



Staff Report to the Planning Commission

Application Number: **181132**

Applicant: Teall Messer

Owner: County of Santa Cruz

APN: 026-461-02, 026-063-01

Site Address: 2200 7th Avenue, 1001 Rodriguez St., Santa Cruz

Agenda Date: August 28, 2019

Agenda Item #: 8

Time: After 9:00 a.m.

Project Description: Proposal to modify the Animal Services campus in three phases. Phase 1: remodel the Animal Services building on APN 026-063-01 to expand the veterinary procedure area; create a new meeting room; expand the building by 704 square feet to accommodate rabbits and cats; recognize the spay / neuter clinic serving the public; and eliminate condition of approval IV.C.7 of Permit 06-0418 which prohibits dog training and exercise areas within 50 feet of adjacent residential properties. In Phase 2: remodel and add a covered deck and 212 square feet to the existing structure on APN 026-461-02 to become a cat adoption center with coffee shop service; expand the existing northern parking lot by 11 spaces; and install three identification and two pedestrian signs. In Phase 3: construct a 1,216 square feet training and education building with a 448 square feet patio to the east of the cat adoption center.

Location: Property located on the northeast corner of 7th Avenue and Rodriguez Street (2200 7th Avenue and 1001 Rodriguez Street)

Permits Required: Amendment to Master Site Plan Permit 06-0418, a sign exception to allow five new signs and a total of 38.5 square feet of signage where 35 square feet is allowed, and a determination that the project is Categorically Exempt under CEQA from further Environmental Review.

Supervisory District: First District (District Supervisor: John Leopold)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 181132, based on the attached findings and conditions.

Project Setting

The County's Animal Services campus master plan, which is comprised of two parcels, was approved under Permit 06-0418 on April 11, 2007. The southern of the two parcels supports the main Animal Services building and parking lot. The northern parcel is developed with a barn, pasture area, parking lot, and a small building that was originally constructed as a house.

The facility is located at the corner of 7th Avenue and Rodriguez Street in Live Oak. Except for a small commercial zone district on the southwest corner of 7th and Rodriguez Street, the southern parcel is surrounded by residential properties. The animal service's northern parcel is adjacent to public facilities uses to the east and west (veterans hall, cemetery, day labor center, and Green Acres Elementary School) and, to the north, an affordable townhouse development for seniors called Casa La Familia which was constructed in the mid-1980s.

Project Background

Animal uses on the site long precede the establishment of the County's facility. The site was used as a kennel as early as the 1950's and the Society for the Prevention of Cruelty to Animals (SPCA) received a use approval in 1972 to operate a shelter facility with about 16,000 square feet of buildings. In 2004, the County purchased the property to develop the existing Animal Services campus and received a Master Site Plan approval for the campus in April 2007.

The Master Site Plan authorized the construction of a 13,144 square foot facility, 34-car parking lot, 1,330 square feet of outside kennels, animal use yards, service yard, as well as authorization to use the small house on the northern parcel as the SPCA's office with an ancillary animal shelter use.

Project Description

The current application proposes a minor expansion and remodeling of the Animal Services building, the conversion of the former house on the northern parcel to a cat adoption center with coffee service, the expansion of the northern parking lot, and the construction of a training and education building with a patio.

The Animal Services building has been in use for about 10 years. Over these years, changes have been identified that would improve the functionality of the building. For example, the area originally designated as the training/break room now serves a variety of sometimes conflicting uses, including: staff and public meetings, Animal Control hearings, volunteer trainings, classes, and County elections. The numerous demands on this room is the impetus for moving the adoptable cats to a new area in order to create a new classroom/meeting room. The adoptable cats and rabbits would be housed in a new addition at the front of the building, which would also allow the veterinary procedure area to expand.

This application also proposes to recognize the public-serving component of the spay/neuter clinic which occurs one day per week. The demand for spay/neuter surgeries exceeds the existing capacity. Expanding the procedure area will enable Animal Services to provide about 16 surgeries instead of the 12 per week that can currently occur. Except for the increase in surgery capacity, the overall usage of the main animal service building is not anticipated to increase.

Cat Adoption Center The applicant proposes to create a cat adoption center in the small house on the northern parcel. This structure operated as the SPCA headquarters where up to six dogs and 12 cats (not including nursing kittens) were allowed at a time as an ancillary use to the primary use of the structure as the SPCA's office.

The current proposal is to continue the shelter use but exclusively for cats and add coffee and pre-prepared food service (e.g., muffins baked elsewhere). This “cat café” concept—where cats and humans get to know each other in a relaxed café environment—originated in Japan and has spread throughout the United States. The cats will have a separate room to retreat to if they become uncomfortable or tired. The cat adoption center can accommodate between 5 and 15 cats at a time. This proposal will reduce the intensity of the animal use approved under Permit 06-0418 where six dogs and 12 cats were allowed as an ancillary use to the SPCA office use.

The coffee service area and cat areas would be separated from each other. A vestibule would ensure that no cats escape as people enter the cat area. To accommodate the use, a covered deck on the north side of the building is proposed along with 212 square feet of new building area to accommodate an enclosed “cat porch” and about 80 square feet of storage. The building is adjacent to Casa La Familia’s parking lot, which means that the use will not be directly adjacent to any of the residences. A new fence will be installed to provide a buffer between the cat adoption center and the Casa La Familia parking lot.

Training and Education Building The project includes the construction of a detached building to be located behind the cat adoption center. The new building would be about 1,200 square feet with a 448 square foot patio area located on the south side of the building. The building’s construction requires the removal of one 20-inch in diameter at breast height (DBH) oak tree (see tree removal discussion below under “Design Review”).

The new building would be used for trainings, children’s camps, and meetings such as the pet loss grief support group. The building will also be used for events hosting up to 63 people. These larger events would occur after the Animal Services building and cat adoption center are closed to the public so that both the northern and southern parking lots would be available. The activities that would be conducted in the new training room are currently being conducted on the Animal Services campus. The new building would reduce scheduling conflicts.

In addition to the project plans showing the proposed physical changes, the applicant provided a program statement explaining how the new and remodeled spaces will be used (Exhibit H).

Zoning & General Plan Consistency

The subject property is comprised of two parcels totaling 2.73 acres, located in the PF (Public and Community Facilities) zone district, a designation which allows public facility uses. The County’s animal shelter Master Site Plan was approved in 2007 and this is an amendment to that approval. The proposed construction would meet the PF zone district’s setbacks, including the 20 foot setback for facilities located next to residential properties.

Parking

The applicant submitted a parking study prepared by J. Daniel Takacs, Principal Engineer, of Mott Macdonald (Exhibit I). Currently, the main Animal Services building has 34 parking spaces and the smaller parking lot to the north has 11 spaces. These parking lots meet the parking demand of the existing facility.

The project proposes to expand the northern parking lot by 11 parking spaces to result in 21 total

parking spaces. According to Mr. Takacs, this expansion will be adequate to accommodate the cat adoption center parking demand and most of the training building parking. Except for large events in the training and education building, the peak parking demand for the cat café and training building is calculated to occur between 8 AM and 9 AM when the total parking demand would be 17 vehicles. The parking demand for large evening meetings would exceed the parking supply in the northern parking lot. By condition of approval, these larger meetings would be required to be held after the animal shelter is closed so that the 34 spaces located in the southern parking lot are available to attendees. Together, these two lots would accommodate the maximum calculated parking demand for large meetings which is 42 spaces. The animal shelter has also secured a reciprocal agreement to share parking with the Veterans of Foreign Wars hall located across 7th Avenue from the shelter (Exhibit J). This will ensure that the Animal Services' parking demand will not impact the neighborhood.

Modification of Permit 06-0418's 50-foot Buffer Condition of Approval

Permit 06-0418 includes the following condition of approval:

Outside dog agility training and exercise areas shall be located a minimum of 50 feet from adjacent residential properties and fenced as necessary to reduce noise impacts to adjacent neighbors (Condition of Approval IV.C.7).

The applicant proposes to eliminate the prohibition on exercising dogs within the 50-foot buffer and allow one dog with a handler to be exercised in the area at a time except, on occasion, when a bonded pair of dogs would be allowed to exercise at the same time. A program statement for the exercise yard is provided as Exhibit K.

The original condition of approval was added by staff after the project's first hearing on March 14, 2007 to the staff report prepared for the continuance hearing on April 11, 2007. The staff report does not explain the impetus for the condition's addition. Audio files from both hearings also contain no specific discussion about a 50-foot buffer, although there is a brief discussion of an area labeled as "Public Agility Training Area" which is located about 50 feet away from the project site's northern property line. One member of the public, a resident of Casa Familia, refers to a 20-foot buffer, but there is no explanation regarding the purpose of this buffer and may be a reference to the setback of the small house on the northern parcel. Finally, the project's acoustic engineer, Jeff Pack, has confirmed that the 50-foot buffer was not a recommendation of his, i.e., it was not intended to mitigate noise (see Exhibit L). The buffer is not mentioned in the Mitigated Negative Declaration prepared for the project either in the discussion or as a mitigation.

Given this history, staff evaluated the request relative to the following considerations.

Support from Casa La Familia Board The proposal to revise the condition to allow dogs to exercise within 50 feet of the fence line was discussed at the neighborhood meeting. Although one Casa La Familia resident has made a formal complaint to the Planning Department regarding the use of the 50-foot buffer as an exercise yard, the homeowners association of Casa La Familia supports the proposed modification (see letter of support, Exhibit M). The HOA's primary concern is that no dogs be housed within 50 feet of the property line. There is no current proposal to house dogs within 50 feet of the property line, but the HOA's concern is proposed to

be addressed with the following condition of approval:

Dog housing areas shall be located a minimum of 50 feet from adjacent residential properties to reduce noise impacts to neighbors.

The elimination of the 50-foot buffer would also apply to the eastern property line which abuts one residential property. The residential property is long and narrow, and the exercise yard is adjacent to a carport structure located at the rear of the parcel. The exercise yard has been in this location for about six years without any complaints being made to the Planning Department.

Dog Behaviorist In addition, Carla Braden, a certified dog behaviorist, provided a statement supporting the use of the 50-foot buffer area for exercising dogs (see Exhibit N). She explains that active, engaged dogs tend not to bark. In contrast, noise complaints to animal control typically are associated with dogs left unattended in backyards for extended periods of time. Unlike many backyard dogs, the shelter dogs will always be accompanied by a volunteer who will actively engage the dog, clean up after the dog, and in the unlikely scenario that the dog begins to uncontrollably bark, remove the dog from the area.

Similar to Residential Dog Keeping Dogs are allowed in residential neighborhoods. In multi-family districts, up to one dog is allowed, and in single-family districts, up to two dogs are allowed per parcel. If the Animal Services campus was residentially-zoned, dogs could be legally allowed up to the property line. As noted above, many dogs do not have the supervision and engagement that shelter dogs have when outdoors. Given this, the proposed use would be analogous to a residential use, but superior given the oversight provided by volunteers.

Signs

New signs are proposed for the cat adoption center ("Surf Kitty Café") and training building, as well as two pedestrian-oriented direction signs (Exhibit O). The County's sign ordinance allows the northern parcel up to 35 square feet of sign area, one business sign, and one pedestrian sign. In this case, the applicant requests 31 square feet of sign area and five signs: three business signs and two pedestrian-oriented signs. Surf Kitty Café would be identified with new lettering on the existing monument sign, and a sign on the building. The new training building would have a sign on the building. The two pedestrian signs would provide direction to the café and training building. In addition to the proposed signage, an existing directional sign of 7.5 square feet straddles the shared property line with the southern parcel. This brings the total requested signage for the northern parcel to 38.5 feet. The southern parcel's signage, where the main Animal Services building is located, has about 20 square feet of signage consisting of one pedestrian-oriented sign at the corner of 7th Avenue and Rodriguez Street and a larger monument sign at the main driveway entrance.

County Code 13.10.587 (Sign Exceptions) allows exceptions to the sign ordinance. Given the size of the Animal Services campus and its two frontages, having adequate signage will ensure that members of the public can easily find their destination, reducing disruptions to traffic on 7th Avenue.

Design Review

All public projects are subject to the County's Design Review Ordinance (County Code 13.11). The proposed addition to the Animal Services building will match the style, materials, and colors of the existing building (see Exhibit D, Sheet A4.2). The proposed cat adoption center's addition will also match the existing style of the craftsman-style structure. The structure is proposed to be painted a light yellow color with white trim (Exhibit P). The training and education building is proposed to be painted blue with white trim. Like the Animal Services building, it will be of a simple pitched roof design finished in board and batten. The proposed colors complement the existing green color of the Animal Services building. The board and batten, which is often a residential finish material, will provide a visual transition to the residential use to the north.

As noted above, the construction of the training building requires the removal of one 20-inch DBH oak tree. County Code 13.11.0725 requires the retention of mature trees over six inches in diameter at five feet above ground level unless the tree obstructs the prime building site and an better project design is not possible without the tree removal, or the tree is dead, dying or diseased. In this case, the oak tree both obstructs the prime building site in that another building location would encroach into the pasture and outdoor exercise yards and, according to the project arborist report, is diseased (Exhibit Q). One live oak is required to be planted to compensate for the tree's removal.

Public Outreach/Public Comment

A neighborhood meeting was held on August 16, 2018 at 7 PM at the animal shelter (Exhibit R). At the meeting, the proposed changes were discussed, as was the proposed elimination of the condition of approval limiting exercise yards within 50 feet of the property line. According to the meeting notes, the attending neighbors supported the project.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number 181132, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

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Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Report review letters
- H. Project Program Statement
- I. Mott Macdonald trip generation / parking letter
- J. Veterans of Foreign Wars Post 7263 reciprocal parking agreement
- K. Exercise yard program statement
- L. Letter from Jeffrey Pack, Acoustic Engineer
- M. Casa La Familia letter of support
- N. Carla Braden, dog behaviorist, letter
- O. Sign plan
- P. Design review information
- Q. Arborist Report
- R. Neighborhood meeting information
- S. Program Statement and Conditions of Approval for Permit 06-0418
- T. Comments & Correspondence

CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 181132
Assessor Parcel Number: 026-063-01, 026-461-02
Project Location: 1001 Rodriguez St., Santa Cruz

Project Description: Proposal to remodel and add 704 square feet to the main animal shelter building, remodel and add about 212 square feet to create a cat adoption center with coffee shop service and new signs, expand the northern parking lot by 11 spaces, construct a training and education room of about 1,200 square feet, and allow dogs to exercise to the property line.

Person or Agency Proposing Project: Teall Messer

Contact Phone Number: 831-462-4721

- A. _____ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. _____ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. _____ Ministerial Project involving only the use of fixed standards or objective measurements without personal judgment.
D. _____ Statutory Exemption other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. X Categorical Exemption

Specify type: 15301 (Class 1) and 15303 (Class 3)

F. Reasons why the project is exempt:

The project proposes: a limited interior remodel of the Animal Services building and an addition of about 720 square feet; the conversion of the small house from an office/shelter use to a cat adoption center with coffee shop service, including additions totalling 212 square feet and a covered deck; the expansion of the northern parking lot by 11 spaces; construction of an approximately 1,200 square foot training room and 448 s.f. patio; and the establishment of a dog exercise yard to extend to the property line.

Under the Class 1 exemption (Existing Facilities), additions of up to 10,000 square feet are allowed when the project is in an area where all public services and facilities available and when the project is not located in an environmentally sensitive location. The subject parcels are located

EXHIBIT A

within the urban services line in a location where all public services and facilities are available and the site is not considered to be an environmentally sensitive location. The proposed additions (at the main building and cat adoption center), total less than 1,300 square feet.

In addition, the Class 3 exemption (New Construction or Conversion of Small Structures) allows for the new construction of small structures, including structures of up to 10,000 square feet in floor area on sites zoned for such use if not involving significant amounts of hazardous substances where all necessary public services and facilities are available and the area is not environmentally sensitive. In this case, the proposed new training building would be about 1,200 square feet, i.e., well below the 10,000 square foot threshold. It will involve no hazardous substances; all necessary public services are available; and the site is not located in an environmentally sensitive area. The project proposes to continue the shelter use approved under Master Plan 06-0418 for the small structure on APN 026-461-02 and add an incidental coffee service use along with minor modifications to the structure's exterior.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Annette Olson, Project Planner

Date: _____

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for public facility uses. Construction will comply with prevailing building technology, the California Building Code, the project soils report, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the additions to the main Animal Services building and the cat adoption center, as well as the location of the new training room, and the conditions under which the Animal Services campus would be operated and maintained will be consistent with all pertinent County ordinances and the purpose of the PF (Public and Community Facilities) zone district. The primary use of the property will continue to be the Animal Services campus which, along with the proposed construction, meets the site standards for the zone district. The proposed additions to the cat adoption center and the new training and education building will comply with the 20-foot side yard setback that is required when a PF-zoned is adjacent to a residential zone district. Animal uses have occupied the site since the 1950s and, in the 1970s, the SPCA obtained a use approval for a shelter use.

The proposed coffee service at the cat adoption center would be an incidental use to the primary use of the building as a cat adoption center. The intent of the coffee service is to induce the public to participate in the cat adoption center and to create a more relaxed environment than is found at a typical cat shelter. The shelter use of the building was authorized under the Master Plan and the proposed cat adoption use is consistent with the number of animals authorized under Permit 06-0418 which allowed six dogs and 12 cats. The applicant anticipates that the cat adoption center would host between five and 15 cats. With the elimination of dogs, the potential for noise impacts to neighbors is reduced. Given that the cats will be kept within the building, they will have no impact on the adjacent neighbors.

New signs are proposed for the cat adoption center ("Surf Kitty Café") and the training and education building, as well as two pedestrian-oriented direction signs (Exhibit O). The County's sign ordinance (13.10.581) allows the northern parcel up to 35 square feet of sign area, one business sign, and one pedestrian sign. In this case, the applicant requests 31 square feet of sign area and five signs: three business signs and two pedestrian-oriented signs. Surf Kitty Café would be identified with new lettering on the existing monument sign, and a sign on the building. The new training building would have a sign on the building. The two pedestrian signs would provide direction to the café and training building. In addition to the proposed signage, an existing directional sign of 7.5 square feet straddles the shared property line with the southern parcel. This brings the total requested signage for the northern parcel to 38.5 feet. County Code

13.10.587 (Sign Exceptions) allows exceptions to the sign ordinance. Given the size of the Animal Services campus and its two frontages, having adequate signage will ensure that members of the public can easily find their destination, reducing disruptions to traffic on 7th Avenue. The proposed sign area will be in proportion to the 2.7 acre campus, its 720 feet of frontage, and new and proposed buildings.

In conformance with County Code 13.10.553(A) (Parking Plan), the applicant submitted a parking and trip generation study prepared by J. Daniel Takacs, Principal Engineer, of Mott Macdonald. The project proposes to expand the northern parking lot from the existing 10 parking spaces to 21 spaces, an increase of 11 spaces. According to Mr. Takacs, this expansion will be adequate to accommodate the cat adoption center parking demand and most of the training building parking. Except for large events held in the training and education building, the peak parking demand for the cat café and training building is calculated to occur between 8 AM and 9 AM when the total parking demand would be 17 vehicles. The parking demand for large evening meetings would exceed the parking supply in the northern parking lot. By condition of approval, these larger meetings would be required to be held after the animal shelter is closed so that participants can use the 34 spaces located in the southern parking lot. Together, these two lots would accommodate the maximum calculated parking demand for large meetings of 42 spaces. The animal shelter has also secured a reciprocal agreement to share parking with the Veterans of Foreign Wars hall located across 7th Avenue from the shelter (Exhibit J). This will ensure that the animal service's parking demand will not impact the neighborhood.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed institutional use is consistent with the use and development requirements specified for the P (Public/Institutional Facilities) land use designation in the County General Plan. The project site is located within the Urban Services Line where urban infrastructure, including sewer and water, is available. Pursuant to General Plan Objective 2.21 program, the project is consistent with the Public Facility (PF) zoning regulations that govern the location, design, and use of public facilities, and this application is an Amendment to the Master Plan approved under Permit 06-0418.

Consistent with General Plan Policy 2.21.3 (Allowed Uses in Public Facility/Institutional Designations), the Public Facility land use designation on this site is utilized for the Santa Cruz County Animal Shelter, a public use.

As required by General Plan Policy 8.1.2 (Design Review Ordinance), the project was designed and reviewed to ensure compatibility with surrounding uses through the application of the Design Review ordinance (County Code 13.11). The project was designed to both be compatible with the existing development on the Animal Services campus as well as the surrounding neighborhood. The modifications to the cat adoption center are compatible with the original design of the structure as a Craftsman bungalow. The proposed additions match the existing materials, including details like brackets. The new training and education building is a one story, modestly-sized structure (about 1,200 square feet) finished in the same board and batten material as the main shelter. The additions to the main shelter will match the existing materials and colors. The project's single-story design, pitched roofs, and board and batten finish material have a residential feel that will continue to ensure that the Animal Services campus is compatible with

the surrounding residential neighborhood.

The project complies with General Plan Policy 8.5.2 (Commercial Compatibility with Other Uses), in that the site has been used since the 1950's for animal uses, including as the SPCA headquarters in the 1970's. The facility was established under Permit 06-0418 and was designed to control noise impacts to neighbors both by siting dog housing away from property lines and by utilizing construction techniques to minimize the transmission of noise. The facility is located at the corner of 7th Avenue, an arterial roadway, and Rodriguez Street, a collector roadway, which ensures that shelter traffic will not disrupt residential neighborhoods served by local streets. The project site is a part of a broader area designated as "P" which also supports Green Acre Elementary, Holy Cross Cemetery, the day labor center, and a veterans hall.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities, and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed additions and the new 1,200 square foot training and education building are, relative to the overall size of the facility, modest additions that will not overload utilities. A trip generation study was provided that was reviewed and accepted by the Department of Public Works, Road Engineering division. The trip generation study calculated that, on surgery days, the project, including trips generated by the cat adoption center and training building, would result in 18 morning peak trips and six afternoon peak trips (Exhibit I). Such an increase will not adversely impact existing roads or intersections in the surrounding area.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed development is at the existing Animal Services campus. The campus has been the site of animal uses since the 1950's and, as a result, predates much of the residential development in the area. The proposed remodel and additions to the main Animal Services building will not result in any change of use and will have only a minor design impact. The addition was designed to be compatible with the existing building both in terms of design and finish materials. The cat adoption center, including the additions, will complement and harmonize with the existing land uses in the vicinity. As noted above, the master plan for the Animal Services campus authorized the ancillary use of the building as a shelter for six dogs and 12 cats. The proposed cat adoption center would eliminate the dog use which will make the overall use of the building more compatible with the surrounding land uses since cats are typically quieter than dogs. The proposed additions to the cat adoption center are compatible with the structures Craftsman design. The new training and education building is similar in style to the Animal Services building as both are one-story structures finished in board and batten with pitched roofs. The use of the building will mostly accommodate uses already occurring on the campus. The structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed development is consistent with the existing approved shelter use and the design is compatible with the neighborhood. The proposed six-foot tall wooden fence to be located between the cat adoption center and the Casa La Familia parking lot will be compatible

with the neighborhood in that it will appear as a typical residential fence. No dwellings are proposed as a part of this application.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

All public projects are subject to the County's Design Review Ordinance (County Code 13.11). The proposed addition to the Animal Services building will match the style, materials, and colors of the existing building (see Exhibit D, Sheet A4.2 and Exhibit P). The proposed cat adoption center's addition will also match the existing style of the craftsman-style structure. The cat adoption center is proposed to be painted a light yellow color with white trim. The training and education building is proposed to be painted blue with white trim. Like the Animal Services building, it will be of a simple pitched roof design finished in board and batten. The proposed colors complement the existing green color of the Animal Services building. The board and batten, which is often a residential finish material, will provide a visual transition to the residential use to the north. All of the buildings and additions are one-story in height which will minimize the visual impact of the development on the surrounding neighborhood.

