



Staff Report to the Planning Commission

Application Number: **101134**

Applicant: Mid-Peninsula Housing Corporation

Agenda Date: December 14, 2011

Owner: Mid-Peninsula Housing Corporation

Agenda Item #:

APN: 039-471-09

Time: After 9:00 a.m.

Project Description: Proposal to construct 40 multi-family residential units and associated improvements, including conversion of the historic Castro House to a community building. Requires a Level VII Design Review in conformance with Planned Unit Development (PUD) Ordinance # 5025 and General Plan Amendment and Rezoning # 07-0667.

Location: Property located on the east side of Aptos Rancho Road about 250 feet north of the intersection of Aptos Rancho Road and Soquel Drive.

Supervisory District: 2nd District (District Supervisor: Ellen Pirie)

Permits Required: Level VII Design Review

Technical Reviews: Historic Resources Review, Soils Report Review and Preliminary Grading Review.

Staff Recommendation:

- Adopt the attached resolution (Exhibit G), sending a recommendation to the Board of Supervisors for **Approval** of Application Number **101134**, based on the attached Design Review finding and conditions.

Exhibits

- | | | | |
|----|-------------------------------------------------------------|----|--------------------------------------------------------------------------------|
| A. | Project plans | F. | Historic Resources Preservation Plan for the Vicente Castro House and Property |
| B. | Findings | G. | Assessor's, Location, Zoning and General Plan Maps |
| C. | Conditions | H. | Will Serve Letters |
| D. | PUD Ordinance # 5025 | I. | Resolution |
| E. | Mitigated Negative Declaration 07-0667 (CEQA review of PUD) | | |

Parcel Information

Parcel Size: 5.5 acres
Existing Land Use - Parcel: Residential
Existing Land Use - Surrounding: Commercial and Residential
Project Access: From Aptos Rancho Road
Planning Area: Aptos
Land Use Designation: R-UH and O-U (Urban High Residential and Urban Open Space)
Zone District: RM-2-R, RM-2-R-L and PR (multi-family residential, 20 unit per acre minimum, historic resource overlay (portion) and Parks and Recreation)
Coastal Zone: ☐ Inside ☒ Outside
Appealable to Calif. Coastal Comm. ☐ Yes ☒ No

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Soils: N/A
Fire Hazard: Not a mapped constraint
Slopes: N/A
Env. Sen. Habitat: No special-status habitat or species observed on site during survey
Grading: 4,978 cubic yards of cut, 5,212 cubic yards of fill.
Tree Removal: 45 trees proposed to be removed and 62 new trees planted
Scenic: Not a mapped resource
Drainage: Existing drainage adequate
Archeology/Historic: Yes/Portion

Services Information

Urban/Rural Services Line: ☒ Inside ☐ Outside
Water Supply: Soquel Creek Water District
Sewage Disposal: Santa Cruz County Sanitation District
Fire District: Aptos/La Selva Fire Protection District
Drainage District: Zone 6 Flood Control District

Background

Aptos Blue Apartments is the second proposed development of one of the six sites selected by the County to meet the Regional Housing Needs Assessment goals and implement policies of the adopted Housing Element of the General Plan. The "R" Combining Zone District was created to address certain issues related to the high-density sites, including height, parking, setbacks and lot coverage, and requires a Planned Unit Development (PUD) for each site.

The Aptos Blue (Miller) Housing Site (APN 039-471-09) is designated as RM-2-R: Urban High

Density Residential--20 units per developable acre, with a minimum 2,000 square feet of developable land per unit density (with Urban Open Space along the east property line). The site is to be developed in accordance with PUD # 5025 that was considered in conjunction with a Rezoning, General Plan Amendment and CEQA environmental review (a Mitigated Negative Declaration) that was reviewed by the Planning Commission and subsequently adopted on November 25, 2008, by the Board of Supervisors.

The high-density rezoning and general plan amendment that were approved by the Board, along with the site-specific PUD, were necessary to meet the goals of the General Plan to provide sufficient housing to meet our Regional Housing Needs Allocation, and to promote infill development inside the Urban Services Boundary. The PUD functions as a site-specific zoning ordinance, and was intended to ensure that future development on the site would meet standards established by environmental review and County Design Criteria, while also allowing for the required high density.

The Mitigated Negative Declaration prepared for the PUD, Rezoning and General Plan Amendment reviewed all potential constraints to future site development, including the presence of a house with historic significance on the project site, a riparian corridor to the east, street conditions and existing development on Soquel Drive, traffic, and impacts to the character of the surrounding neighborhood. Mitigations were identified during environmental review and were incorporated into the PUD site standards and requirements.

The current proposal for a 40-unit affordable development by Mid-Peninsula Housing Coalition is, pursuant to the PUD, a by-right development in terms of use and density, and therefore subject solely to a Level VII Design Review permit. Requirements of the Site, Architectural and Landscape Design Review (Chapter 13.11 of the County Code) are applicable except where specifically modified by the PUD. Project review is focused on compliance with the PUD (which includes CEQA mitigation requirements), and on design issues such as site layout, building materials, and architectural details.

Detailed Project Description

Two acres of the site comprise the developable area, with the remainder of the parcel set aside to remain open as a conservation easement which includes a riparian setback area. Six new multi-family residential buildings are proposed for the site, with a total of 40 affordable rental units. Two buildings will be two stories and four will be 3-story. Four studios, four 1-bedroom, sixteen 2-bedroom and sixteen 3-bedroom units are proposed. A "setting area" surrounding the historic Vicente Castro House will remain open to allow for proper visual context, and will have historically appropriate landscaping. The Castro House will be rehabilitated and the interior remodeled in conformance with PUD requirements and the Historic Resources Preservation Plan by JRP Historical Consultants (August 2011), and will be used for offices and meeting rooms. A 22 x 14-foot one-story maintenance shed is proposed near the southeast portion of the developable area. Access to the site will be from Aptos Rancho Road.

Project Setting

The 5.5-acre project site is located at 7839 Soquel Drive, approximately 200 feet northeast of the intersection of Aptos Rancho Road and Soquel Drive in the Aptos planning area. The property is currently developed with seven single-family dwellings, one of which, the Vicente Castro house, was built in the mid-1870s and listed on the Santa Cruz County Historic Resources Inventory.

The site is distinguished by level to gently sloping terrain in the 2.0-acre developable area and is bounded by Aptos Creek along the southeastern edge of the property. The northwest and northeast boundaries of the site are adjacent to commercial and residential uses. The southwestern portion of the site is adjacent to the Community Foundation facility on a parcel that was split from the subject parcel in 2005 and zoned for commercial development. The predominant land uses surrounding the project site are commercial, urban low and medium-density single-family residential, and urban open space. The eastern 3.5 acres of this 5.5-acre parcel contains Aptos Creek and riparian vegetation and habitat. Development is limited to 2.0 acres, including the preservation of the historic Castro house. Primary vehicular access to the project site is currently from Soquel Drive, which is paved with curb, gutter and sidewalks.

There are PA-zoned medical offices across Aptos Rancho Road, the C-1-zoned Community Foundation building adjacent to the south, and RM-4-zoned townhouse residences to the north of the project site.

Compliance and Consistency with PUD Ordinance # 5025

The PUD (Attachment D) and the environmental review (Mitigated Negative Declaration, Attachment E) for the project site, adopted prior to this application from Mid-Peninsula Housing for the proposed 40-unit affordable rental housing development, addressed site standards, affordable housing requirements, historic resources (the Castro House), environmental review issues, Design Review parameters, submittal requirements, roads and utility standards and the requirements for the Building Permit application.

General Site Standards

Site standards review included analysis of parking and circulation, structural requirements for height, setbacks and number of stories, provision of California Building Code (CBC) Accessibility requirements and open space. The project as proposed meets all site standards specified in PUD # 5025.

The specific height and setback requirements of the PUD were created to balance the need for high density while attempting to limit the visual impact of the increased density on the existing neighborhood. Three-story multi-family units up to 37 feet in height are allowed by the PUD and are incorporated into the project design, but the PUD specifies that the first row of structures on the Aptos Rancho Road frontage will be limited to two stories and 28 feet in height, to allow for a gradual transition in height from the adjacent properties and streets. The two new multi-unit buildings fronting Aptos Rancho Road meet this requirement. The remaining four multi-unit new buildings will be three stories, but all are below 37 feet at their highest points, and clustered toward the center of the site in order to minimize the perception of massing when viewed from adjacent properties. The proposed project is in conformance with all design specifications for setback and height standards created for the Miller site PUD, allowing for a smooth transition from the higher residential density of the site, and for visual continuity with surrounding land uses.

Affordability

Development of this parcel is required to meet the affordability requirements described in County Code Section 17.10.030 (b)(6) of the Santa Cruz County Code. The entire development will meet or exceed low, very low, and extremely low income affordability levels, as set by HUD. Seven units

will be available at below extremely low income levels, six below very low levels and 26 units below the low income threshold.

Parking and Circulation

The PUD parking requirements for the site are: 1.5 spaces per studio or one bedroom units, 2.0 spaces per two bedroom units, 2.5 spaces per three bedroom units, and 3.0 spaces per four bedroom unit. An additional 20 percent of the total number of parking spaces is required for guest parking. By this formula, 101 parking spaces are required, and are provided for on site. Included in this count are 40 covered tuck-under parking spaces with garage doors. Locked bicycle storage—one bike space per dwelling unit—will also be provided. Interior roadways and emergency vehicle turnaround areas will meet PUD and Fire Department standards.

Historic Setting Area and The Vicente Castro House

The property is currently developed with seven single-family dwellings, one of which is historically significant. The Vicente Castro house was built in the mid-1870s and listed on the Santa Cruz County Historic Resources Inventory. Vicente Castro built the two-story house in the mid-1870s, and in 1887, sold the house and orchard property to Claus Mangels, a businessman who owned a large portion of the former Aptos Rancho. Mangels held the property until his death in 1891. The house changed hands several times until it was sold to Bartley Crum in October 1942. Crum was a prominent San Francisco attorney who used the house as a summer residence. The Crums sold their Aptos property and the Vicente Castro House to Joseph Miller in August 1952. Miller and his wife Dorothy made the former Castro House their principal residence over the next decades.

An initial survey conducted by the Dill Design Group in March of 2001, concluded that this resource appeared to be eligible for listing in the National Register of Historic Places (NRHP)/California Register of Historical Resources (CRHR), resulting in the property's inclusion in the County of Santa Cruz Historic Resources Inventory, for its association with the rancho period in Santa Cruz history, its association with Vicente Castro and Bartley Crum, and for its "distinctive representation of Colonial Revival residential architecture in the 1860s..." The period of significance for the property is from 1833 – 1887, which coincides with granting of the Aptos Rancho by the Mexican government through the period that Vicente Castro occupied the house at 7839 Soquel Drive.

JRP Historical Consultants then prepared an Historic Structure Report. The report assesses the potential impacts of the proposed development in relation to the structure and provides feasible measures to mitigate significant impacts to a less than significant level under California Environmental Quality Act (CEQA) guidelines. The mitigation measures include producing written and photographic documentation and interpretive displays that will provide information to visitors and residents regarding the history of the development of Aptos and the Castro family ranchos in the region and the history of the Castro and Crum families. These displays will be integrated into the design of the public areas of the new housing development and will be installed in highly visible public areas near the Castro House. Mitigations also include specific guidelines for renovation and maintenance of the house and a passive-use landscaped "setting area", such that the setting can continue to convey the historical resource's significance. The recommendations of the Historic Structures Report (HSR), including the preservation of the Castro House as an historical structure and requiring the "setting area" surrounding it, are incorporated into PUD # 5025.

The subsequent Historic Resource Preservation Plan (JRP Consultants, August 2011, see Exhibit F) proposes to modify and rehabilitate the interior of the house to accommodate use as a community building. The proposed interior modifications include removing and reconfiguring interior walls and opening up portions of the second floor to the first floor below to accommodate the proposed use. Some of the interior wall and floor finishes would be stripped, in part to address mold and water damage. As recommended in the HSR, the proposed rehabilitation would retain in place or reuse elsewhere in the interior all of the interior character-defining features and materials. The structural rehabilitation would also bring the Castro House in conformance with CBC Accessibility requirements and the 2010 California Historical Building Code.

The change in use and interior remodel was not considered as part of the PUD. However, as required by the PUD, the proposed interior rehabilitation follows the recommendations provided in the Historic Structures Report, and the Historic Structures Report and Historic Resources Preservation Plan were presented to the County Historic Resources Commission for final review and approval. On September 28, 2011, the County Historic Resources Commission reviewed the proposal and gave their approval for all of the recommended renovations, setting area requirements and preservation mitigations.

Accessibility

The PUD requires that the proposed development will meet all accessibility requirements of Title 24 of the California Building Code (CBC) in effect at the time of Building Permit submittal, including accessible parking requirements. All routes serving the multifamily dwellings will be accessible pursuant to CBC 11A.11 standards, including access to recreational areas and trash bins. Nine single-story ground floor units will be adaptable, on an accessible route and in compliance with CBC 1102A.3 standards.

Landscape Plan

A comprehensive landscape plan for the site will include trees, shrubs and fencing along property lines that will allow for appropriate screening for adjacent neighbors. The existing redwood grove near the northeast corner of the property will be protected through inclusion in the conservation easement that also protects the riparian habitat adjacent to Aptos Creek. The redwoods also offer excellent screening and will minimize the perceived scale of the new multi-unit residences. Forty-five trees are proposed for removal, but sixty-two new trees will be installed to enhance the property.

The plan makes the Castro House the visual “anchor” of the property, with a tree-lined entry drive and open lawn/meadow area framing the historic setting area. Low grape-stake fencing and historically-appropriate landscaping such as apple trees will further enhance the site’s historic qualities. The landscape plan will incorporate environmentally sustainable elements such as bioswales and turf block pavers where appropriate. The transition from the developable part of the site to the protected Aptos Creek riparian area will be demarcated with a split-rail fence, signage and appropriate shrubs to discourage incursion into the sensitive riparian habitat. A nature-themed play structure will be incorporated into the common open lawn area between the two largest multi-residential units.

Riparian Setback

In order to ensure continued protection of the Aptos Creek riparian habitat, nearly 3.5 acres of the project parcel will remain as undeveloped open space under a recorded conservation easement. The conservation easement area includes the entire riparian area and a buffer from the edge of the riparian area that averages 30 feet, and that also includes the redwood grove near the northeast corner of the property. Split rail fencing and hedge landscaping along the outside of the conservation easement will demarcate the protected riparian area, and signage will be installed to inform and educate residents and the public about the importance of riparian habitat preservation. Outdoor lighting will be directed downward and away from the riparian area.

Drainage

The PUD requires every feasible measure to implement runoff reduction, including filtration using berms and vegetated bioswales, and dispersion of overflows over vegetated, non-erodible areas, pervious pavement and a detention basin that percolates into the soil. All engineered drainage structures are outside the riparian area. Energy dissipation strategies include perforated pipe attached to t-junction spreaders as well as infiltration trenches. All storm water structures, equipment and bioretention areas will be maintained by the owner, Mid-Peninsula Housing. Parking spaces and the entry drive will be constructed of pervious materials.

Zoning & General Plan Consistency

The subject property is a 5.5 acre parcel, located in the RM-2-R, RM-2-R-L and PR (multi-family residential, 20 unit per acre minimum, historic resource overlay (portion) and Parks and Recreation) zone district, a designation that allows multi-unit residential uses. The proposed high-density multi-family residential rental units are a principal permitted use within the zone district and the project is consistent with the site's (R-UH and O-U) Urban High Residential and Urban Open Space General Plan designation and with the site-specific requirements of PUD # 5025.

Design Review

The proposed 40 dwelling unit development must be considered for architectural suitability, site layout, landscape design and neighborhood compatibility pursuant to the PUD requirement for a Level VII Design Review, as well as pursuant to County Code Section 13.11.040(b), which requires design review for all residential developments of 3 or more units. The project site is not located along a County designated scenic road or within a designated scenic resource area.

The proposed project development consists of two and three-story multi-family residential units. The height limit allowed by the PUD is three stories, up to 37 feet, except for the areas directly adjacent to the northern edge of the historical setting area, and the area fronting Aptos Rancho Road. Considering most of the surrounding residential developments consist of two-story structures, and that the site has low visibility from the majority of viewers (on Soquel Drive), impacts to visual resources and aesthetics are not considered to be significant. Soquel Drive is not classified as a scenic road in the 1994 County of Santa Cruz General Plan.

Planning staff has worked with the applicant in order to guide and direct the proposed design to be in conformance with the stated design objectives of Chapter 13.11 and PUD # 5025. The PUD specifies that design elements for the new multi-unit structures should be complementary to the Castro House, and the proposed development incorporates elements like wood-lap siding, gable roofs, board and batten detailing and appropriate colors, as well as fences, decks and porches that use the look of the existing grape stake fencing on the project site. Development and refinement of the design of the proposed structures, the layout and circulation of the site and landscaping were guided in accordance with County standards and criteria for good design, visual interest, and function. The visual appeal of individual structures, the flow and functionality of the site layout, and the integration and compatibility of the site design with the surrounding neighborhood were all positively influenced by revisions and refinements made during the design process and through public engagement.

An earlier project design consisted of townhouse-type units that appeared more massive and that were sited closer to the property lines. The current design, with a more clustered layout and sensitive landscaping, represents an improvement over the original design in terms of visual impacts on the surrounding land uses.

On December 14, 2010, a public neighborhood meeting was held in order to solicit neighborhood feedback and involvement with the project and design. All project consultants were available at the public meeting to answer questions and field comments on the proposal. The developer had also made door-to-door visits to the neighbors directly adjacent to the property. Of particular interest to neighboring residents was the extent and design of fencing and landscape buffers, and the desires of the neighbors were incorporated into the project.

On October 28, 2011, the County Historic Resources Commission (HRC) reviewed the historic preservation plan and historic structures report prepared in conformance with Chapter 16.42 of the County Code (Historic Preservation) and the PUD.

In the context of this proposed project and pursuant to the PUD, “design review” is taken to also include review of technical design criteria, as specified by County Design Criteria and PUD requirements. DPW and other reviewers guided the project design through their direction with regard to meeting technical standards for site design feasibility.

Environmental Review

Environmental review was conducted in conjunction with the approved PUD, General Plan Amendment and rezoning, per the requirements of the California Environmental Quality Act (CEQA). A determination to issue a Negative Declaration with mitigations (Exhibit D) was made on April 15, 2008. The review anticipated the impacts that would apply to residential development at the density required by the PUD. The environmental review process generated mitigation measures that will reduce potential impacts to a less than significant level.

Conclusion

As proposed and conditioned, the project is consistent with all applicable requirements of PUD Ordinance # 5025, and the requirements of the design review ordinance (see Exhibit B, "Design Review Finding"). The PUD was previously determined to be consistent with applicable codes and policies of the Zoning Ordinance and General Plan/LCP.

Staff Recommendation

- Adopt the attached resolution (Exhibit G), sending a recommendation to the Board of Supervisors for **Approval** of Application Number **101134**, based on the attached Design Review finding and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

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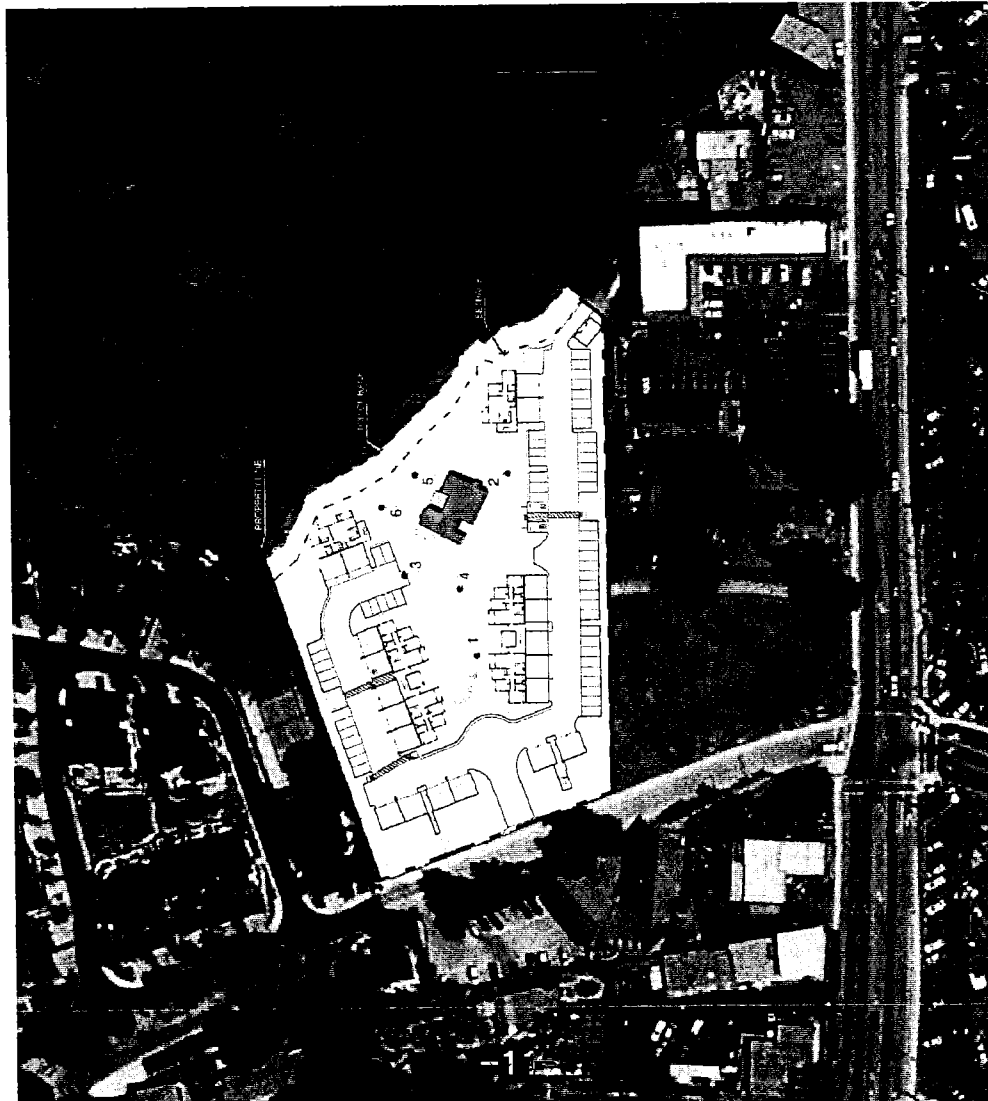


APTOS BLUE
Aptos, California

MIDPEN HOUSING CORPORATION

JANUARY 18, 2011
APRIL 5, 2011 (REVISED)
AUGUST 15, 2011 (REVISED)





1 - NORTHWEST CORNER



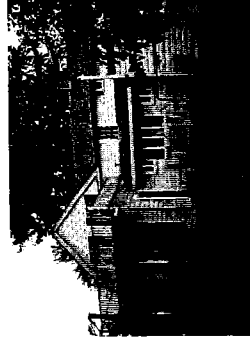
2 - SOUTHWEST CORNER



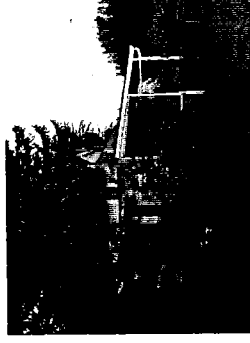
3 - NORTH FACADE



4 - WEST FACADE



5 - EAST FACADE



6 - EAST FACADE

HISTORIC CASTRO HOUSE

CONTEXT

A-2

SCALE: N.T.S.
DATE: 08/15/2011 REV
PROJECT: 311001

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APTOS COTTAGES
MID-PEN HOUSING CORPORATION
APTOS, CA
APN# 039-471-09

EXHIBIT A

A **BITE NOTES**

- THE SILE SLOPE IS MOST PROUNCEABLE AT THE ENTRANCE ALONG AFTER MUCH ROAD AND AT THE DEEP BANK OF THE OPPOSITE END
- THE SILE SLOPE IS MOST PROUNCEABLE AT THE ENTRANCE ALONG AFTER MUCH ROAD AND AT THE DEEP BANK OF THE OPPOSITE END

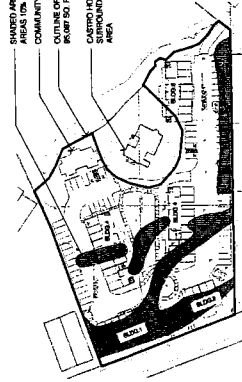
B

- 10-3 STORY RESIDENTIAL NON-ELEVATOR BUILDINGS
- 2 STORY HISTORIC CARTRIO HOUSE WILL BE COMBANT BUILDINGS

C

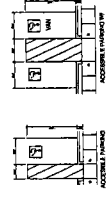
- 10-3 STORY RESIDENTIAL NON-ELEVATOR BUILDINGS
- 2 STORY HISTORIC CARTRIO HOUSE WILL BE COMBANT BUILDINGS

-
- SHADED AREA INDICATES BROWNED AREAS 10% OR GREATER - 5.07%
- COMMUNITY BUILDING
- OUTLINE OF FLOODABLE AREA 96,000 SQ. FT. / 2.18 ACRES
- CASTRO HOUSE AND SURROUNDING NON FLOODABLE AREA
- PACIFIC
- 10th



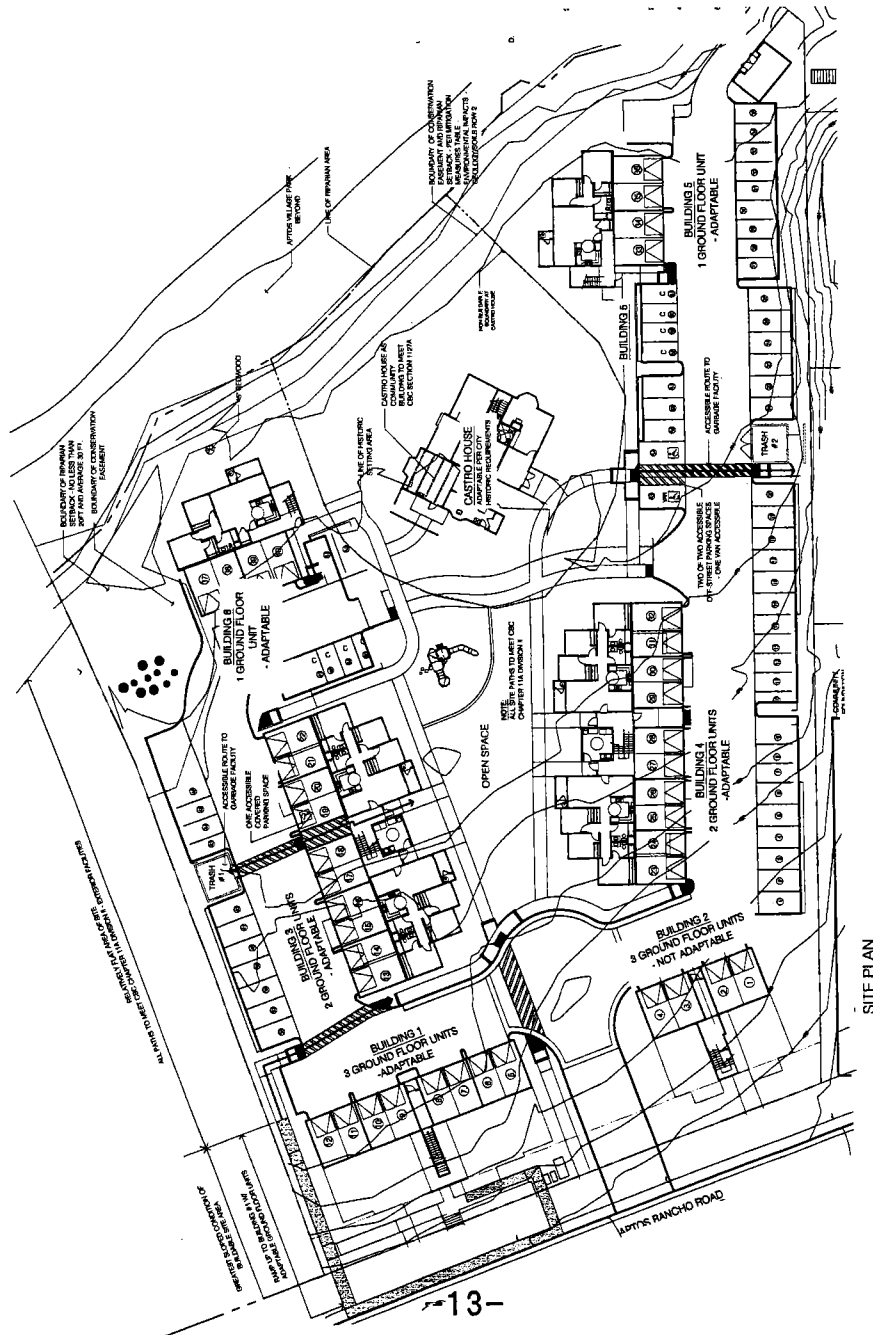
- C. PARKING (CSC 1108A)
- TWO PARKING TYPES PROVIDED
 - 1 - PRIVATE GARAGES - ASSIGNED
 - (40) PARKING SPACES PROVIDED
 - 2% TO BE ACCESSIBLE
 - (1) ACCESSIBLE STALL PROVIDED
 - 2 - (AT) STREET PARKING - UNCONCEALED AND ASSIGNED
 - (61) PARKING SPACES PROVIDED
 - 2% TO BE ACCESSIBLE
 - (2) REMAINDER 1 VAN ACCESSIBLE

- 1. CASTRO HOUSE
- 2. CONSTRUCTION TYPE: Vb
- 3. DESIGNED PER CODE SECTION 1177A. COMMON USE FACILITIES
- 4. 2-LEVEL BLDG WITH RESIDENTIAL BUILDINGS
- 5. OCCUPANCY: R-2
- 6. CONSTRUCTION TYPE: Vb
- 7. BLDG IS NOT AROUND A GROUND FLOOR UNITS BUILDING & NOT REQUIRED PER SITE PLAN AND ZONING
- 8. THESE BUILDINGS ARE ON AN ACCESSIBLE ROUTE
- 9. THESE BUILDINGS ARE NOT PER CODE CHAPTER 14 DIVISION N
- 10. BLDG IS NOT ON AN ACCESSIBLE ROUTE
- 11. THIS BLDG IS NOT REQUIRED TO CONFORM TO CODE CHAPTER 11
- 12. 3- LAUNDRY FACILITIES
- 13. 3- LAUNDRY FACILITIES ARE NOT REQUIRED PER CODE CHAPTER 43.1.6
- 14. BOTH FACILITIES TO BE DESIGNED PER CODE SECTION 1177A. COMMON USE FACILITIES
- 15. 4- GARBAGE FACILITIES
- 16. THERE ARE 67 COMMON USE FACILITIES PER CODE CHAPTER 11
- 17. 5- MAINTENANCE SHED
- 18. THE MAINTENANCE SHED IS NOT ON AN ACCESSIBLE ROUTE BUT WILL BE IN CLOSE PROXIMITY TO AN ACCESSIBLE ROUTE



A-4

SCALE: 1:20
DATE: 08/15/2011 REV
PROJECT: 311001



- SITE PLAN

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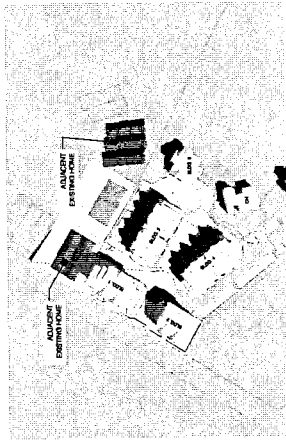
APTOS COTTAGES
MID-PEN HOUSING CORPORATION

APTOS, CA
APN# 039-471-09

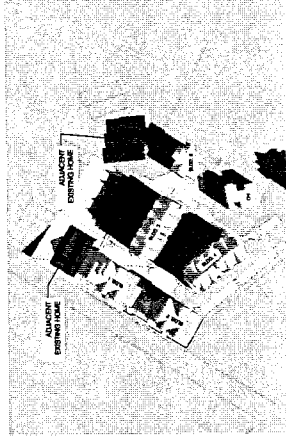


SHADOW STUDY INFORMATION

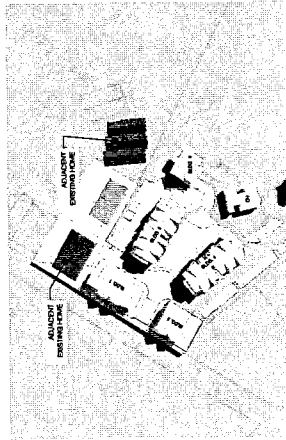
- TWO ADJACENT BUILDINGS AND THE TENNIS COURTS ARE SHOWN.
- JUNE 21 WAS NOT SHOWN - NEGLIGIBLE SHADOWS OCCUR FOR THESE TIMES
- EXISTING HOME #1 IS THE ONLY BUILDING WITH NEW SHADOW.
- HOWEVER, EXISTING STRUCTURES OCCUR IN SIMILAR LOCATIONS AND MAY ALREADY CAST SHADOW
- THE REDWOOD GROVE HAS NOT BEEN INCLUDED AND WILL AFFECT EXISTING HOME #2 MORESO THAN BUILDING #6



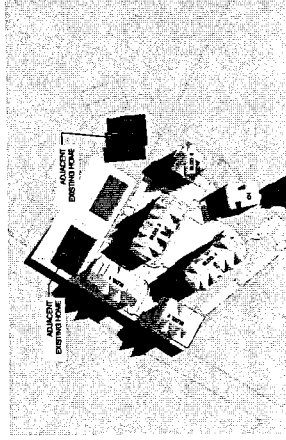
MARCH/SEPT 21, 10 AM



DEC 21, 2 PM



MARCH/SEPT 21, 10 AM



DEC 21, 10 AM

SHADOW DIAGRAMS

BUILDING HEIGHTS

A 5.1

SCALE: NTS
DATE: 08/15/2011 REV
PROJECT: 311001

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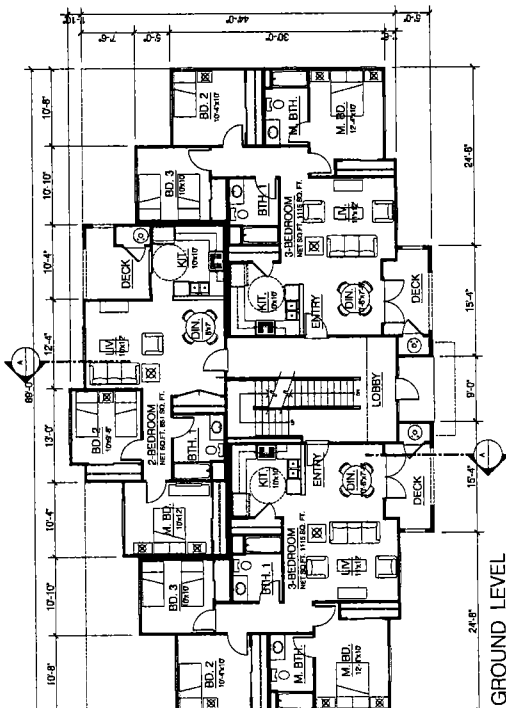
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F 415-288-0286



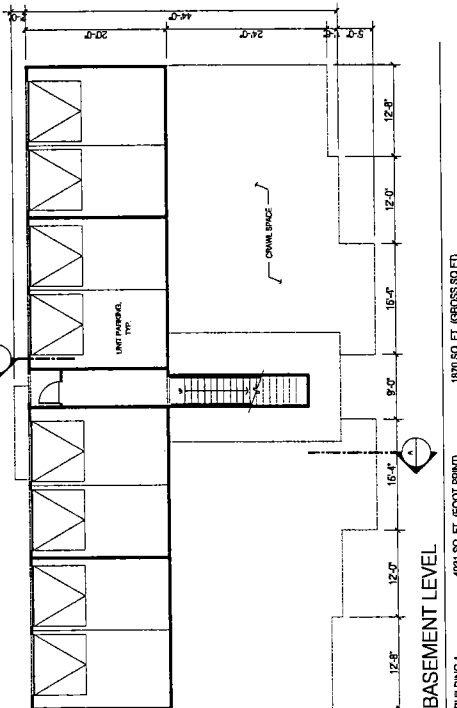
APTOS COTTAGES
MID-PEN HOUSING CORPORATION

APTOS, CA
APN# 039-471-09

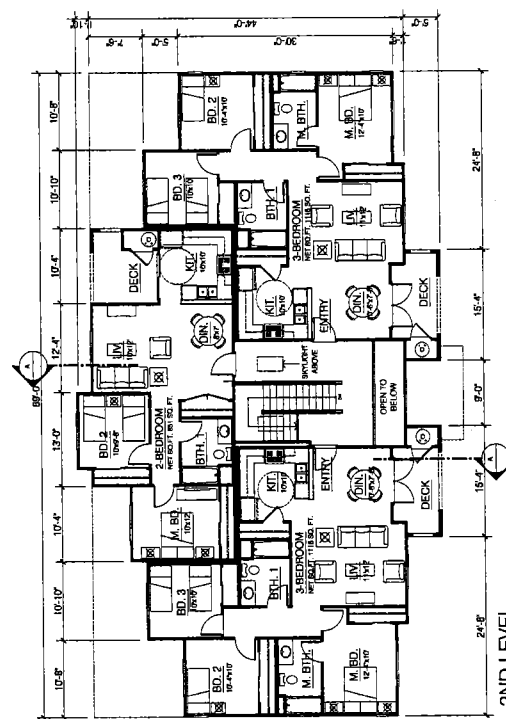
EXHIBIT A



GROUND LEVEL
BUILDING 1
3571 SQ. FT.



BASEMENT LEVEL
BUILDING 1
4031 SQ. FT. (FOOT PRINT)
1970 SQ. FT. (GROSS SQ. FT.)



2ND LEVEL
BUILDING 1
3571 SQ. FT.

BUILDING 1		FOOTAGE
TYPE	NO. OF UNITS	FOOTAGE
1-BEDROOM	4	1810 SQ. FT.
2-BEDROOM	4	1115 SQ. FT.
TOTAL	8	2925 SQ. FT.
LEASEABLE FOOTAGE		9183 SQ. FT.
GARAGE		1780 SQ. FT.
COMMON AREAS (PER FLOOR)		378 SQ. FT.
DECKS		378 SQ. FT.
BUILDING FOOTPRINT		4031 SQ. FT.



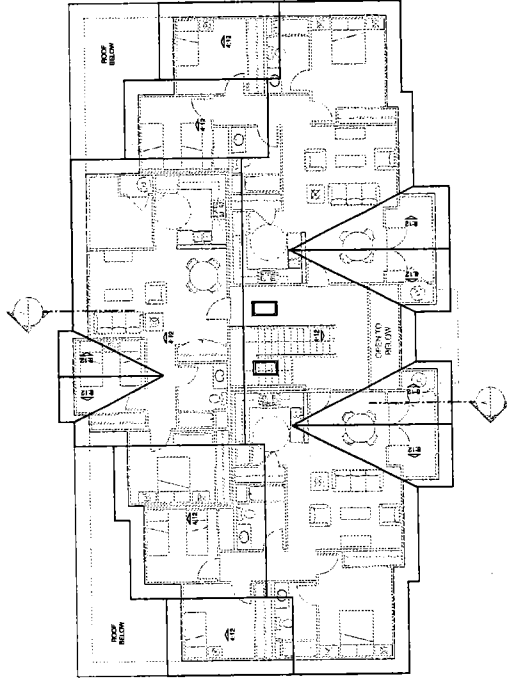
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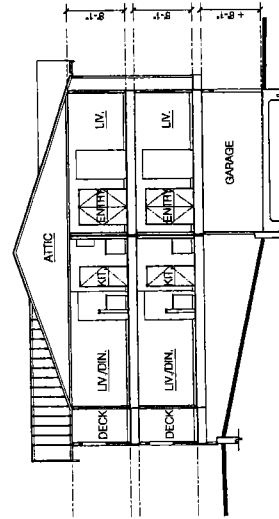
BUILDING 1 - FLOOR PLANS
A-6.1
SCALE: 1/8"=1'-0"
DATE: 06/15/2011 REV
PROJECT: 311001



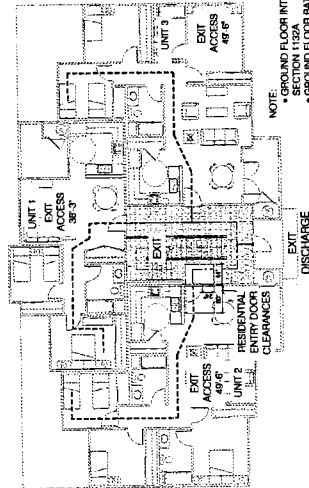
EXHIBIT A



ROOF PLAN
BUILDING 1

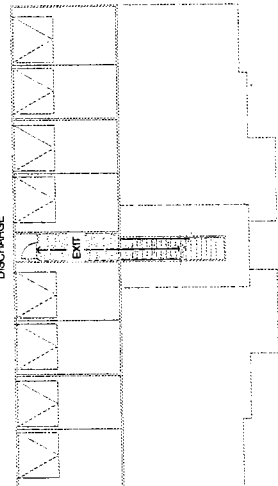


BUILDING SECTION
BUILDING 1



GROUND & 2ND LEVEL
BUILDING 1

NOTE:
• GROUND FLOOR INTERIOR DOORS TO MEET
• GROUND FLOOR BATHROOMS AND KITCHENS
• GROUND FLOOR 1132A AND 1134A
TO MEET SECTION 1132A AND 1134A



BASEMENT LEVEL
BUILDING 1

EXIT ACCESS (2010 CBC SECTION 1021 AND TABLE 1021.2)
• 2-STORY STRUCTURE
• EACH UNIT HAS ACCESS TO ONE EXIT
• 50 FOOT MAX. TRAVEL DISTANCE ALLOWED
EXIT (2010 CBC 1022 - EXIT ENCLOSURES)
• INTERIOR EXIT STAIRWAYS PROVIDED
• ONE HOUR WALLS AT THE UNITS SURROUNDING THE STAIR
ENCLOSURES
REQUIREMENTS:
• EXIT STAIRS 1022.3 AND 716 DOORS FROM UNITS TO BE
• RATED
• DOOR TO EXTERIOR NOT RATED
EXIT DISCHARGE (2010 CBC 1027)
• EXIT DISCHARGES ARE DIRECTLY AT THE
EXTERIOR OF THE BUILDING AND AN
ACCESSIBLE ROUTE IS PROVIDED AWAY FROM
THE BUILDING

NOTE:
• THE GROUND FLOOR OF THIS BUILDING IS COVERED PER CHAPTER 11A

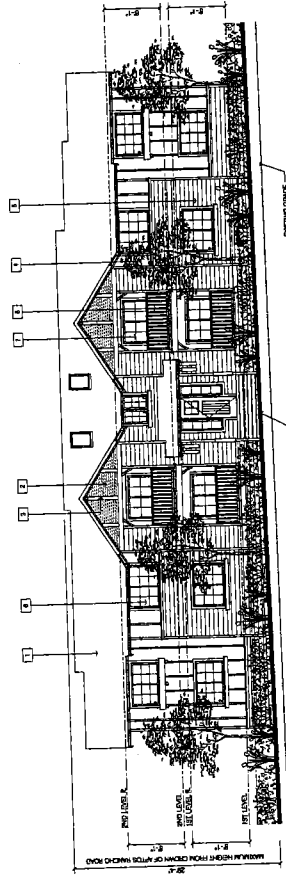
EXITING NOTES AND DIAGRAMS

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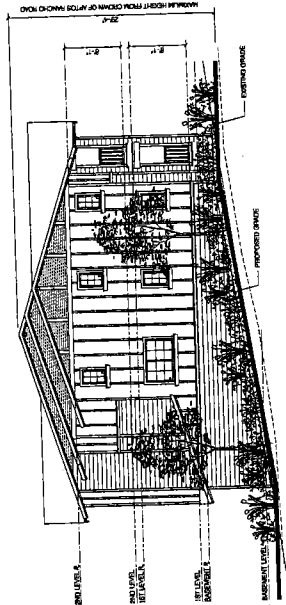
BUILDING 1 - ROOF PLAN, BLDG. SECTION, EXITING
A-6.2
SCALE: 1/8"=1'-0"
DATE: 09/15/2011 REV
PROJECT: 311001

EXHIBIT A



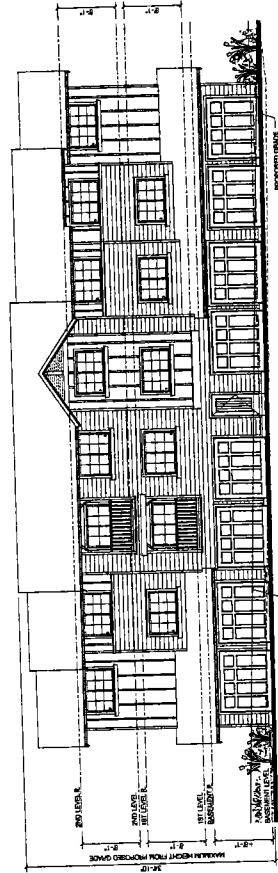
WEST ELEVATION (APTOS RANCHO ROAD)

BUILDING 1



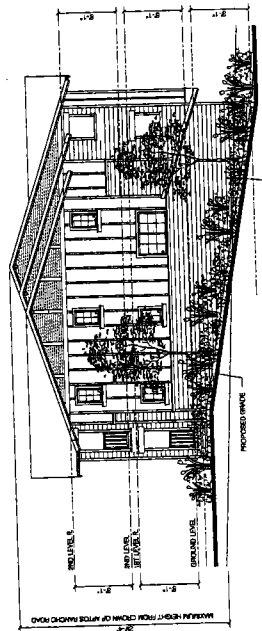
NORTH ELEVATION

BUILDING 1



EAST ELEVATION

BUILDING 1



SOUTH ELEVATION

BUILDING 1

LEGEND:
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BUILDING 1 - EXTERIOR ELEVATIONS

A-6.3

SCALE: 1/8"=1'-0"
 DATE: 08/15/2011 REV
 PROJECT: 311001

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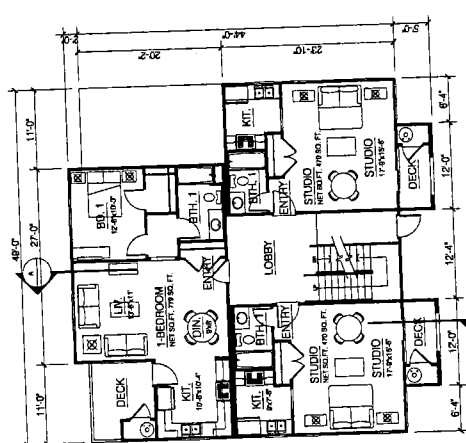
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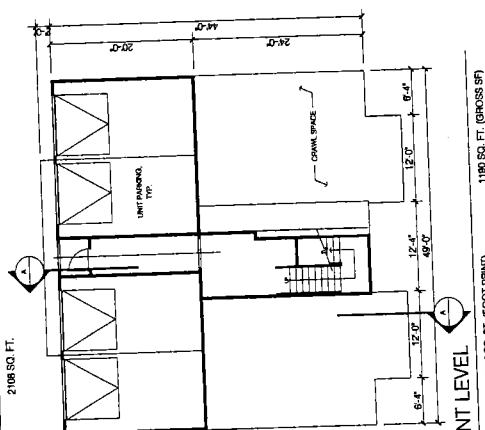
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 APTOS, CA
 APN# 039-471-08



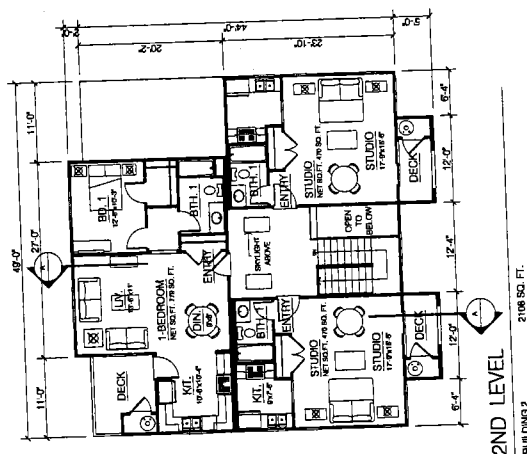
HUNT-HALE-JONES ARCHITECTS



1ST LEVEL
BUILDING 2



BASEMENT LEVEL	2276 SQ.
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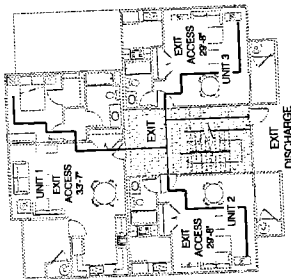


2ND LEVEL

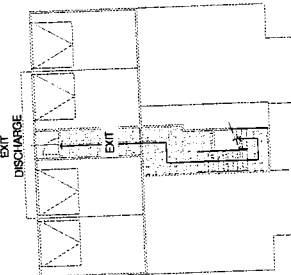
BUILDING 2		FOOTAGE	
TYPE	# OF UNITS	SQ. FT.	SQ. FT.
STUDIO	4	475	475
1-BEDROOM	2	778	778
TOTAL	6		

LEASABLE FOOTAGE	
GARAGE	3438 SQ. FT.
CIRCULATION (PER FLOOR)	960 SQ. FT.
DECKS	292 SQ. FT.
BUILDING FOOTPRINT	172 SQ. FT.
	2276 SQ. FT.





1ST & 2ND LEVEL
BUILDING 2
N.T.S.

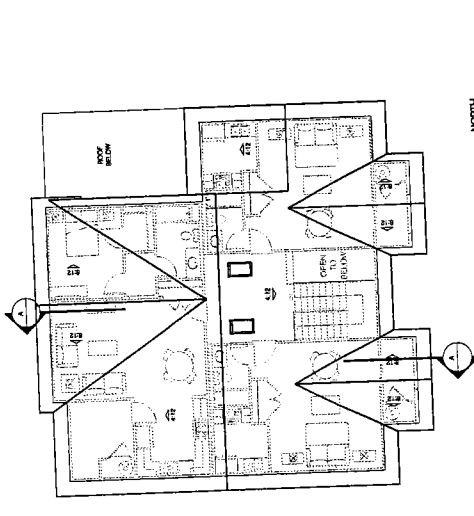


BASEMENT LEVEL
BUILDING 2
N.T.S.

