



Staff Report to the Planning Commission

Application Number: **201378**

Applicant: Angshupriya Pathak, ABA Architects
Owner: County of Santa Cruz
APN: 039-102-43 & 039-102-21
Site Address: 7695 Soquel Drive, Santa Cruz

Agenda Date: January 12, 2022
Agenda Item #: 08
Time: After 9:30 a.m.

Project Description: Proposal to demolish the existing Aptos Branch Library and construct a new library building measuring approximately 12,490 gross square feet in size. Requires a Commercial Development Permit, Variances to reduce the front, side, and rear yards by six feet from the required setback 20 feet to 14 feet, approval of a Master Site Plan, Design Review, Sign Exception, and Preliminary Grading Approval.

Location: Property is located on the northeast side of Soquel Drive at its intersection with East Ledyard Way (7695 Soquel Drive). The library building is located on APN No. 039-102-43 and a portion of the associated parking lot is located on APN No. 039-102-21.

Permits Required: Commercial Development Permit, Variances to reduce the front, side, and rear yards by six feet from the required setback 20 feet to 14 feet, Master Site Plan, Sign Exception, Design Review, and Preliminary Grading Approval

Supervisory District: Second District (District Supervisor: Zach Friend)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 201378, based on the attached findings and conditions.

Project Description & Setting

The subject parcel is located in Aptos on the northeast side of Soquel Drive, an east-west arterial roadway connecting downtown Santa Cruz with Aptos and mid-County communities. The project site is located on a corner lot, at the intersection of Soquel Drive and East Ledyard Way. East Ledyard Way is a short street connecting the residential neighborhood to the north of the site with Soquel Drive. The project site is located within the vicinity of other public facilities as well as regional and neighborhood-serving commercial uses along Soquel Drive.

The current application is to demolish the existing one-story Aptos Branch Library (measuring approximately 8,800 gross square feet) and construct a new one-story library building measuring

approximately 12,490 gross square feet in size. The proposed library will include spaces for children, teens, and adults to access traditional books as well as online materials. Separate spaces will be available for community events, meeting rooms, library collections, reading and study rooms, library programming, and staff areas. Three distinct outdoor spaces are proposed at the rear of the new library building to include a staff garden, a children's garden, and an outdoor reading area. The outdoor areas will provide flexible spaces for reading and library programming.

At the adjoining parking lot, the project reorients parking spaces from angled to straight, accommodating parking for 73 vehicles inclusive of the required accessible and electric charging spaces. The parking lot would be repaired and slurry sealed. The proposed trash enclosure would contain both trash and recycling receptacles and would be fully enclosed with a roof overhead to control any odor.

The new library building would be surrounded by generous landscaping, with additional plantings provided in planters within the parking lot and along its peripheries. The project also includes the following offsite improvements:

- Partial demolition and reconstruction of the existing curb, gutter, and sidewalk along Soquel Drive, including a new bus shelter and pad
- Demolition of existing curb and sidewalk along East Ledyard Way and reconstruction of new concrete curb, gutter, and sidewalk
- Construction of a new driveway approach to serve the library site
- Construction of new curb, gutter, and sidewalk along the site frontage heading northwest along Soquel Drive
- Extension of storm drain from East Ledyard Way across the project frontage heading northwest along Soquel Drive
- Construction of a retaining wall at the northwesterly terminus of the new curb, gutter, and sidewalk
- New fire service to serve the new building, located behind the reconstructed bus pad
- New accessible and pedestrian accesses along the back of sidewalk
- Reconstruction of the existing curb inlet at the intersection with East Ledyard Way
- New crosswalk, stop bar and legend at East Ledyard Way
- Construction of stormwater treatment and detention facilities between the library and back of new sidewalk along Soquel Drive

Programming

The Aptos Branch Library is a Santa Cruz County public library providing library services for the mid-County area. The project would replace the existing library with a new and larger building, but the function and programming of the library would remain essentially the same. A maximum of ten staff members are expected on-site at any one time. Staff would be present at the library from 8:00 a.m. to 8:00 p.m.; however, the library would be open to the public from 10:00 a.m. to 8:00 p.m., with periodic special programs and events to occur in the Community Room from 9:00 a.m. to 10:00 p.m. Expected deliveries to the site include a library courier service six days a week, building maintenance visits once a week, and weekly or bi-monthly supply deliveries.

Required Approvals

The project requires Commercial Development Permit to establish a nonresidential use at the site.

Approval of Variances are required to reduce the front, side, and rear yards by six feet from the required setback of 20 feet to 14 feet.

Approval of a Master Site Plan by the Planning Commission accompanied by a finding of General Plan consistency pursuant to Section 65402 of the California Government Code is required for a new conditionally permitted use in the PF (Public Facilities) zone district.

Preliminary Grading Review is required per Santa Cruz County (SCCC) Chapter 16.20 to assess and place conditions of approval on the proposed grading work associated with the project.

Per SCCC Chapter 13.11 Design Review is required for all County projects including public buildings.

A Sign Exception is required per SCCC 13.10.587 to permit 196.5 square feet of cumulative sign area where the zone district allows only 50 square feet.

Project Background

In 1973, the existing Aptos Branch Library building was approved pursuant to Use Permit 4757-U. In 2008, a Minor Variation (08-0316) to Use Permit 4757-U was approved to expand the parking area onto the adjacent parcel (APN 039-102-21) to provide sufficient parking for the existing library facility.

Zoning & General Plan Consistency

The subject properties consist of two abutting lots measuring approximately 43,438 square feet (1.007 acre) and 10,424 square feet (0.24 acre) in size respectively. The library building is located on APN No. 039-102-43 in the PF (Public Facilities) zone district, a designation in which libraries are conditionally permitted. The proposed library would replace an existing library use and is a conditionally permitted use within the zone district and the zoning is consistent with the site's P (Public Facilities) General Plan designation. A portion of the associated parking lot is located on APN No. 039-102-21 in the PA (Professional Administrative Office), a designation in which libraries are also conditionally permitted, consistent with the C-O (Professional Administrative Office) General Plan designation.

The PF zone district contains standard minimum 10-foot setback requirements for all yards; however, pursuant to SCCC 13.10.363(B)(2), on PF-zoned parcels adjacent to residential districts, all minimum yards are increased to 20 feet. The northeast property line of the project site is bordered by a residential (R-1-8) zone district; thus, all required setbacks are 20 feet.

A summary of the required and proposed site and development standards relevant to the project are summarized in the table below:

Development Standard	PF Site Standards	Proposed
Front yard setback	20 feet	About 20 feet (Variance required for 6-foot roof eave encroachment)
Rear yard setback	20 feet	About 20 feet (Variance required for 6-foot roof eave encroachment)
Side yard setbacks	20 feet	About 20 feet (Variance required for 6-foot roof eave encroachment)
Maximum height	35 feet	About 22 feet 6 inches at roof peak
Maximum number of stories	3 stories	1 story
Vehicle parking	1 space per 300 square feet of gross floor area (42 spaces required)	73 spaces

Setback Variances

The project proposes a reduction to the required 20-foot setbacks to allow for minor encroachments of roof eaves up to a maximum of six feet at several locations on the site. Other than minor encroachments of the roof eaves, all components of the proposed building would meet all site standards requirements. For a Variance to be granted pursuant to SCCC Section 13.10.230, specific findings must be met. These findings can be met in that the subject parcel has constraints that restrict development of the site. Due to parcel constraints, approval of Variances to setbacks is necessary for construction of the roof eaves associated with the proposed public library building.

Sign Exception

A sign exception is requested, as allowed by SCCC Section 13.10.587, to permit 196.5 square feet of cumulative sign area where the zone district allows only 50 square feet. The proposed signage program (Exhibit D) would be in proportion to the size of the library building and the associated site improvements. Abutting residential properties are located only along the northern periphery of the project site and no signage would be directed towards, or visible from adjacent residential zoning. Further, no illuminated signage would be visible from any nearby property located within a residential zone district. Thus, the signage program would have virtually no visual impact to the residential zone district. The project site is not visible from a scenic corridor as designated in the General Plan. All signage is proposed to be constructed of aluminum and is designed to be consistent with the architectural character of the building and an integral part of the landscaped site plan area. A pedestrian-level sign at the intersection of Soquel Drive and East Ledyard Way would be subtly and indirectly illuminated via two in-grade LED well lights.

Master Site Plan

Pursuant to SCCC 13.10.365, prior to or concurrently with the approval of any new use for which a Level V (or higher) approval is required in the PF zone district, a development permit

for a Master Site Plan shall be approved by the Planning Commission and such approval shall be accompanied by a finding of General Plan consistency pursuant to Section 65402 of the California Government Code.

Libraries are conditionally permitted uses within the PF zone district and the proposed library use, though larger in size, would be essentially identical in programming and function as the existing library use at the site. No other uses are proposed in conjunction with the library use at this time. Any new uses proposed in the future would need to comply with the requirements of the applicable zone district and General Plan designation. Phased construction is not proposed. Construction would be permitted to commence upon issuance of the building permit and any other required construction-related permits. A General Plan consistency finding pursuant to California Government Code Section 65402, which outlines the due process of review for real property acquisitions and dedications, is not applicable to the proposed project.

In accordance with SCCC Section 13.10.365(A)(4), future site and facility development permits, when applied for pursuant to an approved Master Site Plan, may be processed as a Level IV approval or according to an over-the-counter staff review specified by the conditions of the Master Site Plan development permit approval. The intent of this Code section is to ensure all phased development is compatible with an approved Master Site Plan. Being that that the proposed project entails construction of a library, and phased construction is not proposed, it is appropriate to allow future site and facility development permits to be processed in accordance with an administrative Level III Master Site Plan Amendment Permit. A Condition of Approval establishing this permit requirement has been added.

Grading and Trees

Grading volumes in the amount of approximately 1,760 cubic yards of cut and 275 cubic yards of fill are proposed for construction of the project. A total of 36 trees are proposed for removal due to their location in the construction area. The trees proposed for removal are all relatively young and none are considered as Significant Trees pursuant to County regulations. Eight trees would be retained. An arborist report (James P. Allen & Associates, November 19, 2020) is included in the project file and has been reviewed and accepted by Environmental Planning staff. A landscape plan (Exhibit D) has been provided, which includes 24 replacement trees, vegetation, and hardscape designed to complement the proposed building.

Design Review

Institutional and public projects, including libraries, are subject to the County's Design Review Ordinance (County Code Chapter 13.11). The placement of the proposed replacement library building is skewed to utilize the full potential of the site's solar orientation, effectively setting the corner of the block with a building massing that is both visually interesting and elegantly respects neighborhood scale. The proposed one-story library would showcase a gently pitched roof at varying planes and heights as viewed from the Soquel Drive and East Ledyard Way rights-of-way. Photovoltaic arrays would be installed on the roof on its south-facing pitch. Building heights are intentionally lower along its northeastern edge to preserve neighbors' privacy and views. Additionally, all eight existing trees along the neighboring residential fence line would be retained to further preserve buffering. The submitted design contains sufficient varying architectural elements, fenestration, and wall planes to break up the apparent mass and

bulk of the structure, ensuring that it will not read visually as a monolithic structure.

Although the specific materials may change depending upon the final cost of construction, the range of possible siding materials would be compatible with the character of the neighborhood. The project plans include the base bid as well as more expensive options if the library is able to raise additional funds prior to construction. Cement plaster for all siding is proposed as the base bid, and alternative (more expensive) options include adding composite siding at the southwest iconic corner and/or entry fin wall. Selected materials and colors associated with the proposed signage relate well to the building design.

The project includes fencing and retaining walls visible from adjacent rights of way. A security fence measuring approximately seven feet in height is proposed along a portion of the side yard fronting the East Ledyard Way and new retaining walls are proposed at various locations throughout the site frontage. The fencing at East Ledyard Way would extend approximately 60 linear feet and would secure the proposed outdoor flex spaces to be located at the rear of the building. Like the siding alternatives mentioned above, the project landscape plans include the base bid as well as more expensive options if additional funds can be raised prior to construction. Chain link fencing is proposed as the base bid, and alternative options include a wood picket fence or an ornamental welded wire fence. The site is an upsloping lot; therefore, the proposed retaining walls will substantially be depressed into grade. The stepped design will follow the natural topography of the upsloping grade. The purpose of the retaining walls is to improve site safety and accessibility for the proposed use. The existing library site also contains retaining walls for the same reasons. The design of the retaining walls is consistent with the character of the proposed development and will not impede drivers' line of sight.

The proposed parking lot re-design would meet objectives for safe, convenient, and understandable pedestrian, bicycle, and vehicle circulation and parking. The parking lot would contain biotreatment basins, a landscape island, and peripheral landscape areas with a generous landscaping and tree planting plan to soften the appearance of the parking lot. As proposed, the project complies with the requirements of the County Design Review Ordinance.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number 201378, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

Report Prepared By: _____

Jonathan DiSalvo
Santa Cruz County Planning Department
701 Ocean Street, 4th Floor
Santa Cruz CA 95060
Phone Number: (831) 454-3157
E-mail: jonathan.disalvo@santacruzcounty.us

Report Reviewed By: _____

Jocelyn Drake
Principal Planner
Development Review
Santa Cruz County Planning Department

Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information

CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 201378
Assessor Parcel Number: 039-102-43 & 039-102-21
Project Location: 7695 Soquel Drive, Santa Cruz

Project Description: Proposal to demolish the existing Aptos Branch Library and construct a new library building measuring approximately 12,490 gross square feet in size.

Person or Agency Proposing Project: Angshupriya Pathak, ABA Architects on behalf of the County of Santa Cruz

Contact Phone Number: 831-420-2430

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. ☐ Ministerial Project involving only the use of fixed standards or objective measurements without personal judgment.
D. ☐ Statutory Exemption other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. ☒ Categorical Exemption

Specify type: Class 2 – Replacement or Reconstruction of Existing Facilities (Section 15302)

F. Reasons why the project is exempt:

Reconstruction of an existing public library building measuring approximately 8,800 gsf with a new public library building measuring approximately 12,490 gsf.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Jonathan DiSalvo, Project Planner

Date: _____

EXHIBIT A

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for public library uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the public library and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the PF (Public Facilities) zone district as the primary use of the property will continue to be a public library use that meets all current site standards for the zone district except for the requested variances for minor encroachments of roof eaves into setbacks for which findings for a variance can be made.

A sign exception is requested, as allowed by SCCC Section 13.10.587, to permit 196.5 square feet of cumulative sign area where the zone district allows only 50 square feet. The proposed signage program (Exhibit D) would be in proportion to the size of the library building and the associated site improvements. Abutting residential properties are located only along the northern periphery of the project site and no signage would be directed towards, or visible from adjacent residential zoning. Further, no illuminated signage would be visible from any nearby property located within a residential zone district. Thus, the signage program would have virtually no visual impact to the residential zone district. The project site is not visible from a scenic corridor as designated in the General Plan. All signage is proposed to be constructed of aluminum and is designed to be consistent with the architectural character of the building and an integral part of the landscaped site plan area. A pedestrian-level sign at the intersection of Soquel Drive and East Ledyard Way would be subtly and indirectly illuminated via two in-grade LED well lights.

This proposal is also consistent with County Code Section 13.10.355 in regard to the requirement for a Master Site Plan approval. A General Plan consistency finding pursuant to California Government Code Section 65402, which outlines the due process of review for real property acquisitions and dedications, is not applicable to the proposed project.

The proposed retaining walls and fencing will allow for adequate visibility of vehicles entering the street and will not obstruct the light and air of the street or any nearby properties.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed public library use is consistent with the use and density requirements specified for the P (Public Facilities) land use designation in the County General Plan.

The proposed library complies with General Plan Policy 7.15.1 (Siting Libraries) which requires locating libraries within community centers or nearby major commercial centers. The project complies with this policy as the library parcel is located within a major commercial corridor, is located across Soquel Drive from the Aptos Center Shopping Mall and is approximately 350 feet to the north of the Rancho Del Mar Shopping Center. The project also complies with General Plan Policy 7.15.2 (Support and Expansion of Libraries) which specifically calls for expanding the Aptos Branch Library.

The project complies with General Plan Policy 8.5.2 (Commercial Compatibility with Other Uses) in that building and site design pays careful attention to adjacent uses, especially residential uses bordering the northern periphery of the project site by intentionally lowering building height and retaining existing trees at the rear yard to encourage buffering between uses. This project would replace an existing public library with a new library, remaining essentially the same in program and function. This project results in thoughtful building architecture, which will contribute to community visual character and includes generous landscaping to soften its hardscape elements. The parking lot design, as coordinated with proposed off-site improvements, will allow for the safe flow of bicycles, pedestrians, and vehicles entering from and existing to Soquel Drive.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities, and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed public library would replace an existing library at the project site. The existing library measures approximately 8,800 gross square feet and the proposed library would measure approximately 12,490 gross square feet. Though the new library would be approximately 30 percent larger in size than the existing library, the function and programming of the new library would remain essentially the same.

The project is subject to Transportation Improvement (TIA) fees for its net new trip ends (19 trips). The project is also eligible for TIA fee credits for certain off-site improvements constructed by the project. The project is located along Soquel Drive which is a major arterial for vehicles, bicycles, and transit and would also contain ample on-site parking, limiting parking spill-over onto adjacent streets. The site is well-served by transit, and a bus stop for Santa Cruz Metro 55, 69W, 71, and 91X bus routes is located along the Soquel Drive frontage, abutting the project site. Thus, the net increase of trips generated by the proposed project is not expected to adversely impact existing roads or intersections in the surrounding area.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed public library is consistent with the land use intensity and density of the neighborhood. As directed by the General Plan, the library would be sited within a commercial corridor. The project would result in an expansion of the Aptos Branch Library which is an objective of the General Plan. Residential uses are located along the northern property line of the project site. All homes are separated from the library property in that they front on Arden Way and their rear yards border the project site. The project also retains existing trees along its northern property line to provide additional buffering. The southern-most neighboring parcel, located at the intersection of Arden Way and East Ledyard Way, is residentially zoned but does not contain a residence; the parcel is owned by the Soquel Creek Water District and contains unmanned water utility infrastructure. Across East Ledyard Way is a Wells Fargo Bank building and a church. Directly across Soquel Drive from the project site is a Catholic Church and the Aptos Center Shopping Mall. Abutting the project site to the north of the parking lot is a non-conforming residential structure located within the PA zone district, a commercial designation. The proposed library is designed and sited appropriately given the surrounding land uses.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed public library will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area.

Institutional and public projects, including libraries, are subject to the County's Design Review Ordinance (County Code Chapter 13.11). The placement of the proposed replacement library building is skewed to utilize the full potential of the site's solar orientation, effectively setting the corner of the block with a building massing that is both visually interesting and elegantly respects neighborhood scale. The proposed one-story library would showcase a gently pitched roof at varying planes and heights as viewed from the Soquel Drive and East Ledyard Way rights-of-way. Photovoltaic arrays would be installed on the roof on its south-facing pitch. Building heights are intentionally lower along its northeastern edge to preserve neighbors' privacy and views. Additionally, all eight existing trees along the neighboring residential fence line would be retained to further preserve buffering. The submitted design contains sufficient varying architectural elements, fenestration, and wall planes to break up the apparent mass and bulk of the structure, ensuring that it will not read visually as a monolithic structure.

Although the specific materials may change depending upon the final cost of construction, the range of possible siding materials would be compatible with the character of the neighborhood. The project plans include the base bid as well as more expensive options if the library is able to raise additional funds prior to construction. Cement plaster for all siding is proposed as the base bid, and alternative (more expensive) options include adding composite siding at the southwest iconic corner and/or entry fin wall. Selected materials and colors associated with the proposed

signage relate well to the building design.

The project includes fencing and retaining walls visible from adjacent rights of way. A security fence measuring approximately seven feet in height is proposed along a portion of the side yard fronting the East Ledyard Way and new retaining walls are proposed at various locations throughout the site frontage. The fencing at East Ledyard Way would extend approximately 60 linear feet and would secure the proposed outdoor flex spaces to be located at the rear of the building. Like the siding alternatives mentioned above, the project landscape plans include the base bid as well as more expensive options if additional funds can be raised prior to construction. Chain link fencing is proposed as the base bid, and alternative options include a wood picket fence or an ornamental welded wire fence. The site is an upsloping lot; therefore, the proposed retaining walls will substantially be depressed into grade. The stepped design will follow the natural topography of the upsloping grade. The purpose of the retaining walls is to improve site safety and accessibility for the proposed use. The existing library site also contains retaining walls for the same reasons. The design of the retaining walls is consistent with the character of the proposed development and will not impede drivers' line of sight.

The proposed parking lot re-design would meet objectives for safe, convenient, and understandable pedestrian, bicycle, and vehicle circulation and parking. The parking lot would contain biotreatment basins, a landscape island, and peripheral landscape areas with a generous landscaping and tree planting plan to soften the appearance of the parking lot. As proposed, the project complies with the requirements of the County Design Review Ordinance.

Variance Findings

1. That because of special circumstances applicable to the property, including size, shape, topography, location, or surroundings, the strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

This finding can be made, in that the size and surroundings of the parcel create special circumstances for which setback variances can be granted. The subject parcel has a width of approximately 135 feet and is only bordered by properties within a residential zoning classification along the northeastern edge of the project site.

The rear yard setback is measured from the northeastern portion of the site bordering residential properties, the side setback is measured from the East Ledyard Way frontage (southeast portion of the site), and the front setback is measured from the Soquel Drive frontage (southwest portion of the site). In the rear yard, the roof eave encroaches into the 20-foot rear yard setback at four separate locations. The respective encroachments measure approximately five feet, three feet, two feet, and three feet. In the side yard, the roof eave encroaches into the 20-foot side yard setback at one location, measuring approximately six feet. In the front yard, the roof eave encroaches into the 20-foot front yard setback at four separate locations. The encroachments measure approximately six feet and three feet.

The intent of SCCC Section 13.10.363(B)(2) in requiring increased setbacks for PF-zoned properties adjacent to residential zone districts is to apply added protective measures to buffer residential uses from impacts associated with public facilities located nearby. The proposed project is not expected to create adverse impacts to adjacent residentially zoned properties for the following reasons: first, the library building itself as proposed would meet all setback requirements with the exception of minor portions of the roof eaves at select locations. Secondly, building heights (at approximately 15 feet) are intentionally lower at the portion of the site closer to adjacent residential properties, and the roof eaves as designed further the goals of SCCC Section 13.10.323(B)(2) in that they draw the roof line even lower to grade, further protecting privacy of adjacent properties. Third, portions of the existing library building are located within the 20-foot rear setback, and the proposed replacement building would not result in a significant impact to adjacent residential properties as compared to existing conditions.

As for the front and side yard setbacks, both Soquel Drive and East Ledyard Way frontages can be classified as non-residential. Like the rear yard setback variance described in this section, other than minor encroachments of the roof eaves at several locations, all components of the proposed building along the front and side yard frontages would meet all setback requirements. Due to the width and orientation of the subject parcel, the proposed location of public library is appropriate, as the project design would take advantage of solar opportunities while effectively navigating the physical constraints of the site and adjacent residential properties. The ability to construct an appropriately sized public library building both furthers the goals of the County General Plan and is a privilege enjoyed by other properties under identical zoning classification.

2. That the granting of the variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.

This finding can be made in that the proposed public library building will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties and will meet all current setbacks in the zone district other than minor encroachments of its roof eaves into rear, side, and front setbacks. The permitted building height limit is 35 feet and three stories in the PF zone district. This is a proposal for a one-story building with a maximum height of 22.5 feet at the roof peak, 12.5 feet below the allowed height maximum. Though the project proposes a reduction of the required setbacks, the structure will not result in adverse impacts to sight distance or impede traffic. The proposed setback encroachments are not expected to be materially detrimental to public health safety or welfare, or injurious to property or improvements in the vicinity.

3. That the granting of such variances shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.

This finding can be made, in that the project would not constitute a grant of special privileges in that the project would comply with all site standards for the zone district, with exception of minor encroachment of roof eaves into setbacks. In all, the project design is appropriate for a public library and is compatible with the visual character of the neighborhood and is consistent with the density and intensity of the area. The roof eaves as designed further the goals of SCCC Section 13.10.323(B)(2) in that they reduce visual massing and draw the roof line even lower to grade, protecting privacy of adjacent residential properties. Other parcels in the PF zone district similarly constrained by parcel width and surrounding residential uses would be eligible for a variance, therefore the granting of the variances would not be a grant of special privileges.

Conditions of Approval

Exhibit D: Project plans, prepared by Anderson Brule Architects, dated July 14, 2021.

- I. This permit authorizes the construction of a public library measuring approximately 12,490 gross square feet in size as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
 - C. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - D. Obtain a Grading Permit from the Santa Cruz County Building Official.
 - E. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Planning Department review

and approval.

3. Grading, drainage, and erosion control plans.
 4. Details showing compliance with fire department requirements. If the proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
- B. Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
 - C. Meet all requirements of the County Department of Public Works, Road Engineering Division.
 - D. All off-site improvements shall be designed in conformance with County Department of Public Works requirements.
 - E. Meet all requirements of the Soquel Creek Water District. Proof of water service availability is required prior to application for a Building Permit.
 - F. Meet all requirements of the Santa Cruz County Sanitation District. Proof of sanitary sewer service availability is required prior to application for a Building Permit.
 - G. Meet all requirements of the County Department of Environmental Health Services.
 - H. Meet all requirements of the Environmental Planning section of the Planning Department, including the following:
 1. Submit an arborist plan review letter from the project arborist for review and approval at the time of building permit submittal.
 2. A pre-construction meeting prior to the start of any demolition work shall be arranged by the project contractor. The following people shall be in attendance: project geotechnical engineer, project arborist, grading contractor and County Resource Planner from the Environmental Planning Section (Robert Loveland 831 454-3163).
 - I. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
 - J. Submit 3 copies of plan review letters prepared and stamped by the project Geotechnical Engineer.

- K. Pay the current fees for Roadside and Transportation improvements for 19 additional daily trips. Currently, these fees are, respectively, \$300 and \$300 per additional daily trip. Off-site improvements constructed by the project are eligible for TIA fee credit at the unit fee amounts specified in the Unified Fee Schedule.
 - L. Provide required off-street parking for a minimum of 42 cars. A minimum of 38 total parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - M. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- IV. Operational Conditions
- A. Master Site Plan: The proposed library building, and associated uses are authorized as a Master Site Plan approved for the Aptos Branch Library.
 - 1. Future site and facility development permits, when applied for pursuant to the approved master site plan, may be processed as a Level III Master Site Plan Amendment Permit review. Planning staff may also elevate a request for Master Site Plan Amendment review to a Level IV review if public notice is warranted.

2. Any permitted sign lighting shall be unobtrusive to adjacent properties and any glare shall be directed onto the site. Illuminated signs that would be visible from residential properties are prohibited. Where sign lighting is permitted on site, only indirect illumination or low-intensity interior illumination shall be used. Where allowed on-site, illumination of any signs is only permitted during open business hours. Illumination of signs is prohibited when the library is closed.

- B. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

V. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of

any of the terms or conditions of the development approval without the prior written consent of the COUNTY.

- D. Successors Bound. The “applicant/owner” shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Planning Commission, may appeal the act or determination to the Board of Supervisors in accordance with chapter 18.10 of the Santa Cruz County Code.

PROJECT DIRECTORY
PROJECT INFORMATION
PROJECT COMPARISON (EXISTING / PROPOSED)
FIRE PROTECTION NOTES
GENERAL BUILDING LIMITATIONS
SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY & USE
SHEET INDEX
ADDITIVE ALTERNATES

ABA ARCHITECTS
325 South Main Street, Suite 400
San Jose, CA 95131
(408) 285-1881
www.aba-arch.com
CONSULTANTS LOGO
PLANNING RESUBMITTAL #3
NOVEMBER 12, 2021
EXHIBIT D
APOTOS BRANCH LIBRARY
7866 SQUIRE DR.
APOTOS, CA 95003
SHEET INDEX AND GENERAL INFORMATION
G001 P

1. THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (2019 EDITION) AND

- [illegible]

SOILS FOR BIOTREATMENT OR BIORETENTION AREAS SHALL MEET TWO OBJECTIVES:

- [illegible]

PROJECT BASSING (BY WEICHA)

- | SEIVE SIZE | NO. | WGT. (gr.) | MAX. |
|------------|-----|------------|------|
| 1/8 INCH | 100 | 100 | 100 |
| No. 20 | 80 | 80 | 80 |
| No. 40 | 40 | 40 | 40 |
| No. 60 | 25 | 25 | 25 |
| No. 80 | 15 | 15 | 15 |
| No. 100 | 10 | 10 | 10 |
| No. 150 | 5 | 5 | 5 |
| No. 200 | 0 | 0 | 0 |
| No. 250 | 5 | 5 | 5 |
- NOTE: ALL SAMPLES COMPLIING WITH ASTM C215 FOR FINE AGGREGATE COMPLY WITH THE ABOVE GRADATION REQUIREMENTS.

COMPOST TESTING AND INFORMATION DISCLOSURE PROGRAM

4. **REPORT DELIVERY OF THE SOIL.** THE SUPPLIER MUST SUBMIT A COPY OF LAB ANALYSIS PERFORMED BY A LABORATORY THAT IS ENROLLED IN THE COMPOSTING COMMODITY'S COMPOST ANALYSIS PROGRAM (CAP) PROGRAM AND AROUND APPROVED TEST METHODS FOR THE EVALUATION OF COMPOSTING AND COMPOST (TABLE 1) FOR THE SOIL. THE ANALYSIS MUST BE CONDUCTED FOR BOTH BIOLOGICAL AND SOIL TESTS. THE ANALYSIS MUST BE ANALYZED BY AN ACCREDITED LAB USING ISO 9001, NIOSH AND 1 INCH SIZE SCREEN D 422 OR AS APPROVED BY MANUFACTURER, AND MEET THE FOLLOWING CRITERIA:
- | | PERCENT PASSING (BY WEIGHT) |
|------------|-----------------------------|
| SIEVE SIZE | |
| 1 INCH | 100 |
| 3/4 INCH | 100 |
| 3/8 INCH | 100 |
| NO. 10 | 100 |

COMPARABLE LOCAL ORDINANCE) WILL BE REQUIRED TO PROVIDE AT LEAST TWO INCHES OF MULCH, AGED MULCH, ALSO CALLED COMPOST MULCH, REDUCES THE ABILITY OF WEEDS TO ESTABLISH. KEEPS SOIL MOIST.

1. THE UNDERGROUND FIRE PROTECTION SYSTEM SHOWN ON THESE PLANS IS SCHEMATIC ONLY. IT IS NOT INTENDED TO BE AN INSTALLATION MANUAL. THE USER SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF THE SYSTEM.

1. THE PROTECTION STAGER SHALL BE A PERSON WHO IS NOT EMPLOYED AS A FIRE FIGHTER OR AS A FIRE ALARM BOX OPERATOR, AND WHO IS NOT A MEMBER OF THE FIRE DEPARTMENT OR A MEMBER OF THE FIRE ALARM BOX COMPANY.
2. THE PROTECTION STAGER SHALL BE A PERSON WHO IS NOT EMPLOYED AS A FIRE FIGHTER OR AS A FIRE ALARM BOX OPERATOR, AND WHO IS NOT A MEMBER OF THE FIRE DEPARTMENT OR A MEMBER OF THE FIRE ALARM BOX COMPANY.
3. THE PROTECTION STAGER SHALL BE A PERSON WHO IS NOT EMPLOYED AS A FIRE FIGHTER OR AS A FIRE ALARM BOX OPERATOR, AND WHO IS NOT A MEMBER OF THE FIRE DEPARTMENT OR A MEMBER OF THE FIRE ALARM BOX COMPANY.
4. THE PROTECTION STAGER SHALL BE A PERSON WHO IS NOT EMPLOYED AS A FIRE FIGHTER OR AS A FIRE ALARM BOX OPERATOR, AND WHO IS NOT A MEMBER OF THE FIRE DEPARTMENT OR A MEMBER OF THE FIRE ALARM BOX COMPANY.
5. THE PROTECTION STAGER SHALL BE A PERSON WHO IS NOT EMPLOYED AS A FIRE FIGHTER OR AS A FIRE ALARM BOX OPERATOR, AND WHO IS NOT A MEMBER OF THE FIRE DEPARTMENT OR A MEMBER OF THE FIRE ALARM BOX COMPANY.
6. THE PROTECTION STAGER SHALL BE A PERSON WHO IS NOT EMPLOYED AS A FIRE FIGHTER OR AS A FIRE ALARM BOX OPERATOR, AND WHO IS NOT A MEMBER OF THE FIRE DEPARTMENT OR A MEMBER OF THE FIRE ALARM BOX COMPANY.
7. THE PROTECTION STAGER SHALL BE A PERSON WHO IS NOT EMPLOYED AS A FIRE FIGHTER OR AS A FIRE ALARM BOX OPERATOR, AND WHO IS NOT A MEMBER OF THE FIRE DEPARTMENT OR A MEMBER OF THE FIRE ALARM BOX COMPANY.
8. THE PROTECTION STAGER SHALL BE A PERSON WHO IS NOT EMPLOYED AS A FIRE FIGHTER OR AS A FIRE ALARM BOX OPERATOR, AND WHO IS NOT A MEMBER OF THE FIRE DEPARTMENT OR A MEMBER OF THE FIRE ALARM BOX COMPANY.
9. THE PROTECTION STAGER SHALL BE A PERSON WHO IS NOT EMPLOYED AS A FIRE FIGHTER OR AS A FIRE ALARM BOX OPERATOR, AND WHO IS NOT A MEMBER OF THE FIRE DEPARTMENT OR A MEMBER OF THE FIRE ALARM BOX COMPANY.
10. THE PROTECTION STAGER SHALL BE A PERSON WHO IS NOT EMPLOYED AS A FIRE FIGHTER OR AS A FIRE ALARM BOX OPERATOR, AND WHO IS NOT A MEMBER OF THE FIRE DEPARTMENT OR A MEMBER OF THE FIRE ALARM BOX COMPANY.

1. ALL NEW WORK SHALL CONFORM TO TITLE 24 OF THE CALIFORNIA ADMINISTRATIVE CODE AND THE CALIFORNIA BUILDING CODE.

- [illegible]

1. ALL GRADING WORK AND CONSTRUCTION OF IMPROVEMENTS SHALL BE DONE IN ACCORDANCE WITH RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT

- [illegible]

ABA

ANDERSON BRILL
ARCHITECTS
325 South First Street, 6th Floor
San Jose, California 95113
408.258.1155 | www.abr-arch.com

CONSULTANT'S LOGO



5300 SOQUEL AVE, SUITE
SANTA CRUZ, CA 95062
TEL (831) 426-5313
FAX (831) 426-1763
www.findingajob.com
IF/LAND JOB NO.: 20027



**PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021**

NOVEMBER 17, 2021

STAM

NOT FOR
CONSTRUCTION

[illegible]

PROJECT TITLE:

APTOS BRANCH

7695 SOURCE DE

PROJECT NO.	200406
DATE	11/03/2002

NOTES

SCALE.

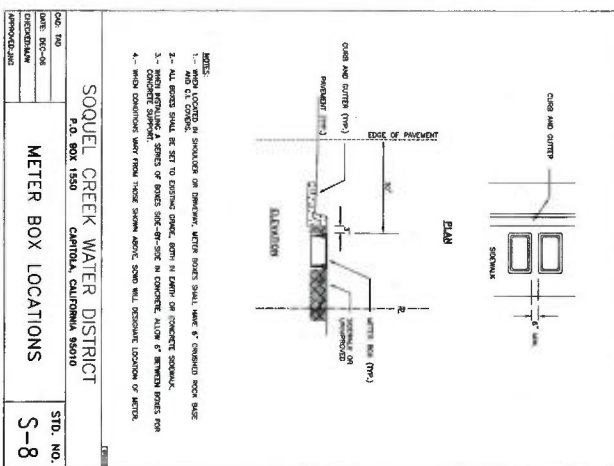
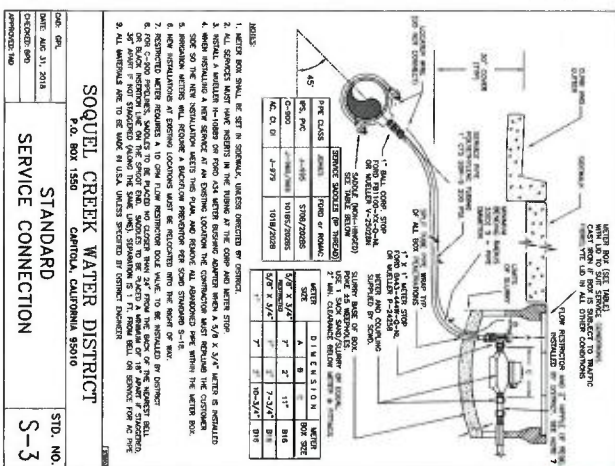


EXHIBIT D



ANDERSON BRUL
ARCHITECTS
325 South First Street, 4th Floor
San Jose, California 95113
408.290.1885 | www.abr-brul.com



5300 SODUK AVE., SUITE 101
SANTA CRUZ, CA 95062
TEL (831) 426-5315
FAX (831) 426-1765
www.lifondemghealth.com
LIFLAND JOB NO.: 20027

**PLANNING
ESUBMITTAL #3
NOVEMBER 17, 2021**

**NOT FOR
CONSTRUCTION**

[illegible]

PROJECT TITLE

APTOS BRANCH
LIBRARY

7695 SOQUEL DR.
APTOS, CA 95003

PROJECT NO.	200409
DATE	11/03/2007
SHEET TITLE	

SCWD
DETAILS

SCALE

© 1999 by The McGraw-Hill Companies, Inc.