The construction of the training building requires the removal of one 20-inch DBH oak tree. County Code 13.11.0725 requires the retention of mature trees over six inches in diameter at five feet above ground level unless the tree obstructs the prime building site and an appreciably better project design is not possible without the tree removal, or the tree is dead, dying or diseased. In this case, the oak tree obstructs the prime building site. The training building is proposed to be clustered with the existing development to preserve the large animal barn and pasture area as well as the outdoor exercise yards. In addition, Robert B. Hoffman, the project arborist, found that the tree has oak worm devastation, basal decay, and has been subject to extreme pruning. Given these considerations, the proposed tree removal complies with County Code.

Conditions of Approval

Exhibit D: Architectural plans, 10 sheets, prepared by Teall Messer, revised to July 10, 2019
Landscape plans, 2 sheets, prepared by Gregory Lewis, dated 10/4/17.
Civil plans, 4 sheets, prepared by David Heinrichsen of Ifland Engineers, dated 9/7/18
Electrical details, notes and symbols, 1 sheet, prepared by Prime Design Group, October 13, 2017.

This permit authorizes the following as an Amendment to Master Public Facility Site Plan 06-0418 as indicated on the approved Exhibit "D" and in the program statement for this permit:

- In Phase 1, remodel the Animal Services building on APN 026-063-01 to expand the veterinary procedure area, create a new meeting room, expand the building by 704 square feet to accommodate rabbits and cats, recognize the spay / neuter clinic serving the public, and eliminate condition of approval IV.C.7 of Permit 06-0418 which prohibits dog training and exercise areas within 50 feet of adjacent residential properties;
- In Phase 2, remodel and add a covered deck and 212 s.f. to the existing structure on APN 026-461-02 to become a cat adoption center with coffee shop service, expand the existing northern parking lot by 11 spaces, and install three identification and two pedestrian signs; and
- In Phase 3, remove one 20-inch DBA oak tree, construct a new 1,216. s.f. training and education building with a 448 s.f. patio to the east of the cat adoption center.

This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit.

- I. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - C. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans

EXHIBIT C

marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:

1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Planning Department review and approval.
3. Grading, drainage, and erosion control plans.
4. The additions to the cat adoption center and the new training and education building must meet the 20-foot side yard setback to the northern property line.
5. Show one oak tree on the landscape plan to compensate for the removal of the 20-inch coast live oak. The project arborist shall recommend the appropriate specie of oak tree and the size it should be at planting.
6. Details showing compliance with fire department requirements.
7. Show the arborist's tree protection recommendations on the project plans and submit a plan review letter by the arborist.
8. A lighting plan for the proposed development must be submitted which complies with the following:
 - a. All site, building, security, and landscape lighting shall be directed onto the site and away from adjacent properties. Light sources shall not be visible from adjacent properties. Light sources can be shielded by landscaping, structure, fixture design or other physical means. Building and security lighting shall be integrated into the building design.
 - b. All lighted parking and circulation areas shall utilize low-rise light standards or light fixtures attached to the building. Light standards to a maximum height of 15 feet are allowed.
 - c. Area lighting shall be done so with energy-efficient fixtures.
9. Any rooftop mechanical and electrical equipment shall be designed to be

an integral part of the building design and shall be screened.

10. New utilities serving the training and education building shall be installed underground. Utility equipment such as electrical and gas meters, electrical panels, junction boxes, and backflow devices shall not be located on exterior wall elevations facing streets unless screened from streets and building entries using architectural screens, walls, fences, and/or plant material.
 11. Submit any substantial changes proposed to the building or finish materials for Planning Commission approval.
- B. Meet all requirements of and pay Zone 5 drainage fees to the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area. Address the following:
1. This application is proposing more than 5,000 square feet of new impervious and/or semi-pervious area, which is considered a "Large Project" per Part 3 Section C.1 of the County Design Criteria (CDC). Please address the CDC and implement the most feasible best management practices to minimize pollutant and hydraulic impacts due to development and re-development. The design criteria can be found on the internet by navigating to County of Santa Cruz Public Works Department, Stormwater, Design Criteria. a. Please note – a drainage fee will be assessed on the net increase in impervious area (i.e., roofs, paved areas, patios, walkways, driveway, etc.). The fees are currently \$1.31 per square foot. A 50% credit is given when you use semi-pervious pavement such as, pavers, baserock, pea gravel, porous concrete.
 2. A final Stormwater Management Report with calculations demonstrating how the mitigation features will maintain pre-development discharge rates and groundwater recharge rates will be required. Safe stormwater overflow shall be incorporated into the project design. A registered civil engineer shall provide the following: a. Please show how the project will address Source Control Measures per Part 3, Section C.2 (pg. 52) of the CDC. b. The Review Responses letter by Ifland Engineers, dated 28 August 2018, states that retention has been deemed infeasible. Project shall incorporate the next feasible mitigation to treat runoff in accordance with Part 3, Section C.3.b (pg.53) of the CDC. Final design shall show how all of the new and/or replaced impervious areas will be routed to the proposed mitigations. c. Please provide a tributary area map that clearly delineates subwatershed areas that drain toward each of the mitigation features. Pervious areas exceeding 10% incidental run-on shall not be routed to nor included in detention/retention volumes per the CDC. d. Please provide construction cross-section details for all proposed permanent stormwater mitigation features. The details must include all necessary information for the accurate construction of the proposed mitigation features.
 3. Please inspect the condition of the existing 24-inch and 30-inch stormdrain

- pipes to determine their functionality and provide documentation of the pipe condition. Please add construction guidance notes on the plans to ensure the existing stormdrain pipe does not become damaged.
4. All storm drain inlets shall include signage stating, "No dumping, drains to ocean."
 5. Please provide a notarized and recorded SWM-25B Maintenance Agreement and an updated Operations & Maintenance (O&M) manual for this application that includes all pertinent details for the on-going inspection and maintenance of the designed drainage system. Please include detailed management activities, maintenance requirements, signs of system failure, and responsible party both in the recorded maintenance agreement as well as the final plans. Please note that the Santa Cruz County Animal Services is responsible for drainage maintenance on the subject property and shall be responsible for any repairs/cost, including the proposed improvements within the drainage easement.
- C. Meet all requirements of the Santa Cruz County Sanitation District.
- D. Obtain an Environmental Health Clearance for this project from the County Department of Environmental Health Services. The applicant must submit a food facility plan review application.
- E. Meet all requirements of the Environmental Planning section of the Planning Department
1. The project design and construction shall comply with the recommendations of the soils report.
 2. Building permit application plans shall reference the soils report and update(s), include contact information for the geotechnical engineer, and include a statement that the project shall conform to the recommendations of the geotechnical engineer.
 3. The applicant shall submit a signed and stamped Soils (Geotechnical) Engineer Plan Review Form to Environmental Planning. The plan review form shall reference each reviewed sheet of the final plan set by its last revision date. Any updates to the soils report recommendations necessary to address conflicts between the report and plans must be provided via a separate addendum to the soils report. The author of the report shall sign and stamp the completed form. An electronic copy of this form may be found on our website: www.sccoplanning.com, under "Environmental", "Geology & Soils", "Assistance & Forms", "Soils Engineer Plan Review Form".
 4. Building permit application plans shall clearly represent all proposed grading, including any overexcavation and recompaction as recommended by the geotechnical engineer on page 10 of the report.
 4. Plan submitted for the building permit shall show the location of a replacement coast live oak.
 5. The applicant shall submit a drainage plan that complies with the requirements set forth in 2016 California Building Code (CBC) Section 1804.4 and the recommendations of the soils engineer.

6. The applicant shall submit a stormwater pollution control plan that meets the requirements set forth in the County's Construction Site Stormwater Pollution Control BMP Manual.
 - F. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
 - G. Submit 3 copies of plan review letters prepared and stamped by the project Geotechnical Engineer.
 - H. Pay the Live Oak Transportation Improvement Area (TIA) fees at a rate of \$600 (\$300 for roadside improvement fees + \$300 for transportation improvement fees) per daily trip-end generated by the proposed development. Payment of TIA fee is required prior to issuance of building permit. As per the County of Santa Cruz trip generation rate table, the trip-end generation rate for a coffee shop / restaurant is 32 trip-ends per 1,000 SF. For fee purposes is estimated that this project will generate 43 trip-ends (1,346 SF/1,000 SF X 32 trip-ends = 43 trip-ends).
 - I. Provide required off-street parking for 21 cars in the northern parking lot. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - J. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. A preconstruction meeting shall be scheduled 1-4 days prior to commencement of earthwork. Attendees shall include Environmental Planning staff, the grading contractor, the soils engineer, and the project arborist. Perimeter erosion control and tree protection will be inspected by Environmental Planning staff.
 - B. Prior to ground disturbance, the developer shall designate a disturbance coordinator to respond to citizen complaints and inquiries from area residents during construction. A 24-hour contact number shall be conspicuously posted on the job site. The disturbance coordinator shall record the name, phone number, and nature of the disturbance. The disturbance coordinator shall investigate complaints and take remedial action, if necessary, within one business day of receipt of the complaint or inquiry. Unresolved bona fide complaints received by the County staff from area residents may result in a "stop work" until the complaint is resolved.
 - C. Construction shall occur only on weekdays between the hours of 8 AM and 5 PM, unless a temporary exception to this time restriction is authorized in advance by the Planning Director in response to an emergency circumstance.

- D. All site improvements shown on the final approved Building Permit plans shall be installed.
- E. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
- F. The project must comply with all recommendations of the approved soils report, by Pacific Crest Engineering, dated September 2017.
- G. The project must comply with the tree protection recommendations of the project arborist.
- H. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- B. **Master Plan Program (Public Facility Use)**
The following uses are authorized by the Master Plan and supersede those identified in Permit 06-0418.
 - 1. Main Shelter Building (1001 Rodriguez Street)
 - a. The following uses are authorized:
 - i. Animal Services Authority administrative offices;
 - ii. Animal shelter;
 - iii. Appurtenant support facilities/uses as described in the original program statement;
 - iv. A spay / neuter clinic serving the public one day per week.
 - b. The main animal shelter is authorized to be open seven days a week, from 10 AM to 6 PM, except on Wednesdays when it may be open until 7 PM. Volunteers and employees are allowed to be on site earlier and later than the public hours.

2. Barn and Pasture

- a. The barn and pasture shall provide temporary shelter for large animals and livestock.

3. Cat Adoption Center (2260 7th Avenue)

- a. 2260 7th Avenue is authorized to be used as a cat adoption center with coffee shop service as an ancillary use to the primary use of the building as a cat adoption center.
- b. The cat adoption center is authorized to be open seven days a week from 8 AM to 4 PM. Special events may be held after 4 PM, but shall end before 8 PM and shall not occur when an event is occurring in the Training and Education Building.
- c. A maximum of 15 cats are allowed in the cat adoption center at one time.
- d. The cat adoption center shall comply with the requirements of Environmental Health Services, including the requirement that animals may not be present in or cross contaminate any food storage or food preparation area.
- e. In the event that the cat adoption center use ceases, the structure may be used as an office space for a public agency or community serving use with ancillary programs/uses as described in the program statement provided as a part of Permit 06-0418.

4. Training and Education Building

- a. Training and education events shall end no later than 8 PM.
- b. Large meetings requiring more than 21 parking spaces shall occur after the cat adoption center and main animal shelter are closed to the public to ensure that adequate parking is available on-site.

5. Exercise Yard located within 50 feet of the adjacent residential use

- a. No more than one dog shall be exercised at a time with the exception of bonded pairs of dogs.
- b. Dogs shall always be accompanied by a trained volunteer or employee.
- c. Uncontrollably barking dogs shall be removed from the exercise yard.

- d. All dog waste shall be immediately cleaned up.
- C. All dog housing areas shall be located a minimum of 50 feet from adjacent residential properties to reduce noise impacts to neighbors.
- D. Any significant changes to the Program Statement, facility operations, or intensifications of use shall be submitted to the Planning Department for review to determine conformity with the County Code, Public Facilities Zoning, Chapter 18.10, and General Plan and with the intent of this Master Plan approval. Significant changes shall be returned to the Planning Commission at a public hearing.
- E. The Animal Services facility operators shall designate a contact person to serve as a conflict resolution coordinator to address neighbor concerns as they may arise, including but not limited to noise, odor control, or parking. The number of the coordinator shall be made available to neighbors either through a mailing or on the ASA's website. Any standing conflict that cannot be resolved shall be returned to the Planning Department for additional use permit review.
- F. No outdoor unscreened storage visible from public roads or adjacent residences is permitted.
- G. No public announcement (PA) system or outdoor loudspeakers are allowed.
- H. The regular operations of the facility shall ensure that the premises are kept in a neat and sanitary manner by the daily removal of excrement and the use of sprays and disinfectants, as determined to be necessary by Environmental Health Services, to prevent an accumulation of flies, the spread of disease, offensive odor, or excessive dust.
- I. Facility landscaping shall be permanently maintained. Dead plants shall be replaced in kind.
- J. The facility operators and property owner shall be responsible for the ongoing maintenance of all street trees and landscaping within the County right-of-way, including the maintenance of the required automatic irrigation system and replacement of dead or diseased plants/trees.
- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.

- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor'(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit is obtained for the first phase of the project consisting of one of the primary structures described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Application #: 181132
APN: 026-063-01, 026-461-02
Owner: County of Santa Cruz

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Planning Commission, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.



**Teall
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Architect**

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Santa Cruz, CA 95062
(408) 485-4741
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Remodeling,
Additions, and Training
Building at
Santa Cruz County
Animal Services

2200 and 2260 7th Ave.
Santa Cruz, California

APN: 024-063-97
024-461-02

Job: 03 November 2017
Revised: 14 DEC 1, 2017
10 JULY 2014
REVISED

**ARCHITECTURAL
SITE PLAN**

© Teall Messer Architect

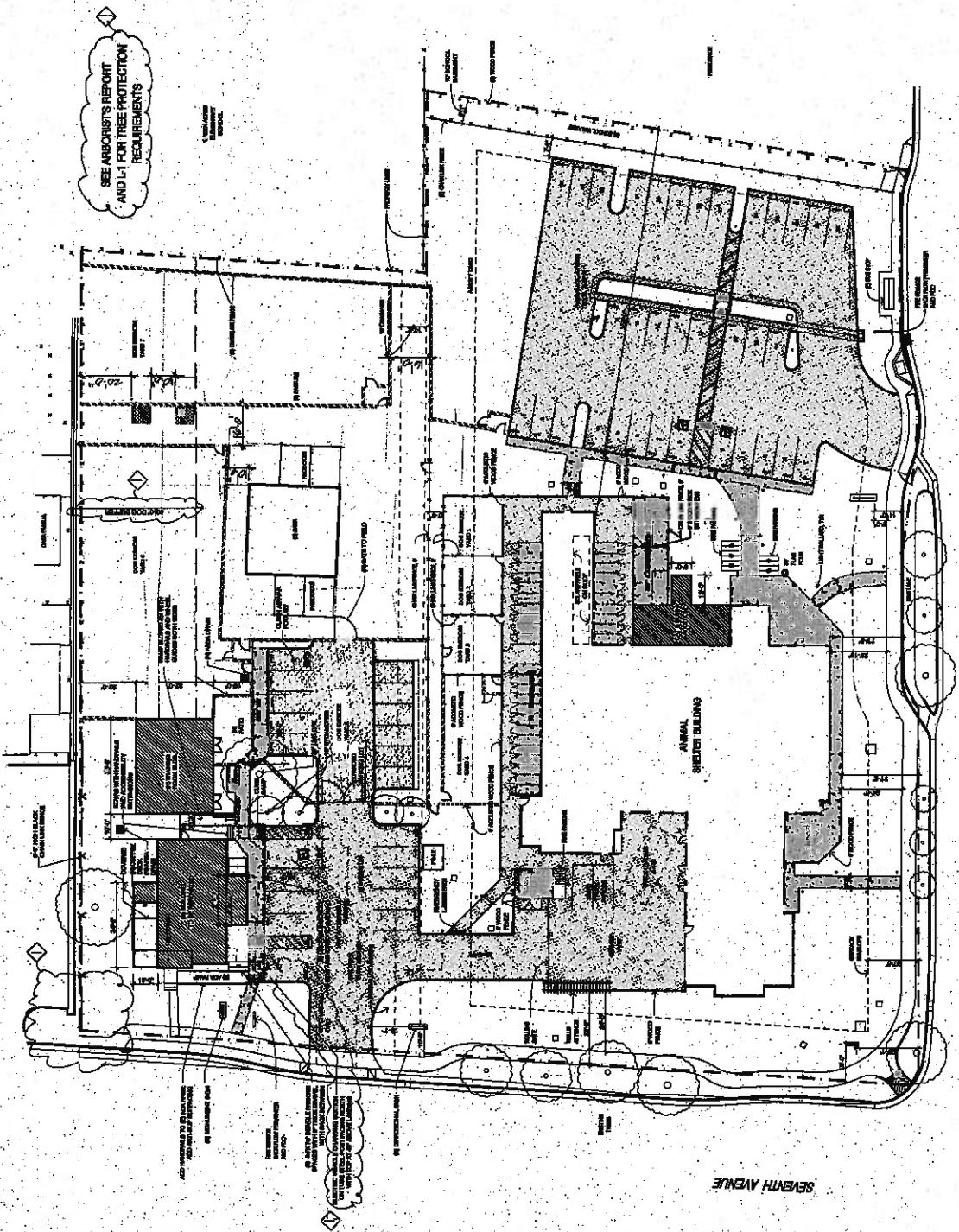
A2.0

SITE LEGEND



EXISTING BUILDING
NEW BUILDING
EXISTING DRIVE

SEE ARBORIST'S REPORT
AND L-1 FOR TREE PROTECTION
REQUIREMENTS



ARCHITECTURAL SITE PLAN
Scale 1" = 20'

RODRIGUEZ STREET

SEVENTH AVENUE



**Teall
Messer
Architect**

2832 Glen Heyes Road
Sausalito, CA 94965
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teallmesserarchitect.com

Remodeling,
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Building at
Santa Cruz County
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2200 and 2260 7th Ave,
Santa Cruz, California

APN's
026-062-97
026-461-02

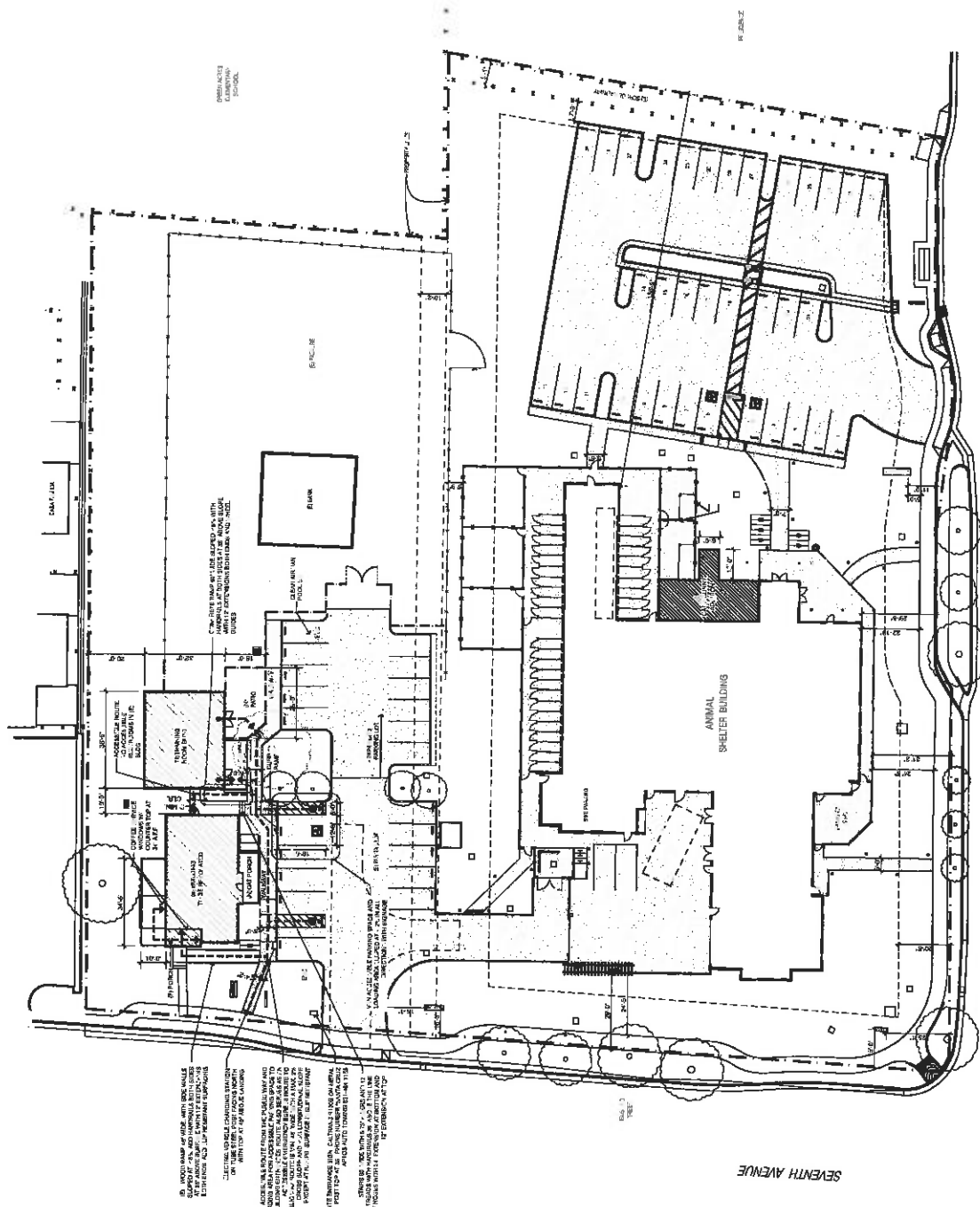
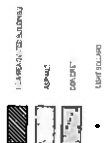
Date:
Revision:
8 August 2017

