPLE CRAPE MYRTLE	15 GAL	4	9' X 8'	L
	**LYONOTHAMNUS FLORIBUNDUS S.S.P. ASPLENIFOLIUS FERN-LEAF CATALINA IRONWOOD	15 GAL	6	30' X 25'	L
	**UMBELLULARIA CALIFORNICA / CALIFORNIA LAUREL	15 GAL	4	20' X 18'	L
	**QUERCUS AGRIFOLIA / COAST LIVE OAK SEE PLANTING NOTE #6	24" BX	4	40' X 40'	L
SHRUBS AND PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	QTY	MATURE HT/WIDTH	WUCOLS
	**ACHILLEA 'LAVENDER BEAUTY' / LIGHT PURPLE YARROW	1 GAL	72	2' X 3'	L
	**ACHILLEA MILLEFOLIUM 'TERRA COTTA' / ORANGE YARROW	1 GAL	56	2' X 4'	L
	**ARCTOSTAPHYLOS 'PACIFIC MIST' / MANZANITA	5 GAL	7	2' X 10'	L
	**ARCTOSTAPHYLOS 'SUNSET' / MANZANITA	5 GAL	10	3' X 5'	L
	**CLINOPODIUM DOUGLASSII / YERBA BUENA	1 GAL	14	6" X 3"	L
	**DUDLEYA BRITTONI	3 GAL	12	1' X 1'	L
	**HEUCHERA MAXIMA / ISLAND ALLUM ROOT	1 GAL	18	2.5' X 2.5'	M
	**MIMULUS AURANTIACUS / STICKY MONKEY FLOWER	1 GAL	9	2.5' X 2.5'	VL
	**POLYSTICHUM MUNIUM / WESTERN SWORD FERN	5 GAL	10	4' X 4'	M
	PITTOSPORUM TENUIFOLIUM SILVER SHEEN	5 GAL	3	10' X 6'	L
SHRUBS AND PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	QTY	MATURE HT/WIDTH	WUCOLS
DAR	PITTOSPORUM TENUIFOLIUM 'SILVER MAGIC'	15 GAL	3	12' X 6'	L
	PITTOSPORUM TENUIFOLIUM	15 GAL	1	15' X 10'	L
	PRUNUS LAUROCERASUS / ENGLISH LAUREL	1 GAL	4	15' X 10'	M
AP	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / ROSEMARY	1 GAL	6	15' X 4'	L
	**SALVIA 'DARA'S CHOICE' / DARA'S CHOICE SAGE	1 GAL	20	15' X 6'	L
	**SALVIA AFIANA / WHITE SAGE	1 GAL	5	4' X 4'	VL
CLE	**SALVIA CLEVELANDII / CLEVELAND SAGE	1 GAL	6	4' X 4'	L
IND	**SALVIA INDIGO SPIRES' / INDIGO SAGE	1 GAL	12	4' X 3'	L
	**SALVIA SFATHACEA / HUMMINGBIRD SAGE	1 GAL	7	2' X 3'	L
	**STACHYS BYZANTINA / LAMB'S EARS	1 GAL	75	1' X 15'	L
	**WOODWARDIA FIMBRIATA / GIANT CHAIN FERN	1 GAL	48	4' X 4'	M
GRASSES	BOTANICAL NAME / COMMON NAME	SIZE	QTY	MATURE HT/WIDTH	WUCOLS
	CHONDROPETALUM TECTORIUM / CAPE RUSH	1 GAL	30	3' X 3'	L
	**MULLENBERGIA RIGENS / DEERGRASS	5 GAL	29	4' X 4'	L
VINES	BOTANICAL NAME / COMMON NAME	SIZE	QTY	MATURE HT/WIDTH	WUCOLS
	PANDOREA JASMINOIDES 'LADY DI' / WHITE BOWER VINE	5 GAL	14	15' X 15'	M
X	VITIS CALIFORNICA / CALIFORNIA WILD GRAPE	5 GAL	2	10' X 10'	L
GROUND COVER	DESCRIPTION MATURE	SIZE	QTY		
	3" LAYER GOLD DECOMPOSED GRANITE 1/4" INSTALL WEED BARRIER BENEATH	3/8"	1,408 SF		