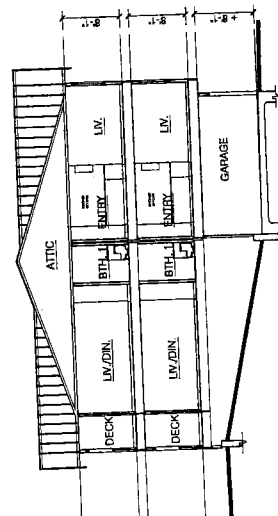
- EXIT ACCESS (2010 CBC SECTION 1021 AND TABLE 1021.2)
- 2- STORIES OR LESS
 - EACH UNIT HAS ACCESS TO ONE EXIT
 - 60 FOOT MAX. TRAVEL DISTANCE ALLOWED
- EXIT (2010 CBC 1022 - EXIT ENCLOSURES)
- INTERIOR EXIT ENCLOSURES REQUIRED
 - EXIT IS WALLS AT THE UNITS SURROUNDING THE STAIR REQUIRED
 - PER SECTIONS 1022.3 AND 716 DOORS FROM UNITS TO BE 7/8 HOUR RATED
 - DOOR TO EXTERIOR NOT RATED
- EXIT DISCHARGE (2010 CBC 1027)
- EXIT DISCHARGE ARE LOCATED OUTSIDE AT THE BASEMENT LEVEL
 - AN ACCESSIBLE ROUTE IS PROVIDED AWAY FROM THE BUILDING

NOTE:
• THIS BUILDING IS NOT COVERED PER CHAPTER 11A

EXITING NOTES AND DIAGRAM



ROOF PLAN
BUILDING 2



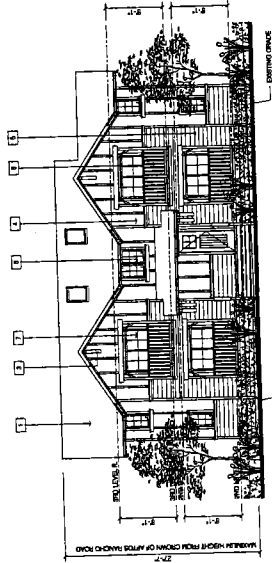
BUILDING SECTION
BUILDING 2

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BUILDING 2 - ROOF PLAN, BLDG. SECTION, EXITING
A-7.2
SCALE: 1/8" = 1'-0"
DATE: 08/15/2011 REV
PROJECT: 311001

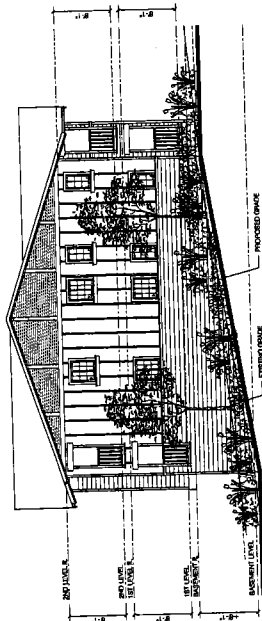
EXHIBIT



WEST ELEVATION (APTOS RANCHO ROAD)

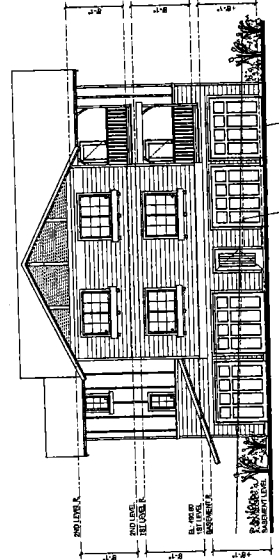
BUILDING 2

- LEGEND:
- 1. EXISTING WOOD SHINGLES
 - 2. EXISTING WOOD SHINGLES
 - 3. EXISTING WOOD SHINGLES
 - 4. EXISTING WOOD SHINGLES
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 - 8. EXISTING WOOD SHINGLES



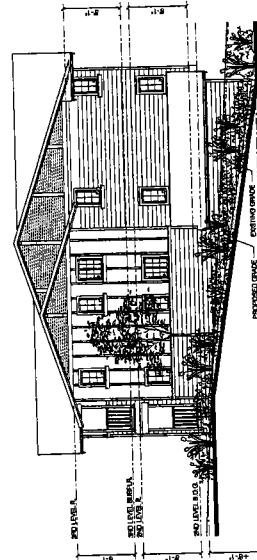
NORTH ELEVATION

BUILDING 2



EAST ELEVATION

BUILDING 2



SOUTH ELEVATION

BUILDING 2

BUILDING 2 - EXTERIOR ELEVATIONS

A-7.3

SCALE: 1/8" = 1'-0"
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PROJECT: 311001

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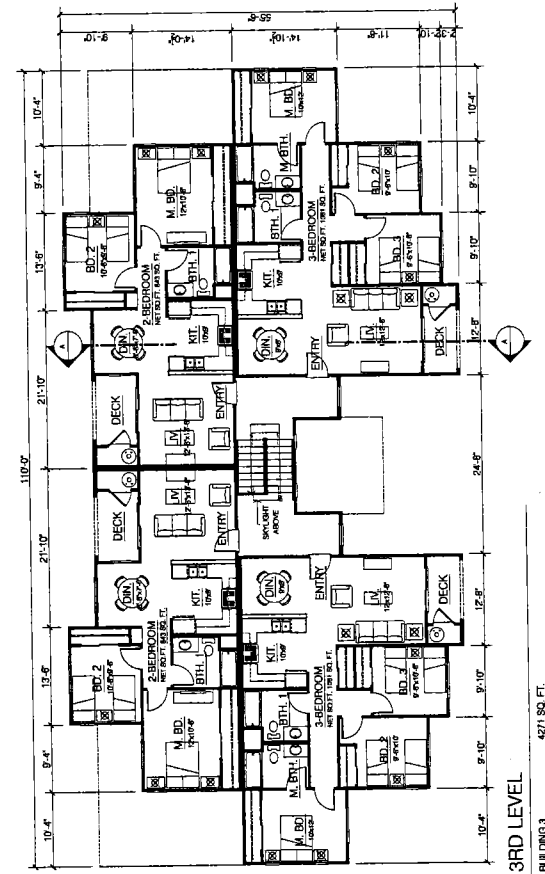
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MID-PEN HOUSING CORPORATION
APTOS, CA

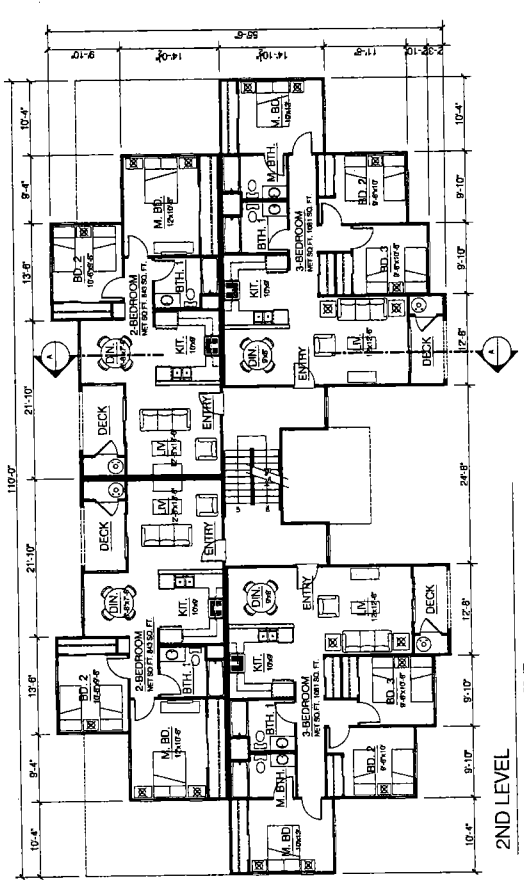
APN# 039-471-09

EXHIBIT A



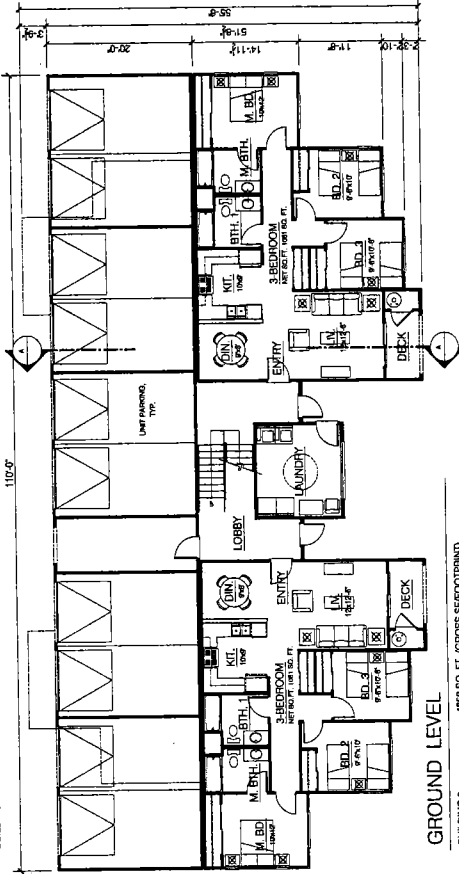
3RD LEVEL

BUILDING 3
4271 SQ. FT.



2ND LEVEL

BUILDING 3
4271 SQ. FT.



GROUND LEVEL

BUILDING 3
4658 SQ. FT. (GROSS SF FOOTPRINT)

BUILDING 3	TYPE	AREA	FOOTAGE
2-BEDROOM	4	184	184 SQ. FT.
3-BEDROOM	4	184	184 SQ. FT.
TOTAL			368 SQ. FT.
LEASEABLE FOOTAGE			9740 SQ. FT.
CIRCULATION PER FLOOR			2181 SQ. FT.
CIRCULATION PER FLOOR			470 SQ. FT.
BUILDING FOOTPRINT			4658 SQ. FT.



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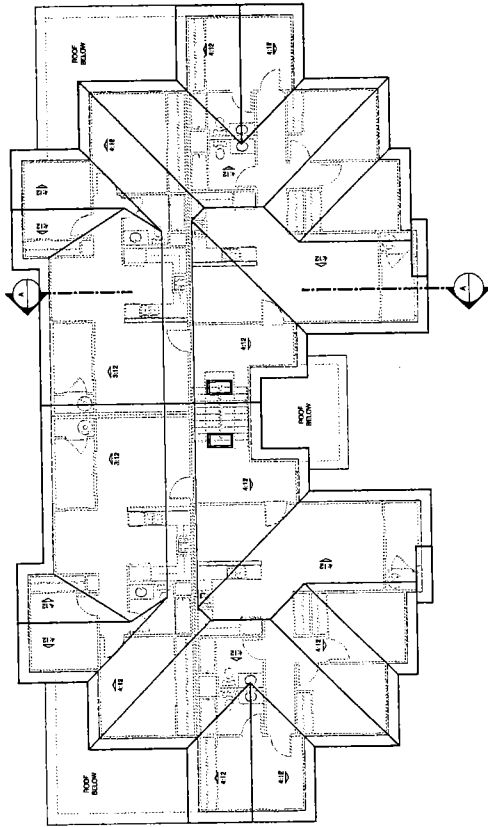
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BUILDING 3 - FLOOR PLANS

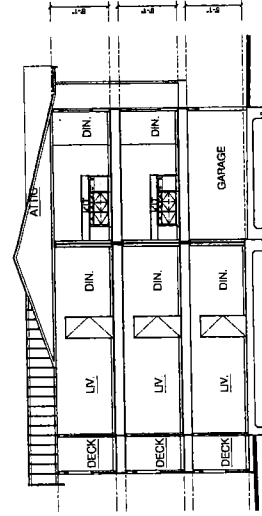
A-8.1

SCALE: 1/8"=1'-0"
DATE: 08/15/2011 REV
PROJECT: 311001



ROOF PLAN

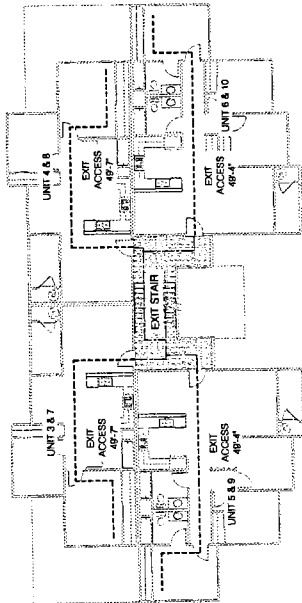
BUILDING 3



BUILDING SECTION

BUILDING 3

- EXIT ACCESS (2010 CBC SECTION 1021 AND TABLE 1021.2)
- 3 - STORY STRUCTURE
 - EACH UNIT HAS ACCESS TO ONE EXIT
 - 50 FOOT MAX. EXIT ACCESS TRAVEL DISTANCE ALLOWED
- EXIT (2010 CBC 1023 - EXIT (EXITS) REQUIRED)
- ONE HOUR WALLS AT THE UNITS SURROUNDING THE STAIR REQUIRED
 - PER SECTIONS 1022.3 AND 715 DOORS FROM UNITS TO BE REQUIRED
 - DOOR TO EXTERIOR NOT RATED
- EXIT DISCHARGE (2010 CBC 1027)
- EXITS AND EXITS ARE DIRECTLY AT THE EXTERIOR OF THE BUILDING AND AN ACCESSIBLE ROUTE IS PROVIDED AWAY FROM THE BUILDING

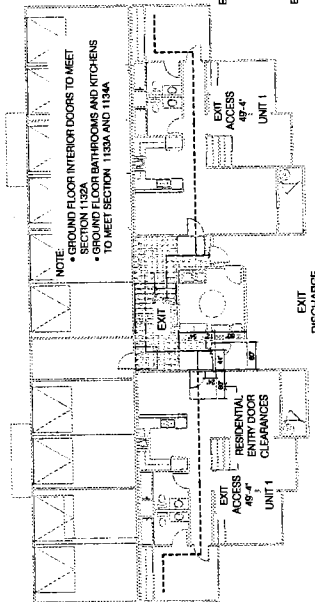


NOTE:
• THE 2ND AND 3RD FLOORS OF THIS BUILDING ARE NOT COVERED PER CHAPTER 11A

2ND & 3RD LEVEL

BUILDING 3

N.T.S.



GROUND LEVEL

BUILDING 3

N.T.S.

NOTE:
• THE GROUND FLOOR OF THIS BUILDING IS COVERED PER CHAPTER 11A

EXITING NOTES AND DIAGRAMS

APTOS COTTAGES
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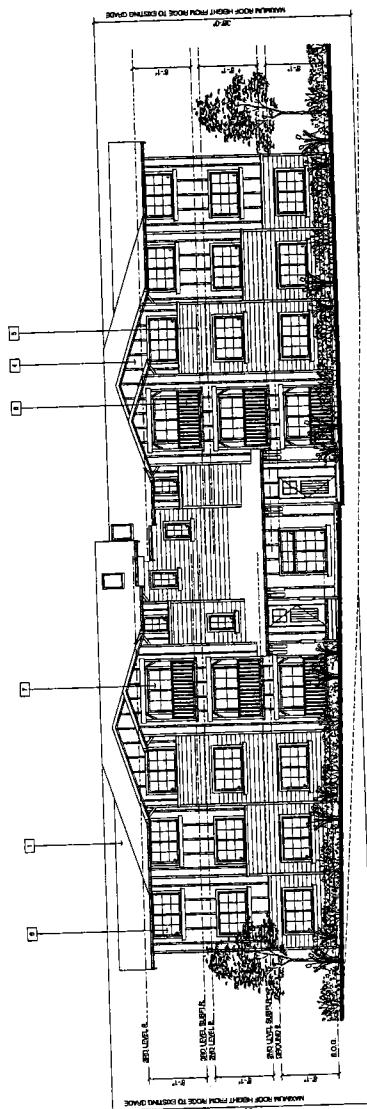
1 415-512-1300
1 415-266-0288

BUILDING 3 - ROOF PLAN, BLDG. SECTION, EXITING

A-8.2

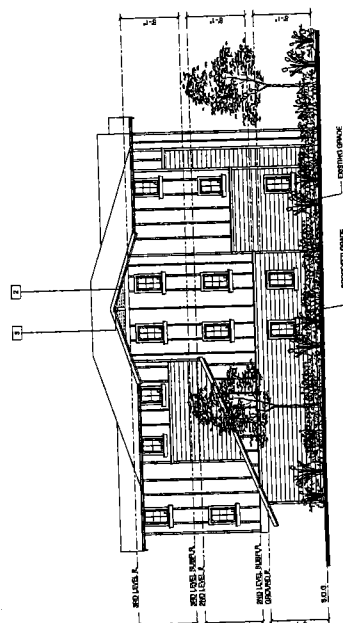
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PROJECT: 311001

EXHIBIT

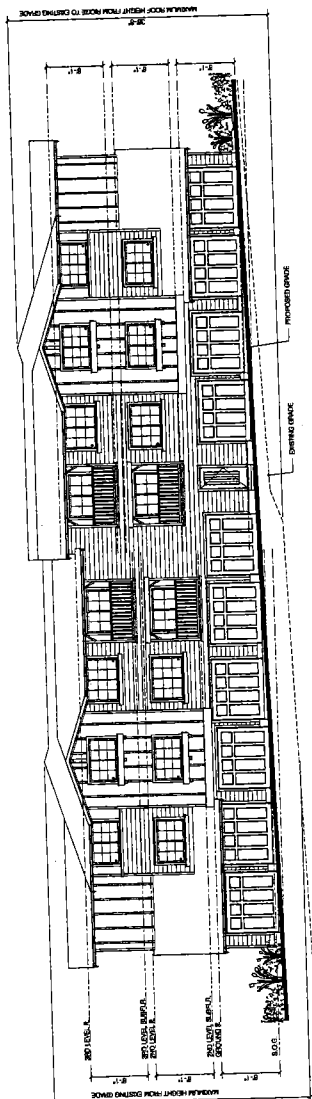


SOUTH ELEVATION
BUILDING 3

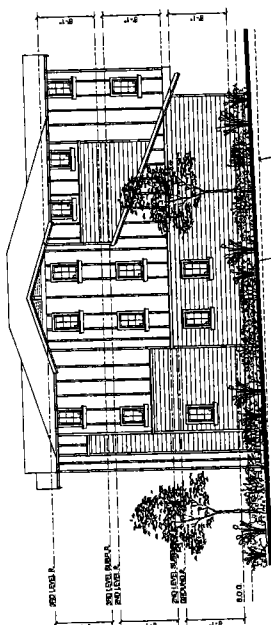
- LEGEND
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WEST ELEVATION
BUILDING 3



NORTH ELEVATION
BUILDING 3



EAST ELEVATION
BUILDING 3

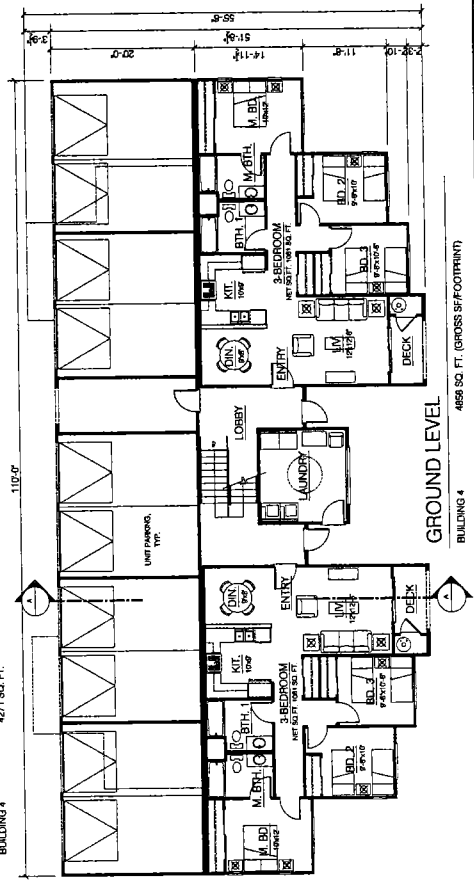
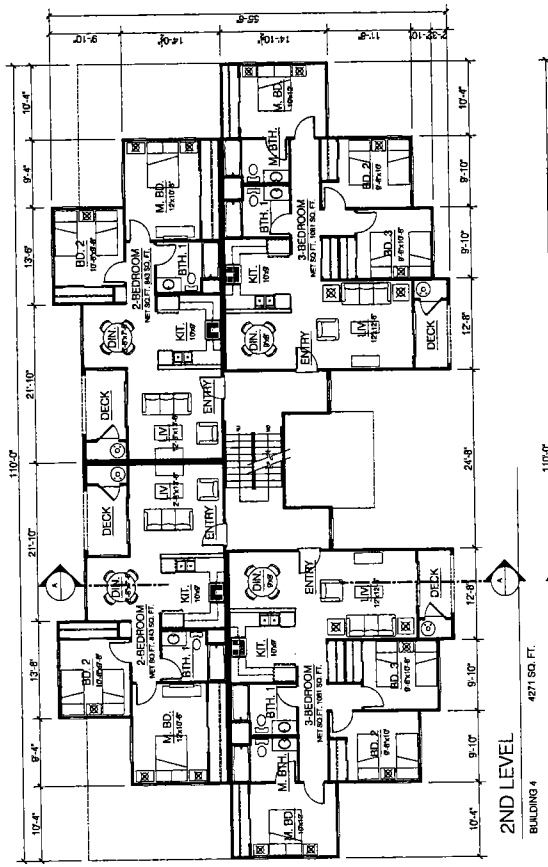
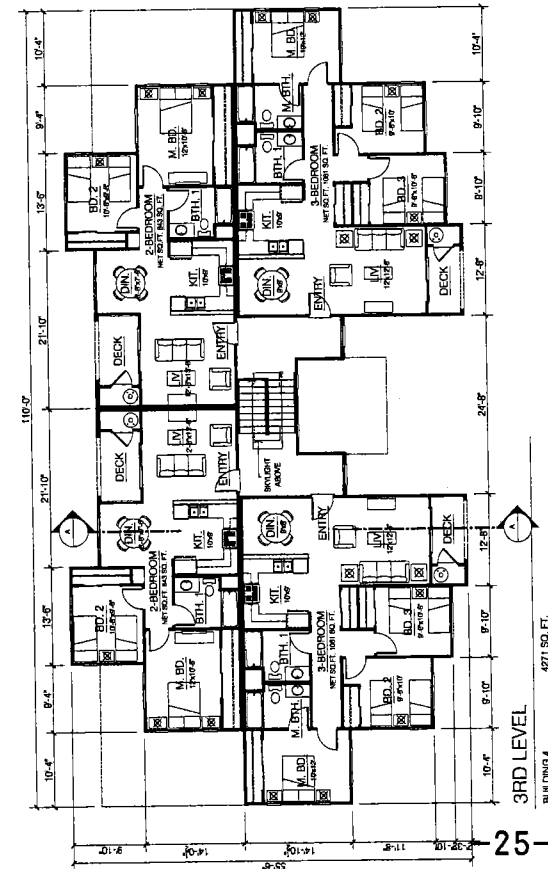
BUILDING 3 - EXTERIOR ELEVATIONS
A-8.3
SCALE: 1/8"=1'-0"
DATE: 06/15/2011 REV
PROJECT: 311001

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MID-PEN HOUSING CORPORATION
APTOS, CA
APN# 039-471-09

EXHIBIT



BUILDING	3 B.D.	2 B.D.	1 B.D.	TOTAL
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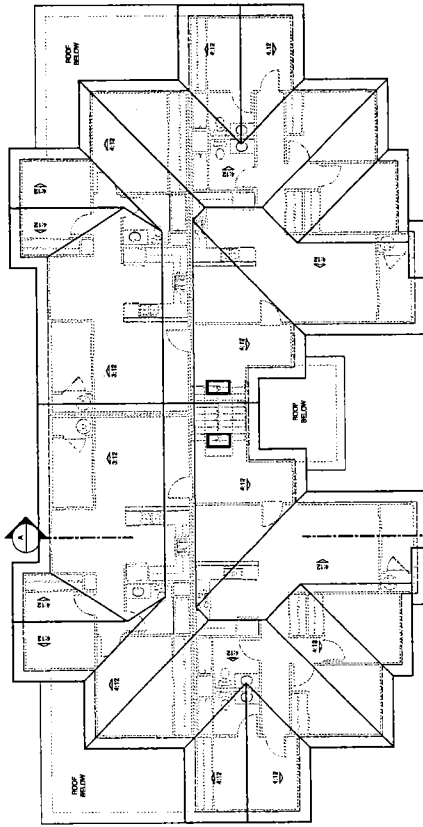


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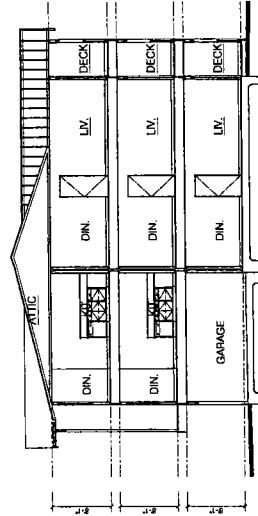
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BUILDING 4 - FLOOR PLANS
A-9.1
SCALE: 1/8"=1'-0"
DATE: 08/15/2011 REV
PROJECT: 311001

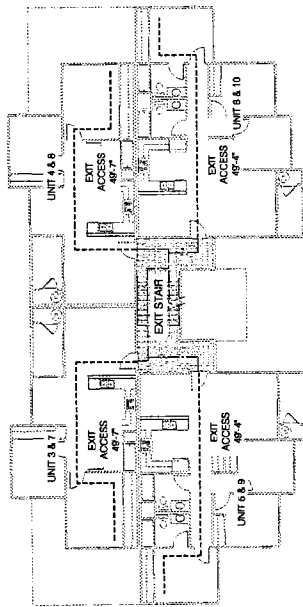


ROOF PLAN
BUILDING 4



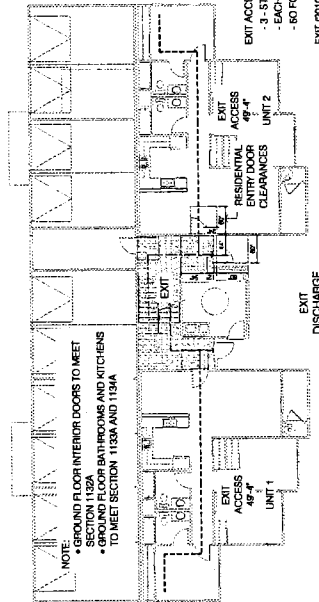
BUILDING SECTION
BUILDING 4

- EXIT ACCESS (2010 CBC SECTION 1027 AND TABLE 1027.2)
- 3 - STORY STRUCTURE
- EACH UNIT HAS ACCESS TO ONE EXIT
- 50 FOOT MAX. EXIT ACCESS TRAVEL DISTANCE ALLOWED
- EXIT (2010 CBC 1029 - EXIT ENCLOSURES)
- INTERIOR EXIT STAIRWAYS PROVIDED
- ONE HOUR WALLS AT THE UNITS SURROUNDING THE STAIR
- REQUIRED
- 1 HOUR WALLS (1029.3 AND 715 DOORS FROM UNITS TO BE
- 1 HOUR WALLS
- DOOR TO EXTERIOR NOT RATED
- EXIT DISCHARGE (2010 CBC 1027)
- EXIT DISCHARGES ARE DIRECTLY AT THE
- EXTERIOR OF THE BUILDING AND AN
- ACCESSIBLE ROUTE IS PROVIDED AWAY FROM
- THE BUILDING



NOTE:
• THE 2ND AND 3RD FLOORS OF THIS BUILDING ARE NOT COVERED PER CHAPTER 11A

2ND & 3RD LEVEL
BUILDING 3
N.T.S.



GROUND LEVEL
BUILDING 3
N.T.S.

NOTE:
• THE GROUND FLOOR OF THIS BUILDING IS COVERED PER CHAPTER 11A

EXITING NOTES AND DIAGRAMS

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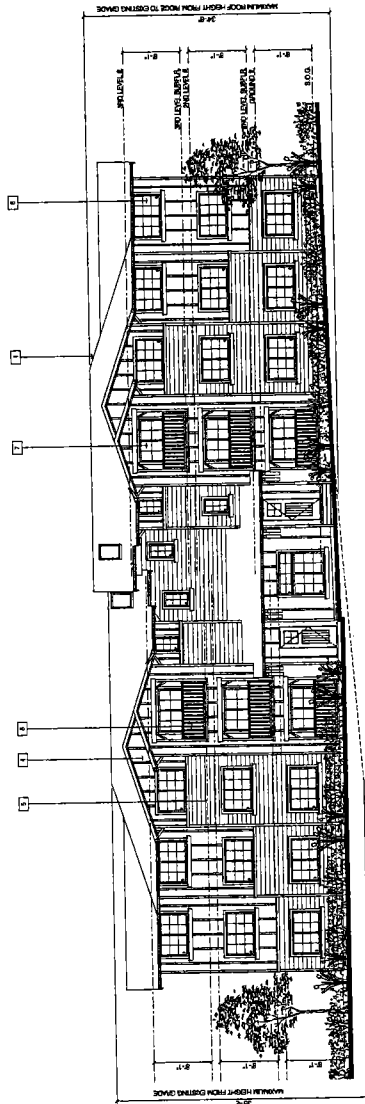
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BUILDING 4 - ROOF PLAN, BLDG. SECTION, EXITING
A-9.2

SCALE: 1/8" = 1'-0"
DATE: 06/15/2011 REV
PROJECT: 311001



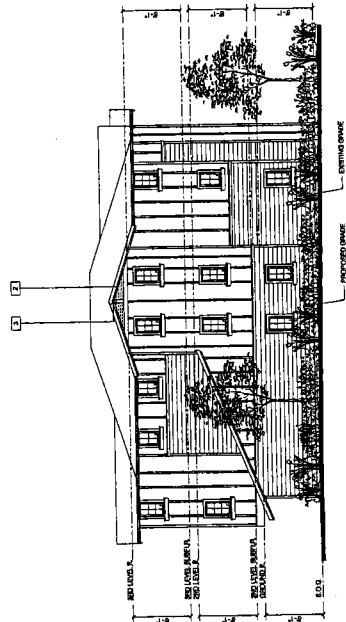
EXHIBIT A



NORTH ELEVATION

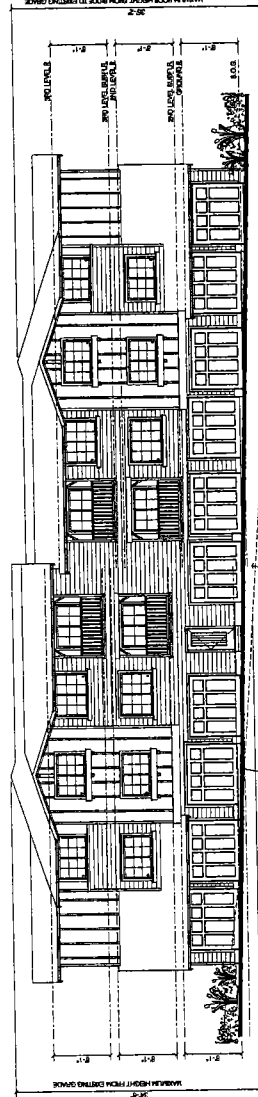
BUILDING 4

- LEGEND:
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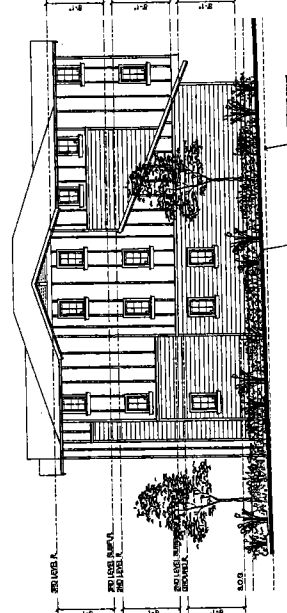
EAST ELEVATION

BUILDING 4



SOUTH ELEVATION

BUILDING 4



WEST ELEVATION

BUILDING 4

BUILDING 4 - EXTERIOR ELEVATIONS

A-9.3

SCALE: 1/8"=1'-0"
DATE: 08/15/2011 REV
PROJECT: 311001

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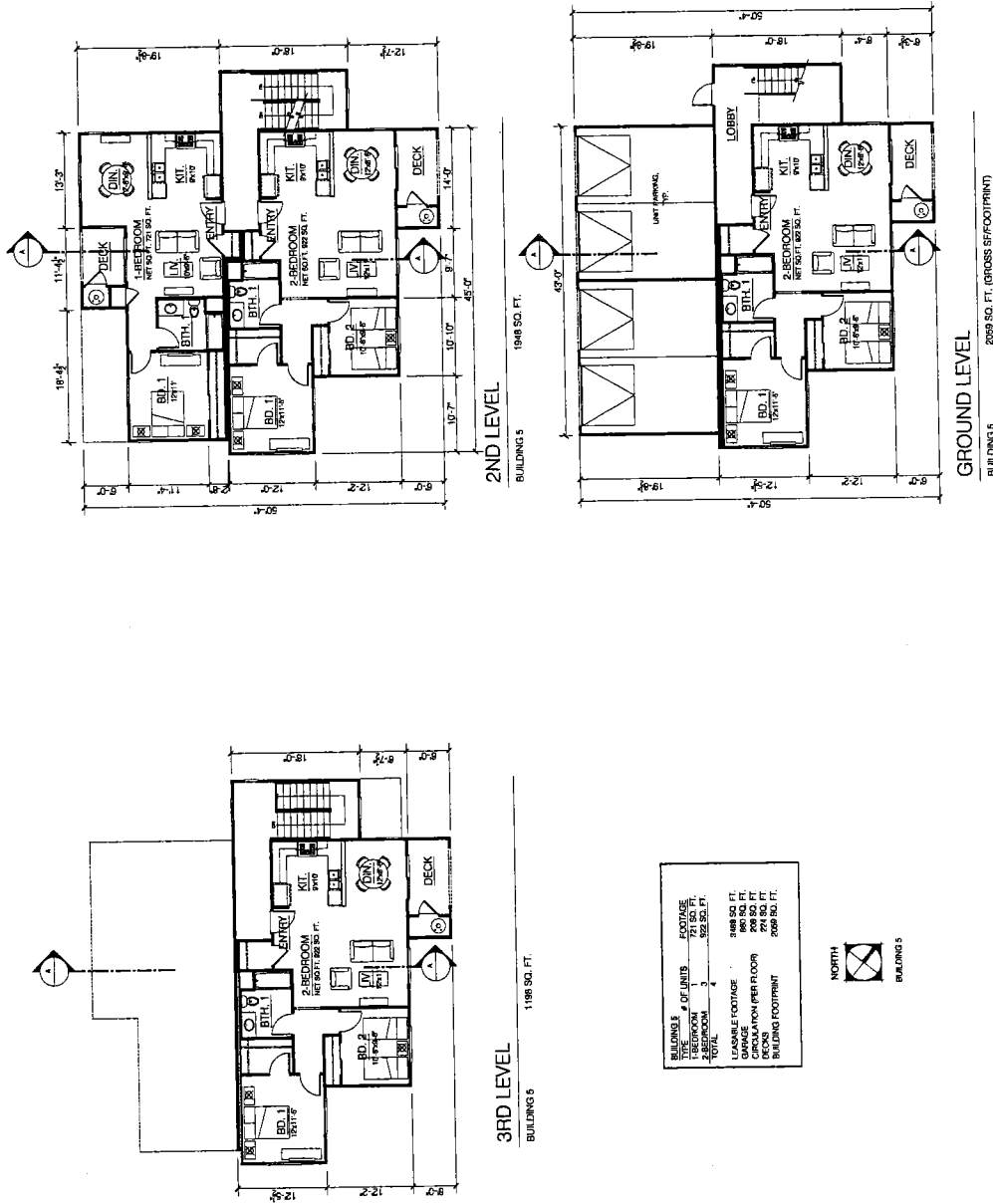
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BUILDING 5 - FLOOR PLANS

A-10.1

SCALE: 1/8"=1'-0"
DATE: 08/15/2011 REV
PROJECT: 311001

Architecture | Planning | Interiors

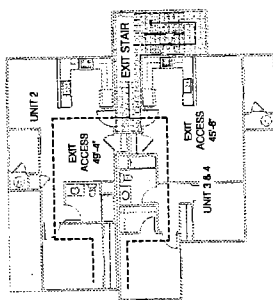
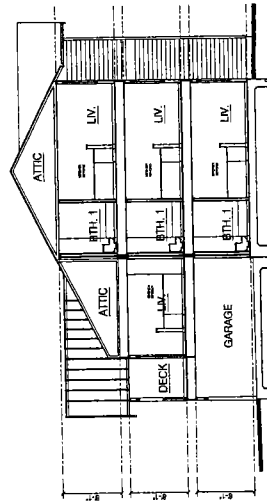
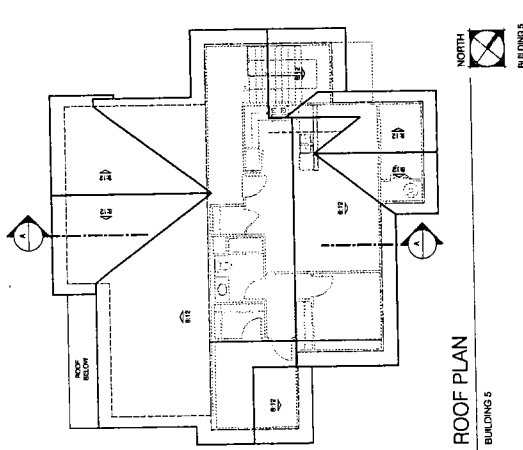
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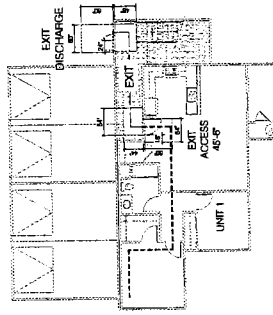
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APN# 039-471-09

EXHIBIT A



NOTE:
• THE 2ND AND 3RD FLOORS OF THIS BUILDING ARE NOT COVERED PER CHAPTER 11A



NOTE:
• THE GROUND FLOOR OF THIS BUILDING IS COVERED PER CHAPTER 11A

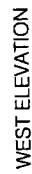
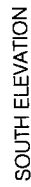
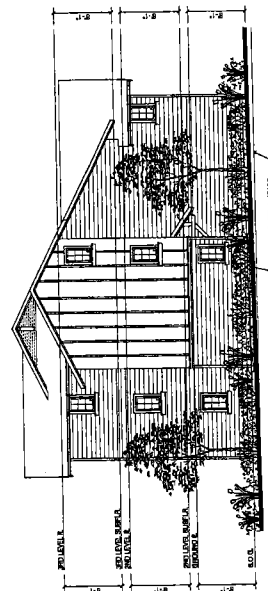
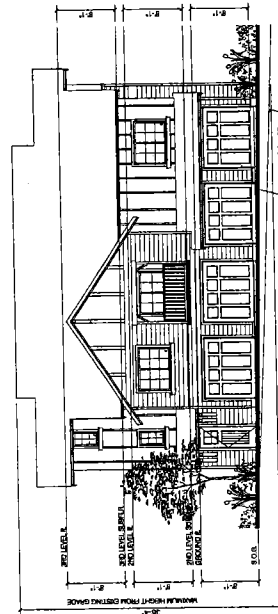
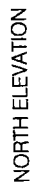
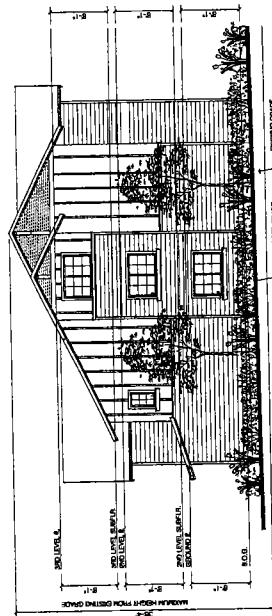
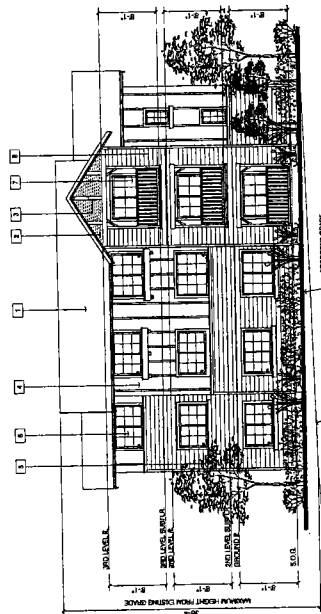
- NOTE:
- GROUND FLOOR INTERIOR DOORS TO MEET SECTION 1102A
 - GROUND FLOOR BATHROOMS AND KITCHENS TO MEET SECTION 1103A AND 1104A
- EXIT ACCESS (2010 CBC SECTION 1021 AND TABLE 1021.2)
- 3- STORY STRUCTURE
 - EACH UNIT HAS ACCESS TO ONE EXIT
 - 50 FOOT MAX. EXIT ACCESS TRAVEL DISTANCE ALLOWED
- EXIT (2010 CBC 1022 - EXIT ENCLOSURES)
- EXIT ENCLOSURES ARE REQUIRED
 - ONE HOUR WALLS AT THE UNITS SURROUNDING THE STAIR
 - PER SECTIONS 1022.3 AND 715 DOORS FROM UNITS TO BE
 - 10 MIN. MINIMUM
 - DOOR TO EXTERIOR NOT RATED
- EXIT DISCHARGE (2010 CBC 1027)
- EXIT DISCHARGE IS PROVIDED AT THE EXTERIOR OF THE BUILDING AND AN ACCESSIBLE ROUTE IS PROVIDED AWAY FROM THE BUILDING

EXITING NOTES AND DIAGRAMMS

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BUILDING 5 - ROOF PLAN, BLDG. SECTION, EXITING
A-10.2
SCALE: 1/8"=1'-0"
DATE: 08/15/2011 REV
PROJECT: 31001



BUILDING 5 - EXTERIOR ELEVATIONS

A-10.3

SCALE: 1/8"=1'-0"
DATE:08/15/2011 REV
PROJECT: 311001

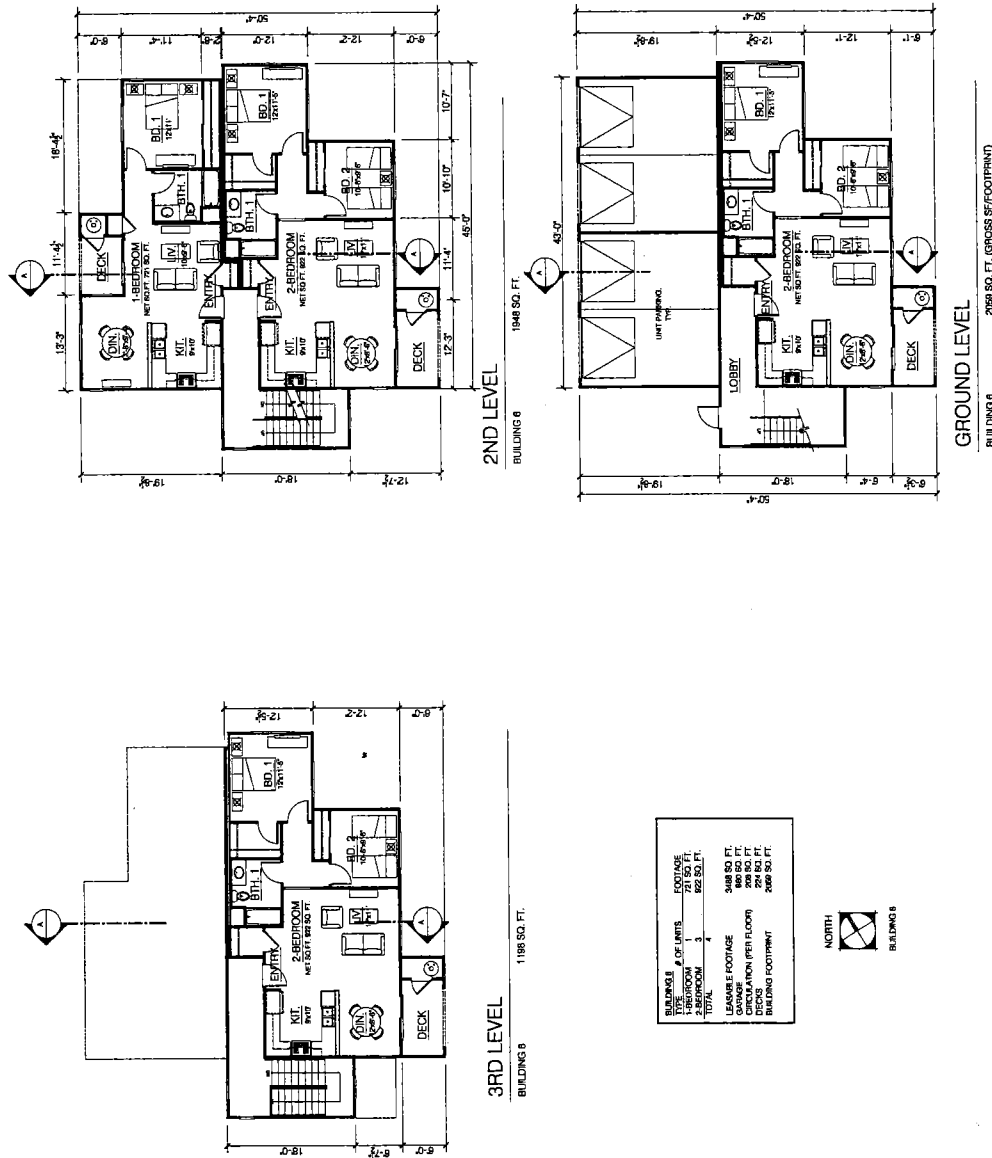
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APN# 039-471-09



NOTE:

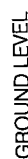
- THE GROUND FLOOR OF THIS BUILDING IS COVERED PER CHAPTER 11A

ALM DING 5 & 0



2ND & 3RD LEVEL

PLANTING	N.T.S.



