



Staff Report to the Zoning Administrator

Application Number: **02-0548**

Applicant: Wayne Miller
Owner: Greysea Limited
APN: 028-143-43

Agenda Date: December 2, 2005
Agenda Item #: 4
Time: After 10:00 p.m.

Project Description: Proposal to demolish an existing single family dwelling and construct a new two-story, six bedroom, single family dwelling requiring a variance to: a) reduce the required 20 feet front setback to 0 feet; b) to construct a garage and other improvements within the access corridor, c) *to allow greater than 50% of the front setback area to be used for parking and access (added since previous hearing)*, and d) construct a 5'-10" gate with pillars within the 20 feet front setback.

Location: 100 Geoffroy Drive, Santa Cruz

Supervisory District: First District (District Supervisor: Janet K. Beautz)

Permits Required: Coastal Development Permit, Geologic Report Review, Soil Report Review, and Variance

Staff Recommendation:

- Approval of Application 02-0548, based on the attached findings and conditions.
- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.

Exhibits

- | | | | |
|----|--|----|--|
| A. | Project plans | | dated 16 November 2004 |
| B. | Findings | L. | Letters from neighbors in support of the project |
| C. | Conditions | | |
| D. | Categorical Exemption (CEQA determination) | M. | Diagram prepared by Wayne Miller illustrating setback and buildable areas. |
| E. | Location map | N. | Photomontages and aerial views |
| F. | General Plan map | O. | Letter from Wayne Miller, Designer, dated 8/28/08. |
| G. | Zoning map | | |
| H. | Discretionary Application Comments | P. | Letter from Neilsen and Associates, dated 23 August 2005. |
| I. | Memo from Urban Designer, Dated December 2, 2002 | Q. | Site plan sketches showing alternative garage locations, undated. |
| J. | Letter from Haro, Kasunich and Associates, dated 15 April 2005 | | |
| K. | Letter from Neilsen and Associates, | | |

Application#: 02-0548
APN: 028-143-43
Owner: Greyssea Limited

Parcel Information

Parcel Size: **24,703 sq. ft.**
Existing Land Use - Parcel: Single family residential
Existing Land Use - Surrounding: Single family residential
Project Access: Geoffroy Drive
Planning Area: Live *Oak*
Land Use Designation: R-UL / Existing Parks and Recreation (Residential Urban Low Density)
Zone District: R-1-6 / Parks, Recreation and Open Space District (6,000 sq. ft. min. site area)

Coastal Zone: Inside Outside
Appealable to Calif. Coastal Comm. Yes No

Environmental Information

Geologic Hazards: Geotechnical review provided
Soils: N/A
Fire Hazard: Not a mapped constraint
Slopes: N/A
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Drainage: Existing drainage adequate
Traffic: N/A
Roads: Existing roads adequate
Parks: Existing park facilities adequate
Archeology: Not mapped/no physical evidence on site

Services Information

Urban/Rural *Services* Line: Inside Outside
Water Supply: City of Santa Cruz Water Department
Sewage Disposal: Santa Cruz County Sanitation District
Fire District: Central Fire Protection District
Drainage District: Zone **5**

Project Setting

This site is located on Geoffroy Drive and involves a small neck of land that juts into Monterey Bay. The access to the site is a narrow section 29.2 feet wide.

Local Coastal Program Consistency

The proposed single family dwelling is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single-family dwellings. Size and architectural styles vary widely in the area, and the design submitted is not inconsistent with the existing range.

The project site is located between the shoreline and the first public road, however the site is not identified as a priority acquisition site in the County's Local Coastal Program. The proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Zoning & General Plan Consistency

The subject property is a **24,703** square foot lot, located in the R-1-6 (**6,000** sq. ft. min. site area) / Parks, Recreation and Open Space District zone district, a designation that allows residential uses. The proposed development is located primarily within the portion of the parcel zoned R-1-6. The proposed single family dwelling is a principal permitted use within the zone district and the project is consistent with the site's (R-UL / Existing Parks and Recreation) Residential Urban Low Density General Plan designation.

SITE DEVELOPMENT STANDARDS TABLE

	R-1-6 Standards	Proposed Residence
Front yard setback:	20 feet (residence and front of garage)	0'
Side yard setback:	5 feet / 8 feet	5'-0" both sides (<i>see Note below</i>)
Lot Coverage:	30 % maximum	17 %
Building Height:	28 feet maximum	24'-10"
Floor Area Ratio (F.A.R.):	0.5:1 maximum (50%)	.49
Parking	6 bedrooms – 5 (18' x 8.5')	three in garage three uncovered

Exhibit *Q* was submitted since the last hearing to demonstrate the logic of the garage location and access, however the setbacks have not been corrected on this exhibit).