C2.0

EXHIBIT D



ANDERSON BULL
ARCHITECTS
322 South Pine Street, 4th Floor
Anaheim, CA 92801
408.292.1551 www.abr-arch.com



3500 BOWEN AVE, SUITE 101
DOWNEY, CA 90241
TEL (626) 295-5515
FAX (626) 295-1155
WWW.JFLAND-ENGINEERS.COM
IRLAND 0800 NO. 20027

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOT FOR
CONSTRUCTION

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT TITLE

APTOS BRANCH
LIBRARY
7899 SOQUEL DR.
APTOS, CA 95003

SCC DETAILS

C2.3

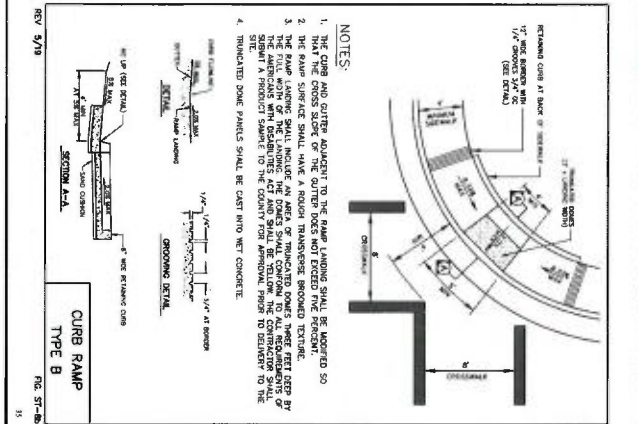
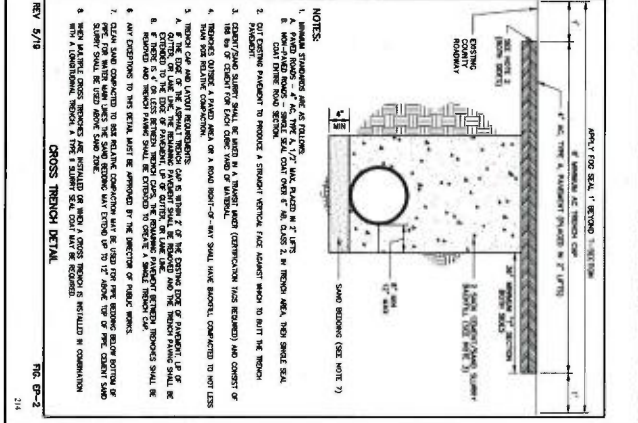
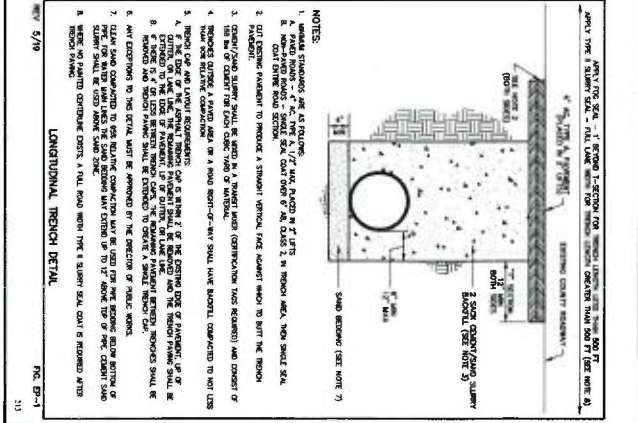
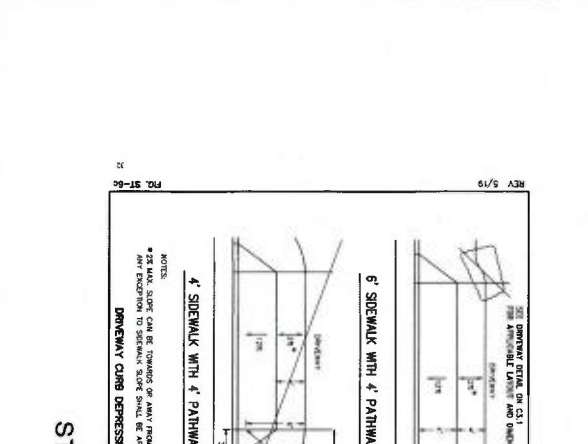
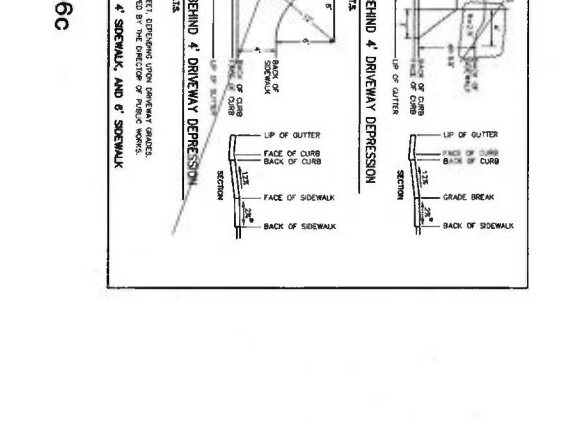
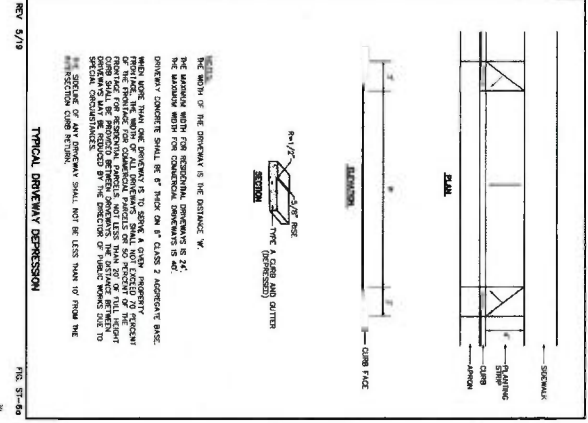
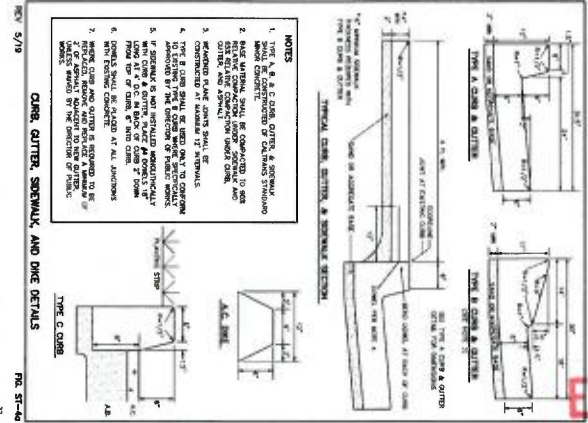


EXHIBIT D



ANDERSON BULL
ARCHITECTS

308 South Pine Street, 4th Floor
San Jose, California 95113
408.263.1100 / andersonbull.com

CONSULTANTS (C20)



5000 SOUTHERN AVE. SUITE 101
SAN JOSE, CA 95135
TEL (408) 434-5513
FAX (408) 434-7165
WWW.IPLAND-ENGINEERS.COM
FOUNDED 2007

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

STAMP

NOT FOR
CONSTRUCTION

NO. DATE REMARKS	
1	REVISION
2	REVISION
3	REVISION
4	REVISION
5	REVISION
6	REVISION
7	REVISION
8	REVISION
9	REVISION
10	REVISION

PROJECT TITLE

APTOS BRANCH
LIBRARY

7699 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 200469
DATE 11/02/2021
SHEET TITLE

SCC DETAILS

C2.4

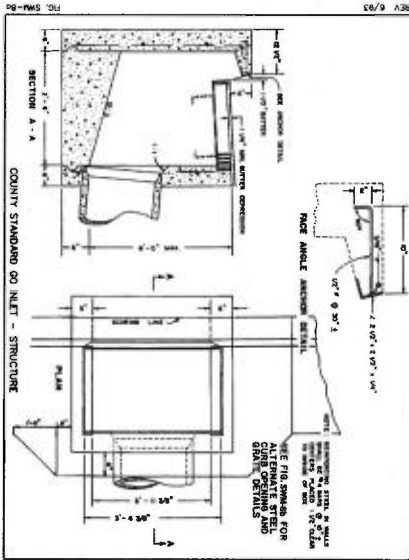


Figure SWM-8a: County Standard CO Inlet

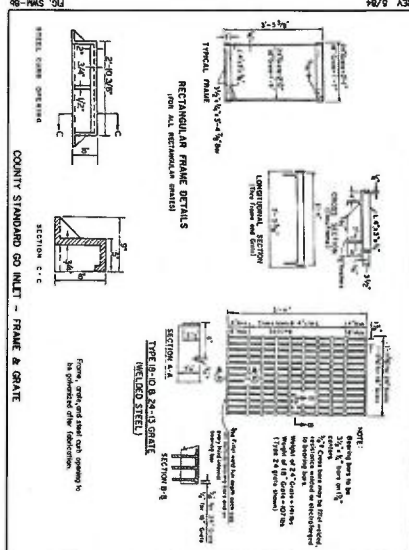


Figure SWM-8b: Frame & Grate for CO Inlet

SWM-8a

SWM-8b

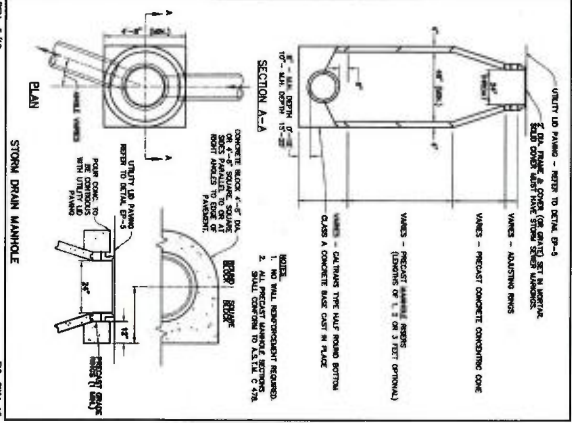


Figure SWM-10: Storm Drain Manhole

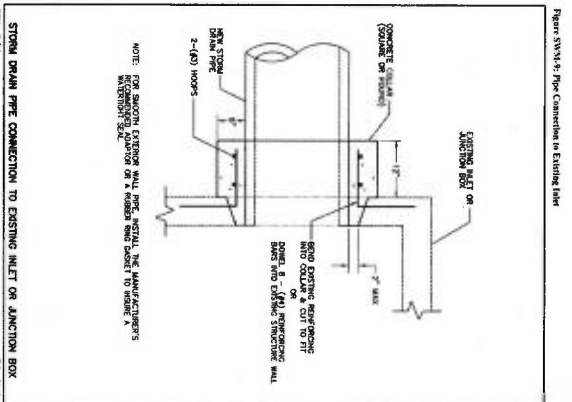


Figure SWM-9: Pipe Connection to Existing Inlet

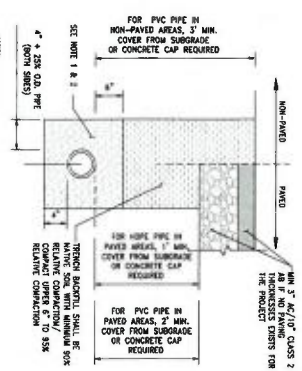
REV 5/19

FIG. SWM-10

REV 5/19

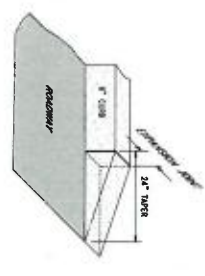
FIG. SWM-9

NOTE: THE STANDARD DETAILS ON THIS SHEET ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE DATA CONTAINED IN EACH DETAIL, AND FOR THE CORRECTNESS OF THE CONNECTIONS TO EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE DATA CONTAINED IN EACH DETAIL, AND FOR THE CORRECTNESS OF THE CONNECTIONS TO EXISTING STRUCTURES.



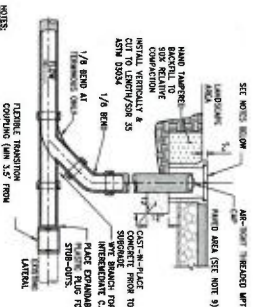
TRENCH DETAIL FOR PRIVATE ON-SITE
(FOR UTILITIES WITH GREATER THAN 4 FEET COVER)
MTS

1. TRENCH BEDDING AND SHADING MATERIAL SHALL BE 3/8" DIAMETER OR GREATER CRUSHED ROCK OR WELL GRADED SAND & GRAVEL MATERIALS CONFORMING TO THE PRT MANUFACTURER'S REQUIREMENTS. ALL BEDDING AND SHADING MATERIAL SUBJECT TO APPROVAL BY THE GEOTECHNICAL ENGINEER.
- USE 90% RELATIVE COMPACTION IF NO SOILS REPORT EXISTS. IF SOILS REPORT EXISTS, COMPACTION REQUIREMENTS IN THE REPORT SHALL GOVERN OVER THIS DETAIL.



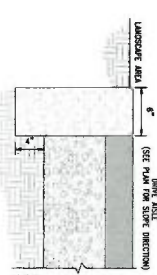
TAPER CURB
MTS

1. PROVIDE 1/2" CONSTRUCTION EXPANSION JOINTS AS SHOWN.
2. TOP AND FRONT OF CURB AND GUTTER TO BE ONE BRUSH FINISH AFTER FORMWORKING, BRUSHING TO BE PERMANENT TO LINE OF CURB.
3. SEE SOils REPORT FOR CONSTRUCTION REQUIREMENTS BEYOND CURB.
4. SUBGRADE CONSTRUCTION AND COMPACTION SHALL BE SUPERVISED UNDER THE SUPERVISION OF THE SOils ENGINEER.



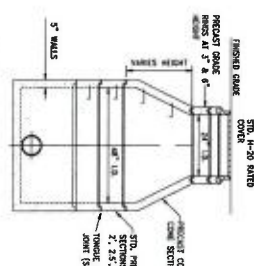
CLEANOUT TO GRADE
MTS

- [illegible]



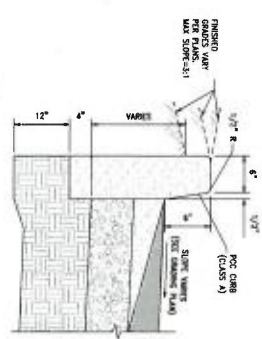
FLUSH CURB
HTS

1. PROVIDE 7" CONSTRUCTION EXHIBITION DAYS AT 10 A.M. UNTIL 5 P.M. ANNUAL MEETING IN SELECTION.
2. PROVIDE 7" CONSTRUCTION EXHIBITION DAYS AT 10 A.M. AND AT 4 P.M. RETURNING AND MEETING IN SELECTION.
3. PAID TO GET P.O. FROM THE HOUSE AFTER MEETING, BRIDGING TO BE PAID TO GET P.O.
4. SET 50% INCREASE FOR CONSTRUCTION EQUIPMENT RENTED UNDER THE SUPERVISION OF THE DIST. DIRECTOR.
5. THE LEADS MAY BE EXISTING ROAD, ROAD SECTION MAY BE SUBSTITUTED WITH EXISTING ROAD, ROAD SECTION (OR) ROAD OF EXISTING ROAD (ROAD SECTION) EXISTING ROAD.
6. ROAD OF EXISTING ROAD 1/4" ROAD SECTION IF ROADWAY STAYS EXISTING ROAD.
7. POPULUS EXISTING ROAD 1/4" ROAD SECTION IF ROADWAY STAYS EXISTING ROAD.



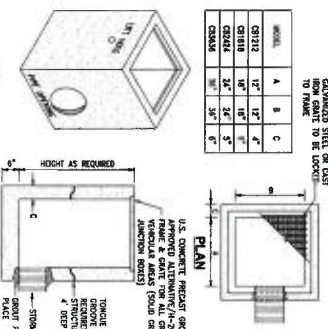
CONCENTRIC MANHOLE
HTS

1. PRECAST MANHOLE TO CONFORM TO ASTM C-478.
2. INSTALL 12" O.C. & 3/4" DIA. POLYPROPYLENE REINFORCED STEPS OR GALVANIZED IRON STEPS
3. ALL JOINTS SHALL BE GROUTED WITH 1:3 MORTAR MIX WITH JOINT COMPOUND.
4. VARNES HEIGHT: 15", 18", 24", 30", 36", 42" & 48"



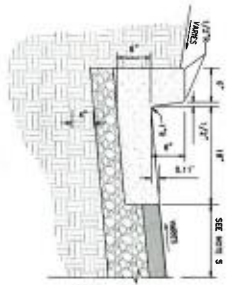
VERTICAL CURB
MTS

1. APPROVED? COORDINATION EXAMINATIONS AT 10° C. AND CRYSTAL 3,4/5° AIR/ALUMINUM
2. APPROVED? REACTION PRODUCTS AT 10° C. AND 10° C. INITIAL REACTION PRODUCTS
3. APPROVED? REACTION PRODUCTS AT 10° C. AND 10° C. INITIAL REACTION PRODUCTS
4. APPROVED? REACTION PRODUCTS AT 10° C. AND 10° C. INITIAL REACTION PRODUCTS
5. APPROVED? REACTION PRODUCTS AT 10° C. AND 10° C. INITIAL REACTION PRODUCTS
6. APPROVED? REACTION PRODUCTS AT 10° C. AND 10° C. INITIAL REACTION PRODUCTS



CATCH BASIN
MTS

1. ALL GRATES WITHIN DRIVE AISLES AND WALKWAYS SHALL BE NEET PROOF ACCESSIBLE AND RATED FOR H-20 HEAVY TRAFFIC LOADING.



CURB AND GUTTER

- [illegible]



ANDERSON BULL
ARCHITECTS

324 South First Street, 4th Floor
San Francisco, CA 94104
415.398.1100
www.abarchitects.com

CONSULTANTS' LOGS:



5000 SOMMIT AVE, SUITE 101
SAN FRANCISCO, CA 94133
TEL (415) 248-5513
FAX (415) 248-1763
WWW.JPLAND.COM
FL AND CDR NO. 2007



PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

STAMP

NOT FOR
CONSTRUCTION

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		

PROJECT TITLE

APTOS BRANCH
LIBRARY

7899 SOQUEL DR.
APTOS, CA 95003

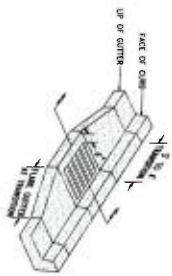
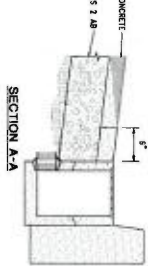
PROJECT NO.	2004005
DATE	1/10/2021
SHEET TITLE	

ON-SITE
DETAILS

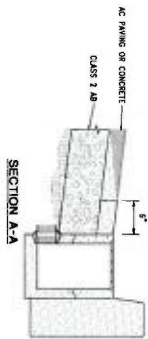
C26

SCALE

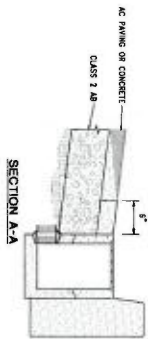
AS SHOWN ON THIS SHEET
UNLESS OTHERWISE NOTED
ALL DIMENSIONS ARE IN FEET AND INCHES
UNLESS OTHERWISE NOTED
ALL DIMENSIONS ARE IN FEET AND INCHES
UNLESS OTHERWISE NOTED



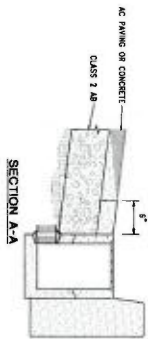
GUTTER TRANSITION AT CATCH BASIN



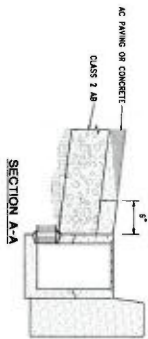
GUTTER TRANSITION AT CATCH BASIN



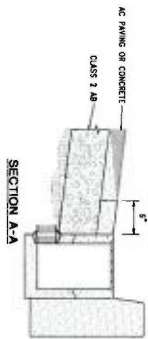
GUTTER TRANSITION AT CATCH BASIN



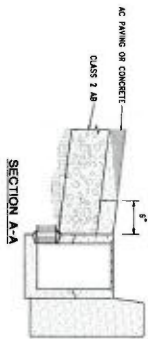
GUTTER TRANSITION AT CATCH BASIN



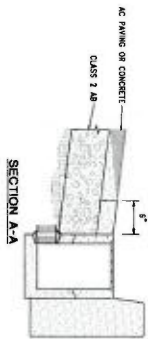
GUTTER TRANSITION AT CATCH BASIN



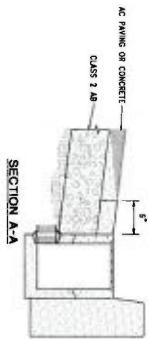
GUTTER TRANSITION AT CATCH BASIN



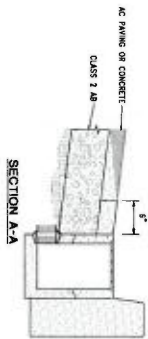
GUTTER TRANSITION AT CATCH BASIN



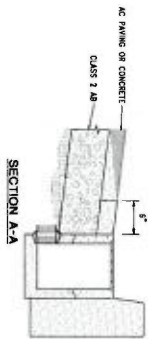
GUTTER TRANSITION AT CATCH BASIN



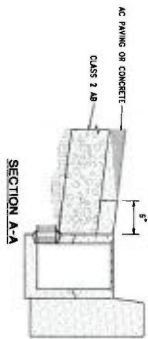
GUTTER TRANSITION AT CATCH BASIN



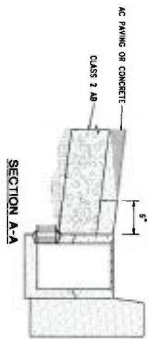
GUTTER TRANSITION AT CATCH BASIN



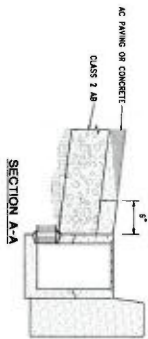
GUTTER TRANSITION AT CATCH BASIN



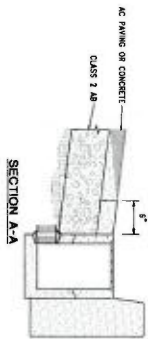
GUTTER TRANSITION AT CATCH BASIN



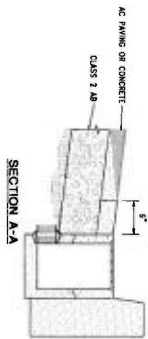
GUTTER TRANSITION AT CATCH BASIN



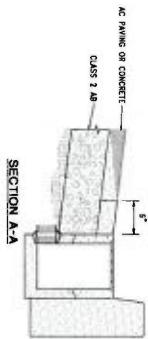
GUTTER TRANSITION AT CATCH BASIN



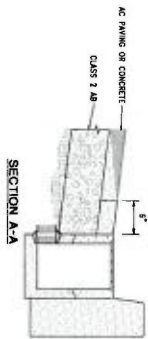
GUTTER TRANSITION AT CATCH BASIN



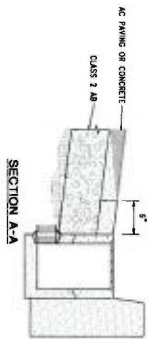
GUTTER TRANSITION AT CATCH BASIN



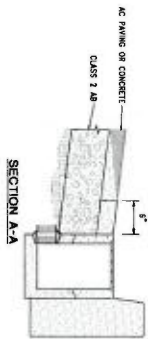
GUTTER TRANSITION AT CATCH BASIN



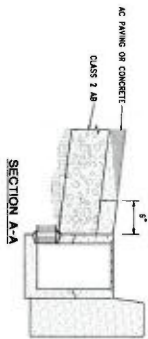
GUTTER TRANSITION AT CATCH BASIN



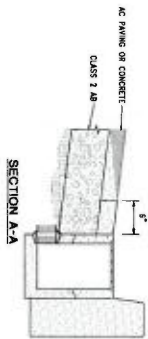
GUTTER TRANSITION AT CATCH BASIN



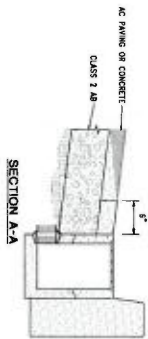
GUTTER TRANSITION AT CATCH BASIN



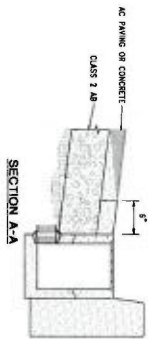
GUTTER TRANSITION AT CATCH BASIN



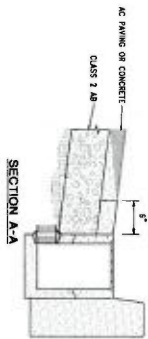
GUTTER TRANSITION AT CATCH BASIN



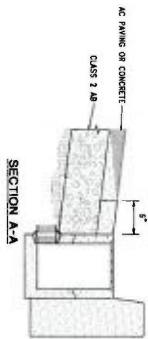
GUTTER TRANSITION AT CATCH BASIN



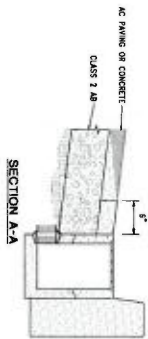
GUTTER TRANSITION AT CATCH BASIN



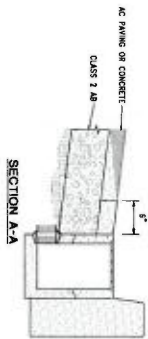
GUTTER TRANSITION AT CATCH BASIN



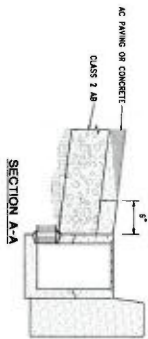
GUTTER TRANSITION AT CATCH BASIN



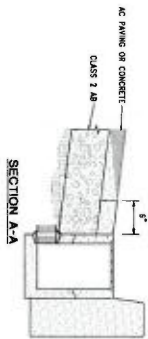
GUTTER TRANSITION AT CATCH BASIN



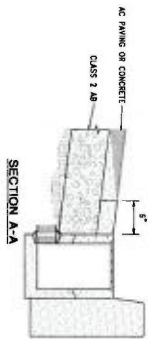
GUTTER TRANSITION AT CATCH BASIN



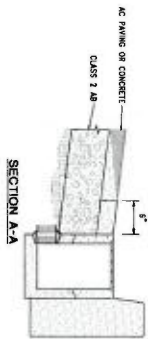
GUTTER TRANSITION AT CATCH BASIN



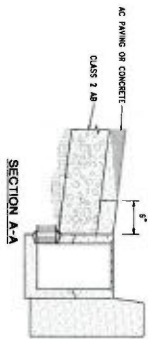
GUTTER TRANSITION AT CATCH BASIN



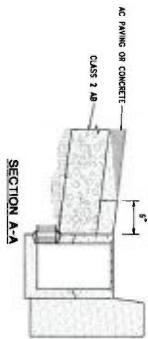
GUTTER TRANSITION AT CATCH BASIN



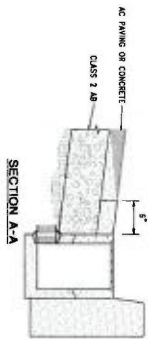
GUTTER TRANSITION AT CATCH BASIN



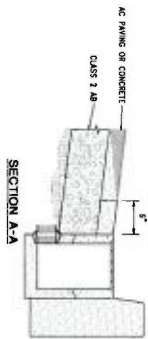
GUTTER TRANSITION AT CATCH BASIN



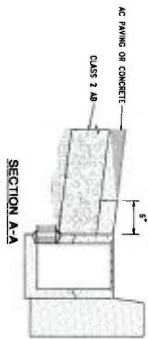
GUTTER TRANSITION AT CATCH BASIN



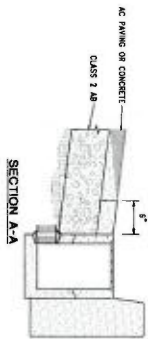
GUTTER TRANSITION AT CATCH BASIN



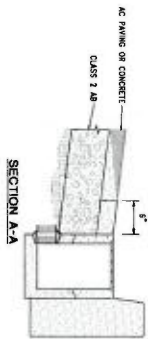
GUTTER TRANSITION AT CATCH BASIN



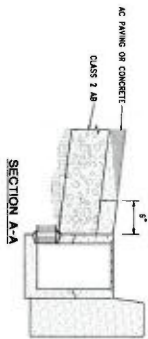
GUTTER TRANSITION AT CATCH BASIN



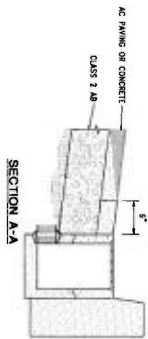
GUTTER TRANSITION AT CATCH BASIN



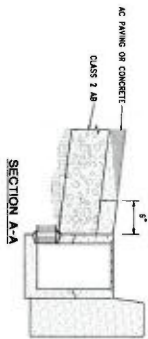
GUTTER TRANSITION AT CATCH BASIN



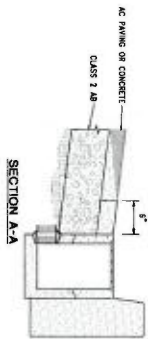
GUTTER TRANSITION AT CATCH BASIN



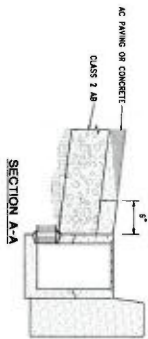
GUTTER TRANSITION AT CATCH BASIN



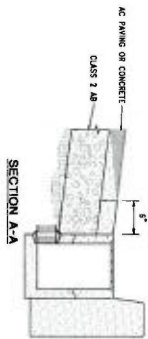
GUTTER TRANSITION AT CATCH BASIN



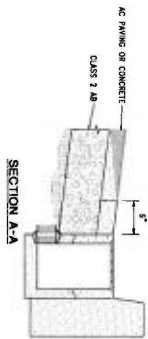
GUTTER TRANSITION AT CATCH BASIN



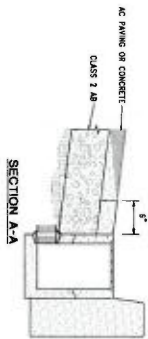
GUTTER TRANSITION AT CATCH BASIN



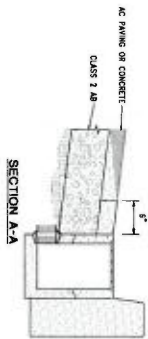
GUTTER TRANSITION AT CATCH BASIN



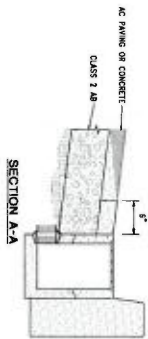
GUTTER TRANSITION AT CATCH BASIN



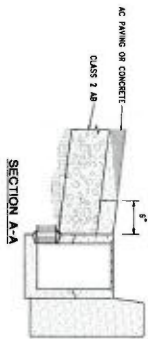
GUTTER TRANSITION AT CATCH BASIN



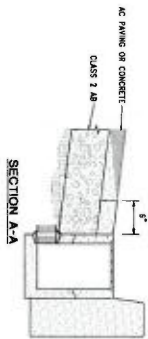
GUTTER TRANSITION AT CATCH BASIN



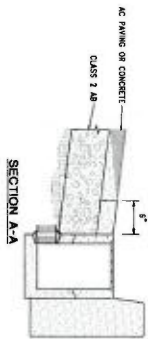
GUTTER TRANSITION AT CATCH BASIN



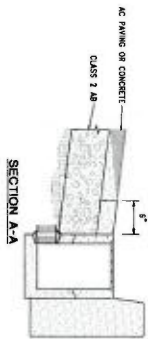
GUTTER TRANSITION AT CATCH BASIN



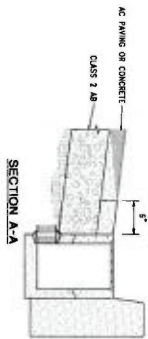
GUTTER TRANSITION AT CATCH BASIN



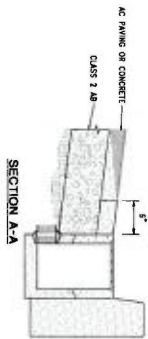
GUTTER TRANSITION AT CATCH BASIN



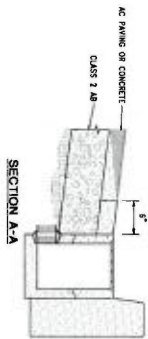
GUTTER TRANSITION AT CATCH BASIN



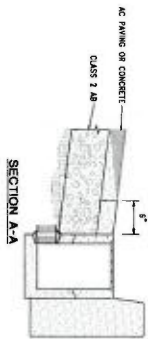
GUTTER TRANSITION AT CATCH BASIN



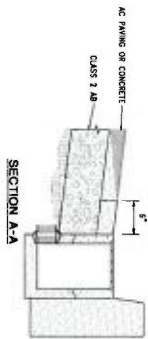
GUTTER TRANSITION AT CATCH BASIN



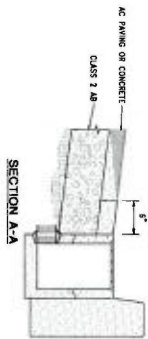
GUTTER TRANSITION AT CATCH BASIN



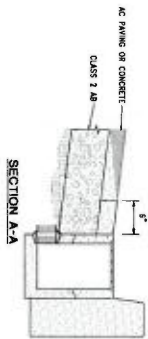
GUTTER TRANSITION AT CATCH BASIN



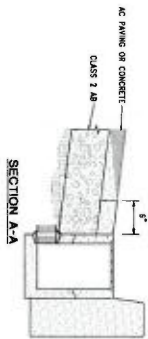
GUTTER TRANSITION AT CATCH BASIN



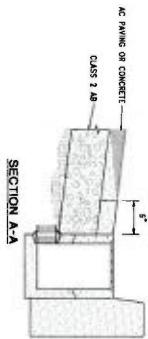
GUTTER TRANSITION AT CATCH BASIN



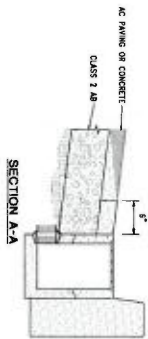
GUTTER TRANSITION AT CATCH BASIN



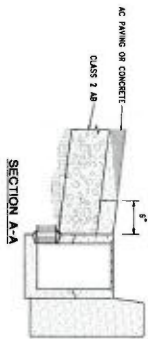
GUTTER TRANSITION AT CATCH BASIN



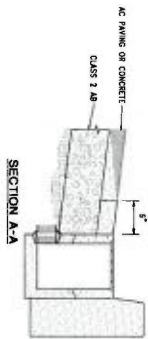
GUTTER TRANSITION AT CATCH BASIN



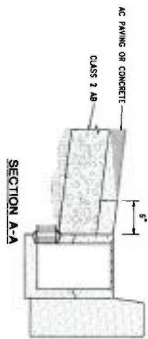
GUTTER TRANSITION AT CATCH BASIN



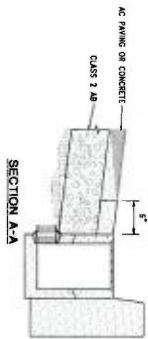
GUTTER TRANSITION AT CATCH BASIN



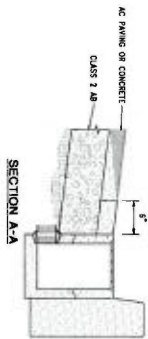
GUTTER TRANSITION AT CATCH BASIN



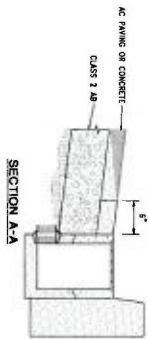
GUTTER TRANSITION AT CATCH BASIN



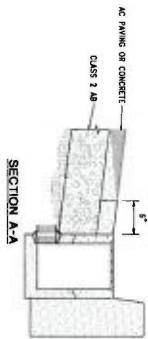
GUTTER TRANSITION AT CATCH BASIN



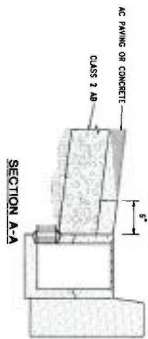
GUTTER TRANSITION AT CATCH BASIN



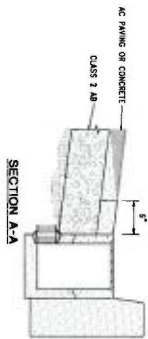
GUTTER TRANSITION AT CATCH BASIN



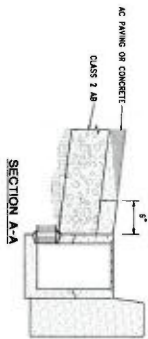
GUTTER TRANSITION AT CATCH BASIN



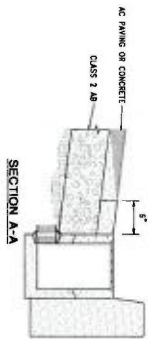
GUTTER TRANSITION AT CATCH BASIN



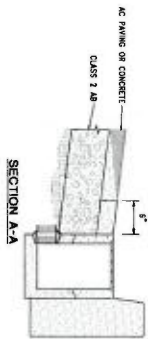
GUTTER TRANSITION AT CATCH BASIN



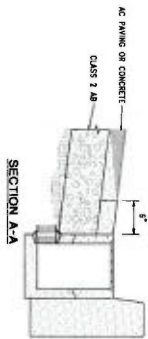
GUTTER TRANSITION AT CATCH BASIN



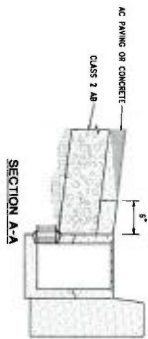
GUTTER TRANSITION AT CATCH BASIN



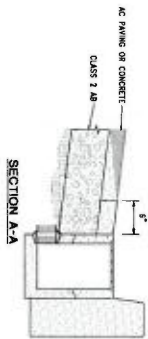
GUTTER TRANSITION AT CATCH BASIN



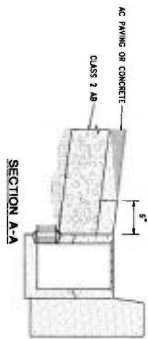
GUTTER TRANSITION AT CATCH BASIN



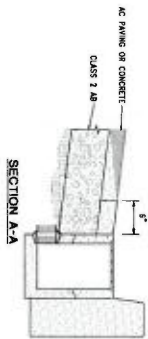
GUTTER TRANSITION AT CATCH BASIN



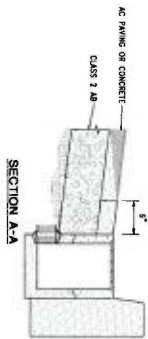
GUTTER TRANSITION AT CATCH BASIN



GUTTER TRANSITION AT CATCH BASIN



GUTTER TRANSITION AT CATCH BASIN



GUTTER TRANSITION AT CATCH BASIN

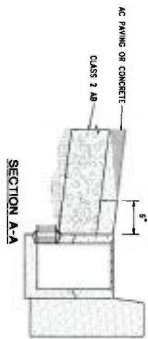


EXHIBIT D



ANDERSON BULL

ARCHITECTS

325 South Third Street, 4th Floor
San Jose, California 95113
408.281.1100 / www.abarchitects.com

CONSULTANTS' LOGO



3500 SIOUX AVENUE, SUITE 101
SAN JOSE, CA 95131
TEL (408) 426-5513
FAX (408) 426-1763
E-MAIL: info@jandisland.com
P.L. AND C.B. INC. 2007