BUHONG 1	N.T.S.
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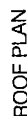
NOTE:

- GROUND FLOOR INTERIOR DOORS TO MEET SECTION 1132A
- GROUND FLOOR BATH-ROOMS AND KITCHENS TO MEET SECTION 1133A AND 1134A

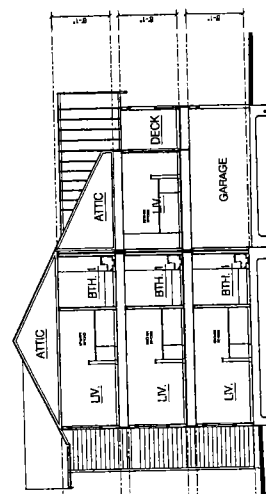
- 3 - STORY STRUCTURE
- EACH UNIT HAS ACCESS TO ONE EXIT
- EACH UNIT MAY HAVE ACCESS TRAVEL DISTANCE ALLOWED

- EXIT (2010 CBC 1022 - EXIT ENCLOSURES)
- INTERIOR EXIT STAIRWAYS PROVIDED
- ONE HOUR WALLS AT THE UNITS SURROUNDING THE STAIR
- PER SECTIONS 1022.3 AND 715 DOORS FROM UNITS TO BE RECORDED
- 1/4" RATING
- DOORS TO EXTERIOR NOT RATED

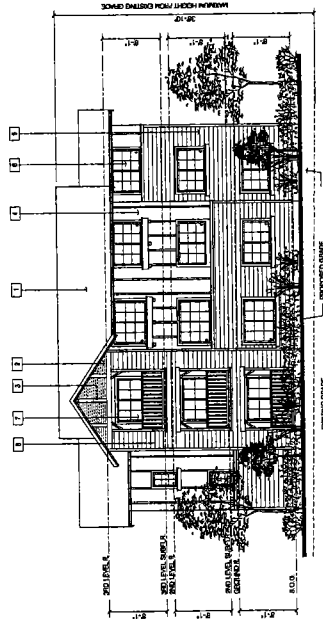
EXIT DISCHARGE (2010 CBC 1027)
- EXIT DISCHARGES ARE DIRECTLY AT THE EXTERIOR OF THE BUILDING AND AN ACCESSIBLE ROUTE IS PROVIDED AWAY FROM THE BUILDING



BUILDING 5

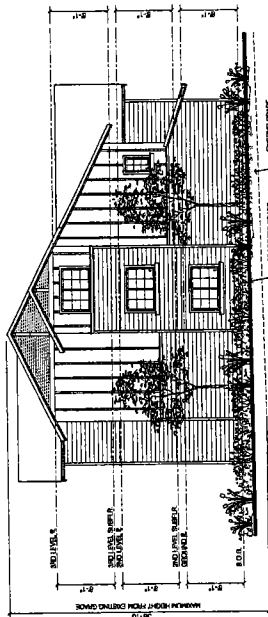


ALM DING 5 & 0



EAST ELEVATION

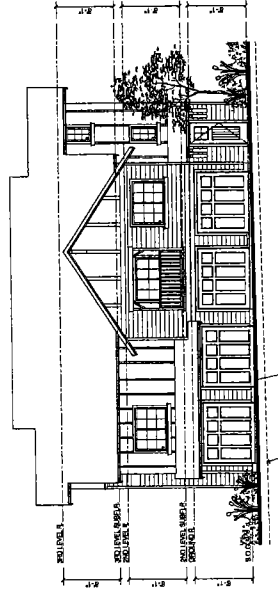
BUILDING 6



NORTH ELEVATION

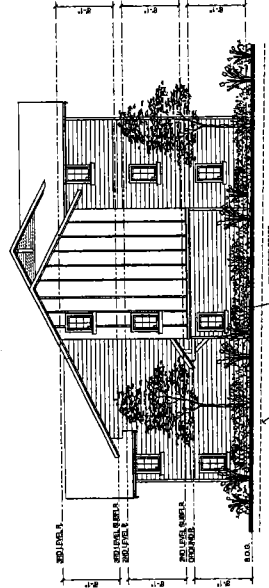
BUILDING 6

- LEGEND:
- 1. EXISTING WOOD SHINGLES
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WEST ELEVATION

BUILDING 6



SOUTH ELEVATION

BUILDING 6

BUILDING 6 - EXTERIOR ELEVATIONS

A-11.3

SCALE: 1/8"=1'-0"
DATE: 09/15/2011 REV
PROJECT: 311001

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HALE
JONES

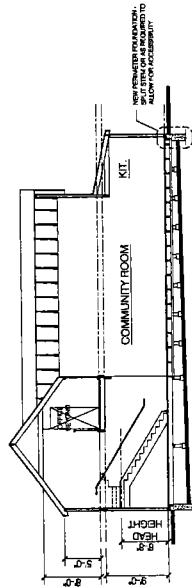
APTOS COTTAGES
MID-PEN HOUSING CORPORATION
APTOS, CA
APN# 039-471-09

EXHIBIT

HUNT HALE JONES ARCHITECTS

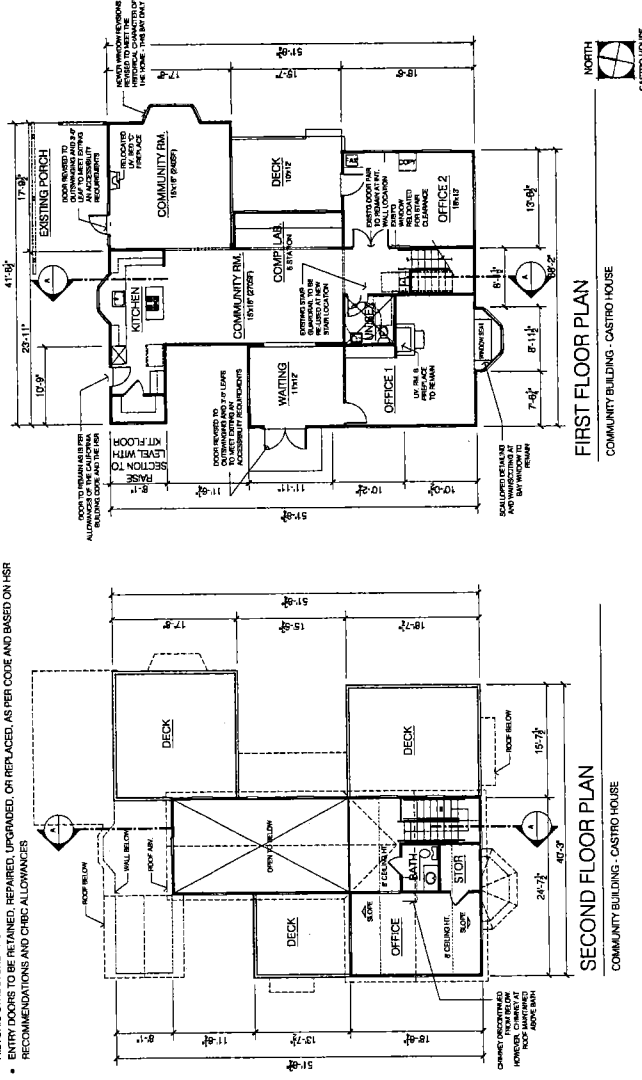
HISTORIC NOTES:

- EXTERIOR TO REMAIN AS IS EXCEPT FOR REPAIRS AND REFINISHING AS REQUIRED. FOUNDATION WORK AND ACCESSIBILITY WILL AFFECT THE BELOW FLOOR FINISHES. REPAIRS AND REFINISHING SHALL BE BASED ON HISTORIC DETERMINATION OF ACCESSIBILITY AND STRUCTURAL UPGRADES AS REQUIRED BY PER CODE AND HISTORIC DETERMINATION.
- ORIGINAL FINISHES TO BE RETAINED, REPAIRED, UPGRADED, OR REPLACED, AS PER CODE AND BASED ON HISTORIC DETERMINATION.
- EXTERIOR DOORS TO BE RETAINED, REPAIRED, UPGRADED, OR REPLACED, AS PER CODE AND BASED ON HISTORIC DETERMINATION.
- RECOMMENDATIONS AND CHBC ALLOWANCES



SECTION A-A
COMMUNITY BUILDING - CASTRO HOUSE

- EXTERIOR WALLS TO REMAIN AS IS EXCEPT FOR STRUCTURAL UPGRADES AS REQUIRED
- PERIMETER FOUNDATION TO BE UPGRADED AS REQUIRED BY STRUCTURAL
- ACCESSIBLE ACCESS TO REQUIRED FOR COOKING AND BAKING
- INTERIOR FINISHES TO BE RETAINED, REPAIRED, UPGRADED, OR REPLACED, AS PER CODE AND HISTORIC DETERMINATION
- STRUCTURAL UPGRADES WILL BE PERFORMED FROM INTERIOR WHENEVER POSSIBLE



FIRST FLOOR PLAN
COMMUNITY BUILDING - CASTRO HOUSE

SECOND FLOOR PLAN
COMMUNITY BUILDING - CASTRO HOUSE

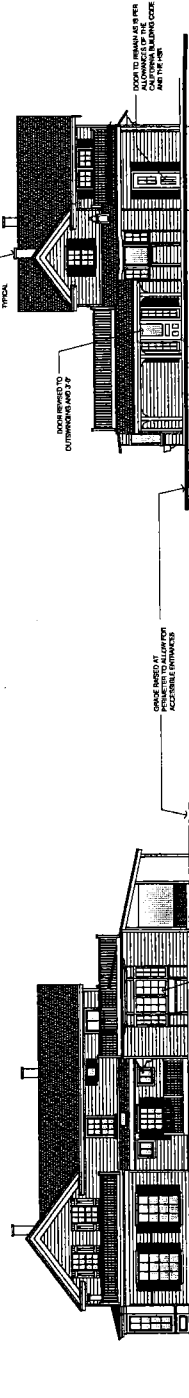
PLAN NOTES

- ALL EXTERIOR WALLS TO REMAIN AS IS EXCEPT FOR STRUCTURAL UPGRADES PER CBC AND HISTORIC ALLOWANCES. STRUCTURAL IMPROVEMENTS TO BE ACCOMPLISHED FROM INTERIOR AND EXTERIOR TO BE BASED ON HISTORIC DETERMINATION.
- INTERIOR WALLS TO REMAIN AS IS EXCEPT FOR REPAIRS AND REFINISHING AS REQUIRED BY PER CODE AND HISTORIC DETERMINATION.
- REPAIRS AND REFINISHING SHALL BE BASED ON HISTORIC DETERMINATION OF ACCESSIBILITY AND STRUCTURAL UPGRADES AS REQUIRED BY PER CODE AND HISTORIC DETERMINATION.
- (1) FIREPLACE (L.V. RM. 8) TO BE KEPT IN PRESENT LOCATION. THIS WILL NOT BE A WORKING FIREPLACE AND THE FLUE WILL BE DISCONTINUED
- (1) FIREPLACE (UPPER LEVEL BED C) TO BE RELOCATED PER PLAN
- DOOR PAIR AT DEN TO REMAIN IN SAME LOCATION
- WINDOW AT DEN TO BE MOVED TO THE NEW STAIR SYSTEM
- EXISTING STAIR GUARDRAIL TO BE MOVED INTO THE NEW STAIR SYSTEM
- BAY WINDOW AT EAST (L.V. RM. 8) TO BE MOVED INTO THE NEW STAIR SYSTEM
- INTERIOR DOORS TO BE REPLACED WHERE APPLICABLE

APTOS COTTAGES
MID-PEN HOUSING CORPORATION
APTOS, CA
APN# 039-471-09

Architecture | Planning | Interiors
444 Spear Street, Suite 200
San Francisco, CA 94105
www.huntjones.com
1.415.512.1300
1.415.288.0288

CASTRO HOUSE - PROPOSED PLAN
A-12.3
SCALE: 1/8"=1'-0"
DATE: 08/15/2011 REV
PROJECT: 311001



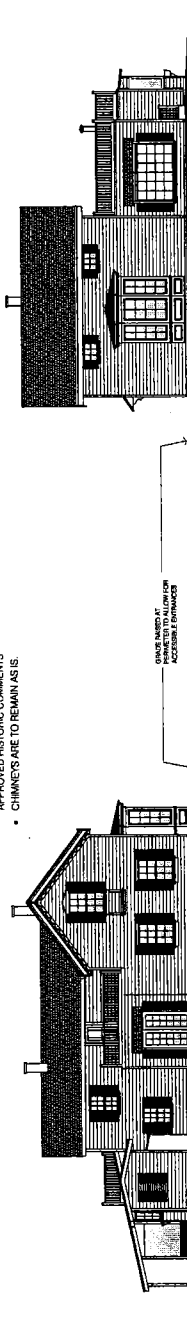
EAST ELEVATION
COMMUNITY BUILDING - CASTRO HOUSE

NORTH ELEVATION
COMMUNITY BUILDING - CASTRO HOUSE

SOUTH ELEVATION
COMMUNITY BUILDING - CASTRO HOUSE

ELEVATION GENERAL NOTES

- ALL FINISHES, WINDOWS AND DOORS TO REMAIN INTACT AND REPAIRED AS NECESSARY EXCEPT:
 - 2 ENTRY DOORS ARE TO BE ADJUSTED TO OUTWARD SWINGING FOR EGRESS
 - NEW FOUNDATION - SPLIT STEM TYPE - WILL ALLOW FOR CRACKS TO BE RAISED AT ACCESSIBLE ENTRANCES PER HISTORIC DEPARTMENT SEAMLESSLY.
 - ALL STAIRS TO REMAIN AS PER HISTORIC DEPARTMENT SEAMLESSLY.
 - LATICE WORK APPROVAL BY HISTORIC AGENCIES WILL BE SOUGHT
 - VENTILATION OF FOUNDATION WILL BE VIA FOUNDATION VENTS THROUGH CONCRETE AND ADJACENT WELLS
 - WINDOWS TO ACCOMMODATE ENERGY REQUIREMENTS THROUGH APPROVED HISTORIC COMMENTS
 - CHIMNEYS ARE TO REMAIN AS IS.

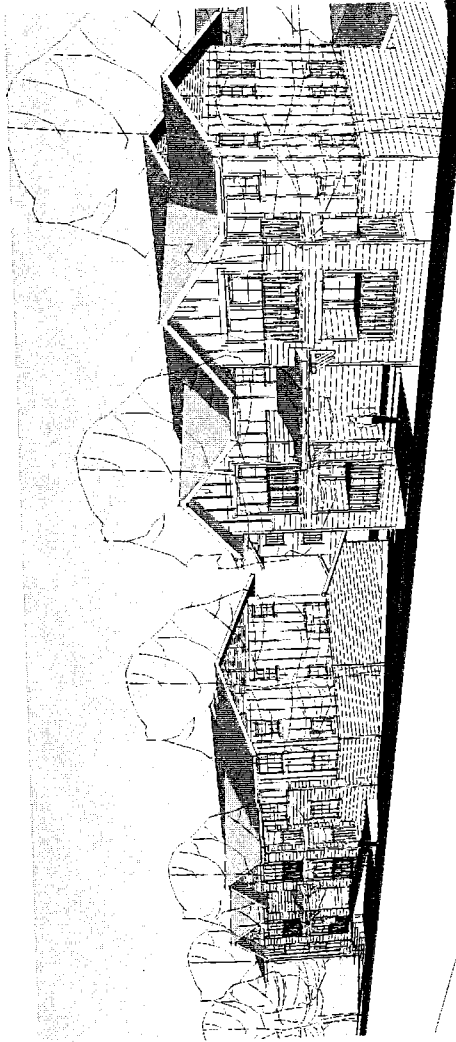


WEST ELEVATION
COMMUNITY BUILDING - CASTRO HOUSE

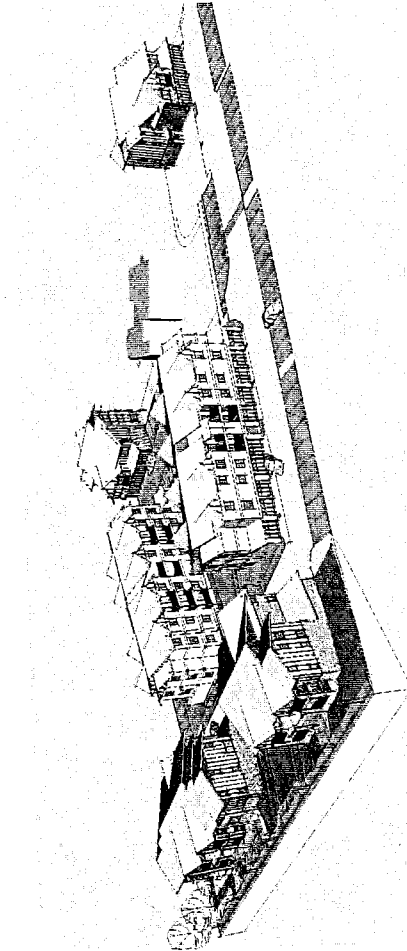
APTOS COTTAGES
MID-PEN HOUSING CORPORATION
APTOS, CA
APN# 039-471-09

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1 415-512-1300
1 415-286-0286

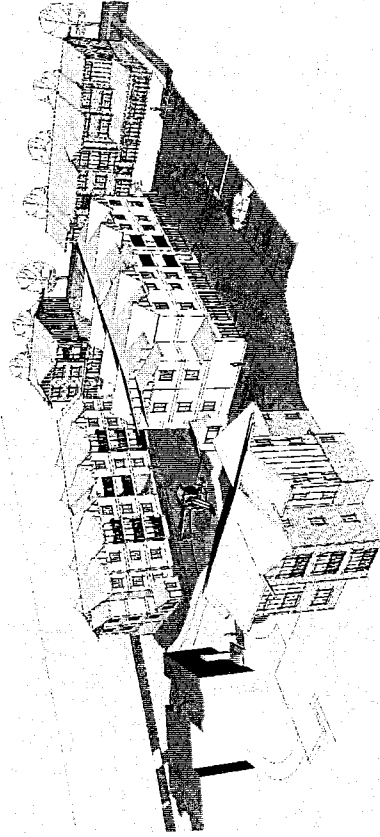
CASTRO HOUSE - PROPOSED ELEVATIONS
A-12.4
SCALE: 1/8" = 1'-0"
DATE: 08/15/2011 REV
PROJECT: 311001



VIEW ALONG APTOS RANCHO ROAD



VIEW FROM SOUTHWEST CORNER



VIEW FROM NORTHEAST CORNER

APTOS COTTAGES
 MID-PEN HOUSING CORPORATION
 APTOS, CA
 APN # 039-471-09



Architecture | Planning | Interiors

444 Spear Street, Suite 200
 San Francisco, CA 94105
www.hunthalejones.com

T 415-512-1300
 F 415-289-0288

PERSPECTIVE

A-15

SCALE: N.T.S.
 DATE: 06/15/2011 REV
 PROJECT: 311001

NO.	DATE	DESCRIPTION
1		
2		
3		
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7		
8		
9		
10		



CLIENT
 Aptos Blue
 7839 Soquel Drive
 Aptos, California
 APN# 039-471-09

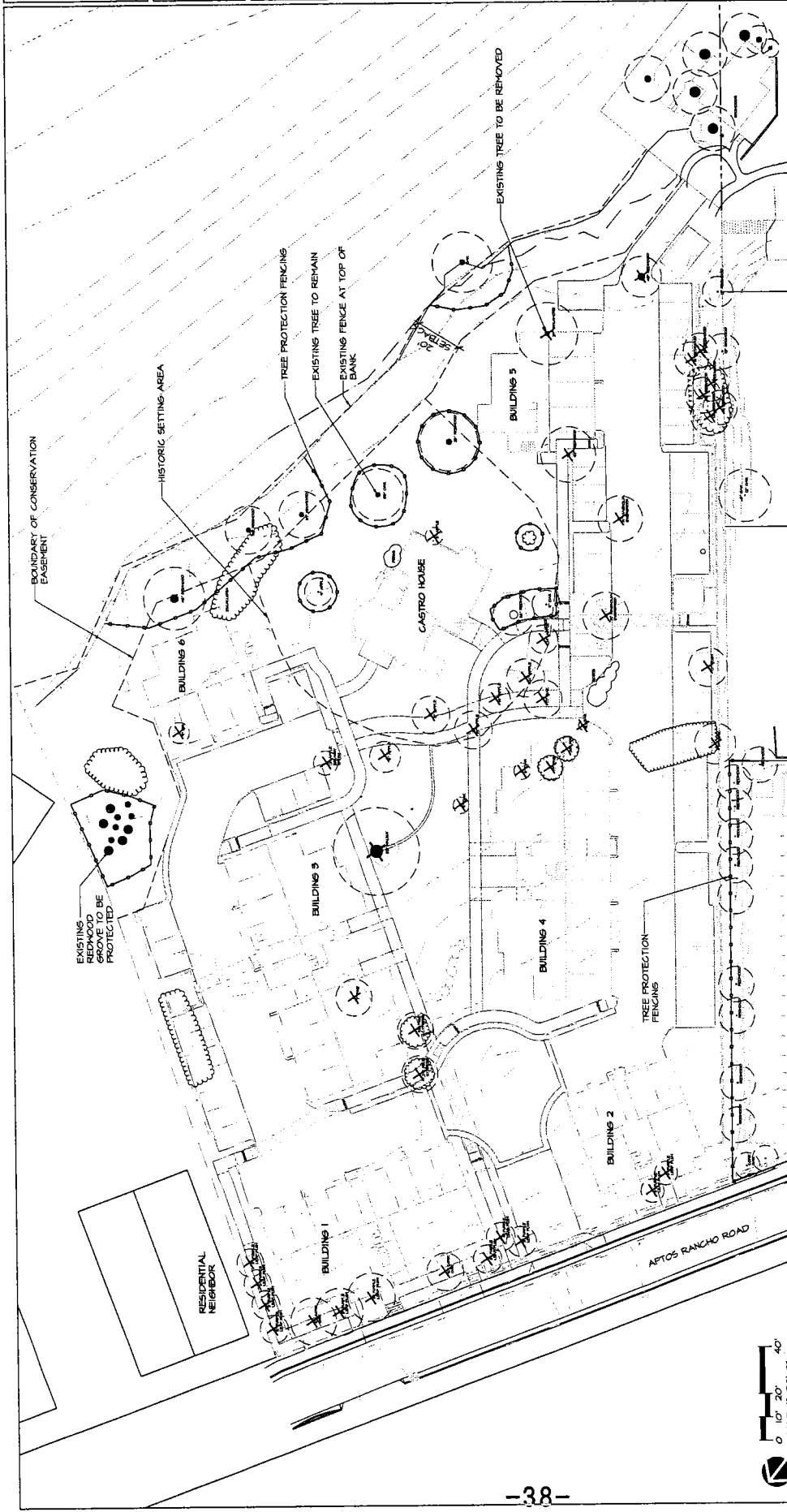
LANDSCAPE ARCHITECT
 John L. Jaramila & Associates, Inc.
 77 Main Way, Suite 100
 Santa Cruz, CA 95060
 (408) 298-1134

CIVIL ENGINEER
 John L. Jaramila & Associates, Inc.
 77 Main Way, Suite 100
 Santa Cruz, CA 95060
 (408) 298-1134

ARCHITECT
 Hoyt Hulse Jones Architects
 1000 North Main Street, Suite 200
 San Francisco, CA 94109
 (415) 918-1800

APTOS BLUE
 7839 Soquel Drive
 Aptos, California
 APN# 039-471-09

TREE PROTECTION & REMOVAL PLAN
 DATE: 08/15/1971
 DRAWN BY: J. JARAMILA
 CHECKED BY: J. JARAMILA
 SCALE: 1"=20'-0"



GENERAL NOTES:

- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED AND AS NEEDED RECEIVE TEMPORARY IRRIGATION UNTIL ESTABLISHED.
- REFER TO CIVIL DRAWINGS FOR EROSION CONTROL PLANS.
- REFER TO CIVIL DRAWINGS FOR GRADING & DRAINAGE PLANS.
- DO NOT CONTACT SOIL WITHIN THE TPZ. SOIL SURFACE WITHIN THE TPZ SHALL BE MULCHED WITH A 2" DEEP LAYER OF MULCH. MULCH SHALL BE APPLIED TO ALL STUMPS OF TREES SHOWN TO BE REMOVED TO A DEPTH OF 5-FEET BELOW GRADE.
- NATURAL GRADE AROUND TPZ TO BE MAINTAINED. NO ADDITIONAL FILL OR EXCAVATION WILL BE PERMITTED WITHIN AREAS OF TREE ROOT DEVELOPMENT.
- UNAUTHORIZED PRUNING OF ANY TREE IS NOT ALLOWED. IF ANY TREE CANOPY ENCROACHES ON THE PROJECT AREAS, PRUNING SHALL BE DONE UNDER THE AUTHORITY OF THE PROJECT ARBORIST AND TO ISA GUIDELINES AND ANSI A-300 PRUNING STANDARDS.
- PROVIDE TEMPORARY IRRIGATION TO ALL TREES WITHIN THE CONSTRUCTION AREA.

LEGEND:

- TREE PROTECTION FENCING
- X TREES AND STUMPS TO BE REMOVED

LIST OF TREES TO BE REMOVED:

QUANT.	SIZE	SPECIES
(2)	10"	CORK OAK
(3)	6"	PURPLE LEAF PLUM
(1)	8"	PURPLE LEAF PLUM
(1)	7"	PURPLE LEAF PLUM
(1)	5"	PURPLE LEAF PLUM
(2)	14"	MAGNOLIA
(1)	12"	REDWOOD
(1)	12"	REDWOOD
(2)	14"	REDWOOD
(2)	16"	REDWOOD
(1)	14"	OAK
(1)	4"	FIR

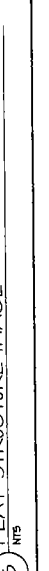
45 TOTAL TREES TO BE REMOVED

Drawn By: L2.0
 Inspected: AUGUST 15, 2011
 Date: 08/15/11






4 NTS

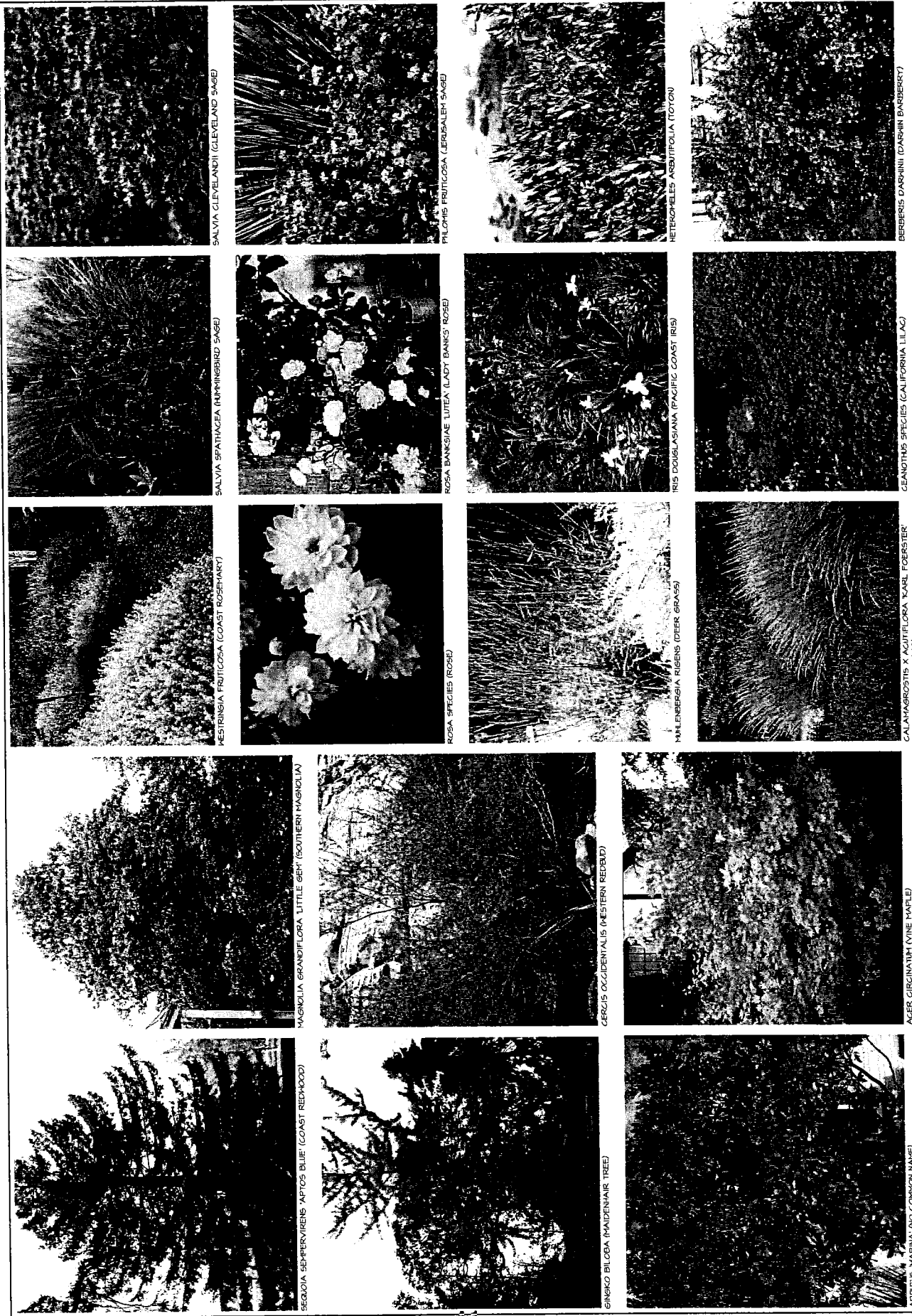


NTS

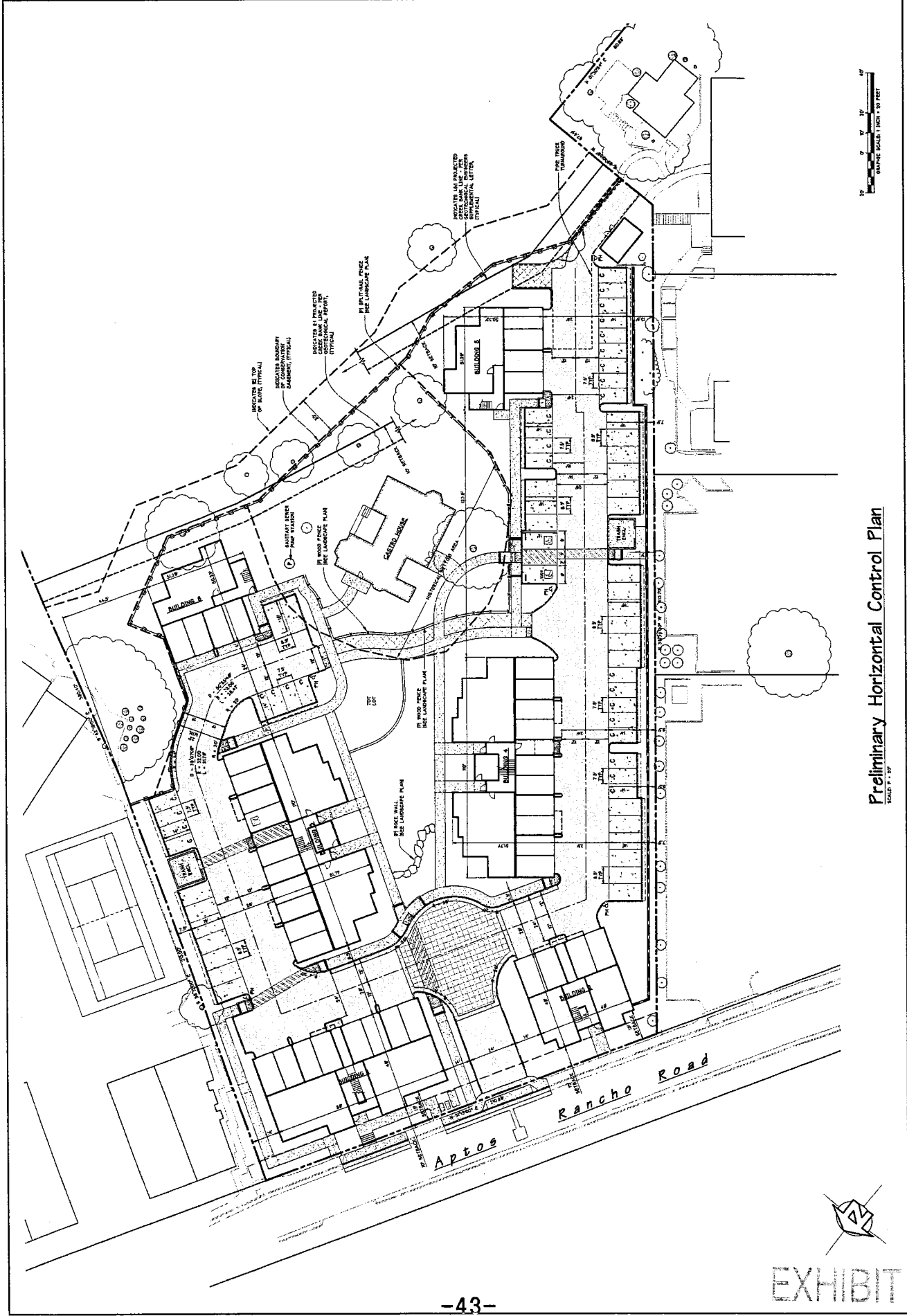


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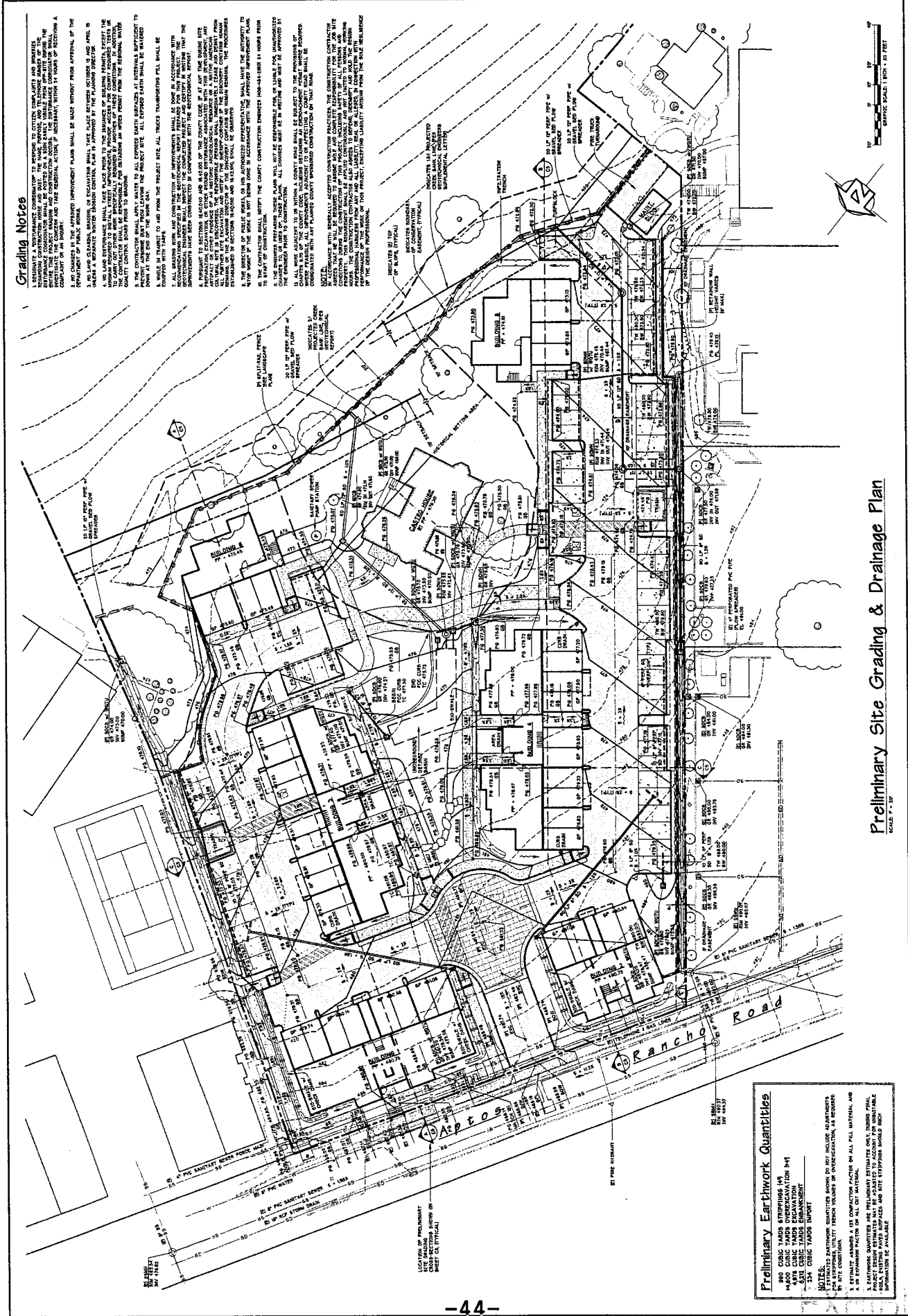
NO. DATE DESCRIPTION 1 2 3 4 5			CLIENT 1601 Westwood 17774 Sunset Blvd, Suite 100 Westwood, CA 90024 (818) 777-7318 LANDSCAPE ARCHITECT David L. Leland & Associates, Inc. 1601 Westwood Suite 100 Westwood, CA 90024 (818) 777-7318 CIVIL ENGINEER 1601 Westwood, Suite 100 Westwood, CA 90024 (818) 777-7318 ARCHITECT 1601 Westwood, Suite 100 Westwood, CA 90024 (818) 777-7318	PROJECT APTOS BLUE 7839 Soquel Drive Aptos, California APN# 039-471-09	PLANTING IMAGES	JOB NO. 130 DATE AUGUST 18, 2011 DRAWN BY AUGUST 18, 2011	L30
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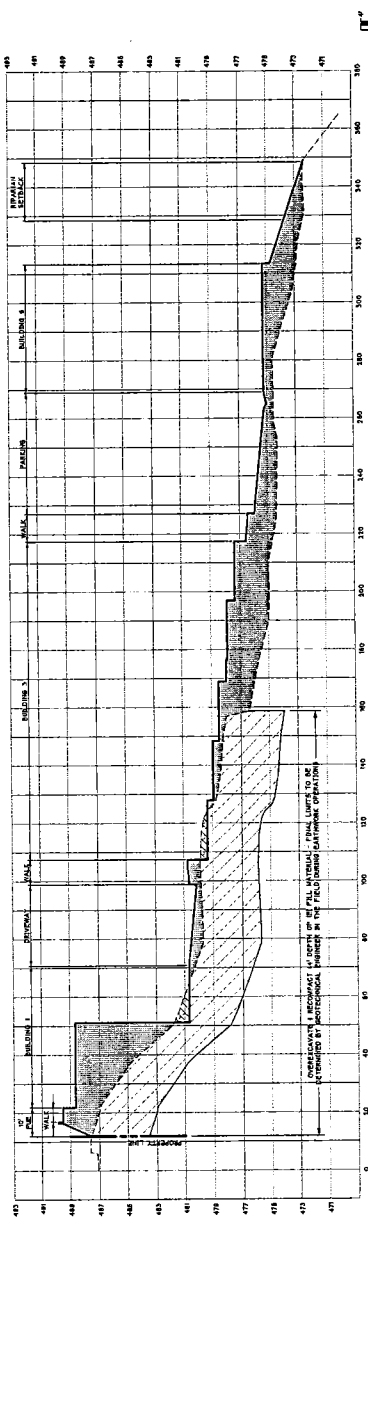


	APPROVED For Plan Check Only DATE: 03/14/17 REC. NO. 14717		APPROVED For Plan Check Only DATE: 03/14/17 REC. NO. 14717	
	APPROVED For Plan Check Only DATE: 03/14/17 REC. NO. 14717		APPROVED For Plan Check Only DATE: 03/14/17 REC. NO. 14717	

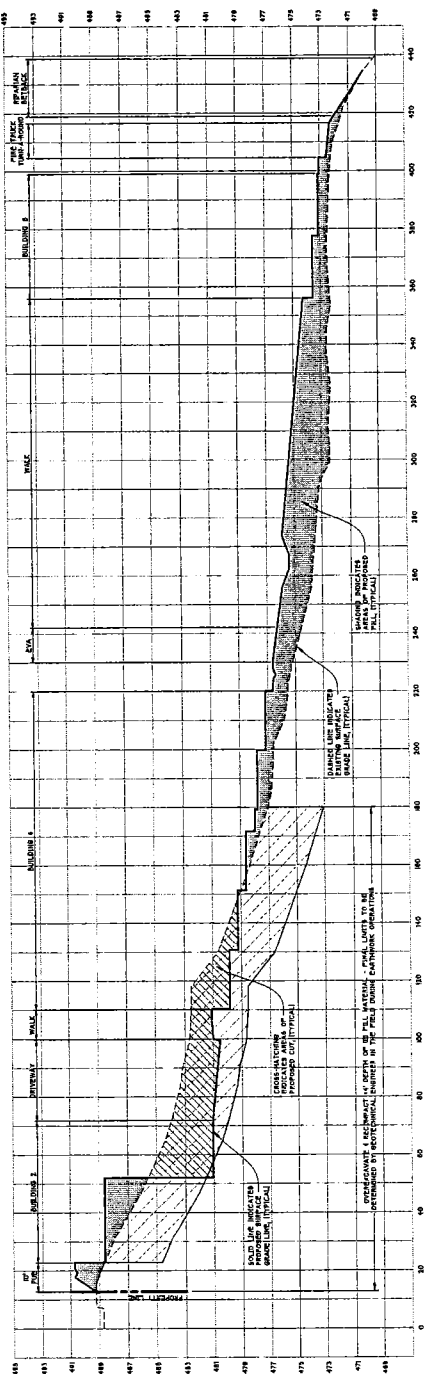


Preliminary Horizontal Control Plan
SCALE: 1" = 50'

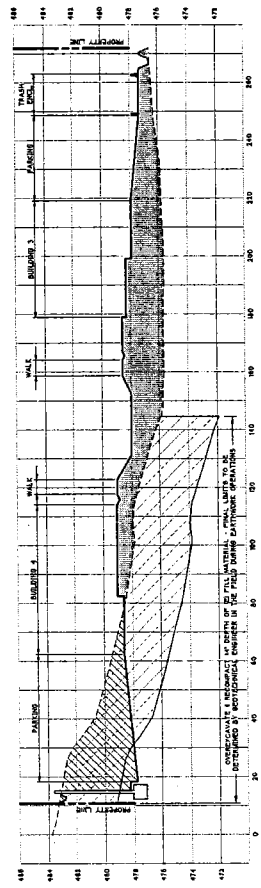




Section A



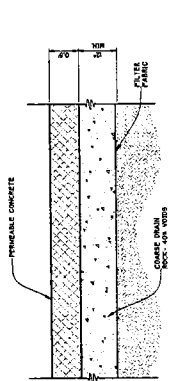
Section B



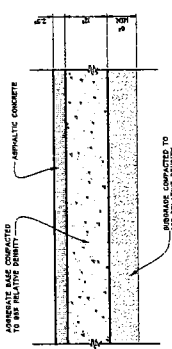
Section C

Preliminary Site Grading Cross-Sections

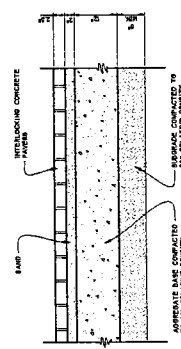
SCALE: 1" = 10' HORIZONTAL



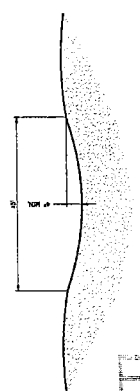
Typical Permeable Concrete Pavement Section
SCALE 1" = 1'



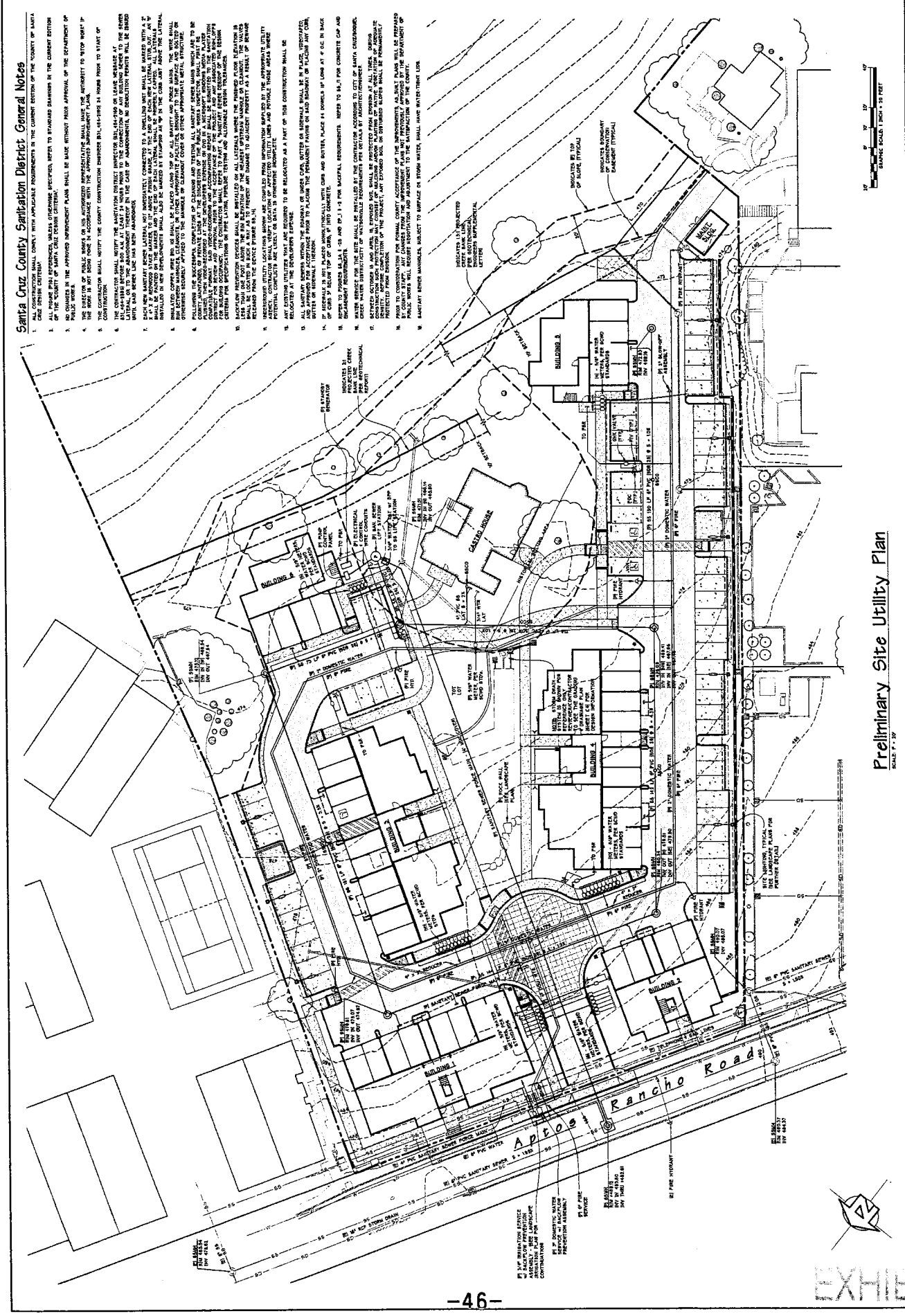
Typical Asphaltic Concrete Pavement Section
SCALE 1" = 1'



Typical Interlocking Concrete Pavement Section
SCALE 1" = 1'



Graded Swale Detail
SCALE 1" = 1'



Santa Cruz County Sanitation District General Notes

1. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE REQUIREMENTS IN THE CURRENT EDITION OF THE "COUNTY OF SANTA CRUZ COUNTY SANITATION DISTRICT GENERAL NOTES".
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE COUNTY OF SANTA CRUZ COUNTY SANITATION DISTRICT.
3. NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE DISTRICT ENGINEER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE COUNTY OF SANTA CRUZ COUNTY SANITATION DISTRICT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE COUNTY OF SANTA CRUZ COUNTY SANITATION DISTRICT.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE COUNTY OF SANTA CRUZ COUNTY SANITATION DISTRICT.
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19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE COUNTY OF SANTA CRUZ COUNTY SANITATION DISTRICT.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE COUNTY OF SANTA CRUZ COUNTY SANITATION DISTRICT.

Preliminary Site Utility Plan
SCALE: 1" = 30'

EXHIBIT A

Preliminary Erosion Control Plan

SCALE 1" = 20'



88
SHEET

ASSESSORS' PARCEL NUMBER
039-471-09

Preliminary Erosion Control Plan
Aptos Blue
Aptos Rancho Road, Aptos, California

ENGINEERS
IPLAND
2200 SLOAN AVE. STE. 100
SAN JOSE, CA 95128
(415) 435-5515
FAX (415) 435-5516

FOR Plan Check Only
APPROVED
DATE



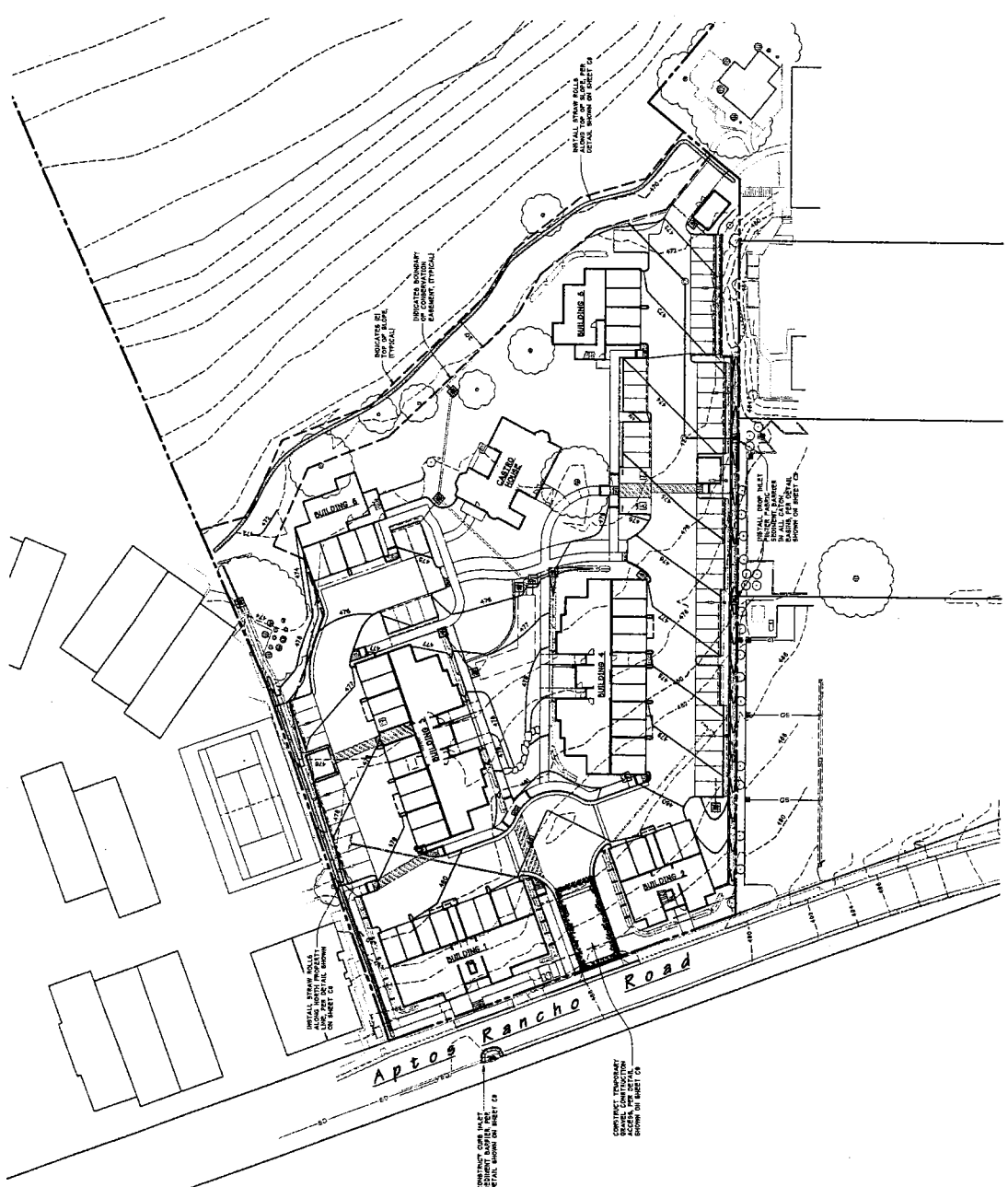
Erosion Control Notes

1. NO LAND CLEARING, GRADING OR EXCAVATION SHALL BE DONE BETWEEN OCTOBER 1ST AND APRIL 1ST. ANY DISTURBANCE FROM THE EXISTING SURFACE SHALL BE REINSTATED TO ORIGINAL GRADE AND VEGETATION. ALL DISTURBED AREAS SHALL BE PROTECTED FROM EROSION PRIOR TO BEGINNING CONSTRUCTION. THE APPLICANT SHALL BE RESPONSIBLE FOR MONITORING AND MAINTAINING ALL EROSION CONTROL MEASURES.
2. THE APPLICANT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL EROSION CONTROL MEASURES. THE APPLICANT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL EROSION CONTROL MEASURES DURING CONSTRUCTION AND AFTER COMPLETION OF THE PROJECT. THE APPLICANT SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EROSION CONTROL MEASURES AFTER COMPLETION OF THE PROJECT.
3. THE APPLICANT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL EROSION CONTROL MEASURES. THE APPLICANT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL EROSION CONTROL MEASURES DURING CONSTRUCTION AND AFTER COMPLETION OF THE PROJECT. THE APPLICANT SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EROSION CONTROL MEASURES AFTER COMPLETION OF THE PROJECT.
4. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO ENTER THE CHANNEL OR STORM DRAIN SYSTEM. USE OF BILT AND BRUSH TRAPS, FILTER BARRIERS, MAT BARRIERS OR BILT PILES SHALL BE USED TO PREVENT SUCH DISCHARGE.
5. ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED ON-SITE IN A MANNER THAT WILL PREVENT EROSION. ALL EXCAVATED MATERIAL SHALL BE COVERED WITH PLASTIC.
6. ANY MATERIAL EXPOSED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
7. THE PROTECTION REQUIRED BY SECTION 15.000 SHALL BE INSTALLED PRIOR TO CALLING FOR FINAL APPROVAL OF THE PROJECT AND AT ALL TIMES DURING CONSTRUCTION. THE PROTECTION SHALL BE MAINTAINED FOR AT LEAST ONE MONTH AFTER COMPLETION OF THE PROJECT.
8. THE APPLICANT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL EROSION CONTROL MEASURES. THE APPLICANT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL EROSION CONTROL MEASURES DURING CONSTRUCTION AND AFTER COMPLETION OF THE PROJECT. THE APPLICANT SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EROSION CONTROL MEASURES AFTER COMPLETION OF THE PROJECT.
9. IT IS THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ALL EROSION CONTROL MEASURES NECESSARY TO CONTROL SITE EROSION AND PREVENT SOIL EROSION TRANSPORT OFF-SITE ARE IMPLEMENTED.

ENVIRONMENTAL PLANNING
COUNTY OF SANTA CRUZ
STATE OF CALIFORNIA

APPROVED BY: _____ DATE: _____

APPROVED BY: _____ DATE: _____



Design Review Finding

1. That the proposed development project is consistent with the Design Standards and Guidelines (Sections 13.11.070 through 13.11.076) and other applicable requirements of Chapter 13.

This finding can be made, in that the proposed affordable housing rental apartment development was reviewed for conformance with all requirements of the Site, Architectural and Landscape Design Review provisions of Chapter 13.11, and additionally, for conformance with the Level VII Design Review Submittal Requirements specified under Planned Unit Development (PUD) Ordinance # 5025. County staff have reviewed submittals of proposed plans and met with the applicant in order to guide and direct the proposed design to be in conformance with the stated design objectives of Chapter 13.11 and PUD # 5025. Development and refinement of the design of the proposed structures, the layout and circulation of the site and landscaping that contribute to neighborhood compatibility were guided in accordance with County standards and criteria for good design, visual interest, and function.

A neighborhood meeting was held on December 14, 2010 to solicit neighborhood feedback and involvement with the project design process. Exhibits of the draft proposed building designs, landscape plans and civil engineering plans were shown, and all project consultants were available for questions and comments. The concerns and suggestions of neighbors to the project were incorporated into the site design where feasible.

The height limit for new structures allowed by the PUD is three stories and up to 37 feet, except for the area fronting Aptos Rancho Road, where the two new buildings designed for that location will be two stories and a maximum of 30 feet in height. The remaining four multi-unit new buildings will be three stories, but all are below 37 feet at their highest points, and clustered toward the center of the site in order to minimize the perception of massing when viewed from adjacent properties. In addition, the retention of an existing redwood grove on site, included within the conservation easement area, also Most of the surrounding residential developments consist of two-story structures, and the site has low visibility from the majority of viewers (on Soquel Drive). A shadow study submitted with the proposed plans shows no shadowing of adjacent properties by the proposed multi-unit structures. The existing redwood grove near the northeast corner of the property will be preserved; the redwoods offer visual screening and minimize the perceived scale of the new multi-unit residences. The landscaping has been designed to offer appropriate screening to neighboring properties. Thus, visual impacts from public and private viewing points have been well addressed.