ACCESSIBILITY
SITE PLAN

© Teall Messer Architect

A2.1

SITE LEGEND



RODRIGUEZ STREET

ACCESSIBILITY SITE PLAN

SHEET 1 OF 2



Date: 13 December 2017
 Revision:

© Team Messer Architect

A2.2

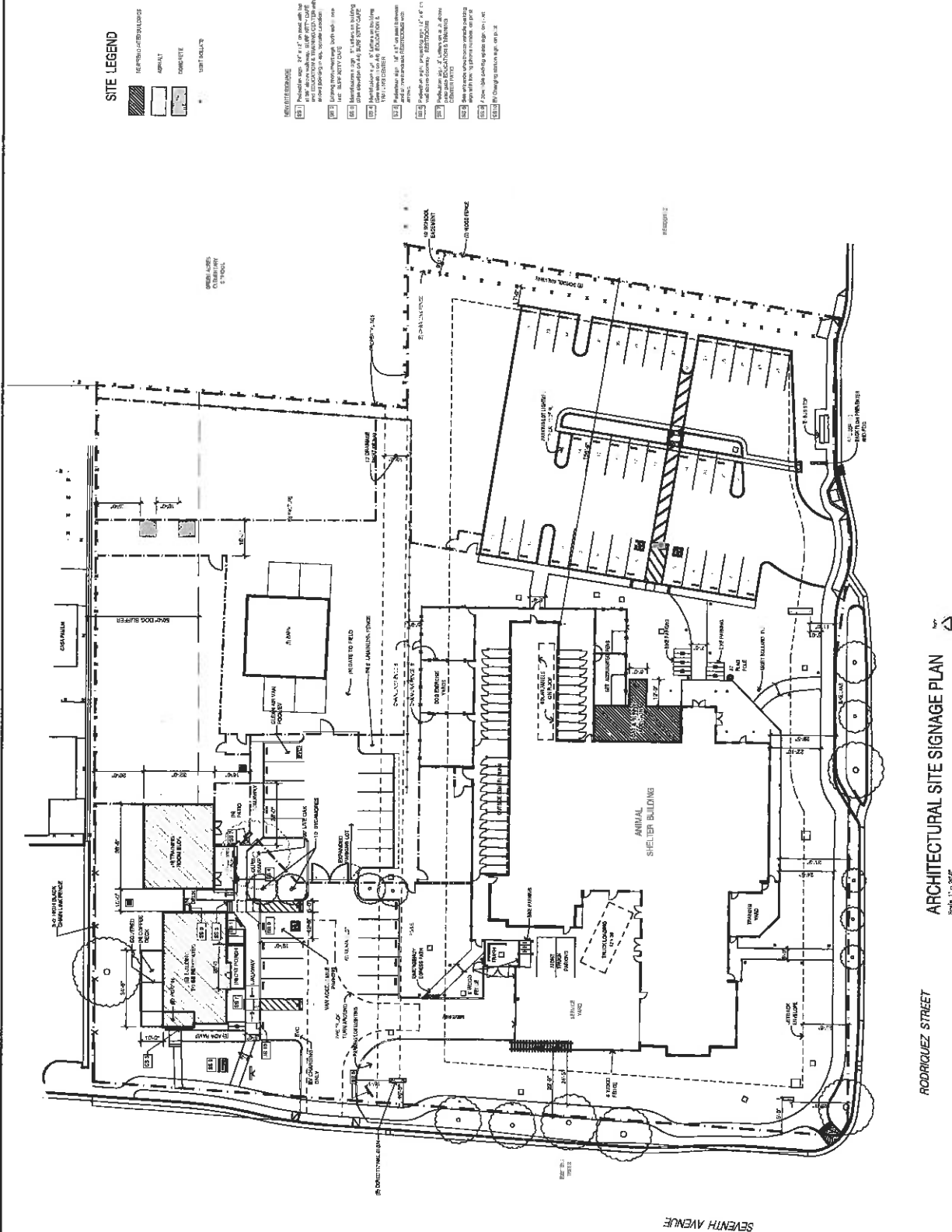




APN's
026-062-97
026-461-02

after
study has

A2.3



ARCHITECTURAL SITE SIGNAGE PLAN

RODRIGUEZ STREET



**Tealli
Messer
Architect**

3430 Glen View Road
San Jose, CA 95128
(408) 435-0751
www.teallimesser.com

County Name

**Remodeling,
Additions and New
Training Building at
Santa Cruz County
Animal Services**

2200 and 2200 7th Ave.
San Jose, CA 95128

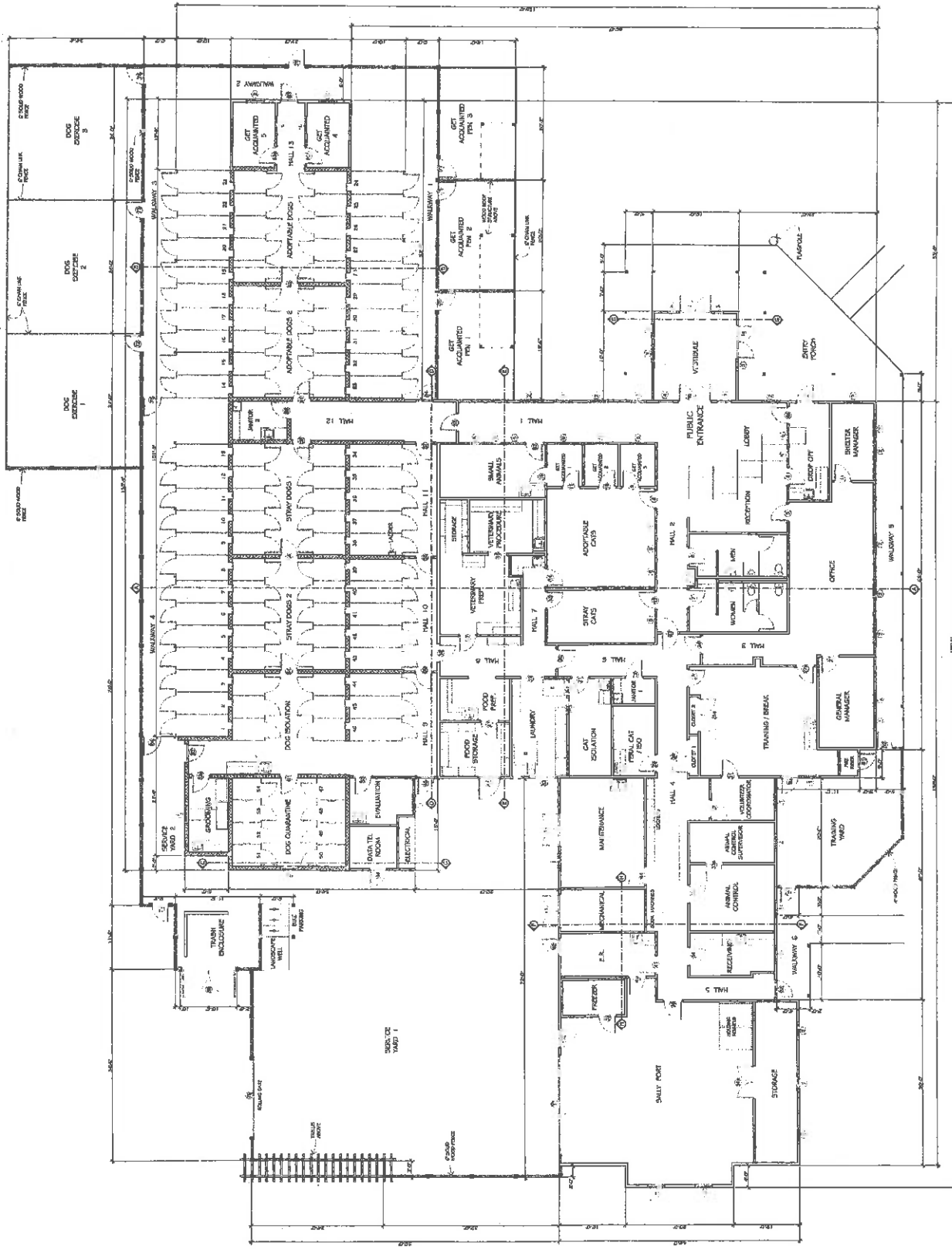
APN 036-062-07
036-061-02

Date: 12/10/2019
Version:

**2200 Existing
Floor Plan**
1/8" = 1'-0"

Sheet Number
2200 Existing Floor Plan

A 3.1





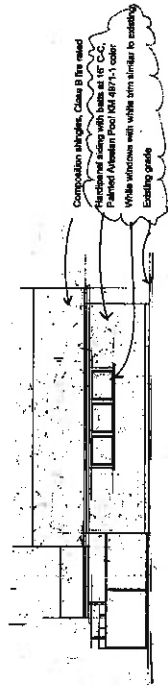
Date: 15 Dec 2019
 10 JULY 2019

A 3.2

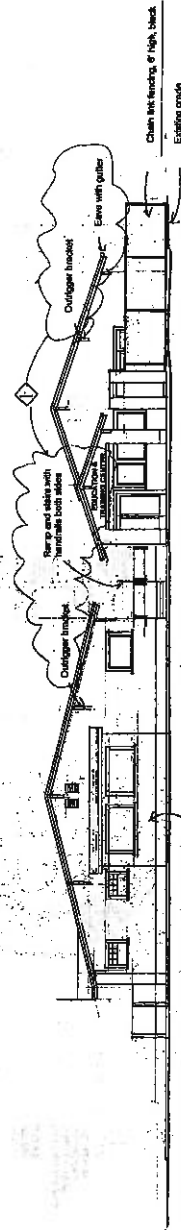


| | |
|---|---|
| 2200 7th Ave. Occupancies Existing building area Addition Total with addition | B animal pound, S-2 low hazard storage 13,144 600 13,752 sq. ft. O.K. as VB |
| 2290 7th Ave. Cat Café building Area | B, animal kennel and M catfish sales 1,345 sq. ft. O.K. as VB |
| Cat Café coffee dock Area | M, mermaid 404 sq. ft. O.K. as VB |
| Dog training building Building area Training patio | A-3, assembly 1,200 sq. ft. O.K. as VB 448 |

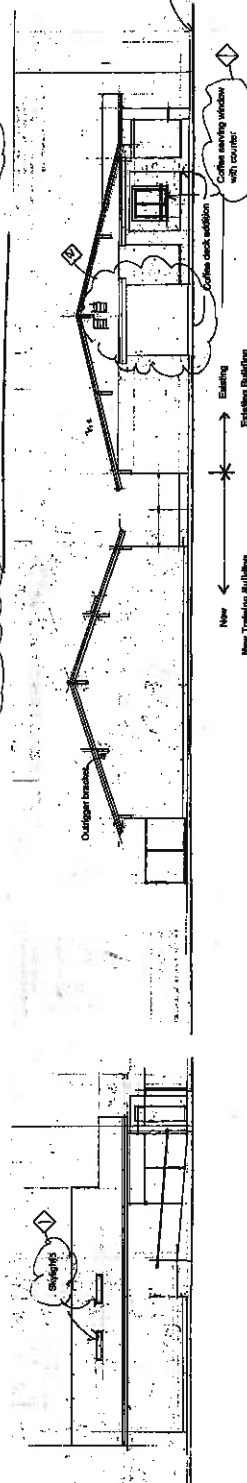




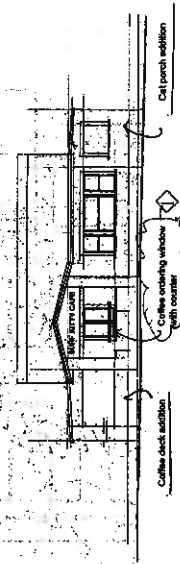
East Elevation, Training Building



South Elevations



West Elevation of Training Building



West Elevation, Existing Building



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Remodeling,
Additions, and Training
Building at
Santa Cruz County
Animal Services

2200 and 2240 7th Ave.
Santa Cruz, California

APN's
034-062-47
034-461-02

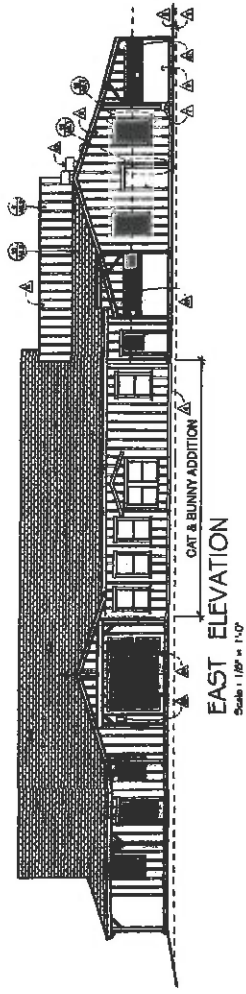
03 November 2017

Scale:
As Shown

**EXTERIOR ELEVATIONS
2200 7TH AVENUE**

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A4.2



PHOTORENDERING OF 2200 7TH AVENUE



Teall
Messer
Architect

200 West Street
Santa Cruz, CA 95061
408-461-4751
teallmesserarchitect.com

Remodeling,
Additions, and Training
Building at
Santa Cruz County
Animal Services

2200 and 2260 7th Ave.
Santa Cruz, California

APN:
0314-013-07
028-461-02

Date: 7 December 2017
Revised:

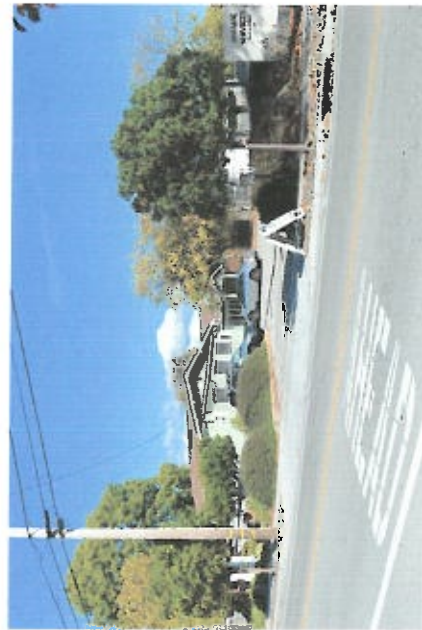
TRAINING BUILDING
PHOTO RENDERINGS

Teall Messer Architect

A9.0



2 SOUTHWEST VIEW - EXISTING



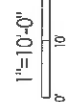
4 SOUTHWEST VIEW - PROPOSED



1 NORTHWEST VIEW - EXISTING

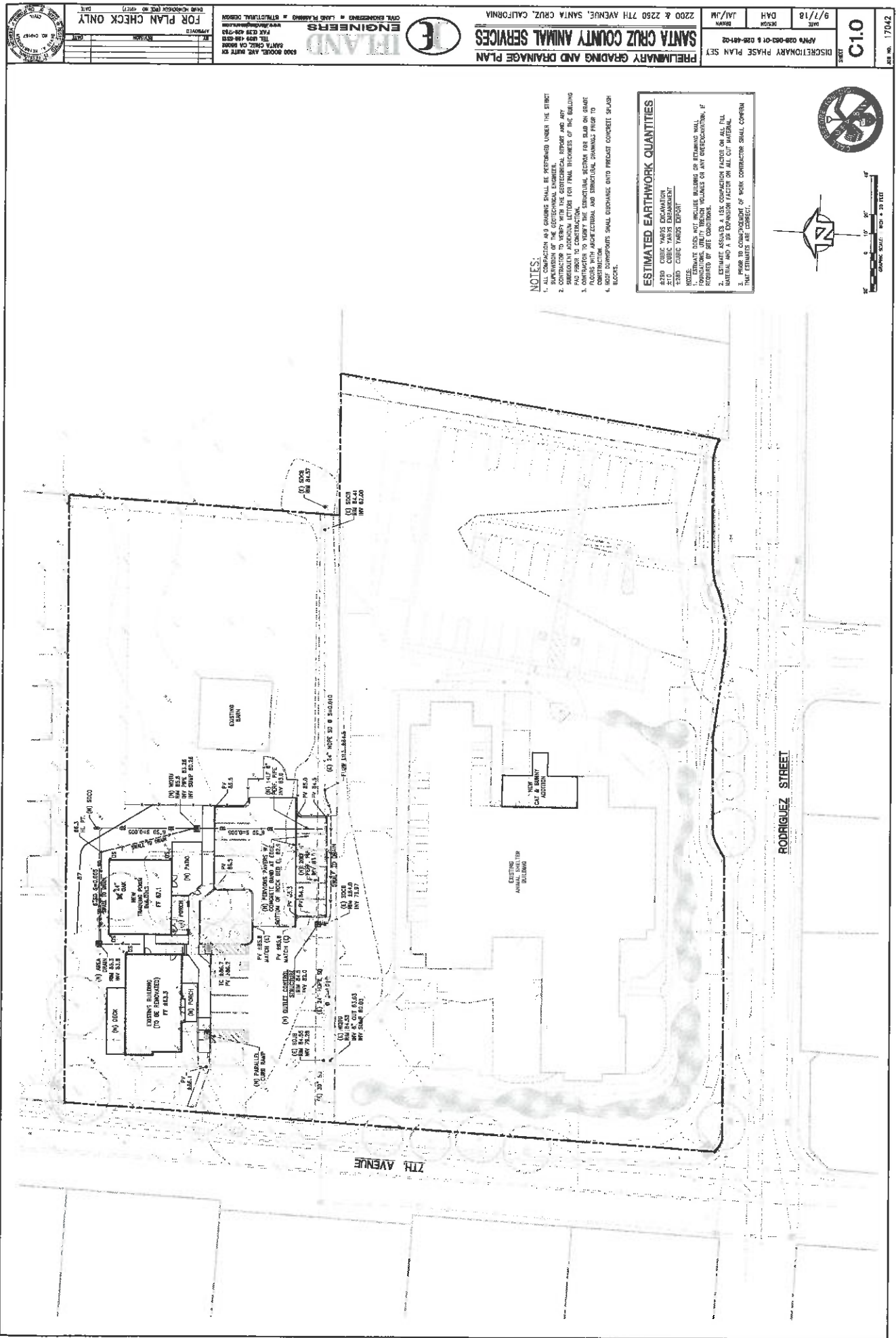


3 NORTHWEST VIEW - PROPOSED



Planting Plan

No Scale



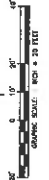
- NOTES:**
1. ALL CONSTRUCTION GRADING SHALL BE PERFORMED UNDER THE STRICT SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER.
 2. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EXCAVATION OR FILLING OPERATIONS.
 3. PREPARE TO CONSTRUCTION.
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CALIFORNIA ENGINEERING SPECIFICATIONS FOR ROAD AND GRADE CONSTRUCTION.
 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CALIFORNIA ENGINEERING SPECIFICATIONS FOR PRECAST CONCRETE.
 6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CALIFORNIA ENGINEERING SPECIFICATIONS FOR PRECAST CONCRETE.

ESTIMATED EARTHWORK QUANTITIES

| |
|------------------------------|
| 2,120 CUBIC YARDS EXCAVATION |
| 2,120 CUBIC YARDS FILL |
| 2,120 CUBIC YARDS EXPORT |

NOTES:

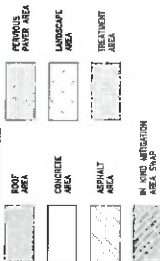
1. ESTIMATE DOES NOT INCLUDE BUILDING OR RETAINING WALL FOUNDATION OR ANY OTHER STRUCTURE OR ANY DEWATERING, IF REQUIRED BY SITE CONDITIONS.
2. ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 95% COMPACTION FACTOR ON ALL CUT MATERIAL.
3. PRIOR TO CONSTRUCTION OF WORK CONTRACTOR SHALL OBTAIN THAT ESTIMATES ARE CORRECT.



[illegible]

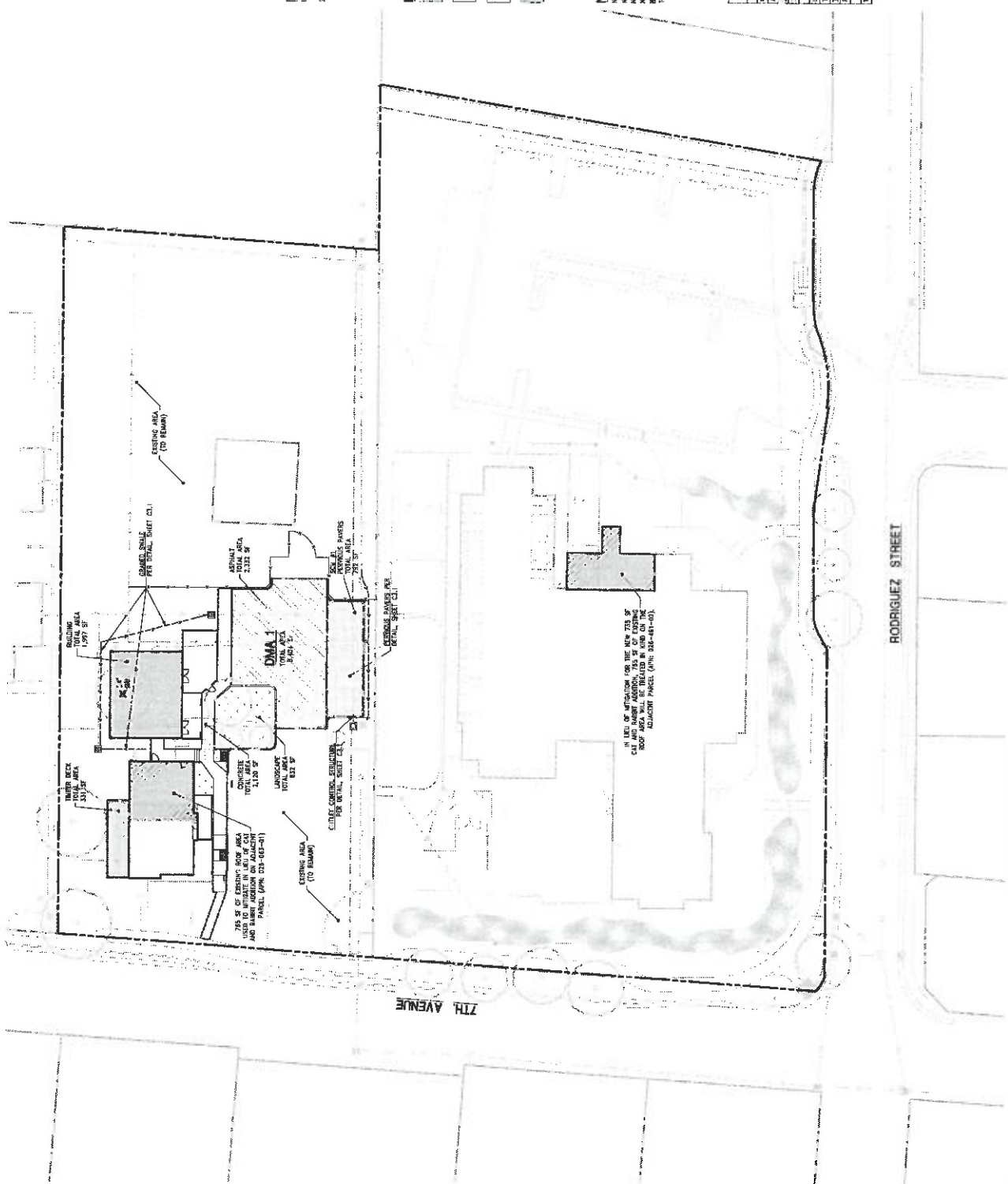
| | |
|---|--------------------------|
| NEW IMPERVIOUS AREA SUMMARY | |
| NEW BUILDING ROOF (HATCHED): | 1,097 SF |
| NEW ADDITION ROOF (CAT & BUMPY): | 735 SF |
| NEW CONCRETE WALKWAYS: | 2,160 SF |
| NEW ASPHALT DRIVEWAYS: | 2,332 SF |
| TOTAL NEW IMPERVIOUS PAVING (SQUARE FEET): | 318 SF = (392.72) |
| TOTAL NEW IMPERVIOUS AREA | 7,580 SF |

HATCH LEGEND



NOTES

1. FOOT DOWNSPOLTS SHALL DISCHARGE ONTO PRECAST CONCRETE SPLASH BLOCKS.
2. CALCULATIONS AND DETAILS SHOWN ON SHEET C3.1 ARE PRELIMINARY, AND WILL BE FINALIZED IN THE CONSTRUCTION DOCUMENT PHASE. PAYER SECTION AND MATERIALS ARE SUBJECT TO CHANGE PER REVIEW OF GEOTECHNICAL ENGINEER.





