

**MEMORANDUM**

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Date: July 2, 2009

To: Planning Commissioners

From: Alice Daly, Project Planner

Re: Special Meeting of the Planning Commission on 7/17/09 re: Appeal of # 08-0373

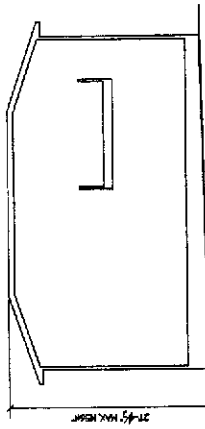
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The applicant has made some revisions to the proposed project being reviewed by your Commission under appeal. The revised plans were routed to you as full-size plan sets, and will also be posted online so that the revisions may be accessed by the public.

The proposed revisions, in summary, are:

- The street-front elevation of the proposed main residence, previously shown on the 20-foot front setback line, has been moved approximately 4 ½ feet further back from the street.
- The accessory dwelling unit that was previously proposed as a second story above the detached garage is now proposed as a first-floor addition to the rear portion of the main dwelling. The detached garage near the rear of the parcel is now proposed as a 1-story structure.

Staff will be available at the July 17<sup>th</sup> Special Meeting to answer any questions.



SECTION @ HIGH PT.  
SCALE: 1/8" = 1'-0"

# WEST RESIDENCE

## NEW RESIDENCY DRIVE

### APTOS, CA 95003

#### A.P.N. : 043-231-11

OWNER:  
TRENT AND MICHELLE WEST  
313 KINGSBURY DRIVE  
APTOS, CA 95003

A.P.N.:  
043 - 231 - 11

ZONING:  
R-16

OCCUPANCY GROUP:  
R-3 & U (PER 2007 C.B.C.)

CONSTRUCTION TYPE:  
VB, FULLY SPRINKLERED

PROJECT DESCRIPTION:  
THIS PROJECT CONSISTS OF THE DEMOLITION OF AN EXISTING SINGLE FAMILY DWELLING AND THE CONSTRUCTION OF A NEW 4-BED, 2 1/2 BATH, LIVING ROOM, DINING ROOM, FAMILY ROOM, KITCHEN, BREAKFAST NOOK, AN ATTACHED TWO CAR GARAGE AND A DETACHED TWO STORY ACCESSORY STRUCTURE WITH 3 CAR GARAGE BELOW AND AN ACCESSORY DWELING UNIT ABOVE WITH 1 BEDROOM, 1 BATH, KITCHEN AND LIVING ROOM.

CODE COMPLIANCE:  
THIS RESIDENTIAL CONSTRUCTION COMPLIES WITH TITLE 24, AND THE FOLLOWING CODES: 2007 CBC, 2007 CHC, 2007 CPC, AND 2007 NEC.

LOT SIZE:  
14,605 SQ. FT.

GROSS FLOOR AREAS:

FIRST FLOOR:  
(EXCLUDES GARAGE)

ATTACHED GARAGE:

SECOND FLOOR:

DETACHED GARAGE:

TOTAL CONDITIONED SPACE:

TOTAL FLOOR AREA:

AREA OVER 16 IN HEIGHT:

COVERED AREA:

COVERED AREA: 7'-6" HT.

1/2 AREA LESS 140 SQ. FT.

ADJUSTED FLOOR AREA: 6,100 SQ. FT.

TOTAL LOT COVERAGE: 41.23 SF / 14,605 SF = 28.23%

F.A.R.: (6,100 S.F. / 14,605 S.F. X 100) = 41.8%

LOT COVERAGE: (41.23 SF / 14,605 SF) 100 = 28.23%

ADJUSTED FLOOR AREA: 6,100 SQ. FT.

TOTAL LOT COVERAGE: 41.23 SF / 14,605 SF = 28.23%

F.A.R.: (6,100 S.F. / 14,605 S.F. X 100) = 41.8%

LOT COVERAGE: (41.23 SF / 14,605 SF) 100 = 28.23%

## PROJECT SUMMARY

- P1 TITLE SHEET
- P2 SITE PLAN
- P3 FIRST FLOOR PLAN
- P4 SECOND FLOOR PLAN
- P5 ACCESSORY BUILDING PLANS
- P6 EXTERIOR ELEVATIONS
- P7 EXTERIOR ELEVATIONS
- P8 ACCESSORY BUILDING ELEVATIONS
- C1 GRADING AND DRAINAGE PLAN
- C2 DETAILS
- C3 EROSION CONTROL PLAN
- ONE SURVEY

## SHEET INDEX

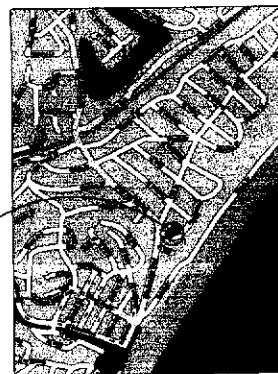
ARCHITECT:  
MATSON BRITTON ARCHITECTS  
128 N. BRANFLORE  
APTOS, CA 95002  
PHONE: 831-425-0842  
FAX: 831-425-0844  
EMAIL: cove@matsonbrutton.com  
CONTACT: COVE BRITTON

SOILS:  
PACIFIC GREST ENGINEERING, INC.  
444 AIRPORT BLVD., SUITE 106  
MATSONVILLE, CA 95076  
PHONE: 831-722-9446  
FAX: 831-722-9155  
EMAIL: elizabeth@pacgrete.com  
CONTACT: ELIZABETH MITCHELL