Under the design guidance of Chapter 13.11 and the PUD, the proposed project would be well designed and landscaped to fit into its existing setting. The project site is not located along a County designated scenic road or within a designated scenic resource area. Environmental review determined that there would be no significant impacts to visual resources and aesthetics as mitigated by the Design Review process.

Conditions of Approval

Exhibit A: Project plans, 31 pages by Hunt Hale Jones Architects and 4 pages by Joni L. Janecki & Associates, Landscape Architects dated 8/15/2011, and 10 pages by Ifland Engineers, dated 1/18/2011.

- I. This permit authorizes the construction of 40 multi-family residential units and associated improvements, including conversion of the Castro House to a community building in conformance with Planned Unit Development (PUD) # 5025. All requirements specified in PUD # 5025, in Mitigated Declaration 07-0667 and in the CEQA Impacts Analysis and the Proposed Mitigation Report for the Vincente Castro House and Property (JRP Historical Consulting LLC August 2008) shall be met. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
 - C. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - D. Obtain a Grading Permit from the Santa Cruz County Building Official. All development and future slope maintenance and monitoring on the site shall comply with the requirements of the geotechnical report prepared by Stevens, Ferrone, and Bailey Engineering Company, Inc., dated October 2006 as reviewed and approved by the County of Santa Cruz.
 - E. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
 - F. In order to maintain proper access to the residential structure on the adjacent parcel (APN 039-471-03), site plans shall show vehicular access to the structure and the location of utility meters for that unit. Utilities for this unit and vehicular access to it must be maintained during the construction process. No setbacks from this access way shall be required. An easement for ingress and egress to the residential unit located on APN 039-471-03 shall be required, in accordance with Section VIII.C.2 of PUD # 5025.
 - G. Proof that these conditions and all required Declarations of Restriction and Statements of Acknowledgment have been recorded in the official records of the County Recorder must be submitted.

II. Prior to issuance of a Building Permit the applicant/owner shall:

- A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. Any changes from the approved Exhibit "A" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
1. One elevation shall indicate materials and colors as they were approved by this Discretionary Application.
 2. The building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structures that have the greatest difference between ground surface and the highest portion of the structure above. Maximum height is two stories and 30 feet for building 1 and 2 facing the Aptos Rancho Road frontage, and three stories and 38 feet for Buildings 3, 4, 5 and 6.
 3. Details showing compliance with fire department requirements.
- B. Final engineered drainage details meeting all requirements of Section XI, Hydrology/Water Supply/Water Quality shall be submitted to the County Planning and Public Works departments for both on- and off-site drainage work. Drainage plans shall show that the release rate to Aptos Creek will not exceed the pre-development 5-year storm level. Drainage from road improvements shall be filtered and released into the riparian corridor. A Construction Activities Stormwater General National Pollution Discharge Elimination System (NPDES) Permit shall be obtained from the State Water Resources Control Board. Drainage outlets shall be sited to maximize natural filtration.
1. Final drainage plans shall be consistent with final landscape and grading plans.
 2. Provide drainage easements for all common drainage facilities serving upstream parcels.
 3. Provide final plan review letter from the project geotechnical engineer approving the final drainage plan and any soil infiltration design assumptions.
 4. Recorded maintenance agreements are required for proposed retention/detention systems and structural treatment controls.
 5. Provide signage adjacent to storm drain inlets prohibiting illegal dumping per the County Design Criteria. This signage is to be maintained by the property owner.

- C. Prior to issuance of the final building permit, the applicant shall provide the County a copy of the California Department of Fish and Game (CDFG) 1602 permit, or a statement from the CDFG that no permit is required.
- D. Submit four copies of the approved Discretionary Permit with the Conditions of Approval attached.
- E. Submit proof that the conditions of all required permits and all required Declarations of Restriction and Statements of Acknowledgment have been recorded in the official records of the County Recorder must be submitted.
 - 1. Prior to any Building Permit issuance on the parcel the owner shall record a Statement of Acknowledgement regarding the presence of the riparian corridor and buffer area on the parcel. These recordable documents shall be prepared by the Planning Department and shall include statements that any development within, or use of, the riparian corridor and/or buffer area is subject to the provisions of the County Code Chapter 16.30 related to riparian resource protection.
 - 2. An easement for ingress and egress to the residential unit located on APN 039-471-03 shall be recorded prior to the issuance of any Building Permit.
- F. The developer must enter into an Affordable Housing Participation Agreement with the County of Santa Cruz.
- G. Meet all requirements of and pay Zone 6 drainage fees to the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
- H. A current sanitary sewer will serve letter from the County Public Works Department, Sanitation Division, shall be submitted.
 - 1. A gravity line to the townhome development directly north of the property is the recommended alternative, with the project developer paying for upgrades to the pump station. In the event that the Home Owner's Association of the Courtside Townhomes does not grant easements or access to the pump station, a private pump station will be required on site. Depending on development timing, efforts could be made to coordinate with the Community Foundation Building, directly to the south.
 - 2. The development shall deliver to the District Engineer flow metering or odor control equipment. Equipment shall be specified at time of Design review. At the District Engineer's option, a payment equivalent to the installed required equipment cost may instead be collected for future use.

3. The existing septic system must be properly abandoned.
 4. The proposed location of on-site sewer lateral(s), clean-out(s) and connection(s) to the existing sewer must be shown building permit plans.
 5. The project will be required to provide for the analysis of two District pump stations and potential upgrades to accommodate increased flow.
 6. Annexation fees in addition to sewer connection fees will be due at the time of Building Permit application.
- I. Obtain an Environmental Health Clearance for this project from the County Department of Environmental Health Services. Any wells on site will be destroyed according to State Bulletin No. 74.
- J. All road plans shall comply with all requirements of the Department of Public Works Road Engineering standards and shall be consistent with the County's Design Criteria. Additionally:
1. Parking is not allowed on either side of Aptos Rancho Road;
 2. A wrap-around with pedestrian easement at the entrance driveway, connecting to existing sidewalk on Aptos Rancho Road, is required;
 3. No additional sidewalk improvements are required;
 4. Impact fees will be paid for the Improvement Plan area.
- K. Meet all requirements and pay any applicable plan check fee of the Aptos-LaSelva Fire Protection District.
- L. Submit 3 copies of a soils report prepared and stamped by a licensed Geotechnical Engineer.
- M. Pay the current fees for Parks and Child Care mitigation for 88 bedrooms. The fees in effect at the time of building permit issuance shall be paid. A credit may be granted toward the above fees for existing bedrooms on site.
- N. Pay the current fees for Roadside and Transportation improvements for 40 units. The fees in effect at the time of building permit issuance shall be paid. A credit may be granted toward the above fees for existing units on site.
- O. Provide required off-street parking for 101 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
- P. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable

developer fees and other requirements lawfully imposed by the school district.

III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:

- A. Prior to any disturbance on the property the applicant shall convene a pre-construction meeting on the site. The following parties shall attend: applicant, grading contractor supervisor, and Santa Cruz County Environmental Planning staff. The temporary construction fencing demarcating the edge of the riparian corridor setback and the tree protection fencing will be inspected at that time. Approval of the results of the pre-construction biotic surveys will be reaffirmed at this time. The receiving site for any exported fill will also be identified and County approved grading permits presented.
- B. No land clearing, grading or excavating shall take place between October 15 and April 15 unless the Planning Director approves a separate winter grading and erosion-control plan.
- C. During construction temporary fencing shall be installed at the edge of the buffer area, in addition to the permanent fencing required by Section I.A.3.d of PUD # 5025.
- D. The applicant shall designate a disturbance coordinator and a 24-hour contact number shall be conspicuously posted on the job site. The disturbance coordinator shall record the name, phone number, and nature of all complaints received regarding the construction site. The disturbance coordinator shall investigate complaints and take remedial action, if necessary, within 24 hours of receipt of the complaint or inquiry.
- E. All construction shall be limited to the time between 7:30 am and 4:30 pm weekdays unless a temporary exception to this time restriction is approved in advance by the County Planning Department to address an emergency situation.
 - 1. Each day it does not rain, all exposed soil shall be wet down frequently enough to prevent significant amounts of dust from leaving the site.
- F. One (1) "construction/ security trailer" (maximum 12 feet by 60 feet) is allowed on the site during the construction. The size of the unit and the location of the unit conforming to all yard setbacks contained in the PUD shall be shown on the plot plan, and the trailer shall not be placed within the Setting Area. Compliance with Section 13.10.683 or any successor ordinance is required. A building permit is required for the installation of the construction trailer.
- G. All site improvements shown on the final approved Building Permit plans shall be installed.
- H. All inspections required by the building permit shall be completed to the

satisfaction of the County Building Official.

- I. The project must comply with all recommendations of the approved soils reports.
- J. An historic archaeologist must be present on site during any ground disturbance in the archaeological sensitivity area shown in the report by Archaeological Consulting dated January 21, 2008.
- K. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.
- L. All mitigation measures listed under Section XI of PUD # 5025 (Attachment D) shall be implemented. As required by Section 21081.6 of the California Public Resources Code, a monitoring and reporting program for the mitigations is hereby adopted as a condition of approval. This program is specifically described following each mitigation measure listed below. Failure to comply with the conditions contained within the PUD, including the terms of the adopted monitoring program, may result in the revocation of the Planned Unit Development Permit pursuant to section 18.10.136 of the Santa Cruz County Code.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense

thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.

- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit that do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Cathy Graves
Principal Planner

Alice Daly
Project Planner

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Planning Commission, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.

ATTACHED - 9

ORDINANCE NO. 5025

ORDINANCE GRANTING A PLANNED UNIT DEVELOPMENT AS ALLOWED BY SANTA
CRUZ COUNTY CODE RELATING TO ESTABLISHMENT OF DEVELOPMENT STANDARDS
FOR APN: 039-471-09

The Board of Supervisors of the County of Santa Cruz ordains as follows:

SECTION I

A Planned Unit Development Permit and Development Permit are hereby granted to the property located on the east side of Aptos Rancho Road about 250 feet northeast of the intersection of Aptos Rancho Road and Soquel Drive, in the Aptos Planning Area, and shown on Exhibit A attached hereto and subject to the conditions shown on Exhibit B, attached hereto.

SECTION II

The Board of Supervisors hereby adopts the recommendations of the Planning Commission for the Planned Unit Development as described in Section I, and adopts their findings in support thereof without modification as set forth below:

1. That the proposed location of the uses are in accordance with the objectives of the County Code and the purposes of the district in which the site is located.
2. That the proposed location of the Planned Unit Development and the conditions under which it would be operated or maintained will not be detrimental to the public's health, safety or welfare, or materially injurious to properties or improvements in the vicinity.
3. That the proposed Planned Unit Development will comply with each of the applicable provisions of Chapter 18.10 of the County Code.
4. That the standards of dwelling unit density, site area and dimensions, site coverage, yard spaces, heights of structures, distances between off-street loading facilities and landscaped areas will produce a development that is compatible with and integrated into the surrounding built and natural environment consistent with the objectives of the County Code.
5. That the standards of dwelling unit density, site coverage, yard spaces, heights of structures, distances between structures, off-street parking, and off-street loading facilities will be such that the development will not generate more traffic than the streets in the vicinity can carry and will not overload utilities.
6. That the combination of different dwelling and/or structure types and the variety of land uses in the development will complement each other and will harmonize with existing and proposed land uses, structures, and the natural environment in the vicinity.
7. That the degree of departure from the required development and density standards is roughly proportional to the benefits provided to the neighborhood and/or the community in which the Planned Unit Development is located.
8. That the proposed development is consistent with the General Plan/Local Coastal Program Land Use Plan.

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SECTION III

The Board of Supervisors hereby adopts the recommendations of the Planning Commission for the Development Permit as described in Section I, and adopts their findings in support thereof without modification as set forth below:

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.
2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.
3. That the proposed use is consistent with all elements of the County General Plan and with any Specific Plan which has been adopted for the area.
4. That the proposed use will not overload utilities, and will not generate more than the acceptable level of traffic on the streets in the vicinity.
5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.
6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

SECTION IV

This ordinance shall become effective 31 days after adoption.

PASSED AND ADOPTED this 25th day of November 2008 by the Board of Supervisors of the County of Santa Cruz by the following vote:

AYES:	SUPERVISORS	Beautz, Coonerty, and Pirie
NOES:	SUPERVISORS	Stone
ABSENT:	SUPERVISORS	None
ABSTAIN:	SUPERVISORS	Campos

ELLEN PIRIE

Chairman of the Board of Supervisors

Attest: TESS FITZGERALD
Clerk of the Board

APPROVED AS TO FORM:

[Signature]
County Counsel

I HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT IS A CORRECT COPY OF THE ORIGINAL ON FILE IN THE OFFICE ATTEST MY HAND AND SEAL THIS 25th DAY OF November 2008
SUSAN A. MALFELLO COUNTY ADMINISTRATIVE OFFICER AND EX-OFFICIO CLERK OF THE BOARD OF SUPERVISORS OF THE COUNTY OF SANTA CRUZ, CALIFORNIA
BY [Signature] DEPUTY

EXHIBIT A

Planned Unit Development Permit Conditions of Approval

Property located on the east side of Aptos Rancho Road about 250 feet northeast of the intersection of Aptos Rancho Road and Soquel Drive; Aptos Planning Area.

APN: 039-471-09

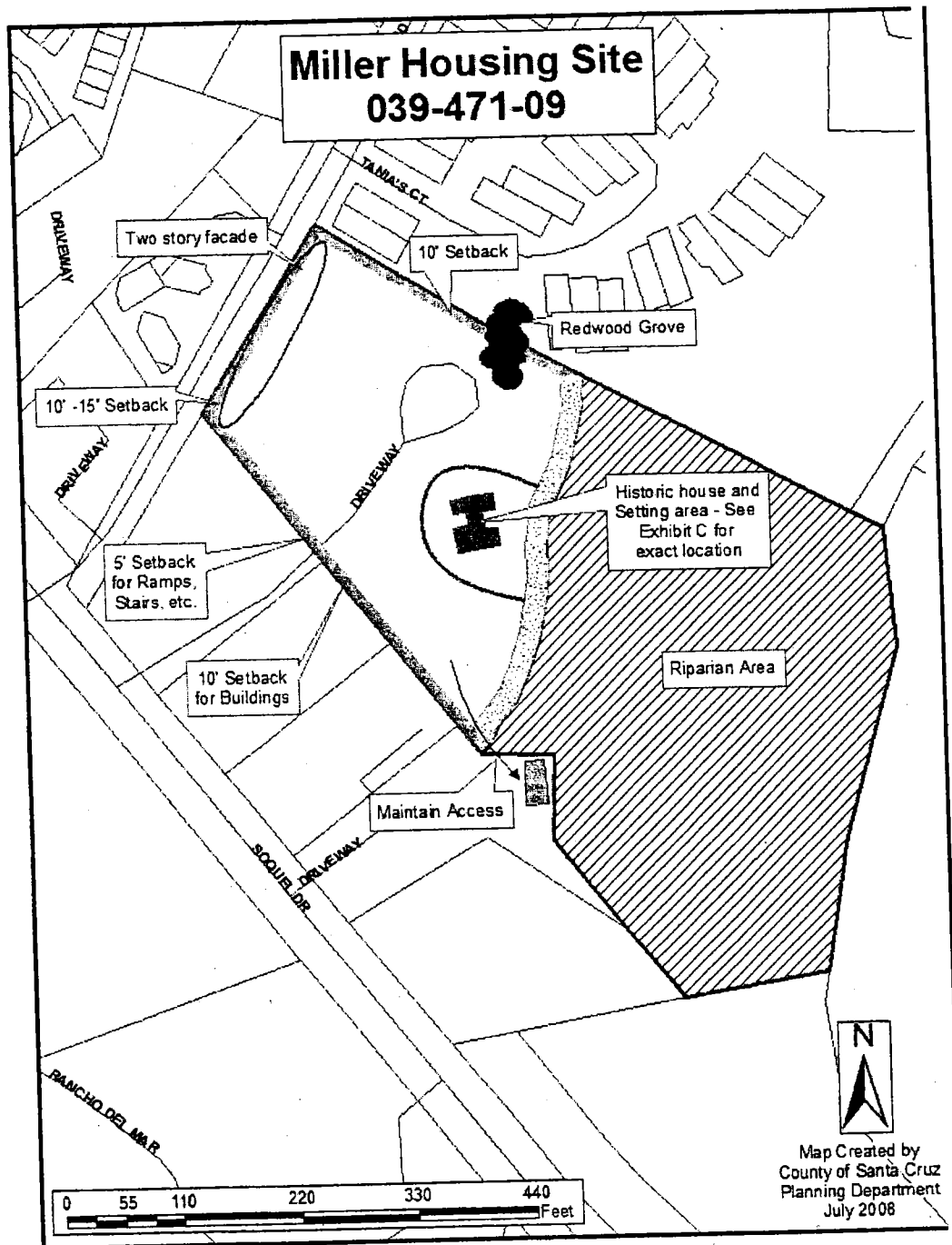


EXHIBIT B

Planned Unit Development Permit Conditions of Approval

*Property located on the east side of Aptos Rancho Road about 250 feet north of the
intersection of Aptos Rancho Road and Soquel Drive; Aptos Planning Area.*

APN: 039-471-09

This site contains 2.0 usable (developable) acres, equating to **40** total (39 new) dwelling units, of these, **5** affordable units and an in lieu fee for **.85** of a unit are required under County Code Section 17.10.030(b)(1) and 10 affordable units are required as specified in Section III (A)1 of this Planned Unit Development (PUD). Development of this site is by-right in that the use and density for the site are not discretionary. A Level VII Design Review Permit is required. The remainder of the site, located within the Riparian Corridor will carry a General Plan Designation of Urban Open Space (0-U) and be zoned Parks and Recreation (PR).

CONDITIONS

D) General Site Standards

- A) Site Standards. Unless specifically defined below, developments must meet all required development standards in the County Code at the time the design review application is deemed complete. All of the site standards contained within Chapter 13.10 applicable to the zone district of the property, RM-2-WRM-2-R-L shall be applicable unless modified by this Planned Unit Development. The following development standards supersede the development standards in the County Code.

1) Circulation and Parking Requirements.

- (a) Parking requirements: 1.5 spaces per studio and one bedroom units; 2.0 spaces for two bedroom units; 2.5 spaces for three bedroom units; 3.0 spaces for 4 bedroom units. **An** additional 20% of the total number of parking spaces is required to accommodate guest parking.
- (i) The maximum number of required parking spaces that may be compact in size is specified in County Code Section 13.10.553 (e) or its successor ordinance. The standards for the off-street parking facilities as outlined in County Code Section 13.10.554 at the time the application is deemed complete shall apply.
- (b) Circulation Requirements. All interior roadways shall be a minimum of 20 feet in width for two-way circulation and 12 feet in width for one-way circulation. A minimum 50 foot centerline radius on all access routes is required unless a different turning radius is required by the fire agency.

- (c) Access to Site. The main access to the site shall be located on the Aptos Rancho Road frontage, consistent with the standards contained within the adopted Design Criteria for the County of Santa Cruz. The existing width of the Aptos Rancho Road Right-of-way is considered adequate and further modifications are not required to meet the Design Criteria standard for road width.
- (d) Bicycle Storage. One lockable storage shed or lockable garage space shall be provided for on site bicycle storage.-This lockable storage area may be located within the storage area, as required in Section II.C.4 of this PUD. At least one bicycle space shall be provided for each dwelling unit.
- 2) Accessibility.
- (a) Developments must meet accessibility requirements of Title 24 of the California Building Code or successor code in effect at the time the building permit application is submitted.
- (b) Accessible parking shall be provided consistent with California State Law. This applies to the design of the parking spaces, location of the parking spaces, number of accessible spaces provided, and accessible path of travel through the development.
- 3) Developable Area Requirements.
- (a) Setbacks. The applicable minimum yard setbacks shall be established from the perimeter of the property to structures in aggregate, and are as follows:
- | | |
|---------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| (i) Aptos Rancho Road Frontage: | 15 feet to buildings, 10 feet to porches, not to encroach on the Public Utilities Easement that runs parallel to Aptos Rancho Road along the site frontage. |
| (ii) Southern Property Line: | 10 feet to buildings, 5 feet to other structures such as exterior stairwells, access ramps, and cantilevered decks or balconies. |
| (iii) Eastern Property Line: | 20 feet from the edge of the Riparian Corridor, as shown on Exhibit A and delineated by the existing wire fence at the top of the bank. |
| (iv) Northern Property Line: | Distance determined sufficient to minimize shading on adjacent residences, not less than 10 feet, also outside the dripline of the existing redwood grove shown in Exhibit A. |
- (v) For projects involving the creation of new lots, the interior setbacks and lot size shall be established through the Design Review process and are not subject to obtaining a Residential Development Permit under County Code Section 13.10.323(d)(1)(A) or its successor ordinance.

- (b) Historic Setting Area. The Historic Setting Area (Setting Area) described in the August 2008 CEQA Impacts Analysis Report prepared by JRP Historical Consulting, LLC (Historic Report) may be utilized for passive open space for the overall project subject to the conditions of Section III of this PUD. Encroachments addressed by the Historic Report shall be permitted with the recommended mitigations. Other encroachments shall be minimized to the greatest extent possible, shall be constructed with appropriate materials, and shall be subject to Design Review.
- (i) Any buildings built in or directly adjacent to the footprint of the existing garage for the Castro House, shall be limited to two stories and 28 feet in height, measured from existing natural grade.
- (c) Riparian Area. A riparian buffer averaging 30 feet, and in no case less than 20 feet shall be maintained, according to the Findings made at the time of the adoption of this PUD, and in accordance with the standards for the "R" combining zone district. In order to clearly delineate the riparian area, the top of the bank shall be fenced with permanent fencing.
- (i) A Riparian Exception is granted by this PUD for the encroachment for the installation and maintenance of drainage outlets and energy dissipaters under the following conditions:
- No disturbance is allowed below the average high-water mark of Aptos Creek,
 - Prior to issuance of the final building permit, drainage plans complying with the requirements of Section XI, Hydrology/Water Supply/Water Quality, of this PUD particularly those related to runoff-reduction, filtration using berms and vegetated swales, and dispersion of overflows over vegetated, non-erodible areas, shall be reviewed and approved by both DPW Drainage and Environmental Planning.
 - Prior to issuance of the final building permit, the applicant shall provide the County a copy of the California Department of Fish and Game (CDFG) 1602 permit, or a statement from the CDFG that no permit is required.
- (d) Open Space. Instead of meeting the useable open space standards found in County Code Section 13.10.323 (f), useable open space shall be maximized on site, and any development project is not required to meet the open space requirements of the Multifamily Residential (RM) ordinance.
- (e) Lot Coverage and Floor Area Ratio. Lot coverage and floor area ratio limitations do not apply.
- (f) Redwood Grove. In order to screen and minimize the perceived scale of new buildings, the redwood grove in the northeastern corner of the developable area of the site, shown

on Exhibit A (Redwood Grove), shall not be removed except as provided in Section I.A.3.f(i) below.

- (i) Requests for the removal of any trees from the Redwood Grove shall be considered as part of the Level VII Design Review Permit, and shall require an arborist's report reviewed and accepted by the Planning Department. Following Permit approval, any subsequent tree removal within the Redwood Grove shall require an amendment to this Permit and review at a Level VII.
- (ii) Structures shall be located outside the dripline of the Redwood Grove, as indicated in Section I.A.3.a(iv).
- (g) Geotechnical Requirements. As specified in PUD Section XI and in Section VI.D.1, the parameters specified in the referenced Geotechnical Investigation shall be implemented on site, including setbacks for structures and foundations from the eastern break in slope and requirements for geotechnical review of foundation designs.

11) Requirements for Structures

A) Number of Stories

- 1) A maximum of three (3) stories as defined by the County Code, exclusive of basement or subterranean parking, is allowed.
- (a) Structures along the Aptos Rancho Road frontage shall comply with the conditions of Section II D of this PUD.

B) Height

- 1) Height of three-story structures may be up to 37 feet and two story structures up to 28 feet, measured from preconstruction natural grade or finished grade, whichever is higher, except for the areas directly adjacent to the northern edge of the historical setting area (see PUD Section 111), and the area fronting Aptos Rancho Road (see PUD Section II.D.). All exceptions as specified in County Code Section 13.10.510 (d) (2) or successor ordinance shall apply.
- (a) For any structure proposed to be within 2 feet of the maximum height limit allowed by this PUD, the building permit application plans and the Design Review application plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site, which clearly depict the total height of the proposed structure above preconstruction natural grade and finished grade. For the first row of buildings along Aptos Rancho Road, the road elevation must also be shown.

C) Building Design

- 1) It shall be an objective of building design that the basic architectural design principles of balance, harmony, order and unity prevail, while not excluding the opportunity for unique design.
 - (a) Project proposals would best achieve this goal by incorporating the design elements complementary to those on the Castro House such as the shutters, porches, narrow-plank siding, and color scheme.
- 2) Building design should consider the view from Soquel Drive and appropriate articulation, colors, materials, and glazing should be used to enhance visual interest of structures on site.
- 3) To reduce the apparent bulk and mass of the development, efforts shall be made to provide articulation and architectural features for buildings and mitigate the impression of height as viewed from Aptos Rancho Road.
- 4) Where garages are not provided for any individual unit, that unit (market rate or affordable unit) shall have a minimum of 84 cubic feet of private storage space which shall be accessed from the outside of the unit and may not reduce the number of required parking spaces.

D) Aptos Rancho Road Frontage

- 1) Along the Aptos Rancho Road frontage buildings shall face the street with porches and appropriately scaled architectural features, and shall appear to be two stories in height when viewed from the road.
- 2) Buildings within 30 feet of Aptos Rancho Road shall be limited to 30 feet in height measured from the crown of Aptos Rancho Road, not from natural or finished grade, and may be three stories in height provided they appear as two story buildings from Aptos Rancho Road. Condition 2.B.1.a. of this PUD shall apply to these buildings as well. An increase in height from 28 feet to 30 feet may be accepted if it can be demonstrated that a superior design or compatible roof pitch can be achieved.
- 3) These buildings may have tuck-under parking in the rear and be three story structures from the interior of the project site.

111) **Historical Structure and Setting Area Requirements**

- A) The historic Castro House currently located on the property shall be retained on site in its current or improved state, in accordance with County Code Section 16.42.070.
 - 1) The exterior of the home shall be maintained as a historic structure, either by an owner or by an HOA, depending on ownership mix and use of structure

- B) All recommendations of the Historic Report, included in Exhibit C, shall be carried out unless specifically excepted by this PUD.
- C) The Castro House may be a separate townhouse parcel or single-family parcel, provided the Setting Area and integrity of the structure is maintained.
 - 1) The Setting Area described in the report by JRP shall provide passive open space with appropriate garden structures in keeping with the historic nature of the setting area and utilizing minimal paving and appropriate materials. No permanent structures or extensive paving shall be permitted, and the majority of this area shall be used as common open space by all residents of the site. If the Castro House is developed as a single-family lot, some of the area may be fenced for private use by the residence, as determined during the design review hearing.
- D) A maximum number of trees shall be maintained in, and not be removed from the Setting Area, in particular, any redwood trees or others greater than 12" diameter at breast height shall be retained to the greatest extent possible in order to provide scale for new surrounding buildings.

IV) Project Review

- A) Entitlements. All future entitlements, with the exception of the building permit application review, shall be processed concurrently at Level VII.
- B) Design Review. Development proposals shall undergo a Design Review process and public hearing limited to design issues only. No discretionary permit is required for the density or use of the site. For development proposals under these "by-right" provisions, applicants must apply for a Level VII Design Review, which will require review at public hearings by the Historic Resources Commission, Planning Commission and Board of Supervisors. The Design Review Permit will expire after two (2) years, unless exercised. The Design Review Permit will be considered exercised when a building permit has been issued, construction has commenced and the first foundation inspection has been conducted.
 - 1) Time Extensions. Requests for an extension of time for the Design Review Permit shall be processed as a Level III permit review. The Planning Director may raise the level of review to a higher level at his or her discretion. The permit may be extended for one year up to five (5) times for a total permit life of seven years. A review of the adequacy of all reports and improvements shall be conducted prior to the approval of any time extension to determine whether the existing information on the site is still valid.
- C) Tentative Map. If a tentative map approval is required, it shall be processed concurrently with the Design Review application. A Residential Development Permit, normally required by County Code Section 13.10.323(d)(1)(A), is not required.
 - 1) Development that includes approval of a Tentative Map is subject to the provisions of the Subdivision Map Act and Chapter 14.01. Where a tentative map is proposed, the public hearing shall be expanded to address findings necessary under the Subdivision Map Act.

Wherever possible, the environmental review performed at the time this PUD is adopted will be utilized in the processing of the Tentative Map unless the Environmental Coordinator determines that additional CEQA review is required based upon the available information.

V) Affordable Housing

- A) Affordability Level. All development proposals on this parcel shall be required to meet the affordability requirements described in County Code Section 17.10.030(b)(6) of the Santa Cruz County Code.
- B) Affordable units may average 0.5 fewer bedrooms than the average number of bedrooms in the market rate units.
- 1) If the developer can demonstrate during the Level VII Design Review Permit process that a further reduction in the bedroom count of the affordable units is required in order to meet the other standards of this PUD and the "-R" Combining Zone District, the Board may consider a allowing affordable units to average up to 1.0 bedrooms fewer than market rate units.
- C) Affordable units may average no less than 70% of the average size of the market rate units.
- 1) If the developer can demonstrate during the Level VII Design Review Permit process that a further reduction in the size of the affordable units is required in order to meet the other standards of this PUD and the "-R" Combining Zone District, the Board may consider a allowing affordable units to be up to 65% of the size of market rate units.
- D) Participation Agreement. Prior to Building Permit issuance or prior to filing of the Final Map, if one is required, the developer shall enter into a Certification and Participation Agreement with the County of Santa Cruz to meet the Affordable Housing Requirements specified by Chapter 17.10 of the County Code.
- E) Applicability of Density Bonus.
- 1) Density Bonus provisions do not apply to developments meeting the minimum requirements of this PUD.
- 2) For projects eligible for concessions under State density bonus law due to an appropriate incremental increase as set forth in State law in the number of affordable units beyond those required by this PUD, a project developer may request additional concessions as set forth in Chapter 17.12, however, no increase in the number of units on the site is allowed.

VI) Design Review

- A) Design Review. Development proposals shall undergo a Design Review process and public hearing limited to design issues only. No discretionary permit is necessary for the density or use of the site. All requirements of the Site, Architectural and Landscape Design Review (Chapter 13.11) or successor ordinance in effect at the time a Design Review application is deemed complete for processing shall be applicable unless modified by this PUD.

- B) Zoning and Environmental Regulations. All applicable requirements and standards of the Zoning Regulations (Title 13, Chapter 13.10) and Title 16 (Environmental and Resource Protection) in effect at the time a Design Review application is deemed complete for processing shall be applicable unless modified by this PUD.
- C) Minor Variations. The Planning Director at the request of the applicant or staff may approve minor variations to this permit, which do not affect the overall concept or density, as a Level III Permit.
- D) Level VII Design Review Submittal Requirements
- 1) All development and future slope maintenance and monitoring on the site shall comply with the requirements of the geotechnical report prepared by Stevens, Ferrone, and Bailey Engineering Company, Inc., dated October 2006 as reviewed and approved by the County of Santa Cruz. The report is included as Exhibit D to the Initial Study for this PUD, and is on file with the Planning Department.
 - 2) All development on the site shall comply with the requirements of the traffic study prepared by Fehr and Peers Transportation Consultants dated December 20th, 2007 or any subsequent traffic report for the development of this site that has been reviewed and accepted by the County of Santa Cruz.
 - 3) Preliminary architectural and site plans, prepared by a licensed architect, meeting the standards established by the Planning Department for multi-family residential application submittal, shall be submitted. The plans shall at a minimum incorporate all requirements contained within this PUD. The site plan shall clearly delineate all useable and non-useable areas, including but not limited to:
 - (a) Riparian Buffer. The riparian corridor and buffer area shown on Exhibit "A" must be shown on the Site Plan as non-useable area.
 - (b) Historic Setting Area. As described in the report by JRP Consultants, dated August 2008, the historic setting of the Castro House must be preserved.
 - (i) Through Access. In order to maintain proper access to the residential structure on the adjacent parcel (APN 039-471-03), site plans shall show vehicular access to the structure and the location of utility meters for that unit. Utilities for this unit and vehicular access to it must be maintained during the construction process. No setbacks from this access way shall be required.
 - An easement for ingress and egress to the residential unit located on APN 039-471-03 shall be required, in accordance with Section VIII.C.2 of this PUD.
 - 4) Utilities, Roads and Services

- (a) Improvement Plans. Preliminary engineered improvement plans shall be submitted to the Planning Department for all roads, curbs and gutters, grading, stormwater management systems, sanitary sewers, erosion control, and other improvements proposed or required by this PUD. Form and content of the plans shall meet the standards established by the Planning Department for multi-family residential application submittal.
- (i) Preliminary improvement plans shall meet the following requirements:
- All preliminary improvement plans shall be prepared by a registered civil engineer and shall meet the requirements of the County of Santa Cruz Design Criteria except as modified herein. Plans shall also comply with applicable provisions of Title 24 (Accessibility) of the California Building Code.
 - Preliminary drainage details including existing and proposed contours, plan views and centerline profiles of all driveway improvements, complete drainage calculations and all volumes of excavated and fill soils, as specified in Section VI.D.7 of this PUD.
 - Preliminary grading plans must be submitted at time of application. An objective of the project design shall be to minimize the grading on site and off site to the maximum extent possible. This includes designing the grading and foundations to follow the existing topography as much as possible. The grading plans shall include existing and proposed contours, plan views and centerline profiles of all driveway improvements, locations and heights of all retaining walls, preliminary drainage design, grading cross sections through proposed building pads, and all volumes of excavated and fill soils. This includes all on-site and off-site work.
- (b) Road Plans. All road plans shall comply with all requirements of the Department of Public Works Road Engineering standards and shall be consistent with the County's Design Criteria. Additionally:
- (i) Parking is not allowed on either side of Aptos Rancho Road;
 - (ii) A wrap-around with pedestrian easement at the entrance driveway, connecting to existing sidewalk on Aptos Rancho Road, is required;
 - (iii) No additional sidewalk improvements are required;
 - (iv) Impact fees will be paid for the Improvement Plan area.
- 5) A current water will serve letter from the Soquel Creek Water District shall be submitted with the application for Design Review. At the time of the adoption of this PUD, the District has the following requirements:
- (a) Any wells on site will be destroyed according to State Bulletin No. 74.
 - (b) Offsets will be required at a 1.2 to 1 ratio.
 - (c) A water-efficient landscape plan will be submitted to the District for approval.

- (d) All interior plumbing fixtures will be low-flow.
 - (e) District staff will inspect the finished project prior to commencing water service.
 - (f) All units must be metered individually.
 - (g) A **Fire Protection Requirements Form** will need to be completed and reviewed by the Aptos-La Selva Fire Department.
 - (h) A **Water Waiver for Pressure and/or Flow** must be recorded.
- 6) A current sanitary sewer will serve letter from the County Public Works Department, Sanitation Division, shall be submitted.
- (a) A gravity line to the townhome development directly north of the property is the recommended alternative, with the project developer paying for upgrades to the pump station. In the event that the Home Owner's Association of the Courtside Townhomes does not grant easements or access to the pump station, a private pump station will be required on site. Depending on development timing, efforts could be made to coordinate with the Community Foundation Building, directly to the south.
 - (b) The development shall deliver to the District Engineer flow metering or odor control equipment. Equipment shall be specified at time of Design review. At the District Engineer's option, a payment equivalent to the installed required equipment cost may instead be collected for future use.
 - (c) The existing septic system must be properly abandoned.
 - (d) The project will be required to provide for the analysis of two District pump stations and potential upgrades to accommodate increased flow.
 - (e) Annexation fees in addition to sewer connection fees will be due at the time of Building Permit application.
- 7) Preliminary drainage plans meeting the requirements detailed in Section XI, Hydrology/Water Supply/Water Quality, shall be submitted at the time of application for a Design Review Permit. These plans shall incorporate the requirements for runoff reduction, runoff retention and infiltration on-site, detention and dispersion over non-erodible areas if infiltration is not sufficient to meet the needs of the project, and finally the construction of channels or conduits to carry water to Aptos Creek only after other methods of stormwater management have been exhausted.
- (a) Drainage outlets shall be sited to maximize natural filtration.
 - (b) Project proposals are required to meet County Best Management Practices (BMPs) including porous pavement and directing roof and pavement runoff to vegetated swales

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for filtration. Furthermore, the measures identified to control runoff detailed in Section XI, Hydrology/Water Supply/Water Quality shall be implemented fully.

(c) The release rate from the site into Aptos Creek is limited to a 5-year storm predevelopment condition. Runoff currently received from the uphill area must be quantified and developer must show how this drainage is accommodated on site.

(d) Zone 6 fees will apply.

8) A sign plan indicating the location and size of all signs on the site shall be submitted. The signs shall be consistent with the provisions of Section VII. J this PUD.

VII) Final Map Requirements and Timing. If the project includes a Map, the following requirements shall be met prior to the final filing:

A) Drainage. Final engineered drainage details meeting all requirements of Section XI, Hydrology/Water Supply/Water Quality shall be submitted to the County Planning and Public Works departments for both on- and off-site drainage work. Drainage plans shall show that the release rate to Aptos Creek will not exceed the pre-development 5-year storm level. Drainage from road improvements shall be filtered and released into the riparian corridor. A Construction Activities Stormwater General National Pollution Discharge Elimination System (NPDES) Permit shall be obtained from the State Water Resources Control Board. Drainage outlets shall be sited to maximize natural filtration.

B) Roads. Final engineered road improvement plans shall be submitted to the County Planning and Public Works departments for both on- and off-site road improvements.

C) Recorded Conditions. Proof must be submitted that the conditions of all required permits (such as Design Review, NPDES) have been recorded in the official records of the County Recorder.

D) Affordable Housing. The developer must enter into an Affordable Housing Participation Agreement with the County of Santa Cruz.

E) Fees. All applicable in-lieu fees shall be paid.

1) Unless otherwise satisfied by meeting the requirements of County Code Chapter 15.01 or its successor ordinance, park dedication in-lieu fees shall be paid for each dwelling unit. The fees in effect at the time of filing of a Final Map, if applicable, shall be paid.

VIII) Building Permit Requirements and Timing. Prior to the issuance of any building permit, all of the following conditions shall be met, some of which may have been met at the Final Map Stage:

A) PUD Consistency. Plans shall be consistent with the approved Design Review Permit and with all requirements of this PUD, as determined by Planning Department Staff.

1) Final engineered drainage details shall be submitted to the County Planning and Public Works Departments for both on- and off-site drainage work. Drainage plans shall show that

the release rate to Aptos Creek will not exceed the pre-development 5-year storm level. Drainage from road improvements shall be filtered and released into the riparian corridor. A Construction Activities Stormwater General NPDES Permit shall be obtained from the State Water Resources Control Board.

- B) Roads. Final engineered road improvement plans shall be submitted to the County Planning and Public Works Departments.
- C) Recorded Conditions. Proof that the conditions of all required permits (such as Design Review, Tentative Map) and all required Declarations of Restriction and Statements of Acknowledgment have been recorded in the official records of the County Recorder must be submitted.
- 1) Prior to any Building Permit issuance on the parcel the owner shall record a Statement of Acknowledgment regarding the presence of the riparian corridor and buffer area on the parcel. These recordable documents shall be prepared by the Planning Department and shall include statements that any development within, or use of, the riparian corridor and/or buffer area is subject to the provisions of the County Code Chapter 16.30 related to riparian resource protection.
 - 2) An easement for ingress and egress to the residential unit located on APN 039-471-03 shall be recorded prior to the issuance of any Building Permit.
- D) Affordable Housing. If not completed as part of an application for a Tentative Map, the developer must enter into an Affordable Housing Participation Agreement with the County of Santa Cruz.
- E) Fees. All applicable in-lieu fees shall be paid unless already paid as part of an application for a Tentative Map.
- 1) Unless otherwise satisfied by meeting the requirements of County Code Chapter 15.01 or its successor ordinance, park dedication in-lieu fees shall be paid for each dwelling unit. The fees in effect at the time of building permit issuance or filing of a Final Map, if applicable, shall be paid.
 - 2) Unless otherwise satisfied by meeting the requirements of County Code Chapter 15.04 or its successor ordinance, Child Care Development fees shall be paid for each dwelling unit. The fees in effect at the time of building permit issuance or filing of a Final Map, if applicable, shall be paid.
 - 3) Transportation improvement fees shall be paid for each dwelling unit. The fees in effect at the time of building permit issuance or filing of a Final Map, if applicable, shall be paid. A credit shall be allowed for installation of improvements to Aptos Rancho Road and any off-site improvements that are part of the Capital Improvement Program.
 - 4) Roadside improvement fees shall be paid for each dwelling unit. The fees in effect at the time of building permit issuance or filing of a Final Map, if applicable, shall be paid.

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- 5) Written statements shall be submitted that are signed by authorized representatives of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by said school district in which the project is located at the time of building permit issuance. The applicant/developer is advised that the development may be subject to inclusion in a Mello-Roos Community Facilities District.
- F) Plan Review. Plan review letters shall be submitted from the geologic report and geotechnical report authors indicating that the plans comply with the County approved technical reports and that all of the report recommendations have been incorporated into the project plans.
- G) Fire District. All requirements of the Aptos-La Selva Fire District shall be met.
- H) Sanitation. The units shall be connected for sewer service to County Sanitation District. All regulations, conditions and hookup charges of the Sanitation District shall be met. Off-site improvements may be required. Final engineered plans shall be submitted complying with all requirements and standards of the County Sanitation District.
- I) Water. All units shall be connected for water service to the Soquel Creek Water District. All requirements of that water district including the payment of connection charges shall be met. Engineered improvement plans for all water line extensions required by Soquel Creek Water District shall be submitted for the review and approval of the water agency.
- J) Signs. The following signs are allowed. The signs shall comply with Section 13.10.580 or any successor ordinance and the location and design shall be reviewed and approved as part of the Design Review process.
- 1) A non-illuminated temporary sign pertaining to the sale, lease or rental of a dwelling and limited to six square feet in size or less.
 - 2) A permanent identification sign, in-directly illuminated, of 12 square feet or less.
 - 3) A sign documenting and identifying the Historic Castro House shall be placed near the Setting Area, as required by the Historic Report.
- K) Final Inspection. Prior to the final inspection or clearance of the building permit, all of the site improvements shown on the approved building permit plans and Design Review approval shall be installed/ implemented.
- L) The Historic Resource Preservation Plan, and Historic Structures Report addressing the Castro House and setting area, as required by the report prepared by JRP Historical Consulting, LLC, dated August 2008 shall be submitted to the Planning Department for review by the Historic Resources Commission. This review shall be limited to the treatment and preservation of the Castro House and setting area only.

IX) Construction Phase Requirements.

- A) Pre-Construction Meeting. Prior to any site disturbance or physical construction on the subject property and in order to ensure that the mitigation measures are communicated to the various parties responsible for constructing the project, prior to any disturbance on the property the applicant shall convene a pre-construction meeting on the site. The following parties shall attend: applicant, grading contractor supervisor, and Santa Cruz County Environmental Planning staff. The temporary construction fencing demarcating the edge of the riparian corridor setback and the tree protection fencing will be inspected at that time. Approval of the results of the pre-construction biotic surveys will be reaffirmed at this time. The receiving site for any exported fill will also be identified and County approved grading permits presented.
- B) Encroachment. All work adjacent to or within a County road shall be subject to the provisions of Chapter 9.70 of the County Code or its successor, including obtaining an encroachment permit where required. Where feasible, all improvements adjacent to or affecting a County road shall be coordinated with any planned County-sponsored construction on that road. Work performed in the public right of way shall not proceed without first obtaining an Encroachment Permit from the Department of Public Works. All work shall be consistent with the Department of Public Works Design Criteria unless otherwise specifically excepted by this PUD Ordinance.
- C) Winter Grading. No land clearing, grading or excavating shall take place between October 15 and April 15 unless the Planning Director approves a separate winter grading and erosion-control plan.
- D) Riparian Corridor. During the construction period temporary fencing shall be installed at the edge of the buffer area, in addition to the permanent fencing required by Section I.A.3.d of this PUD.
- E) Timing. No land disturbance shall take place prior to issuance of building permits (except the minimum required to install required drainage and sanitation improvements, provide access for County required tests or to carry out work required by the conditions of an entitlement permit).
- F) Archaeological Resources. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.
- 1) A historic archaeologist must be present on site during any ground disturbance in the archaeological sensitivity area shown in the report by Archaeological Consulting dated January 21, 2008.
- G) Disturbance Coordinator. To minimize noise, dust and nuisance impacts on surrounding properties to insignificant levels during construction, the owner/applicant shall or shall have the project contractor, comply with the following measures during all construction work:

- 1) All construction shall be limited to the time between 7:30 am and 4:30 pm weekdays unless a temporary exception to this time restriction is approved in advance by the County Planning Department to address an emergency situation; and
- 2) Each day it does not rain, all exposed soil shall be wet down frequently enough to prevent significant amounts of dust from leaving the site.
- 3) The applicant shall designate a disturbance coordinator and a 24-hour contact number shall be conspicuously posted on the job site. The disturbance coordinator shall record the name, phone number, and nature of all complaints received regarding the construction site. The disturbance coordinator shall investigate complaints and take remedial action, if necessary, within 24 hours of receipt of the complaint or inquiry.

H) Construction Trailer. One (1) "construction/ security trailer" (maximum 12 feet by 60 feet) is allowed on the site during the construction. The size of the unit and the location of the unit conforming to all yard setbacks contained in the PUD shall be shown on the plot plan, and the trailer shall not be placed within the Setting Area. Compliance with Section 13.10.683 or any successor ordinance is required. A building permit is required for the installation of the construction trailer.

X) Mitigation Monitoring Program

- A) The mitigation measures listed under this heading have been incorporated into the conditions of this approval in order to mitigate or avoid significant effects on the environment. As required by Section 21081.6 of the California Public Resources Code, a monitoring and reporting program for the mitigations is hereby adopted as a condition of approval. This program is specifically described following each mitigation measure listed below. The purpose of this monitoring is to ensure compliance with the environmental mitigations during implementation and operation. Failure to comply with the conditions contained within the Planned Unit development, including the terms of the adopted monitoring program, may result in the revocation of the Planned Unit Development Permit pursuant to section 18.10.136 of the Santa Cruz County Code.