FOR PLAN CHECK ONLY
DATE: 9/7/18
DRAWN: JAL/JM
CHECKED: DAH

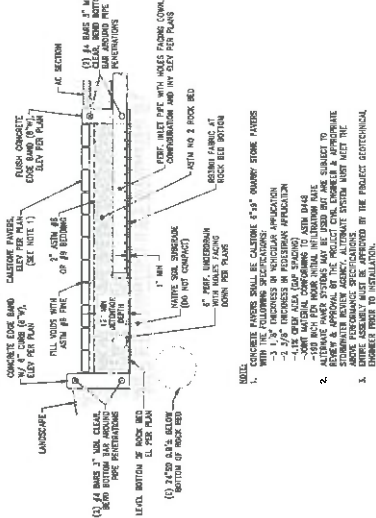
ENGINEERS
2200 & 2260 7TH AVENUE, SANTA CRUZ, CALIFORNIA
TEL: 831-438-4300
FAX: 831-438-4300
WWW.IE-ENGINEERS.COM



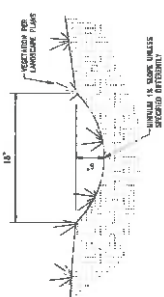
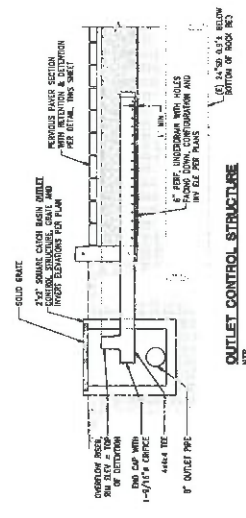
PRELIMINARY STORMWATER CALCULATIONS
SANTA CRUZ COUNTY ANIMAL SERVICES
2010-001-001-001-001-001

DISCRETIONARY PHASE PLAN SET
DATE: 9/7/18
DRAWN: JAL/JM
CHECKED: DAH

C3.1
SWALE - GRADED
NTS

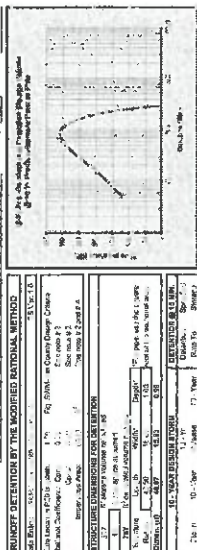


PERVIOUS PAVERS
NTS



SWALE - GRADED
NTS

PROJECT: County Animal Services, APN: 036-461-47
Calc by: CS Date: 8/20/18



| 10-YEAR DESIGN FLOOD | | | |
|----------------------|------------|-------------------|----------------|
| Flow (cfs) | Depth (ft) | Velocity (ft/sec) | Pressure (psi) |
| 100 | 1.0 | 1.0 | 1.0 |
| 200 | 1.5 | 1.5 | 1.5 |
| 300 | 2.0 | 2.0 | 2.0 |
| 400 | 2.5 | 2.5 | 2.5 |
| 500 | 3.0 | 3.0 | 3.0 |
| 600 | 3.5 | 3.5 | 3.5 |
| 700 | 4.0 | 4.0 | 4.0 |
| 800 | 4.5 | 4.5 | 4.5 |
| 900 | 5.0 | 5.0 | 5.0 |
| 1000 | 5.5 | 5.5 | 5.5 |

| 10-YEAR ORIFICE SIZING CALCULATION | | | |
|------------------------------------|------------|-------------------|----------------|
| Flow (cfs) | Depth (ft) | Velocity (ft/sec) | Pressure (psi) |
| 100 | 1.0 | 1.0 | 1.0 |
| 200 | 1.5 | 1.5 | 1.5 |
| 300 | 2.0 | 2.0 | 2.0 |
| 400 | 2.5 | 2.5 | 2.5 |
| 500 | 3.0 | 3.0 | 3.0 |
| 600 | 3.5 | 3.5 | 3.5 |
| 700 | 4.0 | 4.0 | 4.0 |
| 800 | 4.5 | 4.5 | 4.5 |
| 900 | 5.0 | 5.0 | 5.0 |
| 1000 | 5.5 | 5.5 | 5.5 |



Remodeling,
Additions, and Training
Building at
Santa Cruz County
Animal Services

2200 and 2260 7th Ave.
Santa Cruz, California

APN's
026-062-97
026-461-07

13 Oct. 2017

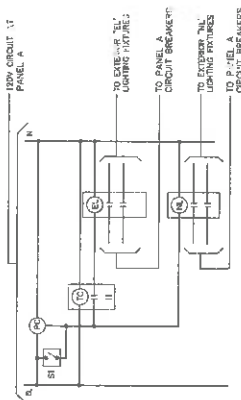
ELECTRICAL
DETAILS, NOTES AND
SYMBOLS

© Todd Meyer Architect

EO1

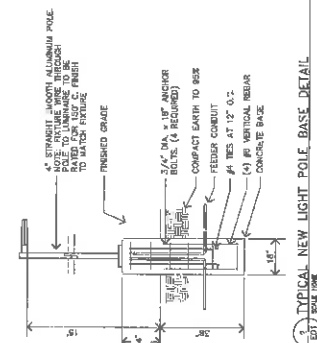
SHEET 1 OF 3

SYMBOL LEGEND—POWER

[illegible]

LEGEND

- [illegible]



3 TYPICAL NEW LIGHT POLE BASE DETAIL

[illegible]

NOTE: ALL CIRCUIT BREAKERS ARE EXISTING TO REMAIN. NEW LIGHTING FIXTURES ARE BEING CONNECTED TO EXISTING CIRCUIT #5 VIA LIGHTING CONTROL CENTER.

| | | | | | |
|----|------------------------------|----------------------|--|---------------------|----|
| X1 | LITHIUM BATTERY IN JAR | NO. 100 IN TUB | LOCATED ON STEAK HOUSE POLE AT 15' N.E.T. | (12/14/78) LED | 71 |
| DD | EXISTING FLOOR SLAB | REBAR IN CONCRETE | REBAR IN CONCRETE VEHICLE FLOOR WITH REINFORCING | (12/14/78) FLOOR | 34 |

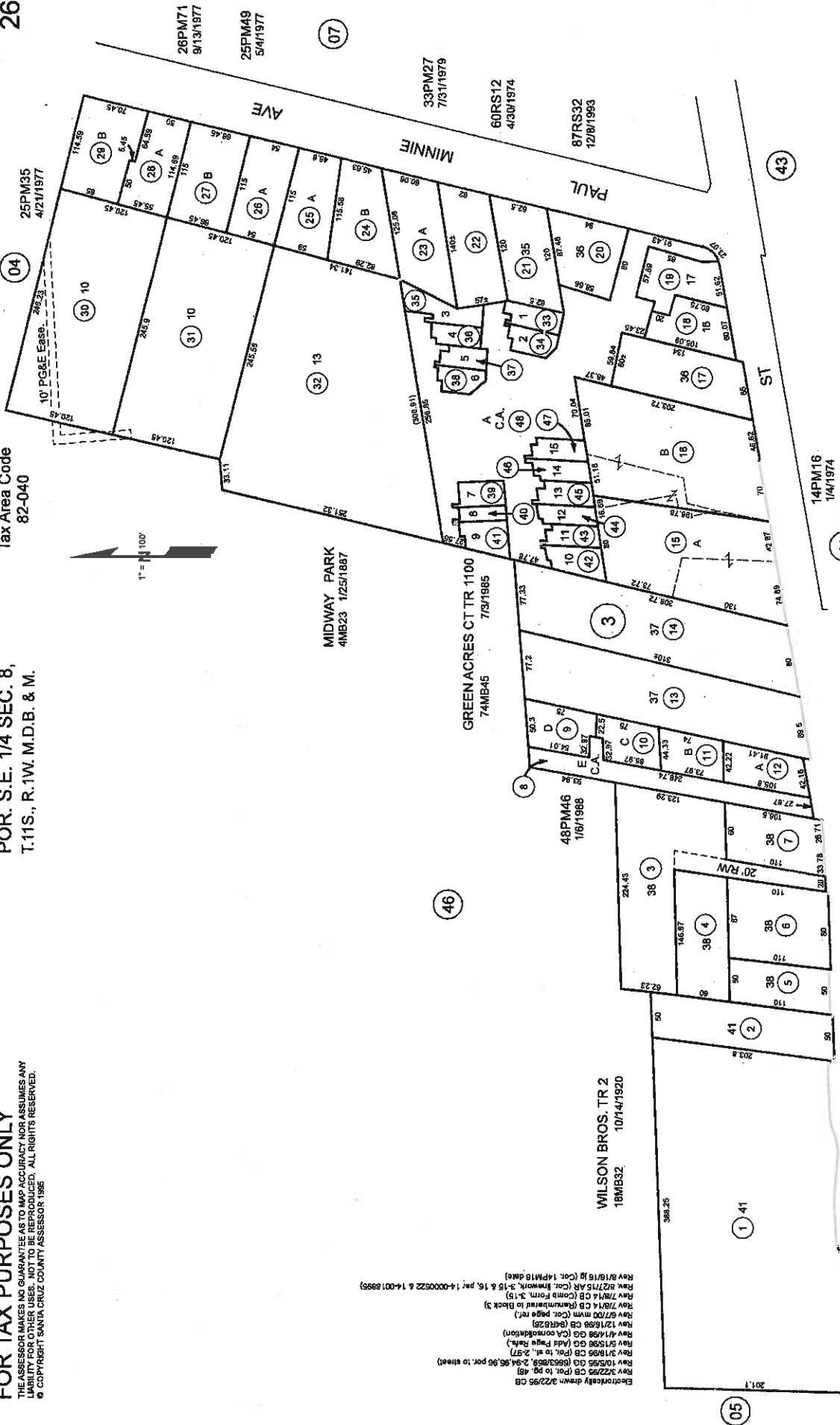
FOR TAX PURPOSES ONLY

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POR. S.E. 1/4 SEC. 8,
T.11S., R.1W. M.D.B. & M.

Tax Area Code
82-040

26-06



Assessor's Map No. 26-06
County of Santa Cruz, Calif.
March 1995

Note - Assessor's Parcel & Block
Numbers Shown in Circles.

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26-46

Tax Area Code
82-040

PART OF LOT 4 JOSE de la CRUZ RODRIGUEZ TR.
 6MB12 Copy 8-33 9/7/1885

79RS37
 11/3/1888

BOSTWICK LN

SEVENTH AVE

LIVE OAK SCHOOL DISTRICT

10' Drainage Easement

02 03 04 05 06

75 41 27 28 29 30 31 32 33 38 39 40

1 2

79RS41
 16/1884

BROS. TR #2
 10/14/1920

Assessor's Map No. 26-46
County of Santa Cruz, Calif.
Aug. 1995

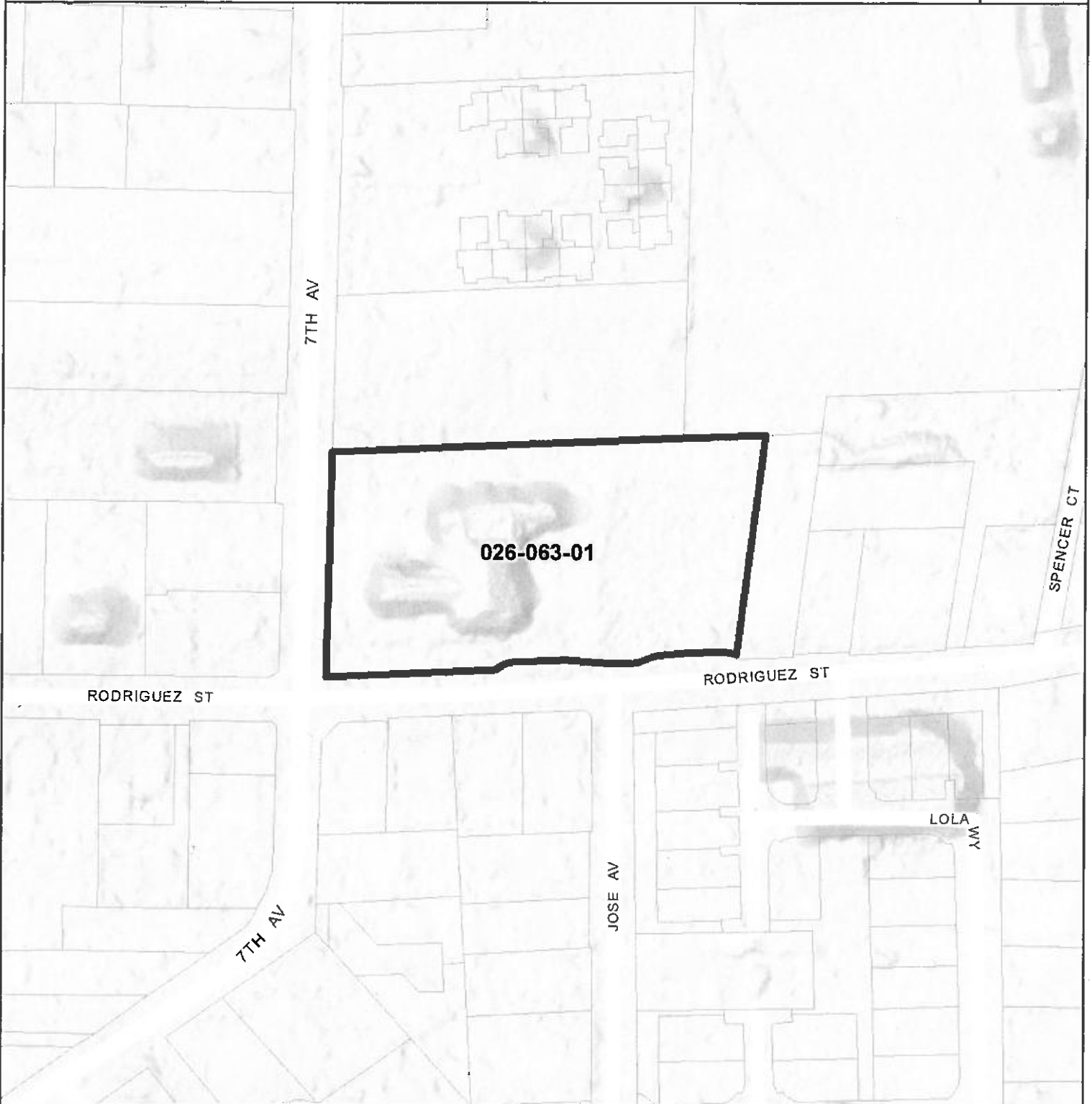
Note - Assessor's Parcel & Block Numbers Shown in Circles.

Rev. 5/15/96 G3 (Corr. Adipin Pg. Ref.)
Rev. 4/15/96 G3 (CA consolidation)
Rev. 3/26/01 mvm (changed page refs.)
Rev. 6/30/09 CB (Port to pg 026-75)
Rev. 6/30/08 CB (B-0044791, To 4-1-33)



SANTA CRUZ COUNTY PLANNING DEPARTMENT

Parcel Location Map



Parcel: 02606301

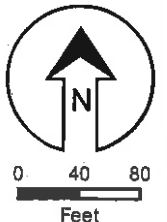


Study Parcel



Assessor Parcel Boundary

Map printed: 22 Jul. 2019





SANTA CRUZ COUNTY PLANNING DEPARTMENT

Parcel Location Map



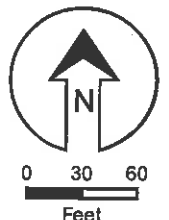
Mapped
Area



Parcel: 02646102

-  Study Parcel
-  Assessor Parcel Boundary

Map printed: 14 Aug. 2019





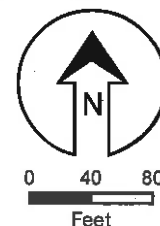
SANTA CRUZ COUNTY PLANNING DEPARTMENT

Parcel Zoning Map

Mapped
Area



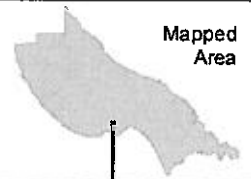
- C-1 *Neighborhood Commercial*
- PF *Public/Community Facilities*
- R-1 *Single-Family Residential*
- RM *Residential Multi-Family*





SANTA CRUZ COUNTY PLANNING DEPARTMENT

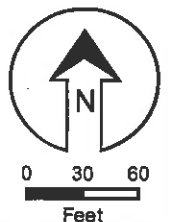
Parcel Zoning Map



Mapped
Area



- C-1 *Neighborhood Commercial*
- PF *Public/Community Facilities*
- R-1 *Single-Family Residential*
- RM *Residential Multi-Family*







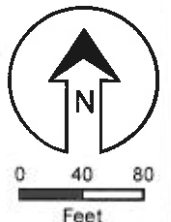


SANTA CRUZ COUNTY PLANNING DEPARTMENT

Parcel General Plan Map



-  C-N *Commercial Neighborhood*
-  P *Public Facilities*
-  R-UM *Res. Urban Medium Density*
-  R-UL *Res. Urban Low Density*









SANTA CRUZ COUNTY PLANNING DEPARTMENT

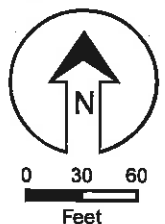
Parcel General Plan Map



Mapped
Area



-  C-N Commercial Neighborhood
-  P Public Facilities
-  R-UM Res. Urban Medium Density
-  R-UL Res. Urban Low Density



Parcel Information

Services Information

Urban/Rural Services Line: X Inside Outside
Water Supply: City of Santa Cruz
Sewage Disposal: County of Santa Cruz
Fire District: Central Fire Protection District
Drainage District: Zone 5

Parcel Information

Parcel Size: 2.7 acres
Existing Land Use - Parcel: Animal shelter
Existing Land Use - Surrounding: Public facility, commercial, and residential
Project Access: Rodriguez Street and 7th Avenue
Planning Area: Live Oak
Land Use Designation: P (Public/Institutional Facilities)
Zone District: PF (Public and Community Facilities)
Coastal Zone: Inside X Outside
Appealable to Calif. Coastal Comm.: Yes X No

Technical Reviews: Soils report, submitted and accepted

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Fire Hazard: Not a mapped constraint
Slopes: Level site
Env. Sen. Habitat: No physical evidence on site
Grading: Less than 100 cubic yards
Tree Removal: One 20-inch in diameter at breast height oak tree
Scenic: Not a mapped resource
Archeology: Not mapped/no physical evidence on site



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
KATHLEEN MOLLOY, PLANNING DIRECTOR

1 August 2018

Teall Messer Architect
3833 Glen Haven Road
Soquel, CA 95073

Subject: Review of the Geotechnical Investigation for Proposed New Building, Building Addition and Parking Lot at 1001 Rodriguez St/APN 026-063-01 & 026-461-02 dated 26 September 2017 by Pacific Crest Engineering Inc. - Project No. 1769-SZ68-F11

Project Site: 1001 Rodriguez Street
APN 026-063-01
Application No. REV181091

Dear Applicant:

The purpose of this letter is to inform you that the Planning Department has accepted the subject report. The following items shall be required:

1. All project design and construction shall comply with the recommendations of the report.
2. Final plans shall reference the report by title, author and date. Final Plans should also include a statement that the project shall conform to the report's recommendations.
3. After plans are prepared that are acceptable to all reviewing agencies, please submit a completed Soils (Geotechnical) Engineer Plan Review Form to Environmental Planning. The author of the soils report shall sign and stamp the completed form. Please note that the plan review form must reference the final plan set by last revision date.

Electronic copies of all forms required to be completed by the Geotechnical Engineer may be found on our website: www.sccoplanning.com, under "Environmental", "Geology & Soils", and "Assistance & Forms".

After building permit issuance the soils engineer *must remain involved with the project* during construction. Please review the Notice to Permits Holders (attached).

Our acceptance of the report is limited to its technical content. Other project issues such as zoning, fire safety, septic or sewer approval, etc. may require resolution by other agencies.

Please note that this determination may be appealed within 14 calendar days of the date of service. Additional information regarding the appeals process may be found online at: http://www.sccoplanning.com/html/devrev/plnappeal_bldg.htm

Review of the Geotechnical Investigation for Proposed New Building, Building Addition and Parking Lot at 1001 Rodriguez St/APN 026-063-01 & 026-461-02 dated 26 September 2017
by Pacific Crest Engineering Inc.

APN 026-063-01

1 August 2018

Page 2 of 3

If we can be of any further assistance, please contact the undersigned at (831) 454-3168 or
rick.parks@santacruzcounty.us

Sincerely,

A handwritten signature in black ink, appearing to read "Rick Parks", with a long horizontal flourish extending to the right.

Rick Parks, GE 2603

Civil Engineer – Environmental Planning

Cc: Pacific Crest Engineering, Inc., Attn: Elizabeth Mitchell, GE
Environmental Planning, Attn: Leah MacCarter

Attachments: Notice to Permit Holders

CAT ADOPTION CENTER 2260 7TH AVE.

The cat adoption center will offer people a place to relax with friends and felines and maybe enjoy a beverage. In addition to serving human customers, the cat adoption center will help the cats they house by showcasing the cats for adoption.

Many people will avoid coming to animal shelters out of fear that it will be a depressing experience seeing animals in small cages. Additionally, many landlords do not allow tenants to own cats. The cat adoption center affords clients a way to interact and adopt cats in a relaxed, alternate setting. The center also gives cat lovers an opportunity to spend time with cats and get their "cat fix."