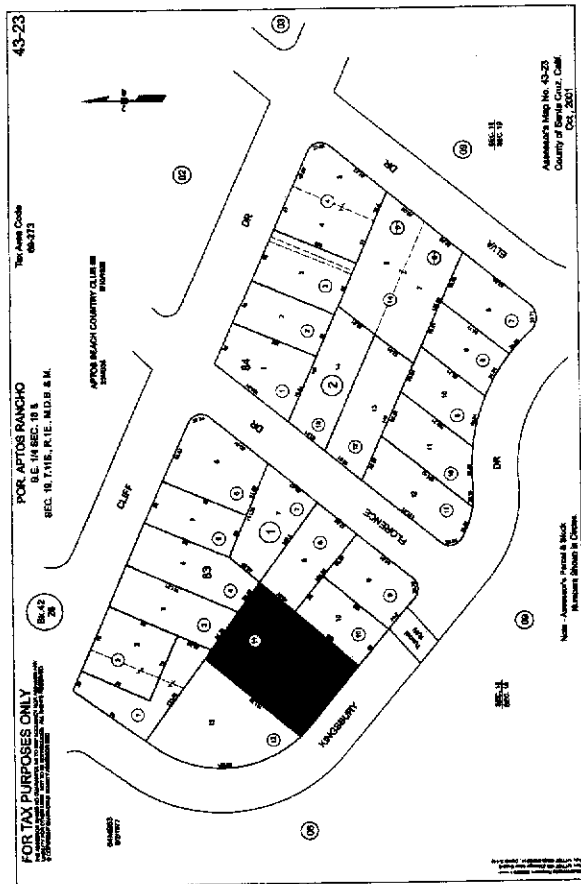
CIVIL:  
R.I. ENGINEERING, INC.  
503 PORTER STREET  
SANTA CRUZ, CA 95060  
PHONE: 831-425-5011  
FAX: 831-425-5022  
EMAIL: rick@ri-engineering.com  
CONTACT: RICHARD IRISH

SURVEYOR:  
WARD SURVEYING  
632 SEVENTH AVENUE  
SANTA CRUZ, CA 95062  
PHONE: 831-425-5003  
FAX: 831-425-6239  
EMAIL: survey@ward.com  
CONTACT: MATT WARD

## CONSULTANTS



## VICINITY MAP



## A.P.N. MAP

WEST RESIDENCE  
313 KINGSBURY DRIVE  
APTOS, CA 95003  
A.P.N. 043-231-11

TITLE SHEET

8/12/08  
RZ  
R16K

P1



DATE: 11/11/08  
BY: [Signature]  
CHECKED: [Signature]  
APPROVED: [Signature]

WEST RESIDENCE  
315 ALBANY DRIVE  
ALBANY, CA 94706  
A.P.N. 045-231-11

SITE PLAN / PRELIM  
LANDSCAPE PLAN

DATE: 11/11/08  
BY: [Signature]  
CHECKED: [Signature]  
APPROVED: [Signature]

P2

**SITE LEGEND**

—	PROPERTY LINE
—	SETBACK LINE
---	(R) RESIDENCE TO BE DEMO'D
---	(R) FENCE
---	LINE OF SECOND FLOOR AND DECKS ABOVE
---	(N) RESIDENCE
---	(N) DRIVEWAY & PATHWAYS

**GRADING NOTES**

1. EXISTING TERRAIN, SITE FEATURES & EXISTING UTILITIES SHOWN ON SURVEY MAP COMPLETED BY HARD SURVEYING, SEE SURVEY MAP SHEET 1.