** = CALIFORNIA NATIVE PLANT

PLANTING NOTES

- TOTAL LANDSCAPED AREA = 8,475 SF
- SOIL TO BE TESTED BY ACCREDITED SOIL TESTING LABORATORY. CONTRACTOR SHALL THOROUGHLY INCORPORATE SOIL ADDITIVES AND FERTILIZERS IN ALL PLANTING AREAS AT RATES AND DEPTHS RECOMMENDED BY SOILS LAB. SOIL SHALL BE TILLED TO A DEPTH OF 6" AND AMENDED WITH RECOMMENDED PRODUCTS TO PROMOTE INFILTRATION AND WATER RETENTION. ALL SOIL SHALL BE CLEAR OF DEBRIS AND CONSTRUCTION SPOILS.
- SOIL MIX IN BIORETENTION AREAS SHALL BE A HOMOGENEOUS MIX OF 60-70% FINE SAND (MEETING ASTM D422 OR CALTRANS TEST METHOD C202) AND 30-40% WEED-FREE, MANURE-FREE, STABLE COMPOST. NOTE: ALL SANDS COMPLYING WITH ASTM C33 FOR FINE AGGREGATE COMPLY WITH SIEVE SIZE/GRADATION REQUIREMENTS. THE SOIL MIX/MEDIA TO BE USED IN BIORETENTION/RAIN GARDEN AREAS SHALL HAVE A MINIMUM INFILTRATION RATE OF 5 IN/HR. PREVIOUSLY: ASTM C33 STANDARDS
- ALL PLANT MATERIAL IN BIORETENTION AREA PER CENTRAL CALIFORNIA COAST TECHNICAL ASSISTANCE MEMO (TAM) LID PLANT GUIDANCE FOR BIORETENTION DO NOT ADD FERTILIZERS IN BIORETENTION AREAS. MULCH LAYER TO BE 1-2" THICK COMPOST MULCH THAT WILL NOT FLOAT.
- ALL OTHER PLANTING ON SITE TO RECEIVE A 3" THICK LAYER OF BARK MULCH EQUAL TO REDWOOD, FIR, CEDAR, OR A COMBINATION OF THESE. THE COMPOSITION OF THE MULCH SHALL BE A MIX OF SHREDDED BARK, WOOD AND SAWDUST, 0-4"; NO GORILLA HAIR SHALL BE USED.
- PREFERABLY AND IF FEASIBLE, QUERCUS AGRIFOLIA PER PLAN TO BE TRANSPLANTED SITE SEEDLINGS FROM THE NORTHWEST AND NORTHEAST PORTION OF THE SITE. IF NO SUITABLE SEEDLINGS ARE FEASIBLY TRANSPLANTABLE, NEW QUERCUS AGRIFOLIA PER LEGEND TO BE USED.
- ALL PLANTERS ON LEVEL 5 TO RECEIVE CLEAN POTTING SOIL AND DRIP IRRIGATION.
- THE INSTALLED LANDSCAPE SHALL BE MAINTAINED FREE OF INVASIVE PLANTS.
- MULCH STOCKPILES: LOCATE AND STORE MULCH IN A WAY THAT PREVENTS DISCHARGE TO THE STORM DRAIN SYSTEM.