PLANNING
RESUBMITAL #3
NOVEMBER 17, 2021



NO.	DATE	REVISIONS
1	NOVEMBER 17, 2021	ISSUED FOR PERMITTING
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT TITLE

APTOS BRANCH
LIBRARY

7695 SOQUEL DRIVE
APTOS, CA 95003

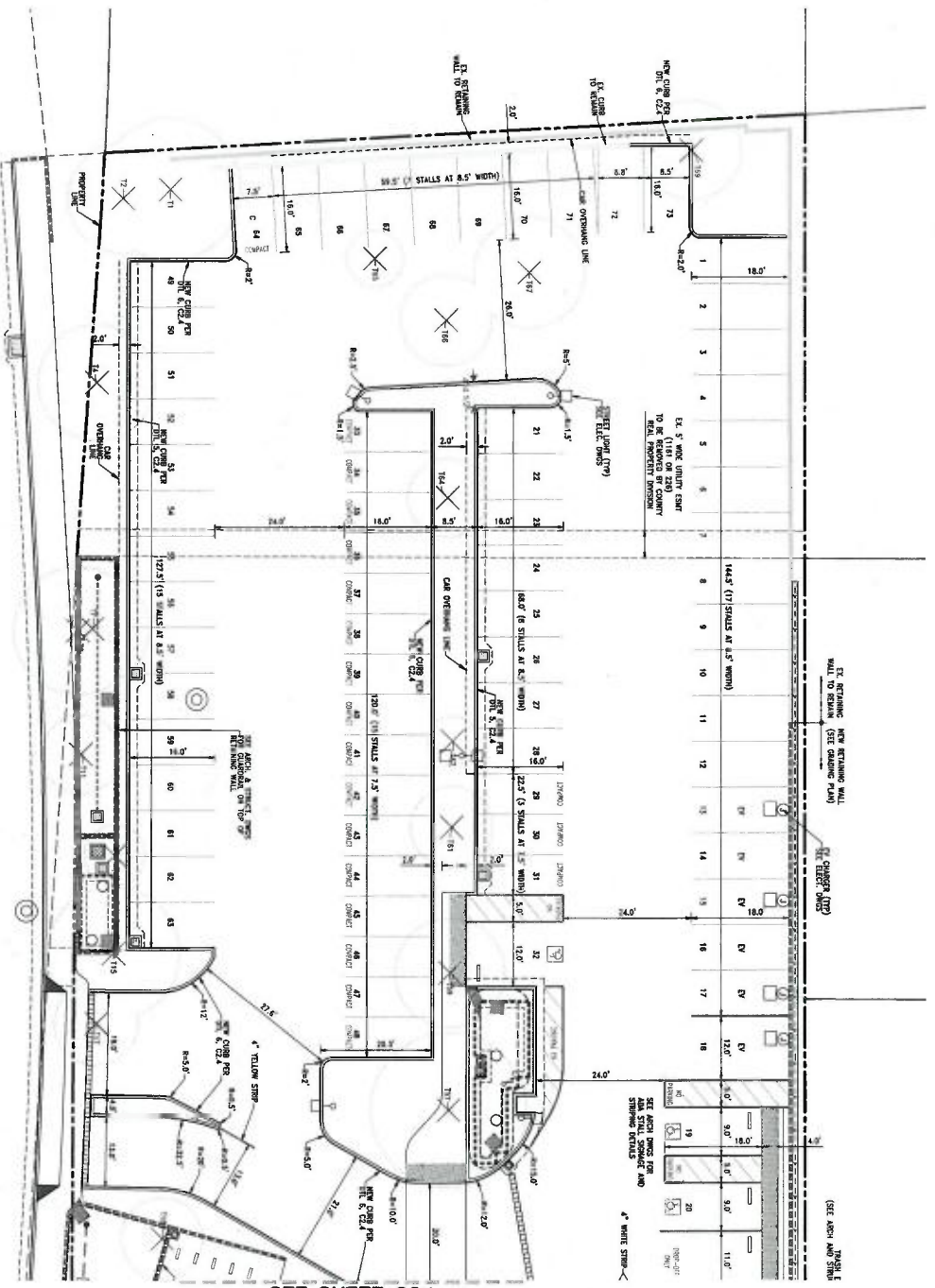
PROJECT NO. 2004095

DATE 11/09/2021

SHEET TITLE

SITEPLAN
(NORTH)

SCALE
AS SHOWN ON THIS SHEET
GRAPHIC SCALE: 1" = 40' & 10' = 100'
C3.0



SEE SHEET C3.1

EXHIBIT D



ANDERSON BAILEY
ARCHITECTS

325 South Pine Street, 4th Floor
San Francisco, CA 94104
415.774.1100

CONSULTANTS LOGO:



3500 BROADWAY, SUITE 101
SAN FRANCISCO, CA 94133
TEL (415) 424-3312
FAX (415) 424-1162
E-MAIL JELAND@JELAND.COM



100% DESIGN
DEVELOPMENT SET

NOT FOR
CONSTRUCTION

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT TITLE

APTOS BRANCH
LIBRARY

7696 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 2004055

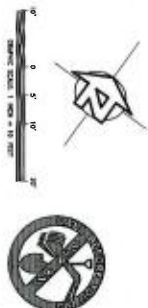
DATE 07/20/07

SHEET TITLE

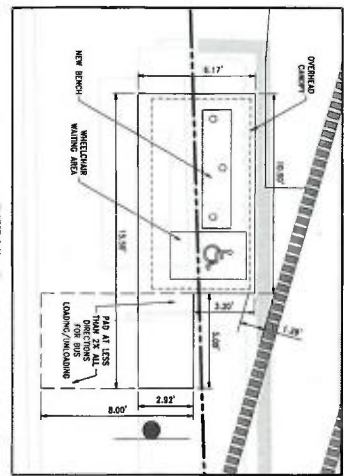
SITE PLAN
(SOUTH)

SCALE

C3.1



SEE SHEET C3.0



DETAIL A
SCALE: 1" = 5'

SOQUEL DRIVE

E LEDYARD WAY

EXHIBIT D



ANDERSON BAULE
ARCHITECTS
325 South Pine Street, 4th Floor
San Jose, California 95113
408.281.1001 | www.abarchitects.com

CONSULTANTS LOGO



SHAW
SOQUEL, INC. SUITE 101
10000 N. 1st Street
P.O. Box 100
Palo Alto, CA 94303
TEL (650) 424-1163
FAX (650) 424-1163
WWW.SHAWENGINEERS.COM
P/NOV 03/NOV 2007



PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOT FOR
CONSTRUCTION

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT TITLE

APTOS BRANCH
LIBRARY

7898 SOQUEL DR.
APTOS, CA 95003

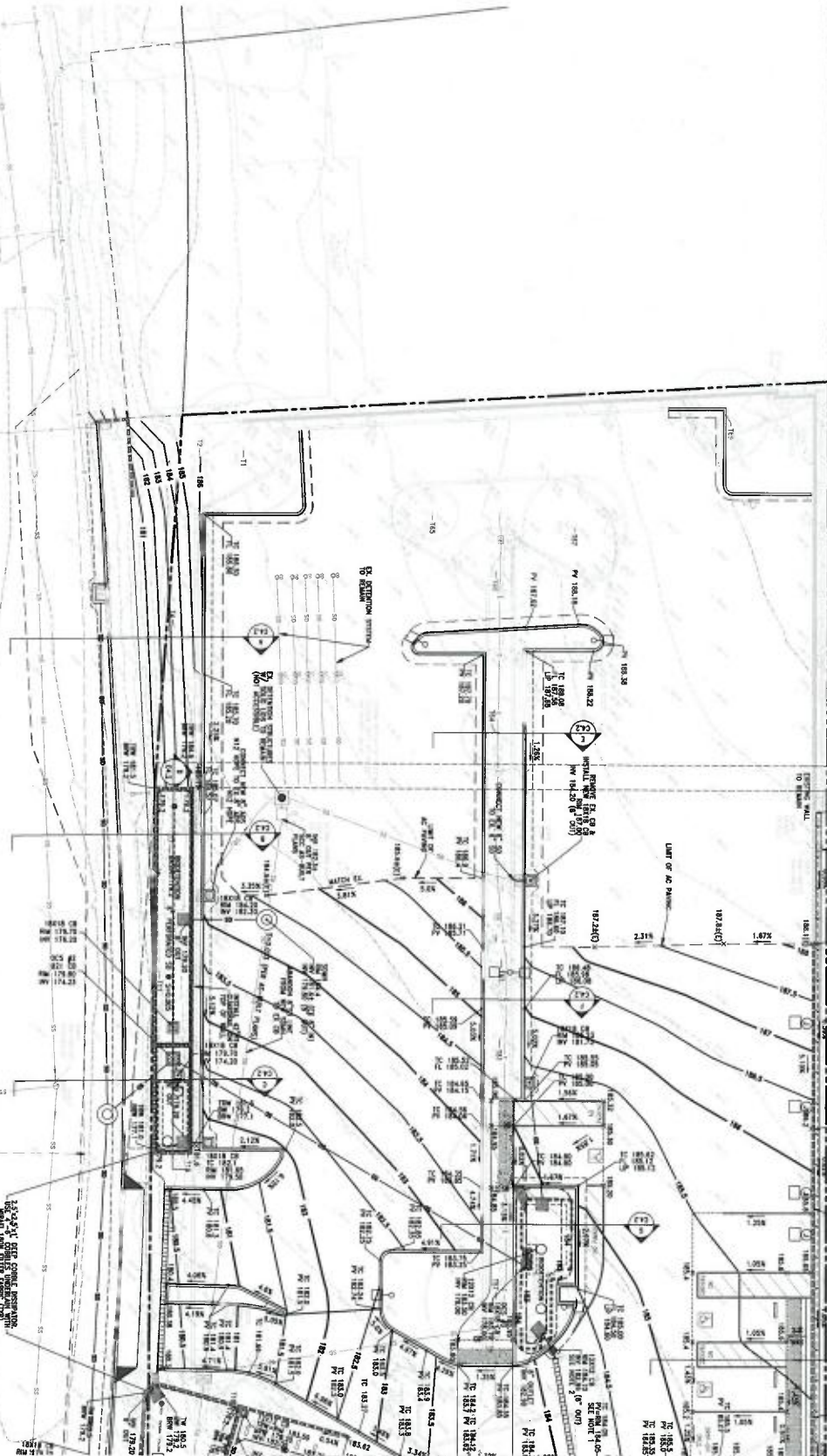
PROJECT NO. 2006050
DATE 11/02/2021
SHEET TITLE

GRADING &
DRAINAGE
PLAN
(NORTH)

SCALE
C4.0

- NOTES:
1. INSTALL 4" WIDE KERO AND DRAIN WITH 6.5% MINIMUM SLOPE. CONNECTION TO EXISTING AND DRAIN FOR SHOP SEWERS.
 2. CONNECT 4" RAB DRAIN TO CATCH BASIN WITH SCHEDULE 40 PIPE.

SEE SHEETS C6.0 & C6.1 FOR SOQUEL DRIVE IMPROVEMENTS



SEE SHEET C4.1

SEE SHEET C4.0

- NOTES:
1. INSTALL 4" WIRE MESH AND DRAIN WITH 0.5% MINIMUM SLOPE. CONTRACTOR TO CONTACT ACD DRAIN FOR SHOP DRAWINGS.
 2. CONNECT 4" STD DUCTS TO DRAIN MANHOLE WITH SCHEDULE 40 PIPE.

SEE SHEETS C5.0 & C5.1 FOR SOQUEL DRIVE IMPROVEMENTS

FF 184.00

SEE SHEET C5.2 FOR
E LEDYARD WAY
IMPROVEMENTS



SCALE
GRAPHIC SCALE: 1" = 30' ± 10'

GRADING &
DRAINAGE
PLAN
(SOUTH)

PROJECT NO. 2006052
DATE 11/03/2007
SHEET TITLE

APTOS BRANCH
LIBRARY
7099 SOQUEL DR.
APTOS, CA 95003

PROJECT TITLE

NO.	DATE	REVISIONS

NOT FOR
CONSTRUCTION

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021



IFLAND
ENGINEERS
3505 GARDEN AVE. SUITE 101
DANA POINT, CA 92629
TEL (949) 448-5313
WWW.IFLANDENGINEERS.COM
IFLAND 038100 20027

CONSULTANTS LOGO

ANDERSON BAULE
ARCHITECTS
325 SOUTH PINE AVENUE, 4TH FLOOR
405-226-1555 | www.abarch.com



EXHIBIT D

EXHIBIT D



ANDERSON BAULE
ARCHITECTS

325 South First Street, 4th Floor
Anaheim, CA 92801
408.280.1000 | www.aba-arch.com

CONSULTANTS LOGO



3500 RANCHO VISTA DRIVE, SUITE 101
SAN ANTONIO, TEXAS 78217
TEL (214) 248-5113
FAX (214) 248-5114
www.jplandengineers.com
FLAND JOB NO. 2007



PLANNING
RESUBMITAL #3
NOVEMBER 17, 2021



NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT TITLE

APTOS BRANCH
LIBRARY

7695 SOQUEL DRIVE,
APTOS, CA 95003

PROJECT NO. 200605
DATE 11/05/2021
SHEET TITLE

SOQUEL DR
IMPROVEMENT
PLAN & PROFILE
(NORTH)

SCALE
C5.0

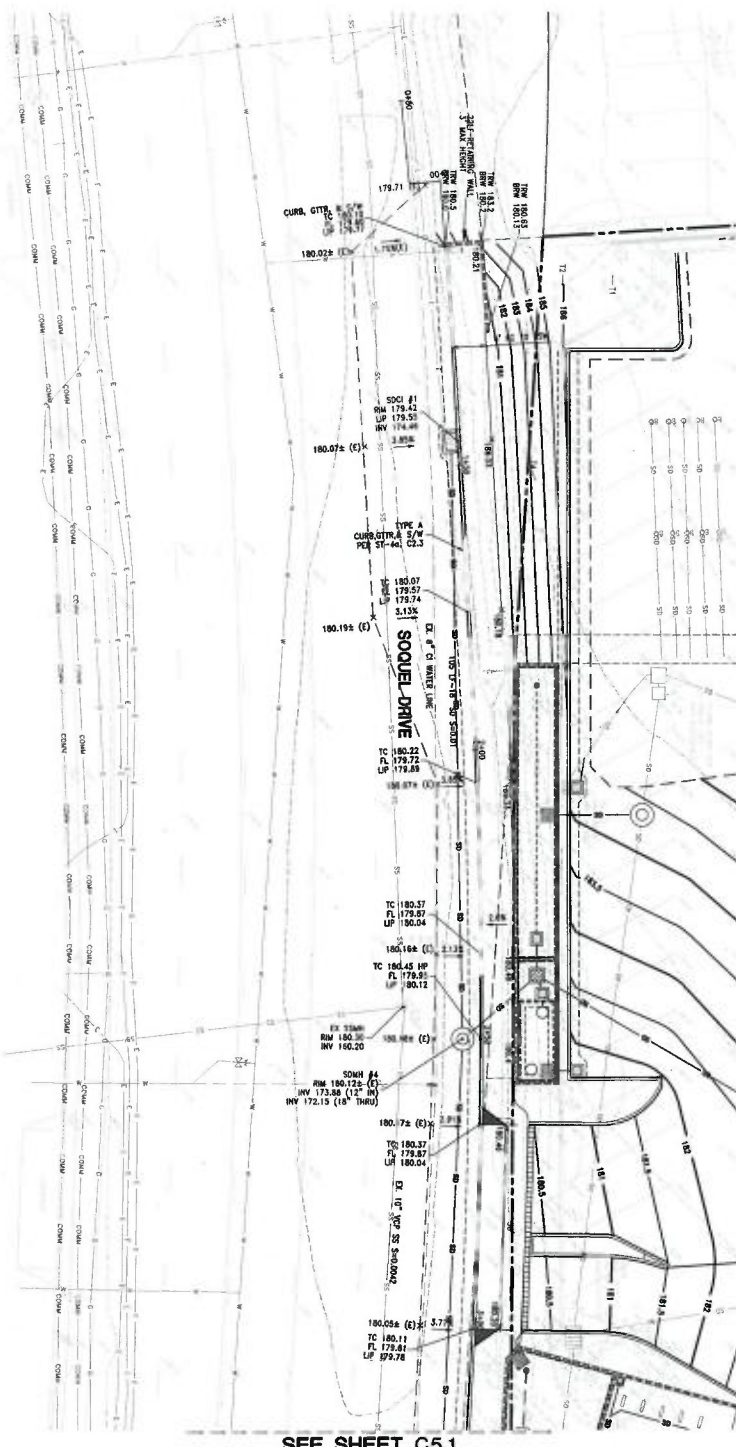
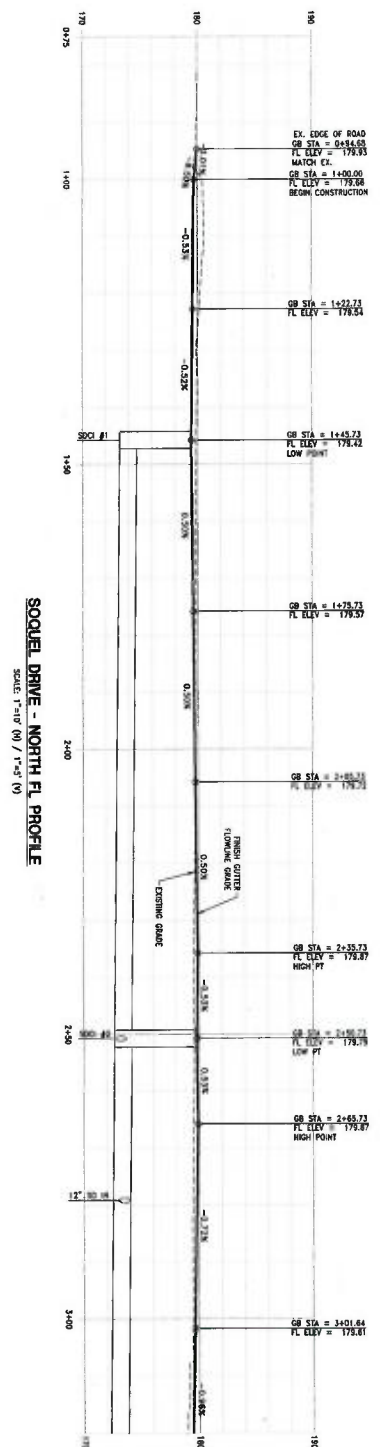
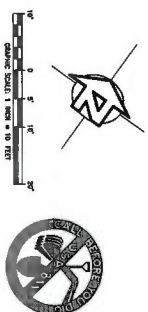


EXHIBIT D



ANDERSON BUELS
ARCHITECTS

225 South First Street, 4th Floor
San Jose, California 95113
408.261.1100 / 1.415.435.4000

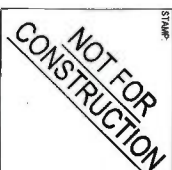
CONSULTANTS LOGO



5000 SOMERSET AVE., SUITE 101
SAN JOSE, CA 95128
TEL (408) 298-5513
FAX (408) 298-7164
WWW.IPLAND-ENGINEERS.COM
IPLAND 028 MD. 20027



**PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021**



NO.	DATE	REVISIONS
1	NOVEMBER 17, 2021	RESUBMITTAL #3
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT TITLE

**APTOS BRANCH
LIBRARY**

7696 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 200655

DATE 11/02/2021

SHEET TITLE

**STREET SECTIONS
SOQUEL DRIVE**

SCALE

C5.3

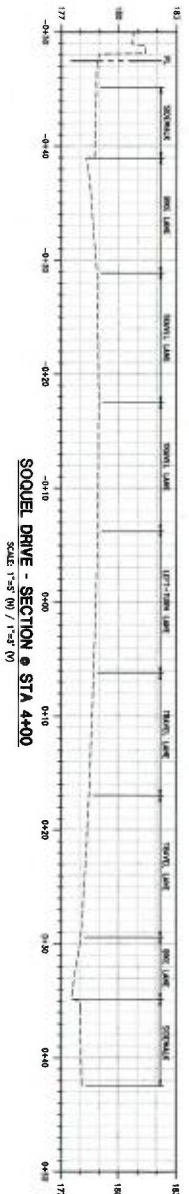
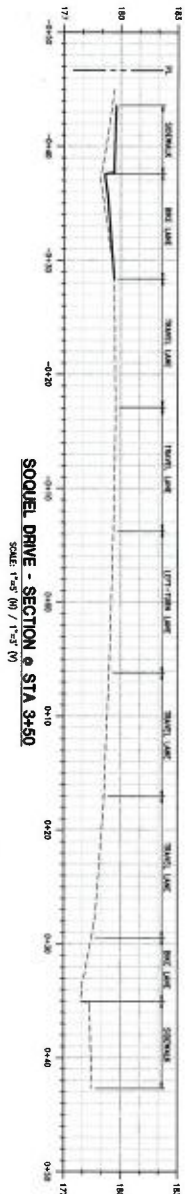
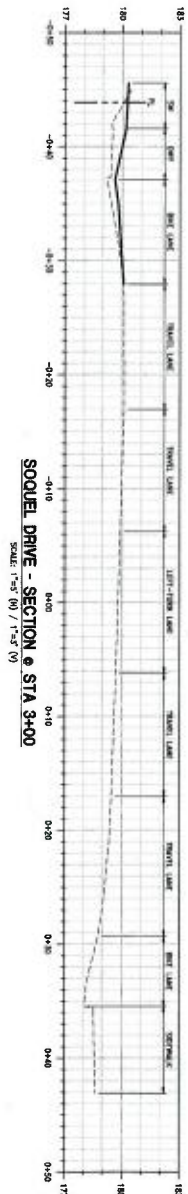
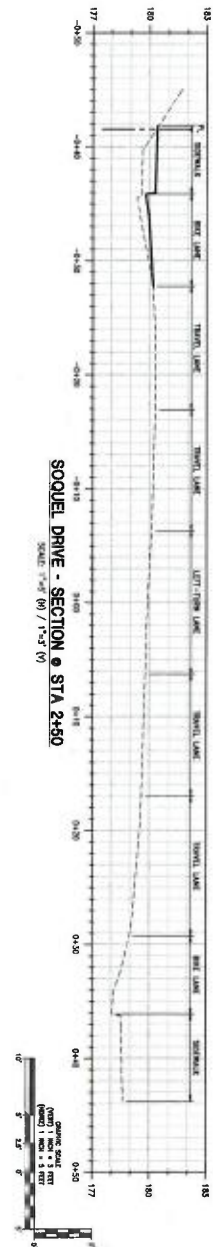
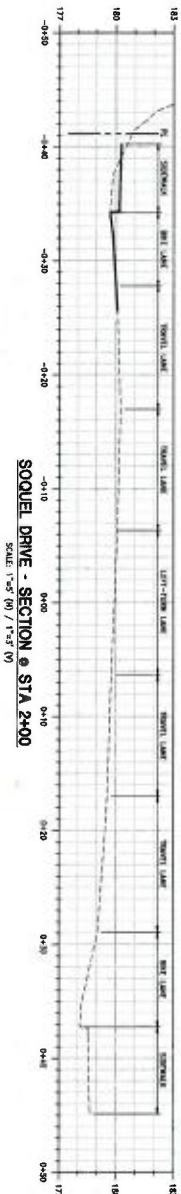
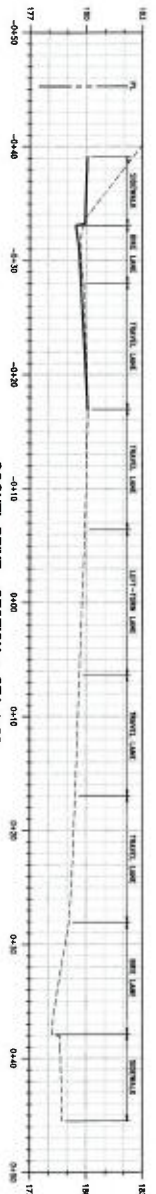


EXHIBIT D



ANDERSON BEULE
ARCHITECTS

325 South First Street, 4th Floor
San Jose, CA 95133
408.295.1100 | www.aberco.com

CONSULTANTS LOG



5400 SORREL AVE. SUITE 101
SAN JOSE, CA 95062
TEL (408) 428-5513
FAX (408) 428-5513
www.IPLandEngineers.com
IPLAND JOB NO. 20027



PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021



NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT TITLE

APTOS BRANCH
LIBRARY

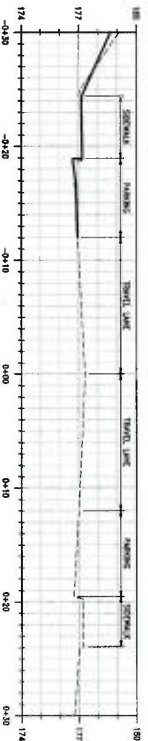
7665 SQUEL DR.
APTOS, CA 95003

PROJECT NO. 200650
DATE 11/06/2021
SHEET TITLE:

STREET SECTIONS
E. LEDYARD WAY

SCALE
GRAPHIC SCALE
VERTICAL 1" = 5' (0')
HORIZONTAL 1" = 5' (0')

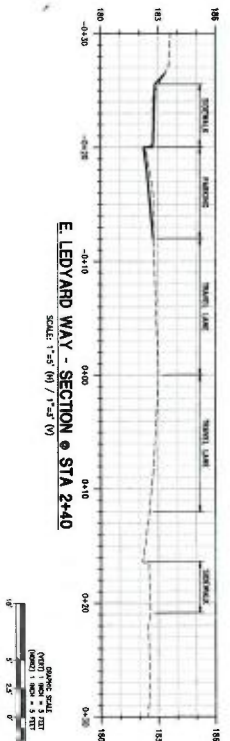
C5.4



E. LEDYARD WAY - SECTION @ STA 1+70
SCALE: 1"=5' (0') / 1"=5' (0')



E. LEDYARD WAY - SECTION @ STA 2+05
SCALE: 1"=5' (0') / 1"=5' (0')



E. LEDYARD WAY - SECTION @ STA 2+40
SCALE: 1"=5' (0') / 1"=5' (0')

EXHIBIT D



ANDERSON BUELL
ARCHITECTS
325 South Pine Street, 4th Floor
Anaheim, CA 92801
408.444.1551
www.abae.com

CONSULTANTS LOG:



3500 S. GATEWAY AVE., SUITE 101
SAN ANTONIO, TX 78211
TEL (214) 726-5513
www.cdiand.com
FLAND 008 NO. 2007



PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

STAMP

NOT FOR
CONSTRUCTION

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT TITLE

APTOS BRANCH
LIBRARY

7885 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 200450
DATE 11/09/2021

SHEET TITLE

UTILITY
PLAN
(NORTH)

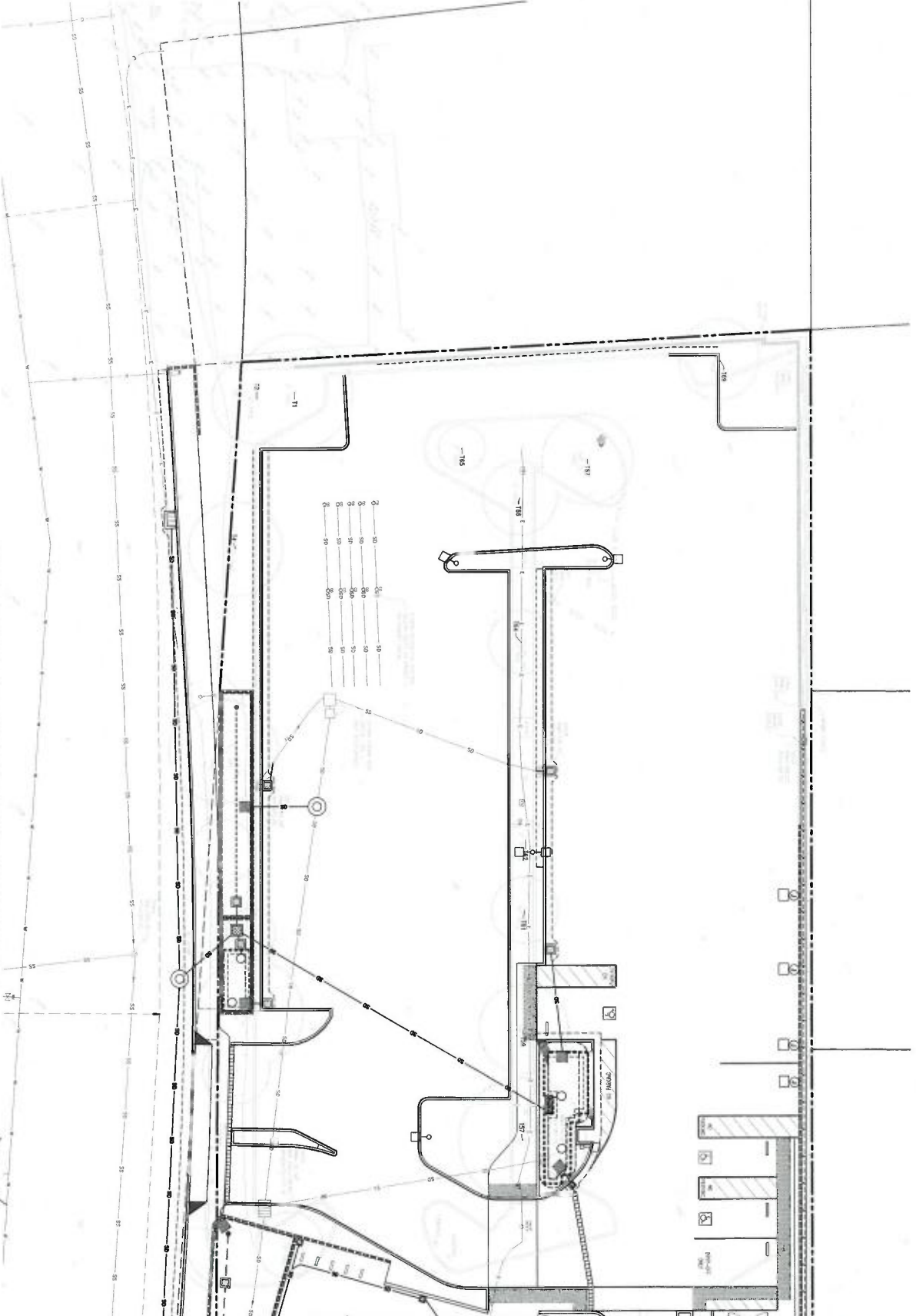
SCALE

Graphic Scale: 1" = 30' 0"

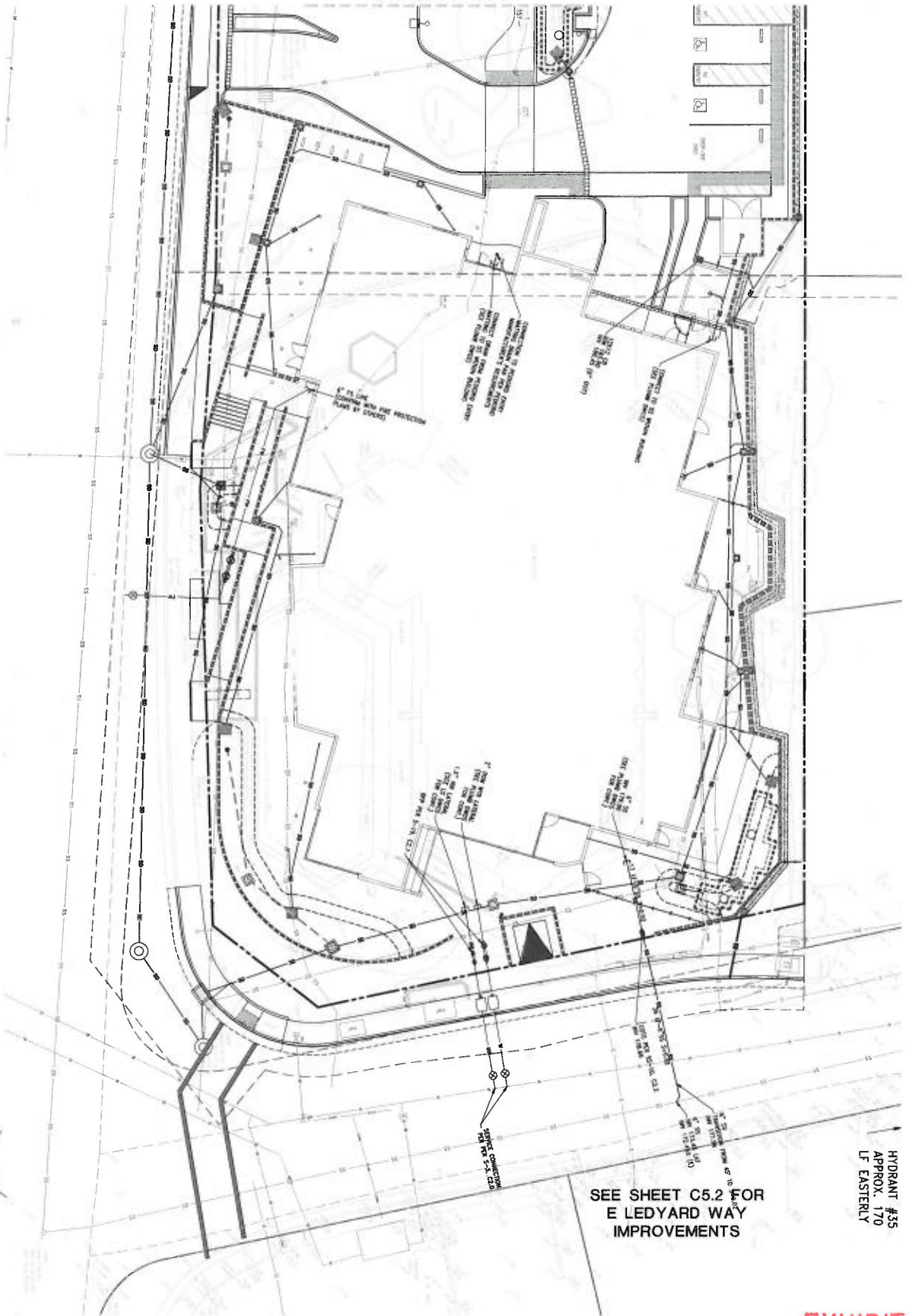
C6.0

SEE SHEET C6.0 FOR SOQUEL DRIVE IMPROVEMENTS

SEE SHEET C6.1



SEE SHEET C5.1 FOR SOQUEL DRIVE IMPROVEMENTS



HYDRANT #35
APPROX. 170
LF EASTERLY

SEE SHEET C5.2 FOR
E LEDYARD WAY
IMPROVEMENTS

EXHIBIT D



ANDERSON BRUI
ARCHITECTS
325 South First Street, 4th Floor
San Jose, California 95113
408.258.1666 | www.abr-arch.com