2. SEE CIVIL ENGINEERING DRAWINGS BY R.L. SHAW, INC. FOR GRADING, DRAINAGE AND EROSION CONTROL NOTES.

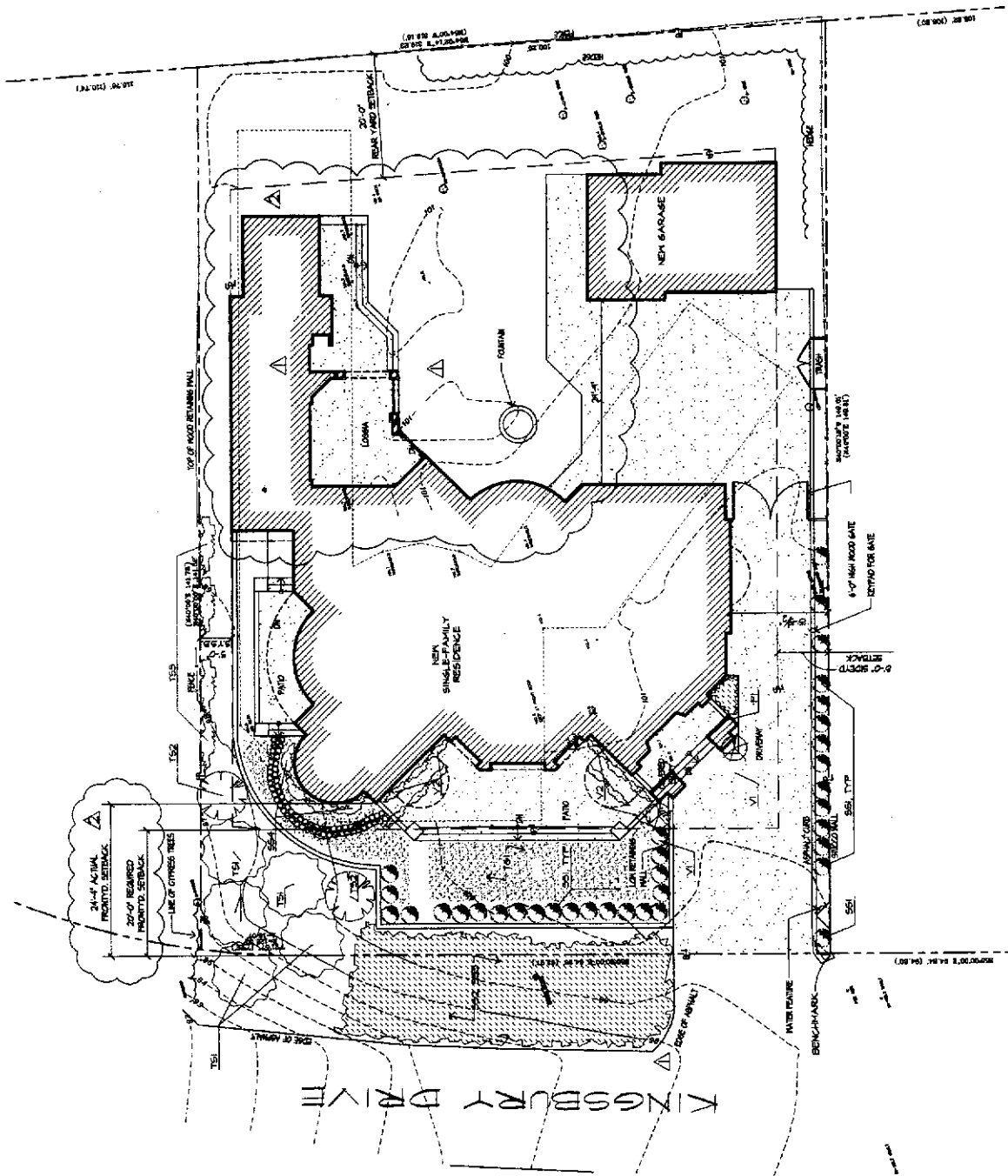
**LANDSCAPE LEGEND**

△	TALL SHRUBS: 175 'NANA' Japanese Maple 150 'GOLDEN PRINCE' Blue Forsythia (Blue California Lilac) 125 Ligustrum japonicum, L. ovalifolium (Japanese California Privet)
○	SHORT SHRUBS: 55 'DWARF HYDRANGEA' (Dwarf Hydrangea) 55 'DWARF CAMELIA' (Dwarf Camellia) 55 'DWARF JASMINE' (Dwarf Japanese Broomrape) 55 'DWARF LILAC' (Dwarf Lilac)
▽	VINES: V1 'BANGSI' (Bamboo) V2 'NANA' (Nana)
□	PERENNIALS: P1 'TWO' (Two)
■	TREE SPACES: T1 'PACIFIC' (Pacific)