XI) Mitigation Measures:
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XI) Mitigation Measures, Continued

ENVIRONMENTAL IMPACTS		Mitigation Measures		Responsibility for Compliance	Method of Compliance	Timing of Compliance
Geology/Soils						
Expose people or structures to potential adverse effects, including the risk of material loss, injury, or death involving seismic ground shaking.	The seismic design parameters outlined in the Geotechnical Investigation produced by Aptos Cottages, Aptos, California, prepared by Stevens, Ferrone & Bailey Engineering Company, Inc., October 13, 2006 shall be implemented. The report is on file at the County of Santa Cruz Planning Department	County Planning Department	Building/Grading Permit	Project Design		
Expose people or structures to potential adverse effects, including the risk of material loss, injury, or death involving landslides.	In order to reduce the potential for property damage caused by creek bank erosion and debris flows, a 2:1 (horizontal to vertical) slope shall be projected upward from the toe of the streambank towards the development. Where the projected line intersects roadways and other surface improvements, a setback of at least 5 feet be established, and a setback of at least 10 feet for buildings. The project proposes a 20-foot setback from the top of slope of the riparian corridor.	County Planning Department	Building/Grading Permit	Project Design		
Subject people or improvements to damage from soil instability as a result of on- or off-site landslide, lateral spreading, to subsidence, liquefaction, or structural collapse.	The recommendations contained in the geotechnical report (by constructing with post-tensioned slab foundations and by following the recommendations in the geotechnical report) will be implemented to mitigate for this potential hazard (Stevens, Ferrone & Bailey Engineering Company, June 2006).	County Planning Department	Building/Grading Permit	Project Design		
Result in soil erosion or the substantial loss of topsoil.	Prior to approval of a grading or building permit, the project must have an approved Erosion Control Plan, which will specify detailed erosion and sedimentation control measures (County Code Chapter 16.22.060). The plan will include provisions for disturbed areas to be planted with groundcover and to be maintained to minimize surface erosion.	County Planning Department	Building/Grading Permit	Prior to issuance of Building Permit		
Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to property.	To reduce the potential for post-construction distress to the proposed structures resulting from swelling and shrinkage of these materials, residential structures shall be supported on a post-tensioned slab foundation system. In addition, special design consideration will be required for exterior slabs. The measures contained in the geological report, (Stevens, Ferrone & Bailey Engineering Company, June 2006) shall be implemented to adequately mitigate for this potential hazard.	County Planning Department	Building/Grading Permit	Project Design		
Hydrology/Water Supply/Water Quality						
Deplete groundwater supplies or interfere substantially with groundwater recharge such	The proposed project would obtain water from Soquel Creek Water District, and would not rely on private well water. Although the project would incrementally increase water demand, the Soquel Creek Water District has indicated that	Soquel Creek Water District	Water Service	Prior to Construction		

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ENVIRONMENTAL IMPACTS	Mitigation Measures	Responsibility for Compliance	Method of Compliance	Timing of Compliance
that there would be a net deficit, or a significant contribution to an existing net deficit in available supply, or a significant lowering of the local groundwater table.	<p>adequate supplies are available to serve the project with implementation of the following mitigation measures.</p> <ul style="list-style-type: none"> All applicants for new water service from Soquel Creek Water District shall be required to offset expected water use of their respective development by a 1.2:1 ratio by retrofitting existing developed property within the Soquel Creek Water District service area so that any new development has a "zero impact" on the District's groundwater supply. Applicants for new service shall bear those costs associated with the retrofit as deemed appropriate by the District up to a maximum set by the District and pay any associated fees set by the District to reimburse administrative and inspection costs in accordance with District procedures for implementing this program. Plans for a water efficient landscape and irrigation system shall be submitted to District Conservation Staff for approval. All interior plumbing fixtures shall be low-flow and have the EPA Energy Star label. District Staff shall inspect the completed project for compliance with all conservation requirements prior to commencing water service. 			
Degrade a public or private water supply. (Including the contribution of urban contaminants, nutrient enrichments, or other agricultural chemicals or seawater intrusion).	<p>Runoff from this project may contain small amounts of chemicals and other household contaminants. No commercial or industrial activities are proposed that would contribute a significant amount of contaminants to a public or private water supply. The parking and driveway associated with the project would incrementally contribute urban pollutants to the environment; however, the contribution would be minimal given the size of the driveway and parking area. Potential siltation from the proposed project will be mitigated through implementation of an Erosion Control Plan (see above). A silt and grease trap, and a plan for maintenance, will be required to reduce this impact to a less than significant level.</p>	County Planning Department	Building/Grading Permit	Ongoing
Alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that could result in flooding, erosion, or siltation on or off-site.	<p>The proposed project is located adjacent to Aptos Creek. A 20-foot setback would be established from the break in slope to protect it from disturbance both during and after construction. The proposed project would comply with Chapter 16.22.070 (Runoff Control) of the County Code. The following measures shall be used for runoff control, and shall be adequate to control runoff from a five-year storm:</p> <p>(a) On soils having high permeability (more than two inches/hour), all runoff in excess of predevelopment levels shall be retained on the site. This may be accomplished through the use of infiltration basins, percolation pits or trenches, or other suitable means. This requirement may be waived where the Planning Director determines that high groundwater, slope stability problems, etc., would inhibit or be aggravated by on-site retention, or where retention would provide no benefits for groundwater recharge or erosion control.</p>	County Planning Department	Building/Grading Permit	During Construction and Ongoing

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ENVIRONMENTAL IMPACTS	Mitigation Measures	Responsibility for Compliance	Method of Compliance	Timing of Compliance
	<p>(b) If it is determined that on-site percolation is not feasible, all runoff shall be detained or dispersed over non-erodible vegetated surfaces so that the runoff rate does not exceed the predevelopment level. On-site detention may be required by the Planning Director where excessive runoff would contribute to downstream erosion or flooding. Any policies and regulations for any drainage zones where the project is located will also apply.</p> <p>(c) Any concentrated runoff that cannot be effectively dispersed without causing erosion, shall be carried in non-erodible channels or conduits to the nearest drainage course designated for such purpose by the Planning Director or to on-site percolation devices. Where water will be discharged to natural ground or channels, appropriate energy dissipaters shall be installed to prevent erosion at the point of discharge.</p> <p>(d) Runoff from disturbed areas shall be detained or filtered by berms, vegetated filter strips, catch basins, or other means as necessary to prevent the escape of sediment from the disturbed area.</p> <p>(e) No earth or organic material shall be deposited or placed where it may be directly carried into a stream, marsh, slough, lagoon, or body of standing water.</p> <p>(f) In an effort to reduce runoff, techniques shall be required such as minimizing site disturbance, minimizing proposed impervious areas, utilizing pervious surfacing, eliminating directly connected impervious areas, and clustering development, etc.</p>			
Create or contribute runoff that would exceed the capacity of existing or planned storm water drainage systems, or create additional source(s) of polluted runoff.	All runoff in excess of predevelopment levels for a five-year storm event shall be detained on the site (see above).	County Planning Department	Building/Grading Permit	Design and Construction
<p>Biological Resources</p> <p>Have an adverse effect on a sensitive biotic community (riparian corridor), wetland, native grassland, special forests, intertidal zone, etc.;</p>	<p>All proposed structures shall maintain at least a 20 foot setback from the top of the bank along Aptos Creek. In addition, permanent fencing will be placed at the top of bank, and temporary fencing shall be placed at the edge of the 20-foot buffer during construction.</p> <p>Minor impacts to riparian areas are anticipated. The construction of a storm water drainage facility would be necessary to convey storm water from the proposed development area down to Aptos Creek. Mitigation for securing pipes to the slope above the stream channel and the installation of energy dissipaters will include avoidance of mature vegetation, and revegetation with species to include coastal redwood, coast live oak, big-leaf maple, and willow staking around the dissipaters. A revegetation plan shall be prepared for review and approval by</p>	County Planning Department; California Department of Fish and Game	Building/Grading Permit	Design and Construction

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ENVIRONMENTAL IMPACTS	Mitigation Measures	Responsibility for Compliance	Method of Compliance	Timing of Compliance
	the County Planning Department and the CDFG. All permanent impacts will be mitigated through enhancement of habitat within the riparian area at a 3:1 replacement ratio. Enhancement will consist of exotic species removal and replanting with native species. No permanent or temporary impacts will be allowed below the "ordinary high water mark" of Aptos Creek. A jurisdictional delineation shall be conducted to determine the location of the Ordinary High Water Mark for waters of the U.S. and to map waters of the state. A 1602 Streambed Alteration Agreement may be required from CDFG. All impacts to waters of the U.S. will be avoided.			
Produce nighttime lighting that will illuminate animal habitats.	Aptos Creek and the associated riparian area encompasses most of the southeastern portion of the project site. This habitat area could be adversely affected by project-generated lighting. All project lighting located adjacent to the riparian buffer shall be shielded away from the buffer area. All development in the vicinity of the riparian corridor shall be consistent with Chapter 16.30 of the County Code.	County Planning Department	Building/Grading Permit	Design and Construction
Visual Resources and Aesthetics		County Planning Department	Building/Grading Permit	Design and Construction
Create a new source of light or glare that would adversely affect day or nighttime views in the area.	<p>The project would contribute an incremental amount of night lighting to the visual environment. However, the following project conditions would reduce this potential impact to a less than significant level:</p> <ul style="list-style-type: none"> (a) It shall be an objective of lighting design to relate to the site and building design and reduce off-site impacts. (b) All site, building, security and landscape lighting shall be directed onto the site and away from adjacent properties. Light sources shall not be visible from adjacent properties. Light sources can be shielded by landscaping, structures, fixture design or other physical means. Building and security lighting shall be integrated into the building design. (c) All lighted parking and circulation areas shall utilize low-rise light standards or light fixtures attached to the building. Light standards to a maximum height of 15 feet are allowed. (d) Area lighting shall be high-pressure sodium vapor, metal halide, fluorescent, or equivalent energy-efficient fixtures. 			
Cultural & Archeological Resources		County Planning Department	Building/Grading Permit	Design, Construction, a Ongoing
Cause an adverse change in the significance of a historical resource as defined in CEQA Guidelines 15064.5.	<p>The proposed project site contains a single historic, architectural resource, the Vicente Castro House. The following measures will be implemented to maintain the cultural integrity of the Vicente Castro House and its setting:</p> <p>Documentation/Recordation</p> <p>Documentation and recordation of the Vicente Castro House and property shall precede any construction, demolition, or removal activities. Documentation is the</p>			

ENVIRONMENTAL IMPACTS	Mitigation Measures	Responsibility for Compliance	Method of Compliance	Timing of Compliance
	<p>baseline mitigation measure. Written and photograph documentation will be prepared to record the property. The text and photographs will be used for completion of other mitigation measures identified below.</p> <p>The developer shall hire a qualified historian/architectural historian (according to the Secretary of Interior's professional qualification standards) to conduct the documentation and recordation of this property.</p> <p><u>HABS-like Dataset</u></p> <p>The written documentation for the property will be prepared based on the National Park Services' (NPS) Historic American Building Survey (HABS) Historical Report Guidelines. The information for this documentation will be derived from the JRP Historical Report (on file at the County of Santa Cruz Planning Department), as well as from Dill Design Group's recordation of the site and other sources. Additional information may come from extended research and oral histories conducted as part of mitigation for this project.</p> <p>The proposed documentation will not be reviewed by NPS or transmitted to the Library of Congress and therefore, will not be a full-definition, HABS dataset. The documentation will follow HABS standards, as appropriate, and NPS policy for photographic documentation as outlined in the <i>National Register of Historic Places and National Historic Landmarks Survey Photo Policy Expansion</i> (March 2005).</p> <p>The HABS-like documentation should approximate HABS Level II documentation and include: a) select existing drawings, if available, that would be photographed; b) photographs following the NPS photo policy, of exterior and interior views, along with historic views, if available; and c) written data providing history and description of the property.</p> <p>Either HABS standard large format or digital photography may be used. If digital photography is used, the ink and paper combinations for printing photographs must be in compliance with NR-NHL photo expansion policy and have a permanency rating of approximately 115 years. Photographs will be labeled with text reading "Vicente Castro House and Property, 7839 Soquel Drive, Aptos," and photograph number on the back of the photograph in pencil (2B or softer lead) or photo archive pen. Digital photographs will be taken as uncompressed .TIF file format. The size of each image will be 1600x1200 pixels at 300 ppi (pixels per inch) or larger, color format, and printed in black and white. The file name for each electronic image will correspond with the index of photographs and photograph label.</p> <p><u>Oral History Project</u></p> <p>Additional information shall be collected through an oral history project. Such a project will assemble important personal histories of people who lived in the Vicente Castro House. An oral history project to record their stories will be a valuable resource and assist with future interpretative and educational exhibits. The County of Santa Cruz Historic Resources Commission and the Aptos History</p>			

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ENVIRONMENTAL IMPACTS	Mitigation Measures	Responsibility for Compliance	Method of Compliance	Timing of Compliance
	<p>Museum shall be given the opportunity to comment on the research design for the oral history project. The research design will identify anticipated informants, research goals, and protocols. The oral history research shall be conducted in conformance with the Principles and Standards of the Oral History Association revised September 2000. This project will be conducted or supervised by a qualified historian or someone with experience in conducting oral history interviews. The following provides guidelines for conducting an oral history project for this property.</p> <p>The oral history project shall consist of interviews conducted with persons knowledgeable about the Vicente Castro House. Patricia Bosworth (Bartley Crum's daughter) shall be interviewed for her first-hand knowledge of the property during one of the periods of significance. John Anthony Miller (Joseph Miller's son) shall be interviewed for his knowledge of the most recent changes to the property and house. This information will expand on the historical record available in the JRP Historical Report. In general, the goal will be to synthesize information gathered from individuals who lived in the house and to gather their personal insights and recollections of the house and the property, including gardens and outbuildings.</p> <p>Planning/Preparation for Interviews:</p> <ul style="list-style-type: none"> • Review the available historical research and reports, including JRP Historical Report; • Prepare questions list prior to the interviews; • Conduct a tour of the property with the interviewees prior to demolition of buildings, if possible. • Prepare and have signed release forms for each interviewee, giving permission for any tapes or photographs made during the project to be used by researchers and the public for educational purposes. <p>Interviews:</p> <ul style="list-style-type: none"> • The oral interviews would be no longer than 1-2 hours in length; • Each interview (with permission of the interviewee) will be recorded with a digital voice recorder and use Digital Speech Standard (DSS) Player Software to create a topic index for the interviews linked to a time counter so that the topic index will be searchable on the CD ROM (or DVD) containing the recording of the interview. Use of this software will eliminate the need for a full written transcript of the interviews. <p>Post-Interviews:</p> <ul style="list-style-type: none"> • Archive quality CDs would be prepared containing a recording of the interview, topic index, biographical data sheet, and a read.me file explaining the contents of the CD and how to use the DSS Player Software. • Short biographical data sheets will be prepared for each interviewee and 			

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	<p>put in a file on the CD along with a photograph of each interviewee.</p> <ul style="list-style-type: none"> Interviewers will synthesize relevant information from the oral histories into a thematic narrative presenting understandings and insights. This narrative will be included on the CDs; Typed transcripts of interviews will not be required. CDs will be disseminated to appropriate repositories. <p><u>Documentation/Dissemination</u></p> <p>The HABS-like documentation of the Vicente Castro House and property will be disseminated on archival quality paper to appropriate repositories and interested parties. Appropriate distribution of the documentation is a required mitigation for this project. The distribution of the documentation will include: the California Historical Resources Information System Northwest Information Center at Sonoma State University; the Aptos Chamber of Commerce and History Museum; the Museum of Art and History in Santa Cruz; the Santa Cruz Historical Society; the Santa Cruz Public Library's local history collection; and other local repositories that may be identified.</p> <p>CDs prepared during the oral history project should be on archive quality discs, such as archival gold CD-Rs, and disseminated to the same repositories as the HABS-like documentation.</p> <p><u>Interpretation of the Property</u></p> <p>The loss of the historic setting for the Vicente Castro House as a result of potential development can be partially mitigated through the implementation of measures to interpret the property's historic significance for the public and for residents that will inhabit the property. Some measures to interpret the property will be required. However, there are options to the exact nature of such interpretation that would best explain the historical significance of the property, be appropriate for the housing development once built, and would be both practical and economically feasible. It is important that the property's historic significance be conveyed to future residents and visitors to the Castro property. The HABS-like documentation prepared for this project, as well as the oral history project, both described above, will provide information for the chosen interpretive actions and educational materials.</p> <p>Interpretive and/or educational exhibits will include, but are not necessarily limited to the following items:</p> <p><u>Permanent interpretive displays/signage/plaques:</u></p> <p>The developer will install one or more interpretive displays on the property that will provide information to visitors and residents regarding the history of the development of Aptos and the Castro family ranchos in the region, the history of the Castro family and history of the Crum family as it relates to the Vicente Castro House and the surrounding property. These displays will be integrated into the design of the public areas of the new housing development and will be installed in</p>			

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	<p>highly visible public areas near the Castro House. The displays will include historical data taken from the HABS—like documentation or other cited archival source.</p> <p>Interpretive displays and the signage/plaques installed on this property will be sufficiently durable to withstand typical weather conditions. Displays and signage/plaques will be installed at pedestrian-friendly locations, and be of adequate size to attract the interested pedestrian. Maintenance of displays and signage/plaques will be included in the management of the common area maintenance program on the property.</p> <p><u>Protection and Avoidance</u></p> <p><u>Supervision of Excavation in Archaeological Sensitivity Area</u></p> <p>An archaeological sensitivity area has been identified behind the Vicente Castro House and over the creek hillside. Any earth moving activities planned for this area will require an archaeological testing program prior to any ground disturbance. Earthmoving is defined as any grading, trenching (for water, irrigation, or sewage lines), excavation of large planting holes, or any other disturbances extending more than one foot below ground surface. Monitoring will not be necessary outside the sensitivity area, but standard practices in compliance with CEQA guidelines, Section 15064.5 (e)-(f), shall be followed to ensure the stoppage of work and appropriate actions taken if earthmoving activities reveal potential archaeological resources.</p> <p>A portion of the archaeological sensitivity area is included in the mitigated setting area for the Vicente Castro House as described above. Another portion of the sensitivity area coincides with the riparian area between the top of the hill (east of the Castro House) and Aptos Creek. According to the project description, the proposed project includes a provision to preserve the on-site riparian area as open space. Therefore, only a small portion of the sensitivity area may be impacted by the proposed development.</p> <p>The archaeological testing and mitigation program typically involves scraping the impact area with heavy equipment to expose the presence of artifact features, test excavation of any identified artifact deposits, and evaluation of the deposits to see if they are associated with the Castro occupation and qualify as important under CEQA. If they are determined significant, the entire deposit shall be excavated, analyzed, and interpreted in both scientific and public documents. Significant deposits may alternatively be treated with preservation and long-term protections. The archaeological testing and mitigation program shall be conducted and/or supervised by a qualified archaeologist (according to the Secretary of the Interior's professional qualification standards).</p> <p><u>Preserving the Setting of the Vicente Castro House</u></p> <p>A portion of the existing setting around the Vicente Castro House retains sufficient historic integrity and is considered to be part of the historical resource. The construction of housing units at 20 units per acre, along with parking, in close</p>			

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	<p>proximity to the Castro House would result in the loss of much of its setting. A measure to mitigate the impact the project would have on the historical resource is to ensure that there is adequate setting for the house, such that the setting can continue to contribute in conveying the historical resource's significance.</p> <p>The existing fence adjacent to the house serves to help define the north and west areas of the setting that includes the landscaped yard. The setting of the house also included the area south of the house, as defined by the driveway, and to the east between the house and the top of the hill that slopes down to Aptos Creek. Thus the area surrounding the house during the secondary period of significance was distinct from the remainder of the property, which formerly contained an orchard and presently contains ancillary buildings and open space. This separation, reinforced by landscaping, allowed the Castro House to be distinct and secluded from the rest of the property.</p> <p>The proposed setting boundary would encompass an area with landscaping, but no new buildings or structures. This would help preserve a degree of the house's integrity of setting. The extent of the area to be preserved takes into account the house's current immediate setting, the characteristics of that setting, and the historical evidence of the setting within the property's later period of significance during the Crum period.</p> <p>The alignment of the existing fence follows the driveway that has been modified since the secondary period of significance. Therefore, neither the existing fence nor its current alignment designates the historic boundary of the house's immediate setting. Although the current fence is not historic and need not be preserved, a new fence surrounding the entire historical resource shall be constructed. This new fence will define the boundary of the historical resource, serve as a visual boundary for the resource, and prevent encroachment by any development into the area surrounding the house. The new fence shall be similar to the existing fence (wood stakes or planks, approximately five feet tall) and be appropriate to the construction style of the Castro House. It would not be necessary to preserve the current alignment of the dirt driveway because its alignment has been modified over the years and is not a contributing element to the significance of the property and its setting.</p> <p>The Castro House's secluded setting is produced primarily by the trees that occupy the area around the building. As mentioned above, portions of the landscaping may date to the secondary period of significance, but there is no significant designed landscape still present today. However, in order to maintain the residential and secluded setting of the house, the developer shall maintain as many of the existing trees as possible, and supplement them with new plantings, if needed, within the setting boundary to preserve the residential setting of the house and to decrease the impact of the nearby construction. Some vegetation may need to be planted following grading or other construction activities at the edges of the historic setting boundary.</p> <p>JRP identified an area ranging between 25 and 40 feet from the north, west, and</p>			

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	<p>south sides of the house that would be adequate to preserve a sufficient setting for the Vicente Castro House. Preservation of the identified setting is intended to mitigate significant impacts that the project would have on the historical resource. On the east side of the house, a portion of the existing fence line along the top of the hill above Aptos Creek, within the riparian zone, serves as the eastern boundary of the preserved setting area. The area east of the fence is visually distinct from the immediate setting from the house because of the vegetation and the slope of the hill. From a point along the fence northeast of the house, the line proceeds northwest to where the garage currently stands before tracing an arc through the space around the north and west sides of the house, passing on the far side of several existing trees, including a large redwood located at the southwest corner of the house and another redwood tree located southeast of the house near the fence to the southeast of the Castro House. The varying width of the area within the setting's boundary corresponds proportionally with the house's immediate setting during the property's secondary period of significance, which included a moderately larger garden area on the south side of the house.</p> <p>The current garage does not date to either period of significance and the project proposes to remove this building. When demolished, a portion of its site would be located within the setting boundary because its proximity to the Castro House makes it part of the setting for the resource.</p> <p>Preserving a measure of the existing setting will also help prevent damage to the Castro House that might result from vibration impacts during construction. In general, studies have found that ground borne vibrations of less than 0.20 peak particle velocity (PPV) in inches per second do not damage fragile buildings. Typically, wood frame buildings are less susceptible to vibration damage than unreinforced masonry or adobe buildings. The construction of the housing on this site is not anticipated to include construction methods that would cause extreme ground borne vibrations, such as blasting or pile driving. However, such vibrations could be caused by large equipment like bulldozers. Consistent ground-borne vibrations caused by this type of activity that are at least 25 feet from historical buildings usually do not cause structural or cosmetic damage and are less than 0.20 PPV. Thus, if all construction activities that would cause potential vibration impacts are at least 25 feet from the Castro House, it is not necessary to assess whether proposed construction methods would cause vibrations to the Castro House that would exceed 0.20 PPV. If construction activities are different than currently anticipated, additional mitigation may be required to protect the house, including changes to construction methods and/or shoring of the house's structure.</p> <p><u>Mitigation for Construction within and at the Setting Boundary of the Castro House</u></p> <p>Project elements potentially encroaching into the historical resource's setting boundary include a driveway for the Vicente Castro House and parking for housing units located on the west side of the house. Additionally, construction</p>			

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	<p>adjacent to the Castro House would likely include two-story buildings in the location of the current garage and three-story buildings along the southern edge of the immediate setting. The following measures are intended to reduce the potential impact that these potential encroachments would have on the historical resource.</p> <p><u>Driveway Location</u></p> <p>Construction of a driveway would help ensure that the Castro House remains in use as a residential property and would help the house meet county codes for residential use. The paving that would be required for a permanent driveway on the south side of the house would further impact the setting of the historical resource reducing the landscaping adjacent to the house. Therefore, the new driveway for the Vicente Castro House shall be located on the north side of the house where the (non-contributing) brick lined walkway and patio currently sit. The developer may replace the brick pavers with an asphalt or concrete driveway. The driveway may be wider than the current pathway in this location. The driveway and parking area for the house may also cover a portion of the site where the garage currently sits.</p> <p><u>"Green" Parking Area on South Side of Historic Setting</u></p> <p>The developer shall minimize impacts to the landscaping within the setting area for the historical resource resulting from the potential encroachment of up to nine parking spaces to meet parking requirements. "Green" paving techniques shall be used in this area, along with sufficient bushes, trees, and landscape features to minimize its appearance as a parking area. The developer shall use hollow paving units, such as Turf Grid or Turf Stone, to provide the necessary paving for the parking area and allow the planting of grass in this area. This approach will provide the additional benefits of erosion control and reduce storm water runoff. The impact of parked cars could be reduced by designating these spaces for guest parking, in which they would conceivably be used less frequently.</p> <p><u>Fencing of Historic Setting Boundary</u></p> <p>The Castro House's setting boundary shall be defined by fencing similar to the existing picket fence. This should be tall enough to provide some privacy to the yard, preserving a degree of its current secluded appearance. The fence should also allow the Castro House to be viewed from the rest of the property similar to the current views of the house.</p> <p><u>Preservation Treatment of the Castro House</u></p> <p>In compensation for impacting the historical resource, particularly for construction of project features within the historical resources setting boundary (e.g., parking, driveway for Castro House), mitigation for this project shall include preservation work on the Castro house itself. This work would help ensure that the project would not lead to neglect of the historical resource and it would increase the potential for preserving the house. The house would very likely need to be remodeled for use by a subsequent owner, who would also need to comply with</p>			

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	<p>the county historic preservation ordinance for any changes he or she may wish to perform to character-defining features of the historical resource. Also, CEQA guidelines state that a project, which follows the Secretary of Interior's Standards for the Treatment of Historic Properties is a project that is mitigated to a level that is less than significant. The mitigation proposed under this section would help ensure that this project and its permanent impacts would meet the CEQA guidelines standards. Preservation work performed on the Castro House would also enhance its stature as a centerpiece to the proposed development.</p> <p>The appropriate treatment as mitigation for this project shall be Preservation. The National Park Services defines "preservation" as "the act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction."</p> <p><u>Historic Resources Preservation Plan.</u> A Historic Resource Preservation Plan shall be prepared and submitted to the Historic Resources Commission for approval, and shall conform to the criteria set forth in Section 16.42.070 of the Santa Cruz County Code. This criterion, which is as follows, is based on the Secretary of Interior's Standards for Rehabilitation. The mitigation listed below will help provide historical data and guidance to help ensure that the subsequent owner of the Castro House can meet these requirements:</p> <ol style="list-style-type: none"> 1. Every reasonable effort shall be made to provide a compatible use for a property, which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose. 2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible. 3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier or later appearance shall be discouraged. 4. Changes that may have taken place over the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected. 5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure, or site shall be treated with sensitivity. 6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of 			

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	<p>missing architectural features shall be based on accurate duplications of features substantiated by historic, physical or pictorial evidence, rather than on conjectural design or the availability of different architectural elements from other buildings or structures.</p> <p>7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials should not be utilized.</p> <p>8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.</p> <p>9. Alterations and additions to existing properties shall not destroy significant historical, architectural or cultural elements or materials, and shall be compatible with the size, scale, color, materials, and character of the property, neighborhood or environment.</p> <p>10. Whenever possible, new additions or alterations to structures shall be done in a manner so that the essential form and integrity of the structure would be unimpaired.</p> <p>Historic Structures Report. A Historic Structures Report (HSR), following the guidance from the National Park Service (NPS), shall be prepared. Historical data and standards for the HSR shall be provided, along with steps to ensure that important architectural characteristics of the house are retained. The HSR would provide guidance for the treatment of this property. As noted in NPS Preservation Brief 43 an HSR would be:</p> <ul style="list-style-type: none"> • A primary planning document for decision-making about preservation, rehabilitation, restoration, or reconstruction treatments • Documentation to help establish significant dates or periods of construction • A guide for budget and schedule planning for work on the historic structure • A basis for design of recommended work • A compilation of key information on the history, significance, and existing condition of the historic structure • A summary of information known and conditions observed at the time of the survey • A readily accessible reference document for owners, managers, staff, committees, and professionals working on or using the historic structure • A tool for use in interpretation of the structure based on historical and physical evidence • A bibliography of archival documentation relevant to the structure 			

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	<ul style="list-style-type: none"> • A resource for further research and investigation • A record of completed work <p>HSRs can include a variety of information. The HSR for the Vicente Castro House shall be focused on identifying the elements of the house that are historically important, the preservation condition of the house's important architectural elements, and provide recommendations that could be employed to rehabilitate the house in the future. The HSR should include a conditions assessment, noting the current conditions of the building, including existing deterioration and structural issues, along with distress to the frame of the house, wood rot, warping, and plaster damage, for example. The HSR would also provide recommendations for interim protections and a plan for long-term maintenance, including recommendations for structural stabilization, protection against damages to important architectural and structural elements, weatherproofing the building (moisture, wind, heat), and protection from vandalism. The developer should hire a qualified historic preservation firm to prepare the HSR.</p> <p>As part of this effort, the developer will be required to conduct preservation work based on recommendations from the HSR. The level of effort required will be determined by the Planning Department, based on the conclusions and results of the HSR. The goal of this mitigation is to preserve the house's character defining features, to prevent further deterioration while the house was uninhabited, and to prevent damage occurring either by or during construction of the housing project prior to the sale of the house.</p> <p>The developer shall also salvage possible historic windows from the garage and other units that will be demolished. These windows could be reused on the Castro House during subsequent rehabilitation of the property. Such reuse, however, will need to be based on appropriate documentation or otherwise be installed in compliance with the Secretary of Interior's Standards for Rehabilitation.</p> <p><u>Building Treatments immediately adjacent to the Setting Boundary</u></p> <p>The impact of constructing new housing units adjacent to the Castro House will be reduced by requiring specific architectural treatment of the units, particularly those situated at or near where the garage currently sits. Such treatments will help avoid the imposition of buildings looming over the historic house.</p> <p>The use of gable roofs with a similar pitch as found on the Castro House to reduce the overall volume of the units shall be incorporated into the project design. The design shall also incorporate materials and architecture features that are similar to the Castro House, without creating a false sense that they are themselves historic. The use of gable roofs decreases the need to require upper story setbacks. In particular, the exterior cladding of the units shall be horizontal wood siding. Highly contemporary style or Neo-Spanish style architecture commonly used in townhouse / condominium projects, including stucco exterior walls, is not appropriate for the design of units on this property.</p> <p>Efforts to further reduce the impact of the project on the Castro House would</p>			

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	<p>include decreasing the size of the units or their proximity of the house. While the townhouses have to meet the county's requirements for the PUD and be commercially viable rental spaces, it may be possible to reduce their visual impact by lowering the height of the eaves and using a steeper pitched roof, for example. The developer shall provide adequate space between the Castro House's setting boundary and the townhouse units to allow for a fence to be built at the historic setting boundary (as discussed above).</p> <p><u>Conclusion</u></p> <p>The project's impacts to the Vicente Castro House can be mitigated to a level that is less than significant through implementation of the required mitigation outlined above. This would allow the property to continue being eligible for the NRHP/CRHR and County Historic Resources Inventory. The mitigation would prevent demolition of this historical resource, would retain a degree of its setting, and help ensure its continued preservation.</p>			
Cause an adverse change in the significance of an archaeological resource pursuant to CEQA Guidelines 15064.5.	<p>Based upon the supplemental subsurface field reconnaissance and previous research, it has been concluded that, in the current project area, there is no subsurface evidence of potentially significant prehistoric archaeological resources associated with site CA-SCR-233.</p> <p>However, pursuant to Section 16.40.040 of the Santa Cruz County Code, if archaeological resources are uncovered during construction, the responsible persons shall immediately cease and desist from all further site excavation and comply with the notification procedures given in County Code Chapter 16.40.040.</p> <p>There remains some potential for discovery of historic features, such as privy or trash pits, associated with the historic Vicente Castro House. This type of feature could provide materials of historic significance and interest. However, location of such generally small features prior to construction grading would not be feasible. The most likely area for this type of discovery would be east and northeast of the Castro House along the bank overlooking Aptos Creek. Because of this, the following measures will be required:</p> <p>A qualified archaeological monitor shall be present during initial grading in the areas deemed most likely to produce evidence of historic features. If potentially historic features or materials are discovered, the monitor shall be authorized to temporarily halt construction to assess the find and to make a determination of its significance. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the concurrence of the County Planning Department, and implemented. Based on findings during the initial grading, the monitor shall have the authority to determine the location(s) and extent of further monitoring and the point at which monitoring will no longer be necessary.</p>	County Planning Department	Building/Grading Permit	Prior to Construction
Disturb any human remains, including those interred outside of formal cemeteries.	<p>Because of the possibility of unidentified (e.g., buried) cultural resources being found during construction, the following mitigation measure will be implemented:</p> <ul style="list-style-type: none"> Pursuant to Section 16.40.040 of the Santa Cruz County Code, if at any time 	County Planning Department	Building/Grading Permit	During Construction

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		during site preparation, excavation, or other ground disturbance associated with this project, human remains are discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner and the Planning Director. If the Coroner determines that the remains are not of recent origin, a full archeological report shall be prepared and representatives of the local Native California Indian group shall be contacted. Disturbance shall not resume until the significance of the archeological resource is determined and appropriate mitigations to preserve the resource on the site are established.				
Noise		Noise generated during construction would temporarily increase the ambient noise levels for adjoining areas. In order to minimize impacts associated with short-term construction noise, the County Planning Department shall ensure that the following noise control measures are incorporated into the final construction design plans for the proposed project: (a) Construction that involves motorized equipment shall be limited to Monday through Friday from 7:30 AM to 4:30 PM to avoid the times of day and the days of the week when noise effects would cause the greatest annoyance to residents. (b) Exceptions to the specified construction hours will be allowed only for construction emergencies and approved by County Planning; and (c) Signs will be posted that are clearly visible to users on Soquel Drive and Aptos Rancho Road that provide the phone number for the public to call to register complaints about construction-related noise problems. A single "disturbance coordinator" shall be assigned to log in and respond to all calls. All verified problems shall be resolved within 24 hours of registering the complaint. Implementing these mitigation measures will reduce potential significant construction-related noise impacts to a less than significant level.		County Planning Department		During Construction
Air Quality		Construction activities (e.g., excavation, grading, on-site vehicles) that directly generate 82 pounds per day or more of PM10 would result in a significant impact on local air quality if located nearby and upwind of sensitive receptors. Although project construction may result in a short-term, localized decrease in air quality due to generation of dust, the implementation of standard best management practices would reduce PM10 levels well below 82 pounds per day. The following mitigation measures will reduce construction-related emissions to a less than significant level. • All active construction areas shall be watered at least twice daily. Frequency		County Planning Department and Monterey Bay Unified Air Pollution Control District	Building/Grading Permit	During Construction
	Violate any air quality standard or contribute substantially to an existing or projected air quality violation.					

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	<p>will be based on the type of operation, soil and wind exposure.</p> <ul style="list-style-type: none"> All grading activities will be prohibited during periods of high wind (over 15 mph). Chemical soil stabilizers shall be applied to inactive construction areas (disturbed lands within construction projects that are unused for at least four consecutive days). Non-toxic binders (e.g., latex acrylic copolymer) shall be applied to exposed areas after cut and fill operations and to hydroseed areas. Haul trucks shall maintain at least 2'0" of freeboard. All trucks hauling dirt, sand, or loose materials shall be covered. Vegetative ground cover shall be installed in disturbed areas as soon as possible. Inactive storage piles shall be covered. Wheel washers shall be installed at the entrance to construction-sites for all exiting trucks. Streets shall be swept if visible soil material is carried out from the construction-site. A publicly visible sign shall be posted that specifies the telephone number and person to contact regarding dust complaints. This person shall respond to complaints and take corrective action within 48 hours. The phone number of the Monterey Bay Unified Air Pollution Control District shall be visible to ensure compliance with Rule 402 (Nuisance). Limit the area under construction at any one time (MEUPD/CDD 2008). 			
Expose sensitive receptors to substantial pollutant concentrations.	There would be a short-term air quality impact from emissions generated during site preparation (including soil stabilization efforts) and building construction. Dust from grading and emissions from heavy equipment would incrementally increase emissions over the short-term. There would be a long-term incremental decrease in air quality resulting from vehicle emissions generated by the proposed project. However, this impact is not considered to be significant with implementation of the above mitigation.	County Planning Department and Monterey Bay Unified Air Pollution Control District	Building/Grading Permit	During Construction

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<p>Public Services and Utilities</p> <p>Result in the need for construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects.</p>	<p>The final map for the project shall include an appropriate engineering solution to provide drainage infrastructure to accommodate the 5-year storm water runoff flow as required by the Santa Cruz County design standards for drainage structures. The final drainage plan and culvert design is subject to the review and approval of the County of Santa Cruz Department of Public Works.</p> <p>Minor impacts to the riparian area of Aptos Creek are anticipated. However, no permanent or temporary impacts will be allowed below the "ordinary high water mark" of Aptos Creek within the U.S. Army Corps of Engineers' jurisdiction.</p> <p>Mitigation for temporary impacts to riparian habitat will include replanting of habitat (e.g., coast redwood, coast live oak, big-leaf maple, willow, etc.) in disturbed areas following construction. All permanent impacts will be mitigated through enhancement of habitat within the riparian area at a 3:1 ratio.</p> <p>Enhancement will consist of exotic species removal and replanting with native species. A Section 1602 Streambed Alteration Agreement from CDFG may be required for minor impacts to riparian vegetation. The need for a Section 404 Permit from the U.S. Army Corps of Engineers is not anticipated. Encroachment into Waters of the U.S. will be avoided.</p>	<p>County Department of Public Works</p>	<p>Building/Grading Permit</p>	<p>During Construction</p>



Environmental Review Initial Study

Application Number: 07-0667

Date: August 25, 2008
Staff Planner: Todd Sexauer

I. OVERVIEW AND ENVIRONMENTAL DETERMINATION

APPLICANT: County of Santa Cruz

APN: 039-471-09

OWNER: Miller, John Anthony

SUPERVISORAL DISTRICT: 2

LOCATION: The proposed project is located at 7839 Soquel Drive, on the east side of Aptos Rancho Road, approximately 200 feet northeast of the intersection of Aptos Rancho Road and Soquel Drive in the Aptos planning area of unincorporated Santa Cruz County, California (see Figures 1 and 2).

SUMMARY PROJECT DESCRIPTION:

The project proposes a General Plan amendment, zone change, Riparian Exception, and Planned Unit Development (PUD) allowing a maximum development density of 20 dwelling units per usable acre on the project site. The PUD would also require any development proposal on the parcel to provide a minimum of forty percent of the total number of units as affordable. Following project approval, future development of the project site would be by-right in that the use and density for the site would not be discretionary. The site contains a maximum of 2.0 usable (developable) acres equating to a maximum of 40 dwelling units including the existing historic ranch house. The remaining 3.5 acres would remain in open space to protect riparian areas adjacent to Aptos Creek. The project would amend the General Plan from "Urban Medium Residential" (R-UM) and "Urban Open Space Lands (O-U)" to "Urban High Residential (R-UH)" and "Urban Open Space Lands (O-U)" with a PUD. The Urban High Residential would be amended to allow 20 units per net developable acre with a 2,000 square foot lot size requirement. In addition, the parcel would be rezoned from "Multi-Family Residential – 4,000 square foot minimum parcel size (RM-4-L)" to "Multi-Family Residential – 2,000 square foot minimum parcel size and Regional Housing Need Site (RM-2-R/RM-2-L-R)," and "Parks, Recreation and Open Space (PR)," and a PUD. The RM-2-L-R Zone includes a Historic Landmark Combining District for the historic setting area of the Vicente Castro House.

ALL OF THE FOLLOWING POTENTIAL ENVIRONMENTAL IMPACTS ARE EVALUATED IN THIS INITIAL STUDY. CATEGORIES THAT ARE MARKED HAVE BEEN ANALYZED IN GREATER DETAIL BASED ON PROJECT SPECIFIC INFORMATION.

<input checked="" type="checkbox"/> Geology/Soils	<input checked="" type="checkbox"/> Noise
<input checked="" type="checkbox"/> Hydrology/Water Supply/Water Quality	<input checked="" type="checkbox"/> Air Quality
<input checked="" type="checkbox"/> Biological Resources	<input checked="" type="checkbox"/> Public Services & Utilities
<input type="checkbox"/> Energy & Natural Resources	<input checked="" type="checkbox"/> Land Use, Population & Housing
<input checked="" type="checkbox"/> Visual Resources & Aesthetics	<input type="checkbox"/> Cumulative Impacts
<input checked="" type="checkbox"/> Cultural Resources	<input type="checkbox"/> Growth Inducement
<input checked="" type="checkbox"/> Hazards & Hazardous Materials	<input type="checkbox"/> Mandatory Findings of Significance
<input checked="" type="checkbox"/> Transportation/Traffic	

DISCRETIONARY APPROVAL(S) BEING CONSIDERED

<input checked="" type="checkbox"/> General Plan Amendment	<input checked="" type="checkbox"/> Grading Permit
<input checked="" type="checkbox"/> Land Division	<input checked="" type="checkbox"/> Riparian Exception
<input checked="" type="checkbox"/> Rezoning	<input checked="" type="checkbox"/> Planned Unit Development
<input checked="" type="checkbox"/> Development Permit	<input type="checkbox"/> Other
<input type="checkbox"/> Coastal Development Permit	

NON-LOCAL APPROVALS

Other agencies that must issue permits or authorizations:

1. California Department of Fish and Game – Section 1602 Streambed Alteration Agreement
2. Soquel Creek Water District
3. State Water Resources Control Board - National Pollution Discharge Elimination System Permit

ENVIRONMENTAL REVIEW ACTION

On the basis of this Initial Study and supporting documents:

☐ I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.

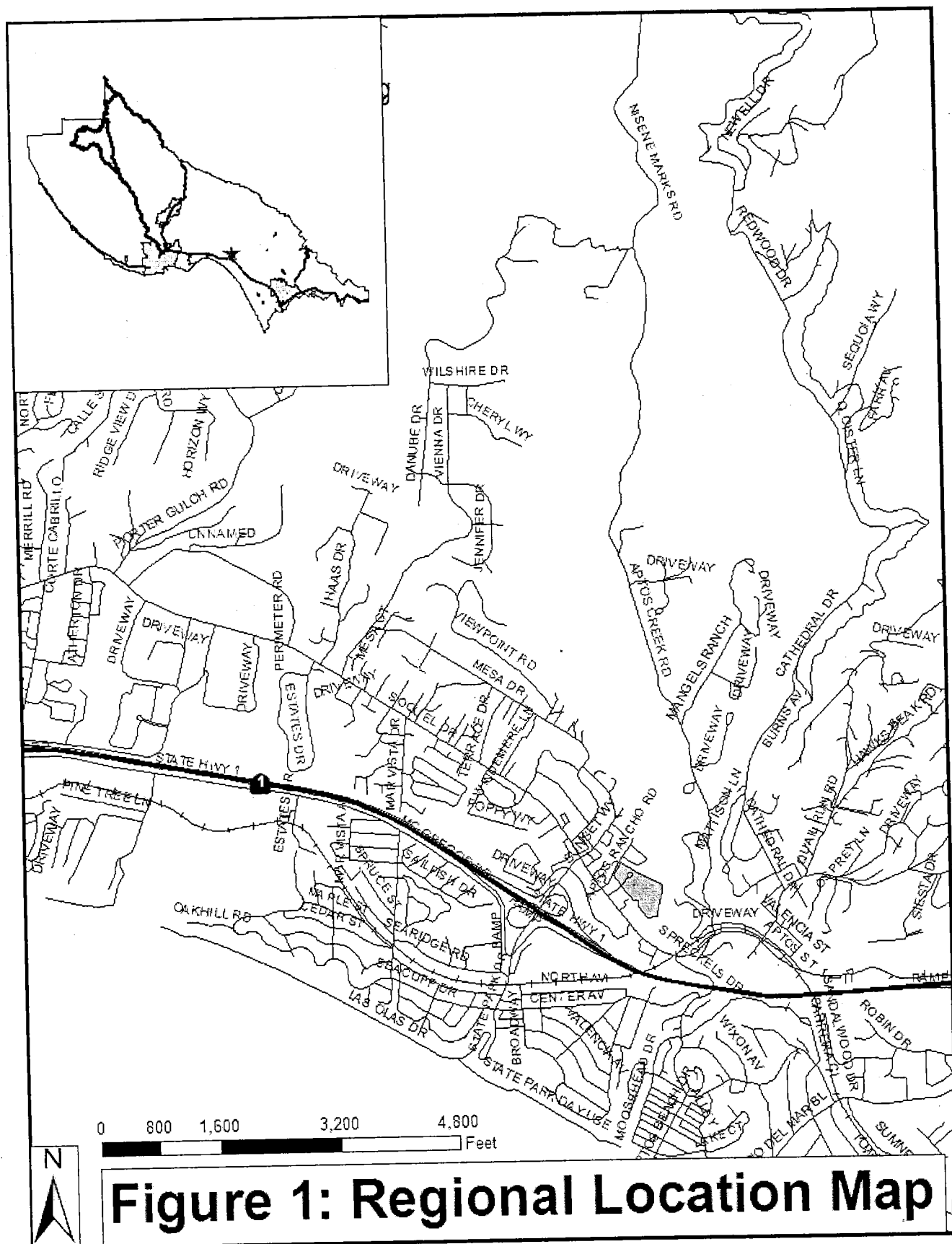
☒ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the attached mitigation measures have been added to the project. A MITIGATED NEGATIVE DECLARATION will be prepared.

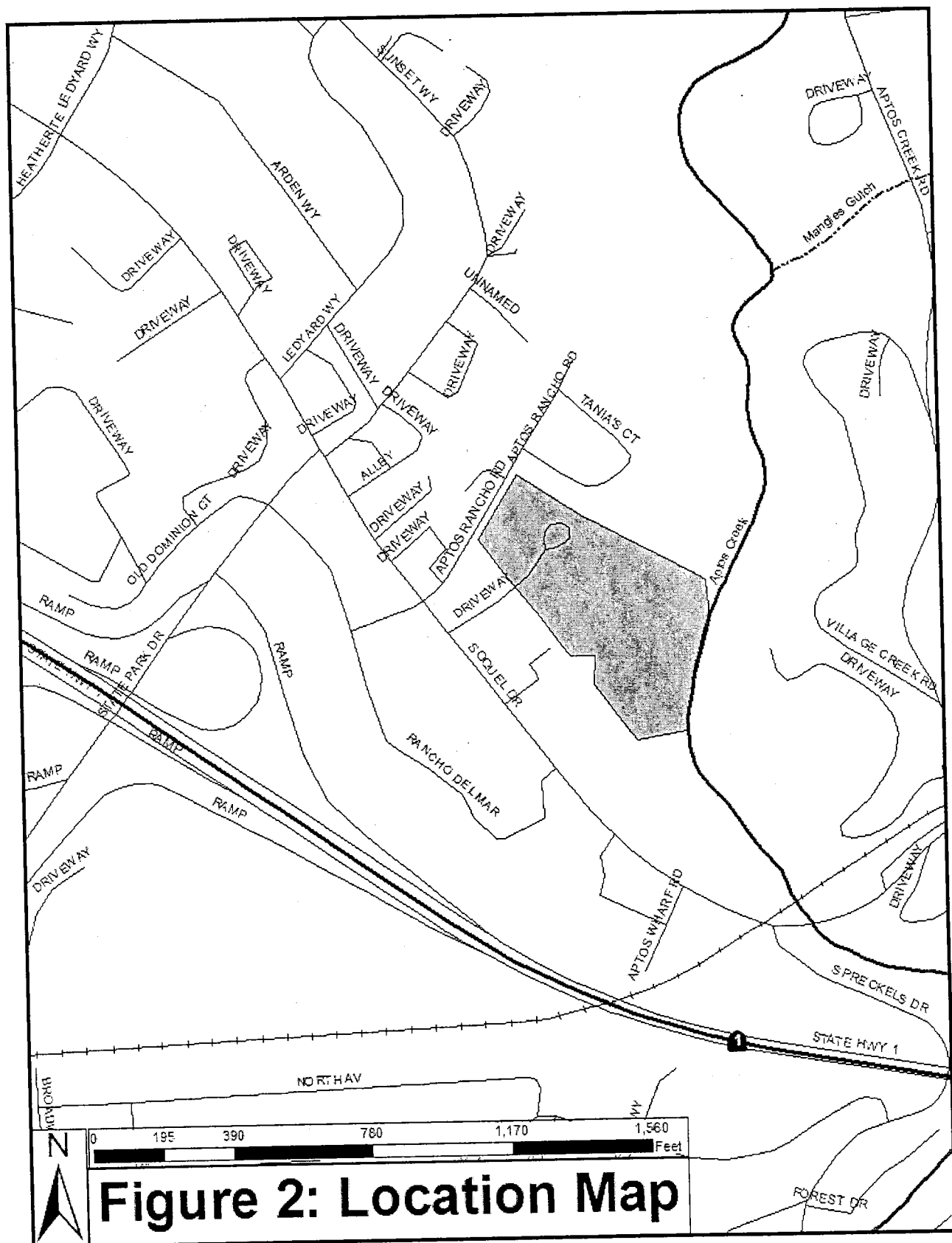
____ I find that the proposed project MAY have a significant effect on the environment,
and an ENVIRONMENTAL IMPACT REPORT is required.

Matt Johnston

Date

For: Claudia Slater
Environmental Coordinator





II. BACKGROUND INFORMATION

EXISTING SITE CONDITIONS

Parcel Size: 5.5 acres

Existing Land Use: Residential

Vegetation: Urban Landscaping and Riparian Vegetation

Slope in area affected by project: X 0 - 30% 31 - 100%

Nearby Watercourse: Aptos Creek

Distance To: On-site

ENVIRONMENTAL RESOURCES AND CONSTRAINTS

Groundwater Supply: Not mapped

Water Supply Watershed: Not mapped

Groundwater Recharge: Yes/Partial

Timber or Mineral: Not mapped

Agricultural Resource: Not mapped

Biologically Sensitive Habitat: Yes/Portion

Fire Hazard: Not mapped

Floodplain: Yes/Partial

Erosion: Not mapped

Landslide: Not mapped

Liquefaction: Potential

Fault Zone: Not mapped

Scenic Corridor: Not mapped

Historic: Yes

Archaeology: Yes/Portion

Noise Constraint: Not mapped

Electric Power Lines: No

Solar Access: Adequate

Solar Orientation: Adequate

Hazardous Materials: No

SERVICES

Fire Protection: Aptos/La Selva Fire
Protection District

School District: Pajaro Valley Unified
School District

Sewage Disposal: Santa Cruz County
Sanitation District

Drainage District: Zone 6 Flood Control
District

Project Access: Aptos Rancho Road (off
Soquel Drive)

Water Supply: Soquel Creek Water
District

PLANNING POLICIES

Zone District: RM-4-L Multi-family Resid.

General Plan: Urban Medium Residential/
Urban Open Space

Urban Services Line: X Inside Outside

Coastal Zone: Inside X Outside

Special Designation: N/A

PROJECT SETTING AND BACKGROUND:

The 5.5-acre project site is located at 7839 Soquel Drive, approximately 200 feet northeast of the intersection of Aptos Rancho Road and Soquel Drive in the Aptos planning area (see Figures 1 and 2). The property is currently developed with seven single-family dwellings, one of which, the Vicente Castro house, was built in the mid-1870s and listed on the Santa Cruz County Historic Resources Inventory.

The site is distinguished by level to gently sloping terrain in the 2.0-acre developable area and is bounded by Aptos Creek along the southeastern edge of the property. The northwestern, and northeastern boundaries of the site are adjacent to commercial and residential uses. The southwestern portion of the site is adjacent to a vacant parcel on Soquel Drive that was split from the subject parcel in 2005 and zoned for commercial development. The predominant land uses surrounding the project site are commercial, urban low and medium-density single-family residential, and urban open space. The eastern 3.5 acres of this 5.5-acre parcel contains riparian vegetation. Future development will be limited to 2.0 acres, including the preservation of the historic Castro house. Primary vehicular access to the project site is currently from Soquel Drive, which is paved with curb, gutter and sidewalks.

DETAILED PROJECT DESCRIPTION:

The project proposes a General Plan amendment, zone change, Riparian Exception, and PUD allowing a maximum development density of 20 dwelling units per usable acre on the project site. The PUD would also require any development proposal on the parcel to provide a minimum of forty (40) percent of the total number of units as affordable. Following project approval, future development of the project site would be by-right in that the use and density for the site would not be discretionary. A Tentative Map approval may be requested as part of the development application but is not required. The 5.5-acre project site contains 2.0 usable acres equating to a maximum of 40 dwelling units including the historic Castro house. The remaining 3.5 acres would provide open space to protect on-site riparian areas.

The project would rezone the parcel and amend the General Plan as shown in Table 1. Figure 3 also shows the proposed land use changes.

Table 1 Proposed General Plan and Zone Changes for Assessor Parcel Number 039-471-09		
	Existing	Proposed
Zoning District	Multi-Family Residential – (RM-4-L) 4,000 square feet per lot or unit	Multi-Family Residential – 2,000 square foot minimum parcel size and Regional Housing Need Site (RM-2- R/RM-2-L-R*) and Parks, Recreation and Open Space (PR)
General Plan Land Use Designation	Urban Medium Residential (R- UM)/Urban Open Space Lands (O- U)	Residential - Urban High (R- UH)/Urban Open Space Lands (O-U)
General Plan Density and Minimum Parcel Size	R-UH currently allows 10.9 to 17.4 units per net developable acre with a 2,500 to 4000 square foot lot size requirement	R-UH would be amended to allow 20 units per net developable acre with a 2,000 square foot lot size requirement
Planned Unit Development	No	Yes (See Appendix A)

* Zone includes Historic Landmark Combining District for historic setting area of Vicente Castro House (Figure 3).
Source: County of Santa Cruz, 2008.