The target market of a cat adoption center, what is sometimes called a cat café, is people who love cats. Cat lovers may come for a variety of reasons:

- To adopt a homeless cat in a pleasant surrounding
- To spend time with cats if they themselves don't have one
- To hang out with friends in a fun environment
- To support a shelter they believe in

No other organization or business in Santa Cruz County offers this service or environment.

The cat cafe will have several separate areas:

- An area for customers to relax and play with cats, offering them plenty of places to for cats to run, play and hide (with a vestibule entry to prevent cats escaping).
- A separate area for cats who need a break from people
- An acclimation area for new cats entering the building
- A separate area for beverage preparation and prepared food items. Customers may be take out customers or those who take their goodies and drinks into separate meet-a-cat area

Cats will be well socialized and will do well in this type of environment. They will be healthy, vaccinated and spay/neutered. Cats will receive routine preventative health checks and there will be a strict regimen of cleaning/disinfecting.

A concessionaire will handle all aspects of beverage and food sales. The concessionaire will be a tenant. Renters will be responsible for utilities for the space.

How people will use the cat café:

- Members of the public will enter from the pick-up porch. There they will either order their coffee or go right into the vestibule. If they order coffee they will go to the coffee deck to wait for it to be ready. Once they have coffee in hand they will either leave or go into the vestibule.

- The vestibule is where people will wait to go into the cat café to be with the cats. It will have one staff person/volunteer. It also serves as a sally port to make sure no cats go out the door.
- The public will make appointments to be in the cat café although if it is not being used walk-ins will be welcome.
- There will be an hourly cover rate to enter the cafe and interact with the cats in residence.
- The cat café including the cat porch will hold five people with probably more cats. The cats are free roaming with the idea being that cats in such an environment will cozy up to people they are comfortable with and may be adopted. The cats have a retreat room if they are overwhelmed or need access to a cat box.
- The coffee prep space will be occupied by the concessionaire who is expected to have two staff on hand.
- Volunteers and cats will enter the building into the cat acclimation room. This is where cats will relax until they are ready to go into the cat café room. This space will occasionally contain a volunteer.
- The cat café may be made available for renting for private parties.
- Mugs and tee shirts will be available for purchase.

TRAINING BUILDING

The training building and patio will be used for training sessions for members of the public with dogs, for members of the public who are dog trainers and for animal related camp for kids.

How people will use the training building:

- Members of the public and staff will enter the vestibule and then into the training room. The training room and training patio serve as sally ports. The training classes are expected to be limited to five persons plus the trainer and dogs.
- Members of the public and staff will enter the training patio directly from the parking lot walkway.
- The training room and patio will not be used by different groups at the same time.

The closet is for storing chairs, tables and dog training related equipment.

The Veteran's hall across the street has a parking lot with approximately 34 spaces which is available for overflow use if needed.

AREAS AND OCCUPANCY

The restrooms and janitor's closet serve both buildings as needed. Transient occupants such as in the vestibules are not included.

| | Area, s.f. | Occupants normal use | | | | Maximum total use at any time |
|--|---------------|----------------------|--------------------|---------------------|----------------------|-------------------------------------|
| | | 7-9 a.m. | 9 a.m. – 2 p.m. | 8 a.m. – 5 p.m. | >5: p.m. | |
| Cat café building | | | | | | |
| Coffee porch | 404 | 8 | 1 | 1 | | 10 |
| Vestibule | 120 | | | 1 | | 1 |
| Cat café and cat porch, visitors and staff/volunteers | 517 | | | 5 | | 5 |
| Cat acclimation | 215 | | | 1 | | 1 |
| Coffee prep, storage | 396 | | 2 | 2 | | 4 |
| | | 8 | 3 | 10 | | 21 |
| | | | | | | |
| Training building | | | | 10 a.m. - 5 p.m. | >5 p.m., weekends | |
| Vestibule | 97 | | | 0 | | |
| Animal training | 951 | | | | | |
| Training | | | | 10 | | 10 |
| Meetings | | | | | 63 | 63 |
| Closet | 120 | | | 0 | | |
| Training patio | 448 | | | 6 | | |
| | | | | | | |

ADDITION TO EXISTING ANIMAL SHELTER 2200 7TH AVE.

The Shelter currently has a room for adoptable cats where cats are housed in small cages. They can be taken out to visit with potential adopters in the "get acquainted" rooms. Quite a few cats don't fare well in the cages and can experience stress, which can compromise their immunity and jeopardize their general health. By shifting to the open, sunny (natural light) space model (similar to the cat café discussed above but without the coffee), it is expected the cats will be housed more comfortably, cat herd health will benefit, and adoptions will increase. The "get acquainted" room doors will be relocated to make them easily accessible from the open area, meet-a-cat space.

The space that is currently housing adoptable cats will become a classroom/meeting room and can also be used for emergency overflow of cats and kittens. Currently the facility's one training/break room serves as: a staff lunch room; meeting room for staff and occasionally the public; room for Animal Control Officers' hearings; training room for new volunteers; classroom for kids and adults; room the adoptable animals' photographs are taken for the shelter's website; room for County elections; and other miscellaneous uses which are often conflicting. The intent of re-designating the current adoptable cats' space as a classroom/meeting room is to remove the conflicts the overlapping uses create. It is not anticipated that overall usage of the building will increase but that usage conflicts will be eliminated.

The space that is currently housing small animals will become an extension of the veterinary clinic and will accommodate two surgery tables and much needed animal housing space. Currently there is one table and one area for animal housing in the clinic. With the change two veterinarians will be able to work at the same time, increasing productivity. The expansion will thus enable the Shelter to increase its number of spay/neuter surgeries by 30% and also allow cats and dogs to be housed in separate areas of the clinic while recuperating from surgery/treatment, thereby dramatically reducing their stress levels.

The small animals, mainly rabbits, will have their own new room with natural light. The paraphernalia room is for equipment/supplies to support both the rabbit and open meet-a-cat room.

The wall separating the Shelter lobby is being shifted into the vestibule to provide more waiting space and to decrease congestion in the lobby area.

AREAS AND OCCUPANCY

| | Area, s.f. | Occupants normal use |
|--------------------------|------------|-------------------------|
| Meet-a-cat | 341 | 0 increase for building |
| Rabbits | 124 | 0 increase for building |
| Paraphernalia | 109 | 0 |
| Classroom | 351 | 0 increase for building |
| Waiting -vestibule shift | 80 | 0 increase |
| Veterinary procedure | 117 | 1 increase |



Teall Messer
Architect
3833 Glen Haven Road
Soquel, CA 95073

Our Reference
397780

I:\2018\Jobs\397780 -
SCC Animal Shelter TIA
Update\Report\397780
Letter_02
03262018.docx

2077 Gateway Place
Suite 550
San Jose, CA
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United States of America

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F +1 (408) 572 8977
mottmac.com/americas

**Re: SCC Animal Shelter Trip Generation and Parking Analysis
Santa Cruz County, California**

March 26, 2019

Dear Teall,

This letter provides a trip generation and parking analysis for the expansion of the Santa Cruz County Animal Shelter in Santa Cruz County, California. The facility is located on the northeast corner of 7th Avenue and Rodriguez Street, just east of the City of Santa Cruz. The project location with respect to the local road network is shown on Exhibit 1.

Mott MacDonald completed the original TIA for the existing animal shelter facility in August 2006. Mott MacDonald also prepared a trip generation analysis for the proposed project that is documented in a May 19, 2018 letter. This letter supersedes the May 19 letter and provides additional detail regarding the proposed project, vehicle trip generation and parking demand.

Per recommendations from Santa Cruz County staff, the trip generation analysis was prepared as the first phase of the analysis and includes an estimate of the project's daily and peak hour trip generation. Per Santa Cruz County staff, if Phase 1 of the traffic analysis determines that the project is estimated to generate fewer than 20 peak hour trips, then Phase 2 (a TIA update) would not be required.

The project consists of multiple elements that are not specifically covered by trip generation and parking rates published in the professional literature. To estimate trip generation and parking demand, the project operating characteristics (i.e., number of employees, visitors and hours of operation) provided by the applicant was utilized to develop trip generation and parking demand estimates for the project. The project trip generation estimate documented in this letter is similar, but not exactly the same as the trip generation estimate documented in the May 19 letter report. This is because the methodology used in this analysis to calculate the trip generation is different than the methodology used in the May report.

PROJECT DESCRIPTION

The project consists of changes to the operations of the Santa Cruz County Animal Shelter located on 7th Avenue at Rodriguez Street. The project will affect operations at the main animal shelter located at 2200 7th Avenue and at support facilities located at 2260 7th Avenue. The project site plan is shown on Exhibit 2.

2260 7th Avenue

SURF KITTY CAT CAFÉ

The existing building at 2260 7th Avenue will be occupied by a cat café. The cat café provides space for the potential cat adopters to interact and adopt cats in a relaxed setting. The cat café will have several separate areas:

- Coffee Porch/Deck Order and Pick-up: a deck on the exterior of the building where coffee is ordered, picked-up and consumed.
- Vestibule: A waiting area at the building entry and outside the Cat Café.

- Cat Café and Cat Porch: an area for customers to interact with cats.
- Cat Acclimation: an acclimation area for new cats entering the building.
- Coffee Preparation: a separate area for beverage preparation and prepared food items.

The occupancy and hours of operation of each element of the Cat Café would be as follows:

- Coffee Porch/Deck Order and Pick-up
 - Hours of operation: 7 am to 5 pm
 - Customers per day: weekday – 120; weekend – 140
 - Maximum occupancy at any one time: 8
- Cat Café and Cat Porch:
 - Hours of operation: 8 am to 5 pm
 - Occupancy: no more than five people at one time. A reservation system will be implemented to limit the occupancy of the Cat Café.
- Staff Support:
 - Cat acclimation room: 8 am to 5 pm -- one staff person.
 - Coffee Preparation: 7 am to 5 pm -- two employees.

Exhibit 3 provides a summary of occupancy of the Cat Café by hour of the day. The maximum occupancy of the Cat Café would be 17 people between 8 am and 9 am and the occupants would include employees/volunteers (4), coffee porch customers (8) and cat café/cat porch visitors (5).

The existing building at 2260 7th Avenue is currently occupied by a second-hand retail shop that is open Thursday, Friday and Saturday from 11am to 5 pm. The trip generation analysis documented in this letter does not include a credit for the trips generated by the existing retail shop.

TRAINING BUILDING

A second building will be constructed at 2260 7th Avenue that will be used for training sessions for members of the public with dogs, for members of the public who are dog trainers and for animal related camps for kids. These activities currently occur at the existing building located at 2260 7th Avenue in an approximate 274 square foot space. After hours meetings are also conducted in the existing building at 2260 7th Avenue. The space is currently used after hours twice per month by a pet loss grief support group.

The number of people occupying the training building during the day is shown on Exhibit 3. Between 10 am and 5 pm the training building would be used by up to 10 people at any one time. After 5 pm, the training building could be used for meetings with an estimated maximum occupancy of 63 people.

2260 7th AVENUE PARKING

The parking lot at 2260 7th Avenue currently provides 11 parking spaces, one of which is marked for handicap parking. The parking lot will be expanded by 12 spaces, one of which will be reserved for electric vehicle charging/van loading. The VFW Hall on 7th Avenue across the street from the animal shelter offers overflow parking for large attendee events.

2200 7th Avenue

EXISTING ANIMAL SHELTER

The existing animal shelter is being remodeled as described below.

Classroom: The room that is currently housing adoptable cats will become a classroom/meeting room and can also be used for emergency overflow of cats and kittens. Currently the facility's one training/break room serves multiple uses including: a staff lunch room; meeting room for staff and occasionally the public; room for Animal Control Officers' hearings; training room for new volunteers; classroom for kids and adults; room the adoptable animals' photographs are taken for the shelter's website; room for County elections; and other miscellaneous uses which are often conflicting. The intent of re-designating the current adoptable cats' space as a classroom/meeting room is to remove the conflicts the overlapping uses create. It is anticipated that the overall usage of the building will not increase but that usage conflicts will be eliminated.

Small animals: A room is being constructed for small animals, mainly rabbits, and meet-a-cat. No additional usage of the building is anticipated with this change.

Surgery Area: The space that is currently housing small animals will become an extension of the veterinary clinic and will accommodate two surgery tables and animal housing space. Currently, there is one surgery table and one area for animal housing in the clinic. There are currently up to 12 surgeries on one day of the week. Animals are dropped off by the public for surgery between 8:00 am and 10:00 am and are picked up between 3:30 pm and 6:00 pm. With the change, two veterinarians will be able to work at the same time. The expansion will thus enable the shelter to increase its number of spay/neuter surgeries by 30% (from 12 surgeries on one day of the week to 16 surgeries on one day of the week).

The number of additional people occupying the main animal shelter building during the day is shown on Exhibit 4. The additional people occupying the main building include members of the public that drop off an animal for surgery and later pickup the animal later in the day and the one additional veterinarian on-site. The additional occupancy will only occur on one day of the week because surgeries are conducted once per week.

Paraphernalia Room: This room is for equipment/supplies to support both the rabbit and open meet-a-cat room.

Vestibule: The wall separating the shelter lobby is being shifted into the vestibule to provide more waiting space and to decrease congestion in the lobby area.

PROJECT TRIP GENERATION

New trips generated by the project would be generated by the Cat Café/Cat Porch and Coffee Shop and by the additional surgeries that only occurs on one day during the week. The other modifications would not result in new trip generation, as follows:

1. The activities that would be conducted in the new training building are currently being conducted in the existing building at 2260 7th Avenue.
2. Meet-a-cat and the small animal room are continuing uses in the main building that are being relocated internally and will not generate additional usage.
3. The conversion of the room housing the adoptable cats in the main building to a classroom/meeting room would remove scheduling conflicts that currently exist due to limited meeting/classroom space. Overall usage of the building is not expected to increase.

Exhibit 5 shows the project person trip generation estimate for the buildings at 2260 7th Avenue. The values included in the table are based upon the employee, customer and visitor estimates provided in the project description by the project applicant. On non-surgery days (four days per week), the project would generate

254 person-trips per day, with 42 person-trips generated during the AM peak hour (7 am to 8 am) and 10 person-trips generated during the PM peak hour (4 pm to 5 pm). On surgery days (one day per week), the project would generate 272 person-trips per day, with 42 person-trips generated during the AM peak hour (7 am to 8 am) and 12 person-trips generated during the PM peak hour (4 pm to 5 pm).

The person trips shown on Exhibit 5 were used to estimate the vehicle trips that would be generated by the project. The vehicle trip generation estimate is shown on Exhibit 6. On non-surgery days, the project would generate an estimated 82 trips per day, with 18 net new trips generated during the AM peak hour and 4 net new trips generated during the PM peak hour. On surgery days, the project would generate an estimated 100 trips per day, with 18 net new trips generated during the AM peak hour and 6 net new trips generated during the PM peak hour.

A vehicle occupancy of 1.0 was assumed for the cat café during the AM peak period to provide a conservative (high-side trip generation and parking estimate) analysis. Overall, a vehicle occupancy of 1.25 was assumed for the cat café throughout the day.

A pass-by capture rate of 60 percent was utilized for the cat café, which was the pass-by capture rate utilized in the May 19, 2018 traffic letter report. However, studies of pass-by capture for coffee shops have shown the pass-by capture rate for coffee shops of 70 percent.

PARKING

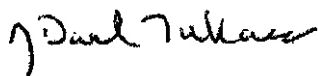
The parking lot for the cat café and training building at 2260 7th Avenue will provide 21 spaces for project. All of the spaces will be available for the uses in the 2260 7th Avenue buildings. Employees and visitors to the main animal shelter building will continue to park in the main building parking lot, which is accessed from Rodriguez Street.

The parking demand estimate for the cat café and training building at 2260 7th Avenue is shown on Exhibit 3. The peak parking demand for the day is projected to occur between 8 am and 9 am when the total parking demand for the cat café and training building would be 17 vehicles. During the mid-day hours, the parking demand would be 16 vehicles. The parking demand for large attendance evening meetings would exceed the parking supply provided at 2260 7th Avenue and parking would need to be provided at the VFW Hall across the street. The project applicant has secured an agreement with the Veterans of Foreign Wars Post 7263 to share parking facilities when needed for special circumstances. The additional parking demand associated with the additional animal surgeries will be served by the parking lot for the main animal shelter building.

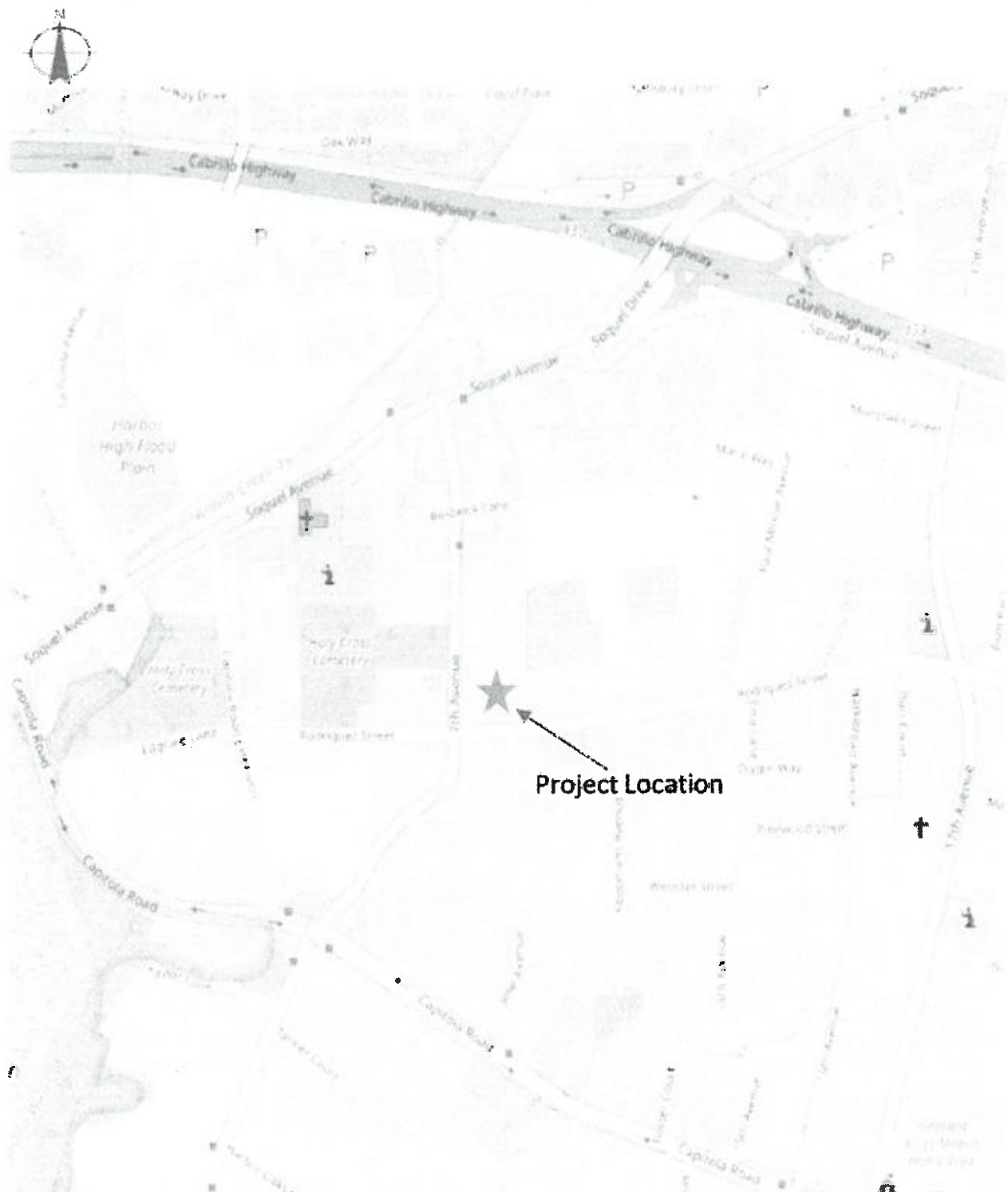
If you have any questions regarding the contents of this letter or need additional information, please do not hesitate to contact me at 408-442-3780.

Thank you for the opportunity to assist you with this project.