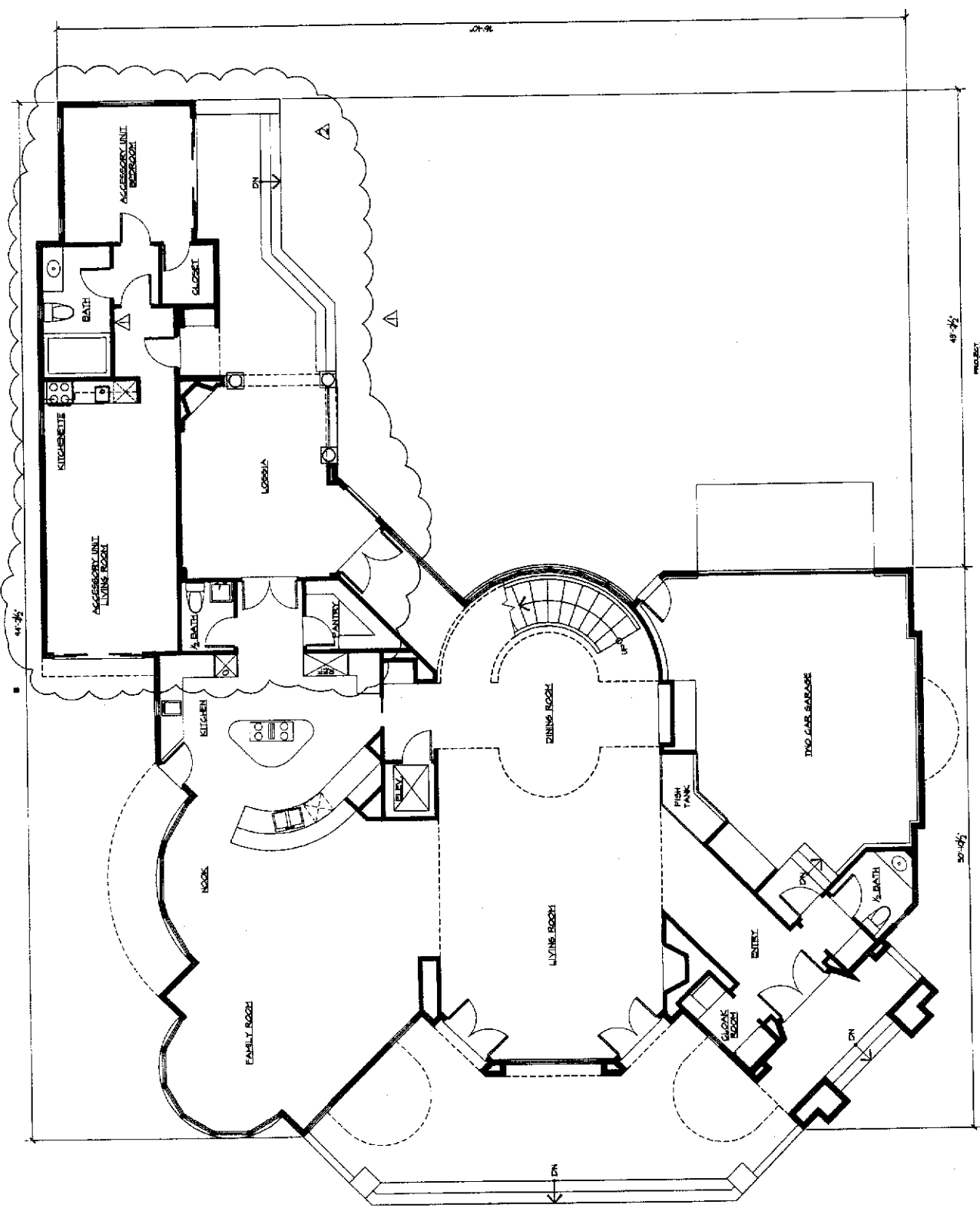
**LANDSCAPE NOTES**

1. ALL SHRUBS AND VINES ARE TO BE 3 GALLONS UNLESS OTHERWISE NOTED.

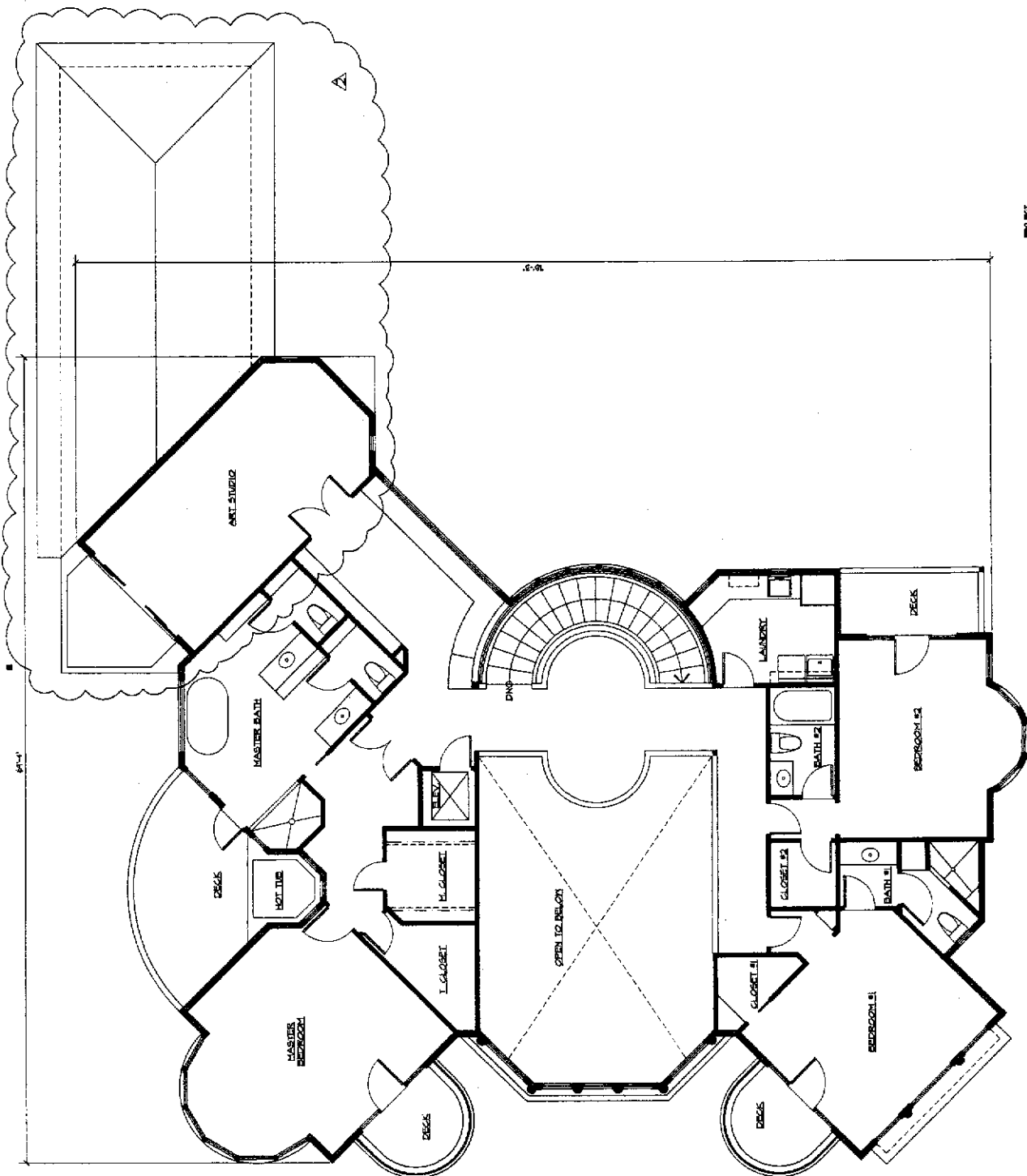
2. AN AUTOMATICALLY TIERED IRRIGATION SYSTEM CONSISTING OF SPRAY AND/OR DRIP COMPONENTS WILL BE USED IF REQUIRED.