PRELIMINARY IRRIGATION NOTES

- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- ALL NEW TREES TO RECEIVE TWO (2) TREE BUBBLERS TO BE EQUAL TO: HUNTER KZWS-18-50-CV (0.5 GPM) TREE ROOT BUBBLERS 18" DEEP
 - ALL NEW PERENNIALS, SHRUBS AND PLANTER POTS TO RECEIVE DRIP (POINT-SOURCE) EMITTERS EQUAL TO: HUNTER HE-B SINGLE OUTLET WITH SCREEN
 - DRIP VALVES SHALL BE EQUAL TO HUNTER IC2-101 - BELOW GRADE IN VALVE BOXES (FOUR IN ONE VALVE BOX).
 - LOCATE EQUIPMENT IN NEAREST ADJACENT PLANTERS AS FEASIBLE AND INDICATE EXACT LOCATION ON AS-BUILT DRAWINGS. DRAWINGS TO INCLUDE ALL IRRIGATION VALVES, MAIN LINES, LATERALS, AND HYDROZONES.
 - CONTRACTOR SHALL USE EXTREME CARE WHERE IT IS NECESSARY TO TRENCH NEAR EXISTING TREES. EXCAVATION IN AREAS EXHIBITING ROOTS 2" OR LARGER SHALL BE DONE BY HAND. ROOTS 1" OR LARGER IN DIAMETER DAMAGED IN CONSTRUCTION SHALL BE CLEANLY CUT AND NOT LEFT IN A RAGGED CONDITION. TREE ROOTS SHALL BE COVERED WITH WET BURLAP WHILE EXPOSED.
 - NO POTABLE WATER SHALL BE APPLIED DURING AND WITHIN 48 HOURS FOLLOWING MEASURABLE RAINFALL
 - IRRIGATION SYSTEM SHALL BE INSPECTED REGULARLY FOR LEAKS, MISALIGNED HEADS AND BAD VALVES. BROKEN EQUIPMENT SHALL BE REPAIRED PROMPTLY WITH IDENTICAL OR EQUIVALENT EQUIPMENT, AND WATERING SCHEDULES SHALL BE ADJUSTED TO REFLECT VARIATIONS IN WATER NEED BASED ON SEASON OR PLANT MATURITY.
 - PROGRAMMING OF THE NEW CONTROLLER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE. IT IS THE RESPONSIBILITY OF THE OWNER TO MAKE ADJUSTMENTS IN THE PROGRAM FOR SEASONAL WEATHER CHANGES AND MICROCLIMATIC VARIATIONS. THIS WATERING SCHEDULE IS INTENDED AS A GUIDE ONLY. ACTUAL WATER USE WILL VARY DURING THE YEAR DEPENDING ON WEATHER AND INDIVIDUAL SITE CONDITIONS. WATCH PLANTS FOR ANY STRESS AND IMMEDIATELY ADJUST SCHEDULE ACCORDINGLY. CONTRACTOR TO PROVIDE TRAINING TO OWNER'S REPRESENTATIVE FOR IRRIGATION PROGRAMMING. PROGRAMMING GUIDE SHOULD BE INCLUDED WITH CLOSEOUT DOCUMENTS.

mbL
megan bi
LANDSCAPE ARCHITECT

po box 328 aptos, ca
(831) 818-9227
www.mb-landarch.com

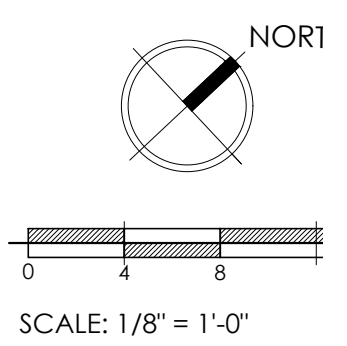
LICENSED LANDSCAPE ARCHITECT
MEGAN BLENCOWE BROWN
NO. 5706
Exp. 4/11/26
STATE OF CALIFORNIA

THIS SHEET TO BE PRINTED AT

WATER EFFICIENT LAND ORDINANCE COMPLIANCE
UPON BUILDING DEPARTMENT SUBMITTAL, THE PLANNING IRRIGATION PLANS SHALL COMPLY WITH THE COUNTY OF SANTA CRUZ WATER EFFICIENT LANDSCAPE ORDINANCE, MUNICIPAL CHAPTER 13.11, AND SHALL INCLUDE HYDROZONE DELINEATION AND WATER USE CALCULATION WATERING SCHEDULE.