Sincerely,



J. Daniel Takacs, TE
Principal Engineer



© OpenStreetMap contributors

EXHIBIT 1 PROJECT LOCATION MAP

EXHIBIT I



Mott MacDonald

397780 Exhibits 1218

EXHIBIT 2
PROJECT SITE PLAN

| | | Occupancy By Hour of Day | | | | | | | | | | | | | |
|--|--|--------------------------|-----|-----|------|-------|-------|------|-----|-----|-----|-----|-----|-----|-----|
| | | AM | | | | | | | PM | | | | | | |
| | | 6-7 | 7-8 | 8-9 | 9-10 | 10-11 | 11-12 | 12-1 | 1-2 | 2-3 | 3-4 | 4-5 | 5-6 | 6-7 | 7-8 |
| Surf Kitty Cat Café | | | | | | | | | | | | | | | |
| Coffee Porch, Cat Café & Cat Porch Customers | | | 3 | 16 | 3 | 6 | 6 | 6 | 6 | 6 | 6 | 6 | | | |
| Vestibule Employees | | | | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | | | | |
| Cat Acclimation Employees | | | | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | | | |
| Coffee Prep Employees | | 2 | 2 | 2 | 4 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | | | |
| Total Occupancy Cat Café | | 2 | 10 | 17 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 2 | 0 | 0 |
| Training Building: | | | | | | | | | | | | | | | |
| Vestibule | | | | | | | | | | | | | | | |
| Animal Training/Patio | | | | | | 10 | 10 | 10 | 10 | 10 | 10 | 10 | | | |
| Meetings | | | | | | | | | | | | | 63 | 63 | 63 |
| Closet | | | | | | | | | | | | | | | |
| Total Occupancy Training Building | | 0 | 0 | 0 | 0 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 63 | 63 | 63 |
| Total Project Occupancy (2260 7th Avenue) | | 2 | 10 | 17 | 10 | 20 | 20 | 20 | 20 | 20 | 20 | 20 | 65 | 63 | 63 |

| | Vehicle Occupancy (Persons Per Vehicle) | Parking Demand By Hour of Day | | | | | | | | | | | | | |
|--|--|-------------------------------|-----|-----|------|-------|-------|------|-----|-----|-----|-----|-----|-----|-----|
| | | AM | | | | | | | PM | | | | | | |
| | | 6-7 | 7-8 | 8-9 | 9-10 | 10-11 | 11-12 | 12-1 | 1-2 | 2-3 | 3-4 | 4-5 | 5-6 | 6-7 | 7-8 |
| Surf Kitty Cat Café | | | | | | | | | | | | | | | |
| Coffee Porch, Cat Café & Cat Porch | 3.00 during AM peak period/1.25 once hours | | 8 | 14 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | | | |
| Vestibule | 1.00 | | | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | | | |
| Cat Acclimation | 1.00 | | | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | | | |
| Coffee Prep | 1.00 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | | | |
| Total Parking Demand Cat Café | | 2 | 10 | 17 | 9 | 9 | 9 | 9 | 9 | 9 | 9 | 9 | 0 | 0 | 0 |
| Training Building: | | | | | | | | | | | | | | | |
| Vestibule | | | | | | | | | | | | | | | |
| Animal Training/Patio | 3.00 | | | | | 7 | 7 | 7 | 7 | 7 | 7 | 7 | | | |
| Meetings | 1.50 | | | | | | | | | | | | 42 | 42 | 42 |
| Closet | | | | | | | | | | | | | | | |
| Total Parking Demand Training Building | | 0 | 0 | 0 | 0 | 7 | 7 | 7 | 7 | 7 | 7 | 7 | 42 | 42 | 42 |
| Total Parking Demand (2260 7th Ave) | | 2 | 10 | 17 | 9 | 16 | 16 | 16 | 16 | 16 | 16 | 16 | 42 | 42 | 42 |

Mott MacDonald

**EXHIBIT 3
CAT CAFE AND TRAINING BUILDING
OCCUPANCY AND PARKING DEMAND
BY HOUR OF DAY**

| | | Occupancy By Hour of Day | | | | | | | | | | | | | |
|---|--|--------------------------|-----|-----|------|-------|-------|------|-----|-----|-----|-----|-----|-----|-----|
| | | AM | | | | | | | PM | | | | | | |
| | | 6-7 | 7-8 | 8-9 | 9-10 | 10-11 | 11-12 | 12-1 | 1-2 | 2-3 | 3-4 | 4-5 | 5-6 | 6-7 | 7-8 |
| Animal Shelter | | | | | | | | | | | | | | | |
| Surgeries - Public Drop-offs/Pickups | | | 0 | 2 | 2 | 0 | 0 | 0 | 0 | 0 | 1 | 1 | 2 | | |
| Surgeries - Veterinarian | | | 0 | 0 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | | |
| Total Additional Occupancy Animal Shelter | | 0 | 0 | 2 | 3 | 1 | 1 | 1 | 1 | 1 | 2 | 2 | 3 | 0 | 0 |

| | Vehicle Occupancy (Persons Per Vehicle) | Parking Demand By Hour Of Day | | | | | | | | | | | | | |
|--|--|-------------------------------|-----|-----|------|-------|-------|------|-----|-----|-----|-----|-----|-----|-----|
| | | AM | | | | | | | PM | | | | | | |
| | | 6-7 | 7-8 | 8-9 | 9-10 | 10-11 | 11-12 | 12-1 | 1-2 | 2-3 | 3-4 | 4-5 | 5-6 | 6-7 | 7-8 |
| Animal Shelter | | | | | | | | | | | | | | | |
| Surgeries - Public Drop-offs/Pickups | 1.00 | | 0 | 2 | 2 | 0 | 0 | 0 | 0 | 0 | 1 | 1 | 2 | | |
| Surgeries - Veterinarian | 1.00 | | 0 | 0 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 0 | 0 | | |
| Total Additional Parking Demand Animal Shelter | | 0 | 0 | 2 | 3 | 1 | 1 | 1 | 1 | 1 | 2 | 1 | 2 | 0 | 0 |

Notes:

1. Surgeries occur one day per week. Therefore, the additional occupancy and parking demand would only occur one day per week.

**EXHIBIT 4
PROJECT RELATED
ADDITIONAL OCCUPANCY AND PARKING DEMAND
BY HOUR OF DAY
AT THE MAIN ANIMAL SHELTER BUILDING**

Mott MacDonald

| | Person Trips by Hour of Day | | | | | | | | | | | | | | | | | | | | | | | | Total Staff/Visitors Per Day | | | | | | |
|--|-----------------------------|-----|-----|-----|-----|-----|------|-----|-------|-----|-------|-----|------|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|------------------------------|-----|-----|-----|-----|-----|-------|
| | AM | | | | | | | | | | | | PM | | | | | | | | | | | | | | | | | | |
| | 6-7 | | 7-8 | | 8-9 | | 9-10 | | 10-11 | | 11-12 | | 12-1 | | 1-2 | | 2-3 | | 3-4 | | 4-5 | | 5-6 | | 6-7 | | 7-8 | | In | Out | Total |
| Star Nitty Cat Café | In | Out | In | Out | In | Out | In | Out | In | Out | In | Out | In | Out | In | Out | In | Out | In | Out | In | Out | In | Out | In | Out | In | Out | | | |
| Coffee Porch, Cat Café, Cat Porch Customers | 0 | 0 | 20 | 20 | 20 | 20 | 15 | 15 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 120 | 120 | 240 |
| Vestibule Employee | 0 | 0 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 2 | 4 |
| Cat Acclimation Employee | 0 | 0 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 2 | 4 |
| Coffee Prep Employee | 2 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 0 | 0 | 3 | 3 | 6 |
| Total New Trips Cat Café | 2 | 0 | 22 | 20 | 20 | 20 | 15 | 15 | 10 | 10 | 10 | 10 | 11 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 122 | 122 | 244 |
| Training | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Vestibule | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Animal Training/Photo | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Closet | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Total New Trips Training | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| Total New Trip Generation 2204 Trip Schedule | 2 | 0 | 22 | 20 | 20 | 20 | 15 | 15 | 10 | 10 | 10 | 10 | 11 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 122 | 122 | 244 |
| Star Nitty Cat Café | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Coffee Porch, Cat Café, Cat Porch Customers | 0 | 0 | 20 | 20 | 20 | 20 | 15 | 15 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 120 | 120 | 240 |
| Vestibule Employee | 0 | 0 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 2 | 4 |
| Cat Acclimation Employee | 0 | 0 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 2 | 4 |
| Coffee Prep Employee | 2 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 1 | 0 | 0 | 0 | 0 | 0 | 3 | 3 | 6 |
| Total New Trips Cat Café | 2 | 0 | 22 | 20 | 20 | 20 | 15 | 15 | 10 | 10 | 10 | 10 | 11 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 122 | 122 | 244 |
| Training | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Vestibule | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Animal Training/Photo | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Closet | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Total New Trips Training | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| Total New Trip Generation 2204 Trip Schedule | 2 | 0 | 22 | 20 | 20 | 20 | 15 | 15 | 10 | 10 | 10 | 10 | 11 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 10 | 122 | 122 | 244 |

- Notes:
1. Coffee Porch and Cat Café/Cat Porch: Total 120 visitors for the two uses per weekday.
 2. Vestibule, Cat Acclimation and Coffee Prep include one trip off-site during the day for each use and this trip is shown during the noon hour.
 3. Animal Training and after hours meetings are existing uses and do not generate new vehicle trips.

EXHIBIT 6
CAT CAFE, CAT PORCH AND COFFEE CAFE
PERSON TRIPS

Mott MacDonald

EXHIBIT I

| | Total Staff/Visitors Per Day | | Vehicle Occupancy (Persons/Vehicle) | Daily Trips | | | AM Peak Hour Trips 7:30 am - 8:00 am | | | PM Peak Hour Trips 4:00 pm - 5:00 pm | | |
|--|------------------------------|-----|-------------------------------------|-------------|----------|-------|--------------------------------------|----------|-------|--------------------------------------|----------|-------|
| | In | Out | | Inbound | Outbound | Total | Inbound | Outbound | Total | Inbound | Outbound | Total |
| Surf Kitty Cat Café | | | | | | | | | | | | |
| Coffee Porch, Cat Café, Cat Porch | 120 | 120 | (1, 2) | 96 | 96 | 192 | 20 | 20 | 40 | 5 | 5 | 10 |
| Vertibule | 2 | 2 | 1.00 | 2 | 2 | 4 | 1 | 0 | 1 | 0 | 0 | 0 |
| Cat Acclimation | 2 | 2 | 1.00 | 2 | 2 | 4 | 1 | 0 | 1 | 0 | 0 | 0 |
| Coffee Prep | 3 | 3 | 1.00 | 3 | 3 | 6 | 0 | 0 | 0 | 0 | 0 | 0 |
| Total Cat Café | 127 | 127 | | 103 | 103 | 206 | 22 | 20 | 42 | 5 | 5 | 10 |
| Pass-by Captured Trips (60%) | | | | 62 | 62 | 124 | 12 | 12 | 24 | 3 | 3 | 6 |
| Total Net New Trips Cat Café | | | | 41 | 41 | 82 | 10 | 8 | 18 | 2 | 2 | 4 |
| Main Animal Shelter Building (One Day Per Week) | | | | | | | | | | | | |
| Surgeries - Animal Drop-offs and Pick-ups | 8 | 8 | 1.00 | 8 | 8 | 16 | 0 | 0 | 0 | 1 | 1 | 2 |
| Veterinarian | 1 | 1 | 1.00 | 1 | 1 | 2 | 0 | 0 | 0 | 0 | 0 | 0 |
| Total New Trip Generation Main Building | | | | 9 | 9 | 18 | 0 | 0 | 0 | 1 | 1 | 2 |
| Total New Trip Generation (Surge - One Day Per Week) | | | | 50 | 50 | 100 | 10 | 8 | 18 | 3 | 3 | 6 |

Notes:

1. Auto occupancy of 1.0 person per vehicle assumed during the AM peak period and PM peak periods.
2. Overall vehicle occupancy of 1.25 assumed for the entire day for the Coffee Porch, Cat Café and Cat Porch uses.
3. Pass-by capture trips applied to Cat Café customer trips and not employee trips.

MOR MacDonald

**EXHIBIT 6
PROJECT
TRIP GENERATION**



Santa Cruz County Animal Shelter

1001 Rodriguez St., Santa Cruz, CA 95062
580 Airport Boulevard, Watsonville, CA 95076
Phone: (831) 454-7303 Fax: (831) 454-7210

Melanie Sobel
General Manager

September 13, 2018

Steve Curtin
Veterans of Foreign Wars Post 7263
2259 7th Ave.
Santa Cruz, CA 95062

Dear Mr. Curtin,

This letter serves as an understanding between the Santa Cruz County Animal Shelter and the Veterans of Foreign Wars Post 7263 that each organization can use the other's parking facilities when needed for special circumstances.

Thanks very much for your cooperation,

A handwritten signature in blue ink, appearing to read 'Melanie Sobel'.

Melanie Sobel
General Manager
Santa Cruz County Animal Shelter

A handwritten signature in blue ink, appearing to read 'Steve Curtin'.

Steve Curtin
Veterans of Foreign Wars Post 7263

Santa Cruz County Animal Shelter
EXERCISE YARD PROGRAM STATEMENT

The Santa Cruz County Animal Shelter (SCCAS) is an open admission shelter which welcomes every animal in need. Our goal is to be a humane resource for the community by providing a safety net and second chance for local animals. Each year SCCAS rescues and assures safe and temporary shelter, as well as veterinary and humane care for approximately 5,000 stray, unwanted, abandoned, mistreated and injured animals.

The SCCAS has approximately 400 active volunteers who are trained to socialize and exercise the animals in our care. Volunteers have specific areas they take cats to spend time out of their cages for human interaction, playtime, mental stimulation and exercise. The dog volunteers do the same. These activities are instrumental in keeping the animals at the Shelter mentally and physically healthy and enriched.

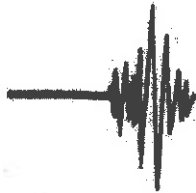
The Shelter has historically used the outside property adjacent to La Casa Familia's property line as a dog play yard. This entails a volunteer taking out one dog at a time for exercise and play. Very rarely is there more than one dog out with each volunteer. This would only occur if there are two bonded dogs that came into the Shelter together and are being housed together. Often times when this occurs, two volunteers take the two dogs out together. The other outside play yards (closer to the Shelter building) generally have one dog out at a time with one volunteer. However, the Shelter has used these areas to introduce shelter dogs to potential adopter's owned dogs to see how they get along. This could be more than two dogs at a time. And sometimes these areas are used for small dog playgroups. When dogs get along in playgroups, they are not barking—they are chasing each other, wrestling and playing.

When volunteers take out dogs, they never leave them unsupervised. They remove feces immediately. The dogs do not bark as they are running, being petted, chasing balls and toys, etc. Barking noise generated from the Shelter is generally from the dogs inside their kennels due to frustration and anxiety from being in their kennels. Especially when people walk by their kennels.

Santa Cruz County Code allows up to two dogs per property in a single-family home in an urban setting, such as the one the Shelter is in. It could be argued that volunteers taking out dogs for supervised play is a much better scenario than dogs being left unsupervised in back yards of adjacent properties. The vast majority of barking dog complaints the Shelter receives are from dogs neglected and bored in solitary confinement in a back yard. Dogs are very social beings and are pack animals. Being sequestered to a confined space with no stimulation is very frustrating and detrimental to a dog's mental state. Most of the noise complaints come from dogs being left outside at night. The shelter's play yards will be used during the hours of 7:00 am to 6:00 pm every day except on Wednesdays when the shelter is open until 7:00 pm.

Additionally, La Casa Familia has its own internal dog park for its residents that does not follow the 50 ft. setback rule to residents' property lines and restriction of one dog out at a time.

Any complaint calls about Santa Cruz County Animal are received by our front desk staff who answer phones during business hours: 10:00 am to 6:00 pm everyday and until 7:00 pm on Wednesdays. Calls regarding animal complaints to NetCom are forwarded to our dispatcher who works Monday through Friday from 8:30 am to 5:30 pm. Additionally, all of our management staff's direct phone lines and email addresses are listed on our website. The Board of Directors' contact information is also listed on our website.



EDWARD L. PACK ASSOCIATES. INC.

1975 HAMILTON AVENUE
SUITE 26
SAN JOSE, CA 95125

Acoustical Consultants

TEL: 408-371-1195
FAX: 408-371-1196
www.packassociates.com

June 10, 2019
Project No. 38-049-4

Ms. Annette Olsen
Planning Department Santa Cruz County
701 Ocean Street
4th Floor
Santa Cruz, CA 95060

Subject: Buffer Zone at the Animal Services Center Facility, 7th Avenue,
Santa Cruz County

Dear Ms. Olson:

Per our recent telephone conversation with Mr. Teall Messer, I have no information or recollection from where the 50 ft. buffer zone requirement came. None of the sound study reports mention a buffer zone, there are no notes in my file and I can't recall discussing it over the phone, although it has been several years. It is possible that I had mentioned something like this over the phone in a casual manner given certain circumstances. But, it was never analyzed formally and as I have no notes regarding such. Any comments I made at the time would have been casual as well. I hope this helps resolve the issue. If you need anything else, please contact me.

Kindest Regards,

EDWARD L. PACK ASSOC., INC.

Jeffrey K. Pack
President

May 30, 2019

Melanie Sobel
SANTA CRUZ COUNTY ANIMAL SHELTER
1001 Rodriguez Street
Santa Cruz, CA 95076

Re: Use of Land Adjacent to Casa La Familia

The Board of Directors at its May 17, 2019 considered a request by the Animal Shelter to be able to use the 50 feet of its property adjacent to Casa La Familia for its outside dog agility training and exercise area.

The Board of Directors unanimously agreed that it had no objection to that use based upon the Shelter obtaining approval of an amendment to its Use Permit that would limit this 50 feet to these uses.

Casa La Familia is very appreciative of the good neighbor that the Animal Shelter has always been to it and appreciates the many valuable services it provides to the community. We look forward to continued cooperation in the future.

Sincerely,



Eve Roberson, President
Board of Directors
CASA LA FAMILIA
2320 7th Avenue
Santa Cruz, CA 95062

Statement on Animal Shelter Use of Land Adjacent to La Casa Familia

I am a Certified Professional Dog Trainer—Knowledge Assessed (CPDT-KA) and Certified Behavior Consultant Canine-Knowledge Assessed (CBCC-KA). I hold a bachelor's degree in animal behavior and attended dog training academies and apprenticed with world-renowned dog trainer and dog training book author Pat Miller to become a Pat Miller Certified Trainer (PMCT). I have been volunteering or working in animal shelters for over 15 years. I worked as a field services officer (animal control and cruelty investigations) for 4.5 years, which included responding to barking complaints by listening to the reporting party's complaint and any audio or video evidence, canvassing neighborhoods of the reported dog, and providing noise abatement suggestions to the dog owner.

The chief reason for barking complaints to the animal control agencies for which I have worked was owned dogs being left unattended in their yards for extended periods. This leads to dogs barking and whining out of boredom, loneliness, frustration, and territorial behavior and it goes uninterrupted without the dog owner present. Constantly practicing barking behavior toward sights and sounds leads to dogs doing it more and more. I cannot recall a barking complaint that originated as a result of a dog barking while playing with his owner outside.

Dogs are not left unattended in our yards and dogs developing territorial behavior in our yards is extremely rare. Just as dogs playing with their owners in yards and public off-leash areas don't tend to bark much, dogs staying at our shelter bark and whine considerably less while they are out in our play yards with staff and volunteers. Dogs are generally out at most for 30 minutes at a time, more commonly closer to 15 minutes, and during that time behaviors of sniffing the yard, relieving themselves, playing with the handler, snuggling with the handler, and playing with other dogs are almost always more appealing to them than focusing on things to bark about. Our use of the rear yard is nothing like a dog park—we rarely have more than one dog in the yard at a time and when we do, it is pairs of dogs. Having the increased space can actually decrease the overall noise because dogs are likelier to engage in running and sniffing behavior with more space, behaviors which are mutually exclusive to barking.

Not having access to the land bordering the rear fence impacts the welfare of the community's dogs staying at the shelter without reducing dog-related noise for nearby neighbors.

I thank you for thoughtfully considering the use of this land,

Carla Braden, PMCT, CPDT-KA, CBCC-KA

Behavior & Training Coordinator

Santa Cruz County Animal Shelter

Animal Services Cat Café and Expansion: Existing Signage



Monument Sign

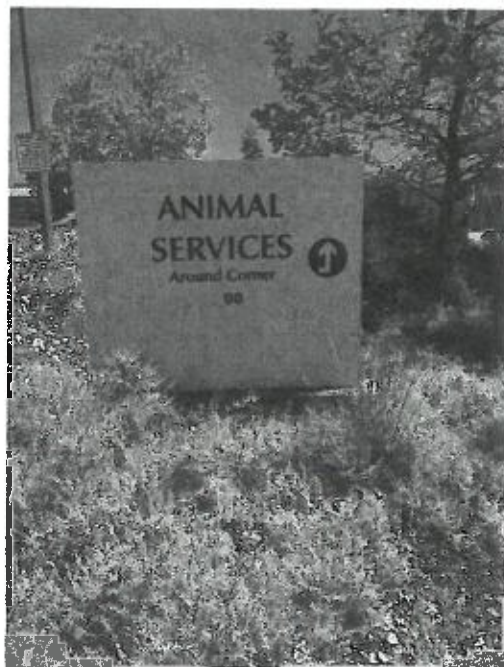
Total sign 4.5' x 4' = 18 sf.

Text area, proposed

SURF KITTY CAFÉ

4' x 1' = 4 sf.

Vinyl lettering on painted board



Directional Sign for main building

Total area 6' x 6.5' = 39 sf.

Text area 3' x 2.5' = 7.5 sf.

Vinyl lettering on painted board

Animal Services Cat Café and Expansion: Total Exterior Signage

| | | |
|--------------|--|---------------|
| SS 1 | Pedestrian sign: SURF KITTY CAFÉ and EDUCATION & TRAINING CENTER 24" x 12" on post with top at 36" above walkway. with arrows pointing in appropriate directions. | 2 sf. |
| SS 2 | Existing monument sign: both sides, new text: SURF KITTY CAFÉ | 4 sf. |
| SS 3 | Identification sign: 7" metal letters on building x 7' SURF KITTY CAFÉ | 4 sf. |
| SS 4 | Identification sign: EDUCATION & TRAINING CENTER 7" metal letters on building 10' x 2' | 20 sf. |
| SS 7 | Pedestrian sign: EDUCATION & TRAINING CENTER PATIO 3" Letters on arch above patio gate | 1 sf. |
| Total | | 31 sf. |

Additions and New Training Building Exterior Colors at Santa Cruz County Animal Services

21 March 2019

Roofing GAF Timberline HD
Reflector Series asphalt
composition shingles
Golden Amber color

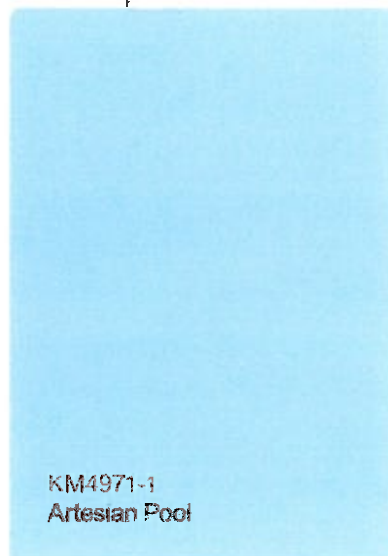


Walls, field at Cat Café building
KM 5216-2 Daisy Chain



Window and exterior
door frames- White PVC
Window trim, fascias,
barges, roof brackets
KM 46 Acoustic White

Walls, field at
training building
KM 4971-1
Artesian Pool



Black vinyl coated
chain link fencing
These will have 4' high
brown 90% privacy slats

Remodeling, Additions and New Training Building at Santa Cruz County Animal Services



Outrigger bracket and window details at existing building. New work at training building will be similar.

Robert B. Hoffmann *MS*

**Pre-construction recommendations for seven
trees, three Sycamores, two Live Oaks, one
Willow and one Myoporum**

Property Address of the Trees:

2200 7th Ave., Santa Cruz, Ca. 95062

Apn: 026-063-01

Prepared at the request of:

Teall Messer, Architect

Site Visit:

July 28, 2018

Robert B. Hoffmann MS
Consulting Arborist
Established in 1987

40 Carter Rd., Santa Cruz, Ca. 95060
(831) 234-2080 Cell

(831) 425-0347 Office
email: robertbhoffmann@yahoo.com

July 31, 2018

**Preconstruction recommendations for seven trees located @
2200 7th Ave. Santa Cruz, Ca. 95062**

Assignment:

At the request of Teall Messer, architect for the construction of the Cat Café at the Santa Cruz County Animal Shelter facility located at 2200 7th Ave., Santa Cruz, Ca., a field investigation was performed to advise on tree impact and protection of seven trees on the property involved with the construction of a new training facility and some remodeling of existing structures.

Scope of Service:

1. The execution of a site investigation by one arborist.
2. A written report on the findings of that site visit.
3. That scope of this report is to address the current condition with preconstruction recommendations for three sycamores, two Live Oaks, one Myoporum and one Willow on the eastern border of the Animal Shelter facility.
4. The seven trees listed on the table below will be referred to by name and map#.