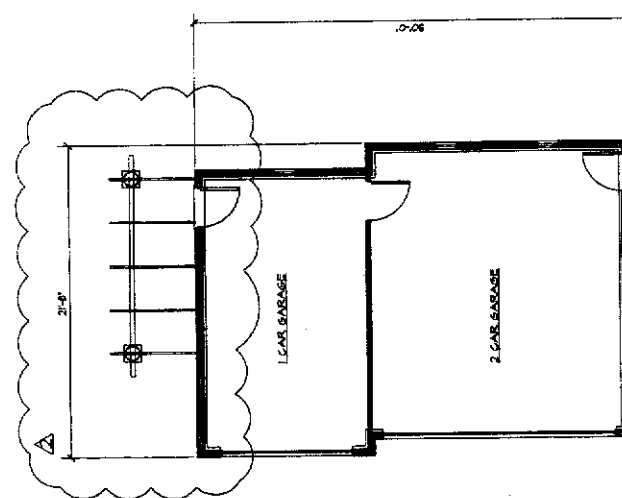
SITE PLAN / PRELIMINARY LANDSCAPE PLAN  
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"





WEST RESIDENCE  
315 KINGSWAY DRIVE  
A.P.N. 045-251-1

WEST RESIDENCE  
315 KINGSWAY DRIVE  
A.P.N. 045-251-1

WEST RESIDENCE  
315 KINGSWAY DRIVE  
A.P.N. 045-251-1

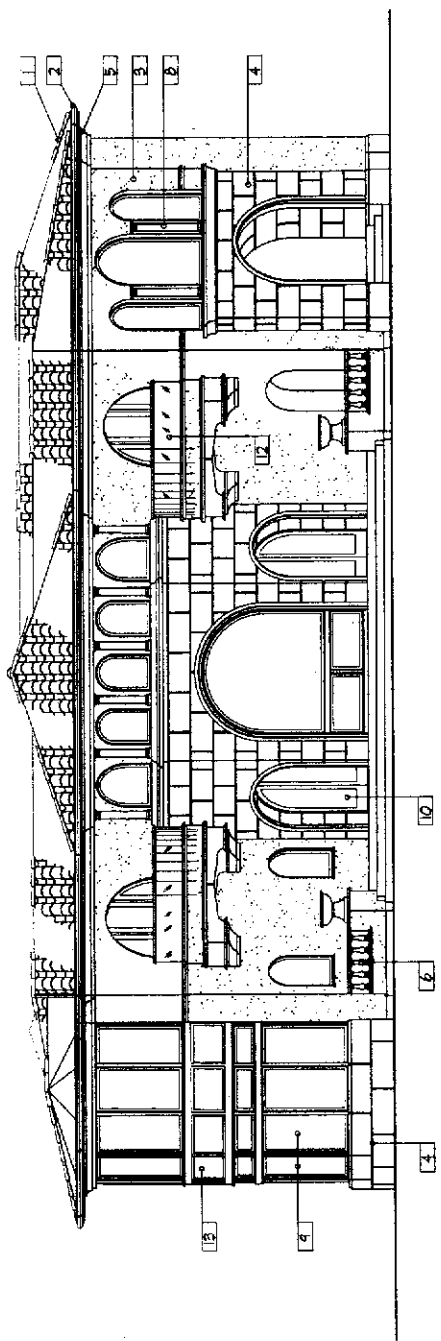
WEST RESIDENCE  
315 KINGSWAY DRIVE  
A.P.N. 045-251-1

WEST RESIDENCE  
315 KINGSWAY DRIVE  
A.P.N. 045-251-1

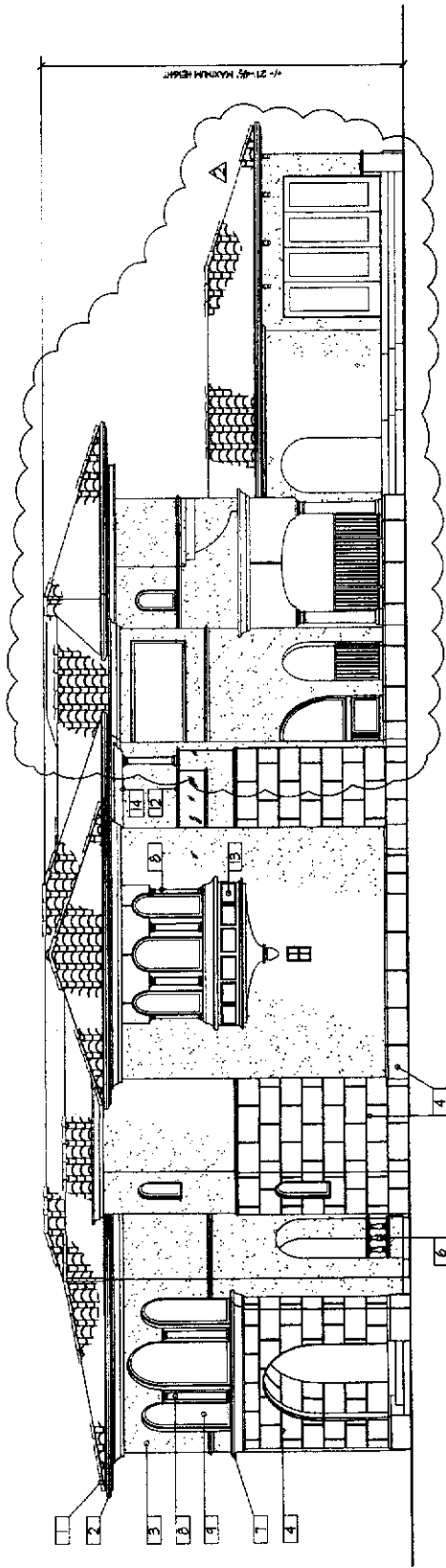
WEST RESIDENCE  
315 KINGSWAY DRIVE  
A.P.N. 045-251-1