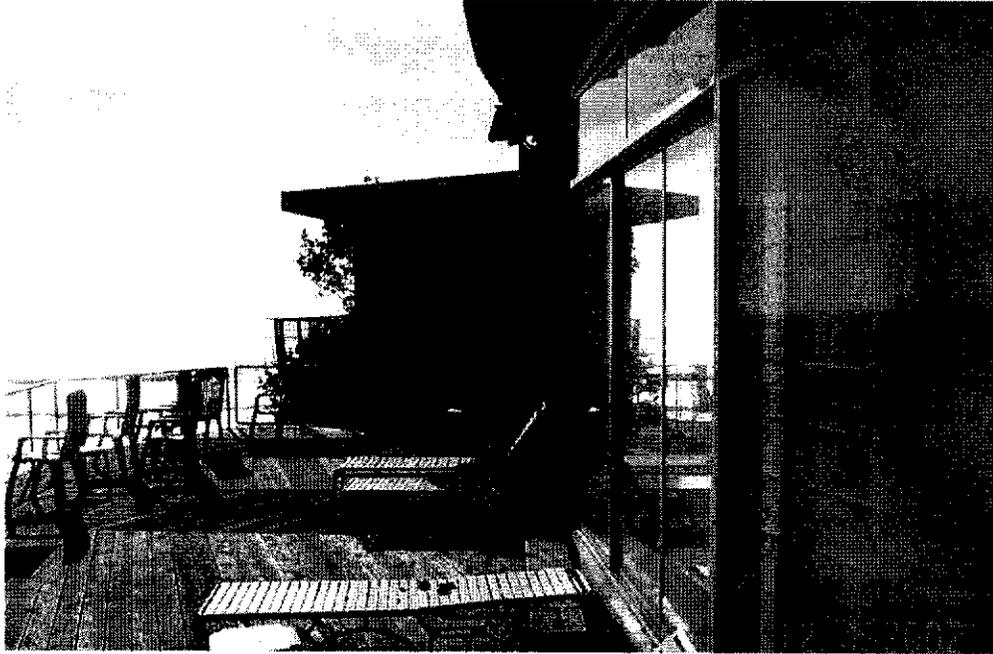


Figure 1. Deck and rear façade of existing residence



Figure 2. Front entry and front yard



Figure 3. The promontory at the rear of the lot.

Design Review

The proposed single family dwelling is subject to both Chapter 13.20 (Local Coastal Program) and Chapter 13.11 (Site, Architectural and Landscape Review). The design is a two-story residence with low slope roof. Photo simulations were submitted which represent the design within the context of the site.

The Urban Designer has reviewed the plans and found that the proposed structure will be visually compatible with the neighborhood, and that the bulk, mass and scale is appropriate for a structure within the confines of the setbacks and unusual shape of the site.

Geological and Soils Review

Both the west and east sides of the site contain “sea caves” (indentations into the bluff), which have been identified on the site plan. The eastern sea cave has been plugged with concrete, while the western sea cave remains open. **Hans** Nielsen, Geologist, mapped the seacaves in January 2002. Haro, Kasunich and Associates, Geotechnical and Coastal Engineers were retained in 2005 to examine the sea cave “plug” and **confirm** their recommended blufftop setback of 40 feet along the west perimeter.

Haro, Kasunich and Associates visited the site and measured the western sea cave with no change to their previous setback recommendation. See Exhibits J, K and P for both Nielsen and Haro, Kasunich review letters.

Environmental Review

Environmental review has not been required for the proposed project in that the project, as proposed, qualifies for an exemption to the California Environmental Quality Act (CEQA). The project qualifies for an exemption because the property is located with the Urban Services line, is already served by existing water and sewer utilities, and no change of use is proposed.

Variance request

Staff believes the odd shape and the geological setbacks required of this parcel, are conditions that are enough for a variance to be granted. County Code states:

*“ That because of special circumstances applicable to the property. including size, **shape, topography,** location, and surrounding existing structures, the strict application of the Zoning Ordinance deprives such proper@ofprivileges enjoyed by other property in the vicinity and under identical zoning classification. “ (**bold type added**).*

The proposed residence is within the maximums for Lot Coverage and Floor Area Ratio.

This structure does not overpower the parcel in that the **overall** bulk and mass will not be injurious to neighboring parcels. The reduction in the front setback is **an** oddity of the lot; the garage will be **66** feet from the street (where 20 feet would be normal). The setback on this lot is measured from the line parallel to the street where the minimum **60** feet width is achieved for the **R-1-6** zoning (see Exhibit M).

The narrowness of the “neck” of the property makes it difficult to achieve the required length of garage and length of back up area and still maintain the R-1-6 side minimum setbacks. The only entry to this site is from a narrowed area (29ft. wide) and over 50% of the width of this area is appropriate for driveway.

The front yard reduction is based on the odd configuration of the entry **to** this lot and will produce a garage setback that is greatly increased from other properties in the neighborhood.

Additional items

The following were items of concern which were brought up at the Zoning Administrator’s hearing of July 15, 2005:

- a. ***geological impact of the wine cellar on the nearby sea cave*** – see Exhibit P, letter from Hans Neilsen, project geologist. Mr. Neilsen believes that the basement/wine cellar “will be located almost entirely within the terrace deposits” and that it “will not be affected by the **sea** cave on this side of the property.”
- b. ***alternative arrangement for garage entry-*** see Exhibit Q, alternative studies for the garage entry location, prepared by Wayne Miller, Designer. As the drawings illustrate, given the location of the entry drive in relation to the

widening of the property at the garage location, siting the garage as shown on the original plans is appropriate.

- c. **geological setbacks**- see Exhibit P, letter from Hans Neilsen, project geologist. Mr. Neilsen believes that the basement/wine cellar “will be located almost entirely within the terrace deposits” and that it “will not be affected by the sea cave on this side of the property.”
- d. **over 50% of the area of the front setback used for parking and access** – the project description was revised to include this as part of the variance request. The “flag” portion of the lot is only 29 feet wide and a standard driveway will occupy over 50% of the width.
- e. **variance to side setback** – the designer has revised the plans to reduce the setback on the west side from eight feet to five feet, thus alleviating the variance formerly requested.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit “B” (“Findings”) for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- **APPROVAL** of Application Number **02-0548**, based on the attached findings and conditions.
- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

Report Prepared By: Lawrence Kasparowitz
Santa Cruz County Planning Department
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Santa Cruz CA 95060
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Application #: 02-0258
APN: 028-14343
Owner: Greysea Limited

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts, other than the Special Use (SU) district, listed in section 13.10.170(d) as consistent with the General Plan and Local Coastal Program LUP designation.