CONSULTANT'S LOGO:



5500 SOQUEL AVE., SUITE 10
SANTA CRUZ, CA 95062
TEL (831) 426-5515
FAX (831) 426-1765
www.iflondinghiera.com
IFLAND JOB NO. 20027



**PLANNING
RESUBMITTAL #
NOVEMBER 17, 2021**

NOT FOR CONSTRUCTION

1	2000/00	100
2	2000/00	100
3	2000/00	100
4	2000/00	100
5	2000/00	100
6	2000/00	100
7	2000/00	100
8	2000/00	100
9	2000/00	100
10	2000/00	100
11	2000/00	100
12	2000/00	100
13	2000/00	100
14	2000/00	100
15	2000/00	100
16	2000/00	100
17	2000/00	100
18	2000/00	100
19	2000/00	100
20	2000/00	100
21	2000/00	100
22	2000/00	100
23	2000/00	100
24	2000/00	100
25	2000/00	100
26	2000/00	100
27	2000/00	100
28	2000/00	100
29	2000/00	100
30	2000/00	100
31	2000/00	100
32	2000/00	100
33	2000/00	100
34	2000/00	100
35	2000/00	100
36	2000/00	100
37	2000/00	100
38	2000/00	100
39	2000/00	100
40	2000/00	100
41	2000/00	100
42	2000/00	100
43	2000/00	100
44	2000/00	100
45	2000/00	100
46	2000/00	100
47	2000/00	100
48	2000/00	100
49	2000/00	100
50	2000/00	100
51	2000/00	100
52	2000/00	100
53	2000/00	100
54	2000/00	100
55	2000/00	100
56	2000/00	100
57	2000/00	100
58	2000/00	100
59	2000/00	100
60	2000/00	100
61	2000/00	100
62	2000/00	100
63	2000/00	100
64	2000/00	100
65	2000/00	100
66	2000/00	100
67	2000/00	100
68	2000/00	100
69	2000/00	100
70	2000/00	100
71	2000/00	100
72	2000/00	100
73	2000/00	100
74	2000/00	100
75	2000/00	100
76	2000/00	100
77	2000/00	100
78	2000/00	100
79	2000/00	100
80	2000/00	100
81	2000/00	100
82	2000/00	100
83	2000/00	100
84	2000/00	100
85	2000/00	100
86	2000/00	100
87	2000/00	100
88	2000/00	100
89	2000/00	100
90	2000/00	100
91	2000/00	100
92	2000/00	100
93	2000/00	100
94	2000/00	100
95	2000/00	100
96	2000/00	100
97	2000/00	100
98	2000/00	100
99	2000/00	100
100	2000/00	100

PROJECT TITLE

APTOS BRANCH
LIBRARY

7695 SOQUEL DR.
APTOS, CA 95003

PROJECT NO.	2004050
DATE	11/03/2012
SHEET TITLE	

UTILITY
PLAN
(SOUTH)

SCALE

C6.1

EXHIBIT D



ANDERSON BEULE
ARCHITECTS
305 South First Street, 4th Floor
San Jose, California 95113
408.281.1501 | www.abarchitects.com



3500 SOQUEL AVE, SUITE 101
SAN JOSE, CA 95135
TEL (408) 434-5510
FAX (408) 434-1783
www.icelandengineers.com
ITD-AD-038 NO. 2007



PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOT FOR CONSTRUCTION

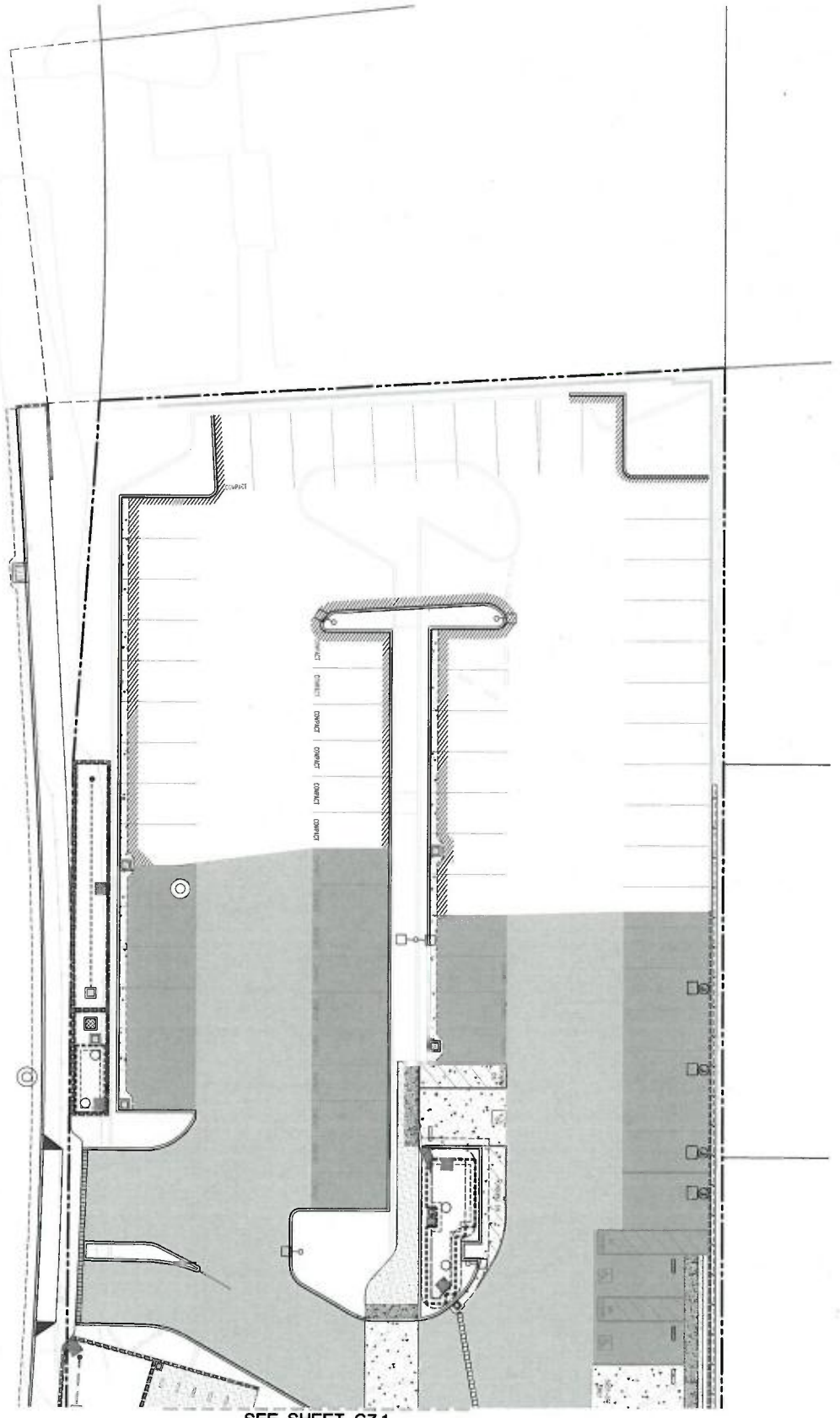
NO.	DATE	REVISIONS
1	11/17/2021	ISSUED FOR PERMIT
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT TITLE
APTOS BRANCH
LIBRARY
7655 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 2006059
DATE 11/02/2021
SHEET TITLE
PAVING PLAN
(NORTH)

SCALE
AS SHOWN AND NOT TO BE ENLARGED OR REDUCED
FOR ANY PURPOSES
C7.0

**SEE SHEETS C5.0 & C5.1 FOR
SOQUEL DRIVE IMPROVEMENTS**



SEE SHEET C7.1

- NOTES:**
1. PAVING SECTION PER GEOTECHNICAL INVESTIGATION REPORT BY PACIFIC CRIST ENGINEERING, INC., FILE NO. 1901-2289-112.
 2. PAVING THICKNESS INCREASED FOR IT = 4.5 BY 1.0 INCH TO ACCOUNT FOR SUGGESTED THICKNESS.
 3. SEE GEOTECHNICAL REPORT FOR SURFACE PREPARATION AND COMPACTION REQUIREMENTS.

- 6" AC NEW LIFT
- AC LIFT WITH ADJACENT PAVING SECTIONS (CONTIGUOUS THRESH)
- CONCRETE WALKWAYS
- 6" PCC WITH #4 REBARS @ 12" O.C.E.W./P' CLASS 2 AB
- VEHICULAR AND TRUCK PAV CONCRETE
- 8" PCC WITH #4 REBARS @ 12" O.C.E.W./P' CLASS 2 AB
- TI-4.5 FINISH STABIL
- 3" AC/P' CLASS 2 AB
- TI = 3.0 (BEFORE AGGREG)
- 3" AC/P' CLASS 2 AB

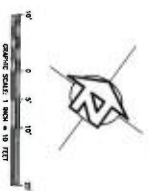


EXHIBIT D



ANDERSON BUELL
ARCHITECTS

307 South Pine Street, 4th Floor
Anaheim, CA 92801
408.235.1850 | www.abaeo.com

CONSULTANTS LOG:



3500 SOQUEL, P.O. BOX 101
SOQUEL, CA 95131
TEL (408) 426-5313
FAX (408) 426-1158
www.cdi-engineers.com
IF AND JOB NO. 20027



PLANNING
RESUBMITAL #3
NOVEMBER 17, 2021

STAMP

NOT FOR
CONSTRUCTION

NO.	DATE	REVISIONS
1	NOVEMBER 17, 2021	ISSUED FOR CONSTRUCTION

PROJECT TITLE

APTOS BRANCH
LIBRARY

7595 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 200450

DATE 11/02/2021

SHEET TITLE

PAVING PLAN
(SOUTH)

SCALE
AS SHOWN ON THE PLAN
GENERAL NOTES
SEE SHEET C7.0 FOR
SOQUEL DRIVE IMPROVEMENTS
SEE SHEET C5.0 & C5.1 FOR
APTOS BRANCH LIBRARY
SEE SHEET C5.2 FOR
E LEDYARD WAY
IMPROVEMENTS

C7.1

SEE SHEET C7.0

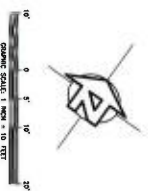
SEE SHEETS C5.0 & C5.1 FOR
SOQUEL DRIVE IMPROVEMENTS

SEE SHEET C5.2 FOR
E LEDYARD WAY
IMPROVEMENTS

NOTES:

1. PAVING SECTION AND GEOTECHNICAL INVESTIGATION REPORT BY PACIFIC CRIST ENGINEERING, INC., FILE NO. 1991-2889-012.
2. PAVEMENT THICKNESS INCREASED FOR T1 = 4.5 BY 1.0 INCH TO ACCOUNT FOR IMPROVED THICKNESS.
3. SEE GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION AND COMPACTION REQUIREMENTS.

- 1" AC HRP LIFT
(WHERE AC IS ADJACENT TO NEW PAVING SECTIONS, CONSTRUCT FINAL 5" AC LIFT WITH ADJACENT PAVING SECTIONS FOR CONTIGUOUS FINISH)
- CONCRETE WALKWAYS
4" RCC WITH #4 REINFORCING @ 12" O.C./W/4" CLASS 2 AB
- VEHICULAR AND TRUCK PAD CONCRETE
6" RCC WITH #4 REINFORCING @ 12" O.C./W/6" CLASS 2 AB
- T1 = 4.5 (PAVING STATUS)
5" AC/7" CLASS 2 AB
- T1 = 5.0 (TRAFFIC ASSES)
5" AC/8" CLASS 2 AB





ANDERSON BAULE
ARCHITECTS

325 South First Street, 4th Floor
San Jose, California 95113
408.283.1900 | info@andersonbaule.com

CONSULTANTS (000)



3500 SOQUEL AVE., SUITE 101
SAN JOSE, CALIFORNIA 95135
TEL (408) 438-5512
FAX (408) 438-1783
www.iplandengineers.com
PL-040 (2/2007, 2007)



**PLANNING
RESUBMITTAL #3**
NOVEMBER 17, 2021

**NOT FOR
CONSTRUCTION**

NO.	DATE	REVISIONS

PROJECT TITLE

**APTOS BRANCH
LIBRARY**

7696 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 2004059

DATE 11/05/2021

SHEET TITLE

**STRIPING
PLAN**

SCALE

C8.0

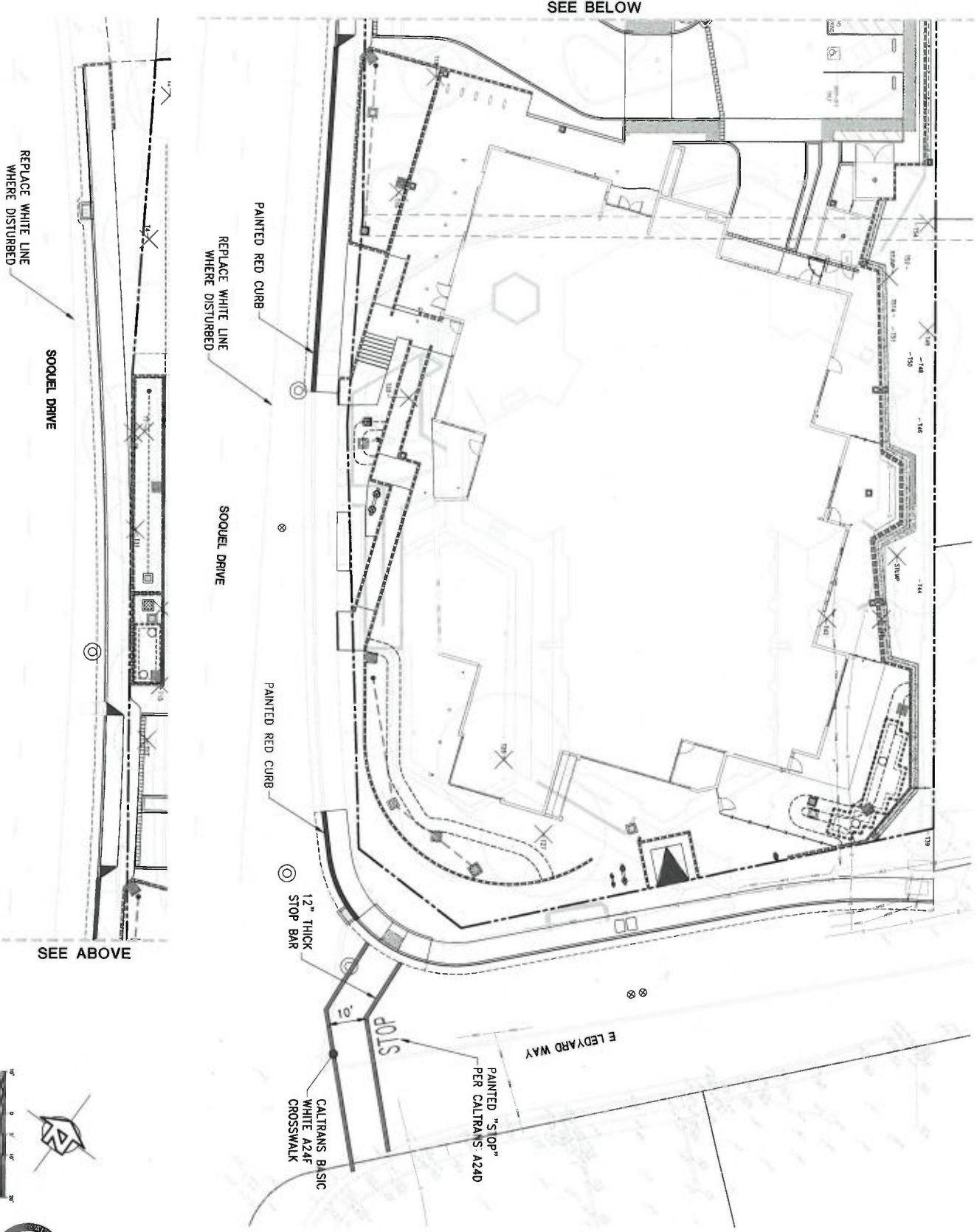
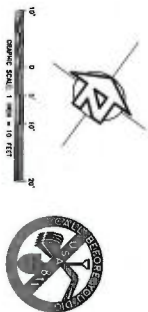


EXHIBIT D



ANDERSON BULE
ARCHITECTS

325 South First Street, 4th Floor
San Jose, CA 95113
408.282.1555 | www.abarch.com

CONSULTANTS (CDD)



3909 SOMER AVE. SUITE 101
SANTA CRUZ, CA 95062
TEL (408) 426-5313
FAX (408) 426-5313
www.jplandengineers.com
FLAND JOB NO. 20027



PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021



NO.	DATE	REVISIONS

PROJECT TITLE

APTOS BRANCH
LIBRARY

7695 SQUEL DR.
APTOS, CA 95003

PROJECT NO. 2004659
DATE 11/03/2021
SHEET TITLE

EROSION
CONTROL PLAN
(NORTH)

SHEET NO. C9.0



ENVIRONMENTAL PLANNING
COUNTY OF SANTA CRUZ
STATE OF CALIFORNIA

REVIEWED BY:	DATE:
APPROVED BY:	DATE:

PREPARED BY THE DESIGN CONSULTANT, PLAN
CONSULTED UNDER THE SUPERVISION OF:
JPLAND ENGINEERS, INC.
3909 SOMER AVE. SUITE 101
SANTA CRUZ, CA 95062
TEL (408) 426-5313
www.jplandengineers.com

- NOTES:**
1. CONFORM WITH THE COUNTY OF SANTA CRUZ, STATE OF CALIFORNIA, AND THE CITY OF APTOS, CALIFORNIA.
 2. CONSTRUCTION OF THE PROPOSED FACILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF ANY OTHER FACILITIES ON THE PROJECT SITE.
 3. EXPOSED SOIL A REMAINS OF CUT FOR INFRASTRUCTURE FACILITIES AND CDD CDD DETENTION.
 4. PROJECT EROSION CONTROL PLAN SHALL BE SUBMITTED FOR REVIEW.



PROPOSED RINSE PAD
CONTINGENT ON THE CITY OF APTOS
TO APPROVAL, PRIOR TO INSTALLATION
OF CHAIN LINK FENCE AS INDICATED
ON THE PROPOSED SHEET.

CONSTRUCTION SHALL LEAVE THE SURFACE OF EXISTING
PAVED AREAS UNDISTURBED PRIOR TO THE START OF
CONSTRUCTION OF THE PROPOSED FACILITIES. THE
RECOMMENDATION FOR THE NEW BUILDING, LEAVE
EXISTING PAVED AREAS UNDISTURBED PRIOR TO
CONSTRUCTION OF THE PROPOSED FACILITIES.

SEE SHEET C8.1



ANDERSON BROS
ARCHITECTS

300 South Pine Street, Suite 400
San Jose, California 95113
(408) 281-1111
www.abarchitects.com

CONSULTANTS LOGO



5500 KOWAL AVE, SUITE 101
SAN JOSE, CA 95131
(408) 281-1111
www.dipland.com
P/LAND 0280 NOV. 2007



PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOT FOR
CONSTRUCTION

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT TITLE

APTOS BRANCH
LIBRARY

7696 SQUEL DR.
APTOS, CA 95003

PROJECT NO. 200405
DATE 11/03/2021
SHEET TITLE

EROSION
CONTROL
NOTES & DETAILS

C9.2

SITE HOUSEKEEPING NOTES

- ALL EXISTING AND CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (E.G. SOIL, SPILLS, AGGREGATE, FILL-OR, STONE, IMPAVED LANE, ETC.) SHALL BE COVERED AND REMOVED.
- ALL MATERIALS SHALL BE STORED IN WAREHOUSE CONTAINERS WITH IMPROVED STORAGE AND CONTAINMENT (E.G. TALL, STABLE, OR LAYED) ON A HARD SURFACE.
- EROSION OF CONSTRUCTION MATERIALS TO PREVENTION SHALL BE LIMITED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE USED IN CONSTRUCTION (E.G. TRUCKS, EXCAVATORS, BACKHOES, ETC.).
- CONSTRUCTION PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.
- WATER MANAGEMENT:
 - WATER SHALL BE RUN OFF WITH WATER OR MATERIALS ON IMPROVED OR PAVED SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
 - SAFETY FACILITIES SHALL BE COMING (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGE OF POLLUTANT TO THE STORM WATER DRAINAGE SYSTEM ON RECEIVING OR REMOVAL OF MATERIALS TO THE STORM DRAINAGE SYSTEM.
 - SAFETY FACILITIES SHALL BE IMPROVED REGULARLY FOR LEAKS AND SPILLS AND COVERED WHEN NOT IN USE.
 - CONCRETE WASHOUT AREAS, CONTAINERS AT THE END OF EVERY BUSINESS DAY AND COVERED WHEN NOT IN USE.
 - CONCRETE WASHOUT AREAS, CONTAINERS AT THE END OF EVERY BUSINESS DAY AND COVERED WHEN NOT IN USE.
 - STORAGE OF WASTE MATERIAL SHALL BE COVERED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
 - PROCESSED THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
 - HAZARDOUS MATERIALS SHALL BE STORED IN A SECURELY PROTECTED AREA IMMEDIATELY AND PROPERLY OF PROPERLY; AND
 - CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN HAZARDOUS MATERIALS SHALL BE COVERED SO THERE IS NO DISCHARGE INTO THE STORM DRAIN SYSTEM AND INTO THE SURROUNDING AREA.
- WASTE STORAGE AND MAINTENANCE:
 - WASTE SHALL BE TAKEN TO APPROVED TIRE, CRACK, OR FUEL TO LEAK IN TO THE STORM DRAIN SYSTEM OR APPROVED STORAGE.
 - HAZARDOUS MATERIALS SHALL BE STORED IN A SECURELY PROTECTED AREA IMMEDIATELY AND PROPERLY OF PROPERLY; AND
 - LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE PROTECTED OR PROPERLY.
- LANDSCAPE MATERIALS:
 - LANDSCAPE MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
 - CONCRETE FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
 - DISCONTINUE THE APPLICATION OF ANY EXCESSIVE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
 - APPLY EXCESSIVE LANDSCAPE MATERIAL AT CONTAINERS AND APPLICATION MATS SPECIFICATIONS BY INDEPENDENT AND CERTIFIED FIELD PERSONNEL.
 - STACK EXCESSIVE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING WASTE MATERIALS WITH WIND-USED OR PROTECTED.

EROSION CONTROL NOTES

- ALL EXISTING AND CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (E.G. SOIL, SPILLS, AGGREGATE, FILL-OR, STONE, IMPAVED LANE, ETC.) SHALL BE COVERED AND REMOVED.
- ALL MATERIALS SHALL BE STORED IN WAREHOUSE CONTAINERS WITH IMPROVED STORAGE AND CONTAINMENT (E.G. TALL, STABLE, OR LAYED) ON A HARD SURFACE.
- EROSION OF CONSTRUCTION MATERIALS TO PREVENTION SHALL BE LIMITED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE USED IN CONSTRUCTION (E.G. TRUCKS, EXCAVATORS, BACKHOES, ETC.).
- CONSTRUCTION PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.
- WATER MANAGEMENT:
 - WATER SHALL BE RUN OFF WITH WATER OR MATERIALS ON IMPROVED OR PAVED SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
 - SAFETY FACILITIES SHALL BE COMING (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGE OF POLLUTANT TO THE STORM WATER DRAINAGE SYSTEM ON RECEIVING OR REMOVAL OF MATERIALS TO THE STORM DRAINAGE SYSTEM.
 - SAFETY FACILITIES SHALL BE IMPROVED REGULARLY FOR LEAKS AND SPILLS AND COVERED WHEN NOT IN USE.
 - CONCRETE WASHOUT AREAS, CONTAINERS AT THE END OF EVERY BUSINESS DAY AND COVERED WHEN NOT IN USE.
 - CONCRETE WASHOUT AREAS, CONTAINERS AT THE END OF EVERY BUSINESS DAY AND COVERED WHEN NOT IN USE.
 - STORAGE OF WASTE MATERIAL SHALL BE COVERED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
 - PROCESSED THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
 - HAZARDOUS MATERIALS SHALL BE STORED IN A SECURELY PROTECTED AREA IMMEDIATELY AND PROPERLY OF PROPERLY; AND
 - CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN HAZARDOUS MATERIALS SHALL BE COVERED SO THERE IS NO DISCHARGE INTO THE STORM DRAIN SYSTEM AND INTO THE SURROUNDING AREA.
- WASTE STORAGE AND MAINTENANCE:
 - WASTE SHALL BE TAKEN TO APPROVED TIRE, CRACK, OR FUEL TO LEAK IN TO THE STORM DRAIN SYSTEM OR APPROVED STORAGE.
 - HAZARDOUS MATERIALS SHALL BE STORED IN A SECURELY PROTECTED AREA IMMEDIATELY AND PROPERLY OF PROPERLY; AND
 - LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE PROTECTED OR PROPERLY.
- LANDSCAPE MATERIALS:
 - LANDSCAPE MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
 - CONCRETE FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
 - DISCONTINUE THE APPLICATION OF ANY EXCESSIVE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
 - APPLY EXCESSIVE LANDSCAPE MATERIAL AT CONTAINERS AND APPLICATION MATS SPECIFICATIONS BY INDEPENDENT AND CERTIFIED FIELD PERSONNEL.
 - STACK EXCESSIVE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING WASTE MATERIALS WITH WIND-USED OR PROTECTED.



ANDERSON BROS
ARCHITECTS

300 South Pine Street, Suite 400
San Jose, California 95113
(408) 281-1111
www.abarchitects.com

CONSULTANTS LOGO



5500 KOWAL AVE, SUITE 101
SAN JOSE, CA 95131
(408) 281-1111
www.dipland.com
P/LAND 0280 NOV. 2007



PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOT FOR
CONSTRUCTION

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT TITLE

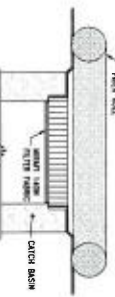
APTOS BRANCH
LIBRARY

7696 SQUEL DR.
APTOS, CA 95003

PROJECT NO. 200405
DATE 11/03/2021
SHEET TITLE

EROSION
CONTROL
NOTES & DETAILS

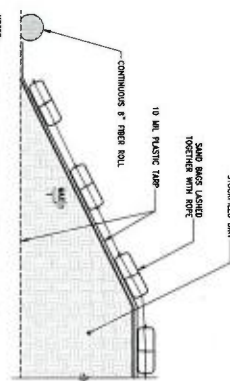
C9.2



1. FILTER FABRIC: FILTER FABRIC SHALL BE INSTALLED DIRECTLY UNDER THE FILTER ROLL AND SHALL BE SECURED TO THE FILTER ROLL WITH 2" WIDE STRIPS OF 1/2" THICKNESS.
2. FILTER ROLL: FILTER ROLL SHALL BE INSTALLED WITH THE FILTER FABRIC ON THE INSIDE AND SHALL BE SECURED TO THE FILTER ROLL WITH 2" WIDE STRIPS OF 1/2" THICKNESS.
3. CATCH BASIN: CATCH BASIN SHALL BE INSTALLED WITH THE FILTER ROLL ON THE INSIDE AND SHALL BE SECURED TO THE FILTER ROLL WITH 2" WIDE STRIPS OF 1/2" THICKNESS.

CATCH BASIN PROTECTION

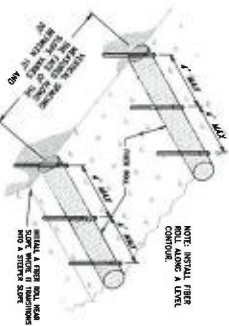
2



1. DIRT STOCKPILE: DIRT STOCKPILE SHALL BE INSTALLED WITH THE 10' x 10' PLASTIC TARP ON THE INSIDE AND SHALL BE SECURED TO THE DIRT STOCKPILE WITH 2" WIDE STRIPS OF 1/2" THICKNESS.
2. STOCKPILED DIRT: STOCKPILED DIRT SHALL BE INSTALLED WITH THE 10' x 10' PLASTIC TARP ON THE INSIDE AND SHALL BE SECURED TO THE STOCKPILED DIRT WITH 2" WIDE STRIPS OF 1/2" THICKNESS.

DIRT STOCKPILE

1



TYPICAL INSTALLATION

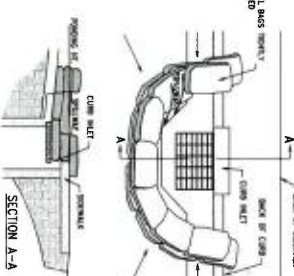
ENTRENCHMENT DETAIL

FIBER ROLLS PART 1

ROLL INSTALLATION TABLE	
ROLL TYPE	MAXIMUM ROLL LENGTH (FT)
4" (OR FLAT) ROLL	20
4" TO 2" ROLL	15
GREATER THAN 2"	10

FIBER ROLLS PART 2

1. CONSTRUCTION SPECIFICATIONS:
 - 1. FIBER ROLL: FIBER ROLL SHALL BE INSTALLED WITH THE 10' x 10' PLASTIC TARP ON THE INSIDE AND SHALL BE SECURED TO THE FIBER ROLL WITH 2" WIDE STRIPS OF 1/2" THICKNESS.
 - 2. STOCKPILED DIRT: STOCKPILED DIRT SHALL BE INSTALLED WITH THE 10' x 10' PLASTIC TARP ON THE INSIDE AND SHALL BE SECURED TO THE STOCKPILED DIRT WITH 2" WIDE STRIPS OF 1/2" THICKNESS.
 - 3. CATCH BASIN: CATCH BASIN SHALL BE INSTALLED WITH THE FIBER ROLL ON THE INSIDE AND SHALL BE SECURED TO THE FIBER ROLL WITH 2" WIDE STRIPS OF 1/2" THICKNESS.
 - 4. DIRT STOCKPILE: DIRT STOCKPILE SHALL BE INSTALLED WITH THE 10' x 10' PLASTIC TARP ON THE INSIDE AND SHALL BE SECURED TO THE DIRT STOCKPILE WITH 2" WIDE STRIPS OF 1/2" THICKNESS.
 - 5. STOCKPILED DIRT: STOCKPILED DIRT SHALL BE INSTALLED WITH THE 10' x 10' PLASTIC TARP ON THE INSIDE AND SHALL BE SECURED TO THE STOCKPILED DIRT WITH 2" WIDE STRIPS OF 1/2" THICKNESS.
 - 6. CATCH BASIN: CATCH BASIN SHALL BE INSTALLED WITH THE FIBER ROLL ON THE INSIDE AND SHALL BE SECURED TO THE FIBER ROLL WITH 2" WIDE STRIPS OF 1/2" THICKNESS.
 - 7. DIRT STOCKPILE: DIRT STOCKPILE SHALL BE INSTALLED WITH THE 10' x 10' PLASTIC TARP ON THE INSIDE AND SHALL BE SECURED TO THE DIRT STOCKPILE WITH 2" WIDE STRIPS OF 1/2" THICKNESS.
 - 8. STOCKPILED DIRT: STOCKPILED DIRT SHALL BE INSTALLED WITH THE 10' x 10' PLASTIC TARP ON THE INSIDE AND SHALL BE SECURED TO THE STOCKPILED DIRT WITH 2" WIDE STRIPS OF 1/2" THICKNESS.
 - 9. CATCH BASIN: CATCH BASIN SHALL BE INSTALLED WITH THE FIBER ROLL ON THE INSIDE AND SHALL BE SECURED TO THE FIBER ROLL WITH 2" WIDE STRIPS OF 1/2" THICKNESS.
 - 10. DIRT STOCKPILE: DIRT STOCKPILE SHALL BE INSTALLED WITH THE 10' x 10' PLASTIC TARP ON THE INSIDE AND SHALL BE SECURED TO THE DIRT STOCKPILE WITH 2" WIDE STRIPS OF 1/2" THICKNESS.



CURB INLET PROTECTION PART 1

4

CURB INLET PROTECTION PART 2

3

EXHIBIT D



ANDERSON BRULE
ARCHITECTS

325 South Pine Street, 4th Floor
San Jose, CA 95128
408.292.1000 | www.abr-arch.com

CONSULTANTS (020)



3500 SAN JOSE AVE., SUITE 101
SAN JOSE, CALIF. 95135
TEL (415) 442-5515
www.iplandengineers.com
IFLAND 08/NO. 2007



PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021



NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT TITLE

APTOS BRANCH
LIBRARY

7695 SOQUEL DR.
APTOS, CA 95003

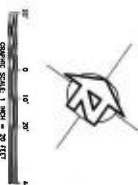
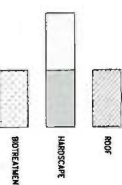
PROJECT NO. 2004659
DATE 11/03/2021
SHEET TITLE

STORM WATER
CONTROL PLAN

SCALE

C10.0

LEGEND





ANDERSON BRUELL
ARCHITECTS

325 South Third Street, 4th Floor
San Francisco, CA 94104
415.398.1881 | www.abasf.com

CONSULTANTS LOGO



5000 BROAD AVE. SUITE 101
SAN FRANCISCO, CA 94132
TEL (415) 424-5313
FAX (415) 424-1193
WWW.JPLAND.COM
JPLAND 03/01/NOV. 2007



PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021



NO.	DATE	REVISIONS
1	01/11/2021	ISSUED FOR PERMIT
2	01/11/2021	ISSUED FOR PERMIT
3	01/11/2021	ISSUED FOR PERMIT
4	01/11/2021	ISSUED FOR PERMIT
5	01/11/2021	ISSUED FOR PERMIT
6	01/11/2021	ISSUED FOR PERMIT
7	01/11/2021	ISSUED FOR PERMIT

PROJECT TITLE

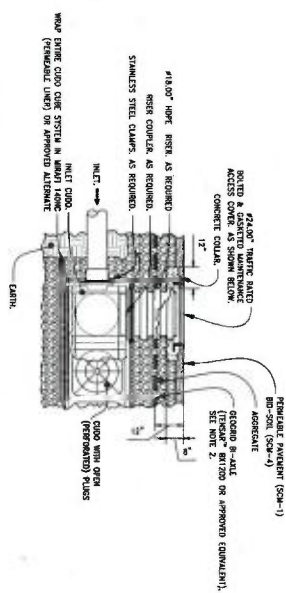
APTOS BRANCH
LIBRARY

7696 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 200465
DATE 11/02/2021
SHEET TITLE

STORM WATER
CONTROL DETAILS

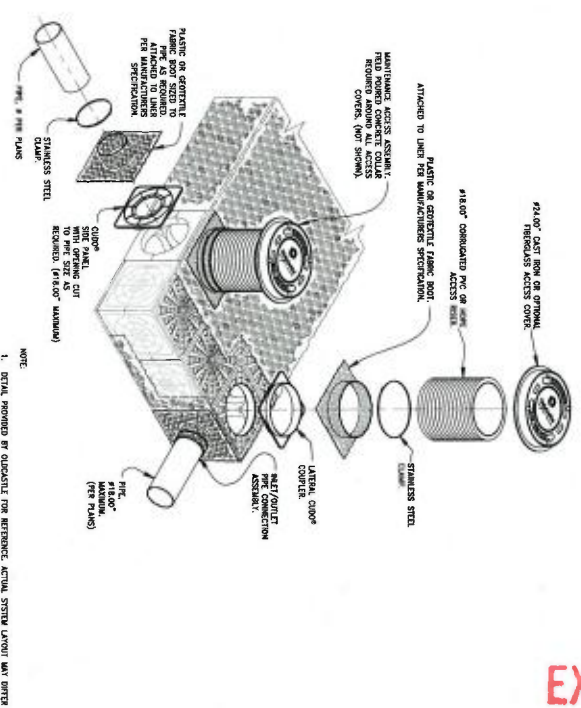
SCALE
AS SHOWN
C10.1



- NOTES:
1. REFER TO CUDO INSTALLATION SPECIFICATIONS FOR MORE INFORMATION.
 2. INSTALL CUDO WITH 1/2" DIA. (TYPICAL) BRIDGE OR APPROVED ALTERNATE IN TO VERTICAL TRAFFIC.
 3. HAY PILES AND BRIDGES TO BE 1/2" DIA. (TYPICAL) SYSTEM LAYOUT.