WEST RESIDENCE  
315 KINGSWAY DRIVE  
A.P.N. 045-251-1

ELEVATION NOTES	
1	WELLS CLAY TILE ROOF IN CUSTOM COLOR BLEND
2	COPPER GABLE GUTTERS
3	THREE GALT STUCCO IN INTERIOR COLOR COLOR TAN
4	EXTERIOR STONE PANELS COLOR BROWN
5	PAINTED WOOD TRIM COLOR DARK BROWN
6	PRECAST CONCRETE HOLDING BALUSTRADE COLOR BROWN
7	PRECAST CONCRETE HOLDING COLOR BROWN
8	PRECAST CONCRETE COLUMNS
9	WOOD / GLASS WINDOWS IN CRESTANT BRONZE FINISH
10	WOOD / GLASS DOORS IN CRESTANT BRONZE FINISH
11	WOOD VERTICAL PLANK PANEL IN CRESTANT BRONZE FINISH
12	WOOD VERTICAL PLANK PANEL IN CRESTANT BRONZE FINISH
13	WOOD VERTICAL PLANK PANEL IN CRESTANT BRONZE FINISH
14	WOOD VERTICAL PLANK PANEL IN CRESTANT BRONZE FINISH
15	WOOD VERTICAL PLANK PANEL IN CRESTANT BRONZE FINISH
16	WOOD VERTICAL PLANK PANEL IN CRESTANT BRONZE FINISH



WEST ELEVATION  
SCALE: 1/4" = 1' - 0"



SOUTH ELEVATION  
SCALE: 1/4" = 1' - 0"



WEST RESIDENCE  
310 KINGSBURY DRIVE  
NENAH, CA 95005  
APR. 04-25-11

EXTERIOR ELEVATIONS  
NORTH AND EAST

DATE: 4/25/11  
DRAWN BY: [illegible]  
CHECKED BY: [illegible]  
APPROVED BY: [illegible]

DATE: 4/25/11  
DRAWN BY: [illegible]  
CHECKED BY: [illegible]  
APPROVED BY: [illegible]

DATE: 4/25/11  
DRAWN BY: [illegible]  
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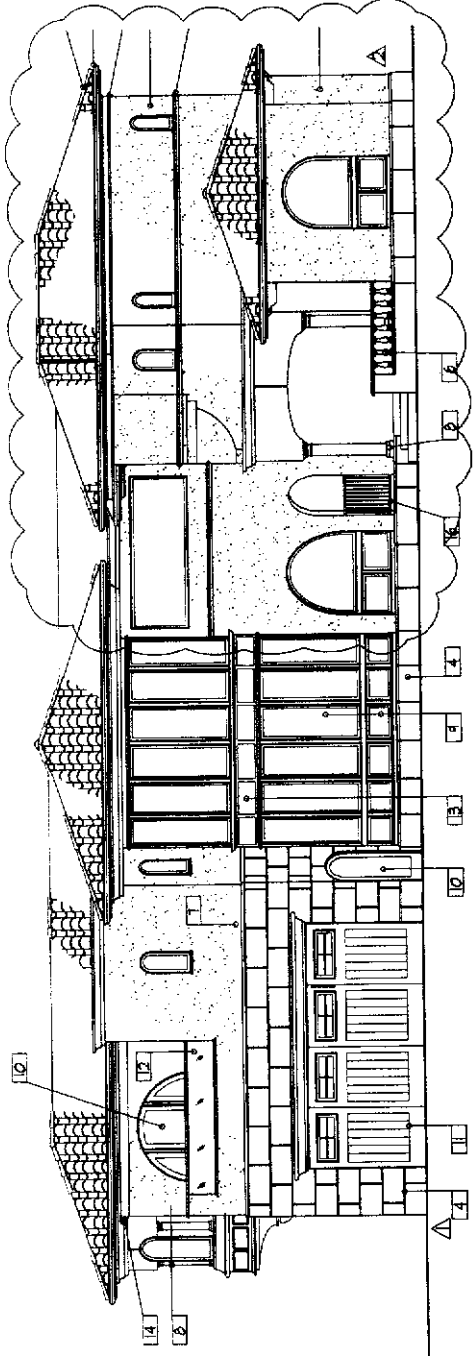
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DRAWN BY: [illegible]  
CHECKED BY: [illegible]  
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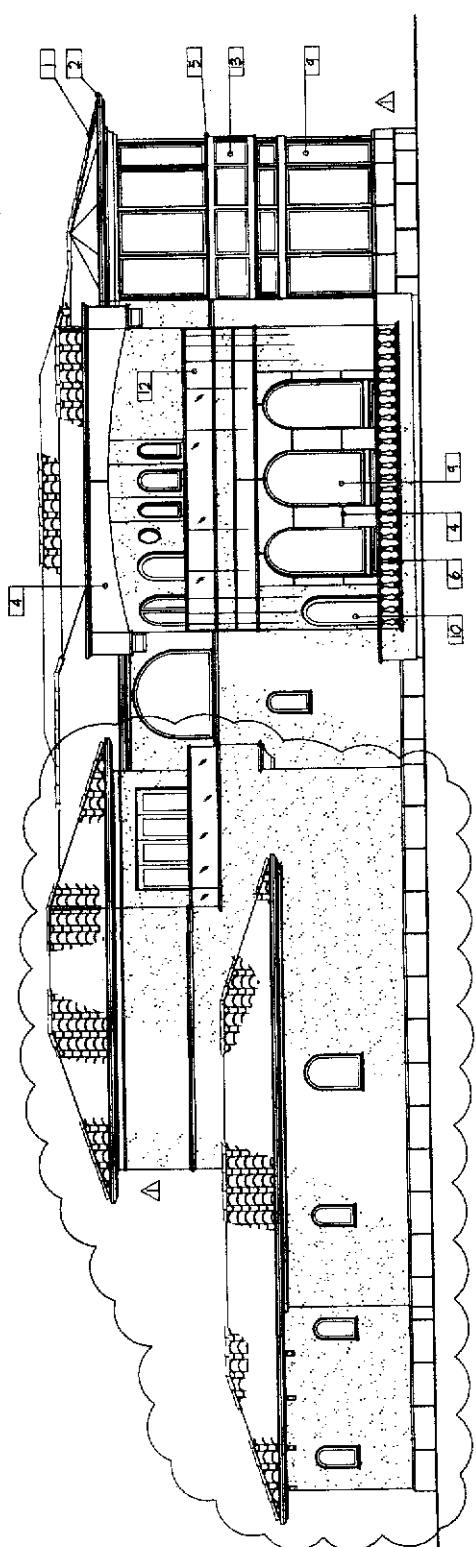
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APPROVED BY: [illegible]