841 CAPITOLA ROAD

841 CAPITOLA ROAD
SANTA CRUZ, CA 95062
APN: 026-491-14



PLAN REVISIONS

SB 330	
SB 35 APP (WITHDRAWN)	
DISCR. PLANNING APP	
PLANNING SUBMITTAL 02	
PLANNING REV-02B	
PLANNING REV-03	

DATE: 5/5/2020
JOB: 2212

SHEET TITLE
SITE LANDSCAPE PLAN

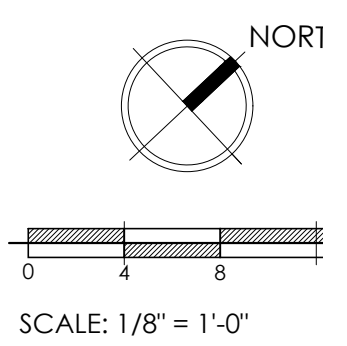
SHEET NUMBER
L1.2

THIS SHEET TO BE PRINTED 7

WATER EFFICIENT LAND ORDINANCE COMPLIANCE
UPON BUILDING DEPARTMENT SUBMITTAL, THE PLANTING IRRIGATION PLANS SHALL COMPLY WITH THE COUNTY OF SAN DIEGO WATER EFFICIENT LANDSCAPE ORDINANCE, MUNICIPAL CHAPTER 13.11, AND SHALL INCLUDE HYDROZONE DELINEATION, WATER USE CALCULATION AND WATERING SCHEDULE.

841 CAPITOLA ROAD

841 CAPITOLA ROAD
SANTA CRUZ, CA 95062
APN: 026-491-1-4



PLAN REVISIONS

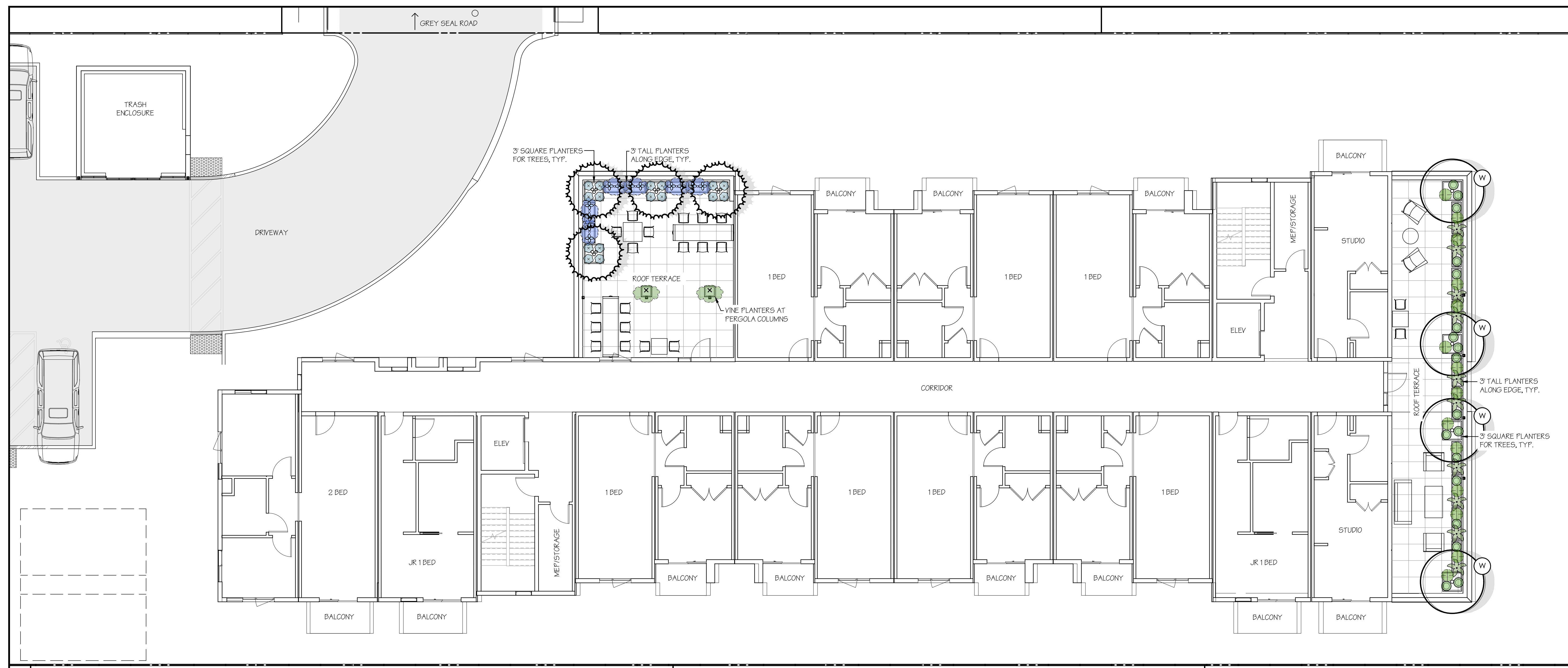
SB 330
SB 35 APP (WITHDRAWN)
DISCR. PLANNING APP
PLANNING SUBMITTAL 02
PLANNING REV-02B
PLANNING REV-03