TYPICAL MAINTENANCE ACCESS TO CUDO CUBE SYSTEM

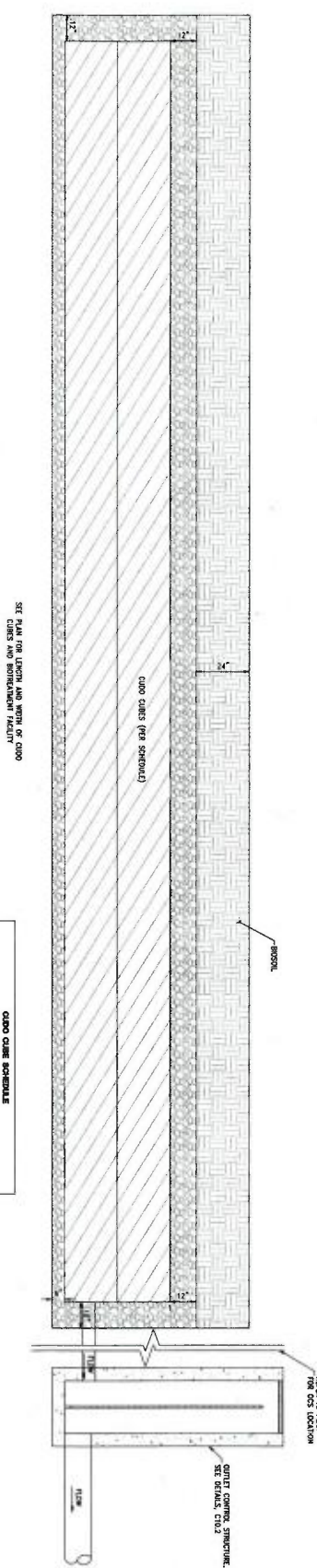
NTS



- NOTE:
1. DETAIL PROVIDED BY QUOTE FOR REFERENCE. ACTUAL SYSTEM LAYOUT MAY VARY.

INLET/OUTLET CONNECTION TO CUDO CUBE SYSTEM

NTS



SECTION

NTS

ROW NO.	NO. OF ROWS OF CUDS	NO. OF CUDS PER ROW
1-4	0	12
5	1	12
6	0	12
7	0	12
8	0	12
9	0	12
10	0	12
11	0	12
12	0	12
13	0	12
14	0	12
15	0	12
16	0	12
17	0	12
18	0	12
19	0	12
20	0	12
21	0	12
22	0	12
23	0	12
24	0	12
25	0	12
26	0	12
27	0	12
28	0	12
29	0	12
30	0	12
31	0	12
32	0	12
33	0	12
34	0	12
35	0	12
36	0	12
37	0	12
38	0	12
39	0	12
40	0	12
41	0	12
42	0	12
43	0	12
44	0	12
45	0	12
46	0	12
47	0	12
48	0	12
49	0	12
50	0	12



EXHIBIT D



ANDERSON H. K. LEE
ARCHITECTS

100 South First Street, 4th Floor
San Jose, California 95113
408.281.1000
www.andersonhklee.com

CONSULTANTS 1000



3500 SPOIL, AVE., SUITE 101
SAN JOSE, CA 95132
TEL (408) 298-1115
www.iplandengineers.com
IPLAND 03/NOV. 2007



PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021



NO.	DATE	REVISIONS

PROJECT TITLE

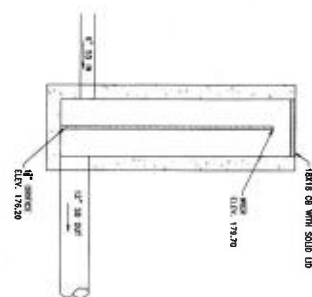
APTOS BRANCH
LIBRARY
7695 SQUEL DR.
APTOS, CA 95003

PROJECT NO. 200669
DATE 11/02/2021

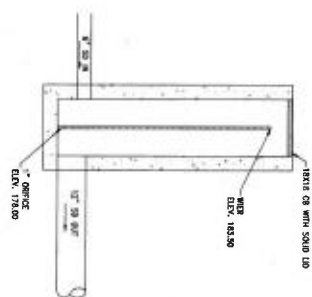
STORM WATER
CONTROL DETAILS

SCALE

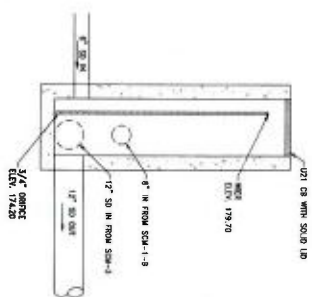
C10.2



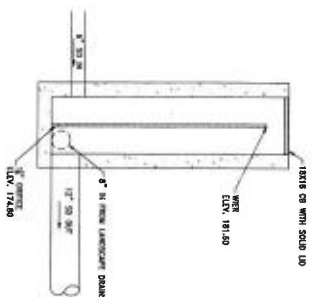
OUTLET CONTROL STRUCTURE #4
N13



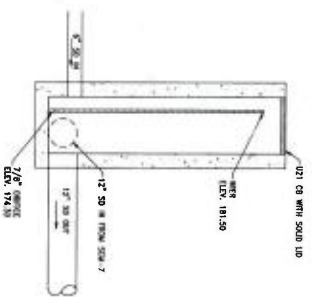
OUTLET CONTROL STRUCTURE #3
N13



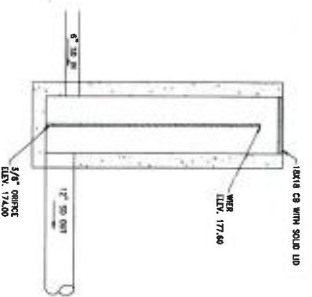
OUTLET CONTROL STRUCTURE #2
N13



OUTLET CONTROL STRUCTURE #7
N13



OUTLET CONTROL STRUCTURE #6
N13



OUTLET CONTROL STRUCTURE #5
N13

KEY NOTES

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	BIKE RACKS - SEE SPECS. AND DETAIL	12	SECURITY FENCE AND GATES - SEE ADD ALTERNATES NOTE 4, SHEET L1.01
2	BIO DETENTION - SEE CIVIL AND PLANTING PLANS	13	DECORATIVE PAVING AT CHILDREN'S GARDEN - SEE ADD ALTERNATES NOTE 2, SHEET L1.01
3	MONUMENT SIGN - SEE SIGNAGE DRAWINGS	14	PERESTETNA CONCRETE AT ENTRY AND TEEN PATIO - SEE ADD ALTERNATES NOTE 2, SHEET L1.01
4	SIGNAGE ALONG SIOUX DRIVE - SEE SIGNAGE DRAWINGS	15	TRASH AND RECYCLING RECEPTACLES
5	MAIN ENTRY BUILDING SIGNAGE - SEE SIGNAGE DRAWINGS		
6	PUBLIC ART FENCE AND GATE, PROVIDED BY OWNER AND NOT IN CONTRACT. GATE 12 TOTAL SHALL BE EQUIPPED WITH PHOTO-PROOFING.		
7	FLAGPOLE LOCATION - SEE ARCHITECTURAL DRAWINGS		
8	EXISTING BUS STOP AND SHELTER		
9	ASPHALT PAVING - SEE CIVIL DRAWINGS		
10	RETAINING WALL - SEE ADD ALTERNATES NOTE 1, SHEET L1.01		
11	QUADRANT (A) BIORETENTION		

LEGEND

PROPERTY LINE

SETBACK

EASEMENT

MATCHLINE

T44

EXISTING TREE TO REMAIN PAINTING WITH
WHITE PAINT, 12 INCHES IN DIAMETER,
DATED 11/19/20 FOR EVIDENCE OF CRITICAL
ROOT ZONE OF TREES - SEE CIVIL DRAWINGS

RETAINING WALL - SEE CIVIL DRAWINGS

TYPE A1

PAVING BROOK IN CONCRET PAVING WITH
BROOM FINISH AND SAW CUT SCORE
ON ITS EVERY 4 FEET AND EXPANSION
ON ITS EVERY 8 FEET - SEE CIVIL DRAWINGS
SEE CIVIL DRAWINGS T10, T11 AND T12

TYPE A2

PAVING BROOK IN MEDIUM SIZE CONCRETE
PAVING BROOK FINISH AND SAW CUT SCORE
ON ITS EVERY 4 FEET AND EXPANSION
ON ITS EVERY 8 FEET - SEE CIVIL DRAWINGS

TYPE B

PAVING BROOK IN CONCRETE PAVING WITH
BROOM FINISH AND SAW CUT ON ITS
EVERY 4 FEET AND EXPANSION ON ITS
EVERY 8 FEET - SEE CIVIL DRAWINGS

EXPANSION JUNT - SEE CIVIL DRAWINGS

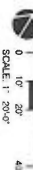
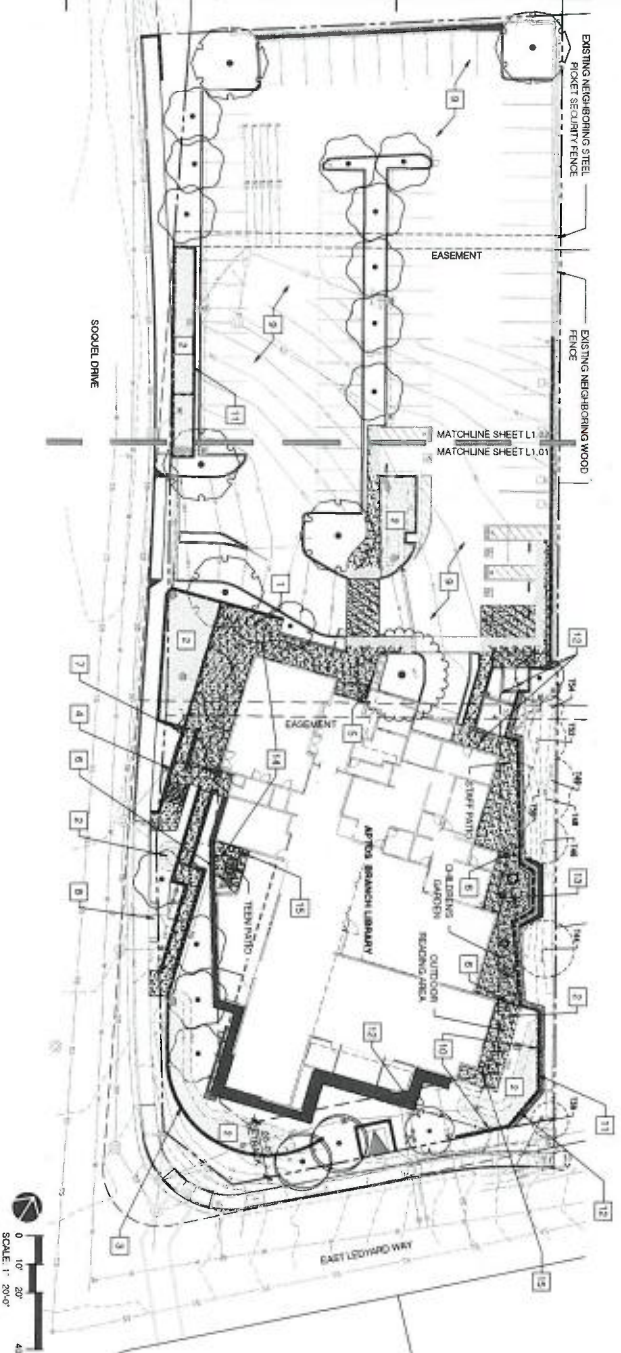


EXHIBIT D



ANDERSON BRUCE
ARCHITECTS
525 South Main Street, Suite 100
San Jose, CA 95128
408.281.1850 | www.abarbc.com

CONSULTANTS LOGO
JONI L. JANECKI
6.5.50 C.A.T.S.
515 WEST 11th STREET, SUITE 100
SAN JOSE, CA 95128
PHONE 415.763.0001 | WWW.JLJ.COM
California Landscape Architect License 3170

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOT FOR
CONSTRUCTION

NO.	DATE	REVISION
1	11/17/2021	ISSUED FOR PERMIT

PROJECT TITLE
APTOS BRANCH
LIBRARY
7865 SIOUX DR.
APTOS, CA 95003
PROJECT NO. 200465
DATE 11/02/21
SHEET TITLE

OVERALL
LANDSCAPE
SITE PLAN
SCALE 1" = 30'-0"
L1.00

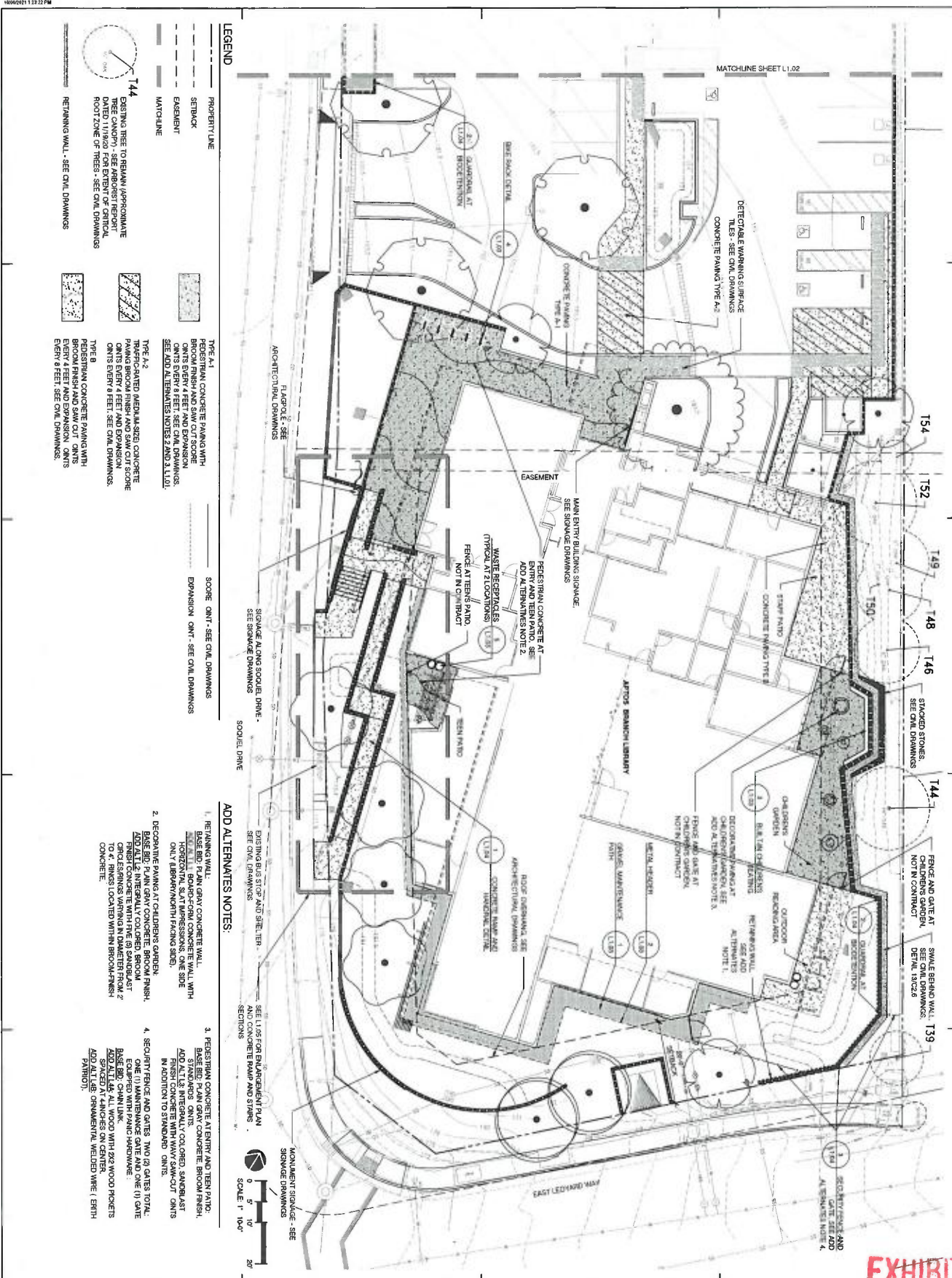


EXHIBIT D



ANDERSON & BRUNS
ARCHITECTS
3000 Santa Monica Blvd., Suite 1000
Santa Monica, CA 90405
405.450.1000 | www.abarich.com

JONI LAMCKE
LANDSCAPE ARCHITECTS
550 SWIFT ST. SUITE 200 CA 90606
PHOENIX 602.420.0001 | WWW.JLACOM
California Landscape Architect License 1783

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOT FOR
CONSTRUCTION

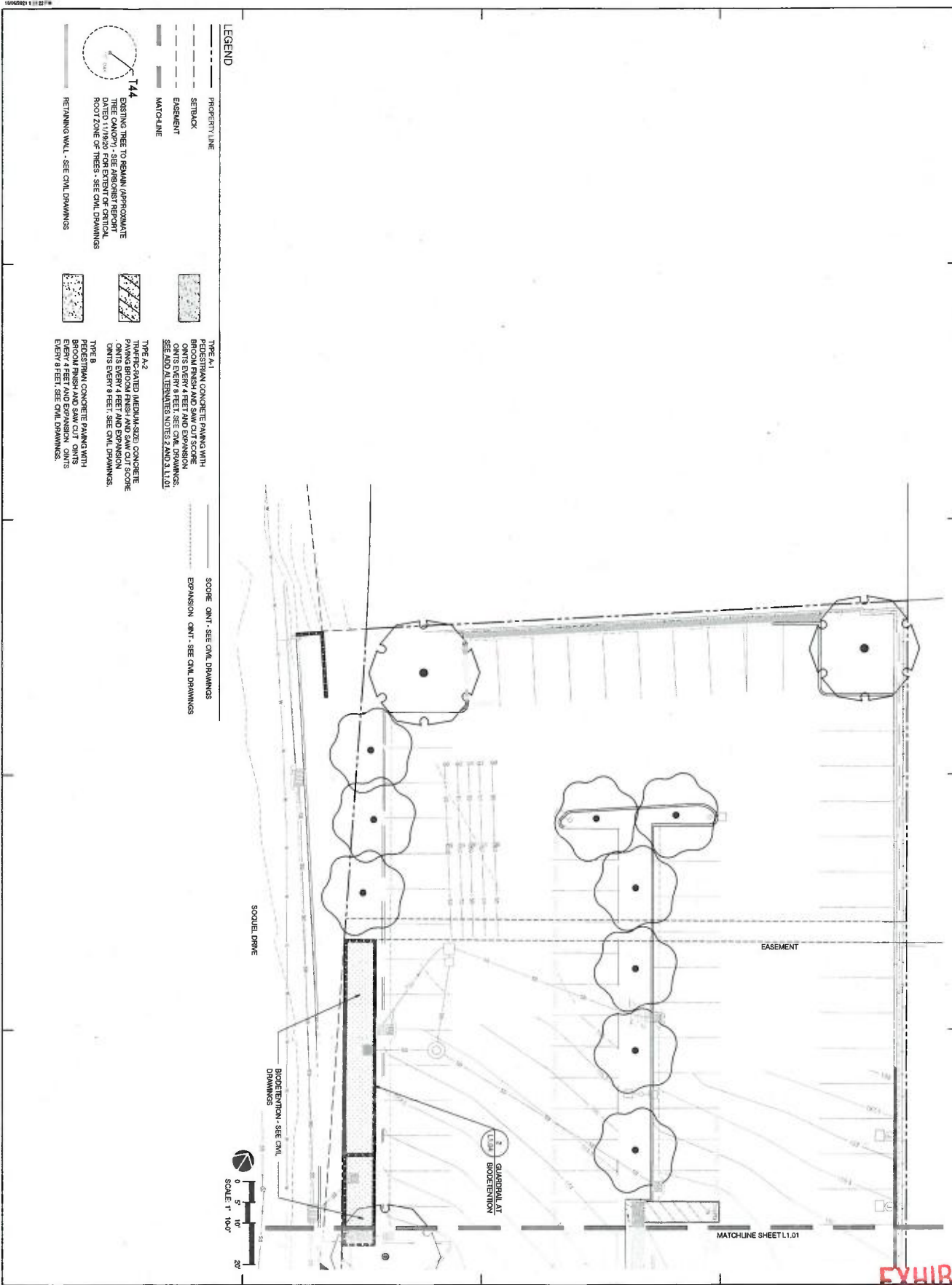
NO.	DATE	REVISION
1	11/02/21	PLANNING SUBMITTAL

PROJECT TITLE
APTOS BRANCH
LIBRARY
7695 SCOTTEL DR.
APTOS, CA 95003

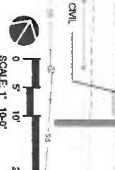
PROJECT NO.	200655
DATE	11/02/21
SHEET TITLE	MATERIALS ENLARGEMENT PLAN

SCALE
1" = 10'-0"

L1.01



- LEGEND**
- PROPERTY LINE
 - SEALING
 - EASEMENT
 - MATCHLINE
 - EXISTING TREES TO REMAIN (APPROXIMATE DATED 11/2/2021 FOR EXISTING OF CENTRAL ROOT ZONE OF TREES - SEE CIVIL DRAWINGS)
 - REMAINING WALL - SEE CIVIL DRAWINGS
 - TYPE A1: PEDESTRIAN CONCRETE PAVING WITH BROOK FINISH AND SAW CUT SCORE JOINTS EVERY 4 FEET. SEE CIVIL DRAWINGS. SEE ADD ALTERNATES NOTES 2 AND 3, L1.01.
 - TYPE A2: THICKENED MEDIUM-SIZED CONCRETE PAVING WITH BROOK FINISH AND SAW CUT SCORE JOINTS EVERY 4 FEET. SEE CIVIL DRAWINGS. SEE ADD ALTERNATES NOTES 2 AND 3, L1.01.
 - TYPE B: PEDESTRIAN CONCRETE PAVING WITH BROOK FINISH AND SAW CUT JOINTS EVERY 8 FEET. SEE CIVIL DRAWINGS.



ABBA

ANDERSON BRULE ARCHITECTS

307 Santa Rosa Street, 4th Floor
San Jose, CA 95112
408.281.1833 | www.abbaarch.com

CONSULTANTS LOGO

JOHN L. JANECKI
GRASSROOTS

515 WEST 37th STREET, CA 95008
PHONE: (415) 423-2840 | WWW.JANECI.COM
California License Number: 1183

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

APOTOS BRANCH LIBRARY
7895 SQUEL DR.
APTOS, CA 95003

PROJECT TITLE

PROJECT NO. 200659
DATE 11/02/21
SHEET TITLE

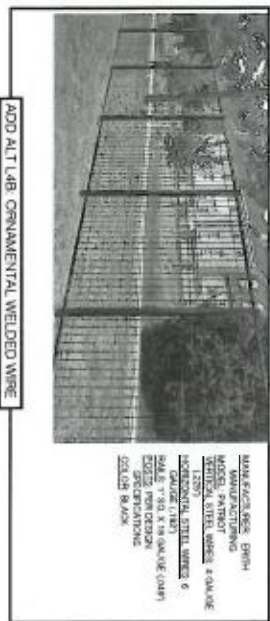
MATERIALS
ENLARGEMENT
PLAN

SCALE: 1" = 10'-0"

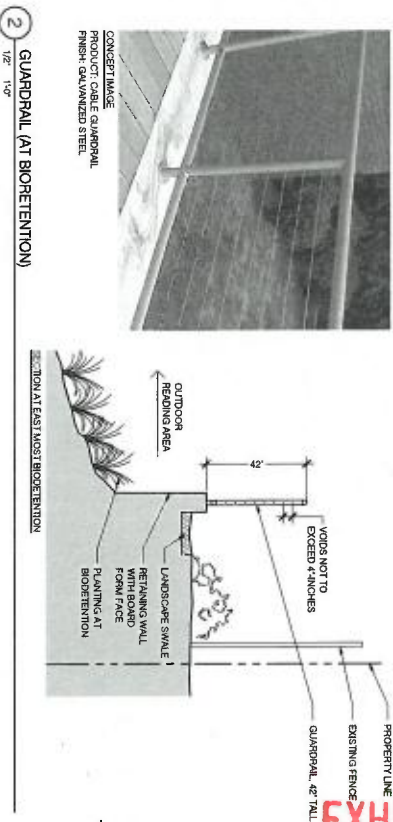
L1.02

SECURITY FENCE AND GATE NOTES:

1. FENCE SHALL BE 7-FEET TALL AND INCLUDE:
 - ONE (1) MAINTENANCE GATE
 - ONE (1) EMERGENCY GATE EQUIPPED WITH PANIC HARDWARE
 - VARIOUS MOUNTING SCENARIOS INCLUDING ON CONCRETE RETAINING WALL AND IN GROUND, VARIOUS CONDITIONS.
2. CONTRACTOR TO SUBMIT PRODUCT DATA AND SHOP DRAWINGS OF FENCING FOR APPROVAL.



1 CONCRETE RAMP AND HANDRAIL DETAIL



ANDERSON **B**RULE
ARCHITECTS
325 South First Street, 4th Floor
San Jose, California 95112
408.298.1665 | www.abr-arch.com

**PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021**

[illegible]

SCALE	AS NOTED
As shown and written required systems have been installed, tested, and maintained in accordance with State and New York Codes and standards. Installation of all equipment has been completed.	L1.04

EXHIBIT D



ANDERSON BROS
ARCHITECTS

325 South First Street, 10th Floor
San Jose, CA 95113
408.296.1555 | www.abasos.com

CONSULTANTS LOGO

JONI L. JANECKI
SAS ASSOCIATES

1110 SHUTTLE CREEK DRIVE
SAN JOSE, CA 95128
Phone: 415.333.1000 | www.sas.com
California Landscape Architect License 1100

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021



NO.	DATE	REVISION
1	11/17/21	ISSUED FOR PERMITTING
2	11/17/21	ISSUED FOR PERMITTING
3	11/17/21	ISSUED FOR PERMITTING
4	11/17/21	ISSUED FOR PERMITTING
5	11/17/21	ISSUED FOR PERMITTING
6	11/17/21	ISSUED FOR PERMITTING
7	11/17/21	ISSUED FOR PERMITTING
8	11/17/21	ISSUED FOR PERMITTING
9	11/17/21	ISSUED FOR PERMITTING
10	11/17/21	ISSUED FOR PERMITTING

PROJECT TITLE

APTOS BRANCH
LIBRARY

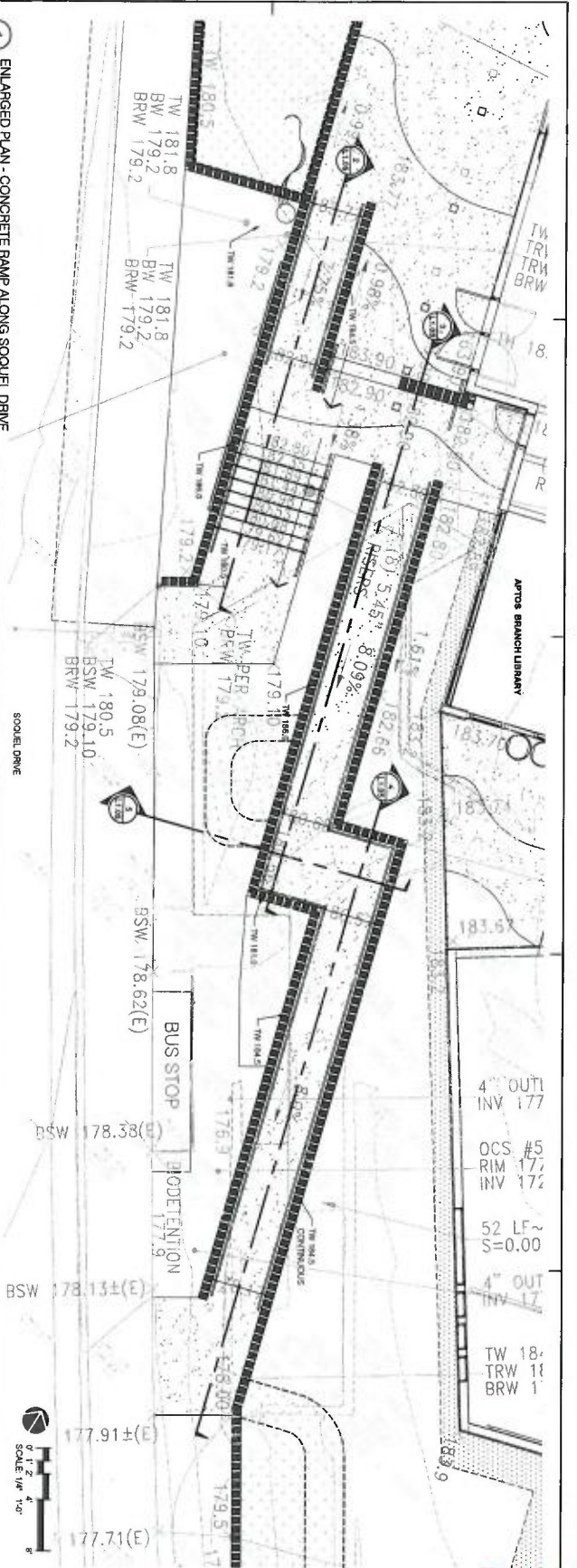
7885 SQUEL DRIVE
APTOS, CA 95003

PROJECT NO. 206650
DATE 11/02/21

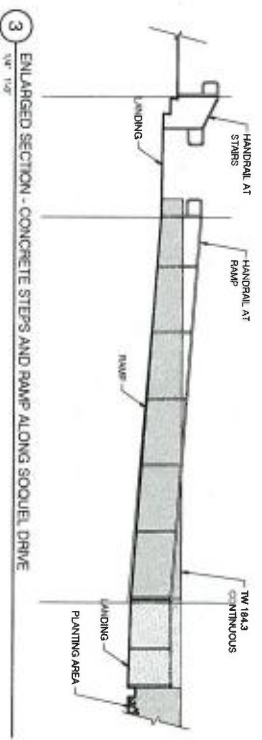
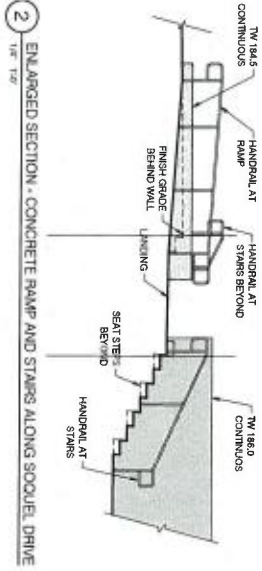
SHEET TITLE
ENLARGED PLAN
AND CONCRETE
RAMP AND STAIRS
SECTIONS

SCALE AS NOTED

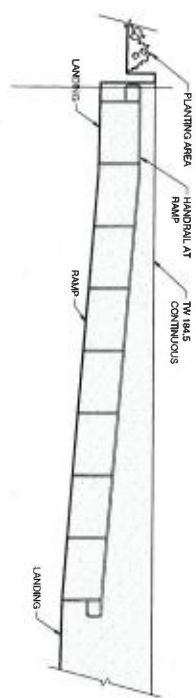
L1.05



1 ENLARGED PLAN - CONCRETE RAMP ALONG SQUEL DRIVE
AS NOTED

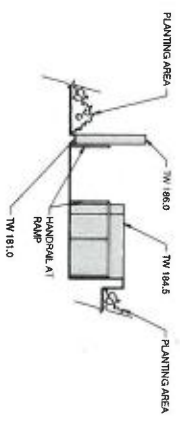


3 ENLARGED SECTION - CONCRETE STEPS AND RAMP ALONG SQUEL DRIVE
1/4" = 1'-0"

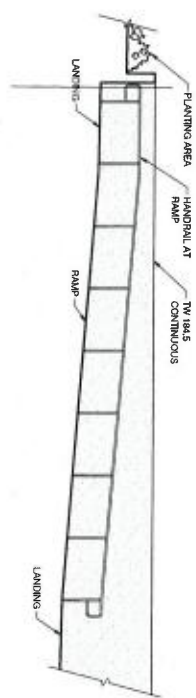


2 ENLARGED SECTION - CONCRETE RAMP AND STAIRS ALONG SQUEL DRIVE
1/4" = 1'-0"

5 ENLARGED CROSS SECTION - CONCRETE
RAMP ALONG SQUEL DRIVE
1/4" = 1'-0"



4 ENLARGED SECTION - CONCRETE RAMP ALONG SQUEL DRIVE
1/4" = 1'-0"



NOTE:
1. SEE DETAIL 1, SHEET 1.1A FOR
CONCRETE RAMP AND HANDRAIL DETAIL.
2. SEE CIVIL DRAWINGS SHEET C1.1 FOR
GRADING AND DRAINAGE PLAN.