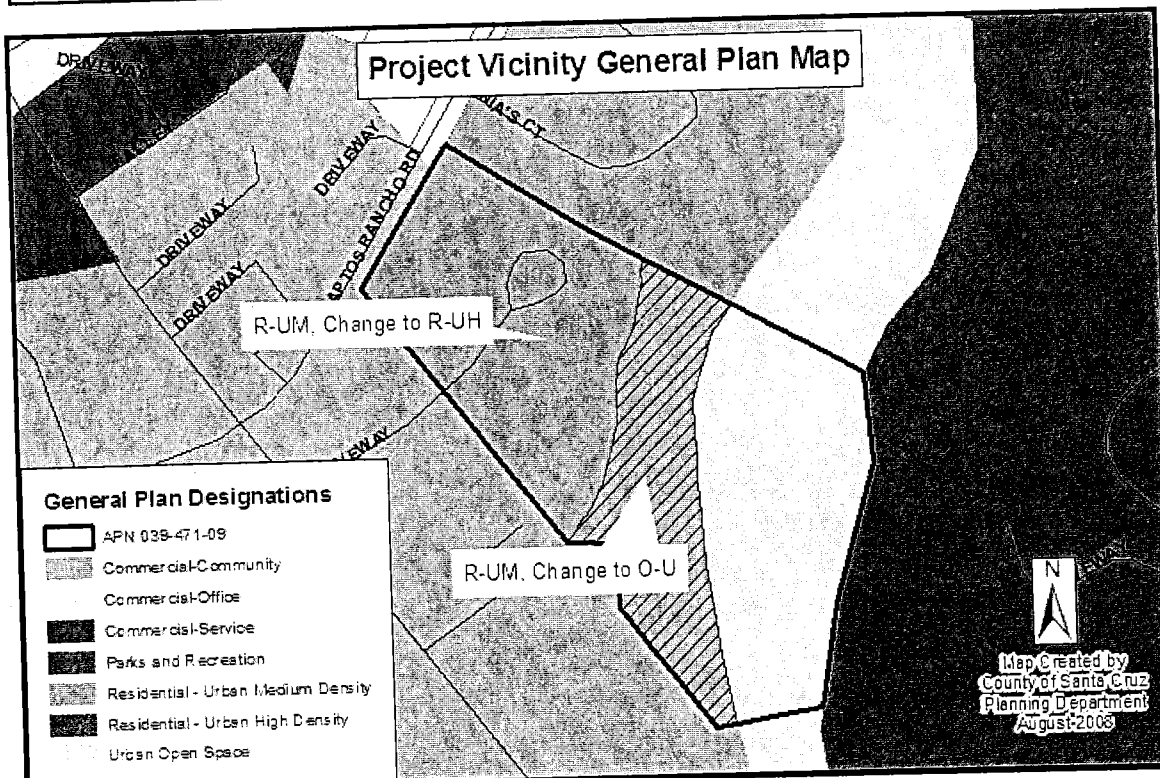
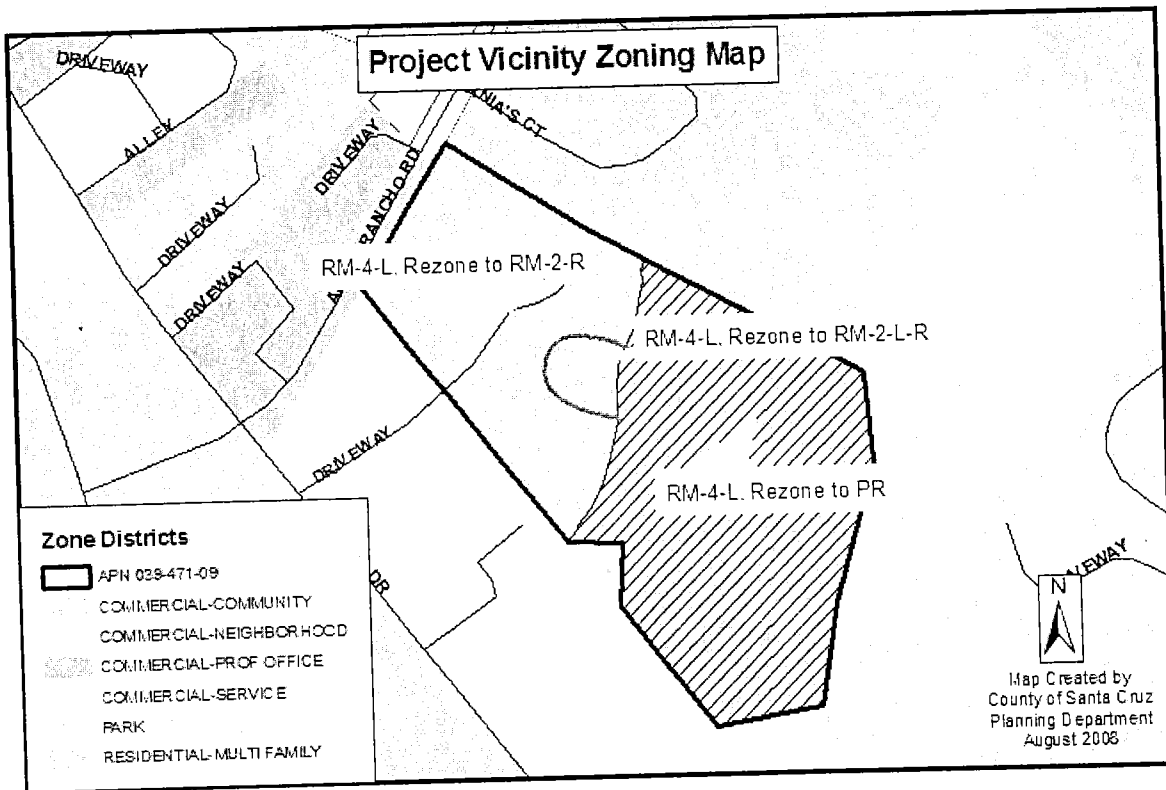


Figure 3 – Proposed General Plan and Zone Changes
Source: County of Santa Cruz, 2008.

All development proposals on this parcel would be required to meet the affordability requirements described in Section 17.10.030(b)(6) of the Santa Cruz County Code. Prior to Building Permit issuance or prior to filing of the Final Map, if one is required, the developer would enter into a Certification and Participation Agreement with the County of Santa Cruz to meet the Affordability Housing Requirements specified by Chapter 17.10 of the County Code.

Any future development proposal on the project site would be subject to Design Review and a public hearing limited to design issues only. No discretionary permit would be necessary for the density or use of the site. All requirements of the Site, Architectural and Landscape Design Review (Chapter 13.11 of the County Code) or successor ordinance in effect at the time a Design Review Permit is deemed complete for processing would be applicable unless modified by the PUD (see the PUD contained in Appendix A for the complete text).

Access to the site is currently off of Soquel Drive via a driveway that crosses assessor parcel number 039-471-08 contained within a 40-foot easement. However, this project proposes to eliminate access from Soquel Drive and provide a new access point from Aptos Rancho Road.

Under the proposed PUD, the proposed project would be required to meet the following development standards:

General Site Standards

All of the site standards contained within Chapter 13.10 would be applicable unless modified by the proposed PUD. The following development standards supersede the development standards in the County Code.

- Parking requirements: 1.5 spaces per studio or one bedroom units; 2.0 spaces per two bedroom units; 2.5 spaces per three bedroom units; and 3.0 spaces per four bedroom unit. An additional 20 percent of the total number of parking spaces is required to accommodate guest parking.

A reduction in the required on-site parking standard may be considered by the County with review and approval by the Board of Supervisors as part of the Level VII Design Review Permit. Any request would include an on-site parking management plan prepared by a traffic engineer. Due to the location of this site along a major traffic corridor and transit route, adjacent to a shopping center including a grocery store, and within a mile of the future Aptos Village, and also due to the size and constraints on this site, a parking reduction of up to 10 spaces could be accommodated.

The maximum number of the required parking spaces that may be compact in size is specified in County Code Section 13.10.553(e) or its successor ordinance. The standards for the off-street parking facilities as outlined in County Code Section 13.10.554 at the time of application is deemed complete would apply.

- Circulation Requirements: All interior roadways would be a minimum of 20 feet in width for two-way circulation and 12 feet in width for one-way circulation. A

minimum of 50-foot centerline radius on all access routes would be required unless a different turning radius is required by the fire agency.

- Access to Site: The main access to the site would be located off of Aptos Rancho Road frontage, consistent with the standards contained within the adopted Design Criteria for the County of Santa Cruz. The existing width of the Aptos Rancho Road Right-of-Way is considered adequate and further modifications are not required to meet the Design Criteria standard for road width.
- Bicycle Storage: One lockable storage shed or lockable garage space would be provided for on-site bicycle storage. The lockable storage area may be located within the storage area. At least one bicycle space would be provided for each dwelling unit.
- Accessibility: Developments must meet accessibility requirements of Title 24 of the Building Code or successor code in effect at the time the building permit application is submitted.
- Accessible Parking: Accessible parking would be provided consistent with California State Law. This applies to the design of the parking spaces, location of the parking spaces, number of accessible spaces provided, and accessible path of travel through the development.
- Setbacks: The applicable minimum yard setbacks would be established from the perimeter of the property to structures in aggregate, and are as follows:

Aptos Rancho Road Frontage – 15 feet to buildings, 10 feet to porches, not to encroach on the Public Utilities Easement.

Southern Property Line – 10 feet to buildings, 5 feet to other structures such as exterior stairwells, access ramps, and cantilevered decks or balconies.

Eastern Property Line – 20 feet from edge of the Riparian Corridor, as delineated by the existing wire fence at the top of the bank.

Northern Property Line – Distance determined sufficient to minimize shading on adjacent residences, not less than 10 feet, also outside the dripline of the existing redwood grove.

For projects involving the creation of new lots, the interior setbacks and lot size would be established through the Design Review process and are not subject to obtaining a Residential Development Permit under County Code Section 13.10.323(d)(1)(A) or its successor ordinance.

The easement required for access to the residential unit on the adjacent property (APN 039-471-03) would not be deducted from developable site area, and no setbacks from the access way would be required.

- Historic Setting Area: Any buildings built in or directly adjacent to the footprint of the existing garage of the Castro House, as shown in the report prepared by JRP Associates, dated August 2008, would be limited to two stories and 28 feet in height, measured from existing natural grade.

The historic setting area may be utilized for passive open space for the overall project subject to the conditions of Section III of the PUD (see Appendix A). Encroachments addressed by the August 2008 JRP report would be permitted with the recommended mitigations. Other encroachments would be minimized to the greatest extent possible, would be constructed with appropriate materials, and would be subject to Design Review.

- Riparian Area: A riparian buffer of 20 feet is to be maintained, but the 10-foot additional riparian construction buffer provided in General Plan Policy 5.2.4 would not apply. In order to clearly delineate the riparian area, the top of the bank would be fenced with permanent fencing.

A Riparian Exception is granted by this PUD for the encroachment for the installation and maintenance of drainage outlets and energy dissipaters under the following conditions: (1) No disturbance would be allowed below the ordinary high-water mark of Aptos Creek; (2) Prior to issuance of the final building permit, drainage plans would be reviewed and approved by both DPW Drainage and Environmental Planning.

Prior to issuance of the final building permit, the applicant would provide the County a copy of the California Department of Fish and Game (CDFG) 1602 Streambed Alteration Agreement, or a statement from the CDFG that no agreement is required.

- Open Space: Instead of meeting the usable open space standards found in County Code Section 13.10.323(f), useable open space would be maximized on-site, and any development project is not required to meet the requirements of the Multi-family Residential (RM) Ordinance.
- Lot Coverage and Floor Area Ratio: Lot Coverage and Floor Area Ratio limitations do not apply.
- Redwood Grove: The redwood grove in the northeastern corner of the developable area of the site would be maintained to screen and minimize the perceived scale of new buildings.

An arborist report reviewed and accepted by the Planning Department would be required if any of these trees are to be removed due to disease.

Structures would be located outside the dripline of these trees.

Requirements for Structures

- A maximum of three (3) stories as defined by the County Code, exclusive of basement or subterranean parking, would be allowed. Structures along the Aptos Rancho Road frontage would comply with the conditions of Section II.D of the proposed PUD.
- Height of three story structures may be up to 37 feet and two story structures up to 28 feet, measured from preconstruction natural grade or finished grade, whichever is higher, except for the areas directly adjacent to the northern edge of

the historical setting area, and the area fronting Aptos Rancho Road (see Section II.D. of Appendix A). All exceptions as specified in County Code Section 13.10.510(d)(2) or successor ordinance would apply.

- The basic architectural design principles of balance, harmony, order and unity would prevail, while not excluding opportunity for unique design.

Project proposals would best achieve this goal by incorporating the design elements complementary to those on the Castro House such as the shutters, porches, narrow-plank siding, and color scheme.

Building design would consider the view from Soquel Drive and appropriate articulation, colors, materials, and glazing would be used to enhance visual interest of structures on-site.

To reduce the apparent bulk and mass of the development, efforts would be made to provide articulation and architectural features for buildings and mitigate the impression of height as viewed from Aptos Rancho Road.

- Aptos Rancho Road Frontage: Along this frontage, buildings would face the street with porches and appropriately scaled architectural features, and would appear to be two stories in height when viewed from the road.

Buildings within 30 feet of Aptos Rancho Road would be limited to 30 feet in height measured from the crown of Aptos Rancho Road, not from natural or finished grade, and may be three stories in height provided they appear as two story buildings from Aptos Rancho Road. An increase in height from 28 feet to 30 feet may be accepted if it can be demonstrated that a superior design or compatible roof pitch can be achieved. These buildings may have tuck-under parking in the rear and be three story structures from the interior of the project site.

Historical Structure and Setting Area Requirements

- The historic Castro House currently located on the property would be retained in place in its current or rehabilitated state, in accordance with County Code Section 16.42.070. The exterior of the home would be maintained as a historic structure, either by an owner or by a Home Owners Association, depending on ownership mix and use of the structure.
- All recommendations of the report prepared by JRP Historical, dated August 2008 would be carried out unless specifically excepted by the proposed PUD (see Appendix A).
- The Castro House may be a separate townhouse parcel or single-family parcel provided the historic setting and integrity of the structure are maintained. The historic setting area described in the report by JRP Historical could provide passive open space with appropriate garden structures in keeping with the historic nature of the setting area and utilizing minimal paving and appropriate materials. No permanent structures or extensive paving would be permitted, and the majority of the area would be used as common open space. If the Castro

House is developed as a single-family lot, some of the area may be fenced for private use by the residence.

- A maximum number of trees and landscaped area would be maintained within the historic setting area, and at a minimum any redwood trees located in the setting area would be retained in order to provide scale for new surrounding buildings.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
-----------------------------------------------------------	-----------------------------------------------------------------	---------------------------------------------	-------------------

III. ENVIRONMENTAL REVIEW CHECKLIST

A. Geology and Soils

Does the project have the potential to:

1. Expose people or structures to potential adverse effects, including the risk of material loss, injury, or death involving:

- A. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or as identified by other substantial evidence?

X

The project site is located outside of the limits of the State Alquist-Priolo Special Studies Zone. The project site is located approximately 6.9 miles southwest of the San Andreas Fault zone. The U.S. Geological Survey (2003) indicated that there is a 62 percent chance of at least one magnitude 6.7 or greater earthquake striking the San Francisco Bay region between 2003 and 2032. Therefore, the site will probably be subjected to at least one moderate to severe earthquake that will cause strong ground shaking. The October 17, 1989 Loma Prieta earthquake (magnitude 7.1) is considered to have been associated with the San Andreas Fault system. The event was the second largest earthquake in central California history. Improvements to this parcel could be subjected to the effects of seismically induced ground shaking during a large magnitude earthquake. However, seismic related ruptures are not anticipated.

- B. Seismic ground shaking?

X

The project site is located in one of the most seismically active regions in the United States. Significant earthquakes have occurred in the Santa Cruz area and are believed to be associated with crustal movements along a system of sub-parallel fault zones that generally trend in a northwesterly direction. The direction and distance from the site to nearby active faults are summarized in Table 2.

The project site is not located within an Alquist-Priolo earthquake fault zone designated by the State of California.

Earthquake intensities vary throughout the area, depending upon numerous factors including the magnitude of earthquake, the distance of the site from the causative fault, and the type of materials underlying the site. The U.S. Geological Survey (2003) indicated that there is a 62 percent chance of at least one magnitude 6.7 earthquake striking the San Francisco Bay region between 2003 and 2032. Therefore, the site will

Significant
Or
Potentially
Significant
Impact

Less than
Significant
with
Mitigation
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Less than
Significant
Or
No Impact

Not
Applicable

probably be subjected to at least one moderate to severe earthquake that will cause strong ground shaking. Therefore, the seismic design parameters outlined in the Geotechnical Investigation contained in Appendix D shall be implemented.

Table 2 Direction and Distance to Nearby Active Faults			
No.	Fault Name	Distance to the Fault in Miles	Direction to Fault
1	San Andreas	6.9	Northeast
2	Sargent	9.2	Northeast
3	Monterey Bay	11.4	Southwest
4	San Gregorio	15.7	West
5	Palo Colorado	17.8	Southwest
6	Calaveras	19.9	Northeast
7	Hayward – SE Extension	22.3	Northeast
8	Navy	22.6	Southwest
9	Cypress Point	23.6	Southwest
10	Crosley	25.9	Northeast
11	Quien Sabe	29.6	Southeast
12	Hayward	34.2	North

Source: Stevens, Ferrone & Bailey 2006.

C. Seismic-related ground failure,
including liquefaction?

X

The potential for liquefaction through the site is low with the exception of the extreme southeastern portion of the site immediately along Aptos Creek. Based on the combined results of the exploratory borings and in-situ penetration resistance tests, the potential for ground surface damage at the site resulting from liquefaction is low (see Appendix D).

D. Landslides?

X

The general grade from the western edge of the parcel slopes gently downward toward the east with a maximum relief of about 20 feet. The southeastern half of the site is relatively level. The slope down to Aptos Creek is about 60 feet in height at an overall inclination of about 2:1 (horizontal:vertical), with some reaches as steep as 1:1 (see Appendix D).

In order to reduce the potential for property damage caused by creek bank erosion and debris flows, a 2:1 (horizontal to vertical) slope shall be projected upward from the toe of the streambank towards the development. Where the projected line intersects roadways and other surface improvements, a setback of at least 5 feet be established, and a setback of at least 10 feet for buildings. The project proposes a 20-foot setback from the top of slope of the riparian corridor. No significant impact is anticipated.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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2. Subject people or improvements to damage from soil instability as a result of on- or off-site landslide, lateral spreading, to subsidence, liquefaction, or structural collapse?

X

Stevens, Ferrone & Bailey Engineering Company also concluded that there is a potential risk from severe ground shaking. The recommendations contained in the geotechnical report (by constructing with post-tensioned slab foundations and by following the recommendations in the geotechnical report) will be implemented to mitigate for this potential hazard (see Appendix D).

3. Develop land with a slope exceeding 30%?

X

There are no slopes that exceed 30% on the property that will be included in the developable area.

4. Result in soil erosion or the substantial loss of topsoil?

X

Some potential for erosion exists during the construction phase of the project, however, this potential is minimal because best management practices and standard erosion control measures are a required condition of the project. Prior to approval of a grading or building permit, the project must have an approved Erosion Control Plan, which will specify detailed erosion and sedimentation control measures (County Code Chapter 16.22.060). The plan will include provisions for disturbed areas to be planted with groundcover and to be maintained to minimize surface erosion.

5. Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code(1994), creating substantial risks to property?

X

According to the geotechnical report prepared for the proposed project, expansive soils are known to occur within the project area. Due to the moderate expansion potential, the near surface clayey materials may be subjected to volume changes during seasonal fluctuations in moisture content. To reduce the potential for post-construction distress to the proposed structures resulting from swelling and shrinkage of these materials, residential structures shall be supported on a post-tensioned slab foundation system. In addition, special design consideration will be required for exterior slabs (see Appendix D). The measures contained in the geological report, (Stevens, Ferrone & Bailey Engineering Company, June 2006; Appendix D) shall be implemented to adequately mitigate for this potential hazard.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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6. Place sewage disposal systems in areas dependent upon soils incapable of adequately supporting the use of septic tanks, leach fields, or alternative waste water disposal systems?

_____	_____	_____	X
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No septic systems are proposed.

7. Result in coastal cliff erosion?

_____	_____	_____	X
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The project is not located in the coastal zone. No coastal cliff erosion would occur as a result of project implementation.

B. Hydrology, Water Supply and Water Quality

Does the project have the potential to:

1. Place development within a 100-year flood hazard area?

_____	_____	X	_____
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According to the Federal Emergency Management Agency (FEMA) National Flood Insurance Rate Map, dated March 2, 2006, no portion of the project site proposed for development lies within a 100-year flood hazard area. The entire 100-year flood hazard area is located within the incised area of Aptos Creek located within designated open space.

2. Place development within the floodway resulting in impedance or redirection of flood flows?

_____	_____	_____	X
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According to the FEMA National Flood Insurance Rate Map, dated March 2, 2006, no portion of the project site proposed for development lies within the floodway.

3. Be inundated by a seiche or tsunami?

_____	_____	_____	X
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The site is located at an elevation of approximately 100 to 140 feet above mean sea level approximately 0.5 mile from the coast. Therefore, impacts from tsunamis are not anticipated.

4. Deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit, or a significant contribution to an existing net deficit in available supply, or a significant lowering of the local groundwater table?

_____	X	_____	_____
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Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
-----------------------------------------------------------	-----------------------------------------------------------------	---------------------------------------------	-------------------

The proposed project would obtain water from Soquel Creek Water District, and would not rely on private well water. Although the project would incrementally increase water demand, the Soquel Creek Water District has indicated that adequate supplies are available to serve the project with implementation of the following mitigation measures.

- All applicants for new water service from Soquel Creek Water District shall be required to offset expected water use of their respective development by a 1.2:1 ratio by retrofitting existing developed property within the Soquel Creek Water District service area so that any new development has a "zero impact" on the District's groundwater supply. Applicants for new service shall bear those costs associated with the retrofit as deemed appropriate by the District up to a maximum set by the District and pay any associated fees set by the District to reimburse administrative and inspection costs in accordance with District procedures for implementing this program.
- Plans for a water efficient landscape and irrigation system shall be submitted to District Conservation Staff for approval.
- All interior plumbing fixtures shall be low-flow and have the EPA Energy Star label.
- District Staff shall inspect the completed project for compliance with all conservation requirements prior to commencing water service.

Although the project is located in a mapped groundwater recharge area, its boundaries are located entirely within the designated open space along Aptos Creek. No adverse impacts would occur.

5. Degrade a public or private water supply? (Including the contribution of urban contaminants, nutrient enrichments, or other agricultural chemicals or seawater intrusion).

X

Runoff from this project may contain small amounts of chemicals and other household contaminants. No commercial or industrial activities are proposed that would contribute a significant amount of contaminants to a public or private water supply. The parking and driveway associated with the project would incrementally contribute urban pollutants to the environment; however, the contribution would be minimal given the size of the driveway and parking area. Potential siltation from the proposed project will be mitigated through implementation of an Erosion Control Plan (see Geology and Soils). A silt and grease trap, and a plan for maintenance, will be required to reduce this impact to a less than significant level.

6. Degrade septic system functioning?

X

There is no indication that existing septic systems in the vicinity would be affected by

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
-----------------------------------------------------------	-----------------------------------------------------------------	---------------------------------------------	-------------------

the project.

7. Alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner which could result in flooding, erosion, or siltation on or off-site?

X

The proposed project is located adjacent to Aptos Creek. A 20-foot setback would be established from the break in slope to protect it from disturbance both during and after construction. The proposed project would comply with Chapter 16.22.070 (Runoff Control) of the County Code. The following measures shall be used for runoff control, and shall be adequate to control runoff from a five-year storm:

- (a) On soils having high permeability (more than two inches/hour), all runoff in excess of predevelopment levels shall be retained on the site. This may be accomplished through the use of infiltration basins, percolation pits or trenches, or other suitable means. This requirement may be waived where the Planning Director determines that high groundwater, slope stability problems, etc., would inhibit or be aggravated by on-site retention, or where retention would provide no benefits for groundwater recharge or erosion control.
- (b) If it is determined that on-site percolation is not feasible, all runoff shall be detained or dispersed over non-erodible vegetated surfaces so that the runoff rate does not exceed the predevelopment level. On-site detention may be required by the Planning Director where excessive runoff would contribute to downstream erosion or flooding. Any policies and regulations for any drainage zones where the project is located will also apply.
- (c) Any concentrated runoff that cannot be effectively dispersed without causing erosion, shall be carried in non-erodible channels or conduits to the nearest drainage course designated for such purpose by the Planning Director or to on-site percolation devices. Where water will be discharged to natural ground or channels, appropriate energy dissipaters shall be installed to prevent erosion at the point of discharge.
- (d) Runoff from disturbed areas shall be detained or filtered by berms, vegetated filter strips, catch basins, or other means as necessary to prevent the escape of sediment from the disturbed area.
- (e) No earth or organic material shall be deposited or placed where it may be directly carried into a stream, marsh, slough, lagoon, or body of standing water.
- (f) In an effort to reduce runoff, techniques shall be required such as minimizing site disturbance, minimizing proposed impervious areas, utilizing pervious surfacing, eliminating directly connected impervious areas, and clustering development, etc.

Implementation of the above measures would reduce impacts to below a level of

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significance.

8. Create or contribute runoff which would exceed the capacity of existing or planned storm water drainage systems, or create additional source(s) of polluted runoff?

X

All runoff in excess of predevelopment levels for a five-year storm event shall be detained on the site (See issue 7 above under Hydrology, Water Supply and Water Quality).

9. Contribute to flood levels or erosion in natural watercourses by discharges of newly collected runoff?

X

All runoff in excess of predevelopment levels for a five-year storm event shall be detained on the site (See issue 7 above under Hydrology, Water Supply and Water Quality).

10. Otherwise substantially degrade water supply or quality?

X

Silt and grease traps, and a plan for maintenance will be required to minimize the effects of urban pollutants. In addition, an Erosion Control Plan and Storm Water Pollution Prevention Plan will be required during construction.

C. Biological Resources

Does the project have the potential to:

1. Have an adverse effect on any species identified as a candidate, sensitive, or special status species, in local or regional plans, policies, or regulations, or by the California Department of Fish and Game, or U.S. Fish and Wildlife Service?

X

A field survey of the project site was conducted by EcoSystems West on June 26, 2007 (see Appendix B). The landscaping around the dwellings consists of extensive varieties of horticultural plantings including Monterey pines (*Pinus radiata*), and Monterey cypress (*Cupressus macrocarpa*). The field is comprised of low growing non-native grassland with non-native herbs. The ruderal grassland/field is dominated by non-native grasses including rat-tail fescue (*Vulpia myuros*), slender wild-oat grass (*Avena barbata*), soft chess brome (*Bromus hordeaceus*), Italian rye grass (*Lolium multiflorum*), and farmer's foxtail (*Hordeum leporinum*). Non-native herb species

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include wild radish (*Raphanus sativus*), English plantain (*Plantago lanceolata*), cut-leaf geranium (*Geranium dissectum*), sticky tarplant (*Madia elegans*), white-stemmed filaree (*Erodium botrys*), hairy cat's ear (*Hypochoeris radicata*) and scattered bunches of native California poppy (*Eschsholtzia californica*). On the eastern third of the parcel the slope to Aptos Creek becomes very steep and is densely covered with coast redwood (*Sequoia sempervirens*), coast live oak (*Quercus agrifolia*), and big-leaf maple (*Acer macrophyllum*). The canopy is so dense, that the creek is not visible from the top of the slope.

No sensitive plant or animal species indigenous in the vicinity of the site were observed on the parcel during the site reconnaissance. The Elkhorn sandy loam and Lompico-Felton soils are not known indicators for the Santa Cruz tarplant (*Holocarpha macradenia*), a state endangered and federally threatened species; Monterey spineflower (*Chorizanthe pungens* var. *pungens*), a federally threatened species; robust spineflower (*Chorizanthe robusta*) a federally endangered species; and potentially Dudley's lousewort (*Pedicularis dudleyi*), a state rare and federal species of concern. If present, all three of these species would have been observable at the time of the survey. No significant special-status wildlife habitat was observed on the terrace portion of the parcel. The drainage could provide refuge for native salamanders and frogs but there are no current records for special-status amphibians within a mile of the parcel. As a result, no direct or indirect impacts to special-status species are anticipated as a result of project implementation.

2. Have an adverse effect on a sensitive biotic community (riparian corridor, wetland, native grassland, special forests, intertidal zone, etc.)?

X

Aptos Creek traverses the proposed parcel along its eastern boundary. There are no other mapped or designated sensitive biotic communities on or adjacent to the project site.

All proposed structures shall maintain at least a 20 foot setback from the top of the bank along Aptos Creek. In addition, permanent fencing will be placed at the top of bank, and temporary fencing shall be placed at the edge of the 20-foot buffer during construction.

Minor impacts to riparian areas are anticipated. The construction of a storm water drainage facility would be necessary to convey storm water from the proposed development area down to Aptos Creek. Mitigation for securing pipes to the slope above the stream channel and the installation of energy dissipaters will include avoidance of mature vegetation, and revegetation with species to include coastal redwood, coast live oak, big-leaf maple, and willow staking around the dissipaters. A revegetation plan shall be prepared for review and approval by the County Planning Department and the CDFG. All permanent impacts will be mitigated through enhancement of habitat within the riparian area at a 3:1 replacement ratio. Enhancement will consist of exotic species removal and replanting with native species.

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No permanent or temporary impacts will be allowed below the "ordinary high water mark" of Aptos Creek. A jurisdictional delineation shall be conducted to determine the location of the Ordinary High Water Mark for waters of the U.S. and to map waters of the state. A 1602 Streambed Alteration Agreement may be required from CDFG. All impacts to waters of the U.S. will be avoided.

3. Interfere with the movement of any native resident or migratory fish or wildlife species, or with established native resident or migratory wildlife corridors, or impede the use of native or migratory wildlife nursery sites?

_____ X _____

Aptos Creek functions as a wildlife corridor that provides habitat for both fish and other wildlife. The proposed project does not involve any activities that would interfere with the movements or migrations of fish or wildlife, or impede use of a known wildlife nursery site. Minor drainage improvements would occur on the bank of Aptos Creek. The construction of an energy dissipater for a storm drain outlet would be required (See C-2 above for discussion). Storm water would be detained on-site up to the five-year predevelopment level storm event. All water exceeding the five-year storm event would be released into Aptos Creek. No adverse impacts would occur from project implementation.

4. Produce nighttime lighting that will illuminate animal habitats?

_____ X _____

Aptos Creek and the associated riparian area encompasses most of the southeastern portion of the project site. This habitat area could be adversely affected by project-generated lighting. All project lighting located adjacent to the riparian buffer shall be shielded away from the buffer area. All development in the vicinity of the riparian corridor shall be consistent with Chapter 16.30 of the County Code.

5. Make a significant contribution to the reduction of the number of species of plants or animals?

_____ X _____

The project consists of the redevelopment of an existing residential project site that has been previously disturbed through constant occupation since the mid-1800s. No sensitive habitat, plants or animals would be impacted as a result of project implementation. No significant impacts are anticipated.

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6. Conflict with any local policies or ordinances protecting biological resources (such as the Significant Tree Protection Ordinance, Sensitive Habitat Ordinance, provisions of the Design Review ordinance protecting trees with trunk sizes of 6 inch diameters or greater)?

_____ X _____

As mitigated, the project will not conflict with any local policies or ordinances.

7. Conflict with the provisions of an adopted Habitat Conservation Plan, Biotic Conservation Easement, or other approved local, regional, or state habitat conservation plan?

_____ X _____

The proposed project would not conflict with any adopted Habitat Conservation Plan.

D. Energy and Natural Resources

Does the project have the potential to:

1. Affect or be affected by land designated as "Timber Resources" by the General Plan?

_____ X _____

The project site is not designated as a Timber Resource. No timber resources occur on the project site. No timber resources occur in the project vicinity. No impacts would occur.

2. Affect or be affected by lands currently utilized for agriculture, or designated in the General Plan for agricultural use?

_____ X _____

The proposed project site is not used for nor affected by agriculture.

3. Encourage activities that result in the use of large amounts of fuel, water, or energy, or use of these in a wasteful manner?

_____ X _____

The proposed project is a multi-family residential development. The project would not encourage the use of large amounts of fuel, water, or energy. The provisions of the proposed PUD encourage energy efficient design.

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4. Have a substantial effect on the potential use, extraction, or depletion of a natural resource (i.e., minerals or energy resources)? _____ X _____

The site does not contain any natural resources (i.e., minerals or energy resources).

E. Visual Resources and Aesthetics

Does the project have the potential to:

1. Have an adverse effect on a scenic resource, including visual obstruction of that resource? _____ X _____

The project would not directly impact any public scenic resources, as designated in the County's General Plan (1994), or obstruct any public views of these visual resources.

2. Substantially damage scenic resources, within a designated scenic corridor or public view shed area including, but not limited to, trees, rock outcroppings, and historic buildings? _____ X _____

The project site is not located along a County designated scenic road or within a designated scenic resource area. No impacts from project implementation are anticipated.

3. Degrade the existing visual character or quality of the site and its surroundings, including substantial change in topography or ground surface relief features, and/or development on a ridgeline? _____ X _____

The proposed project would allow approximately 2.0 acres of the 5.5-acre parcel to development a 39-unit multi-family housing project in addition to the existing historic house. The remaining 3.5 acres would remain in open space to protect riparian areas. The site is nearly surrounded by development with the exception of the riparian corridor located immediately to the east of the project site. Mature vegetation on the site, including numerous redwood trees, restricts the views. Views to the southwest towards Soquel Drive are inhibited due to the increase in elevation of approximately 20 feet from the northeastern portion of the project site to Soquel Drive. Views to the north and west are dominated by residential and commercial uses.

The primary public viewpoint of the project site is along Aptos Rancho Road, adjacent to the project site to the northwest. The project site is fully visible from the Aptos Rancho Road and from the adjacent commercial properties. However, very few

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viewers occur on Aptos Rancho Road due to the limited number of vehicle trips. Views of the project site are limited from Soquel Drive due existing development, mature vegetation and a decrease in elevation from Soquel Drive.

The proposed project development would eliminate six single-family houses, a garage and storage shed, replacing them with two and three-story multi-family residential units. The height limit allowed under the proposed PUD is 37 feet measured from pre-construction natural grade or finished grade, whichever is higher, except for the areas directly adjacent to the northern edge of the historical setting area, and the area fronting Aptos Rancho Road. Considering most of the surrounding residential developments consist of two-story structures, and the site has low visibility from the majority of viewers (on Soquel Drive), impacts to visual resources and aesthetics are not considered to be significant. In addition, Soquel Drive is not classified as a scenic road in the 1994 County of Santa Cruz General Plan.

4. Create a new source of light or glare which would adversely affect day or nighttime views in the area?

X

The project would contribute an incremental amount of night lighting to the visual environment. However, the following project conditions would reduce this potential impact to a less than significant level:

- It shall be an objective of lighting design to relate to the site and building design and reduce off-site impacts.
- All site, building, security and landscape lighting shall be directed onto the site and away from adjacent properties. Light sources shall not be visible from adjacent properties. Light sources can be shielded by landscaping, structure, fixture design or other physical means. Building and security lighting shall be integrated into the building design.
- All lighted parking and circulation areas shall utilize low-rise light standards or light fixtures attached to the building. Light standards to a maximum height of 15 feet are allowed.
- Area lighting shall be high-pressure sodium vapor, metal halide, fluorescent, or equivalent energy-efficient fixtures.

5. Destroy, cover, or modify any unique geologic or physical feature?

X

There are no unique geological or physical features on or adjacent to the site that would be destroyed, covered, or modified by the project.

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F. Cultural Resources

Does the project have the potential to:

1. Cause an adverse change in the significance of a historical resource as defined in CEQA Guidelines 15064.5?

X

The proposed project site contains a single historic, architectural resource, the Vicente Castro House. Vicente Castro built the two-story house in the middle of his former orchard property (current location) to accommodate his growing family. Evidence suggests that it was built in the mid-1870s. In 1887, Castro sold the house and orchard property to Claus Mangels, a businessman who owned a large portion of the former Aptos Rancho. It is unlikely that Mangels occupied the house for a significant period of time because he completed his own large mansion on his land to the north in 1888. The Vicente Castro House and property at 7839 Soquel Drive remained in the possession of Claus Mangels until his death in 1891. The Mangels Estate Company took three decades to settle its business, and in 1927, a Mangels heir named Fred A. Tillman received the deed to the Vicente Castro House and orchard property. Tillman lived in the house until 1941, when he sold the property to Montgomery Hawks. Hawks and his wife only owned the property for one year before they sold it to Bartley Crum in October 1942. Crum was a prominent San Francisco attorney who used the house as a summer residence. The Crums sold their Aptos property and the Vicente Castro House to Joseph Miller in August 1952. Miller operated a dental practice in Santa Cruz. He and his wife Dorothy made the former Castro House their principal residence over the next decades. The property is still under the ownership of the Miller family.

An initial survey conducted by the Dill Design Group in March of 2001, concluded that this resource appeared to be eligible for listing in the National Register of Historic Places (NRHP)/California Register of Historical Resources (CRHR), resulting in the property's inclusion in the County of Santa Cruz Historic Resources Inventory. As such, the house is considered to be a historical resource under CEQA.

Dill Design Group concluded that the Vicente Castro House was eligible for the NRHP under Criterion A for its association with the rancho period in Santa Cruz history, Criterion B for its association with Vicente Castro and Bartley Crum, and Criterion C for its "distinctive representation of Colonial Revival residential architecture in the 1860s..." The period of significance for the property is from 1833 – 1887, which coincides with granting of the Aptos Rancho by the Mexican government through the period that Vicente Castro occupied the house at 7839 Soquel Drive.

Research suggests that the present house was constructed in the mid-1870s. Therefore, the period of significance in relation to Vicente Castro is 1876 – 1887, between the construction of the house and the date when Castro sold it and moved away. This is considered to be the primary period of significance.

The Dill Design Group's evaluation of the house also concluded that the property is significant for its association with Bartley Crum, although the period of significance for this association is not explicitly stated on the evaluation. This association is secondary

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to the house's association with Vicente Castro. The secondary period of significance is 1942 – 1952, which reflects the years when Crum and his family occupied the house.

None of the other buildings on the project site meet the criteria for listing in the NRHP or CRHR, nor are they considered to be historical resources for the purposes of CEQA. As such, the demolition of the buildings on the property other than the main residence (the Vicente Castro House), would not be considered a significant impact to the environment and no mitigation would be necessary in response to the demolition of these buildings.

The preliminary proposal for development on this property includes the construction of housing units and parking areas throughout the western portion of the property. This construction has the potential to cause a substantial adverse change. JRP Historical Consultants prepared a CEQA Impacts Analysis and Proposed Mitigation Report for the Vicente Castro House and Property dated August 2008 (see Appendix F). The report assesses the proposed impacts and provides feasible mitigation measures to mitigate significant impacts to a less than significant level under CEQA. These mitigation measures are outlined as follows:

Documentation/Recordation

Documentation and recordation of the Vicente Castro House and property shall precede any construction, demolition, or removal activities. Documentation is the baseline mitigation measure. Written and photograph documentation will be prepared to record the property. The text and photographs will be used for completion of other mitigation measures identified below.

The developer shall hire a qualified historian/architectural historian (according to the Secretary of Interior's professional qualification standards) to conduct the documentation and recordation of this property.

HABS-like Dataset

The written documentation for the property will be prepared based on the National Park Services' (NPS) Historic American Building Survey (HABS) Historical Report Guidelines. The information for this documentation will be derived from the JRP Historical Report (Appendix F), as well as from Dill Design Group's recordation of the site and other sources. Additional information may come from extended research and oral histories conducted as part of mitigation for this project.

The proposed documentation will not be reviewed by NPS or transmitted to the Library of Congress and therefore, will not be a full-definition, HABS dataset. The documentation will follow HABS standards, as appropriate, and NPS policy for photographic documentation as outlined in the *National Register of Historic Places and National Historic Landmarks Survey Photo Policy Expansion* (March 2005).

The HABS-like documentation should approximate HABS Level II documentation and include: a) select existing drawings, if available, that would be photographed; b) photographs following the NPS photo policy, of exterior and interior views, along with historic views, if available; and c) written data providing history and description of the

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property.

Either HABS standard large format or digital photography may be used. If digital photography is used, the ink and paper combinations for printing photographs must be in compliance with NR-NHL photo expansion policy and have a permanency rating of approximately 115 years. Photographs will be labeled with text reading "Vicente Castro House and Property, 7839 Soquel Drive, Aptos," and photograph number on the back of the photograph in pencil (2B or softer lead) or photo archive pen. Digital photographs will be taken as uncompressed .TIF file format. The size of each image will be 1600x1200 pixels at 300 ppi (pixels per inch) or larger, color format, and printed in black and white. The file name for each electronic image will correspond with the index of photographs and photograph label.

Oral History Project

Additional information shall be collected through an oral history project. Such a project will assemble important personal histories of people who lived in the Vicente Castro House. An oral history project to record their stories will be a valuable resource and assist with future interpretative and educational exhibits. The County of Santa Cruz Historic Resources Commission and the Aptos History Museum shall be given the opportunity to comment on the research design for the oral history project. The research design will identify anticipated informants, research goals, and protocols. The oral history research shall be conducted in conformance with the Principles and Standards of the Oral History Association revised September 2000. This project will be conducted or supervised by a qualified historian or someone with experience in conducting oral history interviews. The following provides guidelines for conducting an oral history project for this property.

The oral history project shall consist of interviews conducted with persons knowledgeable about the Vicente Castro House. Patricia Bosworth (Bartley Crum's daughter) shall be interviewed for her first-hand knowledge of the property during one of the periods of significance. John Anthony Miller (Joseph Miller's son) shall be interviewed for his knowledge of the most recent changes to the property and house. This information will expand on the historical record available in the JRP Historical Report (Appendix F). In general, the goal will be to synthesize information gathered from individuals who lived in the house and to gather their personal insights and recollections of the house and the property, including gardens and outbuildings.

Planning/Preparation for Interviews:

- Review the available historical research and reports, including JRP Historical Report (Appendix F);
- Prepare questions list prior to the interviews;
- Conduct a tour of the property with the interviewees prior to demolition of buildings, if possible.
- Prepare and have signed release forms for each interviewee, giving permission for any tapes or photographs made during the project to be used

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by researchers and the public for educational purposes.

Interviews:

- The oral interviews would be no longer than 1-2 hours in length;
- Each interview (with permission of the interviewee) will be recorded with a digital voice recorder and use Digital Speech Standard (DSS) Player Software to create a topic index for the interviews linked to a time counter so that the topic index will be searchable on the CD ROM (or DVD) containing the recording of the interview. Use of this software will eliminate the need for a full written transcript of the interviews.

Post-Interviews:

- Archive quality CDs would be prepared containing a recording of the interview, topic index, biographical data sheet, and a read.me file explaining the contents of the CD and how to use the DSS Player Software.
- Short biographical data sheets will be prepared for each interviewee and put in a file on the CD along with a photograph of each interviewee.
- Interviewers will synthesize relevant information from the oral histories into a thematic narrative presenting understandings and insights. This narrative will be included on the CDs;
- Typed transcripts of interviews will not be required.
- CDs will be disseminated to appropriate repositories.

Documentation/Dissemination

The HABS-like documentation of the Vicente Castro House and property will be disseminated on archival quality paper to appropriate repositories and interested parties. Appropriate distribution of the documentation is a required mitigation for this project. The distribution of the documentation will include: the California Historical Resources Information System Northwest Information Center at Sonoma State University; the Aptos Chamber of Commerce and History Museum; the Museum of Art and History in Santa Cruz; the Santa Cruz Historical Society; the Santa Cruz Public Library's local history collection; and other local repositories that may be identified.

CDs prepared during the oral history project should be on archive quality discs, such as archival gold CD-Rs, and disseminated to the same repositories as the HABS-like documentation.

Interpretation of the Property

The loss of the historic setting for the Vicente Castro House as a result of potential development can be partially mitigated through the implementation of measures to interpret the property's historic significance for the public and for residents that will inhabit the property. Some measures to interpret the property will be required. However, there are options to the exact nature of such interpretation that would best explain the historical significance of the property, be appropriate for the housing

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development once built, and would be both practical and economically feasible. It is important that the property's historic significance be conveyed to future residents and visitors to the Castro property. The HABS-like documentation prepared for this project, as well as the oral history project, both described above, will provide information for the chosen interpretive actions and educational materials.

Interpretive and/or educational exhibits will include, but are not necessarily limited to the following items:

Permanent interpretive displays/signage/plaques:

The developer will install one or more interpretive displays on the property that will provide information to visitors and residents regarding the history of the development of Aptos and the Castro family ranchos in the region, the history of the Castro family and history of the Crum family as it relates to the Vicente Castro House and the surrounding property. These displays will be integrated into the design of the public areas of the new housing development and will be installed in highly visible public areas near the Castro House. The displays will include historical data taken from the HABS-like documentation or other cited archival source.

Interpretive displays and the signage/plaques installed on this property will be sufficiently durable to withstand typical weather conditions. Displays and signage/plaques will be installed at pedestrian-friendly locations, and be of adequate size to attract the interested pedestrian. Maintenance of displays and signage/plaques will be included in the management of the common area maintenance program on the property.

Protection and Avoidance

Supervision of Excavation in Archaeological Sensitivity Area

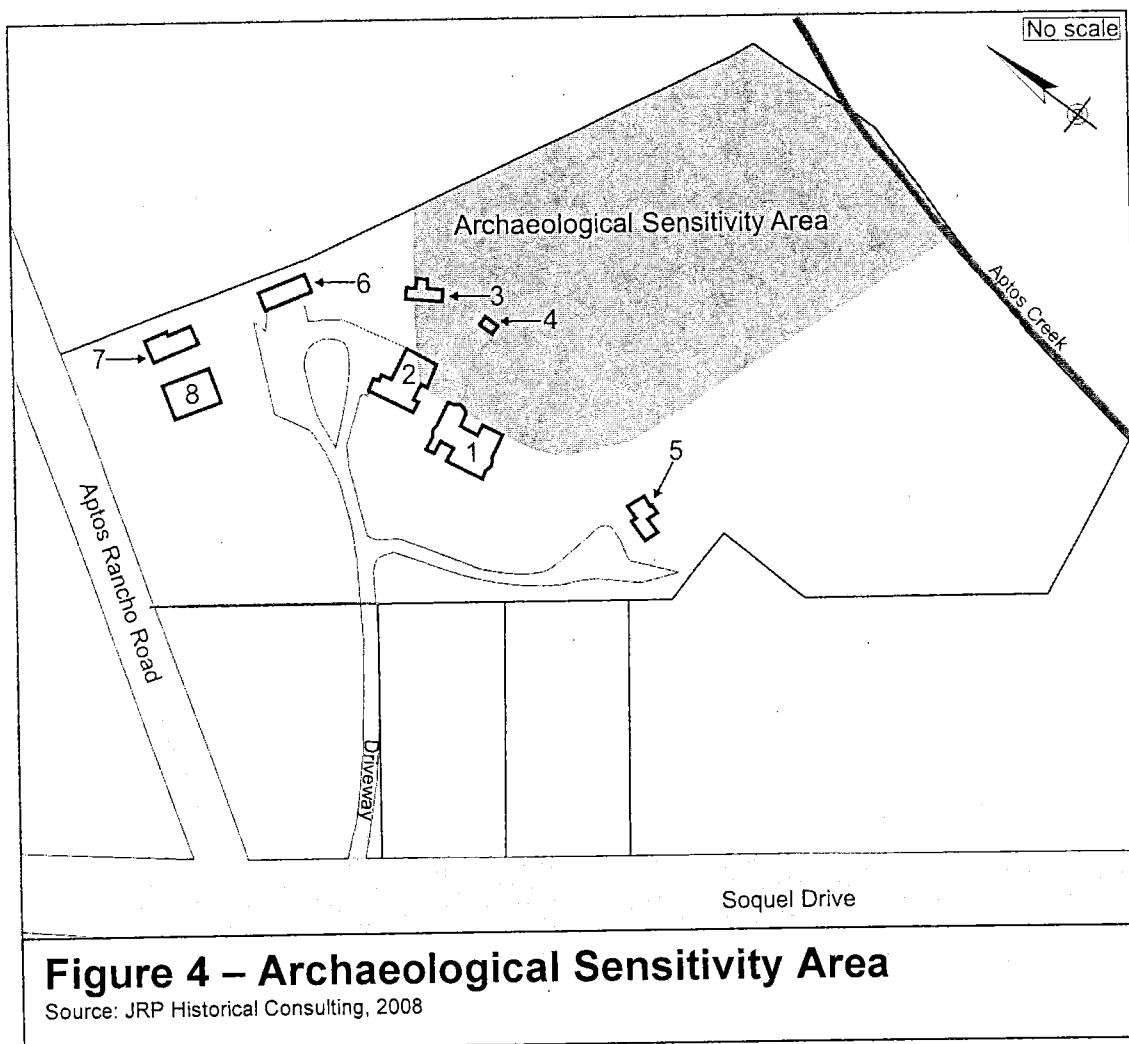
An archaeological sensitivity area has been identified behind the Vicente Castro House and over the creek hillside, as depicted in Figure 4. Any earth moving activities planned for this area will require an archaeological testing program prior to any ground disturbance. Earthmoving is defined as any grading, trenching (for water, irrigation, or sewage lines), excavation of large planting holes, or any other disturbances extending more than one foot below ground surface. Monitoring will not be necessary outside the sensitivity area, but standard practices in compliance with CEQA guidelines, Section 15064.5 (e)-(f), shall be followed to ensure the stoppage of work and appropriate actions taken if earthmoving activities reveal potential archaeological resources.

A portion of the archaeological sensitivity area is included in the mitigated setting area for the Vicente Castro House as described above and shown in Figure 5. Another portion of the sensitivity area coincides with the riparian area between the top of the hill (east of the Castro House) and Aptos Creek. According to the project description, the proposed project includes a provision to preserve the on-site riparian area as open space (see Figure 3). Therefore, only a small portion of the sensitivity area may be impacted by the proposed development.

The archaeological testing and mitigation program typically involves scraping the

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impact area with heavy equipment to expose the presence of artifact features, test excavation of any identified artifact deposits, and evaluation of the deposits to see if they are associated with the Castro occupation and qualify as important under CEQA. If they are determined significant, the entire deposit shall be excavated, analyzed, and interpreted in both scientific and public documents. Significant deposits may alternatively be treated with preservation and long-term protections. The archaeological testing and mitigation program shall be conducted and/or supervised by a qualified archaeologist (according to the Secretary of the Interior's professional qualification standards).



Preserving the Setting of the Vicente Castro House

A portion of the existing setting around the Vicente Castro House retains sufficient historic integrity and is considered to be part of the historical resource. The construction of housing units at 20 units per acre, along with parking, in close proximity to the Castro House would result in the loss of much of its setting. A measure to mitigate the impact the project would have on the historical resource is to ensure that

The proposed setting boundary would encompass an area with landscaping, but no

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new buildings or structures. This would help preserve a degree of the house's integrity of setting. The extent of the area to be preserved takes into account the house's current immediate setting, the characteristics of that setting, and the historical evidence of the setting within the property's later period of significance during the Crum period.

The alignment of the existing fence follows the driveway that has been modified since the secondary period of significance. Therefore, neither the existing fence nor its current alignment designates the historic boundary of the house's immediate setting. Although the current fence is not historic and need not be preserved, a new fence surrounding the entire historical resource shall be constructed. This new fence will define the boundary of the historical resource, serve as a visual boundary for the resource, and prevent encroachment by any development into the area surrounding the house. The new fence shall be similar to the existing fence (wood stakes or planks, approximately five feet tall) and be appropriate to the construction style of the Castro House. It would not be necessary to preserve the current alignment of the dirt driveway because its alignment has been modified over the years and is not a contributing element to the significance of the property and its setting.

The Castro House's secluded setting is produced primarily by the trees that occupy the area around the building. As mentioned above, portions of the landscaping may date to the secondary period of significance, but there is no significant designed landscape still present today. However, in order to maintain the residential and secluded setting of the house, the developer shall maintain as many of the existing trees as possible, and supplement them with new plantings, if needed, within the setting boundary to preserve the residential setting of the house and to decrease the impact of the nearby construction. Some vegetation may need to be planted following grading or other construction activities at the edges of the historic setting boundary.

JRP identified an area ranging between 25 and 40 feet from the north, west, and south sides of the house that would be adequate to preserve a sufficient setting for the Vicente Castro House. Preservation of the identified setting is intended to mitigate significant impacts that the project would have on the historical resource (see Appendix F). See Figure 5 for a proposed map showing this preservation area, which coincides with a portion of the Archaeological Sensitivity Area (Figure 4). On the east side of the house, a portion of the existing fence line along the top of the hill above Aptos Creek, within the riparian zone, serves as the eastern boundary of the preserved setting area. The area east of the fence is visually distinct from the immediate setting from the house because of the vegetation and the slope of the hill. From a point along the fence northeast of the house, the line proceeds northwest to where the garage currently stands before tracing an arc through the space around the north and west sides of the house, passing on the far side of several existing trees, including a large redwood located at the southwest corner of the house and another redwood tree located southeast of the house near the fence to the southeast of the Castro House. The varying width of the area within the setting's boundary corresponds proportionally with the house's immediate setting during the property's secondary period of significance, which included a moderately larger garden area on the south side of the house.