This finding can be made, in that the property is zoned R-1-6 / Parks, Recreation and Open Space District (6,000 sq. ft. min. site area), a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district, consistent with the site's (R-UL / Existing Parks and Recreation) Residential Urban Low Density General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that the proposal does not conflict with any existing easement or development restriction such as public access, utility, or open space easements in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to section 13.20.130 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the site is surrounded by lots developed to an urban density; the colors shall be natural in appearance and complementary to the site; the development site is on a prominent bluff top.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the General Plan and Local Coastal Program land use plan, specifically Chapter 2: figure 2.5 and Chapter 7, and, as to any development between and nearest public road and the sea or the shoreline of any body of water located within the coastal zone, such development is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act commencing with section 30200.

This finding can be made, in that the project site is located between the shoreline and the first public road, however the single family dwelling will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

5. That the proposed development is in conformity with the certified local coastal program.

This finding can be made, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-6 / Parks, Recreation and Open Space District (6,000

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owner: **Greymea Limited**

sq. A. min. site area) zone district of the area, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single-family dwellings. Size and architectural styles vary widely in the area, and the design submitted is not inconsistent with the existing range.

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Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses and is not encumbered by physical constraints to development. Construction will comply with prevailing building technology, the Uniform Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. The proposed single family dwelling will not deprive adjacent properties or the neighborhood of light, air, or open space, in that the structure meets all current setbacks that ensure access to light, air, and open space in the neighborhood.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the single family dwelling and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-6 / Parks, Recreation and Open Space District (6,000 sq. ft. min. site area) zone district in that the primary use of the property will be one single family dwelling that meets all current site standards for the zone district.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the Residential Urban Low Density (R-UL/ Existing Parks and Recreation) land use designation in the County General Plan.

The proposed single family dwelling will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the single family dwelling will not adversely shade adjacent properties, and will meet current setbacks for the zone district that ensure access to light, air, and open space in the neighborhood.

The proposed single family dwelling will not be improperly proportioned to the parcel size or the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed single family dwelling will comply with the site standards for the R-1-6 / Parks, Recreation and Open Space District

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zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed single family dwelling is to be constructed on an existing developed lot.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed single family dwelling is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed single family dwelling will be of an appropriate scale and **type** of design that will enhance the aesthetic qualities of the surrounding properties and will only minimally reduce or visually impact available open space in the surrounding area.

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Owner: Greysealimited

VARIANCE FINDINGS:

1. That because of special circumstances applicable to the property, including size, shape, topography, location and surrounding existing structures, the strict application of the zoning ordinance deprives such property of privileges enjoyed by other properties in the vicinity and under identical zoning classification.

This finding can be made. Staff believes the odd shape and the geological setbacks required of this parcel, are conditions that are enough for a variance to be granted. County Code states:

“ That because of special circumstances applicable to the property, including size, shape, topography, location, and surrounding existing structures, the strict application of the Zoning Ordinance deprives such proper@ of privileges enjoyed by other property in the vicinity and under identical zoning classification. “ (bold type added).

The proposed residence is within the maximums for Lot Coverage and **Floor** Area Ratio.

2. That the granting of such a variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety or welfare injurious to the property or improvements in the vicinity.

This finding can be made. This structure does not overpower the parcel. Lot Coverage and Floor Area Ratio are below minimums and the overall bulk and mass will not be injurious to neighboring parcels. The reduction in the front setback is **an** oddity of the lot, the garage will be **66** feet from the street (where 20 feet would be normal). Reducing the 8 feet required setback to five feet is similar to the other side of the property.

3. THAT THE GRANTING OF SUCH A VARIANCE WILL NOT CONSTITUTE A GRANT OF SPECIAL PRIVILEGES INCONSISTENT WITH THE LIMITATIONS UPON OTHER PROPERTIES IN THE VICINITY AND ZONE IN WHICH SUCH IS SITUATED.

This finding can be made. The majority of structures in this neighborhood have five feet wide side setbacks. The front yard reduction is based on the odd configuration of the entry to this lot and will produce a garage setback that is greatly increased from other properties in the neighborhood.

Application # 02-0258
APN 028-143-43
Owner: Greyssea Limited

Conditions of Approval

Exhibit A: architectural plans by Wayne Miller, Designer dated 12/02/04.

- I. This permit authorizes the demolition of an existing one story, single family dwelling and the construction of a two story, single family dwelling. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
 - C. Obtain a Building Permit from the Santa Cruz County Building Official.
 - D. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder).
 - B. Submit Final Architectural Plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. The final plans shall include the following additional information:
 1. Identify finish of exterior materials and color of roof covering for Planning Department approval. Any color boards must be in 8.5" x 11" format.
 2. Details showing compliance with fire department requirements.
 - C. Meet all requirements of and pay Zone 5 drainage fees to the County Department of Public Works, Drainage. Drainage fees will be assessed on the net increase in impervious area.
 - D. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
 - E. An engineered foundation plan is required. This plan must incorporate the design recommendations of the geotechnical engineer and engineering geologist with

EXHIBIT C

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Owner: Greyses Limited

regards to the setback of the foundation from the bluff. The geotechnical engineer shall specify any maintenance measures necessary to maintain the existing site improvements including the sea cave.