DATE: 5/5/2020
JOB: 2212

SHEET TITLE
LEVEL 5 LANDSCAPE

SHEET NUMBER

L2.2



1745 KATRINA COURT

1765 KATRINA COURT

1815 KATRINA COURT

PLANT LEGEND

TREES	BOTANICAL NAME / COMMON NAME	SIZE	QTY	MATURE HT/WIDTH	WUCOLS
OS	ACER PALMATUM 'OSAKAZUKI' / OSAKAZUKI JAPANESE MAPLE	15 GAL	1	20' X 20'	M
W	ACER PALMATUM 'WOLFF' / EMPEROR 1 JAPANESE MAPLE	15 GAL	4	15' X 15'	M
	**ARCTOSTAPHYLOS 'DR. HURD' / MANZANITA (LIMBED TO TREE)	15 GAL	10	12' X 12'	L
SF	CORNUS KOUSA 'SUMMER FUN' / SUMMER FUN DOGWOOD TREE STANDARD TRUNK	15 GAL	5	20' X 15'	M
S	CORNUS KOUSA 'SATOMI' / SATOMI DOGWOOD TREE STANDARD TRUNK	15 GAL	3	20' X 12'	M
V	CORNUS VENUS' / VENUS DOGWOOD TREE STANDARD TRUNK	15 GAL	3	20' X 15'	M
	LAGERSTROEMIA INDICA 'ZUNI' / PURPLE CRAPE MYRTLE	15 GAL	4	9' X 8'	L
	**LYONOTHAMNUS FLORIBUNDUS S.S.P. ASPLENIFOLIUS FERN-LEAF CATALINA IRONWOOD	15 GAL	6	30' X 25'	L
	**UMBELLULARIA CALIFORNICA / CALIFORNIA LAUREL	15 GAL	4	20' X 18'	L
	**QUERCUS AGRIFOLIA / COAST LIVE OAK SEE PLANTING NOTE #6	24" BX	4	40' X 40'	L
SHRUBS AND PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	QTY	MATURE HT/WIDTH	WUCOLS
	**ACHILLEA 'LAVENDER BEAUTY' / LIGHT PURPLE YARROW	1 GAL	72	2' X 3'	L
	**ACHILLEA MILLEFOLIUM 'TERRA COTTA' / ORANGE YARROW	1 GAL	56	2' X 4'	L
	**ARCTOSTAPHYLOS 'PACIFIC MIST' / MANZANITA	5 GAL	7	2' X 10'	L
	**ARCTOSTAPHYLOS 'SUNSET' / MANZANITA	5 GAL	10	3' X 5'	L
	**CLINOPODIUM DOUGLASSII / YERBA BUENA	1 GAL	14	6" X 3'	L
	**DUDLEYA BRITTONI	3 GAL	12	1' X 1'	L
	**HEUCHERA MAXIMA / ISLAND ALLUM ROOT	1 GAL	18	2.5' X 2.5'	M
	**MIMULUS AURANTIACUS / STICKY MONKEY FLOWER	1 GAL	9	2.5' X 2.5'	VL
	**POLYSTICHUM MUNITUM / WESTERN SWORD FERN	5 GAL	10	4' X 4'	M
	PITTOSPORIUM TENUIFOLIUM SILVER SHEEN	5 GAL	3	10' X 6'	L
SHRUBS AND PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	QTY	MATURE HT/WIDTH	WUCOLS
	PITTOSPORIUM TENUIFOLIUM 'SILVER MAGIC'	15 GAL	3	12' X 6'	L
	PITTOSPORIUM TENUIFOLIUM	15 GAL	1	15' X 10'	L
	PRUNUS LAUROCERASUS / ENGLISH LAUREL	1 GAL	4	15' X 10'	M
	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / ROSEMARY	1 GAL	6	15' X 4'	L
DAR	**SALVIA 'DARA'S CHOICE' / DARA'S CHOICE SAGE	1 GAL	20	15' X 6'	L
AP	**SALVIA AFIANA / WHITE SAGE	1 GAL	5	4' X 4'	VL
CLE	**SALVIA CLEVELANDII / CLEVELAND SAGE	1 GAL	6	4' X 4'	L
IND	**SALVIA INDIGO SPIRES' / INDIGO SAGE	1 GAL	12	4' X 3'	L
	**SALVIA SFATHACEA / HUMMINGBIRD SAGE	1 GAL	7	2' X 3'	L
	**STACHYS BYZANTINA / LAMB'S EARS	1 GAL	75	1' X 15'	L
	**WOODWARDIA FIMBRIATA / GIANT CHAIN FERN	1 GAL	48	4' X 4'	M
GRASSES	BOTANICAL NAME / COMMON NAME	SIZE	QTY	MATURE HT/WIDTH	WUCOLS
	CHONDROPETALUM TECTORUM / CAPE RUSH	1 GAL	30	3' X 3'	L
	**MULLENBERGIA RIGENS / DEERGRASS	5 GAL	29	4' X 4'	L
VINES	BOTANICAL NAME / COMMON NAME	SIZE	QTY	MATURE HT/WIDTH	WUCOLS
	PANDOREA JASMINOIDES 'LADY DI' / WHITE BOWER VINE	5 GAL	14	15' X 15'	M
X	VITIS CALIFORNICA / CALIFORNIA WILD GRAPE	5 GAL	2	10' X 10'	L
GROUND COVER	DESCRIPTION MATURE	SIZE	QTY		
	3" LAYER GOLD DECOMPOSED GRANITE 1/4" INSTALL WEED BARRIER BENEATH	3/8"	1,408 SF		