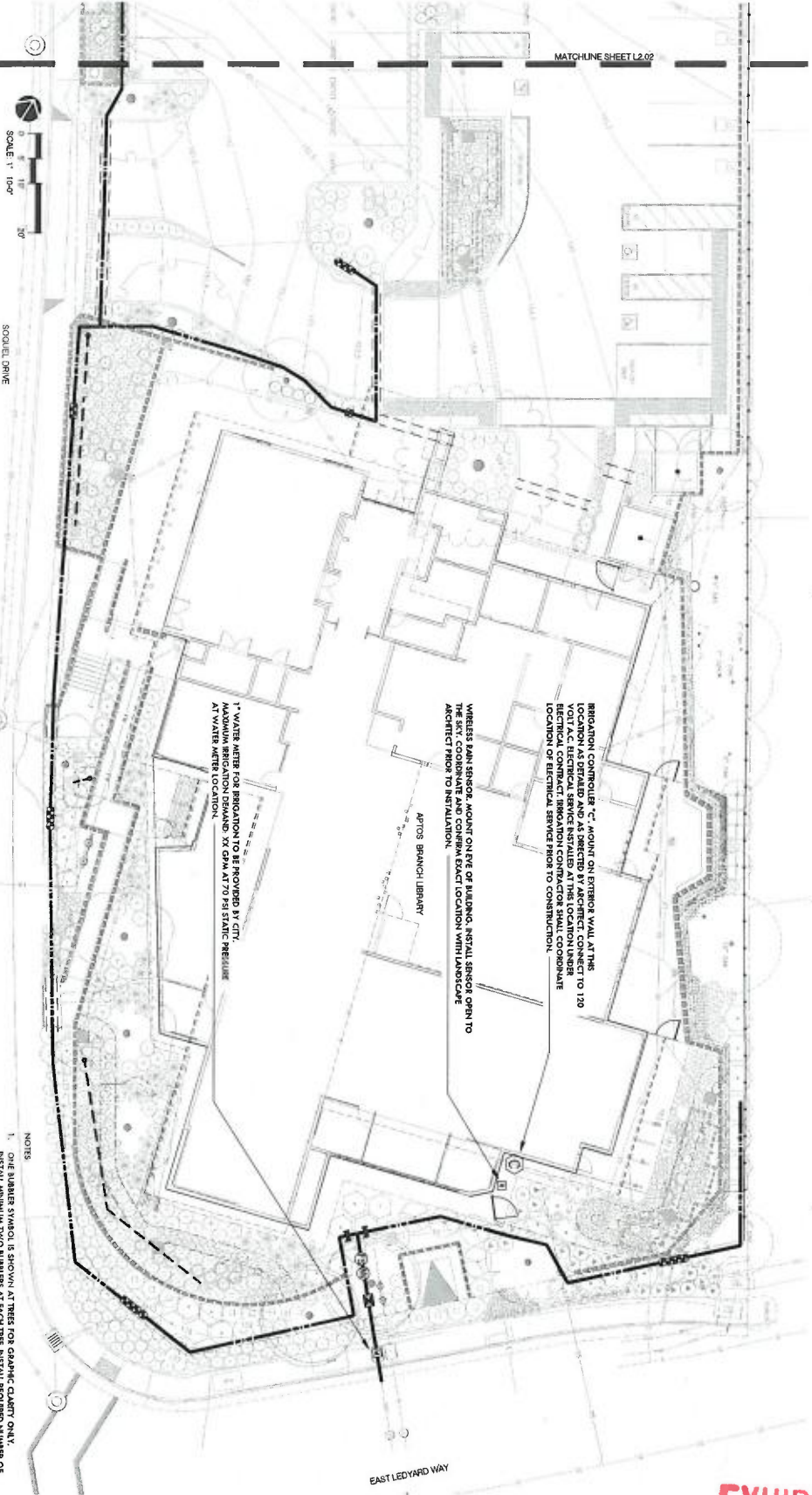
Irwin, Consultant
Russell D. Mitchell Associates, Inc.
C D
CA

1" = 100'

SCALE 1" = 100'

SCALE 1" = 100'

MATCHLINE SHEET L2.02



- NOTES
1. ONE NUMBER SYMBOL IS SHOWN AT TREES FOR GRAPHIC CLARITY ONLY. INSTALL MINIMUM TWO BARBERS AT EACH TREE. INSTALL REQUIRED NUMBER OF BARBERS AS DETAIL.
 2. IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. PROPOSED PIPE AND VESSELING BREAKING THROUGH EXISTING SURFACES SHALL BE SHOWN WITHIN HARDSCAPE. ALL IRRIGATION EQUIPMENT SHALL BE LOCATED WITHIN A MINIMUM OF TWO TIMES THE ADEQUATE DIAMETER OF ALL PIPES CONTAINED WITHIN SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND THROUGH ENDS AT 12\"/>

SCALE 1" = 100'

IRRIGATION
PLAN

PROJECT NO. 200059
DATE 11/02/21
SHEET TITLE

APTOS BRANCH
LIBRARY
7896 SQUIRE DR.
APTOS, CA 95003

PROJECT TITLE

NO.	DATE	DESCRIPTION
1	11/02/21	PROJECT START
2		
3		
4		
5		
6		
7		
8		
9		
10		

NOT FOR
CONSTRUCTION

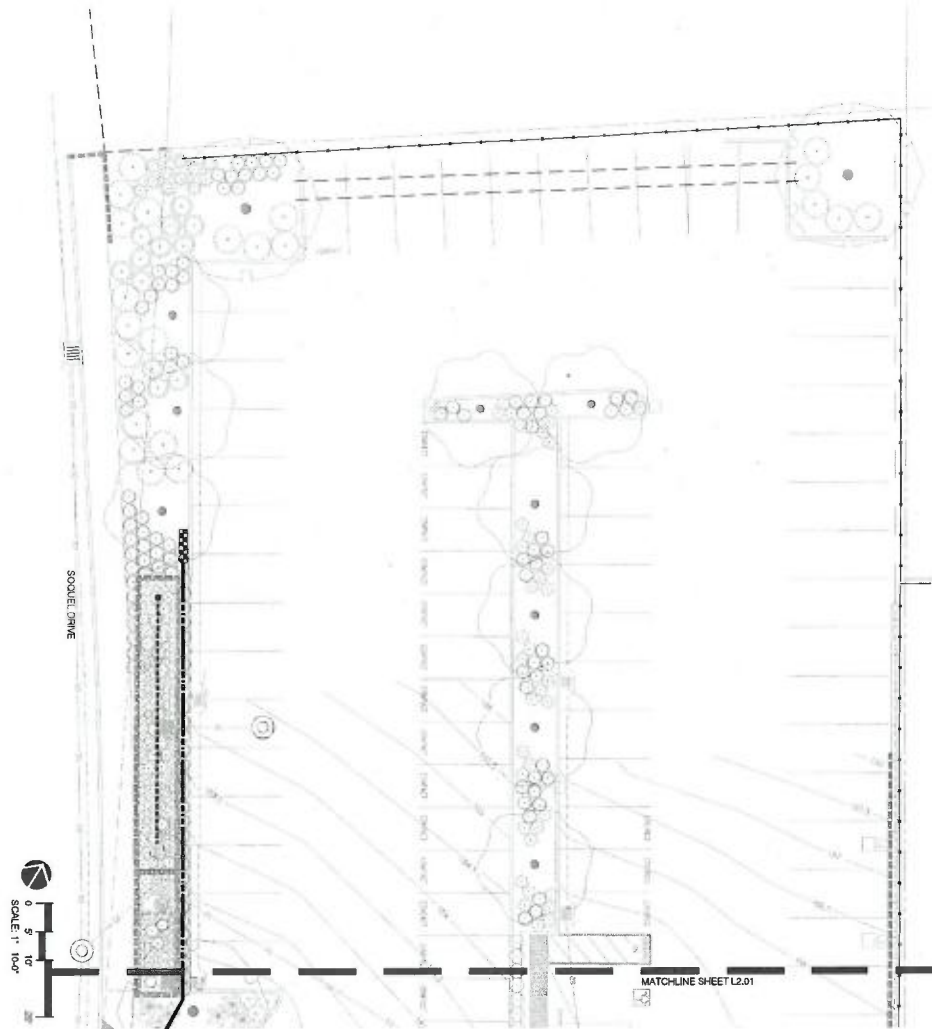
PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

IRWIN CONSULTANTS
THE IRWIN GROUP, INC.
10000 IRWIN DRIVE, SUITE 100
IRVINE, CA 92618
TEL: (949) 261-1000 FAX: (949) 261-1001
WWW.IRWINCONSULTANTS.COM

CONSULTANTS LOGO

ANDERSON BRULS
ARCHITECTS
222 SOUTH FOLBROOK DRIVE
SUITE 100
IRVINE, CA 92614
TEL: (949) 261-1000 FAX: (949) 261-1001
WWW.ABARCHITECTS.COM

EXHIBIT D



- NOTES:
1. ONE BRASSER TYPICAL IS SHOWN AT TREES FOR GRAFIC CLIMAT ONLY. INSTALL MINIMUM TWO BRASSERS AT EACH TREE. INSTALL REQUIRED NUMBER OF BRASSERS AS DETAILD.
 2. IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARBORDE FOR GRAFIC CLIMAT ONLY. INSTALL IRRIGATION EQUIPMENT WITHIN LAYED SHALL BE CONTAINED WITHIN A MINIMUM OF SCHEDULE 40 P.V.C. CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE ADOPTED DIAMETER OF ALL PIPES. CONDUIT SHALL BE INSTALLED IN A MINIMUM OF TWO ROWS. CONDUIT TO BE CONDUIT ON EACH SIDE OF HARBORDE AND TERMINATE INSIDE AT 12" MINIMUM DEPTH AND 12" FROM HARBORDE SURFACE.
 3. UNLINED LATERAL (THE PIPING LOCATED DOWN STREAM OF 1" PIPING) SHALL BE 3/4" IN SIZE (TYPICAL).
 4. SIZE OF LATERAL PIPE SHALL BE AS FOLLOWS:

0.25"	0.6 GPM
0.75"	7.12 GPM
1.25"	15.50 GPM
 5. SIZE OF LATERAL PIPE FOR DISCHARGE 11/2" O.C. GARD WITH 0.6 GPM OR LESS BRASSERS SHALL BE AS FOLLOWS:

0.25"	6.500 FT
0.75"	50.1100 FT

EXHIBIT D



ANDERSON BURL
ARCHITECTS

325 South First Street, 4th Floor
San Jose, California 95113
408.298.1845 | www.aes-aech.com

CONSULTANTS: L. COOPER

PHONE 801.477.8042 | WWW.JLA.COM
California | Architecture | Interiors | Landscape | 315

**PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021**

NOVEMBER 17, 2021

NOT FOR
CONSTRUCTION

[illegible]

PROJECT TITLE:

APTOS BRANCH
LIBRARY

APTOS, CA 95003

PROJECT NO. 2004050

SHEET TITLE

IRRIGATION PLAN

SCALE: 1" = 10'-0"

L2.02

1. THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND

- [illegible]

IMMIGRATION LEGEND

[illegible]

EXHIBIT D



ANDERSON BRULÉ
ARCHITECTS
325 South First Street, 4th Floor
San Jose, California 95113
408.238.1885 | www.abr-aia.com

**JONI L. JANECKI
& ASSOCIATES**

515 STREET 81, SANTA CRUZ CA 95060
PHONE (31) 422-0040 | WWW.JLJAC.COM
California Landscape Architect License 3153

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOVEMBER 17, 2021

NOT FOR
CONSTRUCTION

[illegible]

PROJECT TITLE:

APTOS BRANCH
LIBRARY

7695 SOQUEL DR.
APTOS, CA 95003

PROJECT NO.	2004050
DATE	11/02/2
SHEET TITLE	

IRRIGATION
LEGEND AND
NOTES

L2.03

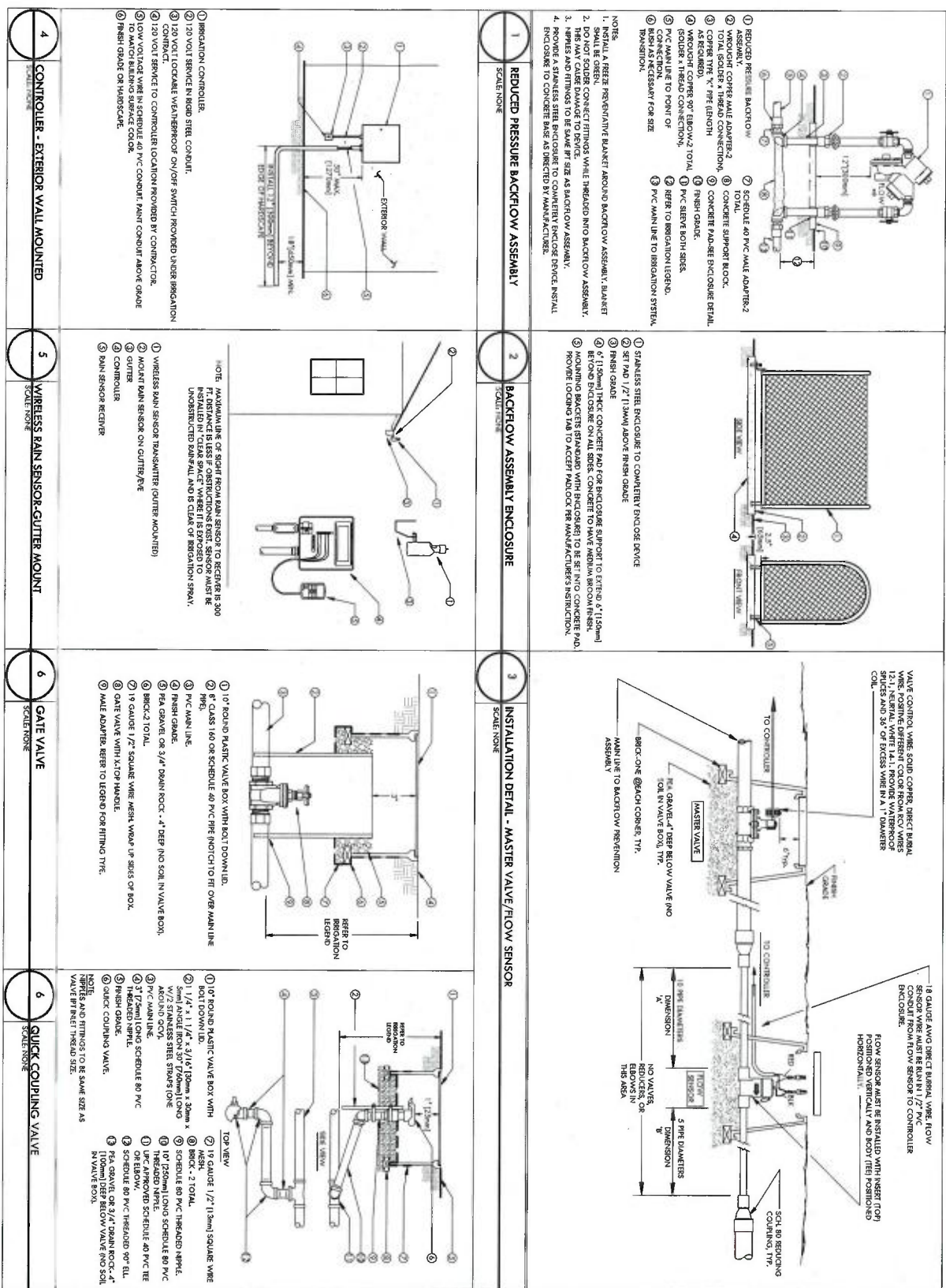


EXHIBIT D

ABA

ANDERSON BRUL
ARCHITECTS

3225 South First Street, 4th Floor
San Jose, California 95113
408.298.1885 | www.ada-erch.com

CONSULTANTS LOGO

515 SWIFT ST., SANTA CRUZ CA 95060
PHONE (408) 423-8040 | WWW.AJA.COM
California Landscape Architect License 3182

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOVEMBER 17, 2021

**NOT FOR
CONSTRUCTION**

[illegible]

PROJECT TITLE:

APTOS BRANCH
LIBRARY

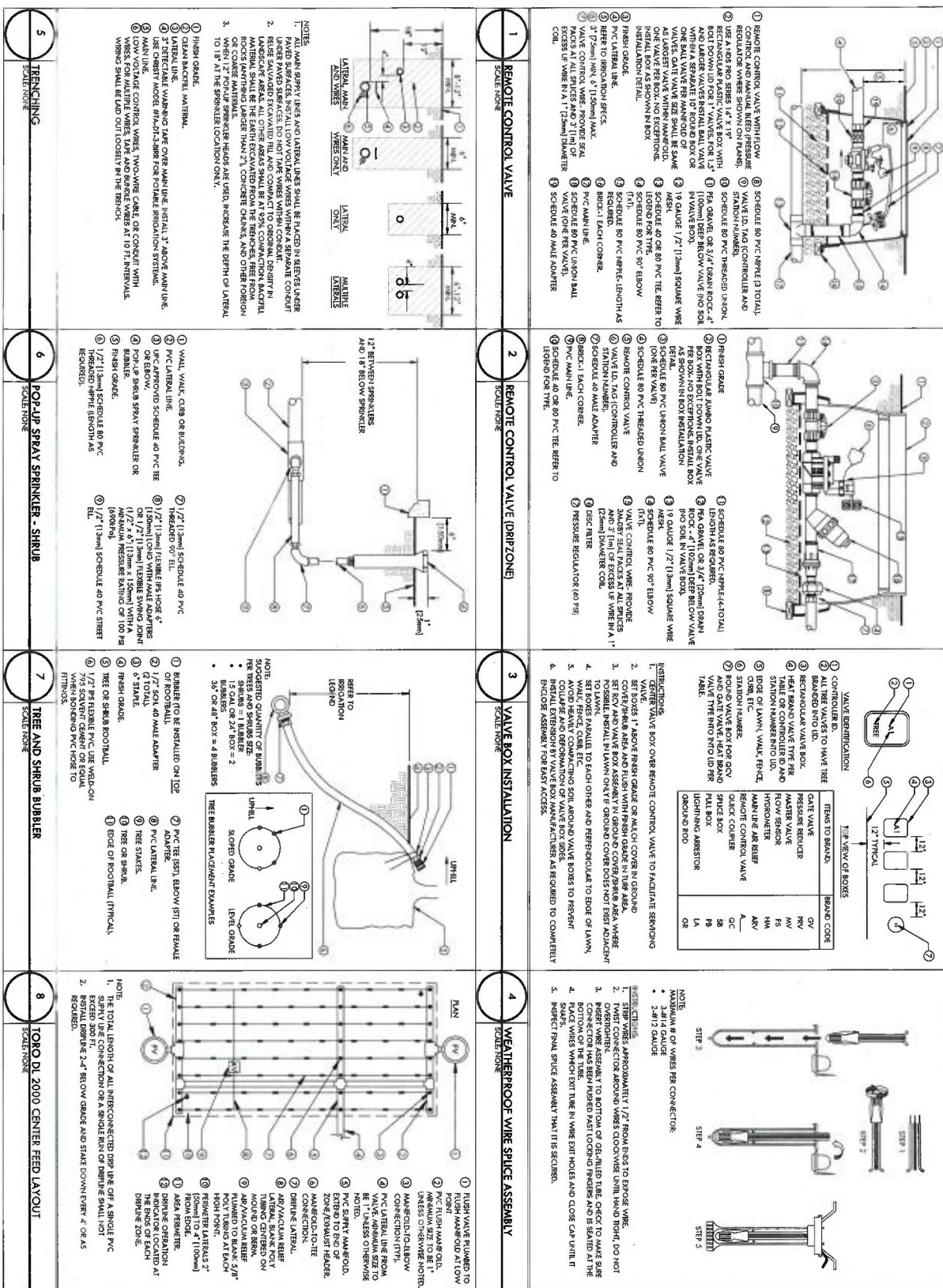
7695 SOQUEL DR
APTOS, CA 95003

PROJECT NO.	2004
DATE	11/10

IRRIGATION DETAILS

SCALE	NTS
-------	-----

L2.04





ANDERSON BRUNS
ARCHITECTS
325 North Main Street
4th Floor
Anaheim, California 92810
408.506.1065 | www.abarbruns.com

CONSULTANTS LOCAL
JONIL LAMINE
6455 S. GATEWAY
515 BRINT LANE, SUITE 100
PHOENIX, ARIZONA 85044
PHONE: 602.952.1000 | WWW.JLL.COM
California Landscape Architect License 2103

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOT FOR
CONSTRUCTION

NO.	DATE	REVISIONS
1	11/17/21	ISSUED FOR PERMIT

PROJECT TITLE

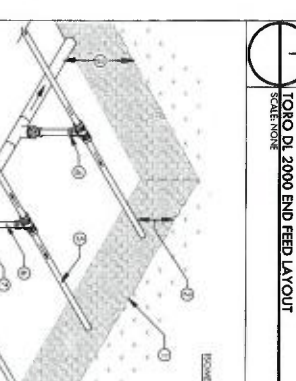
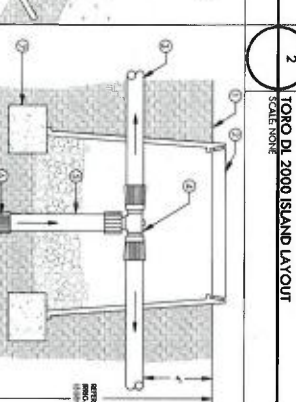
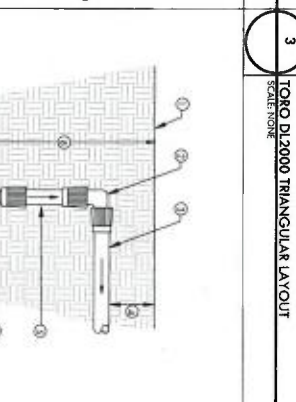
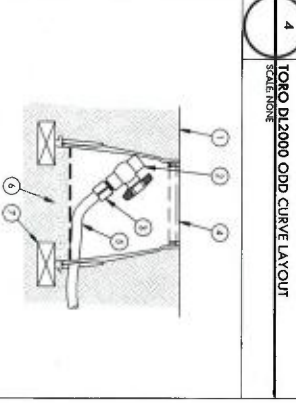
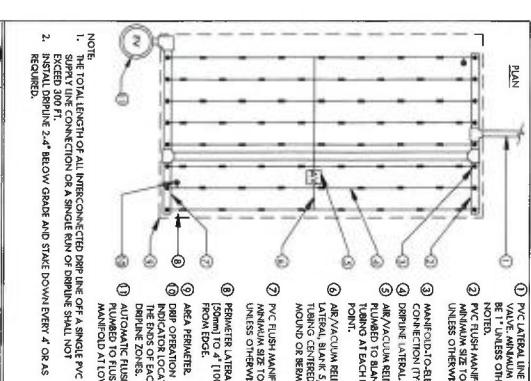
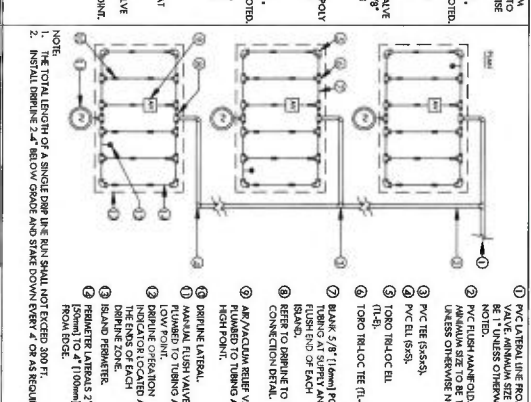
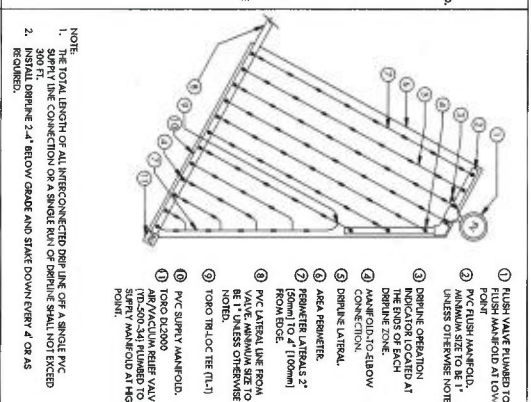
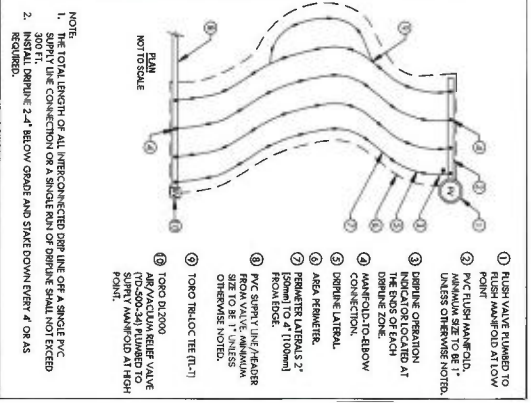
APTOS BRANCH
LIBRARY
7895 SQUIRE DR.
APTOS, CA 95003

PROJECT NO.	200680
DATE	11/02/21
SHEET TITLE	

IRRIGATION
DETAILS

SCALE: 1"=10'

L2.06





ANDERSON BRUNS
ARCHITECTS
1550 Santa Monica Blvd., Suite 200
Santa Monica, California 90401
405.291.1881 | www.ababrs.com

CONSULTANTS LOGO

JONIL JAMECKI
ASSOCIATES
515 SHIP ST., SUITE 200, CA 90008
PHONE (310) 421-1001 | WWW.JJA.COM
Creating Landscapes Architects License 1383

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOT FOR
CONSTRUCTION

NO.	DATE	REVISION
1	11/10/21	ISSUED FOR PERMITS

PROJECT TITLE

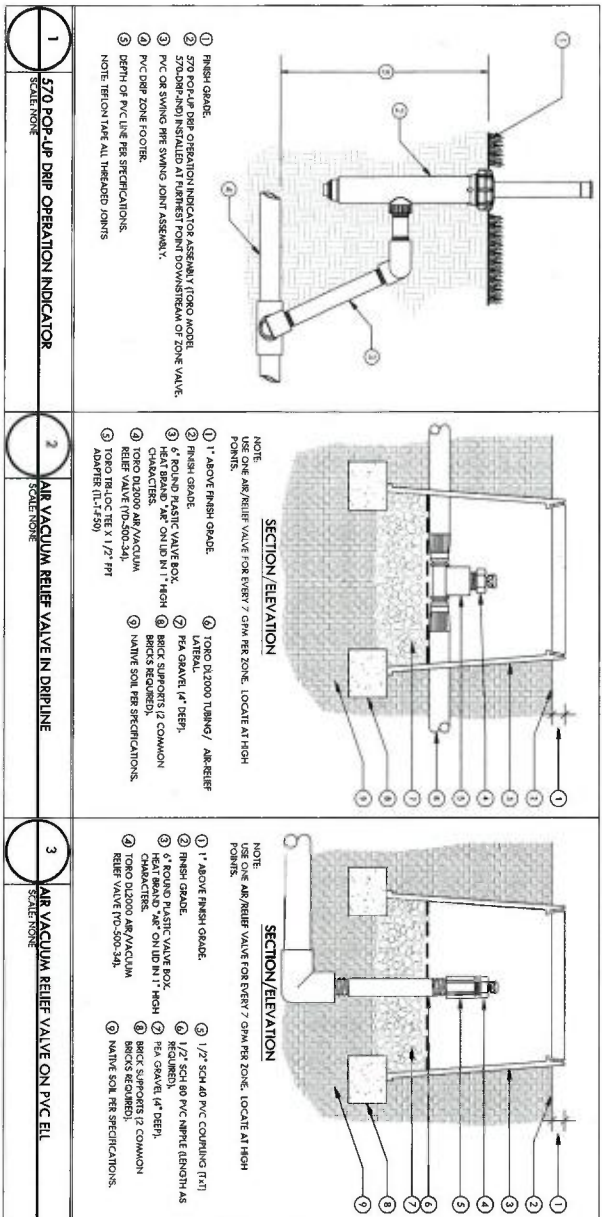
APTOS BRANCH
LIBRARY
7896 SQUIGL DR.
APTOS, CA 95003

PROJECT NO. 200459
DATE 11/02/21
SHEET TITLE

IRRIGATION
DETAILS

SCALE NTS

L2.07



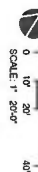


EXHIBIT D

ANDERSON BAKER

Ассиметрия

1-800-767-7676, 401-859-
 1000
 San Jose, California 95131
 408/266-7661 | www.igmparts.com

CONSULTANTS LOGO:

SONI L. JANECKI
& ASSOCIATES

515 SWIFT ST, SANTA CRUZ CA 95060
PHONE 831.423.6040 | WWW.JLAL.COM
California Landscape Architect License 5163

**PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021**

STAMP
NOT FOR
CONSTRUCTION

[illegible]

PROJECT TITLE

APTOS BRANCH

LIBRARY

7695 SOQUEL DR.
APTOS. CA 95003

PROJECT NO.	200-005
DATE	11/02
SHEET TITLE	

TREE PLANTING
PLAN

At design and build, we deliver a complete solution for your business. We provide the design, engineering, construction, and installation services you need to get your business up and running. We are a full-service design-build firm, and we can handle every aspect of your project. We are a full-service design-build firm, and we can handle every aspect of your project. We are a full-service design-build firm, and we can handle every aspect of your project.

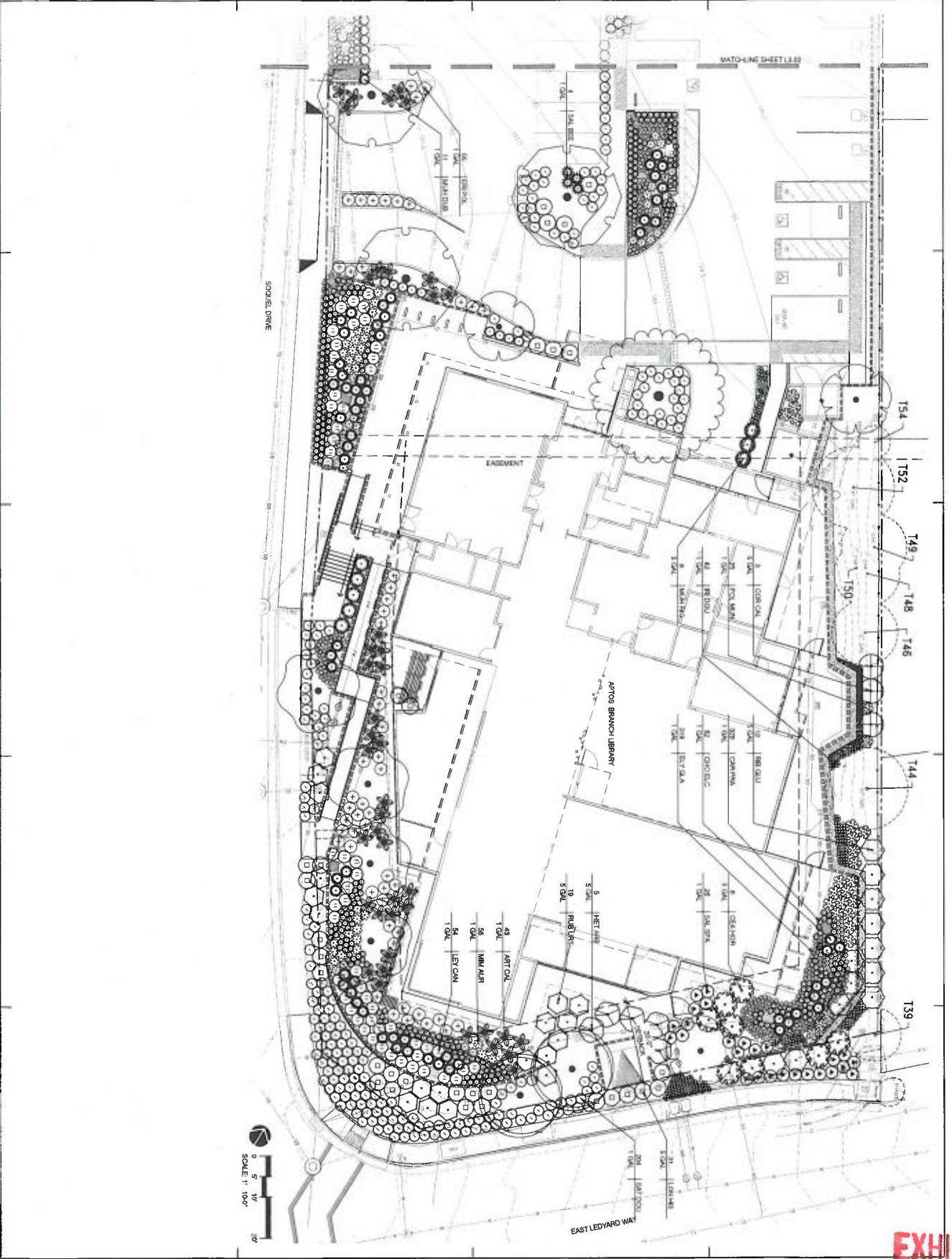


EXHIBIT D



ANDERSON BROS
ARCHITECTS
305 South First Street, 4th Floor
San Jose, California 95113
408.281.1333 | www.abarchitects.com

CONSULTANTS LOGO
JONI LANECKI
ASSOCIATES
515 SWIFT ST. SANTA CRUZ, CA 95060
PHONE (831) 424-0601 | WWW.JLANECKI.COM
California Landscape Architect License #193

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOT FOR
CONSTRUCTION

NO.	DATE	REVISIONS
1	11/17/2021	PRELIMINARY

PROJECT TITLE
APTOS BRANCH
LIBRARY
7696 SOCQUEL DR.
APTOS, CA 95003

PROJECT NO.
2006059
DATE
11/02/21
SHEET TITLE

PLANNING
ENLARGEMENT
PLAN
1" = 10'-0"
L3.01

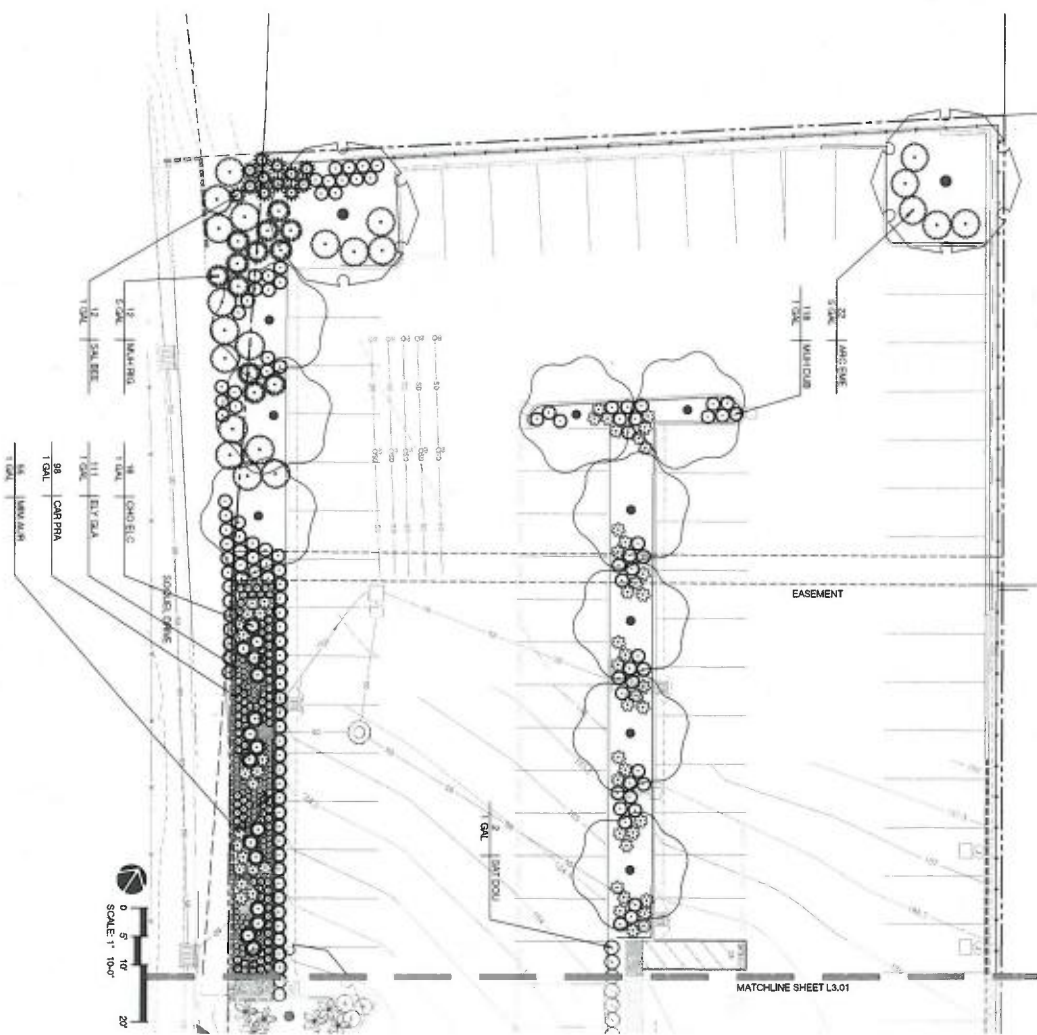


EXHIBIT D



ANDERSON BAULE
ARCHITECTS
325 SOUTH 1ST STREET, SUITE 200
SAN JOSE, CA 95113
408.281.1883 | www.abarchitects.com

JONIL JANICKI
ASSOCIATES
515 STREET ST. ADAMT, CHICAGO, IL 60606
PHONE (312) 423-1040 | WWW.JA.COM
California Landscape Architect License 1151

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOT FOR
CONSTRUCTION

NO.	DATE	REVISION
1	11/17/21	ISSUED FOR PERMITS
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT TITLE
APTOS BRANCH
LIBRARY
7696 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 200659
DATE 11/02/21
SHEET TITLE

PLANTING
ENLARGEMENT
PLAN

SCALE 1" = 10'-0"
L3.02

EXHIBIT D



ANDERSON BEUL
ARCHITECTS
300 South First Street, 4th Floor
San Jose, CA 95113
408.463.1000 | www.abarchitect.com

CONSULTING LOGO
JON L. JANKO
CALIFORNIA
515 SWIFT ST. SUITE 200, SAN JOSE, CA 95128
PHONE: 408.463.1000 | WWW.ABA.COM
California Landscape Architect License 1513

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOT FOR
CONSTRUCTION

NO.	DATE	REVISIONS
1	01/11/21	ISSUED FOR PERMIT
2	01/11/21	ISSUED FOR PERMIT
3	01/11/21	ISSUED FOR PERMIT
4	01/11/21	ISSUED FOR PERMIT
5	01/11/21	ISSUED FOR PERMIT
6	01/11/21	ISSUED FOR PERMIT
7	01/11/21	ISSUED FOR PERMIT
8	01/11/21	ISSUED FOR PERMIT
9	01/11/21	ISSUED FOR PERMIT
10	01/11/21	ISSUED FOR PERMIT