- F. Final plans shall show an engineered drainage system that must be approved by the geotechnical engineer and engineering geologist. This plan must be prepared on a site specific relief map that accurately represents topography for a minimum of 50 feet from all improvements. Drainage shall not be designed in a manner that will adversely affect the adjacent parcels.
- G. Prior to building permit issuance, the soils engineer and project geologist must submit a brief building and drainage plan review letter to Environmental Planning stating that the plans and foundation design are in general compliance with the report recommendations.
- H. Prior to building permit issuance, the owner must complete and record the following form "Declaration Regarding the Issuance of a Development Permit in an Area Subject to Geologic Hazards".
- I. Identify the existing Cypress tree in the backyard on Sheet 1-L, and provide a tree protection detail for this tree.
- J. Provide a detailed erosion control plan for review.
- K. Identify the size of the proposed rock outcroppings shown on the landscaping plan and how they will be attached.
- L. Building setbacks established by the geotechnical engineer and the geologist shall be identified on the site plan.
- M. Submit an engineered drainage plan for review.
- N. Submit the geotechnical engineer's approval for the stream bed portion at the top of the bluff.
- O. The face of the garage must be placed no less than 23 feet 6 inches from the property line to allow an acceptable amount of space for vehicles to back out.
- P. Provide required off-street parking for three cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
- Q. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable

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developer fees and other requirements lawfully imposed by the school district.

R. All glazing shall utilize non-reflective glass.

III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:

- A. All site improvements shown on the final approved Building Permit plans shall be installed.
- B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
- C. The project must comply with all recommendations of the approved soils reports.
- D. Pursuant to Sections **16.40.040** and **16.42.100** of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections **16.40.040** and **16.42.100**, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
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Minor variations to **this** permit which do not affect the overall concept or density may be approved **by** the **Planning** Director **at** the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires two years from the effective date unless you obtain the required permits and commence construction.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Don Bussey
Deputy Zoning Administrator

Lawrence Kasparowitz
Project **Planner**

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the **Zoning** Administrator, may appeal the act or determination to the **Planning** Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 02-0548
Assessor Parcel Number: 028-143-43
Project Location: 100 Geoffroy Drive, Santa Cruz

Project Description: Proposal to demolish an existing one story, single family dwelling and construct a two story, single family dwelling with a garage.

Person Proposing Project: Stephen Graves and Associates

Contact Phone Number: (831) 465-0677

- A. The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060(c).
- C. Ministerial Project involving only the use of fixed standards or objective measurements without personal judgment.
- D. Statutory Exemption other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).

Specify type:

E. Categorical Exemption - Specify type:

Class 3 - New Construction or Conversion of Small Structures (Section 15303)

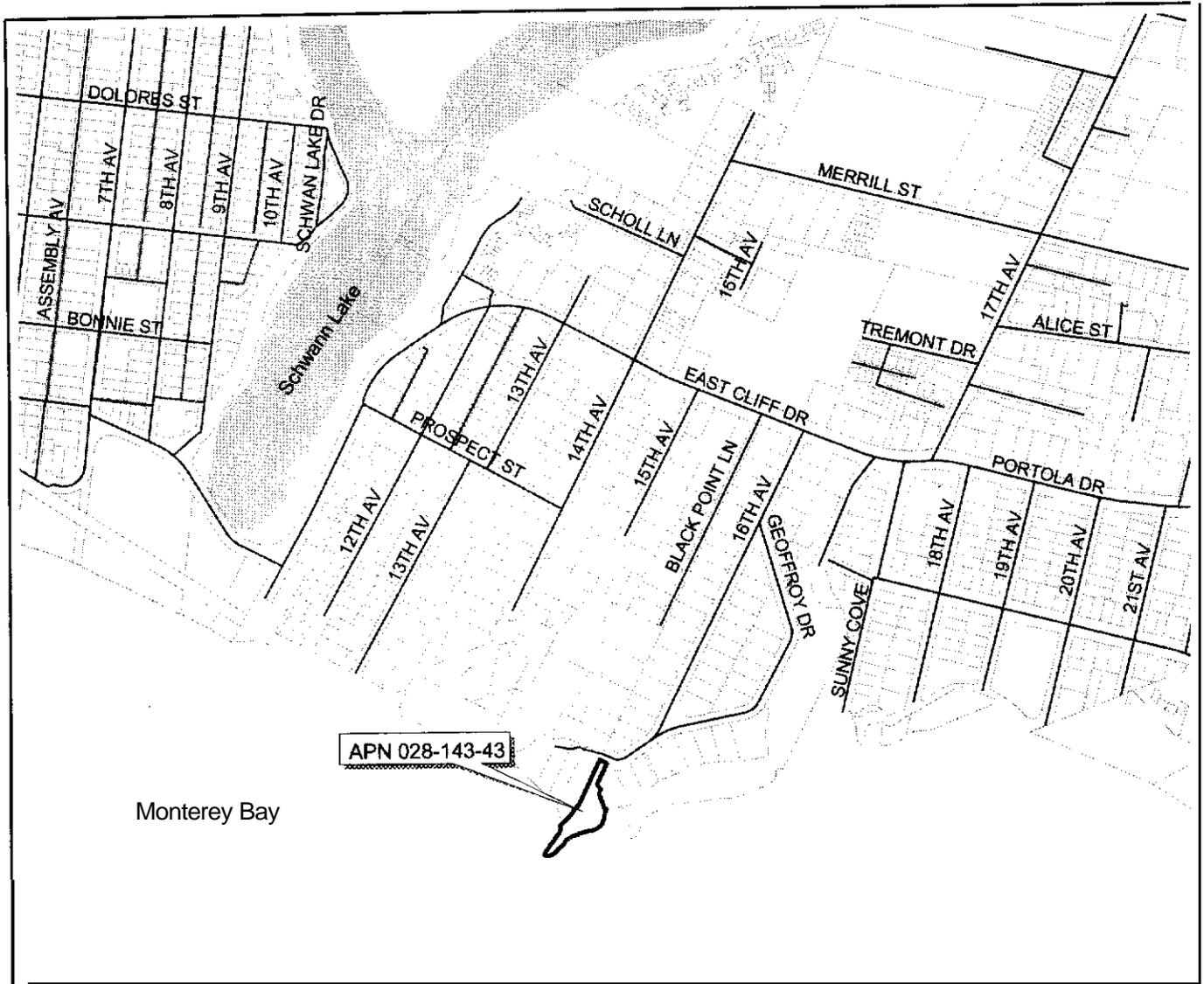
F. Reasons why the project is exempt: Reconstruction of a single family dwelling in a developed area.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Lawrence Kasparowitz, Project Planner