The current garage does not date to either period of significance and the project

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proposes to remove this building. When demolished, a portion of its site would be located within the setting boundary because its proximity to the Castro House makes it part of the setting for the resource.

Preserving a measure of the existing setting will also help prevent damage to the Castro House that might result from vibration impacts during construction. In general, studies have found that ground borne vibrations of less than 0.20 peak particle velocity (PPV) in inches per second do not damage fragile buildings. Typically, wood frame buildings are less susceptible to vibration damage than unreinforced masonry or adobe buildings. The construction of the housing on this site is not anticipated to include construction methods that would cause extreme ground borne vibrations, such as blasting or pile driving. However, such vibrations could be caused by large equipment like bulldozers. Consistent ground-borne vibrations caused by this type of activity that are at least 25 feet from historical buildings usually do not cause structural or cosmetic damage and are less than 0.20 PPV. Thus, if all construction activities that would cause potential vibration impacts are at least 25 feet from the Castro House, it is not necessary to assess whether proposed construction methods would cause vibrations to the Castro House that would exceed 0.20 PPV. If construction activities are different than currently anticipated, additional mitigation may be required to protect the house, including changes to construction methods and/or shoring of the house's structure.

Mitigation for Construction within and at the Setting Boundary of the Castro House

Project elements potentially encroaching into the historical resource's setting boundary include a driveway for the Vicente Castro House and parking for housing units located on the west side of the house. Additionally, construction adjacent to the Castro House would likely include two-story buildings in the location of the current garage and three-story buildings along the southern edge of the immediate setting. The following measures are intended to reduce the potential impact that these potential encroachments would have on the historical resource.

Driveway Location

Construction of a driveway would help ensure that the Castro House remains in use as a residential property and would help the house meet county codes for residential use. The paving that would be required for a permanent driveway on the south side of the house would further impact the setting of the historical resource reducing the landscaping adjacent to the house. Therefore, the new driveway for the Vicente Castro House shall be located on the north side of the house where the (non-contributing) brick lined walkway and patio currently sit. The developer may replace the brick pavers with an asphalt or concrete driveway. The driveway may be wider than the current pathway in this location. The driveway and parking area for the house may also cover a portion of the site where the garage currently sits.

"Green" Parking Area on South Side of Historic Setting

The developer shall minimize impacts to the landscaping within the setting area for the historical resource resulting from the potential encroachment of up to nine parking spaces to meet parking requirements. "Green" paving techniques shall be used in this

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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area, along with sufficient bushes, trees, and landscape features to minimize its appearance as a parking area. The developer shall use hollow paving units, such as Turf Grid or Turf Stone, to provide the necessary paving for the parking area and allow the planting of grass in this area. This approach will provide the additional benefits of erosion control and reduce storm water runoff. The impact of parked cars could be reduced by designating these spaces for guest parking, in which they would conceivably be used less frequently.

Fencing of Historic Setting Boundary

The Castro House's setting boundary shall be defined by fencing similar to the existing picket fence. This should be tall enough to provide some privacy to the yard, preserving a degree of its current secluded appearance. The fence should also allow the Castro House to be viewed from the rest of the property similar to the current views of the house.

Preservation Treatment of the Castro House

In compensation for impacting the historical resource, particularly for construction of project features within the historical resources setting boundary (e.g., parking, driveway for Castro House), mitigation for this project shall include preservation work on the Castro house itself. This work would help ensure that the project would not lead to neglect of the historical resource and it would increase the potential for preserving the house. The house would very likely need to be remodeled for use by a subsequent owner, who would also need to comply with the county historic preservation ordinance for any changes he or she may wish to perform to character-defining features of the historical resource. Also, CEQA guidelines state that a project, which follows the Secretary of Interior's Standards for the Treatment of Historic Properties is a project that is mitigated to a level that is less than significant. The mitigation proposed under this section would help ensure that this project and its permanent impacts would meet the CEQA guidelines standards. Preservation work performed on the Castro House would also enhance its stature as a centerpiece to the proposed development.

The appropriate treatment as mitigation for this project shall be Preservation. The National Park Services defines "preservation" as "the act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction."

Historic Resources Preservation Plan. A Historic Resource Preservation Plan shall be prepared and submitted to the Historic Resources Commission for approval, and shall conform to the criteria set forth in Section 16.42.070 of the Santa Cruz County Code. This criterion, which is as follows, is based on the Secretary of Interior's Standards for Rehabilitation. The mitigation listed below will help provide historical data and guidance to help ensure that the subsequent owner of the Castro House can meet these requirements:

1. Every reasonable effort shall be made to provide a compatible use for a property,

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which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.

2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier or later appearance shall be discouraged.
4. Changes that may have taken place over the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure, or site shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features shall be based on accurate duplications of features substantiated by historic, physical or pictorial evidence, rather than on conjectural design or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials should not be utilized.
8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.
9. Alterations and additions to existing properties shall not destroy significant historical, architectural or cultural elements or materials, and shall be compatible with the size, scale, color, materials, and character of the property, neighborhood or environment.
10. Whenever possible, new additions or alterations to structures shall be done in a manner so that the essential form and integrity of the structure would be unimpaired.

Historic Structures Report. A Historic Structures Report (HSR), following the guidance from the National Park Service (NPS), shall be prepared. Historical data and standards for the HSR shall be provided, along with steps to ensure that important architectural characteristics of the house are retained. The HSR would provide guidance for the treatment of this property. As noted in NPS Preservation Brief 43 an HSR would be:

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- A primary planning document for decision-making about preservation, rehabilitation, restoration, or reconstruction treatments
- Documentation to help establish significant dates or periods of construction
- A guide for budget and schedule planning for work on the historic structure
- A basis for design of recommended work
- A compilation of key information on the history, significance, and existing condition of the historic structure
- A summary of information known and conditions observed at the time of the survey
- A readily accessible reference document for owners, managers, staff, committees, and professionals working on or using the historic structure
- A tool for use in interpretation of the structure based on historical and physical evidence
- A bibliography of archival documentation relevant to the structure
- A resource for further research and investigation
- A record of completed work

HSRs can include a variety of information. The HSR for the Vicente Castro House shall be focused on identifying the elements of the house that are historically important, the preservation condition of the house's important architectural elements, and provide recommendations that could be employed to rehabilitate the house in the future. The HSR should include a conditions assessment, noting the current conditions of the building, including existing deterioration and structural issues, along with distress to the frame of the house, wood rot, warping, and plaster damage, for example. The HSR would also provide recommendations for interim protections and a plan for long-term maintenance, including recommendations for structural stabilization, protection against damages to important architectural and structural elements, weatherproofing the building (moisture, wind, heat), and protection from vandalism. The developer should hire a qualified historic preservation firm to prepare the HSR.

As part of this effort, the developer will be required to conduct preservation work based on recommendations from the HSR. The level of effort required will be determined by the Planning Department, based on the conclusions and results of the HSR. The goal of this mitigation is to preserve the house's character defining features, to prevent further deterioration while the house was uninhabited, and to prevent damage occurring either by or during construction of the housing project prior to the sale of the house.

The developer shall also salvage possible historic windows from the garage and other units that will be demolished. These windows could be reused on the Castro House during subsequent rehabilitation of the property. Such reuse, however, will need to be based on appropriate documentation or otherwise be installed in compliance with the

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Secretary of Interior's Standards for Rehabilitation.

Building Treatments immediately adjacent to the Setting Boundary

The impact of constructing new housing units adjacent to the Castro House will be reduced by requiring specific architectural treatment of the units, particularly those situated at or near where the garage currently sits. Such treatments will help avoid the imposition of buildings looming over the historic house.

The use of gable roofs with a similar pitch as found on the Castro House to reduce the overall volume of the units shall be incorporated into the project design. The design shall also incorporate materials and architecture features that are similar to the Castro House, without creating a false sense that they are themselves historic. The use of gable roofs decreases the need to require upper story setbacks. In particular, the exterior cladding of the units shall be horizontal wood siding. Highly contemporary style or Neo-Spanish style architecture commonly used in townhouse / condominium projects, including stucco exterior walls, is not appropriate for the design of units on this property.

Efforts to further reduce the impact of the project on the Castro House would include decreasing the size of the units or their proximity of the house. While the townhouses have to meet the county's requirements for the PUD and be commercially viable rental spaces, it may be possible to reduce their visual impact by lowering the height of the eaves and using a steeper pitched roof, for example. The developer shall provide adequate space between the Castro House's setting boundary and the townhouse units to allow for a fence to be built at the historic setting boundary (as discussed above).

Conclusion

The project's impacts to the Vicente Castro House can be mitigated to a level that is less than significant through implementation of the required mitigation outlined above. This would allow the property to continue being eligible for the NRHP/CRHR and County Historic Resources Inventory. The mitigation would prevent demolition of this historical resource, would retain a degree of its setting, and help ensure its continued preservation.

2. Cause an adverse change in the significance of an archaeological resource pursuant to CEQA Guidelines 15064.5?

X

The record search of the files at the Northwest Regional Information Center found that there are fifteen recorded cultural resources, including several prehistoric archaeological sites, located within 0.62 mile of the project area. The nearest prehistoric site, CA-SCR-233, was originally recorded immediately adjacent to the project area on the north. In addition, P-44-0457 is the historic resource designation for the Vicente Castro House (see Appendix C).

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The project area lies within the currently recognized ethnographic territory of the Costanoan (often called Ohlone) linguistic group. In brief, the group followed a general hunting and gathering subsistence pattern with partial dependence on the natural acorn crop. Habitation is considered to have been semi-sedentary and occupation sites can be expected most often at the confluence of streams, other areas of similar topography along streams, or in the vicinity of springs. These original sources of water may no longer be present or adequate. Also, resource gathering and processing areas and associated temporary campsites are frequently found on the coast and in other locations containing resources utilized by the group. Factors that influence the location of these sites include the presence of suitable exposures of rock for bedrock mortars or other milling activities, ecotones, the presence of specific resources (oak groves, marshes, quarries, game trails, trade routes, etc.), proximity to water, and the availability of shelter. Temporary camps or other activity areas can also be found along ridges or other travel corridors.

A field reconnaissance was conducted by Archaeological Consulting on July 28, 2005 and updated on January 16, 2008. The initial 2005 survey consisted of a "general surface reconnaissance" of all areas that could reasonably be expected to contain visible cultural resources, and which could be viewed without major vegetation removal or excavation. The subsurface reconnaissance was conducted by Archaeological Consulting, on January 16, 2008.

The visible native soil on the parcel is medium gray silty clay. Fill has covered the native soil in large parts of the western side of the parcel. Two primary flakes of chert were found in the central part of the parcel. Several fragments of clam and abalone shell were observed across the project area, more frequently on the eastern side of the bench overlooking Aptos Creek. None of the other materials (such as dark midden soil, fire altered rock, bones or bone fragments, ground stone, formal artifacts, etc.) frequently associated with prehistoric cultural resources in the area were seen during the survey.

Based upon the field reconnaissance and the background research conducted by Archaeological Consulting in 2005, it was concluded that there is surface evidence (although sparse) of potentially significant prehistoric and historic archaeological resources on the project parcel. Therefore, supplementary field reconnaissance was conducted by Archaeological Consulting and documented in a January 21, 2008 report.

The supplementary field reconnaissance consisted of fourteen auger bores that revealed no subsurface evidence of prehistoric materials. Surface fill of at least 12 inches was found in the central part of the parcel where two chert flakes were previously found. Except for just behind two of the existing housing units, fill was found throughout the project area west of the driveway. The native soil below the fill produced no evidence of cultural materials or of previous disturbance. Glass sherds and nails were found below 12 to 16 inches in front of two of the housing units.

In the auger bores nearest to the north and east sides of the Castro House, historic to modern materials were produced. A glass sherd and a brick chip were found between

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12 to 20 inches below the surface northwest of the Castro House. Glass sherds, nails, charcoal, and a sherd of polychrome hand-painted earthenware were found east of the circular driveway and north of the walkway to the small log cabin. The two auger bores to the south of the Castro House produced no cultural materials or evidence of previous disturbance of the soil.

Based upon the supplemental subsurface field reconnaissance and previous research, it has been concluded that, in the current project area, there is no subsurface evidence of potentially significant prehistoric archaeological resources associated with site CA-SCR-233.

However, pursuant to Section 16.40.040 of the Santa Cruz County Code, if archeological resources are uncovered during construction, the responsible persons shall immediately cease and desist from all further site excavation and comply with the notification procedures given in County Code Chapter 16.40.040.

There remains some potential for discovery of historic features, such as privy or trash pits, associated with the historic Vicente Castro House. This type of feature could provide materials of historic significance and interest. However, location of such generally small features prior to construction grading would not be feasible. The most likely area for this type of discovery would be east and northeast of the Castro House along the bank overlooking Aptos Creek. Because of this, the following measures will be required:

A qualified archaeological monitor shall be present during initial grading in the areas deemed most likely to produce evidence of historic features. If potentially historic features or materials are discovered, the monitor shall be authorized to temporarily halt construction to assess the find and to make a determination of its significance. If the find is determined to be significant, appropriate mitigation measures shall be formulated, with the concurrence of the County Planning Department, and implemented. Based on findings during the initial grading, the monitor shall have the authority to determine the location(s) and extent of further monitoring and the point at which monitoring will no longer be necessary.

Senate Bill 18 Compliance

Senate Bill 18 requires cities and counties to notify and consult with California Native American Tribes about proposed local land use planning decisions for the purpose of protecting traditional Tribal Cultural Places. Cities and counties are required to send their general plan proposals to those California Native American Tribes that are on the Native American Heritage Commission's (NAHC) contact list and have traditional lands located within the city or county's jurisdiction. Cities and counties must also conduct consultations with these tribes prior to adopting or amending their general plans.

Due to the proposed General Plan amendment, the County notified and consulted with four Native American tribal contacts identified by the NAHC. These contacts included: Valentin Lopez, Amah Mutsun Tribal Band; Patrick Orozco, Costanoan Ohlone Rumsen-Mutsun Tribe; Irene Zwierlein, Amah/Mutsun Tribal Band; and Ann Marie Sayers, Indian Canyon Mutsun Band of Costanoan. No comments were received

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during the comment period.

3. Disturb any human remains, including those interred outside of formal cemeteries? _____ X _____

A records search of the Northwest Regional Information Center found that there are fifteen recorded cultural resources, including several prehistoric archaeological sites, located within 0.62 mile of the project area. However, the nearest prehistoric site, CA-SCR-233, was originally recorded immediately adjacent to the project area on the north. According to the site assessment prepared by Archaeological Consulting dated January 21, 2008 (see Appendix C), there is no subsurface evidence of potentially significant prehistoric archaeological resources associated with site CA-SCR-233.

Because of the possibility of unidentified (e.g., buried) cultural resources being found during construction, the following mitigation measure will be implemented:

- Pursuant to Section 16.40.040 of the Santa Cruz County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this project, human remains are discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner and the Planning Director. If the Coroner determines that the remains are not of recent origin, a full archeological report shall be prepared and representatives of the local Native California Indian group shall be contacted. Disturbance shall not resume until the significance of the archeological resource is determined and appropriate mitigations to preserve the resource on the site are established.

4. Directly or indirectly destroy a unique paleontological resource or site? _____ X _____

A database search of the University of California Museum of Paleontology Specimen Search was conducted on December 4, 2007. No paleontological resources are known to occur within the project area. No impacts to paleontological resources are anticipated (<http://berkeleymapper.berkeley.edu>).

G. Hazards and Hazardous Materials

Does the project have the potential to:

1. Create a significant hazard to the public or the environment as a result of the routine transport, storage, use, or disposal of hazardous materials, not including gasoline or other motor fuels? _____ X _____

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The project proposes a General Plan amendment and zone change to allow development of multi-family residential housing units. The transport, storage, use and disposal of hazardous materials are not being proposed by this project. Therefore, no significant hazard to the public would occur as a result of the proposed project.

2. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

X

The project site is not included on the April 16, 2007 list of hazardous sites in Santa Cruz County compiled pursuant to the specified code. However, one site (Chevron Station #9) is located approximately 300 feet to the northwest of the project area at 7719 Soquel Drive. The substance reported at the site is gasoline, likely from a leaking underground storage tank. A second site (Certified Carpet Cleaning) is located approximately 750 feet to the southeast of the project area at 7960 Soquel Drive #D2. Chemicals are listed as the hazardous substance. Neither of the two sites are shown as closed. No impacts to the proposed project area are anticipated from either of these hazardous sites.

3. Create a safety hazard for people residing or working in the project area as a result of dangers from aircraft using a public or private airport located within two miles of the project site?

X

The project site is located approximately eight miles northwest of the Watsonville Municipal Airport; therefore, no safety hazard for people residing or working in the project area would result. According to the Draft EIR prepared for the Watsonville Municipal Airport Master Plan 2001-2020, airport operations outlined under the master plan would be consistent with the County of Santa Cruz General Plan. As a result, no adverse impacts are anticipated.

4. Expose people to electro-magnetic fields associated with electrical transmission lines?

X

No electrical transmission lines are located within or adjacent to the project area. Therefore, no adverse impacts are anticipated.

5. Create a potential fire hazard?

X

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The project design incorporates all applicable fire safety code requirements and would include fire protection devices as required by the local fire agency.

6. Release bio-engineered organisms or chemicals into the air outside of project buildings?

X

The proposed multi-family residential development would not release bio-engineered organisms or chemicals into the air outside of project buildings.

H. Transportation/Traffic

Does the project have the potential to:

1. Cause an increase in traffic that is substantial in relation to the existing traffic load and capacity of the street system (i.e., substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?

X

The following discussion is a summary of the Transportation Impact Analysis prepared by Fehr & Peers Transportation Consultants dated December 20, 2007. As shown in Table 3, both intersections currently operate at acceptable levels. The Soquel Drive/State Park Drive/Sunset Way intersection currently operates acceptably (LOS C or better) during both the AM and PM peak hours. The Soquel Drive/Aptos Rancho Road/Rancho del Mar intersection operates at an acceptable LOS B during both the AM and PM peak hours.

Background conditions include existing traffic volumes plus traffic generated from approved but not yet constructed or occupied projects and serve as the basis for identifying project impacts. Levels of service calculations were conducted for the key intersections to evaluate their operations under Background Conditions. As indicated in Table 3, the study intersections are projected to continue operating at acceptable levels (LOS C or better).

The proposed project is expected to generate 330 daily trips, 19 AM peak-hour trips (4 inbound and 15 outbound), and 34 PM peak-hour trips (22 inbound and 12 outbound).

With the addition of project-generated traffic to background conditions, both intersections shown in Table 3 above are projected to operate at acceptable levels (LOS C or better). As indicated in Table 3, the proposed project would cause a small increase in delay and all study intersections are projected to operate at acceptable levels (LOS C or better) with the addition of project traffic.

According to the County of Santa Cruz General Plan, significant impacts at signalized intersections are defined to occur when:

Significant
Or
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Significant
Impact

Less than
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Less than
Significant
Or
No Impact

Not
Applicable

1. The addition of project traffic causes intersection operations to degrade from LOS D or better to LOS E or F, or
2. Project traffic is added to an intersection operating at LOS E or F, resulting in a one-percent increase in the volume-to-capacity ratio of the sum of all critical movements.

Table 3 Intersection Levels of Service					
Scenario	Peak Hour	Soquel Drive/State Park Drive/Sunset Way		Soquel Drive/Aptos Rancho Road/Rancho del Mar	
		Average Delay ¹	LOS ²	Average Delay ¹	LOS ²
Existing	AM	32.8	C	18.8	B
	PM	30.0	C	16.1	B
Background ³	AM	33.4	C	21.3	C
	PM	32.0	C	18.9	B
Project	AM	33.7	C	22.1	C
	PM	32.2	C	19.3	B
Future (Year 2025)	AM	42.0	D	23.4	C
	PM	53.0	D	29.5	C
Future (Year 2025) Plus Project	AM	42.3	D	22.6	C
	PM	53.4	D	31.9	C
Notes: 1. Whole intersections weighted average control delay expressed in seconds per vehicle calculated using methods described in the <i>2000 Highway Capacity Manual</i> . 2. LOS = Level of service. LOS calculations conducted using the Synchro level of service analysis software package. Source: Fehr & Peers Transportation Consultants, 2007.					

Significant impacts at unsignalized intersections are defined to occur when:

1. The addition of project traffic causes intersection operations to degrade from LOS D or better to LOS E or F, and the peak-hour signal warrant from the Manual on Uniform Traffic Control Devices (MUTCD) is satisfied, or
2. Project traffic is added to an intersection operating at LOS E or F, and the peak-hour signal warrant from the MUTCD is satisfied.

Based on the criteria listed above, the proposed project would have a less-than-significant impact at study area intersections. Therefore, no roadway mitigation measures are required.

2. Cause an increase in parking demand which cannot be accommodated by existing parking facilities?

X

The parking provided would be consistent with the requirements outlined in the PUD (see Appendix A). The development would provide 1.5 spaces per studio and one bedroom unit, 2.0 parking spaces for a two-bedroom unit, 2.5 spaces for a three-

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bedroom unit, and 3.0 spaces for a four-bedroom unit. In addition, a minimum of 20 percent of the total residential parking spaces would be provided for on-site guest parking in addition to the on-site residential parking requirement. However, a reduction in the required on-site parking standard may be considered by the County with review and approval by the Board of Supervisors as part of the Level VII Design Review Permit. Any requests would be required to include an on-site parking management plan prepared by a traffic engineer. Due to the location of the project site along a major traffic corridor and transit route, adjacent to a shopping center including a grocery store, and within a mile of the proposed Aptos Village, and also due to the size and constraints on the site, a parking reduction of up to 10 spaces could be accommodated. Thus, the project meets the code requirements for the required number of parking spaces; and therefore, new parking demand would be accommodated on-site.

3. Increase hazards to motorists,
bicyclists, or pedestrians?

X

The proposed project would comply with current road requirements to prevent potential hazards to motorists, bicyclists, and/or pedestrians. The applicant would be required to submit and secure approval of engineered improvement plans from the Department of Public Works and the Planning Department for all roads, curbs and gutters, storm drains, erosion control, and other improvements specified.

Sidewalks are located on both sides of Soquel Drive and State Park Drive in the project vicinity. Sidewalks are located on the east side of Aptos Rancho Road and Rancho del Mar. Sunset Way does not have sidewalks. Bicycle lanes are located on Soquel Drive and State Park Drive.

Significant impacts to pedestrian and bicycle facilities are defined to occur when the project conflicts with existing or planned pedestrian or bicycle facilities, or it creates pedestrian and bicycle demand without providing adequate facilities.

Significant impacts to transit facilities are defined to occur when the project conflicts with existing or planned transit facilities, or it generates potential transit trips without providing adequate facilities for pedestrians and bicyclists to access transit routes and stops.

The project would generate new pedestrian trips, and the sidewalks along the project frontage and near the project site can accommodate this demand. All bicycle improvements identified in the General Plan have been made. Based on existing transit usage patterns in Santa Cruz County, the project is expected to generate fewer than five transit trips during the peak hour. These trips can be spread between several different buses during the peak hour, resulting in a minimal increase in transit demand. The existing pedestrian, bicycle, and transit facilities can accommodate the project-generated demand. The impacts to these facilities are less than significant and no mitigation measures are required.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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4. Exceed, either individually (the project alone) or cumulatively (the project combined with other development), a level of service standard established by the county congestion management agency for designated intersections, roads or highways?

X

The following discussion is a summary of the Transportation Impact Analysis prepared by Fehr & Peers Transportation Consultants dated December 20, 2007 (Appendix E).

Santa Cruz County has established a minimum acceptable operating level of LOS C for signalized intersections. LOS D operations are considered acceptable at intersections where further improvements are considered infeasible. According to the Santa Cruz County General Plan, significant impacts at signalized intersections are defined to occur when: (1) The addition of project traffic causes intersection operations to degrade from LOS D or better to LOS E or F, or (2) Project traffic is added to an intersection operating at LOS E or F, resulting in a one-percent increase in the volume to capacity ratio of the sum of all critical movements.

Table 3 presents the level of service results under Future No Project Conditions (Year 2025) and Future Plus Project Conditions (Year 2025). The Soquel Drive/State Park Drive/Sunset Way intersection is projected to operate at LOS D during both the AM and PM peak hours under both Future No Project and Future Plus Project (Year 2025) scenarios. According to the impact criteria presented above, the project's impact to this location is less than significant.

I. Noise

Does the project have the potential to:

1. Generate a permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

X

The project would create an incremental increase in the existing noise environment. However, this increase would be small, and would be similar in character to noise generated by the surrounding existing residential land uses.

2. Expose people to noise levels in excess of standards established in the General Plan, or applicable standards of other agencies?

X

County General Plan Policy 6.9.1 requires all new development to conform with the Land Use Compatibility Guidelines. All new residential and noise sensitive land developments should conform to a noise exposure standard of 60 dB L_{dn} (day/night

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average noise level) for outdoor noise and 45 dB L_{dn} for indoor noise. New development of land, which cannot be made to conform to this standard, shall not be permitted (County of Santa Cruz 1994).

The dominant source of vehicular noise in the area is the traffic on Soquel Drive, which is approximately 200 feet southwest of the project site. Noise levels at the project site generated from traffic on Soquel Drive are reduced because of the noise-shielding effects of roadside and residential structures, the distance from the source, elevated topography and natural noise barriers (e.g., vegetation and trees). Noise levels at the project site are estimated to be 45 to 55 dB L_{dn} .

For residential structures, normally acceptable interior noise levels are 45 dB L_{dn} or less. Under the assumption that a typical residential structure reduces the exterior noise level by approximately 12–18 dBA, residential structures constructed in areas with 60 dB L_{dn} or less would typically meet the acceptable interior noise level. No significant adverse impact from vehicular generated noise is anticipated.

3. Generate a temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?

X

Noise generated during construction would temporarily increase the ambient noise levels for adjoining areas. In order to minimize impacts associated with short-term construction noise, the County Planning Department shall ensure that the following noise control measures are incorporated into the final construction design plans for the proposed project:

- (a) Construction that involves motorized equipment shall be limited to Monday through Friday from 7:30 AM to 4:30 PM to avoid the times of day and the days of the week when noise effects would cause the greatest annoyance to residents.
- (b) Exceptions to the specified construction hours will be allowed only for construction emergencies and approved by County Planning; and
- (c) Signs will be posted that are clearly visible to users on Soquel Drive and Aptos Rancho Road that provide the phone number for the public to call to register complaints about construction-related noise problems. A single "disturbance coordinator" shall be assigned to log in and respond to all calls. All verified problems shall be resolved within 24 hours of registering the complaint.

Implementing these mitigation measures will reduce potential significant construction-related noise impacts to a less than significant level.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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J. Air Quality

Does the project have the potential to:
(Where available, the significance criteria
established by the MBUAPCD may be relied
upon to make the following determinations).

1. Violate any air quality standard or
contribute substantially to an existing
or projected air quality violation? _____ X _____

The North Central Coast Air Basin does not meet state standards for ozone and particulate matter (PM₁₀). Therefore, the regional pollutants of concern that would be emitted by the project are ozone precursors (Volatile Organic Compounds [VOCs], nitrogen oxides [NOx]), and dust.

The proposed project is expected to generate 330 daily trips, 19 AM peak-hour trips (4 inbound and 15 outbound), and 34 PM peak-hour trips (22 inbound and 12 outbound). The carbon monoxide (CO) thresholds outlined in Section 5.4 of the Monterey Bay Unified Air Pollution Control District (MBUAPCD) CEQA Guidelines would not be exceeded by the proposed project (MBUAPCD 2004). The proposed project would not significantly affect levels of service at intersections or road segments that would cause or substantially contribute to violation of state or national Ambient Air Quality Standards (AAQS) for carbon monoxide.

Construction activities (e.g., excavation, grading, on-site vehicles) that directly generate 82 pounds per day or more of PM₁₀ would result in a significant impact on local air quality if located nearby and upwind of sensitive receptors. Although project construction may result in a short-term, localized decrease in air quality due to generation of dust, the implementation of standard best management practices would reduce PM₁₀ levels well below 82 pounds per day. The following mitigation measures will reduce construction-related emissions to a less than significant level.

- All active construction areas shall be watered at least twice daily. Frequency will be based on the type of operation, soil, and wind exposure.
- All grading activities will be prohibited during periods of high wind (over 15 mph).
- Chemical soil stabilizers shall be applied to inactive construction areas (disturbed lands within construction projects that are unused for at least four consecutive days).
- Non-toxic binders (e.g., latex acrylic copolymer) shall be applied to exposed areas after cut and fill operations and to hydroseed areas.
- Haul trucks shall maintain at least 2'0" of freeboard.
- All trucks hauling dirt, sand, or loose materials shall be covered.
- Vegetative ground cover shall be installed in disturbed areas as soon as

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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possible.

- Inactive storage piles shall be covered.
- Wheel washers shall be installed at the entrance to construction-sites for all exiting trucks.
- Streets shall be swept if visible soil material is carried out from the construction-site.
- A publicly visible sign shall be posted that specifies the telephone number and person to contact regarding dust complaints. This person shall respond to complaints and take corrective action within 48 hours. The phone number of the Monterey Bay Unified Air Pollution Control District shall be visible to ensure compliance with Rule 402 (Nuisance).
- Limit the area under construction at any one time (MBUAPCD 2008).

The construction project would use typical construction equipment such as dump trucks, scrapers, bulldozers, compactors and front-end loaders, which temporarily emit precursors of ozone [i.e., volatile organic compounds (VOC) or oxides of nitrogen (NOx)]. However, they are accommodated in the emission inventories of state- and federally-required air plans and would not have a significant impact on the attainment and maintenance of ozone AAQS.

2. Conflict with or obstruct implementation of an adopted air quality plan? _____ X _____

The project will not conflict with or obstruct implementation of the regional air quality plan. See J-1, Air Quality above.

3. Expose sensitive receptors to substantial pollutant concentrations? _____ X _____

There would be a short-term air quality impact from emissions generated during site preparation (including soil stabilization efforts) and building construction. Dust from grading and emissions from heavy equipment would incrementally increase emissions over the short-term. There would be a long-term incremental decrease in air quality resulting from vehicle emissions generated by the proposed project. However, this impact is not considered to be significant (See J-1 Air Quality Mitigation).

4. Create objectionable odors affecting a substantial number of people? _____ X _____

The project is not expected to create objectionable odors. No impacts are anticipated.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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K. Public Services and Utilities

Does the project have the potential to:

1. Result in the need for new or physically altered public facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times, or other performance objectives for any of the public services:

a. Fire protection? _____ X _____

The project site is located within the Aptos/La Selva Fire Protection District located at 6934 Soquel Drive, Aptos, California. The station is located approximately one mile northwest of the project site. There would be an incremental increase in demand for fire protection services with project implementation, but not sufficient to warrant additional personnel or equipment.

b. Police protection? _____ X _____

The project site is within the jurisdiction of the County of Santa Cruz Sheriff's Department located at 701 Ocean Street in Santa Cruz. The Sheriff's Department is located approximately 18 miles north of the proposed project site. However, the Aptos Sheriff's Service Center is located at 19D Rancho Del Mar Shopping Center in Aptos located immediately across Soquel Drive from the project site. The Aptos Service Center is staffed with a sergeant and a team of volunteers.

Response time depends on the character of the call, the availability of an officer, and the office's proximity to the site. Emergency response time to the project site is estimated at three minutes (for burglaries in progress or domestic violence) to two hours (for investigations of a non-emergency nature). The department also maintains a service agreement with the California Highway Patrol. No impacts are anticipated.

c. Schools? _____ X _____

The proposed project site is located within the Pajaro Valley Unified School District (PVUSD). While the project represents an incremental contribution to the need for services, the increase would be minimal. School, park, and transportation fees to be paid by the applicant would be used to offset the incremental increase in demand for school and recreational facilities and public roads.

d. Parks or other recreational activities? _____ X _____

The proposed project site is located within the jurisdiction of the County of Santa Cruz

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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Department of Parks, Open Space and Cultural Services. While the project represents an incremental contribution to the need for services, the increase would be minimal. School, park, and transportation fees to be paid by the applicant would be used to offset the incremental increase in demand for school and recreational facilities and public roads.

- e. Other public facilities; including the maintenance of roads? _____

X

While the project represents an incremental contribution to the need for services, the increase would be minimal. Moreover, the project meets all of the standards and requirements identified by the local fire agency as applicable, and school, park, and transportation fees to be paid by the applicant would be used to offset the incremental increase in demand for school and recreational facilities and public roads.

2. Result in the need for construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? _____

X

The final map for the project shall include an appropriate engineering solution to provide drainage infrastructure to accommodate the 5-year storm water runoff flow as required by the Santa Cruz County design standards for drainage structures. The final drainage plan and culvert design is subject to the review and approval of the County of Santa Cruz Department of Public Works.

Minor impacts to the riparian area of Aptos Creek are anticipated. However, no permanent or temporary impacts will be allowed below the "ordinary high water mark" of Aptos Creek within the U.S. Army Corps of Engineers' jurisdiction. Mitigation for temporary impacts to riparian habitat will include replanting of habitat (e.g., coast redwood, coast live oak, big-leaf maple, willow, etc.) in disturbed areas following construction (also see Section C.2 of this report). All permanent impacts will be mitigated through enhancement of habitat within the riparian area at a 3:1 ratio. Enhancement will consist of exotic species removal and replanting with native species. A Section 1602 Streambed Alteration Agreement from CDFG may be required for minor impacts to riparian vegetation. The need for a Section 404 Permit from the U.S. Army Corps of Engineers is not anticipated. Encroachment into Waters of the U.S. will be avoided.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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3. Result in the need for construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?

_____ X _____

The project would connect to an existing municipal water supply. Soquel Creek Water District has determined that adequate supplies are available to serve the project. Municipal sewer service is available from the Santa Cruz County Sanitation District to serve the project.

4. Cause a violation of wastewater treatment standards of the Regional Water Quality Control Board?

_____ X _____

The project's wastewater flows would not violate any wastewater treatment standards.

5. Create a situation in which water supplies are inadequate to serve the project or provide fire protection?

_____ X _____

The water mains serving the project site provide adequate flows and pressure for fire suppression. Additionally, the Aptos/La Selva Fire Protection District has reviewed and approved the project plans, assuring conformity with fire protection standards that include minimum requirements for water supply for fire protection.

6. Result in inadequate access for fire protection?

_____ X _____

The project's road access meets County standards and has been approved by the Aptos/La Selva Fire Protection District.

7. Make a significant contribution to a cumulative reduction of landfill capacity or ability to properly dispose of refuse?

_____ X _____

The project would make an incremental contribution to the reduced capacity of regional landfills. However, this contribution would be relatively small and would be of similar magnitude to that created by existing land uses around the project.

8. Result in a breach of federal, state, and local statutes and regulations related to solid waste management?

_____ X _____

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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The proposed project would not breach federal, state or local statutes and regulations related to solid waste management.

L. Land Use, Population, and Housing

Does the project have the potential to:

1. Conflict with any policy of the County adopted for the purpose of avoiding or mitigating an environmental effect? _____ X _____

The proposed project does not conflict with any policies adopted for the purpose of avoiding or mitigating an environmental effect.

2. Conflict with any County Code regulation adopted for the purpose of avoiding or mitigating an environmental effect? _____ X _____

Riparian Exception

A Riparian Exception would be granted by the PUD for a reduction in the riparian buffer and installation and maintenance of drainage outlets and energy dissipaters.

Under Chapter 16.30.060 (d) of the County Code, specific findings must be made in order to allow a Riparian Exception. These findings in relation to the installation and maintenance of drainage outlets and energy dissipaters and the establishment of a 20-foot riparian buffer rather than a 50-foot buffer as specified in Chapter 16.32 of the County Code are presented below:

1. That there are special circumstances or conditions affecting the property:
The site currently drains to Aptos Creek and drainage would be kept to predevelopment levels up to the 5-year storm event level. For events greater than the 5-year model storm, drainage outlets and energy dissipaters would need to be installed within the riparian corridor in order to ensure that the storm water takes a safe path in leaving the site. Installation of these improvements would not interfere with wildlife movement or impact water quality.
Development on much of the project site is highly constrained due to the extensive riparian corridor encompassing approximately 64 percent of the parcel (3.5 acres). The Aptos Creek arroyo adjacent to the proposed development is approximately 740 feet across and 90 feet deep. A reduced setback of 20 feet was determined to be sufficient to protect the riparian habitat because there will still be approximately 320 feet of dense riparian vegetation including Redwood trees, Douglas Fir trees, and native undergrowth between the buffer and Aptos Creek.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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2. That the exception is necessary for the proper design and function of some permitted or existing activity on the property:

The amount of impervious surface on the project site following development will require the installation of a detention basin on site, with off-site discharges during larger storm events. Development of the project site would not be possible without the construction of this improvement. The site currently drains to Aptos Creek. Drainage would be kept to predevelopment levels. Installation of these improvements would not interfere with wildlife movement or impact water quality.

3. That the granting of the exception will not be detrimental to the public welfare or injurious to other property downstream or in the area in which the project is located:

The exception would allow for the installation of the drainage outlets and energy dissipaters and a reduction of the riparian setback. The construction of drainage improvements would maintain downstream flow levels at pre-development levels preventing downstream impacts. Silt and grease traps on site would filter the water before releasing it to the downstream path, eliminating concerns regarding water quality.

4. That the granting of the exception, in the Coastal Zone, will not reduce or adversely impact the riparian corridor, and there is no feasible less environmentally damaging alternative:

The proposed project is located outside of the Coastal Zone.

5. That the granting of the exception is in accordance with the purpose of this chapter, and with the objectives of the General Plan and elements thereof, and the Local Coastal Program Land Use Plan:

The improvements required by the PUD include the removal of existing buildings within the proposed 20-foot setback, thereby increasing the protection of the riparian area from the status quo. The Riparian Exception would be consistent with the General Plan amendment and zone change proposed under the project. The Riparian Exception conditions will be incorporated into the PUD that is being proposed as part of this project.

The proposed project does not conflict with any regulations adopted for the purpose of avoiding or mitigating an environmental effect.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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3. Physically divide an established community? _____ X _____

The project would not include any element that would physically divide an established community.

4. Have a potentially significant growth inducing effect, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? _____ X _____

Although the project proposes a General Plan amendment and zone change, the construction of 39 multi-family residences would not result in a potentially significant direct growth inducing effect. The project proposes a maximum development density of 20 dwelling units per usable acre on the project site. The project would rezone the parcel and amend the General Plan from "Single-Family Residential - 10,000 square foot minimum parcel size (R-1-10)" and "Urban Low Residential (R-UL)" to "Multi-Family Residential – Regional Housing Need (RM-R)" and "Urban High Residential" with a PUD.

The Regional Housing Need "R" Combining District (Chapter 13.10.477 and 478) proposes to increase the supply of affordable housing in the County of Santa Cruz by designating sites for development at 20 units per acre. Development projects on-sites designated with the Regional Housing Need "R" Combining District are required to provide 40 percent of the units as affordable housing. In addition, the Regional Housing Need "R" Combining District shall only be applied to those parcels identified by the Board of Supervisors in advance of housing element adoption, as part of the housing element, or as part of the implementation of housing element policies. For sites to be designated under the Regional Housing Need "R" Combining District, the site must:

- (a) Be located within the Urban Services Line; and
- (b) Be identified by the County to satisfy the Regional Housing Need. A private landowner may not apply for designation under the Regional Housing Need "R" Combining District without the concurrence of the Board of Supervisors prior to application.

Therefore, the density of the surrounding development would not be affected by the proposed project. No growth inducing impacts are anticipated.

In addition, the proposed project does not propose to extend roads or other infrastructure, and therefore, would not result in potentially significant indirect growth inducing impacts.

Significant Or Potentially Significant Impact	Less than Significant with Mitigation Incorporation	Less than Significant Or No Impact	Not Applicable
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5. Displace substantial numbers of people, or amount of existing housing, necessitating the construction of replacement housing elsewhere?

_____	_____	<u> X </u>	_____
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The proposed project would entail a net gain in housing units.

M. Non-Local Approvals

Does the project require approval of federal, state, or regional agencies?

Yes X No

N. Mandatory Findings of Significance

1. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant, animal, or natural community, or eliminate important examples of the major periods of California history or prehistory?

Yes No X

2. Does the project have the potential to achieve short term, to the disadvantage of long-term environmental goals? (A short term impact on the environment is one which occurs in a relatively brief, definitive period of time while long term impacts endure well into the future)

Yes No X

3. Does the project have impacts that are individually limited, but cumulatively considerable ("cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, and the effects of reasonably foreseeable future projects which have entered the Environmental Review stage)?

Yes No X

4. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

Yes No X

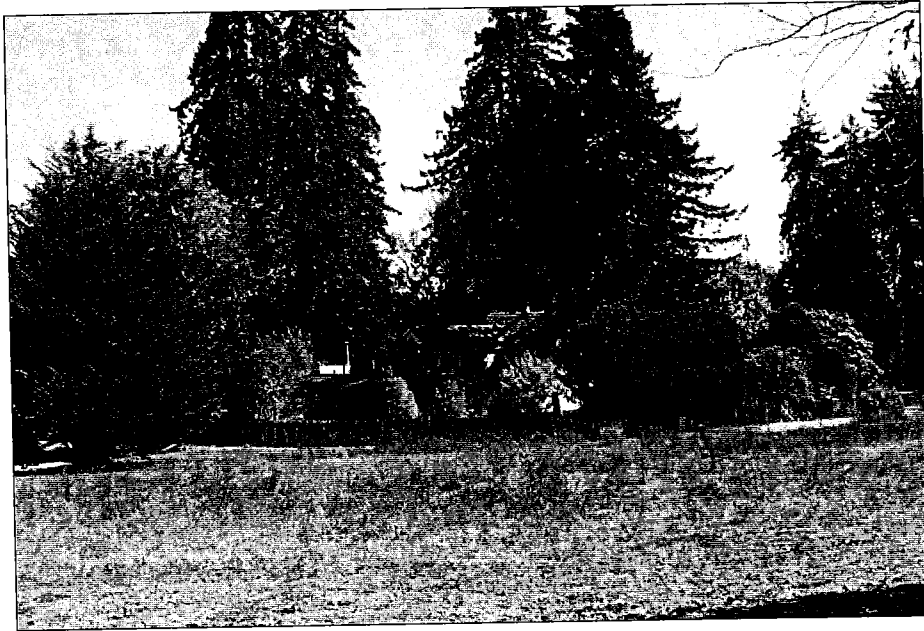
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Historic Resources Preservation Plan

for

Vicente Castro House and Property
7839 Soquel Drive
Aptos, California 95003



Prepared for:

MidPen Housing Corporation
Watsonville Development Office
77 Aspen Way, Suite 103
Watsonville, CA 95076

For Submittal to:

County of Santa Cruz Planning Department

Prepared by:

JRP Historical Consulting, LLC
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August 2011

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1. SUMMARY

MidPen Housing Corporation (MidPen) is proposing construction of forty units of high density housing on Assessor Parcel Number 039-471-09, 7839 Soquel Drive, Aptos, California. The MidPen project is called Aptos Blue (formerly Aptos Cottages). The project parcel contains a single historical resource: the Vicente Castro House, which is listed in the Santa Cruz County Historic Resources Inventory (as defined in Santa Cruz County Code Chapter 16.42) and is a historical resource for the purposes of the California Environmental Quality Act (CEQA) (as defined in CEQA Guidelines Section 15064.5 and 14 CCR Sec. 15000 et seq.). As part of the Aptos Blue project, MidPen intends to rehabilitate the Vicente Castro house to use for property management offices and community gathering space for the housing development that will be built on the remainder of the property.

MidPen's proposed development will conform with *Santa Cruz County Ordinance #5025: Ordinance Granting a Planned Unit Development (PUD) as Allowed by Santa Cruz County Code Relating to Establishment of Development Standards for APN: 039-471-09*. The conditions of approval of the PUD include conditions that relate to the Vicente Castro House historical resource, specifically the establishment of a Historic Setting Area (Setting Area) around the house, Historical Structure and Setting Area Requirements, and Mitigation Measures related to rehabilitation of the historical resource.¹ The mitigation measures in the PUD include documentation of the historical resource to approximate standards of the Historic American Building Survey (HABS), preparation of an oral history project, and inclusion of historical interpretive displays on the property. Additionally, the PUD stipulates that a Historical Resources Preservation Plan (HRPP) be prepared to address alterations affecting, and new construction adjacent to, the historical resource and to ensure that the project complies with Section 16.42 of the Santa Cruz County Code relating to designated historical resources.

In April 2011, JRP Historical Consulting, LLC (JRP) prepared a preliminary HRPP for the Vicente Castro House to provide analysis regarding the proposed project's conformance with both the conditions of the PUD and the HRPP criteria set forth in *Santa Cruz County Code Section 16.42.060: Development Procedures for Designated Historic Resources*. This updated HRPP includes additional analysis and recommendations developed in the *Historic Structure Report for the Vicente Castro House* (HSR), as stipulated by the PUD. The analysis in this updated HRPP addresses the proposed project's plan for the Setting Area surrounding the Vicente Castro House, the new construction directly adjacent to the Setting Area, and the project's proposed rehabilitation plans and use of the historic house itself in relation to both the interior and exterior of the building.

¹ The Historic Setting Area and Mitigation Measures stipulated by the PUD were developed in the *CEQA Impacts Analysis and Proposed Mitigation Report for the Vicente Castro House and Property* prepared for the County of Santa Cruz Planning Department by JRP Historical Consulting, LLC in 2008.

This HRPP is intended to accompany the project design packages submitted to Santa Cruz County for design review. All discussion of the proposed plans herein is accompanied by plan sheet reference directing the reader to specific project plan sheets. The plan sheets JRP reviewed in preparation of this HRPP are listed in Table 1.

This report concludes that the proposed Aptos Blue project is in conformance with both the conditions of the PUD and the HRPP criteria regarding alterations to, and new construction adjacent to, a Santa Cruz County historical resource. Furthermore, this HRPP concludes that the project does not introduce any additional significant impacts to the historical resource that would require additional mitigation measures to those stipulated by the PUD.

Table 1: Plan Sheets Reviewed

Plan Sheet	Date
A-1 Project Information	4/5/2011
A-2 Existing Castro House/Context	4/5/2011
A-3 Site Plan	4/5/2011
A-4 Accessibility Plan	4/5/2011
A-5 Building Height Diagrams	4/5/2011
A-6.1 Building 1-Floor Plans	4/5/2011
A-6.2 Building 1-Roof Plan, Building Section, Exiting	4/5/2011
A-6.3 Building 1-Exterior Elevations	4/5/2011
A-7.1 Building 2-Floor Plans	4/5/2011
A-7.2 Building 2- Roof Plan, Building Section, Exiting	4/5/2011
A-7.3 Building 2- Exterior Elevations	4/5/2011
A-8.1 Building 3-Floor Plans	4/5/2011
A-8.2 Building 3- Roof Plan, Building Section, Exiting	4/5/2011
A-8.3 Building 3-Exterior Elevations	4/5/2011
A-9.1 Building 4-Floor Plans	4/5/2011
A-9.2 Building 4- Roof Plan, Building Section, Exiting	4/5/2011
A-9.3 Building 4-Exterior Elevations	4/5/2011
A-10.1 Building 5-Floor Plans	4/5/2011
A-10.2 Building 5- Roof Plan, Building Section, Exiting	4/5/2011
A-10.3 Building 5-Exterior Elevations	4/5/2011
A-11.1 Building 6-Floor Plans	4/5/2011
A-11.2 Building 6- Roof Plan, Building Section, Exiting	4/5/2011
A-11.3 Building 6-Exterior Elevations	4/5/2011
A-12.1 Community Building/Castro House Existing Plans	4/5/2011
A-12.2 Community Building/Castro House Existing Elevations	4/5/2011
A-12.3 Community Building/Castro House Existing Proposed Plan*	4/5/2011

Plan Sheet	Date
A-12.4 Community Building/Castro House Proposed Elevations*	4/5/2011
A-13 Maintenance Shed	4/5/2011
A-14 Details	4/5/2011
A-15 Perspectives	4/5/2011
CB Color & Materials	2/1/2001
TPZ1.0 Tree Protection and Removal Plan	4/5/2011
L1.0 Conceptual Landscape Plan	4/5/2011
L2.0 Material Images	4/5/2011
L3.0 Planting Images	4/5/2011
C1 Preliminary Site Plan	4/6/2011
C2 Existing Conditions and Demolition Plan	4/6/2011
C3 Preliminary Horizontal Control Plan	4/6/2011
C4 Preliminary Site Grading and Drainage Plan	4/6/2011
C5 Preliminary Site Grading Cross-Section	4/6/2011
C6 Preliminary Site Utility Plan	4/6/2011
C7 Preliminary Driveway Profile	4/6/2011
C8 Preliminary Erosion Control Plan	4/6/2011
C9 Preliminary Erosion Control Details	4/6/2011
C10 Preliminary Sewer Lift Station Details	4/6/2011
Revised Castro House Proposed Interior Plan	8/5/2011

*JRP received revisions of these plan sheets from Hunt Hale Jones dated 7/27/2011.

2. PLAN FOR HISTORIC SETTING AREA

The PUD for the proposed development site includes a Setting Area around the Vicente Castro House that contributes to the historical significance of the resource (**Figure 1**). As dictated by the PUD, the Setting Area must be preserved as a contributing component of the Vicente Castro House. The Setting Area was established in the CEQA Impacts Analysis Report that JRP prepared for the County of Santa Cruz and ranges between 25 to 40 feet around the house. The Setting Area is intended to preserve the historical setting around the Vicente Castro House and enables the property to retain sufficient integrity to convey its significance.

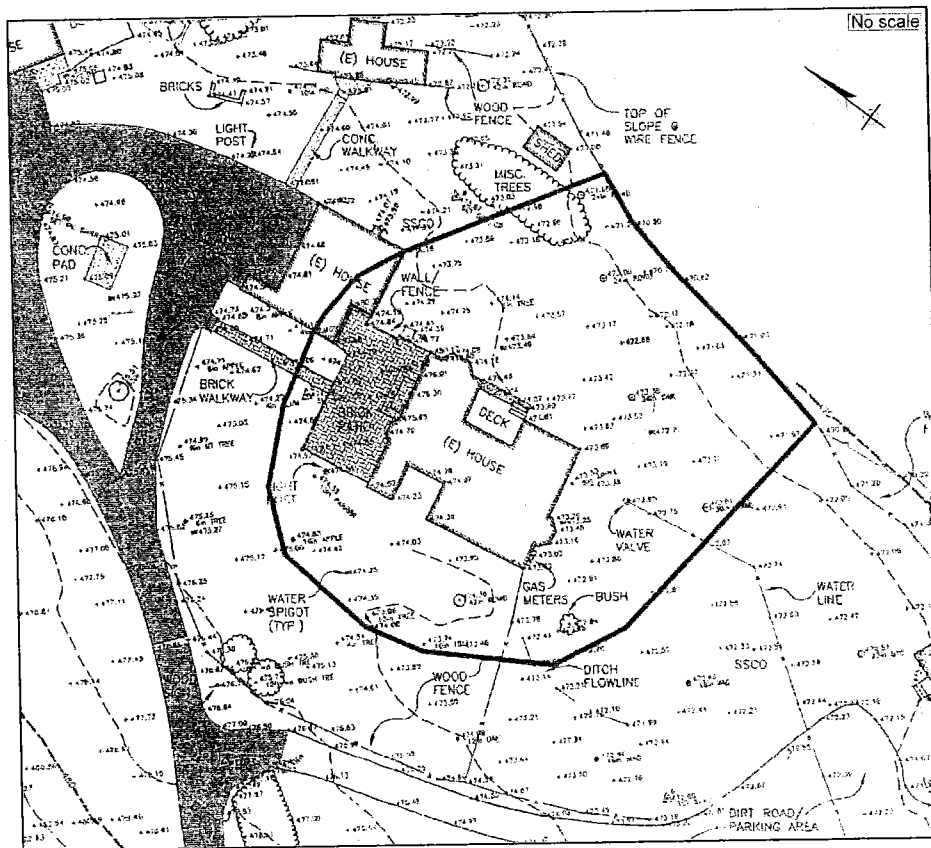


Figure 1: Historic Setting Area, as presented in CEQA Impacts Analysis Report.