DATE: 4/25/11  
DRAWN BY: [illegible]  
CHECKED BY: [illegible]  
APPROVED BY: [illegible]

ELEVATION NOTES	
1	DRILL CLAY TILE ROOF IN CATCH COLOR BLEND
2	COPPER ORIEL GUTTER
3	THREE GALT (SICO) IV. INTERIOR COLOR COLOR TAN
4	EXTERIOR STONE PANELS COLOR BROWN
5	PAINTED WOOD TRIM COLOR DARK BROWN
6	PRECAST CONCRETE MOLDING 1 BALUSTRADE COLOR SADDLE
7	PRECAST CONCRETE MOLDING 2 COLOR SADDLE
8	PRECAST CONCRETE COLUMNS
9	WOOD / CLAD WINDOWS IN GUEST SUITE PORCH
10	WOOD / CLAD WINDOWS IN PORCH
11	WOOD VERTICAL PLANK PANEL ENTRY DOOR OR PANORAMA DOOR IN DARK BROWN WOOD STAIN
12	CLEAR GLASS HAND RAIL
13	COPPERED WOOD PANEL
14	WOOD ANKOR
15	COPPER CORNER CAP
16	PRECAST BOX RAILROAD



EAST ELEVATION  
SCALE: 1/4" = 1'-0"



NORTH ELEVATION  
SCALE: 1/4" = 1'-0"





1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16

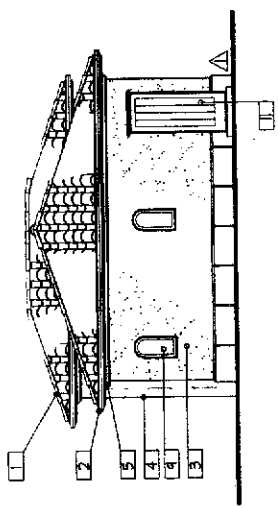
WEST RESIDENCE  
820 KENNEDY DRIVE  
APR. 04-25-11  
EXTERIOR ELEVATIONS

ACCESSORY BLDG.  
EXTERIOR ELEVATIONS

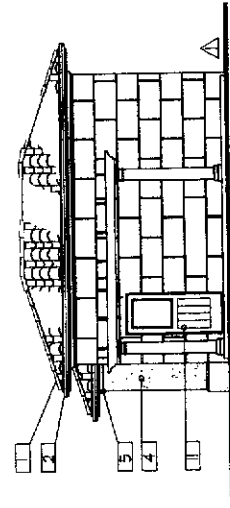
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16

P8

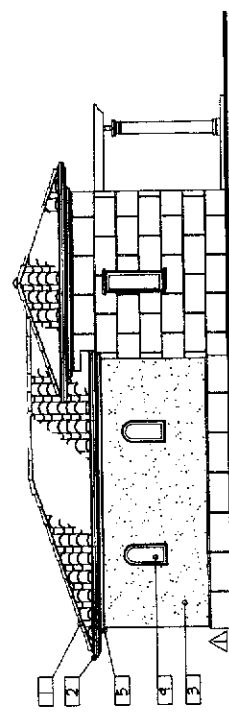
ELEVATION	NOTES
1	DRILL CLAY TILE ROOF IN CUSTOM COLOR BLEND
2	COPPER ORGE BUTTERS
3	TRIM, GUTS, SKEED IN INTEGRAL COLOR, COLOR VAN COLOR, BROWN
4	INTERIOR STONE PANELS, COLOR, BROWN
5	PAINTED WOOD TRIM, COLOR, DARK BROWN
6	PRECAST CONCRETE HOLDING, BALUSTRADE, COLOR, SADDLE COLOR, SADDLE
7	PRECAST CONCRETE HOLDING, COLOR, SADDLE
8	PRECAST CONCRETE HOLDING, COLOR, SADDLE
9	WOOD / CLAD PORCHES IN PRECAST CONCRETE HOLDING, COLOR, SADDLE
10	WOOD VERTICAL PLANK PANEL, EXT. DOOR OR GARAGE DOOR IN DARK BROWN WOOD STAIN
11	CLEAR GLASS GUARD RAIL
12	COPPERED WOOD PANEL
13	WOOD ANGLE
14	COPPER CORNER CAP
15	PRECAST BOX GUARDRAIL
16	PRECAST BOX GUARDRAIL



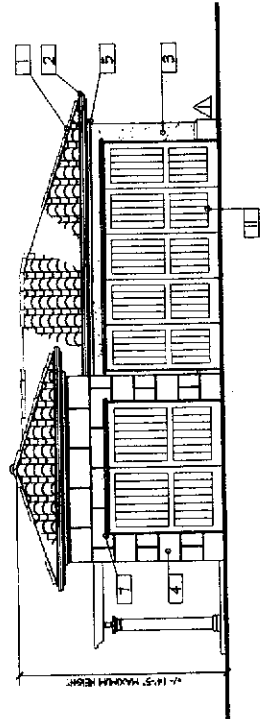
SOUTH ELEVATION ③A  
SCALE: 1/4" = 1'-0"



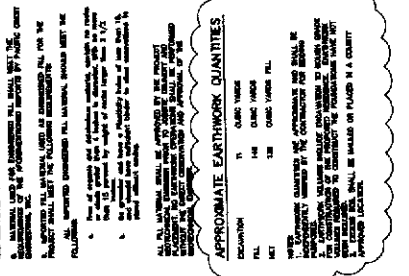
NORTH ELEVATION ①A  
SCALE: 1/4" = 1'-0"



EAST ELEVATION ④A  
SCALE: 1/4" = 1'-0"



WEST ELEVATION ②A  
SCALE: 1/4" = 1'-0"



SCALE: 1" = 10'-0" HORIZ.  
1" = 10'-0" VERT.