Observations/Discussions:

1. All observations were made at ground level and asserted from different vantage points on the property.
2. The construction area is not landscaped.
3. The Sycamores, trees #1, #2 and #3 are between existing curbing and a cyclone fence, which are in good condition. The Sycamores under discussion currently are also in good condition and are not interfering with the new construction.
4. The Live Oak, tree #4 on the locator, is on the opposite side of the noted cyclone fence from Sycamores #1, #2 and #3. At the present time, tree #4 is isn't in the vicinity of any existing structures and is approximately 16' away from trees #2 and #3.
5. The Myoporum, tree #5 is at the corner of 7th and Rodriguez streets is dead.
 - Killed by Myoporum thrips, a stinging insect which is devastating the species in

- Santa Cruz. County, the two stemmed tree will be removed.
6. The Willow, tree #6 on the map, is on the east side of an existing building that will have a deck added on to it on the tree #6 side of the structure.
 - The tree may be minorly affected by the construction of the deck, though 90% of its TPZ is outside of the perimeter of the new deck.
 - The Willow, tree #6, has no landscaping within its TPZ and has been raised to 8' from soil grade.
 - The *salix* species, commonly known as Willow, is known to be invasive.
 7. Tree #7, a Live Oak is the other tree on the project that is on the inside of the existing cyclone fence as is tree #4.
 - Live Oak tree #7 has been devastated by multiple oak worm invasions and has crown rot on the building side of its basal flare.
 - The Live Oak, tree #7, is within the perimeter of the new training facility, which is the focus of this project.
 - Tree #7 should be removed.
 8. The table below contains the data for the seven trees under review. In the condition column, one is the poorest and ten is the best.

| Map Number | Tree Type | D.B.H. | Height | TPZ | Condition | Action |
|------------|----------------|--------|--------|---------|-----------|----------------|
| 1. | Sycamore | 10" | 23' | 12' | 7 | Prune |
| 2. | Sycamore | 9" | 21''' | 14' | 7 | None |
| 3. | Sycamore | 10" | 24' | 17' | 7 | None |
| 4. | Live Oak | 16" | 22' | 18' | 6 | None |
| 5. | Myoporum multi | 8"/10" | 20' | 12'/12' | 1 | Remove is dead |
| 6. | Willow | 20" | 32' | 38' | 6 | None |
| 7. | Live Oak | 20" | 38' | 16' | 2 | Remove |

Analysis/Testing:

No laboratory analysis was required. No electronic test instruments were used on site.

Conclusions:

1. The Sycamores, trees #1, #2 and #3 are approximately 5' from the curbing which is on their front sides.
 - Even with the proposed construction, the project will not change their TPZ's.
2. The Live Oak, tree #4, is on the inside of a black chain link fence.
 - Tree #4 is close to a walk, porch and patio to be constructed, which are involved with the new training facility.
 - As designated on the site plan, the walk passes through the TPZ of tree #4. The porch and patio are in close proximity to the Oaks drip line.
 - The patio, porch and walk could be made with pervious materials, protecting the

Oak's root zone.

3. The Myoporum (located at the corner of 7th Ave and Rodriguez St.) is decimated by repeated thrips attacks and is dead.
 - The tree is beyond recovery.
 - It is a tragic eyesore which serves as a reminder of the deleterious powers of the changing climate on the Central Coast.
4. The Willow, tree #6, is located in an unlandscaped area bounded by a parking lot, the existing house and the chain link fence which extends across the property.
 - The tree under discussion could be affected by the construction of a deck designated as (N).
 - While very little of the tree's TPZ is actually within the construction area, Willows have extensive root so the tree must be protectively fenced.
5. The Live Oak, tree #7 is located within the foot print of the structure designated as the New Training Building.
 - The tree should be removed. Oak worm devastation, basal decay, extreme pruning and its location designate this tree for removal.

Recommendations:

1. Prune the trees prior to the commencement of construction.
 - Remove deadwood 1" dia. and bigger overall.
 - Repair stubs and breakage.
 - No crown thinning.
 - If necessary, prune the trees crowns for vehicle, pedestrian and structure clearance.
2. Fence the trees to be protected with temporary construction fencing and steel fence pickets on 6' centers.
 - Establish building perimeters with layout string and install the protective fencing 12" to 24" away from the foundation layout lines.
3. Keep the strings intact while excavating.
4. If roots are encountered, cleanly sever them with sharp tools, leaving clean cuts so the root will be encouraged to resprout.
5. Sycamores #1 and #2:
 - Use the existing curbing and fence to the rear as boundaries for fence installation.
 - Fence both trees with one rectangle.
6. Sycamore, tree #3:
 - Fence as per trees #1 and #2, using the existing cyclone fencing as the rear segment of its protection.
7. Myoporum, tree #5. Remove and grind the stump.
8. Willow, tree #6:
 - Fence the drip line as the TPZ boundary, adjust for the new deck on the existing house.
9. Live Oak, tree #7:
 - Remove to 3" above grade and thoroughly grind the stump.
 - Replant as mitigation with the tree types designated by the Santa Cruz County Planning Department in the quantity which they designate.
 - This removal is recommended as the trees' health, location and the importance of this project, warrant its removal.
 - Replant elsewhere on the property as mitigation, the number of trees required by the County of Santa Cruz Planning department as replacements.
10. Store no building materials, construction debris, tool boxes or equipment within the protective fence perimeters.
11. Do no washing out of concrete, paint, chemicals or any other toxic construction related materials within the perimeter or in the near vicinity of the protective fencing.
12. If it proves difficult to keep the protective fences intact, rent chain link sections and

- install them as replacements for the construction fencing.
13. Use tree contractors who are familiar with Best Management Practices and the latest ISA pruning methods.

Thank you for choosing the Shelter of *Robert B. Hoffmann Consulting Arborist*, Santa Cruz County's first I.S.A. Certified Arborist. Please feel free to contact me at any time with questions and or concerns.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Robert B. Hoffmann", with a long, sweeping horizontal line extending to the right.

W.C.I.S.A. Certified Arborist #306

Exhibit One
Tree Locations



Exhibit Two Protected Tree And Protective Fencing Locations

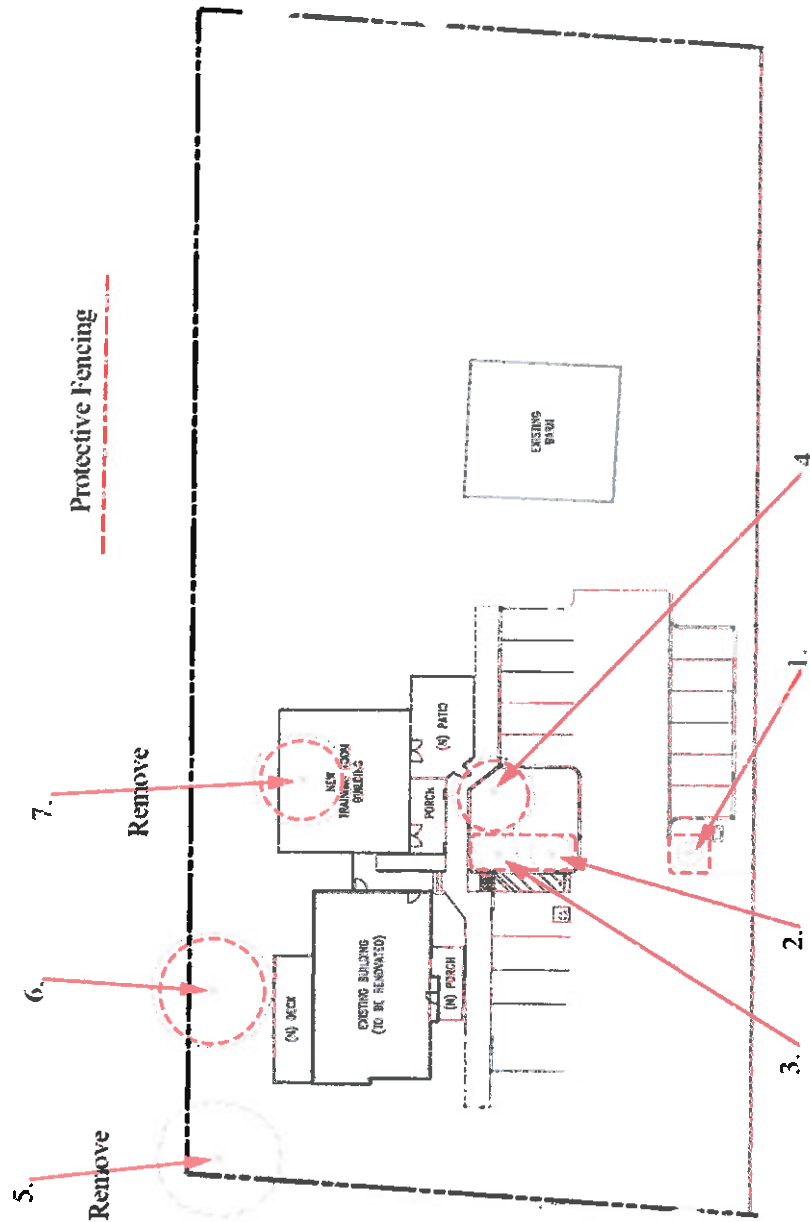
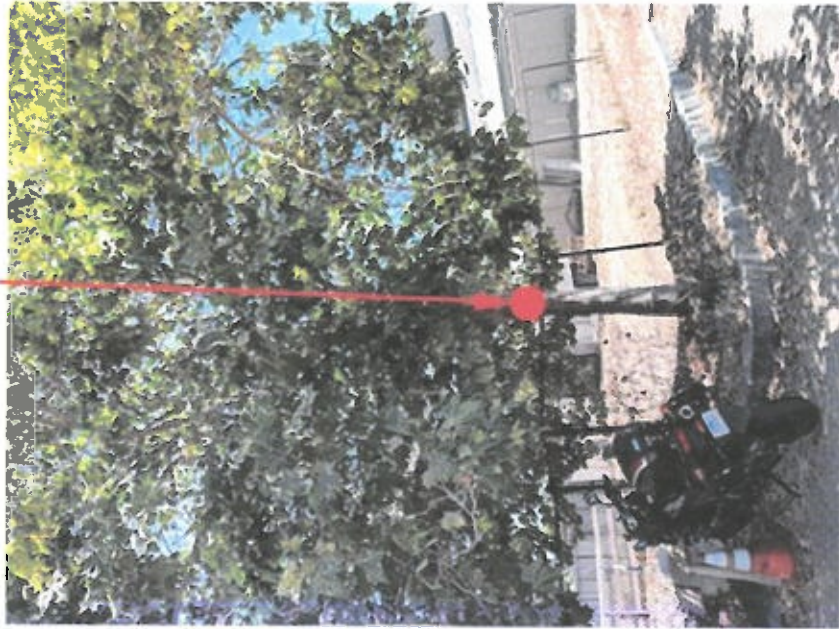


Exhibit Three

Tree #1



Tree #2



Exhibit Four

Tree #3



Tree #4



Exhibit Five

Tree #5



Tree #6

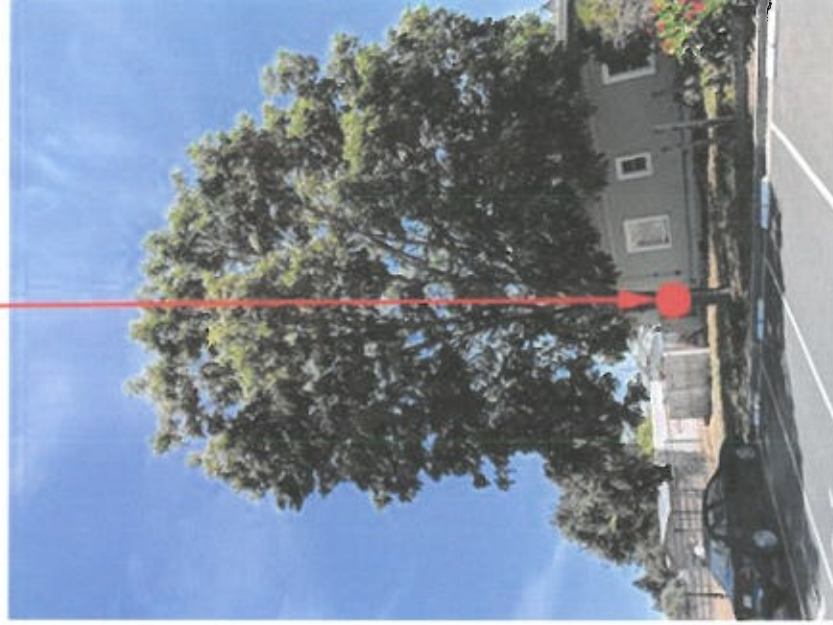


Exhibit Six

Tree #7. Oak to be removed



ASSUMPTIONS AND LIMITING CONDITIONS

1. Any legal description provided to the consultant/appraiser is assumed to be correct. Any titles and ownerships to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management.
2. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes, or other government regulations.
3. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however the consultant/appraiser can neither guarantee nor be responsible for the accuracy of information provided by others.
4. The consultant/appraiser shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such Shelter as described in the fee schedule and contract of engagement.
5. Loss, alteration, or reproduction of any part of this report invalidates the entire report.
6. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior expressed written or verbal consent of the consultant/appraiser.
7. Neither all nor any part of this report, nor any copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales or other media, without the prior expressed written or verbal consent of the consultant/appraiser particularly as to value conclusions, identity of the consultant/appraiser, or any reference to any professional society or initialed designation conferred upon the consultant/appraiser as stated in his qualification.
8. This report and the values expressed herein represent the opinion of the consult/appraiser, and the consult/appraiser's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
9. Sketches, diagrams, graphs, and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as engineering or architectural reports or surveys.
10. Unless expressed otherwise: 1) information in this report covers only those items that were examined and reflects the condition of those items at the time of inspection; and 2) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in future.



Santa Cruz County Animal Shelter

1001 Rodriguez St., Santa Cruz, CA 95062
580 Airport Boulevard, Watsonville, CA 95076
Phone: (831) 454-7303 Fax: (831) 454-7210

Melanie Sobel
General Manager

August 6, 2018

Dear Neighbor,

Please join us to discuss the exciting proposed changes to the Santa Cruz County Animal Shelter campus, including:

- Spay/Neuter clinic expansion
- New rabbit adoption room and community cat adoption room
- New Cat Café
- New Behavior, Training & Education Center

Thursday, August 16, 2018
7:00 pm

Santa Cruz County Animal Shelter
1001 Rodrigues St.
Santa Cruz, CA 95062

For more information, please call Melanie Sobel at 831-454-7203 or melanie.sobel@santacruzcounty.us.

EXHIBIT R

Neighbor Meeting for Animal Services Expansion Project
August 16, 2018
7:00 pm
Santa Cruz County Animal Shelter, 1001 Rodriguez St., Santa Cruz, CA

On August 6, 2019 a community meeting notification letter (attached) was sent out in 1st class mail to all property owners and occupants within 300 feet of the exterior boundaries of the parcel where the development is proposed (notification and mailing labels attached). Supervisor Leopold and the County Planning Director were also notified.

Attendees (sign-in list attached):

- 2 neighbors residing in Casa La Familia
- 3 Shelter staff members
- 2 Shelter volunteers
- Architect

Documents displayed:

- Project plans as submitted for permit
- Site plan with 50' dog play setback drawn on

Issues discussed:

1. Overall layout of buildings on site
2. Expansion of parking lot
3. Removal of 50' dog play setback
4. Expansion at existing building
5. Trees that are to be removed
6. Sharing the parking need with the Veterans hall across 7th Ave.
7. On the north side of the cat café building the neighbors indicated a need for a fence in the front setback to discourage people from walking through there. They also requested more landscape screening between the building and the additional fence.
8. Exterior elevations as being designed to conform to the existing cat café building
9. The existence of an irascible neighbor who was not in attendance but who may not support project

There were no issues, concerns or problems raised by the neighbors during the meetings. The two attendees supported the expansion project and expressed support for the mission of the Shelter.

Community mtg

8-16-18

Jane L. Embury 8/16/18 2200 7th Ave Santa Cruz
Lyn Robinson 2304 7th Ave SC 95062

Jeann Messer

Carla Brad

Patricia LEE LOWRY - 27 Oak Rd, Santa Cruz

Ben Wicksblair 2200 7th Ave Santa Cruz 95062

Allen ROELLE - 27 Oak Road, Santa Cruz 95062

Melanie Sobel

Santa Cruz County Animal Services Facility

PROGRAM STATEMENT

The principal use for the new Animal Services facility is public administrative offices for the staff of the Santa Cruz County Animal Services Authority (ASA). The mission statement of the Santa Cruz County Animal Services Authority is: "Through community involvement, education, adoption, and humane law enforcement, we work to preserve the well being of all animals and bring an end to the homeless animal crises." The primary ancillary use is keeping and handling animals under the control of the ASA.

Operations/Facilities

ASA office staff will perform animal related office type functions and animal care. There is a veterinary suite that serves only the facility animals and currently does not serve the public directly. There are up to five animal control officers, and one field supervisor. On a daily basis, either two or three officers are on duty, each of which has a truck. The officers are out in the field following up on calls during the day unless they need to return to drop off animals when their truck is full or report to the shelter for other business. There is transport of animals from an off site veterinary clinic, and sometimes transport of animals to an off-site vet office. Three or four days a week there is transport of animals between the ASA's Watsonville facility and the mid county location, depending on the time of year.

The public will come to visit the animals and engage ASA services. Three outside dog get-acquainted yards are provided near the front entrance on the east side. Three outside dog exercise yards are provided on the north side. These exercise yards will be for facility dogs that are accompanied by a human at all times. An enclosed animal night drop may be planned for the future near the parking lot for people who need to drop off stray animals or surrender animals after the facility has closed.

There is an existing building on the north side of the site that is to continue as leaseable space. This building will be used to support and carry out the operations of the ASA. The building is currently leased on a month-to-month basis by the Santa Cruz Society for the Prevention of Cruelty to Animals (SPCA), a non-profit agency. The mission of the SPCA supports the mission of the ASA and as such, is a use that will be possible under this public facility master plan use permit. The facility in the long term will be used for offices, meetings, training and other permitted public uses. Housing animals will not be a principal use of this facility. Such use will be incidental to the office and educational uses of the facility. The incidental animal housing uses shall not exceed 6 dogs and 12 cats (not including nursing kittens) at any one time. Any uses of the facility by any non-ASA agencies shall be governed by a lease setting forth whether animals shall be allowed at this site. It shall be the responsibility of the County, as owner of the site, and the ASA, as the lessee, to assure compliance with these provisions, adequate care of the animals, and other conditions relating to noise and neighborhood compatibility. The barn and corral on the north east side of the site will remain as is.

The fenced service yard will encompass a truck and cage washing station and limited outside storage for cages and equipment. The ASA's transport and animal control vans and trucks will be parked in the service yard and in the sally port when not in use.

Hours of Operation

Office 9:00 a.m. to 5:30 p.m. Monday through Sunday
Kennels 12 noon to 5:30 p.m. Monday through Sunday

Staffing/Public Visits

On weekdays, the ASA facility will have approximately 17 employees on site between business hours, and between 8 to 15 volunteers per day, who typically work shifts of approximately 2 hours. Members of the public visit the shelter for a variety of reasons. Generally, those who come before the kennels are open are there to find or surrender lost animals, surrender animals owned by them, take care of citations or other requests to appear, obtain a license, or check lost and found files. Typically, those transactions take from between 5 and 30 minutes. In addition to the activities described above, members of the public who visit the shelter after the noon hour are also previewing animals for possible adoption, or completing an adoption. The length of stay is typically between 10 and 90 minutes. This is to say that there is generally a high turnover in visitation during the business day.

Exclusive of the Animal Control Officers who are generally working off site the typical use varies during the week as follows:

| | Weekday | Saturday | Sunday |
|-------------------|---------|----------|---------|
| Staff | 17 | 9 | 8 |
| Volunteers | 8 – 15 | 8 – 15 | 8 – 15 |
| Members of public | 40 – 60 | 60 - 90 | 50 - 70 |

Nighttime usage is limited to the occasional delivery of stray animals, or for meeting or training purposes. The building is not staffed at night. There are occasional night deliveries of animals that have been picked up by the Animal Control officers during late-in-the day or on-call shifts. These will be taken into the sally port and the insulated garage door closed before they are removed from the vehicle. The dogs will be kept in kennels in the sally port until morning so the other dogs are not aroused by new arrivals.

Parking

The parking component for the 2240 Seventh Avenue site is currently planned for 34 spaces available to employees, the public and volunteers, 2 of which are accessible, plus two spaces for animal control vehicles in the sally port area. An additional 11 spaces are planned to serve the facility located at 2260 Seventh Avenue. Using the County standard of one space per 200 square feet of office space, the secondary parking site has 4 excess spaces that can be used by employees. Finally, the site plan provides space for an additional 9 spaces, should they be necessary to serve the program needs. The ASA will actively promote ride share, car-pooling, and public transportation options for employees and volunteers.

Number of Animals

The animal population varies depending on the season. The main building can accommodate up to 90 cats. There are kennels sufficient for up to 54 dogs and space for approximately 20 miscellaneous small animals. The cat and small animals are in cages that are entirely inside. Fowl are occasional visitors. The dog kennels have 33 spaces that are half inside and half outside and 21 spaces that are entirely inside.

Animal Services Facility – Program Statement

Large animals such as goats, pigs, cows, horses, or llamas are occasional. The large animals are kept in the barn during the holding period and until they are adopted or long term homes are arranged. No large animals are kept in residence on site. Approximately 20 large animals are rescued on an annual basis.

Deliveries

All deliveries and ASA vehicles will access the building through the service yard. The deliveries are during regular working hours. Two main types are involved: the first is the pick-up of deceased animals, which occurs once per week. This truck will pull into the sally port, and the door will be closed prior to pick-up. The second truck delivery type is for the delivery of animal food and animal supplies. Delivery can be restricted to a truck under 35 feet in length. ASA also has a stock trailer that will be kept in the pasture. Access to the barn will be through the existing north parking lot or the new southern parking lot.

Sanitation

The building will be served by the county sewer system. The solid waste from the kennels will be picked up and put into plastic bags that are put into the trash enclosure and then removed by the trash hauler. The outside kennel runs will be protected against rainwater encumbering the sanitary sewers.

After the solids are picked up the kennels are washed down once per day with Kennel Sol (or similar brand), a disease control solution, diluted with water. A diluted bleach solution is also used. This water along with the water from the laundry will be piped to the sewer system.

Revised Conditions of Approval Planning Commission April 11, 2007

Exhibit A: Project Plans entitled "Santa Cruz County Animal Services Authority Animal Shelter": architectural plans prepared by Teall Messer Architect, 9 sheets A 1.1 to A6.1 dated 2/7/07; engineered plans prepared by Ifland Engineers Inc., 5 sheets C-1 to C5 dated 2/8/07; lighting plans prepared by Prime Design Group, 2 sheets E 1.1 and E2 dated 10/20/06; and landscape plans prepared by Michael Arnone Landscape Architect, 2 sheets L-1 & L-2 revisions dated 2/2/07.