In addition, the PUD requires that a historic archaeologist must be on site any time that any ground disturbing activity occurs within the Archaeological Sensitivity Area shown in **Figure 2**. This sensitivity area was also established in the CEQA Impacts Report, and includes those areas of the property that are likely to have artifact deposits.

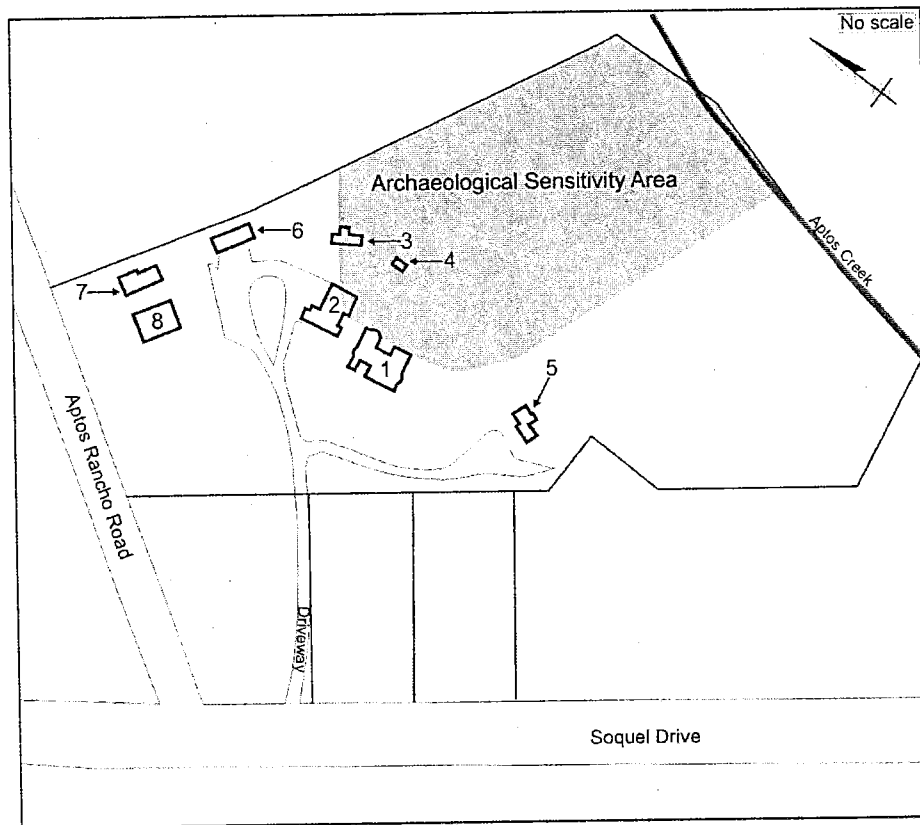


Figure 2: Archaeological Sensitivity Area, as presented in CEQA Impacts Analysis Report.

MidPen's development proposal for the site preserves the Setting Area established by the PUD. As depicted in Plan Sheet A-3: Site Plan, the proposed project does not introduce any encroachments into the Setting Area, with all new construction occurring outside of the Setting Area boundary. The proposed project does not include parking within the Setting Area that was part of the original project analyzed for and discussed in the PUD and the CEQA Impacts Analysis Report. As stipulated by the PUD, the Setting Area will be used for passive open space for the residential development and will feature appropriate landscaping that is in keeping with the historical setting.

As directed by the PUD, the landscaping for the Setting Area will retain a maximum number of trees, in particular, redwood trees or others greater than 12" diameter at breast height (see Plan Sheet TPZ 1.0: Tree Protection & Removal Plan). The retention of such mature vegetation will provide additional screening and scale for the proposed new construction outside of the Setting Area.

New landscaping, as depicted on Plan Sheets L1.0, L2.0, and L3.0, is in keeping with the significant characteristics of the Setting Area. Apple trees will be planted in a naturalistic fashion around the perimeter of the Setting Area in a manner that is reminiscent of the

landscaping that was present during the property's (latter) period of significance. The new trees will be scattered amidst the existing mature vegetation, which includes oak and redwood trees. As directed by the PUD, the Setting Area will be enclosed on the northwest and south sides by a low grape stake fence with breaks that allow for pedestrian passage and it will be accented with low-scale plantings. This proposed landscaping both protects the Setting Area and Vicente Castro House and frames the house as a central component of the Aptos Blue Project.

The proposed development includes pathways and an emergency vehicle access route that traverse the northwest portion of the Setting Area. This includes a five foot wide gray concrete pathway that crosses the northwest edge of the Setting Area and is paralleled by a seven foot wide area where turf block will be installed. The walkway and turf block area combined will form the 12 foot wide emergency access route. Another five foot gray concrete curved pathway provides access to a seven foot wide gray concrete pathway that accesses the north side of the Castro House. These features are in keeping with the required mitigation measures of the PUD, particularly in keeping with the PUD's provision to use minimum paving. The pathways on the north side of the house are where the non-contributing garage and brick-lined walkway and patio currently sit (Plan Sheet A-3: Site Plan). Thus, the pathways at this location does not require removal or alteration of landscaping features or have the potential to impact Character-Defining Features of the historical resource. The emergency vehicle access road – a required safety measure of the project – will also not require alteration of important landscape features. Following the PUD provisions originally intended for potential vehicle parking within the Setting Area, the impact of the emergency vehicle access road will be mitigated by use of concrete and planted turf block. Although some extant vegetation within the Setting area will be removed during construction of the emergency vehicle access, installation of turf block will provide sufficient ground cover so that the access route will not detract from the Setting Area. The pathway adjacent to the emergency access route only clips a small portion of the Setting Area and does not pose a potential impact to the historic integrity of the Castro House (see Plan Sheet L1.0: Conceptual Landscape Plan).

By preserving the Setting Area of the Vicente Castro House, the Aptos Blue project conforms to both the conditions of the PUD and the criteria established in Section 16.42 of the Santa Cruz County Code relating to new construction adjacent to Santa Cruz County historical resources:

- The location and siting of the new construction outside of the Setting Area will not detract from the historic character of the Vicente Castro House or its immediate setting.
- The size, location and arrangement of the new pathways and emergency access route will be designed so that they are as unobtrusive as possible and preserve the features of the Vicente Castro House and Setting Area by minimizing paving and installing turf block.

- Ingress and egress, and internal traffic circulation will not adversely impact the historical character of the Vicente Castro House by locating all parking areas and all residential internal circulation channels outside of the Setting Area.
- The extant garage and brick paving located partially in the Setting Area, which are non-Character-Defining Features of the historic Vicente Castro House, will be removed and replaced with appropriate landscape features and portions of new pathways and emergency access route (the impact of which is noted above).
- Proposed landscaping will be in keeping with the character and design of the Vicente Castro House and mature vegetation within the Setting Area will be preserved to provide visual screening and ensure the historic integrity of the Setting Area.
- Disturbance of terrain around existing buildings or elsewhere on the property will be minimized to reduce the possibility of destroying unknown archaeological materials. In conformance with Section 16.42 of the Santa Cruz County Code and the PUD, a historic archaeologist will be on site during any ground disturbance in the archaeological sensitivity area (Figure 2). If at any time during site preparation, excavation or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons will immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures in Sections 16.40.040 and 16.42.100 of the Santa Cruz County Code will be observed.

3. PLAN FOR NEW CONSTRUCTION ADJACENT TO HISTORIC SETTING AREA

New construction proposed for Aptos Blue includes 6 residential buildings containing a total of 40 affordable rental units and a small associated maintenance shed (see Plan Sheet A-3: Site Plan). The residences will be garden-style walk up apartments with on-grade parking as well as tuck-under garages. As discussed in the previous section, all of the new construction will occur outside of the established Setting Area for the Vicente Castro House. Buildings 3, 4, 5, and 6 of the proposed development are adjacent to the Setting Area, while Buildings 1 and 2 and the maintenance shed are next to Aptos Rancho Road and Soquel Drive and are not adjacent to the Setting Area. The new buildings are also not on or immediately adjacent to the Setting Area, but are rather setback from the Setting Area boundary by at least ten feet.

In conformance with the PUD, the design of the proposed housing units incorporates architectural elements complementary to the Vicente Castro House (see Plan Sheets A-5, A-6.3, A-7.3, A-8.3, A-9.3, A-10.3, A-11.3, A-13) and they meet the height requirement standards established in the PUD, which will result in new buildings that are suitably scaled to the historic house. The housing units are all three stories and less than the maximum allowed height of 37 feet. The proposed buildings are predominantly clad in wood lap siding with secondary areas of board and batten detailing. The designs are characterized by gable roof lines of a similar pitch to that of the Castro House, and the units include small balconies with simple wood railings that mirror the porch treatment of the Castro House. In addition, the configuration and size of windows are scaled similarly to the windows on the Castro House. Lastly, the proposed color palette of the development is compatible with the resource, with a dark slate-colored composite shingle roof, a combination of pure white and light sand colored paint on the body of the buildings, grey trim on the fascia and gutters, and a dark maroon on the shutters and front door (see Color Board).

In addition to conforming with the general height requirements of the PUD, Building 6 (see Plan Sheets A-3 and A-11.3) conforms with the specific height requirements related to Condition 3(b)(i) of the PUD which requires that any building constructed on or adjacent to the footprint of the existing Castro House garage be limited to two stories and 28 feet in height. Building 6 will not be situated on the footprint of the garage, but in addressing the height requirement for this condition Building 6 will be two stories and 24.3 feet tall in the area that is adjacent to the garage footprint. The building's design will then step back and rise to three stories as it moves away from the Setting Area. This design feature, in conjunction with the siting of the building away from the Setting Area, ensures that Building 6 does not loom over the Vicente Castro House and impact the established setting.

While the overall design of the development harmonizes with the architectural aesthetic of the Vicente Castro House it avoids outright replication that would create a false sense of history and

detract from the overall significance of the historical resource. Through the incorporation of design elements including the secondary board and batten detailing and distinctive color palette, the proposed development seeks to reflect significant features of the historical resource while conveying a design that is clearly not historic.

Landscaping proposed in the areas adjacent to the Setting Area include some broad canopy trees, lawn, vegetation that screen parking areas, and riparian edge planting. There is also an informal hedge proposed between the south edge of the Setting Area and Building 5. Generally, the density of proposed new vegetation adjacent to the Setting Area is similar to vegetation extant on the property in the same area. The proposed landscaping in the area immediately adjacent to the Setting Area does not pose an impact to the historical resource. It should be noted that the proposed landscaping helps contribute to the overall integration of the Castro House into the larger housing development. Specifically, the proposed lawn area northwest of the Castro House is situated opposite the property's new entrance and this open area will provide good views of the historic house, similar to the way in which one can currently view the Castro House from Aptos Ranch Road and Soquel Drive.

The proposed new construction adjacent to the Setting Area meets the conditions of the PUD and the criteria established in Section 16.42 of the Santa Cruz County Code relating to new construction adjacent to Santa Cruz County historical resources:

- The location, siting and size of the new construction adjacent to the historical resource will not detract from the historic character of the Vicente Castro House or the surrounding Setting Area.
- The proposed buildings will be designed in proportion and integrated into the historic character of the Vicente Castro House by the use of compatible building materials and textures, construction methods, design, and color.
- The size, location and arrangement of new on-site parking will be designed so that they are as unobtrusive as possible and preserve the features of the property. All parking areas are outside of the Setting Area and tuck-under garages eliminate the necessity of excessive parking lot development on the site.
- Ingress and egress, and internal traffic circulation will not adversely impact the historic features of the property by preserving the Setting Area boundary and focusing circulation corridors on the exterior of the site.

- Landscaping will be in keeping with the character and design of the Vicente Castro House, with the retention of mature vegetation in the Setting Area and appropriate landscaping surrounding the new construction.
- In conformance with Section 16.42 of the Santa Cruz County Code and the PUD, a historic archaeologist will be on site during any ground disturbance in the archaeological sensitivity area as shown in the CEQA Impacts Analysis Report. If at any time during site preparation, excavation or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons will immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures in Sections 16.40.040 and 16.42.100 of the Santa Cruz County Code will be observed.

4. PLAN FOR REHABILITATION AND USE OF VICENTE CASTRO HOUSE

The rehabilitation of the Vicente Castro House and its integration into the proposed housing development is a central component of the Aptos Blue project. As noted, the building will be rehabilitated and repurposed into a community space. The integration of the building into the proposed development conforms to the PUD by maintaining the exterior of the house as a historic building and sensitively adapting the interior for community use. As directed by the PUD, rehabilitation work will follow the recommendations in the CEQA Impacts Analysis Report and the HSR for the property. The HSR analyzes existing conditions and Character-Defining Features on both the interior and exterior of the building and provides detailed recommendations intended to guide all rehabilitation work as well as long-term maintenance.

Rehabilitation activities on the Vicente Castro House will incorporate pertinent allowances of the California Historic Building Code (CHBC). The code provides alternative regulations and standards that facilitate appropriate rehabilitation while encouraging energy conservation and a cost-effective approach to preservation, as well as providing for the safety of the building occupants. The code contains important allowances that enable the retention of Character-Defining Features of historical resources that would otherwise require upgrade or removal under the standard California Building Code (CBC). Allowances include those related to Use and Occupancy; Fire Protection; Means of Egress; Accessibility; Structural Regulations; Methods of Construction; and Mechanical, Plumbing, and Electrical Requirements. Under the CHBC, the County of Santa Cruz is vested with administering and enforcing the provisions of the code. As such, all project plans that incorporate aspects of the CHBC will be subject to County review and approval.

The following provides an assessment of the proposed plans (Plan Sheets A-12.3 and A-12.4) based on the Vicente Castro House's Character-Defining Features that were established in the CEQA Impacts Report and HSR for the house.

Exterior Rehabilitation

As depicted in Plan Sheets A-12.3 and A-12.4 (revised 7/27/2011), the exterior rehabilitation plan will retain the house's Character-Defining Features and does not propose alterations that would diminish the historic integrity of the house. The rehabilitation will be conducted in accordance with the PUD, Section 16.42 of the Santa Cruz County Code, and in compliance with the Secretary of the Interior's Standards for Rehabilitation. As depicted in the above-referenced Plan Sheets, the exterior changes proposed for the Vicente Castro House are limited to the following:

- Exterior finishes, windows, and doors will remain intact except for repairs and refinishing, as necessary, or will be altered as noted below.
- Foundation will be replaced to address structural deficiencies. Foundation will be a split stem foundation system. Grading adjacent to the house will also be raised to allow at-grade entry access. Foundation replacement will include introduction of new skirt board where necessary to replace current lattice board.
- Two entry doors will be adjusted to swing outward for egress. This will likely involve moving the doors within their existing frames, slightly decreasing their inset depth relative to the exterior wall. Some adjustments on these doorways may be necessary to accommodate accessibility requirements.
- Non-contributing bay window on east side will be replaced with an appropriate window that will conform with the house's historic character.
- Single-story gable roof extension at northwest corner of the house (currently a bathroom) will be raised to same level as remainder of house to improve accessibility and use of that portion of the house.

The above-referenced exterior rehabilitation work will not diminish any of the Character-Defining features identified in the CEQA Impacts Analysis Report or HSR. Proposed changes in grading adjacent to the house will remove the small sets of steps that access doorways on the north and west sides of the house. These steps were not listed as part of the house's Character-Defining Features and their removal would not cause a substantial adverse change to the historical resource.

The project's rehabilitation activities on the exterior of the Castro House are limited to address structural and material alterations, repair, and replacement actions that are mandated by accessibility, structural and material integrity requirements.

Interior Alterations

The Preliminary HRPP in April 2011 did not address the interior of the Vicente Castro House, as the HSR analysis had not yet been completed at that time. This updated HRPP includes analysis of the interior spaces of the property based upon the findings of the HSR, which are excerpted below.²

² *Historic Structure Report, Vicente Castro House* (JRP, 2011). Prepared for MidPen Housing Corporation for submittal to County of Santa Cruz Planning Department).

Santa Cruz County concluded the Vicente Castro House was eligible for the County Historic Resources Inventory based on an evaluation that only assessed exterior character-defining features. The interior of the house was not evaluated for significance and was not identified as a Character-Defining element of the property. In general, the identified exterior features contribute to a much higher degree in conveying the property's historic and architectural significance than any features located on the interior. The interior of the Vicente Castro House has been substantially altered over time, with numerous renovations and additions to the interior living spaces and features. As such, neither the overall plan nor the individual design features of the interior of the residence convey a cohesive aesthetic that is indicative of the identified periods of significance. Rather, the interior of the residence is largely an amalgamation of design features from multiple decades of development.

Although there is little design cohesion evident in the interior of the property, there are isolated areas and remnant features that exhibit attributes from the property's identified periods of significance. The retention of these interior features, whether *in situ* or through salvage, reuse, and interpretation, will aid in conveying aspects of the property's significance as a nineteenth century farmhouse and a twentieth century vacation and summer home. The following provides discussion of the interior areas and remnant features that modestly contribute to the house's Character-Defining Features.

Fireplaces

The fireplaces in the Living Room and upstairs bedroom appear to date to nineteenth century or were modified prior to the Miller ownership. In this way, they convey facets of the property's development as the nineteenth century residence of Vicente Castro. These design features are representative of both the original design of the property and the original mechanical program of the property. In particular, the spare aesthetic and stamped bricks in the Bedroom C fireplace are an important vestige of the property's early development and nineteenth century associations. A third fireplace in Living Room A has been substantially altered (during the Miller period) and therefore does not convey these significant associations.

The HSR recommends that the fireplaces should be retained *in situ*, or if not possible salvaged and used for interpretative purposed elsewhere in the house upon rehabilitation.

Enclosed Exterior Window and French Door in Den

A porch was added to the southwest corner of the property during the Tillman period of ownership, circa 1932. This porch was subsequently enclosed and converted to the Den during the Miller period in the 1950s. This conversion retained an original exterior eight-over eight window as well as French doors. These features are indicative of the original floor plan and spatial relationships of the Vicente Castro House and are important Character-Defining Features that

convey the physical evolution of the property. As such, it is recommended that these features be retained in place, if possible, in the rehabilitation of the house.

Scalloped Detailing and Wainscoting at Bay Window in Living Room B

As constructed, the Vicente Castro House was of a relatively spare design with little architectural ornamentation. This appears to have likely been especially the case on the interior, or almost all interior ornamentation from that period has been removed. One of the most important ornamental design elements of the house was the bay window centered on the south side of the residence, which served as an important focal point in the design. The prominence of this feature is reflected on the interior by the scalloped detail surrounding the bay window. While relatively simple in design, this subtle notched element is a Character-Defining feature of the property. Additionally, while it is unknown if the wainscoting was present during the Castro period or developed later, this design treatment is also evocative of the heightened design scheme surrounding the bay window. The HSR recommends that these features be retained in the rehabilitation of the house.

Stairwell railing

The stairwell railing appears to be original to the property and is a Character-Defining Feature. As discussed above, the original design of the house was of a spare aesthetic with only a small number of important stylized details at the interior, including the railing. Although the railing has been reconfigured (during the Miller period) the material and design of the feature is a significant representative of the property's early design. The HSR recommends that any reconfiguration of the stairwell should include the salvage and re-use of (at least a large section of) this Character-Defining Feature.

Interior Doors

A number of the interior doors appear to date to the original construction period of the property. Others likely are replacements from the Tillman, Crum, and Miller periods. The detailing of these doors, which includes paneling, rough-hewn wood planking (**Bedroom D** and **C**), and old-fashioned latch hardware, is representative of the ongoing development of the house during the periods of significance. While these elements are not individually Character-Defining Features, as a whole they convey an important sense of time and place. As such, the HSR recommends that the extant doors should be retained and/or re-used if possible.

As discussed in the introduction to this HRPP, the interior of the Vicente Castro House is proposed to be modified to accommodate a multi-purpose community space. The focal point of the first floor will be a large community room (Plan Sheet A-12.3, Revised Interior Plan 8/5/2011)). In addition, the first floor will contain a computer lab, kitchen, two offices, deck, waiting room, and a restroom. The second floor will house a single office, restroom, as well as open-air decks. Plans note that interior finishes are to incorporate elements deemed historic, but

that the majority of the interior is to be reconfigured as required for the new use and that floor levels will be adjusted to meet accessibility requirements.

While there are few extant interior features that convey important attributes from the property's identified periods of significance, preservation of the identified Character-Defining Features will enhance the overall retention of integrity of this historical resource. Reuse of notable features *in situ* constitutes the best possible outcome, but there will also be benefits to preserving such features by re-using them and/or interpreting them elsewhere within the interior of a remodeled Vicente Castro House. In addition to documenting these features in the HABS report, preservation or re-use of some of the Character-Defining interior features will help mitigate project impacts to a level that is less than significant. Although loss of some Character-Defining Features somewhat diminishes the Castro House's historic integrity, alteration of interior features would not cause a sufficient substantial adverse change such that the property would no longer be eligible as a historical resource. Specifically, the project complies with the findings of the HSR and the requirements of the PUD by:

- Retaining the Character-Defining Living Room B fireplace in place and by salvaging and relocating the Character-Defining fireplace in Bedroom C. The relocated Bedroom C fireplace will be installed in the Dining Room (which will be a Community Room).
- Retaining the Character-Defining French doors and window in the Den. Although the new program will require that the window be moved slightly to the north, closer to the French doors, the general relationship and characteristics of this Character-Defining Feature will remain intact.
- Incorporating the existing Character-Defining stair guardrail into the new stair system
- Retaining the Character-Defining detailing and surrounding wainscoting of the bay window in Living Room B.
- Reusing interior doors where feasible throughout the interior.

By incorporating these Character-Defining Features into the programmatic requirements of the interior design, the project will retain the Character-Defining Features in the house, thus preserving important physical aspects representative of the property's significance.

Guided by this framework, the rehabilitation of the Castro House addresses the conditions of the PUD and meets the criteria established in Section 16.42 of the Santa Cruz County Code relating to alterations of Santa Cruz County historical resources. The following statements are

appropriate taking into account the mitigation measures stipulated in the PUD and as discussed in the HSR:

- The proposed use of the Vicente Castro House as a community space provides a compatible use for the property that requires minimal alteration of the building and its environment.
- The proposed rehabilitation and repurpose will not destroy distinguishing original qualities or the character of the building. The project will not cause the removal or alteration of exterior historic materials or distinctive architectural features. Should alteration or removal be necessary in light of structural conditions, replacement will be in-kind.
- The property will be recognized as a product of its own time and the project does not propose any alterations that seek to give the building an earlier or more modern exterior appearance.
- The proposed rehabilitation and repurposing does not propose to alter any changes to the Vicente Castro House that may have acquired significance in their own right.
- Distinctive stylistic features or examples of skilled craftsmanship which characterize the Vicente Castro House will be treated with sensitivity. The rehabilitation work will be guided by the findings of the CEQA Impacts Report and HSR for the house.
- Deteriorated architectural features will be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material will match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features will be based on accurate duplications of features substantiated by historic, physical or pictorial evidence, rather than on conjectural design or the availability of different architectural elements from other buildings or structures. Such substantiation is supported by the HSR and the CEQA Impacts Analysis Report.
- The surface cleaning of the building will be undertaken with the gentlest means possible that will not damage the historic building materials. Use of chemical or physical treatments, such as sandblasting, that cause damage to historic materials will be avoided.
- Every reasonable effort shall be made to protect and preserve archaeological resources affected by the project, in compliance with the PUD.

- The proposed rehabilitation and repurposing does not include any alterations or additions to the Vicente Castro House that destroy significant historical, architectural or cultural elements or materials.
- The essential form and integrity of the structure will be unimpaired by the proposed rehabilitation and use of the building.

In addition to adhering to the conditions of the PUD and the criteria set forth in Section 16.42 of the Santa Cruz County Code, the proposed rehabilitation complies with the Secretary of the Interior's Standards for Rehabilitation, upon which the Santa Cruz County criteria are based. All proposed work will be done under these standards and guidelines, and as such the rehabilitation will not cause a significant impact to the historical resource in relation to either Section 16.42 of the Santa Cruz County Code or CEQA (14 CCR § 15064.5). As noted in the CEQA Guidelines Section 15064.5, projects that are built in compliance with the Secretary of Interior Standards for Rehabilitation are considered to have a less than significant impact. Some elements of the project will not fully comply with the Secretary of Interior Standards for Rehabilitation, but the impacts will be mitigated to a level that is less than significant by the measures stipulated in the PUD and as presented in the HSR.

5. MITIGATION PLAN

The conditions of approval of the PUD for the project include multiple measures that are designed to mitigate, minimize, and avoid significant impacts to the Vicente Castro House historical resource. The mitigation measures address various facets of the project, and serve to mitigate the project's impacts to a less than significant level. The proposed design for the Aptos Blue project assessed for this HRPP incorporates provisions and mitigation measures from the PUD (and the CEQA Impacts Analysis Report and HSR). These include preserving the Historic Setting Area, proposing appropriate heights of new buildings adjacent to the Setting Area, preserving the Vicente Castro House and proposing to rehabilitate the house following Section 16.42 of the Santa Cruz County Code, designing the new buildings on the property in a manner that respects the historic character of the Castro House and follows the guidance of the HSR, and proposing appropriate landscaping that includes use of turf block and the preservation of redwood and other trees. Additional mitigation measures will be conducted at subsequent phases of the project, including archaeological monitoring, documentation prepared to HABS standards, oral interviews, and creation of interpretative displays.

6. CONCLUSIONS

This HRPP concludes that Midpen's proposed residential development at 7839 Soquel Drive will be done in accordance with the governing PUD for the parcel, as it relates to the use and preservation of the Vicente Castro House. The project will also adhere to the requirements relating Santa Cruz County historical resources laid out in Santa Cruz County Code Section 16.42. By incorporating the mitigation measures detailed in the PUD, including the HSR developed for the house, the residential development will not diminish the characteristics of the Vicente Castro House such that it will not continue to qualify for inclusion in the Santa Cruz County Historic Resources Inventory. The design of the development will harmonize with the resource and preserve the resource's surrounding Setting Area. Furthermore, the proposed development will integrate the Vicente Castro House into the community by rehabilitating the building and creating a vibrant community space.

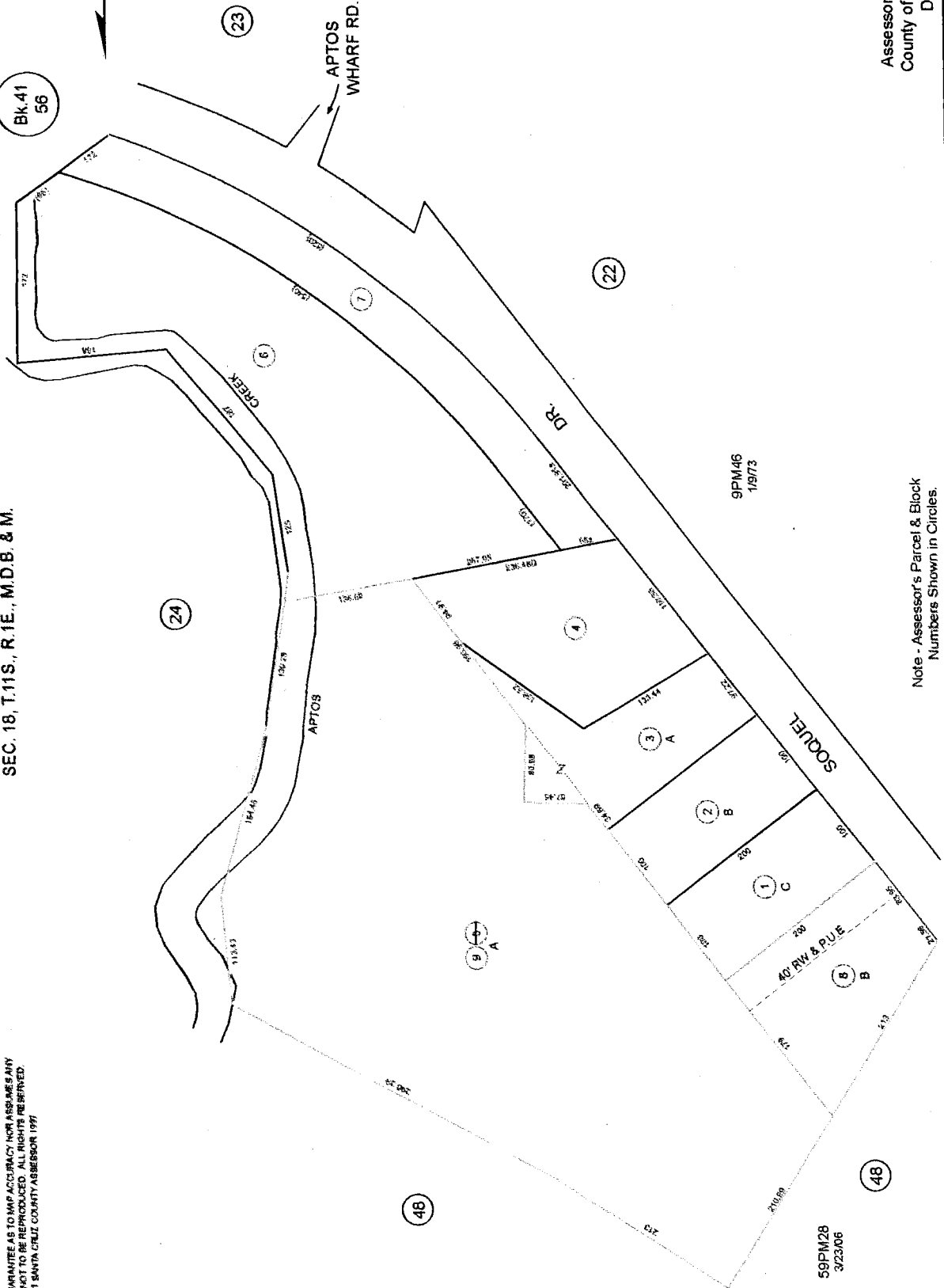
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POR. APTOS RANCHO
SEC. 18, T.11S., R.1E., M.D.B. & M.

Tax Area Code
69-273

39-47



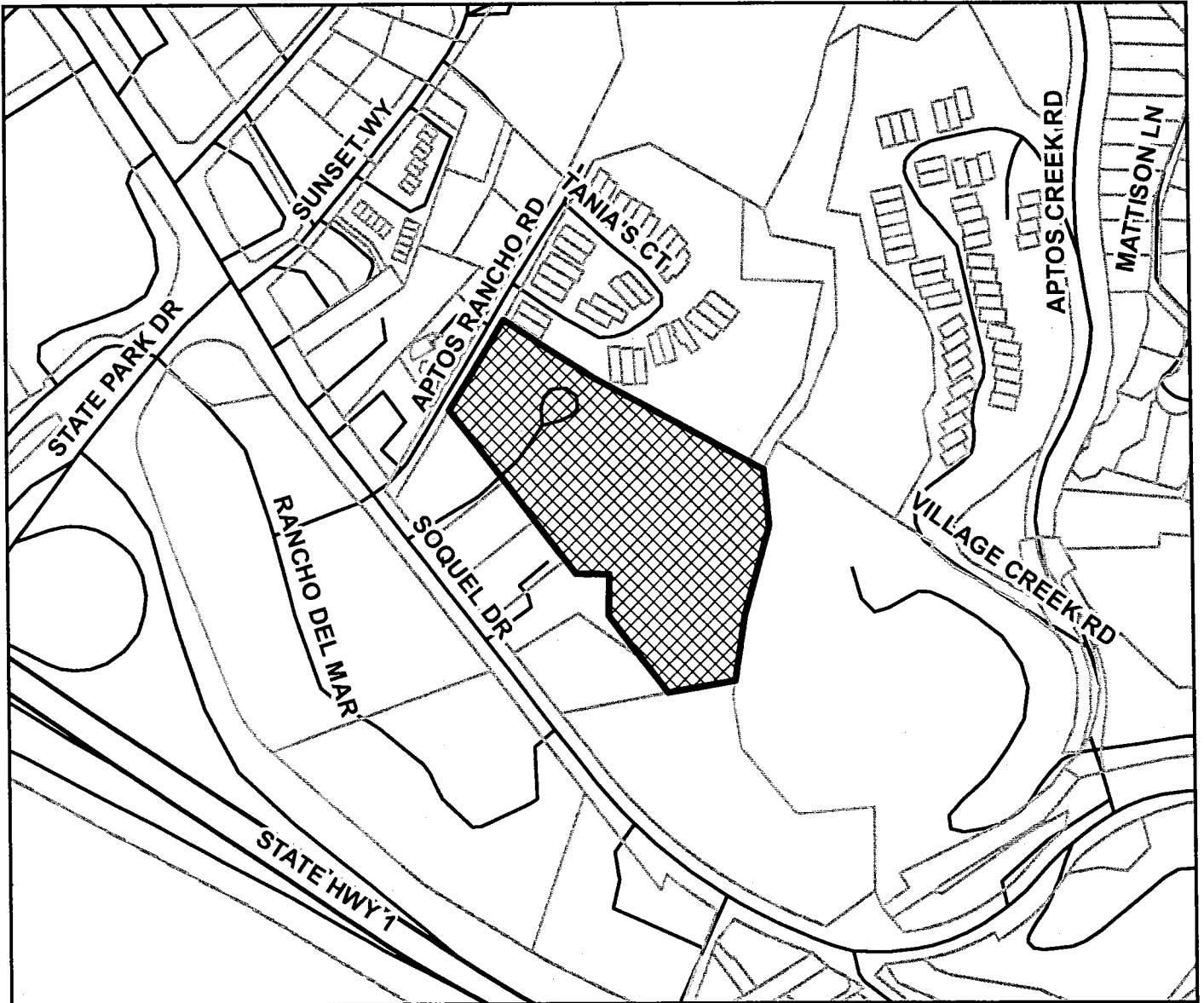
Assessor's Map No. 39-47
County of Santa Cruz, Calif.
Dec., 1997

Note - Assessor's Parcel & Block
Numbers Shown in Circles.

Electronically Redrawn 12/22/97 wfp
Rev. 4/20/98 HSA (CA)
Rev. 5/2/07 mm (changed page n.b.)
Rev. 7/11/03 DD (cor to sheetwork, 1-03 & 05)
Rev. 7/24/06 mm (SPPM28, split 1-06 & 09)

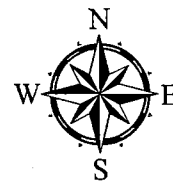


Location Map



LEGEND

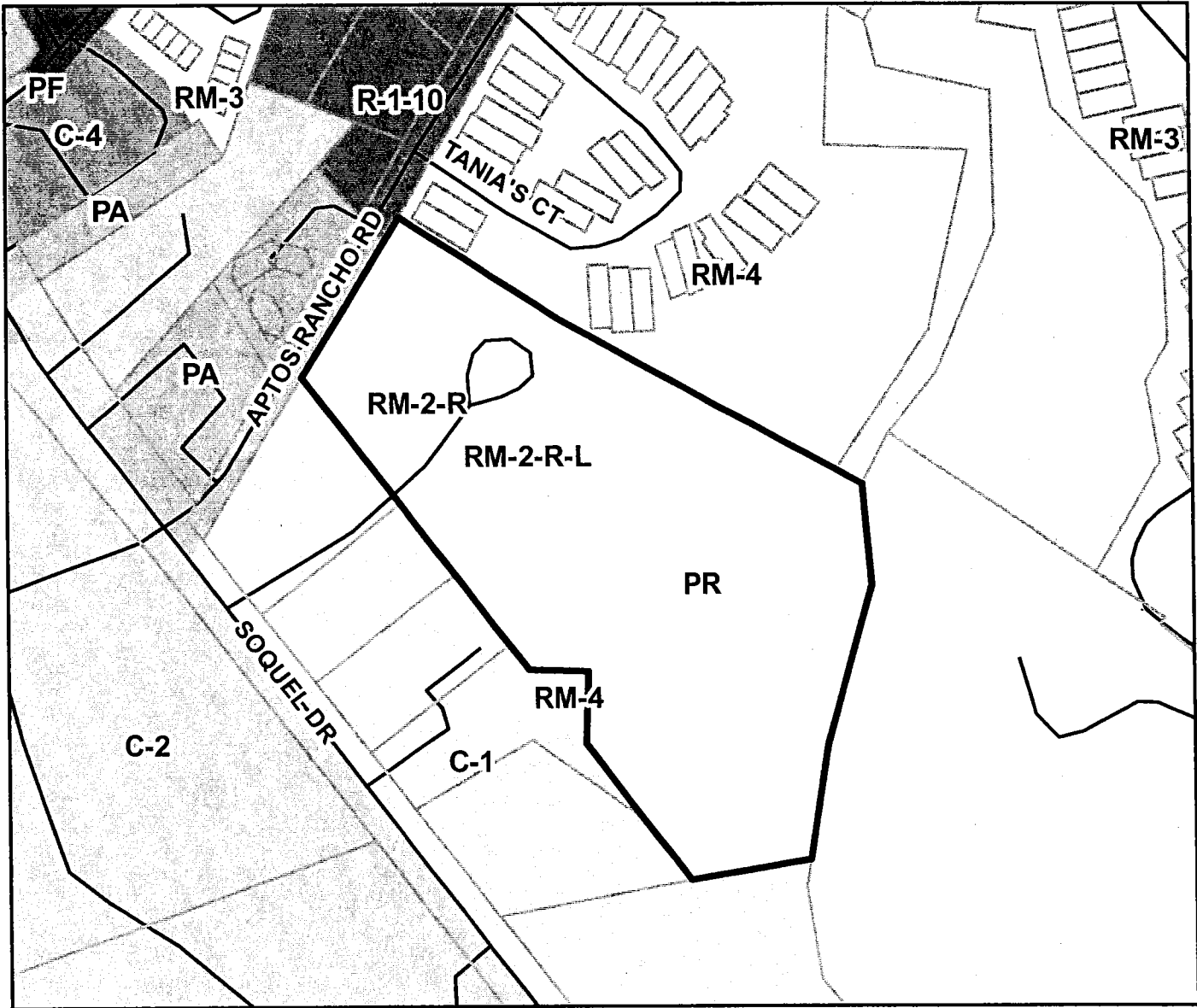
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-  Assessors Parcels
-  Streets
-  State Highways



Map Created by
County of Santa Cruz
Planning Department
November 2011

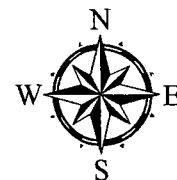


Zoning Map



LEGEND

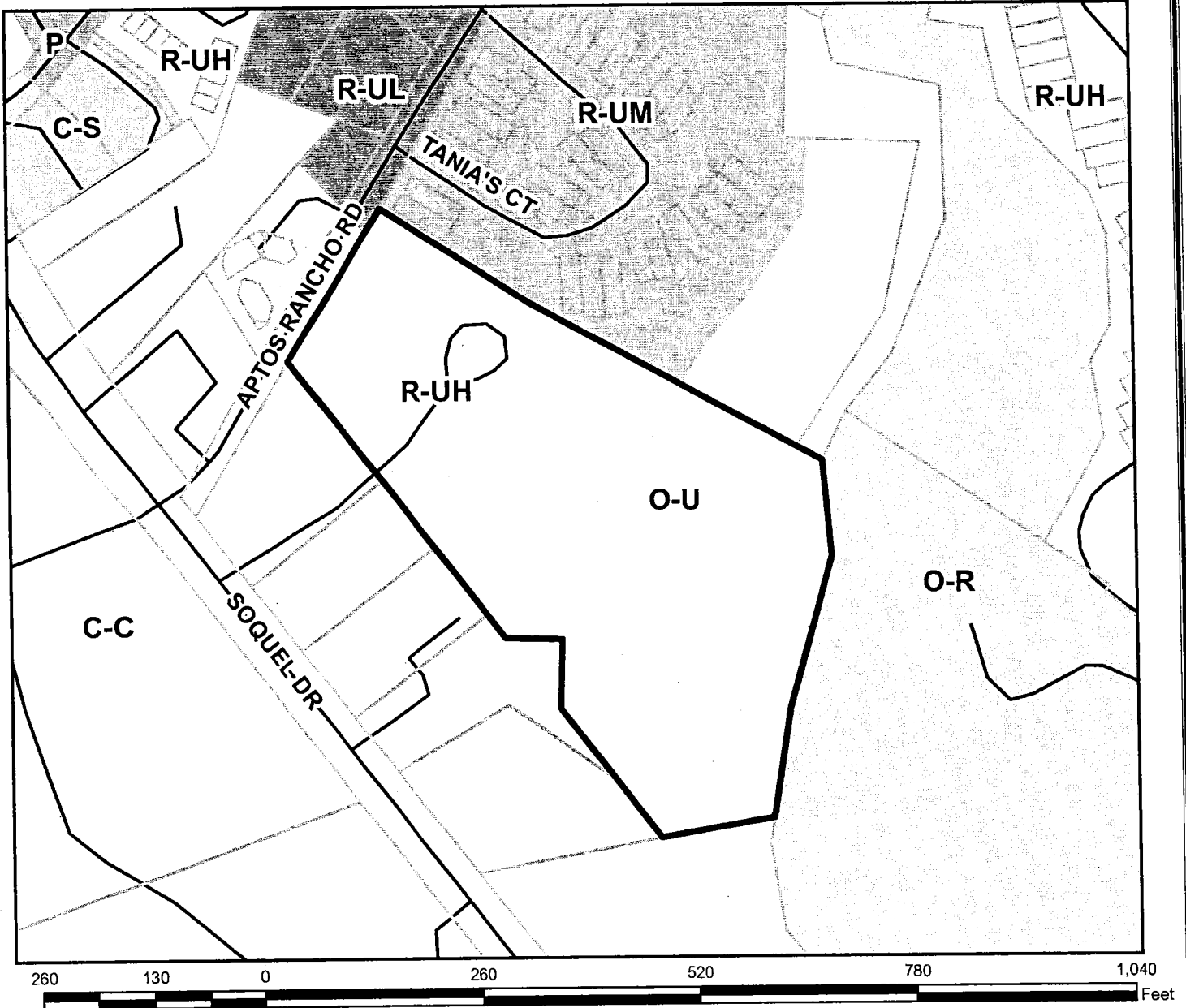
- APN: 039-471-09
- Assessors Parcels
- Streets
- RESIDENTIAL-MULTI FAMILY
- PARK
- COMMERCIAL-COMMUNITY
- COMMERCIAL-NEIGHBORHOOD
- COMMERCIAL-PROF OFFICE
- COMMERCIAL-SERVICE
- PUBLIC FACILITY
- RESIDENTIAL-SINGLE FAMILY



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Planning Department
November 2011

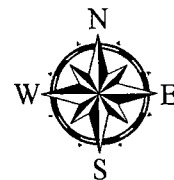


General Plan Designation Map



LEGEND

- APN: 039-471-09
- Assessors Parcels
- Streets
- Residential - Urban High Density
- Urban Open Space
- Commercial-Community
- Commercial-Service
- Parks and Recreation
- Public Facilities
- Residential - Urban Low Density
- Residential - Urban Medium Density



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November 2011



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Bruce Daniels, Vice President
Dr. Don Hoernschemeyer
Dr. Bruce Jaffe
Daniel F. Kriege

Laura D. Brown, General Manager

January 19, 2011

Mr. Dan Mountsier
Mid-Peninsula The Farm, Inc.
77 Aspen Way, Suite 103
Watsonville, CA 95076

**SUBJECT: Conditional Water Service Application for
Multi-Family Residential Development at Soquel Drive &
Aptos Rancho Road, Aptos, APN 039-471-09**

Dear Mr. Mountsier:

In response to the subject application, the Board of Directors of the Soquel Creek Water District (SqCWD) at their regular meeting of January 18, 2011 voted to grant you a Conditional Will Serve Letter for the proposed multi-family development to be located at Soquel Drive & Aptos Rancho Road in Aptos so that you may proceed through the appropriate land use planning entity.

After you have received a building permit from the land use planning agency, you will be required to meet all applicable SqCWD requirements defined in the attached Requirements Checklist before your application can be considered for final Board approval. If you meet all of the applicable requirements (*including possible future requirements that arise prior to development approval of your project*), and final Board approval is granted, you will be issued an Unconditional Will Serve Letter, which would secure your water service.

This conditional approval of water service for your project is valid for two years from the date of this letter; however, it should not be taken as a guarantee that service will be available to the project in the future or that additional conditions, not otherwise listed in this letter, will not be imposed by the District prior to granting water service. Instead, this present indication to serve is intended to acknowledge that, under existing conditions, water service would be available on the condition that the developer agrees to meet all of the requirements without cost to the District.

Future conditions which negatively affect the District's ability to serve the proposed development include, but are not limited to, a determination by the District that existing and anticipated water supplies are insufficient to continue adequate and reliable service to existing and/or new customers. In that case, service may be denied.

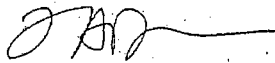
Conditional Water Service Application – APN 039-471-09

1/19/2011

Page 2 of 2

The Board of Directors of the SqCWD also reserves the right to adopt additional policies to mitigate the impact of new development on the local groundwater basins, which are currently the District's only source of supply. Such actions would be in response to concerns about existing conditions that threaten the groundwater basins and the lack of a supplemental supply source that would restore and maintain the aquifers. The subject project would be subject to any applicable conditions of service that the District may adopt prior to granting water service. As new policies and/or requirements are developed, the information will be made available by the SqCWD.

Sincerely,
SOQUEL CREEK WATER DISTRICT



Taj A. Dufour, P.E.
Engineering Manager/Chief Engineer

Attachment: Requirements Checklist for APN 039-471-09

Enclosures – Green (for Tier II Single-Family and Multi-Family Residential Development):

1. Overview of the SqCWD Water Use Efficiency Requirements for Tier II Single Family Residential, Multi-Family Residential, Commercial, Industrial & Public Development
2. Indoor Water Use Efficiency Checklist
3. Landscape Project Application Submittal Requirements Package
4. Water Demand Offset Policy Fact Sheet
5. Go Green Program/Water Demand Offset Residential Green Credits Fact Sheet and Application



Santa Cruz County Sanitation District

701 OCEAN STREET, SUITE 410, SANTA CRUZ, CA 95060-4073
(831) 454-2160 FAX (831) 454-2089 TDD: (831) 454-2123

JOHN J. PRESLEIGH, DISTRICT ENGINEER

January 7, 2011

CHARLES MOUNTSIER
77 ASPEN WAY, STE 102
WATSONVILLE CA 95076

SUBJECT: SEWER AVAILABILITY AND DISTRICT'S CONDITIONS OF SERVICE
FOR THE FOLLOWING PROPOSED DEVELOPMENT:

APN: 39-471-09 APPLICATION NO.: N/A (No plans attached)
PARCEL ADDRESS: 7839 SOQUEL DRIVE
PROJECT DESCRIPTION: 40 MULTIFAMILY UNITS PLUS EXISTING
CASTRO HOUSE TO REMAIN

Sewer service is available for the subject development upon completion of the following conditions. This notice is effective for one year from the issuance date to allow the applicant the time to receive tentative map, development or other discretionary permit approval. If after this time frame this project has not received approval from the Planning Department, a new sewer service availability letter must be obtained by the applicant. Once a tentative map is approved this letter shall apply until the tentative map approval expires.

Proposed location of on-site sewer lateral(s), clean-out(s), and connection(s) to existing public sewer must be shown on the plot plan of the building permit application.

Existing septic system must be properly abandoned (including inspection by District) at time of connection to sewer.

Department of Public Works and District approval shall be obtained for an engineered sewer improvement plan, showing on-site and off-site sewers needed to provide service to each lot or unit proposed, before sewer connection permits can be issued. The improvement plan shall conform to the County's "Design Criteria" and shall also show any roads and easements. Existing and proposed easements shall be shown on any required Final Map. If a Final Map is not required, proof of recordation of existing or proposed easement is required.

CHARLES MOUNTSIER
PAGE 2

Other: Developer shall be responsible for analysis and upgrading District pump station to accommodate increased flows.

The existing sewer main and easement shall be surveyed and plotted on the site plan and no improvements shall be located within the easement.

Any development containing 30 or more equivalent dwelling units shall deliver to the District Engineer a flow metering or odor control equipment. A requirement that a payment equivalent to the installed required equipment will be collected at the time the sewer connection permits are obtained.

Attach an approved (signed by District Engineer) copy of the sewer system plan to the building permit application.

Yours truly,

JOHN J. PRESLEIGH
District Engineer

By: *Rachél Lather*

Rachél Lather
Senior Civil Engineer

DR:dls/370

c: Property Owner: Mid Peninsula The Farm, Inc.
303 Vintage Park Drive, Ste. 250
Foster City, CA 94404

(REV. 3-01)

BEFORE THE PLANNING COMMISSION
OF THE COUNTY OF SANTA CRUZ, STATE OF CALIFORNIA

RESOLUTION NO. _____

On the motion of Commissioner
duly seconded by Commissioner
the following Resolution is adopted:

PLANNING COMMISSION RESOLUTION
SENDING RECOMMENDATION TO THE BOARD OF SUPERVISORS

WHEREAS, the Planning Commission has held a public hearing on Application No. 101134 involving property located on the east side of Aptos Rancho Road about 250 feet northeast of the intersection of Aptos Rancho Road and Soquel Drive in the Aptos Planning Area, and the Planning Commission has considered the proposed development, all testimony and evidence received at the public hearing, and the attached staff report.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission recommends that the Board of Supervisors approve Application Number 101134, based on the attached Design Review Finding and project conditions of approval.

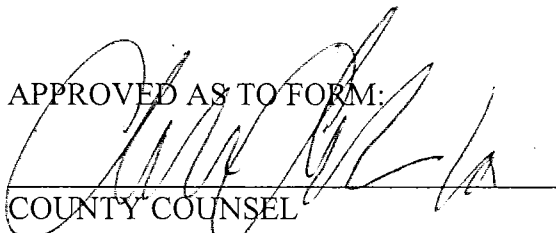
PASSED AND ADOPTED by the Planning Commission of the County of Santa Cruz, State of California, this 14th day of December, 2011, by the following vote:

AYES: COMMISSIONERS
NOES: COMMISSIONERS
ABSENT: COMMISSIONERS
ABSTAIN: COMMISSIONERS

Renee Sheperd, Chairperson

ATTEST: _____
Cathy Graves, Secretary

APPROVED AS TO FORM:



COUNTY COUNSEL