** = CALIFORNIA NATIVE PLANT

PLANTING NOTES

- TOTAL LANDSCAPED AREA = 8,475 SF
- SOIL TO BE TESTED BY ACCREDITED SOIL TESTING LABORATORY. CONTRACTOR SHALL THOROUGHLY INCORPORATE SOIL ADDITIVES AND FERTILIZERS IN ALL PLANTING AREAS AT RATES AND DEPTHS RECOMMENDED BY SOILS LAB. SOIL SHALL BE TILLED TO A DEPTH OF 6" AND AMENDED WITH RECOMMENDED PRODUCTS TO PROMOTE INFILTRATION AND WATER RETENTION. ALL SOIL SHALL BE CLEAR OF DEBRIS AND CONSTRUCTION SPOILS.
- SOIL MIX IN BIORETENTION AREAS SHALL BE A HOMOGENEOUS MIX OF 60-70% FINE SAND (MEETING ASTM D422 OR CALTRANS TEST METHOD C202) AND 30-40% WEED-FREE, MANURE-FREE, STABLE COMPOST. NOTE: ALL SANDS COMPLYING WITH ASTM C33 FOR FINE AGGREGATE COMPLY WITH SIEVE SIZE/GRADATION REQUIREMENTS. THE SOIL MIX/MEDIA TO BE USED IN BIORETENTION/RAIN GARDEN AREAS SHALL HAVE A MINIMUM INFILTRATION RATE OF 5 IN/HR. PREVIOUSLY: ASTM C33 STANDARDS
- ALL PLANT MATERIAL IN BIORETENTION AREA PER CENTRAL CALIFORNIA COAST TECHNICAL ASSISTANCE MEMO (TAM) LID PLANT GUIDANCE FOR BIORETENTION DO NOT ADD FERTILIZERS IN BIORETENTION AREAS. MULCH LAYER TO BE 1-2" THICK COMPOST MULCH THAT WILL NOT FLOAT.
- ALL OTHER PLANTING ON SITE TO RECEIVE A 3" THICK LAYER OF BARK MULCH EQUAL TO REDWOOD, FIR, CEDAR, OR A COMBINATION OF THESE. THE COMPOSITION OF THE MULCH SHALL BE A MIX OF SHREDDED BARK, WOOD AND SAWDUST, 0-4". NO GORILLA HAIR SHALL BE USED.
- PREFERABLY AND IF FEASIBLE, QUERCUS AGRIFOLIA FER PLAN TO BE TRANSPLANTED SITE SEEDLINGS FROM THE NORTHWEST AND NORTHEAST PORTION OF THE SITE. IF NO SUITABLE SEEDLINGS ARE FEASIBLY TRANSPLANTABLE, NEW QUERCUS AGRIFOLIA FER LEGEND TO BE USED.
- ALL PLANTERS ON LEVEL 5 TO RECEIVE CLEAN POTTING SOIL AND DRIP IRRIGATION.
- THE INSTALLED LANDSCAPE SHALL BE MAINTAINED FREE OF INVASIVE PLANTS.
- MULCH STOCKPILES: LOCATE AND STORE MULCH IN A WAY THAT PREVENTS DISCHARGE TO THE STORM DRAIN SYSTEM.