Date: _____

Location Map

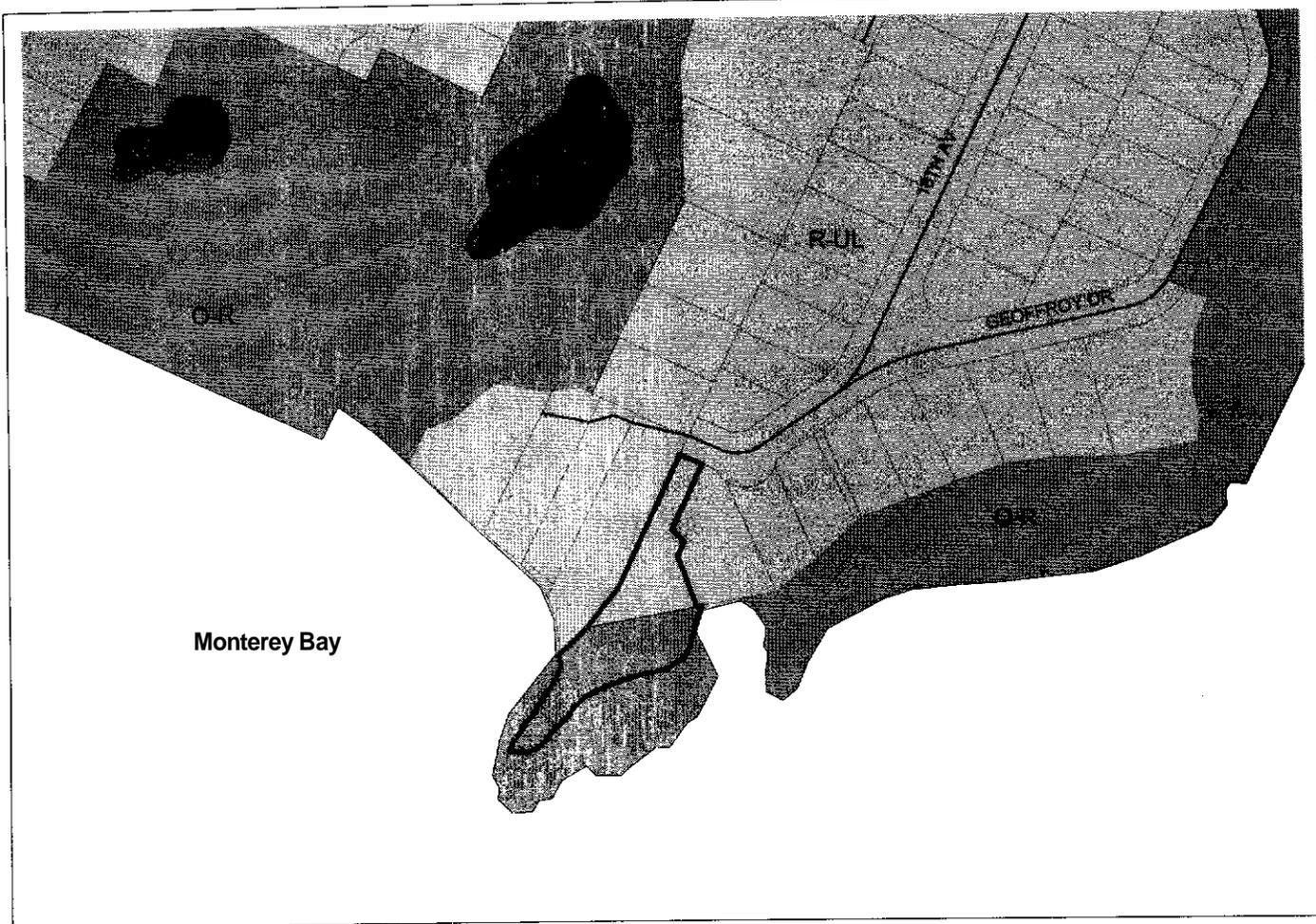


Map created by Santa Cruz County
Planning Department:
December 2004



EXHIBIT E

General Plan Map



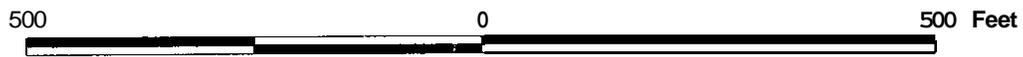
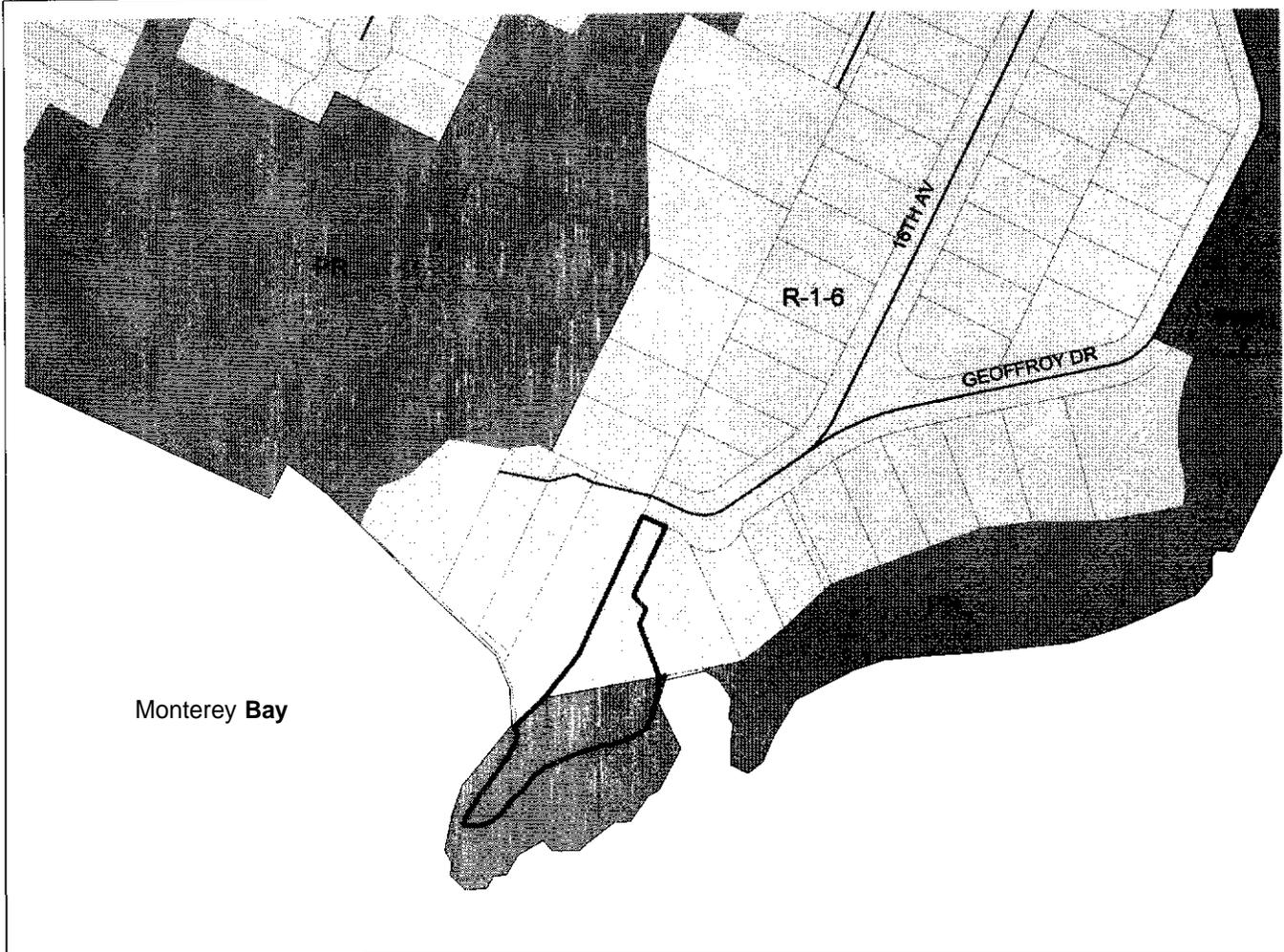
Legend

	APN 028-143-43
	Parcel boundaries
	Streets
	Residential - Urban Low Density
	Parks and Recreation
	Lake



Map created by Santa Cruz County
Planning Department:
December 2004

Zoning Map



Legend

	APN 028-143-43
	Parcel boundaries
	Streets
	R-1-6
	PR



Map created by Santa Cruz County
Planning Department:
December 2004

EXHIBIT G

C O U N T Y O F S A N T A C R U Z
D I S C R E T I O N A R Y A P P L I C A T I O N C O M M E N T S

Project Planner: Larry Kasparowitz
Application No. : 02-0548
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Date: May 9, 2005
Time: 16:15:08
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Environmental Planning Completeness Comments

==-----== REVIEW ON NOVEMBER 27, 2002 BY ROBERT S LOVELAND =====

1. The following comments were taken from the geologic and geotechnical report reviews completed by the County Geologist:

- * A. "An engineered foundation plan is required. This plan must incorporate the design recommendations of the geotechnical engineer and engineering geologist with regards to the setback of the foundation from the bluff. Prior to the completeness of this application, the geotechnical engineer shall specify any maintenance measures necessary to maintain the existing site improvements including the sea cave".
- * B. "Final plans shall show an engineered drainage system that must be approved by the geotechnical engineer and engineering geologist. This plan must be prepared on a site specific relief map that accurately represents topography for a minimum of 50 feet from all improvements. Drainage shall not be designed in a manner that will adversely affect the adjacent parcels".