This permit authorizes the following:

- 1) Demolition of the existing unused approximately 16,000 square foot (sq ft) animal shelter consisting of 4 buildings, 4 sheds, and kennels (total of about 12,000 sq ft covered space and about 4,000 sq ft outdoor kennels/runs);
 - 2) Master Public Facility Site Plan for the construction of a replacement Animal Services Facility with one 1-story, 13,144 sq ft building and 1,330 sq ft of exterior kennels, with associated parking, landscaping, and approximately 1,850 cubic yards of grading; and,
 - 3) Additional Master Plan facility uses including:
 - Visitor use area, animal exercise yards, service yard and future agility training area; and,
 - Retention of the existing 1,400 sq ft office building (currently SPCA office), 1,200 sq ft shed/barn, and pasture area on northern parcel APN 026-461-02.
- I. Prior to exercising any rights granted by this permit including, without limitation, any site disturbance, demolition, or start of construction, the applicant/owner shall:
- A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Demolition Permit from the Santa Cruz County Building Official, or submit final demolition plans for review by an equivalent State or other agency.
 - C. Obtain a Building Permit from the Santa Cruz County Building Official, submit the construction drawings to the International Code Council (I.C.C.) for review, or obtain equivalent review by a contract agency.
 - D. Obtain a Grading Permit from the Santa Cruz County Building Official or if no permits are obtained, obtain final grading review by Environmental Planning.
 - E. Obtain an Encroachment Permit from the Department of Public Works (DPW) or equivalent DPW Road Engineering and Driveway Encroachment review and approval for all off-site work performed in the County road right-of-way. Additional details shall be provided at the driveway entrance off Rodriguez Street to demonstrate that there will not be conflicts between the existing bike lane, new accessible sidewalk, drainage swales, curbs, and driveway.
 - F. Obtain final water service approval from the City of Santa Cruz.
 - G. Obtain final sewer service approval from the Santa Cruz County Sanitation District.

- H. Convene a pre-construction meeting on the site prior to any disturbance on the property. The following parties shall attend: applicant, grading contractor supervisor, and Santa Cruz County Environmental Planning staff. The temporary construction fencing demarcating the disturbance envelope, tree protection fencing, and silt fencing will be inspected at that time.
 - I. Obtain any required permits from the County's Environmental Health Services Department for the safe disposal of biological waste resulting from the use of the building as an animal shelter with animal veterinarian component serving the shelter.
 - J. Obtain a National Pollutant Discharge Elimination System (NPDES), storm water permit from the California Regional Water Quality Control Board, Central Coast Region. All conditions of the NPDES permit are, by reference, hereby incorporated into the conditions of this permit.
 - K. Notify the Monterey Bay United Air Pollution Control District (MBUAPCD) of the project and obtain approval of the demolition plan and the plan for disposing of associated waste material, as required by federal regulations (national emissions standards for asbestos) and rules of the MBUAPCD. This shall be done prior to approval of demolition or building permits, or if no permits are issued, prior to beginning demolition, in order to address the potential of demolishing building(s) that contain lead paint and asbestos containing construction materials.
 - L. The owner/developer shall designate a disturbance coordinator to respond to citizen complaints and inquiries from area residents during construction. A 24-hour contact number shall be conspicuously posted on the job site. The disturbance coordinator shall record the name, phone number and nature of the disturbance. The disturbance coordinator shall investigate complaints and take remedial action, if necessary, within one business day of receipt of the complaint or inquiry. Unresolved complaints received by County staff from area residents may result in the prescription of additional Operational Conditions.
 - M. Pay a Negative Declaration filing fee of \$1,850.00 to the Clerk of the Board of the County of Santa Cruz as required by the California Department of Fish and Game mitigation fees program (per state law, Fish and Game Code Section 711.4(c)(3)), or pay a \$50.00 filing fee with a "letter of no effect" issued by Fish and Game.
11. Prior to issuance of a Building Permit, Grading Permit, or if no permits are issued, prior to ground disturbance on the site and start of construction, the applicant/owner shall:
- A. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder).
 - B. Submit final architectural and civil engineered plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. Any changes from the approved Exhibit "A" for this development permit on the plans submitted for the

Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that **are** not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:

1. Identify the final exterior building and roof materials and colors for Planning Department approval if changes from the approved palette are proposed. Color boards must be in 8.5" x 11" format.
2. A final sign plan for the public facility shall be submitted for staff review and approval. Signage for the site must comply with the approved Exhibit "A" for ~~this~~ permit.
3. Final grading plans, that are prepared, wet stamped, and signed by a licensed civil engineer. Final grading plans must include the limits of grading, estimated earthwork volumes including over-excavation and recompaction calculations, cross sections through all improvements, and existing and proposed cut and fill areas. The grading plans shall comply with all recommendations of the geotechnical report **and** addendum information (Bauldry Engineering, April 2006 and July 2006), including over-excavation/recompaction of the subsurface, construction of a mat foundation designed to span voids beneath the structure, and flexible utility connections to address potential liquefaction. The final grading plans shall also specify the destination of exported soil material. The material shall either be brought to the municipal landfill or to another site that has a valid permit to receive the material.
4. Final detailed erosion control plan, that is prepared, wet stamped, and signed by a licensed civil engineer for review and approval by Environmental Planning staff. In order to prevent erosion of sandy soils, off site sedimentation, and pollution of Arana Gulch, the plan shall include the following elements: clearing and grading schedule; temporary driveway surfacing and construction entry stabilization; sediment control structures; details of temporary drainage control including lined swales and erosion protection at the outlets of pipes; and, specifications for revegetation of bare areas, both temporary cover during construction and permanent planting.
5. Final drainage plans that are prepared, wet stamped, and signed by a licensed civil engineer. Final drainage plans must include existing and proposed drainage facilities, and details of devices such as back drains, culverts, energy dissipaters, detention pipes, etc. The drainage plan shall indicate that all runoff from paved surfaces, except for the walkway around the dog kennels, will pass through a silt and grease trap or vegetated area in order to protect surface water quality from degradation due to silt, grease and other urban contaminants. The condition and capacity of ~~the~~ existing 18-inch CMP storm drainpipe located along the south property line ~~of~~ the northern parcel shall be explored. A replacement pipe or other sub-surface solution shall be constructed to eliminate the need for an on-surface bioswale system.

6. Engineered improvement plans for all on-site and off-site improvements. All improvements shall be submitted for the review and approval by the Department of Public Works. Details of the frontage improvements at the project entry off Rodriguez Street shall be submitted for review and approval by the Road Engineering division and for Accessibility review.
7. A tree protection plan for the existing trees to be retained on site must be indicated on the project plans. The grading, drainage and site plans must incorporate the tree protection recommendations of the project arborist (Arbor Art, October 2006 and November, 2006) in order to minimize impacts from loss of native trees. The recommendations include, but are not limited to the following.
 - a. Locate the proposed storm drain no closer than 18 feet from the base of the Coast Redwood tree trunk at the corner of 7th Avenue and Rodriguez Street to ensure the trenching process does not sever the majority of the roots in its vicinity. New sidewalks and pedestrian ramp may be located closer to the frontage trees (see arborist reports for specifics).
 - b. Limiting excavation to a depth of four inches in proximity to the mature Sycamore trees on Rodriguez Street and on 7th Avenue.
 - c. The permit holder and Planning Department shall notify the Redevelopment Agency and Public Works Department (responsible for the future 7th Avenue road improvement project) that it would be desirable that the new curb and gutter adjacent to the trees on 7th Avenue be consistent in design and materials with the rest of the property's frontage improvements, while ensuring adequate tree protections. This may involve exploring additional options with the consulting arborist and engineers to determine if there is a feasible alternative to protect the four London Plane Sycamore trees on 7th Avenue without using the recommended asphalt curb at that location.
 - d. Changes to the proposed improvements, which are located near the large trees along the site frontage, shall be reviewed by the arborist and additional protection measures provided and followed as needed.
 - e. A consulting arborist should oversee construction to ensure that the recommendations in the reports are followed, primarily with regard to tree protection fence locations, the maintenance of root protection zones, and the depth of sidewalk excavations.
8. Project plans shall incorporate all recommendations in the Noise Assessment Study (Pack and Associates, August, 2006) such that the General Plan thresholds for acceptable levels of noise will not be exceeded at any of the three closest sensitive receptors.

9. A lighting plan for the proposed development. Lighting must comply with the following conditions:
 - a. All site, building, security and landscape lighting shall be directed onto the site and away from adjacent properties. Light sources shall not be visible from adjacent properties. Light sources can be shielded by landscaping, structure, fixture design or other physical means. Building and security lighting shall be integrated into the building design.
 - b. All lighted parking and circulation areas shall utilize low-rise light standards or light fixtures attached to the building. Light standards to a maximum height of 15 feet are allowed.
 - c. Area lighting shall be high-pressure sodium vapor, metal halide, fluorescent, or equivalent energy-efficient fixtures.
10. All rooftop mechanical and electrical equipment shall be designed to be an integral part of the building design, and shall be screened.
11. Utility equipment such as electrical and gas meters, electrical panels, junction boxes, and backflow devices shall not be located on exterior wall elevations facing streets unless screened from streets and building entries using architectural screens, walls, fences, and/or plant material.
12. For any structure proposed to be within 2 feet of the maximum height limit for the zone district (35 feet in PF zone), the building plans must include a roof plan and a surveyed contour map of the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site, which clearly depict the total height of the proposed structure.
13. Details showing compliance with fire department requirements.
14. Irrigation equipment and details to accommodate future Redevelopment Agency Street Tree planting in the landscape strip along the 7th Avenue and Rodriguez Street frontages (e.g. irrigation line sleeves under the sidewalk and driveways, mainline connection stubout, and automatic controller station and wire). The plans should demonstrate consistency with the approved 7th Avenue Plan Line. Applicant shall work with the Redevelopment Agency and Department of Public Works to coordinate the plan line improvements and to install irrigation improvements as needed.

- C. Submit four copies of the approved Discretionary Permit with the Conditions of Approval attached.
- D. Meet all requirements of and pay all applicable fees to the City of Santa Cruz Water Department (see Water District letter dated 6/14/06 with form dated 9/19/06 revised 12/1/06, and Water Conservation letter dated 9/17/06).
- E. Meet all requirements of and pay all applicable fees to the Santa Cruz County Sanitation District (see Sanitation memo dated 9/25/06).
- F. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District (see Fire District letter dated 11/28/06).
- G. Meet all requirements of and pay Zone 5 drainage fees to the County Department of Public Works, Drainage (see Drainage comments dated 12/6/06 and 12/26/06). Drainage fees will be assessed on the net increase in impervious area.
- H. Obtain an Environmental Health Clearance for this project from the County Department of Environmental Health Services for the disposal of biological waste and/or animal excrement.
- I. Submit 3 copies of a final grading and building plan review letter prepared and stamped by a licensed Geotechnical Engineer to Environmental Planning staff, approving the plans. The letter shall indicate that all recommendations of the geotechnical report and addendum information (Bauldry Engineering, April 2006 and July 2006) are reflected in the project plans.
- J. Provide required off-street parking for a minimum of 34 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
- K. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- L. Complete and file a silt and grease trap maintenance agreement with the Department of Public Works. The trap shall be inspected to determine if it needs cleaning or repair prior to October 15 of each year at a minimum. A brief annual report shall be prepared by the trap inspector at the conclusion of each inspection and submitted to the Drainage Section of the Department of Public Works within 5 days of the inspection. This monitoring report shall specify any repairs that have been done or that are needed to allow the trap(s) to function adequately.
- M. Submit a letter by the project arborist to Environmental Planning staff, indicating that the plans reflect the arborist's tree protection recommendations (Arbor Art, October 2006 and November, 2006).

- N. Submit a letter by the project acoustic engineer to Environmental Planning staff, indicating that he has reviewed the plans and that they meet General Plan standards and that the thresholds for acceptable levels of noise will not be exceeded at any of the three closest sensitive receptors.
 - O. Pay the current Live *Oak* Transportation Improvement Area (TIA) fees for Roadside and Transportation improvements. Currently, these fees can be calculated as follows, but are subject to change:
 - 1. The development is subject to Live *Oak* Transportation Improvement (TIA) fees at a rate of \$440 per daily trip-end generated by the proposed use. The traffic report submitted indicates a total of 60 new trips generated by the proposed public facility use. The fee is calculated as 60 trip ends multiplied by \$440 per trip end equals \$26,400. The total TIA fee of \$26,400 is to be split evenly between transportation improvement fees and roadside improvement fees (currently estimated at \$13,200 each).
 - P. Submit any substantial changes proposed to the building or roof materials for Planning Commission approval.
111. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit or construction plans shall be installed.
 - B. All inspections required by the Building Permit or equivalent review shall be completed to the satisfaction of the County Building Official or contract inspector.
 - C. All new utilities to serve the proposed development shall be installed underground.
 - 1. Pad-mounted transformers (as part of the underground electrical service distribution system) shall not be located in the front/street setback or area visible from public view, unless they are completely screened by walls and/or thick landscaping, and shall not obstruct views of traffic from driveways, or views to monument signs. Underground vaults may be located in the front setback area for aesthetic purposes.
 - D. Back flow devices and other landscape irrigation valves shall not be located in the front/street setback or area visible from public view, unless they are completely screened by walls and/or thick landscaping, and shall not obstruct views of traffic from driveways, or views to monument signs.
 - E. The project must comply with all recommendations of the approved soils reports.
 - F. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this

development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections **16.40.040** and **16.42.100**, shall be observed.

- G. Limit noise generating construction activities to between 8:00 AM to 5:00 PM weekdays, unless a temporary exception to this time restriction is authorized in advance by the Planning Director in response to an emergency circumstance.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval **or** any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

B. **Master Plan Program (Public Facility Use)**

The following uses are authorized by this Master Plan:

1. Main Animal Services Facility new building **and** associated uses including:
 - a. Animal Services Authority administrative offices;
 - b. Animal shelter; and
 - c. And appurtenant support facilities (as identified in the project description, project plans, and program statement).
2. Small building on 7th Avenue:
 - a. Office space for a public agency or community serving use with ancillary programs/uses as described in the Program Statement.
3. Pasture and barn:
 - a. Temporary shelter for large animals.

Changes to these uses require an amendment to this permit.

- C. **The following additional restrictions apply to the proposed uses (and any future uses that include animal service elements):**

1. The attached Program Statement (Exhibit 2B) is incorporated as a part of this permit and permit conditions and serves as the operational guide for the property and proposed uses. Any changes to the Program Statement, facility operations, or intensifications of use shall be submitted to the Planning Department for review to determine conformity with the County Code, Public Facilities Zoning, Chapter 18.10, and General Plan and with the intent of this Master Plan approval. Significant changes shall be returned to the Planning Commission for approval.

2. The animal services facility operators shall designate a contact person to serve as a conflict resolution coordinator to address neighbor concerns as they may arise, including but not limited to noise, odor control, or parking. Any standing conflict that cannot be resolved should be returned to Planning for additional use permit review.
 3. A parking analysis shall be prepared 1 year after project occupancy to determine whether the parking provided is adequately serving the facility. This evaluation should include parking usage counts over a two-week period including peak visitation and staffing times. If it is determined that the parking is inadequate, the applicant and/or facility operators shall provide a parking plan to improve the reserve parking spaces at the rear of the main parking lot for review and approval by Planning and Public Works. If accepted, this plan shall be implemented within 4 months of approval.
 4. This Master Plan authorizes the occasional use of large animal and other livestock on a temporary as needed basis at the pasture/barn, however no large animals shall be stored on a permanent or long term basis for more than 90 days without additional Planning review and approval.
 5. No outdoor unscreened storage visible from the public road or adjacent residences is permitted.
 6. No public announcement (PA) systems or outdoor loud speakers are allowed.
 7. Outside dog agility training and exercise areas shall be located a minimum of 50 feet from adjacent residential properties and fenced as necessary to reduce noise impacts to adjacent neighbors.
- D. The regular operations of the facility shall ensure that the premises are kept in a neat and sanitary manner by the daily removal of excrement and the use of sprays and disinfectants, as determined to be necessary by the Environmental Health Services, to prevent an accumulation of flies, the spread of diseases, offensive odor, or excessive dust.
- E. The landscape plan shall be maintained as depicted in the approved Exhibit "A", including maintenance of specimen trees as shown on these plans. Changes to this plan shall be subject to review by the Planning Director.
- F. The facility operators and property owner shall be responsible for the ongoing maintenance of all street trees and landscaping with the County right-of-way, including the maintenance of the required automatic irrigation system and the replacement of all dead trees and plant material.

V. Mitigation Monitoring Program

The mitigation measures listed under this heading have been incorporated in the conditions of approval for this project in order to mitigate or avoid significant effects on the environment. As required by Section 21081.6 of the California Public Resources Code, a monitoring and reporting program for the above mitigation is hereby adopted as a condition of approval for this project. This program is specifically described following each mitigation measure listed below. The purpose of this monitoring is to ensure compliance with the environmental mitigations during project implementation and operation. Failure to comply with the conditions of approval, including the terms of the adopted monitoring program, may result in permit revocation pursuant to section 18.10.462 of the Santa Cruz County Code.

A. Mitigation Measure: Geotechnical (Condition II.B.3 and 11.1)

Monitoring Program: In order to mitigate the potential for damage due to liquefaction the development shall comply with all recommendations of the geotechnical report and addendum information (Bauldry Engineering, April 2006 and July 2006), including over-excavation/recompaction of the subsurface, construction of a mat foundation designed to span voids beneath the structure, and flexible utility connections. Prior to approval of building or grading permits, or if no permits are issued, prior to ground disturbance on the site, the applicant shall submit a grading plan and building plan review letter from the project geotechnical engineer to Environmental Planning staff, approving the plans. The letter shall indicate that all recommendations are reflected in the project plans. Permits will not be approved or correction notices will be issued in the case of noncompliance.

B. Mitigation Measure: Urban Pollutants (Condition II.B.5 and II.L)

Monitoring Program: In order to protect surface water quality from degradation due to silt, grease and other urban contaminants, prior to approval of building or grading permits, or if no permits are issued, prior to ground disturbance on the site, the applicant shall revise the drainage plan to indicate that all runoff from paved surfaces, except for the walkway around the dog kennels, will pass through a silt and grease trap or bioswale. The facility operator, applicant, and/or owner shall be responsible for maintaining the trap(s) according to the following monitoring and maintenance procedures:

1. The traps shall be inspected to determine if they need cleaning or repair prior to October 15 each year at a minimum,
2. A brief annual report shall be prepared by the trap inspector at the conclusion of each October inspection and submitted to the Drainage Section of the Department of Public Works within 5 days of inspection. This monitoring report shall specify any repairs that have been done or that are needed to allow the trap(s) to function adequately.

Permits will not be approved or correction notices will be issued in the case of noncompliance after construction.

C. Mitigation Measure: Erosion Control (Conditions II.B.3 and II.B.4)

Monitoring Program: In order to prevent erosion of sandy soils, off site sedimentation, and pollution of Arana Gulch, prior to approval of building or grading permits, or if no permits are issued, prior to ground disturbance on the site, the applicant shall:

1. Submit a detailed erosion control plan for review and approval by Environmental Planning staff. The plan shall include the following elements: clearing and grading schedule, temporary driveway surfacing and construction entry stabilization, sediment control structures, details of temporary drainage control including lined swales and erosion protection at the outlets of pipes; and specifications for revegetation of bare areas, both temporary cover during construction and permanent planting;
2. Modify the grading plans to specify the destination of exported soil material. The material shall either be brought to the municipal landfill or to another site that has a valid permit to receive the material.

Permits will not be approved or correction notices will be issued in the case of noncompliance.

D. Mitigation Measure: Tree Protection (Condition II.B.7 and II.M)

Monitoring Program: In order to minimize impacts from loss of native trees, prior to approval of building or grading permits, or if no permits are issued, prior to ground disturbance on the site, the applicant shall revise the grading, drainage and site plans to incorporate the tree protection recommendations of the project arborist (Arbor Art, October 2006 and November, 2006). The arborist shall provide a letter to Environmental Planning staff indicating that the plans reflect the recommendations. These recommendations include:

1. Rerouting improvements to prevent disturbance within eighteen feet of the large redwood tree on the northeast corner of Rodriguez Street and 7th Avenue;
2. Limiting excavation to a depth of four inches in proximity to the mature Sycamore trees on Rodriguez Street and on 7th Avenue;
3. Specifying asphalt rather than concrete curb on the west side of tree numbers 20-4 through 23-4.

Permits will not be approved or correction notices will be issued in the case of noncompliance.

E. Mitigation Measure: Noise Impacts (Condition II.B.8 and II.N)

Monitoring Program: In order to reduce off site noise impacts to a less than significant level, all recommendations in the Noise Assessment Study (Pack and Associates, August, 2006) shall be incorporated into the project plans such that the General Plan thresholds for acceptable levels of noise will not be exceeded at any of the three closest sensitive receptors. Prior to approval of building or grading permits, or if no permits are issued, prior to start of construction on the site, the applicant shall provide a letter to Environmental Planning staff from the project acoustic engineer, indicating that he has reviewed the plans **and** that they meet this standard. Permits will not be approved or correction notices will be issued in the case of noncompliance.

F. Mitigation Measure: Air Pollutants (Condition I.K)

Monitoring Program: In order to ensure that there are **no** significant impacts on the environment from demolishing building(s) that contain lead paint and asbestos containing construction materials, prior to approval of demolition or building permits, or if no permits are issued, prior to beginning demolition, the applicant shall notify the Monterey Bay United Air Pollution Control District (MBUAPCD) of the project. Applicant shall obtain approval of the demolition plan and the plan for disposing of associated waste material, as required by federal regulations (national emissions standards for asbestos) and rules of the MBUAPCD. Permits will not be approved or correction notices will be issued in the case of noncompliance.

Minor variations to ~~this~~ permit, which do not affect the overall concept or density, may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires two years from the effective date on the expiration date listed below unless you obtain the required permits and commence construction.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Mark Deming, AICP
Assistant Director

Melissa Allen
Project Planner

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Planning Commission, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.

Santa Cruz County Animal Shelter
Attn: Melanie
1001 Rodriguez St.
Santa Cruz, CA 95062

August 11, 2018

Re: Rehabbing of Cottage on 7th Ave.

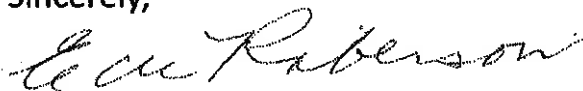
This is to say I support the proposed plan for rehabbing the cottage next to CASA LA FAMILIA, my senior complex right next door. The Shelter has been a good neighbor for many years and provides necessary care for homeless animals, no matter what kind they are. This is a vital service to our community.

We were disappointed when the Shelter's Thrift Store, under the expert direction of Leila Dunn, moved from this building last month. We always enjoyed browsing and finding treasures for our homes next door. We are looking forward to its reopening here in Live Oak.

For full disclosure, I got my Molly, a lovely Cocker Spaniel mix, from the Shelter approximately 7 years ago.

My understanding is that the proposed rehabbing of this building will provide facilities intended to enhance the orphan animals' chances for adoption. It will add something worthwhile and valuable for the nearby community as well. I support the proposed changes to the Shelter Building facing 7th Ave.

Sincerely,



Eve Roberson
2304 7th Ave., Santa Cruz, CA 95-62
831-454-8747