PRELIMINARY IRRIGATION NOTES

- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- ALL NEW TREES TO RECEIVE TWO (2) TREE BUBBLERS TO BE EQUAL TO: HUNTER KZWS-18-50-CV (0.5 GPM) TREE ROOT BUBBLERS 18" DEEP
 - ALL NEW PERENNIALS, SHRUBS AND PLANTER POTS TO RECEIVE DRIP (POINT-SOURCE) EMITTERS EQUAL TO: HUNTER HE-B SINGLE OUTLET WITH SCREEN
 - DRIP VALVES SHALL BE EQUAL TO HUNTER IC2-101 - BELOW GRADE IN VALVE BOXES (FOUR IN ONE VALVE BOX).
 - LOCATE EQUIPMENT IN NEAREST ADJACENT PLANTERS AS FEASIBLE AND INDICATE EXACT LOCATION ON AS-BUILT DRAWINGS. DRAWINGS TO INCLUDE ALL IRRIGATION VALVES, MAIN LINES, LATERALS, AND HYDROZONES.
 - CONTRACTOR SHALL USE EXTREME CARE WHERE IT IS NECESSARY TO TRENCH NEAR EXISTING TREES. EXCAVATION IN AREAS EXHIBITING ROOTS 2" OR LARGER SHALL BE DONE BY HAND. ROOTS 1" OR LARGER IN DIAMETER DAMAGED IN CONSTRUCTION SHALL BE CLEANLY CUT AND NOT LEFT IN A RAGGED CONDITION. TREE ROOTS SHALL BE COVERED WITH WET BURLAP WHILE EXPOSED.
 - NO POTABLE WATER SHALL BE APPLIED DURING AND WITHIN 48 HOURS FOLLOWING MEASURABLE RAINFALL
 - IRRIGATION SYSTEM SHALL BE INSPECTED REGULARLY FOR LEAKS, MISALIGNED HEADS AND BAD VALVES. BROKEN EQUIPMENT SHALL BE REPAIRED PROMPTLY WITH IDENTICAL OR EQUIVALENT EQUIPMENT, AND WATERING SCHEDULES SHALL BE ADJUSTED TO REFLECT VARIATIONS IN WATER NEED BASED ON SEASON OR PLANT MATURITY.
 - PROGRAMMING OF THE NEW CONTROLLER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE. IT IS THE RESPONSIBILITY OF THE OWNER TO MAKE ADJUSTMENTS IN THE PROGRAM FOR SEASONAL WEATHER CHANGES AND MICROCLIMATIC VARIATIONS. THIS WATERING SCHEDULE IS INTENDED AS A GUIDE ONLY. ACTUAL WATER USE WILL VARY DURING THE YEAR DEPENDING ON WEATHER AND INDIVIDUAL SITE CONDITIONS. WATCH PLANTS FOR ANY STRESS AND IMMEDIATELY ADJUST SCHEDULE ACCORDINGLY. CONTRACTOR TO PROVIDE TRAINING TO OWNER'S REPRESENTATIVE FOR IRRIGATION PROGRAMMING. PROGRAMMING GUIDE SHOULD BE INCLUDED WITH CLOSEOUT DOCUMENTS.