2. Please delineate the following information on Sheet 1:

A. Show the FEMA flood zone.

B. Show the 100 year stability zone determined by the geologist and geotechnical engineer.

3. The County Geologist has reviewed the submitted landscaping plan and has determined that a review letter from landscape specialist is required. The review letter must state that the plants recommended on Sheet 1-L will grow in this near shore environment. Sheet 1-L needs to be signed and stamped by a California licensed civil engineer. ===== UPDATED ON FEBRUARY 3, 2003 BY ROBERT S LOVELAND =====

Meeting with Steven Graves and Joe Hanna. Results: Items 1A & 1B above can be considered Conditions of Approval: Item 2 above still needs to be addressed as a completeness item; and Item 3 still needs to be addressed.

NOTE: Additional information was requested: a repair report from the project geotechnical engineer is needed. ===== UPDATED ON MAY 29, 2003 BY ROBERT S LOVELAND =====

Comments 2A & 3 above still need to be addressed. ===== UPDATED ON OCTOBER 1, 2003 BY ROBERT S LOVELAND =====

Item 2A above has been completed.

Item 3 above still needs to be completed

I received the Haro, Kasunich & Associates letter dated 2/27/03. They recommend the seacave plug be inspected on a yearly basis. Please submit a letter stating that the

Discretionary Comments - Continued

Project Planner: Larry Kasparowitz
Application No. : 02-0548
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Date: May 9, 2005
Time: 16:15:08
Page: 2

inspection has been completed and the results of that inspection to Environmental Planning. ===== UPDATED ON JANUARY 9, 2004 BY ROBERT S LOVELAND =====

Item 2B above needs to be addressed. The 100 year stability zone determined by the project geologist and geotechnical engineer must be shown on the "Site Plan". This sheet then needs to be reviewed by the project geologist and geotechnical engineer and "Plan Review" letters need to be sent to Environmental Planning.

Item 3 above needs to be addressed

I also need to receive a report from Haro. Kasunich & Associates that details their inspection of the seacave plug. ===== UPDATED ON DECEMBER 15, 2004 BY ROBERT S LOVELAND =====

4th Routing:

I received and accepted the following "Plan Review" letters from the project geologist (Nielsen & Associates, dated 11/16/04) and (Haro. Kasunich & Associates, dated 11/19/04).

I still need to receive a seacave inspection letter from the geotechnical engineer as requested from previous reviews. ===== UPDATED ON MAY 9, 2005 BY ROBERT S LOVELAND =====

6th Routing:

Received seacave update letter from the project geotechnical engineer (Haro, Kasunich & Associates, dated 4/15/05). The County Geologist has reviewed and accepted this geotechnical update.

Environmental Planning Miscellaneous Comments

===== REVIEW ON NOVEMBER 27, 2002 BY ROBERT S LOVELAND =====

Conditions of Approval :

- * 1. Prior to building permit issuance, the soils engineer and project geologist must submit a brief building and drainage plan review letter to Environmental Planning stating that the plans and foundation design are in general compliance with the report recommendations.
 - * 2. Prior to building permit issuance, the owner must complete and record the following form: " Declaration Regarding the Issuance of a Development Permit in an Area Subject to Geologic Hazards".
 - * 3. Identify the existing cypress tree in the backyard on Sheet 1-L. Please provide a tree protection detail for this tree.
 - * 4. Provide a detailed erosion control plan for review.
 - * 5. Identify the size of the proposed rock outcroppings shown on the landscaping plan
-

Discretionary Comments - Continued

Project Planner: Larry Kasparowitz
Application No.: 02-0548
APN: 028-143-43

Date: May 9, 2005
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and how they will be attached.

- * 6. An engineered foundation plan is required. The foundation design must incorporate the design recommendations provided by the project geotechnical engineer.
- * 7. Building setbacks established by the project geotechnical engineer and geologist shall be identified on the site plan.
- * 8. Submit an engineered drainage plan for review

Dpw Drainage Completeness Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON NOVEMBER 27, 2002 BY CARISA REGALADO =====

No offsite adverse impacts apparent. Plans accepted as submitted. (Additional notes listed in Miscellaneous Comments.)

For an increase in impervious area, a drainage impact fee will be assessed. The fees are currently \$0.80 per square foot. If needed, further drainage plan guidance may be obtained from the County of Santa Cruz Planning website:
<http://sccounty01.co.santa-cruz.ca.us/planning/drain.htm>

Please call the Dept. of Public Works, drainage division, from 8:00 am to 12:00 pm if you have any questions. ===== UPDATED ON OCTOBER 1, 2003 BY CARISA REGALADO =====

No comment.

Dpw Drainage Miscellaneous Comments

LATEST COMMENTS HAVE **NOT YET** BEEN SENT TO PLANNER FOR THIS AGENCY

===== REVIEW ON NOVEMBER 27, 2002 BY CARISA REGALADO =====

* For the building permit application stage, please submit Geotechnical Engineer's approval for the stream bed portion at the bluff. ===== UPDATED ON OCTOBER 1, 2003 BY CARISA REGALADO =====

No comment.