PROJECT TITLE
APTOS BRANCH
LIBRARY
7866 SQUELIE DR.
APTOS, CA 95003

PROJECT NO. 2006059
DATE 11/02/21
SHEET TITLE
PLANT
SCHEDULE
AND
NOTES
SCALE
L3.03

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	AC NEG 2		ACER NEGUNDO	BOX ELDER	36" BOX		
	ARB MAR 13		ARBUTUS X MARGNA	MARGNA STRAWBERRY TREE	36" BOX		
	GER FOR 1		CERES CANADENSIS FOREST PANTRY	FOREST PANTRY EASTERN REDBUD	36" BOX		
	QUE AGF 5		QUERCUS AGROFOLIA	COASTLINE OAK	36" BOX		
	QUE LOS 1		QUERCUS LOSATA	WALLEY OAK	36" BOX		
	SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	AND BME 22		ARCTOSTAPHYLOS X EMBELLO CARPET	EMBELLO CARPET MANZANITA	5" GAL	60" x 60"	
	ANT CAL 43		ARTEMISIA CALIFORNICA	CALIFORNIA SAGEBRUSH	1" GAL	48" x 48"	
	CAR PRA 427		CAREX PRAESENS	CALIFORNIA FIELD SEDGE	1" GAL	16" x 16"	
	CEA HOR 8		CEANOTUS GRESSEUS HORIZONTALIS	CANAL CREEPER	5" GAL	72" x 72"	
	CHO ELC 79		ONONDIOPETALUM TECTORUM EL CAMPO	EL CAMPO SMALL OPE RUSH	1" GAL	36" x 36"	
	CON CAL 5		CORYLUS CORNUTA CALIFORNICA	WESTERN HAZELNUT	5" GAL	72" x 72"	
	ELY GLA 439		ELYNIS GALICUS	BLUE WILDMYE	1" GAL	12" x 12"	
	ER POL 56		ERIOCAULUM FASCICULATUM POLIOFOLIUM	EASTERN MOHAWE BUCKWHEAT	1" GAL	36" x 36"	
	HET ARB 5		HETEROMELES ARBUTIFOLIA	TOYON	5" GAL	72" x 72"	
	IRIDOU 82		IRIS DOUGLASSIANA	DOUGLAS IRIS	1" GAL	16" x 16"	
	LET CAN 14		LEMAUS CONSENSUATUS CANYON PRINCE	CANYON PRINCE GIANT WILD ORE	1" GAL	36" x 36"	
	LOH HIS 31		LONCERA HERBIFOLIA	HONEY SUCULE	5" GAL	48" x 48"	
	MAM ALR 111		MAMMILLUS ALPUNTICUS	STICKY WORMEY FLOWER	1" GAL	36" x 36"	
	MULH DUB 129		MULHBERGIA DUBIA	PINE MULKY	1" GAL	30" x 30"	
	VALH RIG 20		MULHBERGIA RIGENS	DEER GRASS	5" GAL	48" x 48"	
	POL MAN 25		POLYTOPHUM MANTUM	WESTERN SNAKE FERN	1" GAL	36" x 36"	
	RUB GLU 12		RUBES SANGONELUM GLUMICOLM	RED FLOWERING CURRANT	5" GAL	72" x 72"	
	RUB IRS 19		RUBUS IRSINUS	CALIFORNIA BLACKBERRY	5" GAL	60" x 60"	
	SAL SPA 28		SALIX SPATACERA	HUMMINGBIRD SAGE	1" GAL	36" x 36"	
	SAL BEE 16		SALIX X BEES BLISS	BEES BLISS SAGE	1" GAL	36" x 36"	
	SAT DOU 207		SANTALUM A DOUGLASII	YERBA BUENA	1" GAL	36" x 36"	



ANDERSON BAULE
ARCHITECTS
230 South First Street, 4th Floor
San Jose, California 95113
408.281.1000 | www.abale.com

CONSULTANTS LOGO
JONI LANECKI
6A ASSOCIATES
515 SHAW ST. SANTA CLARA, CA 95050
PHONE 415.425.0001 | WWW.JLA.COM
California Landscape Architect License 7163

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021

NOT FOR
CONSTRUCTION

NO.	DATE	REVISIONS
1	11/16/21	ISSUED FOR PERMIT

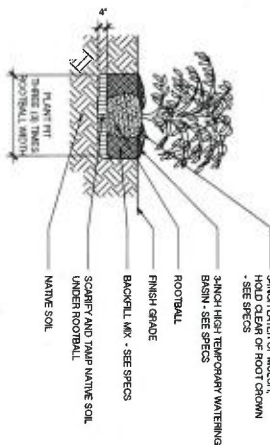
PROJECT TITLE
APTOS BRANCH
LIBRARY
7696 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 200659
DATE 11/16/21
SHEET TITLE
PLANTING
DETAILS
L3.04

SCALE AS NOTED
DATE 11/16/21
BY JON LANECKI
CHECKED BY JON LANECKI
APPROVED BY JON LANECKI

2 SHRUB PLANTING DETAIL

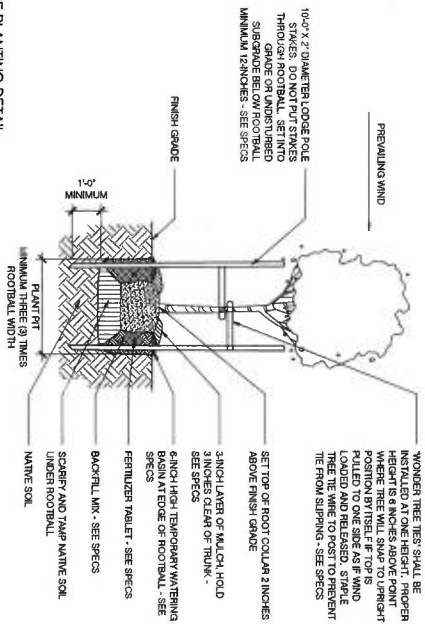
NOT TO SCALE



- NOTE:
1. REMOVE TEMPORARY WATERING BASIN - SEE SPECS
2. REMOVE TEMPORARY WATERING BASIN - SEE SPECS
3. REMOVE TEMPORARY WATERING BASIN - SEE SPECS
4. REMOVE TEMPORARY WATERING BASIN - SEE SPECS
5. REMOVE TEMPORARY WATERING BASIN - SEE SPECS
6. CONTRACTOR TO COORDINATE AND PROVIDE PHOTOS OF PROPOSED TREES.
7. TREES SHALL BE PLANTED WITH WELL-TAPERED, STRONG TRUNKS WHICH WILL STAND ALONE.
8. TREES SHALL BE PLANTED WITH TOPS TOO LARGE FOR TRUNKS TO SUPPORT SHALL BE PRUNED AS DIRECTED BY OWNER'S REPRESENTATIVE TO REDUCE CROWN HEIGHT AND TO REMOVE LATERAL BRANCHING.
9. TREES SHALL BE PLANTED WITH TOPS TOO LARGE FOR TRUNKS TO SUPPORT SHALL BE PRUNED AS DIRECTED BY OWNER'S REPRESENTATIVE TO REDUCE CROWN HEIGHT AND TO REMOVE LATERAL BRANCHING.
10. TREES SHALL BE PLANTED WITH TOPS TOO LARGE FOR TRUNKS TO SUPPORT SHALL BE PRUNED AS DIRECTED BY OWNER'S REPRESENTATIVE TO REDUCE CROWN HEIGHT AND TO REMOVE LATERAL BRANCHING.

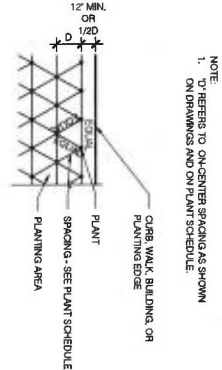
1 TREE PLANTING DETAIL

NOT TO SCALE



3 TYPICAL PLANT SPACING DETAIL

NOT TO SCALE



ABA

CONSULTANTS LOGO

[illegible][illegible]

APTOS BRANCH

PROJECT NO.	2004050
DATE	3/25/21
SHEET TITLE:	

SCALE 1" = 20'-0"

*Measure and verify, and
confirm all design conditions
and materials with V.A. Design.
Grade, materials and size not for
distribution without the written
approval of V.A. Design/DA
Architects.*

A100 P



**PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021**

[illegible]

PROJECT TITLE:

**APTOS BRANCH
LIBRARY**
7695 SOQUEL DR.
APTOS, CA 95003

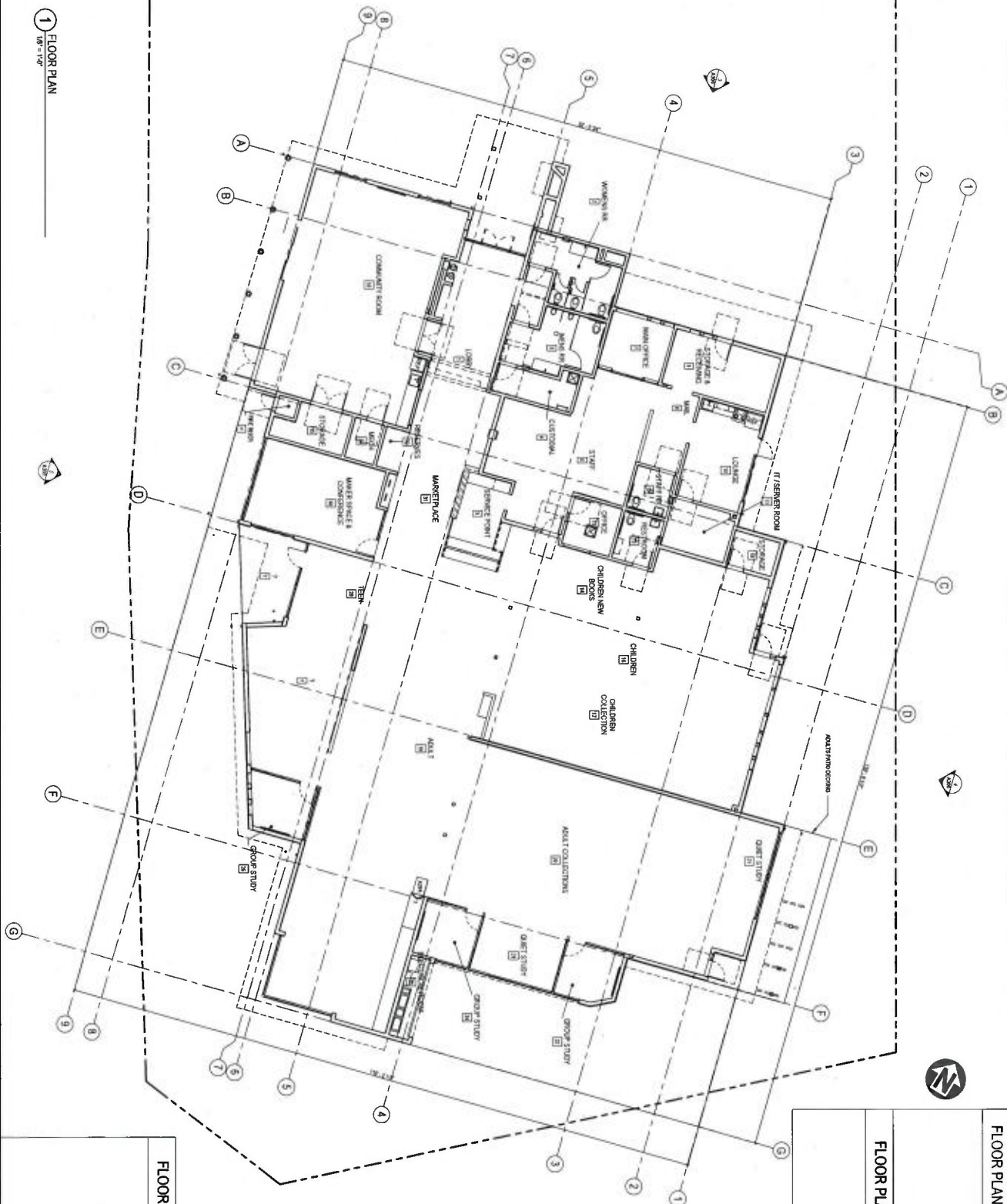
PROJECT NO.	2004050
DATE	7/14/21
SHEET TITLE	

ENLARGED SITE
PLAN

SCALE 10" = 1'-0"

1. A110P

1 FLOOR PLAN
1/8" = 1'-0"



FLOOR PLAN SHEET NOTES

FLOOR PLAN LEGEND



EXHIBIT D



321 South Pine Street, 4th Floor
San Jose, California 95113
408.258.1581 | www.aba-arch.com
CONSULT FIRM'S LOGO

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021



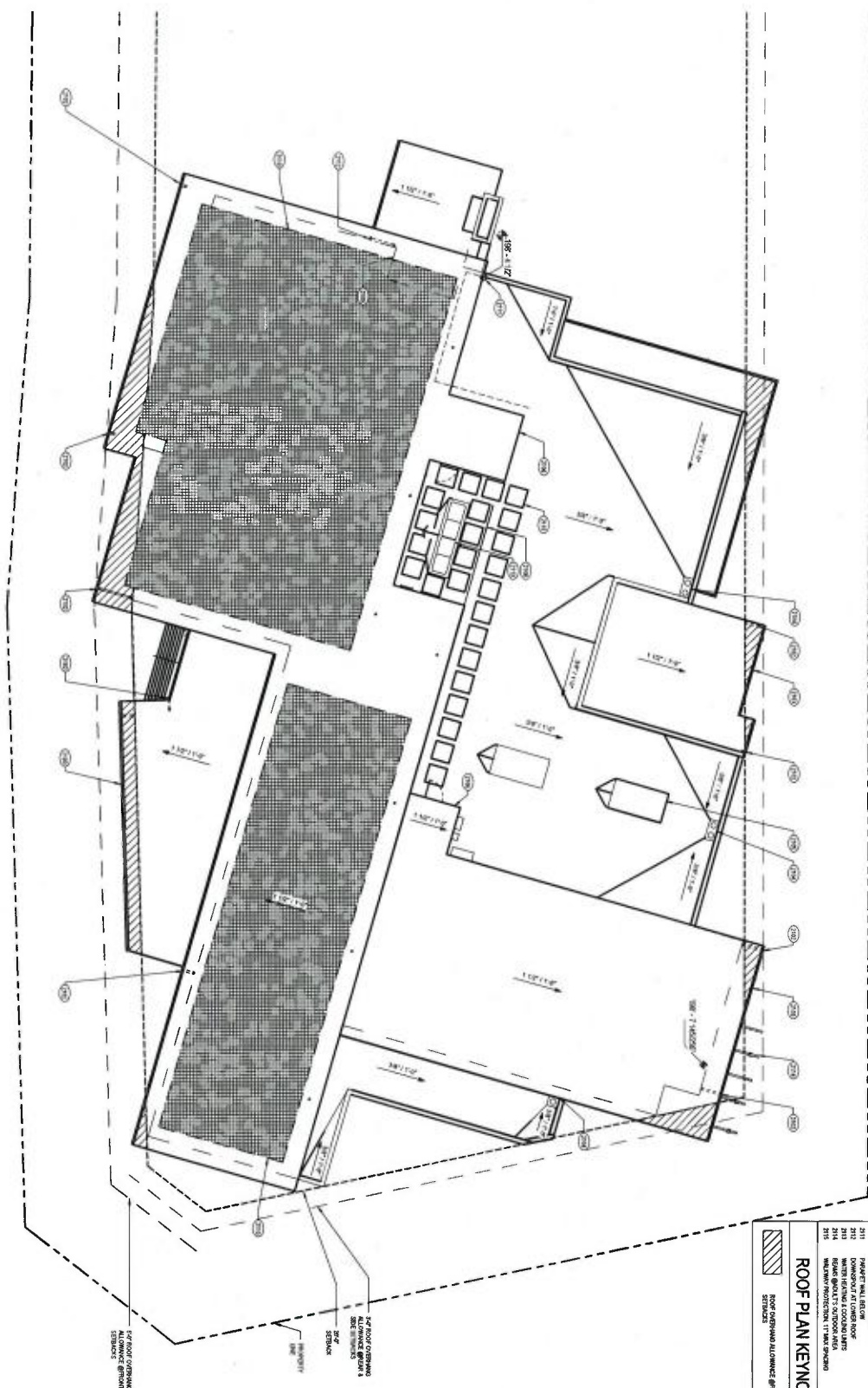
NO.	DATE	REVISIONS

PROJECT TITLE
APTOS BRANCH LIBRARY
7885 SQUEL DR.
APTOS, CA 95003
PROJECT NO. 200660
DATE 7/14/21
SHEET TITLE

FLOOR PLAN

SCALE: 1/8" = 1'-0"
A200 P

1 ROOF PLAN
1/8" = 1'-0"



ROOF PLAN KEYNOTES

- 2102 DOWNPOUT
- 2103 DOWNPOUT
- 2104 DOWNPOUT
- 2105 DOWNPOUT
- 2106 DOWNPOUT
- 2107 DOWNPOUT
- 2108 DOWNPOUT
- 2109 DOWNPOUT
- 2110 DOWNPOUT
- 2111 DOWNPOUT
- 2112 DOWNPOUT
- 2113 DOWNPOUT
- 2114 DOWNPOUT
- 2115 DOWNPOUT
- 2116 DOWNPOUT
- 2117 DOWNPOUT
- 2118 DOWNPOUT
- 2119 DOWNPOUT
- 2120 DOWNPOUT
- 2121 DOWNPOUT
- 2122 DOWNPOUT
- 2123 DOWNPOUT
- 2124 DOWNPOUT
- 2125 DOWNPOUT
- 2126 DOWNPOUT
- 2127 DOWNPOUT
- 2128 DOWNPOUT
- 2129 DOWNPOUT
- 2130 DOWNPOUT
- 2131 DOWNPOUT
- 2132 DOWNPOUT
- 2133 DOWNPOUT
- 2134 DOWNPOUT
- 2135 DOWNPOUT
- 2136 DOWNPOUT
- 2137 DOWNPOUT
- 2138 DOWNPOUT
- 2139 DOWNPOUT
- 2140 DOWNPOUT
- 2141 DOWNPOUT
- 2142 DOWNPOUT
- 2143 DOWNPOUT
- 2144 DOWNPOUT
- 2145 DOWNPOUT
- 2146 DOWNPOUT
- 2147 DOWNPOUT
- 2148 DOWNPOUT
- 2149 DOWNPOUT
- 2150 DOWNPOUT
- 2151 DOWNPOUT
- 2152 DOWNPOUT
- 2153 DOWNPOUT
- 2154 DOWNPOUT
- 2155 DOWNPOUT
- 2156 DOWNPOUT
- 2157 DOWNPOUT
- 2158 DOWNPOUT
- 2159 DOWNPOUT
- 2160 DOWNPOUT
- 2161 DOWNPOUT
- 2162 DOWNPOUT
- 2163 DOWNPOUT
- 2164 DOWNPOUT
- 2165 DOWNPOUT
- 2166 DOWNPOUT
- 2167 DOWNPOUT
- 2168 DOWNPOUT
- 2169 DOWNPOUT
- 2170 DOWNPOUT
- 2171 DOWNPOUT
- 2172 DOWNPOUT
- 2173 DOWNPOUT
- 2174 DOWNPOUT
- 2175 DOWNPOUT
- 2176 DOWNPOUT
- 2177 DOWNPOUT
- 2178 DOWNPOUT
- 2179 DOWNPOUT
- 2180 DOWNPOUT
- 2181 DOWNPOUT
- 2182 DOWNPOUT
- 2183 DOWNPOUT
- 2184 DOWNPOUT
- 2185 DOWNPOUT
- 2186 DOWNPOUT
- 2187 DOWNPOUT
- 2188 DOWNPOUT
- 2189 DOWNPOUT
- 2190 DOWNPOUT
- 2191 DOWNPOUT
- 2192 DOWNPOUT
- 2193 DOWNPOUT
- 2194 DOWNPOUT
- 2195 DOWNPOUT
- 2196 DOWNPOUT
- 2197 DOWNPOUT
- 2198 DOWNPOUT
- 2199 DOWNPOUT
- 2200 DOWNPOUT

ROOF PLAN KEYNOTES

- 2102 DOWNPOUT
- 2103 DOWNPOUT
- 2104 DOWNPOUT
- 2105 DOWNPOUT
- 2106 DOWNPOUT
- 2107 DOWNPOUT
- 2108 DOWNPOUT
- 2109 DOWNPOUT
- 2110 DOWNPOUT
- 2111 DOWNPOUT
- 2112 DOWNPOUT
- 2113 DOWNPOUT
- 2114 DOWNPOUT
- 2115 DOWNPOUT
- 2116 DOWNPOUT
- 2117 DOWNPOUT
- 2118 DOWNPOUT
- 2119 DOWNPOUT
- 2120 DOWNPOUT
- 2121 DOWNPOUT
- 2122 DOWNPOUT
- 2123 DOWNPOUT
- 2124 DOWNPOUT
- 2125 DOWNPOUT
- 2126 DOWNPOUT
- 2127 DOWNPOUT
- 2128 DOWNPOUT
- 2129 DOWNPOUT
- 2130 DOWNPOUT
- 2131 DOWNPOUT
- 2132 DOWNPOUT
- 2133 DOWNPOUT
- 2134 DOWNPOUT
- 2135 DOWNPOUT
- 2136 DOWNPOUT
- 2137 DOWNPOUT
- 2138 DOWNPOUT
- 2139 DOWNPOUT
- 2140 DOWNPOUT
- 2141 DOWNPOUT
- 2142 DOWNPOUT
- 2143 DOWNPOUT
- 2144 DOWNPOUT
- 2145 DOWNPOUT
- 2146 DOWNPOUT
- 2147 DOWNPOUT
- 2148 DOWNPOUT
- 2149 DOWNPOUT
- 2150 DOWNPOUT
- 2151 DOWNPOUT
- 2152 DOWNPOUT
- 2153 DOWNPOUT
- 2154 DOWNPOUT
- 2155 DOWNPOUT
- 2156 DOWNPOUT
- 2157 DOWNPOUT
- 2158 DOWNPOUT
- 2159 DOWNPOUT
- 2160 DOWNPOUT
- 2161 DOWNPOUT
- 2162 DOWNPOUT
- 2163 DOWNPOUT
- 2164 DOWNPOUT
- 2165 DOWNPOUT
- 2166 DOWNPOUT
- 2167 DOWNPOUT
- 2168 DOWNPOUT
- 2169 DOWNPOUT
- 2170 DOWNPOUT
- 2171 DOWNPOUT
- 2172 DOWNPOUT
- 2173 DOWNPOUT
- 2174 DOWNPOUT
- 2175 DOWNPOUT
- 2176 DOWNPOUT
- 2177 DOWNPOUT
- 2178 DOWNPOUT
- 2179 DOWNPOUT
- 2180 DOWNPOUT
- 2181 DOWNPOUT
- 2182 DOWNPOUT
- 2183 DOWNPOUT
- 2184 DOWNPOUT
- 2185 DOWNPOUT
- 2186 DOWNPOUT
- 2187 DOWNPOUT
- 2188 DOWNPOUT
- 2189 DOWNPOUT
- 2190 DOWNPOUT
- 2191 DOWNPOUT
- 2192 DOWNPOUT
- 2193 DOWNPOUT
- 2194 DOWNPOUT
- 2195 DOWNPOUT
- 2196 DOWNPOUT
- 2197 DOWNPOUT
- 2198 DOWNPOUT
- 2199 DOWNPOUT
- 2200 DOWNPOUT



ABA

ANDERSON BRUE

ARCHITECTS

325 South Park Avenue, 10th Floor
San Jose, California 95113
408.284.1865 | www.abarich.com

CONSULTANTS LOGO

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021



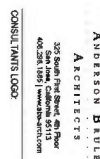
NO.	DATE	REVISIONS

PROJECT TITLE
APTOS BRANCH
LIBRARY
7695 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 200655
DATE 7/14/21
SHEET TITLE

ROOF PLAN

SCALE 1/8" = 1'-0"
A210 P



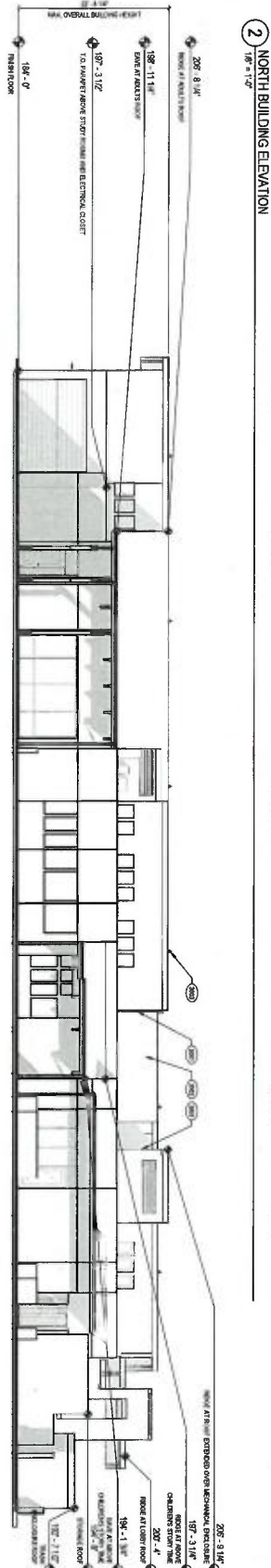
**PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021**

[illegible]

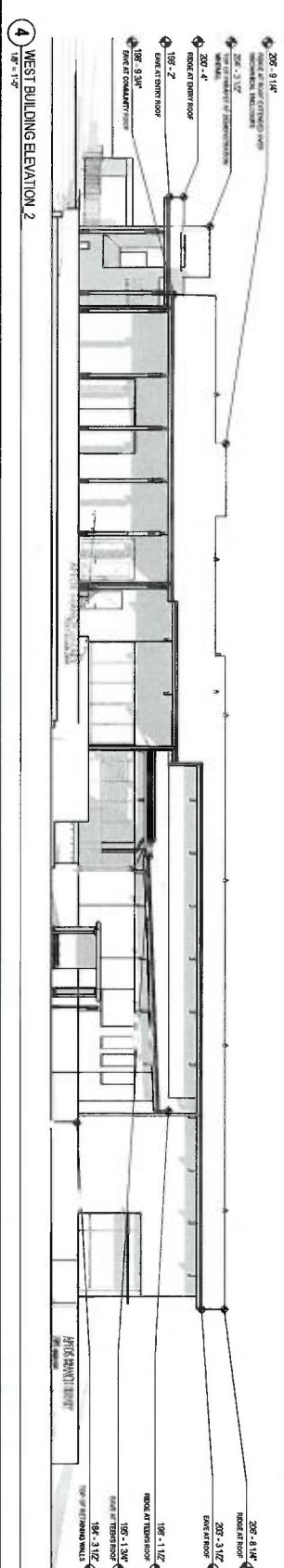
**APTOS BRANCH
LIBRARY**
7695 SOQUEL DR.
APTOS, CA 95003

EXTERIOR ELEVATIONS

A300 P

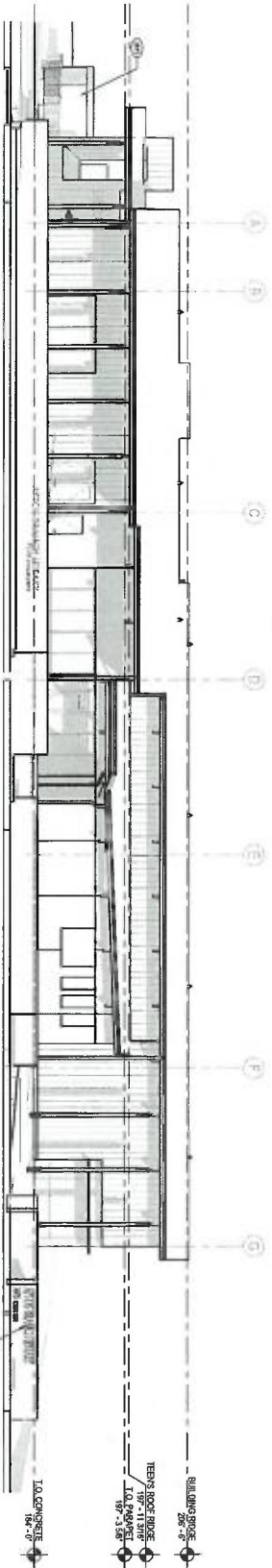


3 EAST BUILDING ELEVATION
1/8" = 1'-0"

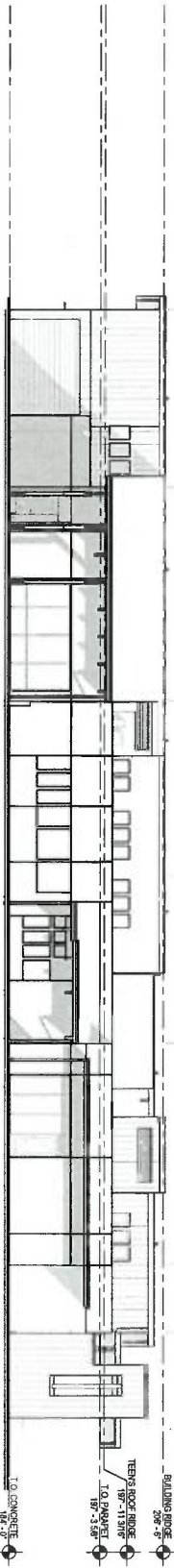


4 WEST BUILDING ELEVATION 2

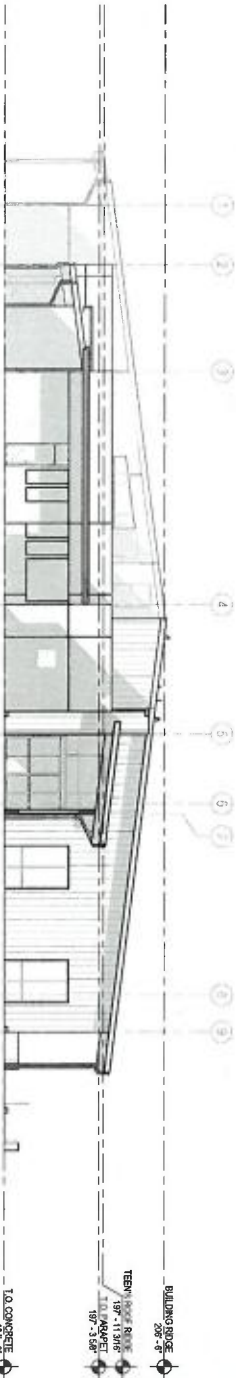
4 WEST BUILDING ELEVATION - ALT 1A
1/8" = 1'-0"



3 EAST BUILDING ELEVATION - ALT 1A
1/8" = 1'-0"



2 NORTH BUILDING ELEVATION - ALT 1A
1/8" = 1'-0"



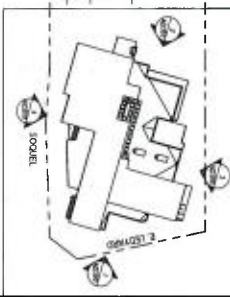
1 SOUTH BUILDING ELEVATION - ALT 1A
1/8" = 1'-0"



KEYNOTES

3015 TYPICAL BUILDING, SEE SHEET 3015
3016 TYPICAL BUILDING, SEE SHEET 3016
3017 TYPICAL BUILDING, SEE SHEET 3017

KEY PLAN



ANDERSON & BRUNS
ARCHITECTS
200 South First Street, Suite 100
San Jose, California 95113
408.281.1000 | www.abar.com

CONSULTANTS LOGO

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021



NO.	DATE	REVISIONS

PROJECT TITLE

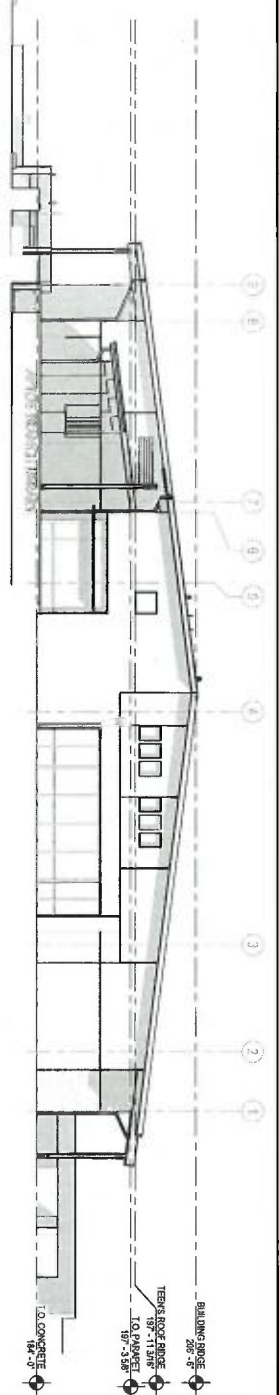
APTOS BRANCH
LIBRARY
7696 SQUEL DR.
APTOS, CA 95003

PROJECT NO. 2004659
DATE 7/14/21
SHEET TITLE

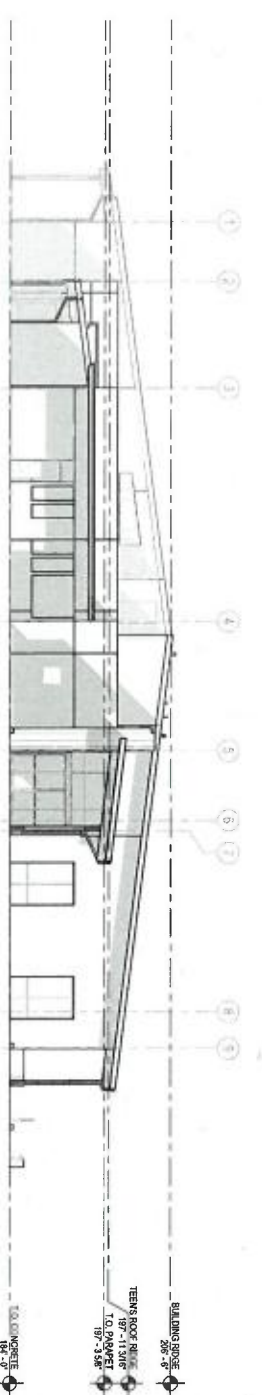
EXTERIOR
ELEVATIONS

SCALE: AS SHOWN
AD300

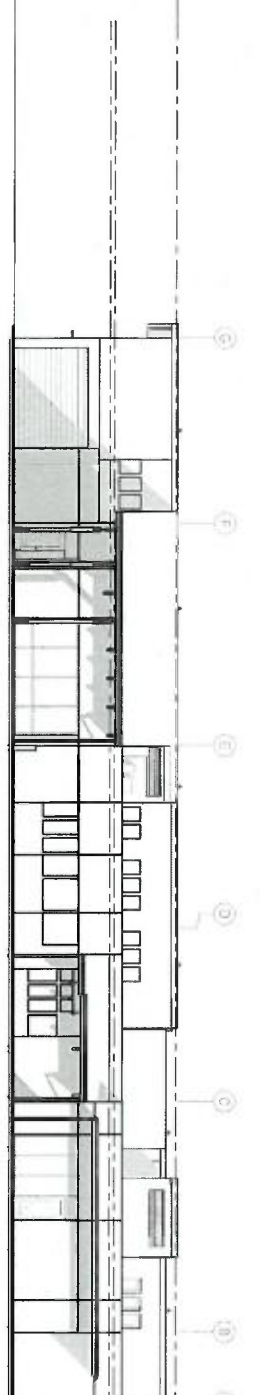
1 SOUTH BUILDING ELEVATION - ALT 1B
1/8" = 1'-0"



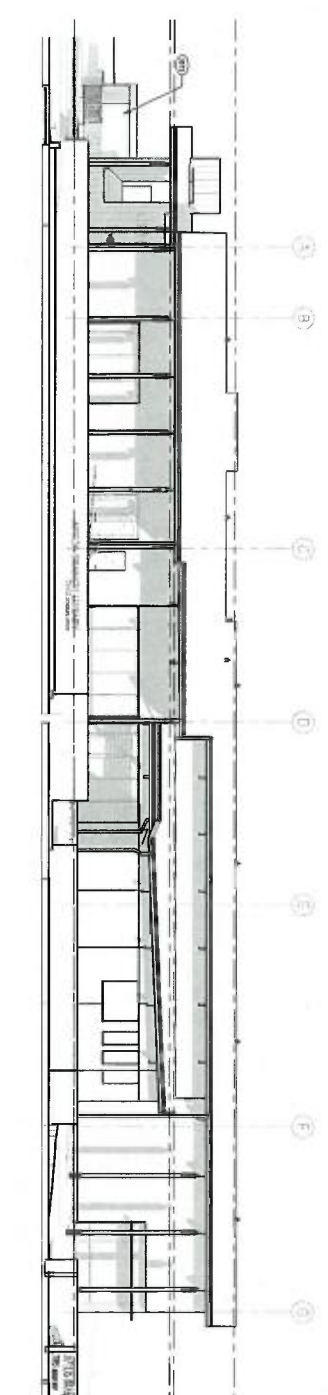
2 NORTH BUILDING ELEVATION - ALT 1B
1/8" = 1'-0"



3 EAST BUILDING ELEVATION - ALT 1B
1/8" = 1'-0"



4 WEST BUILDING ELEVATION - ALT 1B
1/8" = 1'-0"



KEYNOTES

300 FROM EXISTING SEE SHEET 300
300 VERTICALLY ADJUST SEE SHEET 300

KEY PLAN

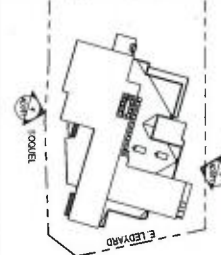


EXHIBIT D



ANDERSON BROS
ARCHITECTS
2200 14th Street, Suite 100
San Francisco, CA 94103
415.398.1088 | www.aba-arch.com

CONSULTANTS LOGO

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021



NO.	DATE	REVISIONS

PROJECT TITLE

APTOS BRANCH
LIBRARY
7696 SODUCL DR.
APTOS, CA 95003

PROJECT NO. 2004650
DATE 7/14/21
SHEET TITLE
EXTERIOR
ELEVATIONS

SCALE: AS SHOWN
AD301



SITE SECTION



VIEW FROM CORNER OF LEDYARD AND SOQUEL



SOQUEL FACADE



SOQUEL FACADE



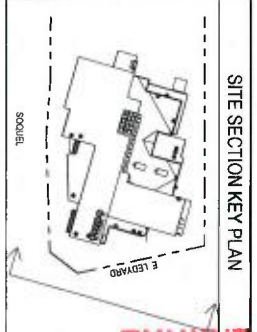
MAIN ENTRANCE



AERIAL VIEW



BACK PORCH



SITE SECTION KEY PLAN

MATERIAL LEGEND

	PLASTER - OFF WHITE		CONCRETE/ STACKED MASONRY
	WOOD/ WOOD COMPOSITE		ROOF - TPO - OFF WHITE
	GLAZING - STOREFRONT DARK ANODIZED BRONZE		

EXHIBIT D



ANDERSON BUELL
ARCHITECTS
325 South First Street, 4th Floor
San Jose, CA 95113
408.281.1853 | andersonbuell.com

CONSULTANTS LOGO

PLANNING
RESUBMITAL #3
NOVEMBER 17, 2021



NO.	DATE	REVISIONS

PROJECT TITLE

APTOS BRANCH
LIBRARY
7696 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 2004026
DATE 05/07/21
SHEET TITLE 65/07/21

SITE SECTION AND
MASSING
PERSPECTIVES

SCALE 1" = 50'-0"
AD401
P

1 SITE PLAN
1" = 30'-0"

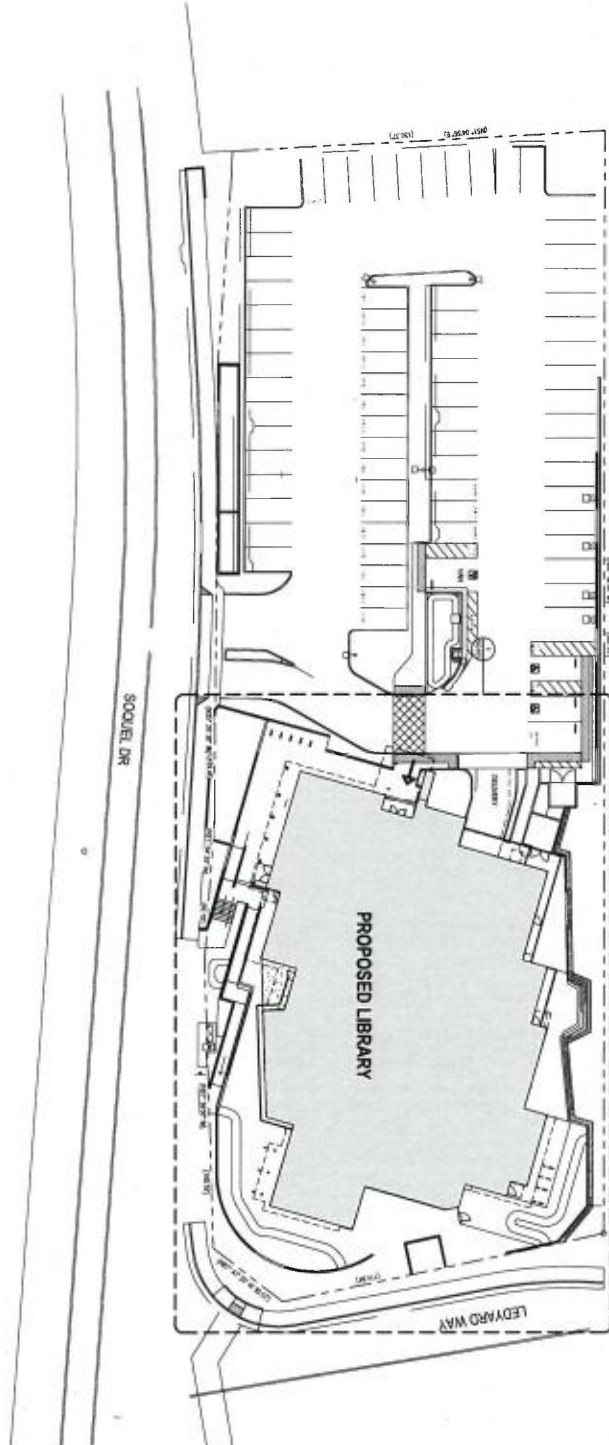


EXHIBIT D



ANDERSON BRUCE
ARCHITECTS
325 South First Street, 4th Floor
San Jose, California 95113
(408) 283-1851 www.abarc.com
CONSULTANTS LOGO

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021



NO.	DATE	REVISIONS

PROJECT TITLE

APTOS BRANCH
LIBRARY

7895 SQUEL DR,
APTOS, CA 95003

PROJECT NO. 2004653
DATE 7/14/21
SHEET TITLE

SITE PLAN -
SIGNAGE

SCALE: 1" = 30'-0"
SG100

1 ENLARGED SITE PLAN
1/8" = 1'-0"

PEDESTRIAN -
ORIENTED SIGN
ALONG SOQUEL DR.