DATE: 08-11-11

PROJECT NO.: 08-11-11

CONTRACT NO.: 08-11-11

SECTION NO.: 08-11-11

PROJECT NO.: 08-11-11

CONTRACT NO.: 08-11-11

SECTION NO.: 08-11-11

PROJECT NO.: 08-11-11

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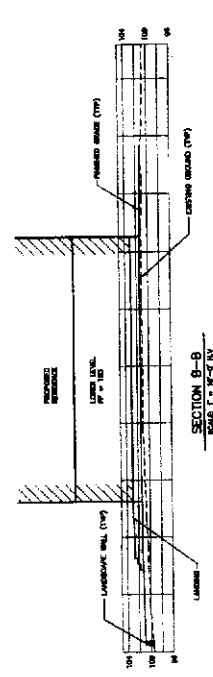
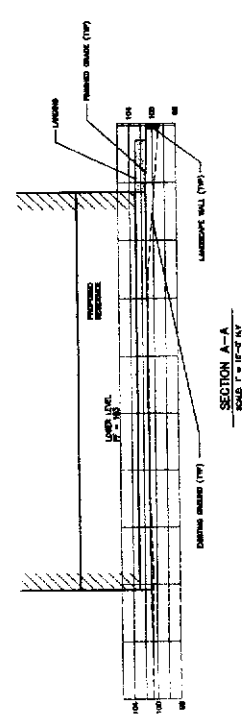
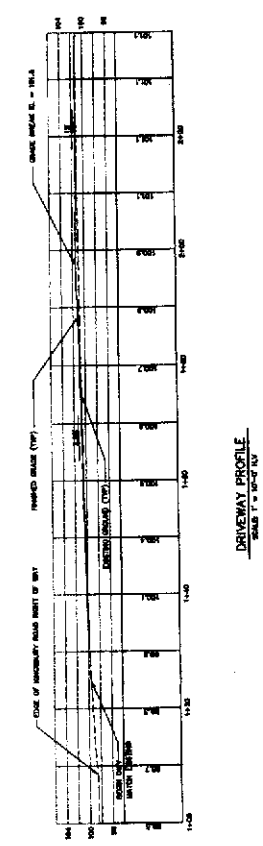
CONTRACT NO.: 08-11-11

SECTION NO.: 08-11-11

PROJECT NO.: 08-11-11

CONTRACT NO.: 08-11-11

SECTION NO.: 08-11-11



R1 Engineering Inc.  
303 Potrero St., Suite 42-202, Santa Cruz, CA 95060  
831-425-3901 www.r1engineering.com

NEW RESIDENCE  
FOR  
TIGHT AND MICHELLE WEST  
313 KINGSBURY DR  
SANTA CRUZ COUNTY, CALIFORNIA  
APN: 043-23-11  
DETAILS

NEW RESIDENCE  
-FOR  
TARRANT AND MICHELLE WEST  
313 MONSIEUR DR  
SANTA CRUZ COUNTY, CALIFORNIA  
APN: 043-23-11  
EROSION CONTROL

**RI Engineering, Inc.**

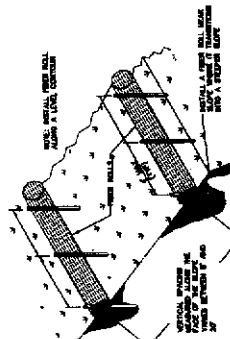
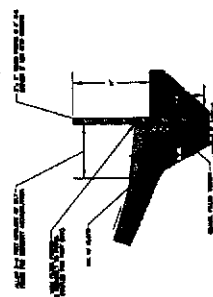
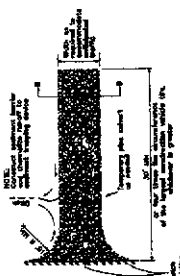
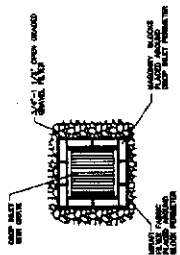


1-800-854-8544

**Figure 1**



**INTERNATIONAL ASSOCIATION OF STRUCTURAL STEEL CONTRACTORS**  
**INTERNATIONALE VERENIGING VAN STAALBOUWERS**



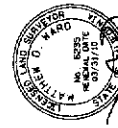
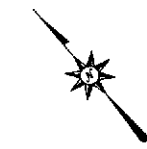
622 SEVENTH AVENUE  
SANTA CRUZ, CA. 95062  
(831) 426-5005

313 KINGSBURY DRIVE  
APTOS, CA 95003

**NEW YORK**

JOHN E 072618  
WFOY CT  
DATE 03/04/08  
DRAWN MDW  
SCALE 1" = 6'

1 OF 1  
SHEET



**CLSA MEMBER ACADEMY**  
CALIFORNIA LUNG  
SUSCEPTIBILITY  
MEDICAL CENTER ON  
BIRMINGHAM AND THE

[illegible]