SOQUEL DRIVE

PEDESTRIAN - ORIENTED SIGN
AT INTERSECTION AT SOQUEL
DR. AND LEDYARD WAY

IDENTIFICATION
SIGN

PROPOSED LIBRARY

LEDYARD WAY



EXHIBIT D



ANDERSON BRIDGE
ARCHITECTS
100 South First Street, Suite 200
San Jose, California 95113
(408) 451-1100 / andersonbridge.com

CONSULTANTS LOGO

PLANNING
RESUBMITTAL #3
NOVEMBER 11, 2021



NO.	DATE	REVISIONS

PROJECT TITLE

APTOS BRANCH
LIBRARY
7695 SOQUEL DR.
APTOS, CA 95003

PROJECT NO. 200665
DATE 7/6/21
SHEET TITLE

ENLARGED SITE
PLAN - SIGNAGE

SCALE: 1/8" = 1'-0"
SHEET NO. SG101

EXHIBIT D



ANDERSON BRULE
ARCHITECTS
305 South Pop Street, 4th Floor
San Jose, California 95113
(408) 281-1000 | www.abarule.com

CONSULTANTS LOGO

PLANNING
RESUBMITTAL #3
NOVEMBER 17, 2021



NO.	DATE	REVISIONS

PROJECT TITLE

APTOS BRANCH
LIBRARY

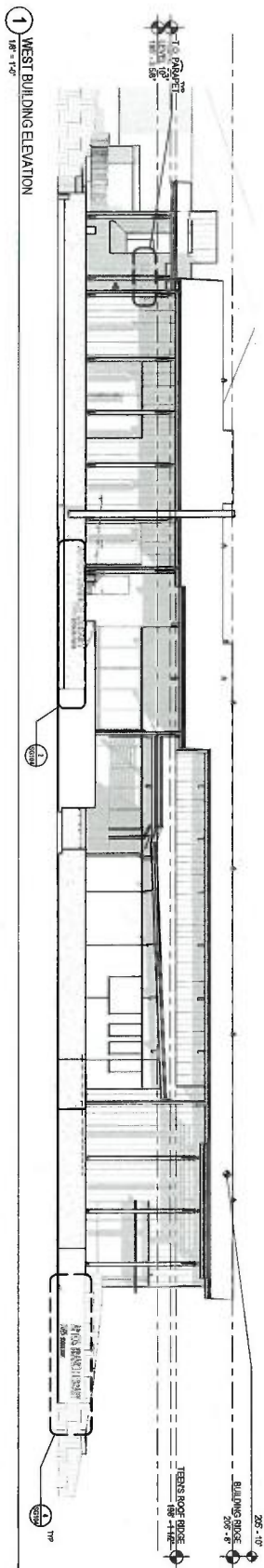
7695 SOUTHERN DR.
APTOS, CA 95003

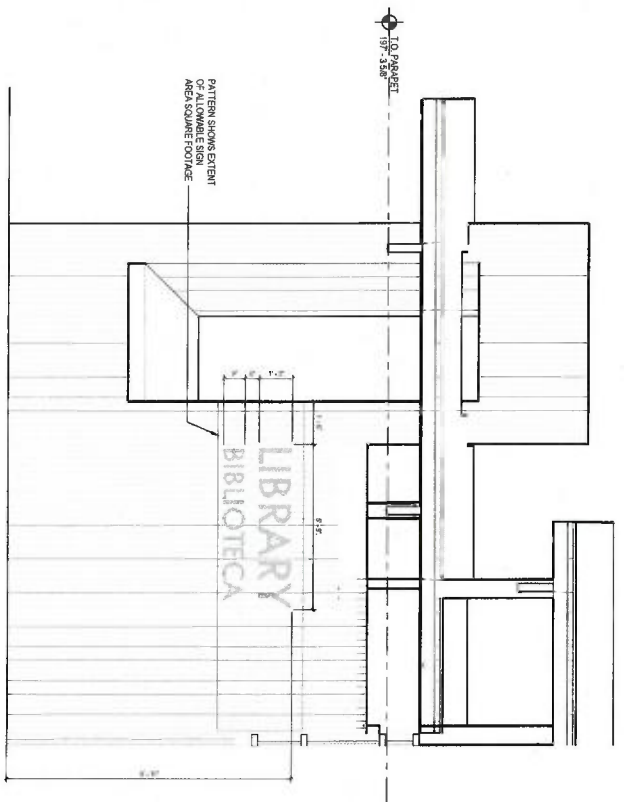
PROJECT NO. 2006650
DATE 7/14/21
SHEET TITLE

EXTERIOR BUILDING
ELEVATIONS
SIGNAGE

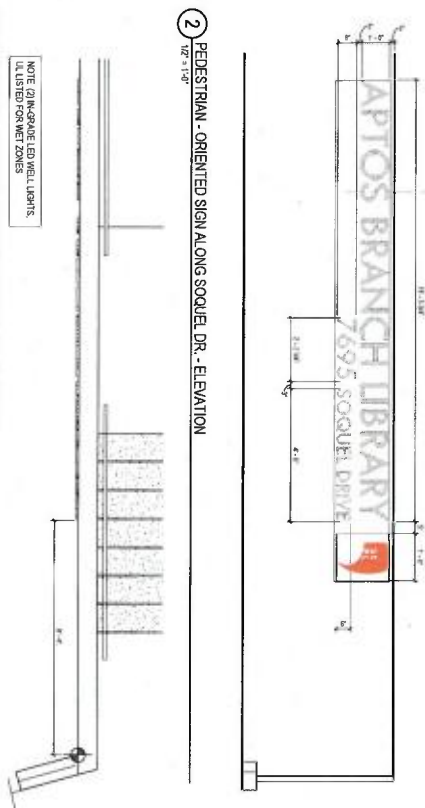
SCALE 1/8" = 1'-0"

SG103





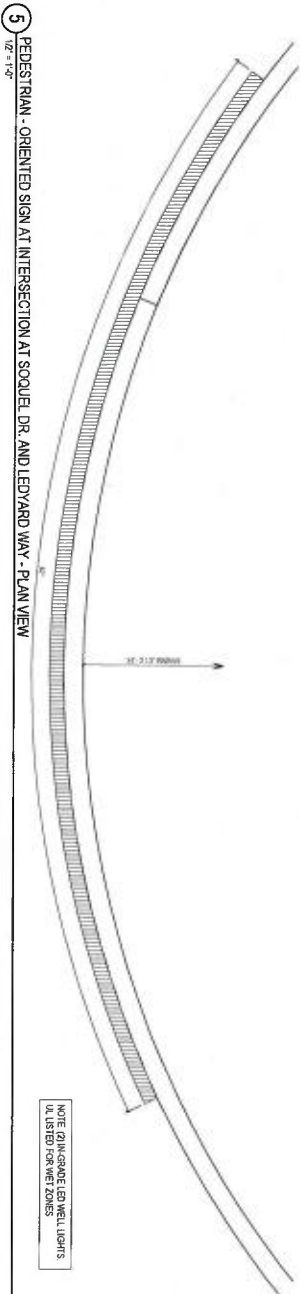
1 IDENTIFICATION SIGN - ELEVATION
1/2" = 1'-0"



2 PEDESTRIAN - ORIENTED SIGN ALONG SQUEL DR. - ELEVATION
1/2" = 1'-0"



4 PEDESTRIAN - ORIENTED SIGN AT INTERSECTION AT SOQUEL DR. AND LEDYARD WAY - ELEVATION 172 = 1'-0"



5 PEDESTRIAN - ORIENTED SIGN AT INTERSECTION AT SOQUEL DR. AND LEDYARD WAY - PLAN VIEW
1/2" = 1'-0"

[illegible]

SHEET NOTES

1. FOUR TO BE TWENTY-CEPILIN JET
2. LETTERING TO BE CLEAR ANCOZED ALUMINUM STD. UNCOATED
3. SPK. LOGO
MATERIAL: ALUMINUM STD. UNCOATED
HIGH PERFORMANCE POWDER COATED GRAY/SLT PANTONE 175 COATED
4. 12) PHOTOC. LED WELL LIGHTS 4. LISTED PER NET PRICE 5. AFFIXED STRAIN - ORIENTED 3000
4.1) INTERSECTION IN 3000. 20. AND 12.0000 IN.



**ANDERSON BRULLE
ARCHITECTS**
325 South First Street, 4th Floor
San Jose, California 95113
408.268.1885 | www.aba-arch.com

CONSULTANTS LOGO

CONSULTANTS LOGO

50% CONSTRUCTION
DOCUMENT SET

**NOT FOR
CONSTRUCTION**

[illegible]

PROJECT TITLE

APTOS BRANCH
LIBRARY

7695 SOQUEL DR.
APTOS, CA 95003

PROJECT NO.	2004056
DATE	7/14/21
SHEET TITLE	

ENLARGED
EXTERIOR SIGNAGE
ELEVATIONS

SCALE As indicated

SG104

Electronically Redrawn 12/15/97 w/rp
 Rev. 4/29/98 KSA (CA)
 Rev. 8/16/99 CB (9-0046632, LBA 2-51)
 Rev. 12/7/99 CB (9-0062864, LBA 2-52)
 Rev. 11/8/05 CB (9-0043913, LBA 2-53)
 Rev. 7/24/19 jg (129M02)

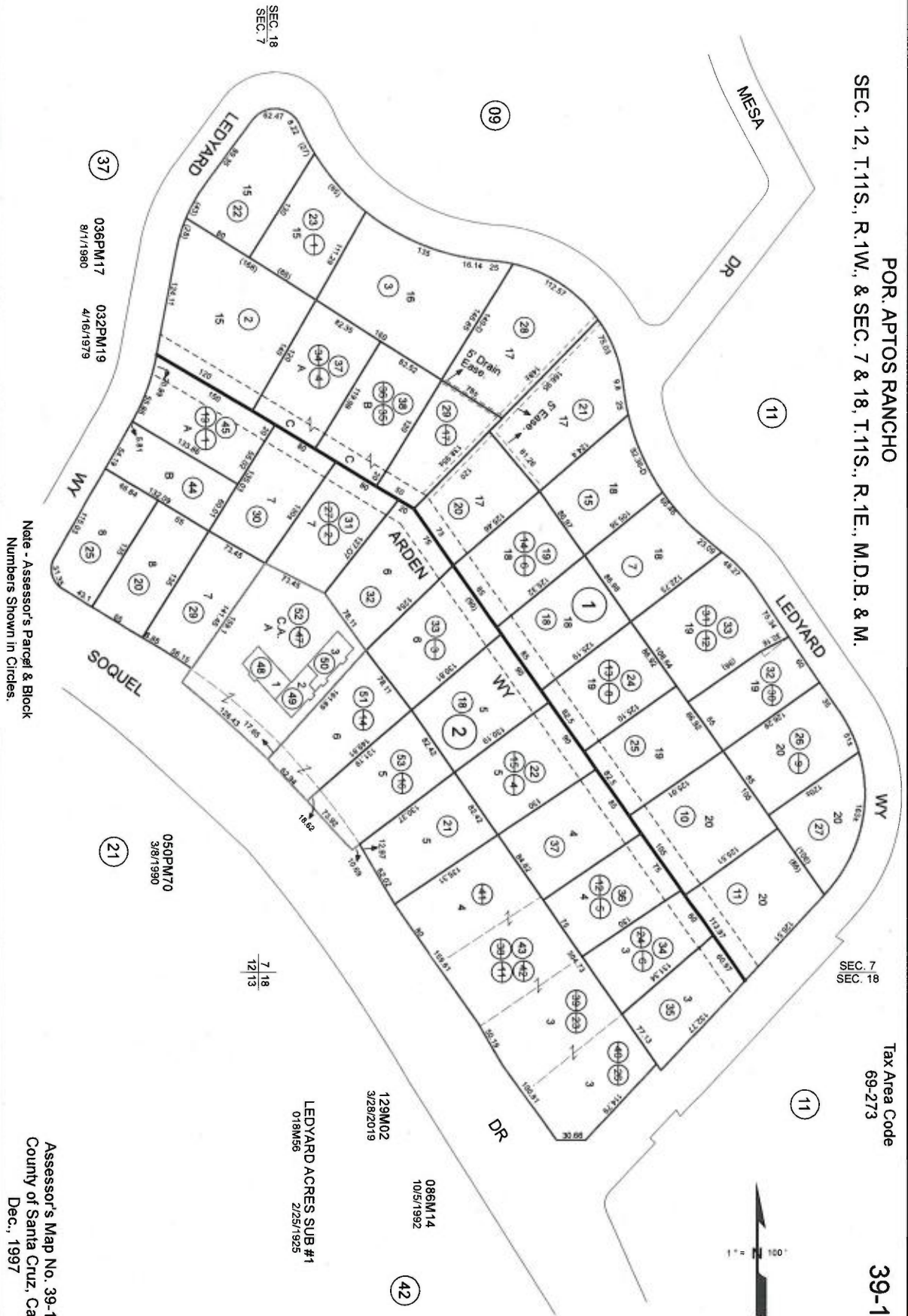
FOR TAX PURPOSES ONLY

THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY
 LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
 © COPYRIGHT SANTA CRUZ COUNTY ASSESSOR 1997

POR. APTOS RANCHO
 SEC. 12, T.11S., R.1W., & SEC. 7 & 18, T.11S., R.1E., M.D.B. & M.

Tax Area Code
 69-273

39-10



(37)

036PM17 8/1/1980
 032PM19 4/16/1979

(21)

050PM70 3/8/1990

7/16
 12/13

LEDYARD ACRES SUB #1
 018M56 2/25/1925

129M02 3/28/2019

(42)

086M14 10/5/1992

Note - Assessor's Parcel & Block
 Numbers Shown in Circles.

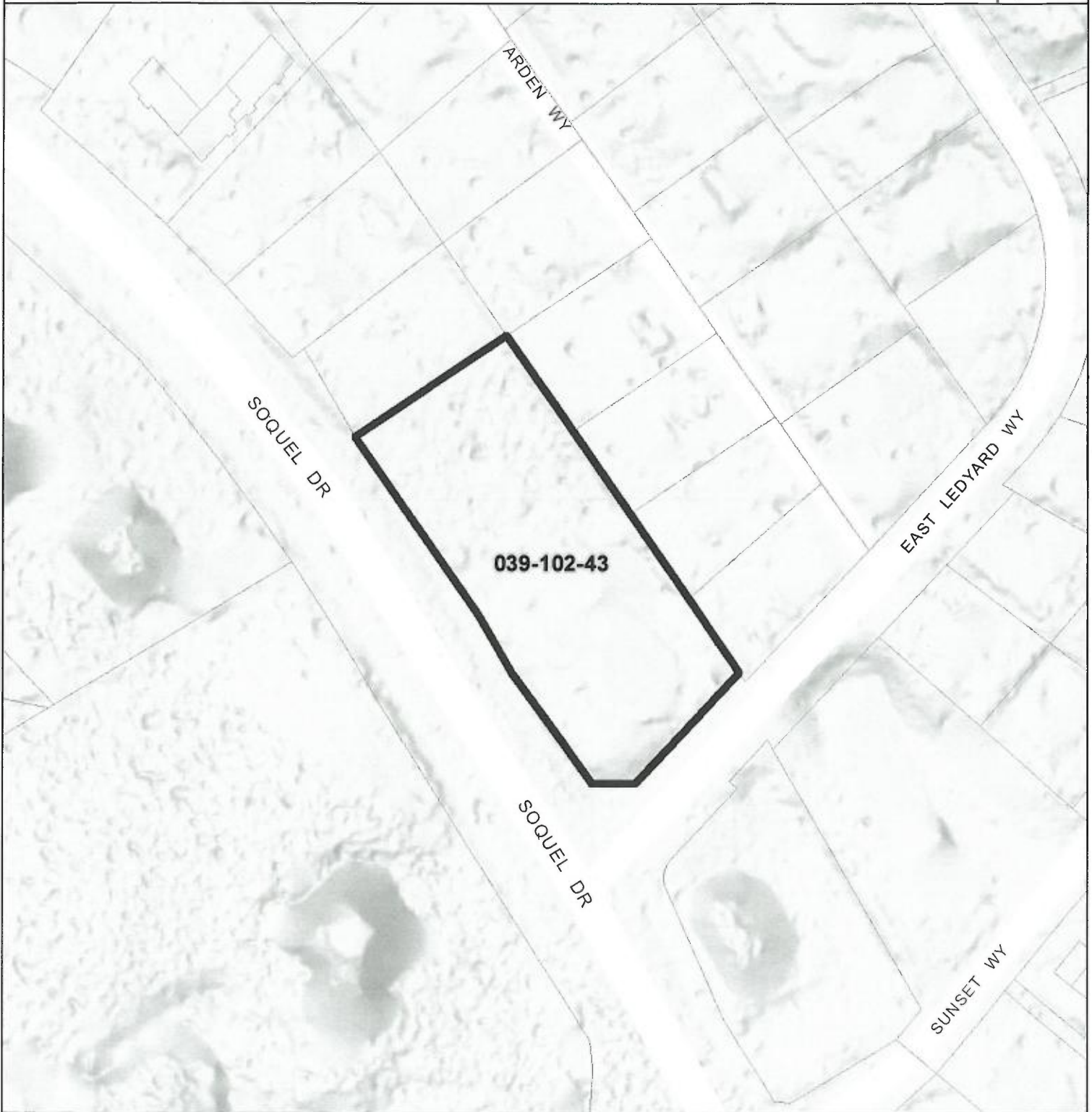
Assessor's Map No. 39-10
 County of Santa Cruz, Calif.
 Dec., 1997





Parcel Location Map



Mapped
Area

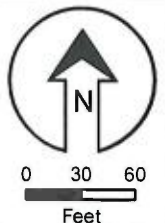


Parcel: 03910243

-  Study Parcel
-  Assessor Parcel Boundary

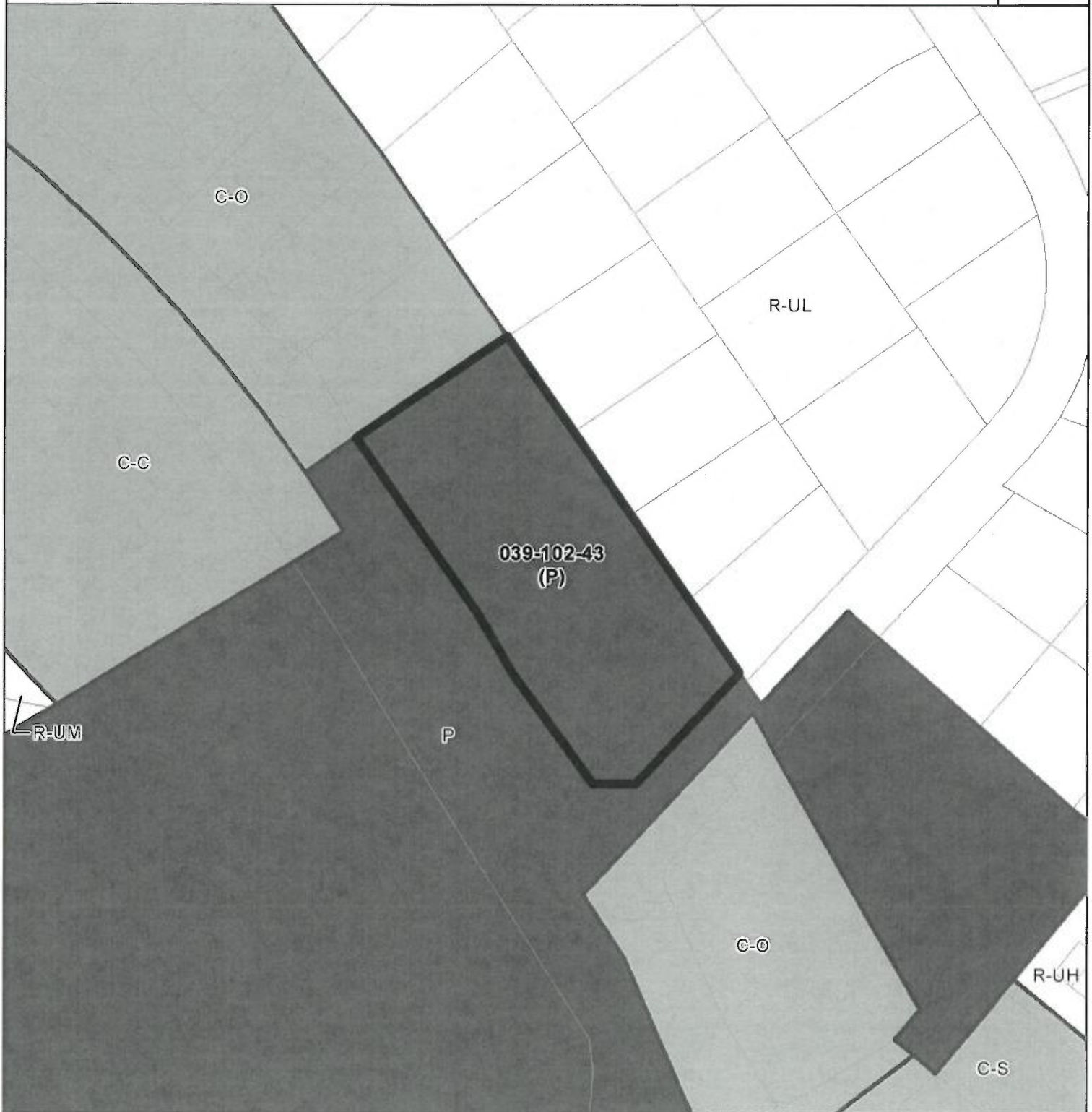
Map printed: 29 Dec. 2021

EXHIBIT E





Parcel General Plan Map



- | | |
|------------------------------|--------------------------------|
| C-C Commercial Community | R-UM Res. Urban Medium Density |
| C-O Commercial Office | R-UL Res. Urban Low Density |
| C-S Commercial Services | |
| P Public Facilities | |
| R-UH Res. Urban High Density | |



0 30 60
Feet

EXHIBIT E

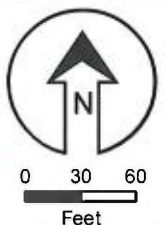


Parcel Zoning Map



- C-1 Neighborhood Commercial
- C-4 Commercial Services
- PA Professional/Admin Office
- PF Public/Community Facilities
- R-1 Single-Family Residential
- RM Residential Multi-Family

EXHIBIT E





Parcel Location Map



Mapped
Area

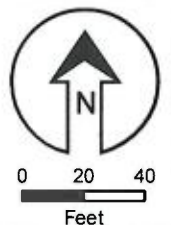


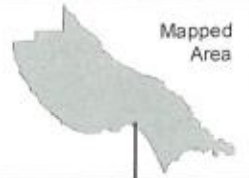
Parcel: 03910221

-  Study Parcel
-  Assessor Parcel Boundary

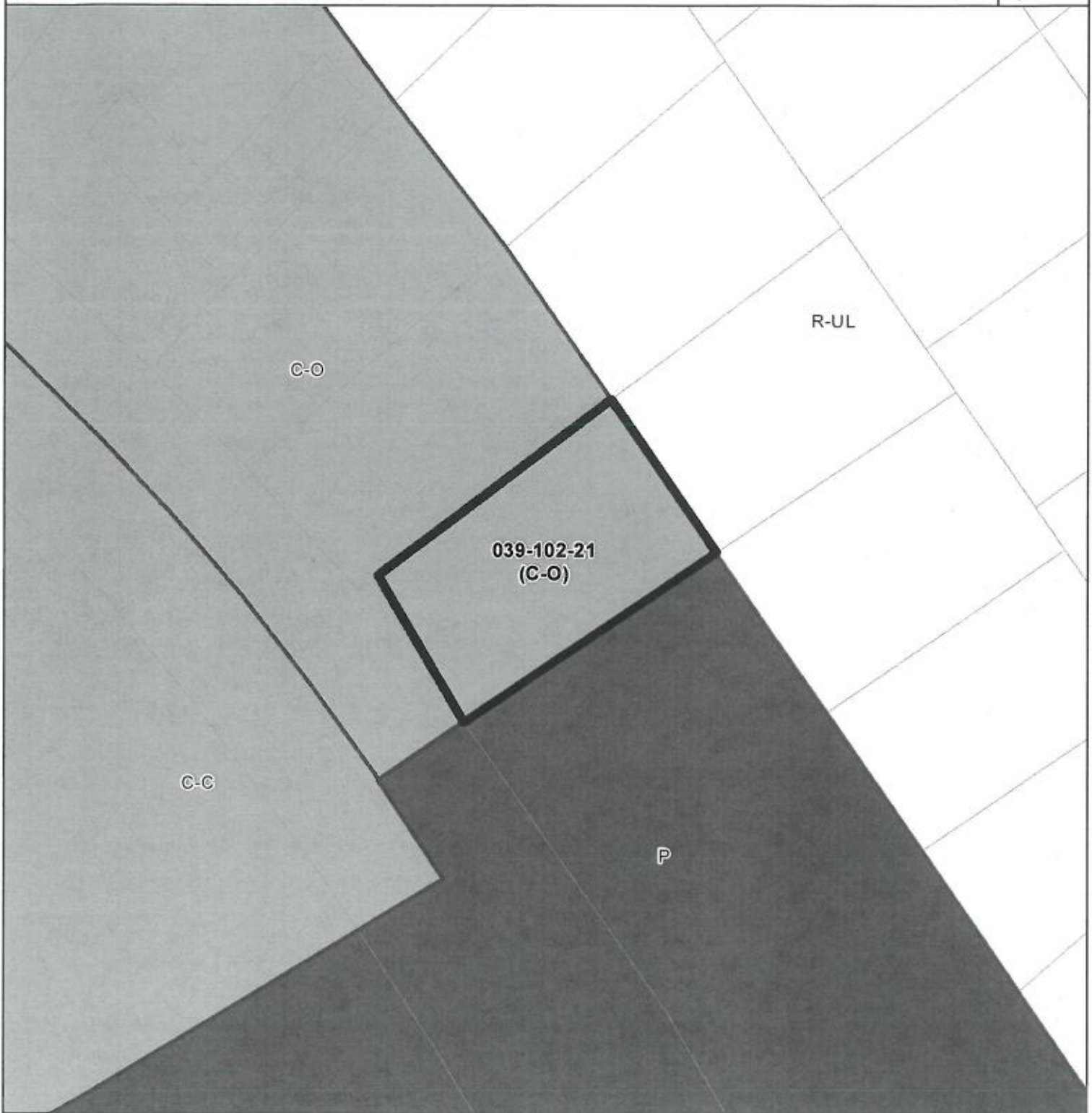
Map printed: 29 Dec. 2021

EXHIBIT E





Parcel General Plan Map



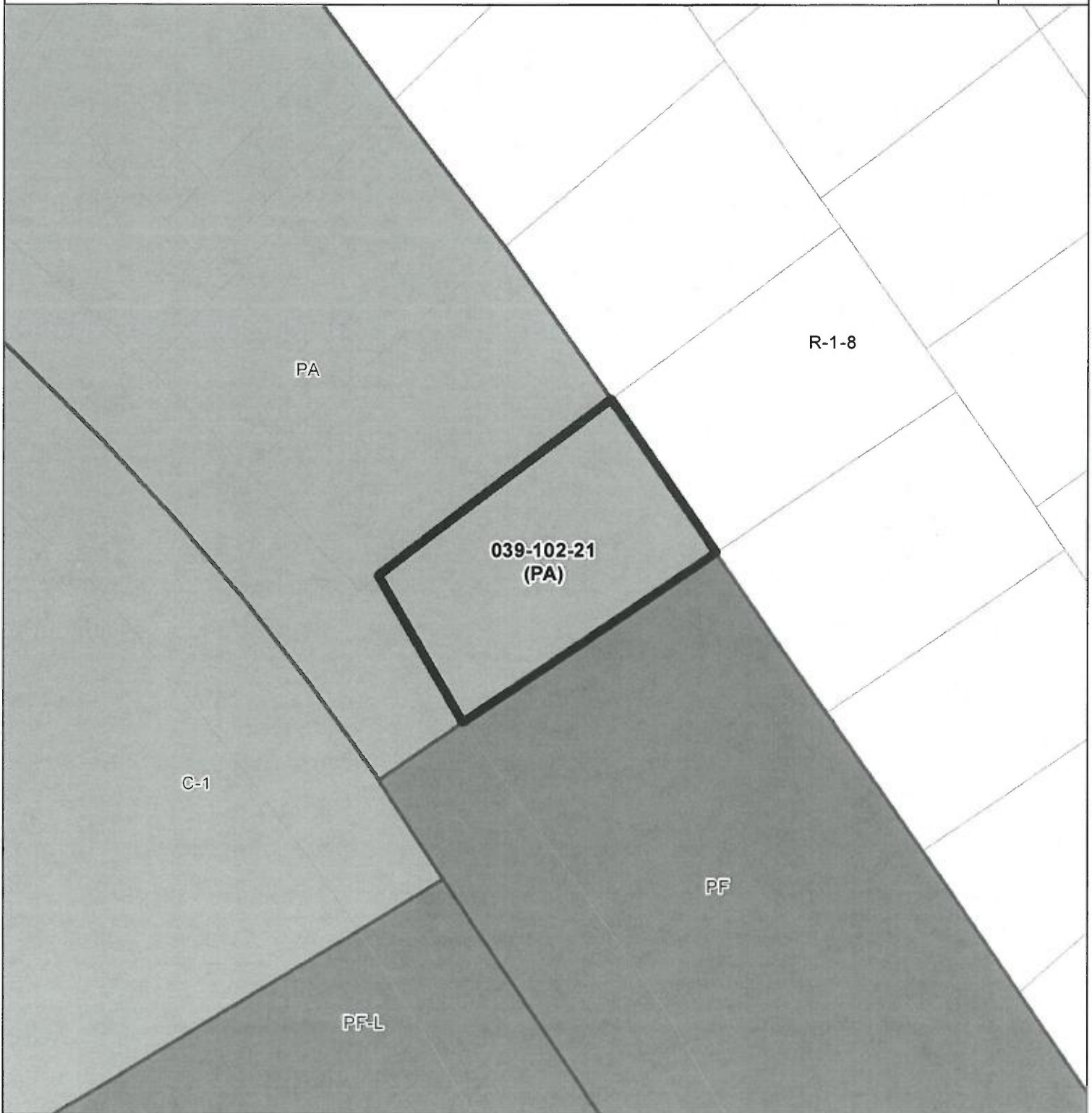
-  C-C Commercial Community
-  C-O Commercial Office
-  P Public Facilities
-  R-UL Res. Urban Low Density

EXHIBIT E



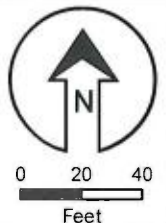


Parcel Zoning Map



- C-1 *Neighborhood Commercial*
- PA *Professional/Admin Office*
- PF *Public/Community Facilities*
- R-1 *Single-Family Residential*

EXHIBIT F



Parcel Information

Services Information

Urban/Rural Services Line: X Inside Outside
Water Supply: Soquel Creek Water District
Sewage Disposal: Santa Cruz Sanitation District
Fire District: Central Fire Protection District
Drainage District: Zone 6

Parcel Information

Parcel Size: 039-102-43: 43,438 square feet (1.007 acre),
039-102-21: 10,424 square feet (0.24 acre)
Existing Land Use - Parcel: Public Library
Existing Land Use - Surrounding: Residential, Commercial, Institutional, Public Facilities
Project Access: Soquel Drive
Planning Area: Aptos
Land Use Designation: P (Public Facilities)
Zone District: PF (Public Facilities)
Coastal Zone: Inside X Outside
Appealable to Calif. Coastal Comm. Yes X No

Technical Reviews: Soils Report Review (REV201131)

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Fire Hazard: Not a mapped constraint
Slopes: Flat and upsloping lot, 0 to 20% slope
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: 1,760 cubic yards cut, 275 cubic yards fill
Tree Removal: 36 trees proposed to be removed, 8 trees retained, 24 trees to be planted
Scenic: Mapped Scenic
Archeology: Not mapped/no physical evidence on site