Dpw Road Engineering Completeness Comments

===== REVIEW ON JANUARY 13, 2003 BY RODOLFO N RIVAS =====

NO COMMENT

===== UPDATED ON JUNE 10, 2003 BY GREG J MARTIN =====

The previous review neglected parking layout requirements. The plans show about 17 feet of pavement from the columns adjacent to the garage to the curb next to the property line. Driveways are required to have a minimum inside curve radius of 15 feet. The driveway width is required to be 12 feet. Therefore the total distance from the face of the column to the curb shall be 27 feet. If possible, the back of curb should be set 6 inches from the property line in the area that turning movements shall be made. The columns in front of the driveway should be removed. The depth of the garage should be shortened as much as possible. This should add about 6 feet to

Discretionary Coments - Continued

Project Planner: Larry Kasparowitz
Application No.: 02-0548
APN: 028-143-43

Date: May 9, 2005
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the 17 feet for a total of 23 feet. Although this does not meet standards, **it** will be acceptable since there are site constraints. ===== UPDATED ON SEPTEMBER 15, 2003 BY GREG J MARTIN =====

===== UPDATED ON SEPTEMBER 17, 2003 BY GREG J MARTIN =====

Updated 9/17/03 This supersedes previous comments. The application is complete provided that the following condition is met. The face of the garage must be placed no less than 23 feet six inches from the property line to allow an acceptable amount of space for vehicles to back out.



Dpw Road Engineering Miscellaneous Coments

===== REVIEW ON JANUARY 13, 2003 BY RODOLFO N RIVAS =====
NO COMMENT

===== UPDATED ON JUNE 10, 2003 BY GREG J MARTIN =====

===== UPDATED ON SEPTEMBER 17, 2003 BY GREG J MARTIN =====
NO COMMENT

INTEROFFICE MEMO

APPLICATION NO: 02-0548

Date: December 2, 2002
 To: Project Planner
 From: Larry Kasparowitz, Urban Designer
 Re: Design Review for a new single family residence at 100 Geoffroy Drive, Santa Cruz (Miller / applicant, Willmott / owner)

COMPLETENESS ISSUES

- The plans as submitted are complete enough for Design Review, however a color board will be required.

GENERAL PLAN / ZONING CODE ISSUES

Design Review Authority

13.20.130 The Coastal Zone Design Criteria are applicable to any development requiring a Coastal Zone Approval.

Design Review Standards

13.20.130 Design criteria for coastal zone developments

Evaluation Criteria	Meets criteria in code (✓)	Does not meet criteria (✓)	Urban Designer's Evaluation
Visual Compatibility			
All new development shall be sited, designed and landscaped to be visually compatible and integrated with the character of surrounding neighborhoods or areas	✓		
Developers shall be encouraged to maintain all mature trees over 6 inches in diameter except where circumstances require their removal,	✓		

such as obstruction of the building site, dead or diseased trees, or nuisance species.			
Special landscape features (rock outcroppings, prominent natural landforms, tree groupings) shall be retained.	✓		
Ridgeline Development			
Structures located near ridges shall be sited and designed not to project above the ridgeline or tree canopy at			NIA
Land divisions which would create parcels whose only building site would be exposed on a ridgetop shall not be permitted			NIA
Landscaping			
New or replacement vegetation shall be compatible with surrounding vegetation and shall be suitable to the climate, soil, and ecological characteristics of the area	✓		
Rural Scenic Resources			
Location of development			
Development shall be located, if possible, on parts of the site not visible or least visible from the public view.	✓		
Development shall not block views of the shoreline from scenic road turnouts, rest stops or vista points	✓		
Site Planning			
Development shall be sited and designed to fit the physical setting carefully so that its presence is subordinate to the natural character of the site, maintaining the natural features (streams, major drainage, mature trees, dominant vegetative communities)	✓		
Screening and landscaping suitable to the site shall be used to soften the visual impact of development in the viewshed	✓		
Building design			
Structures shall be designed to fit the topography of the site with minimal cutting, grading, or filling for construction	✓		
Pitched, rather than flat roofs, which are surfaced with non-reflective materials except for solar energy devices shall be encouraged	✓		

Natural materials and colors which blend with the vegetative cover of the site shall be used, or if the structure is located in an existing cluster of buildings, colors and materials shall repeat or harmonize with those in the cluster	✓		
Large agricultural structures			
The visual impact of large agricultural structures shall be minimized by locating the structure within or near an existing group of buildings			NIA
The visual impact of large agricultural structures shall be minimized by using materials and colors which blend with the building cluster or the natural vegetative cover of the site (except for greenhouses).			N/A
The visual impact of large agricultural structures shall be minimized by using landscaping to screen or soften the appearance of the structure			NIA
Restoration			
Feasible elimination or mitigation of unsightly, visually disruptive or degrading elements such as junk heaps, unnatural obstructions, grading scars, or structures incompatible with the area shall be included in site development			NIA
The requirement for restoration of visually blighted areas shall be in scale with the size of the proposed project			NIA
Signs			
Materials, scale, location and orientation of signs shall harmonize with surrounding elements			N/A
Directly lighted, brightly colored, rotating, reflective, blinking, flashing or moving signs are prohibited			NIA
Illumination of signs shall be permitted only for state and county directional and informational signs, except in designated commercial and visitor serving zone districts			N/A
In the Highway 1 viewshed, except within the Davenport commercial area, only CALTRANS standard signs and public parks, or parking lot identification signs, shall be permitted to be visible from the highway. These signs shall be of natural unobtrusive materials and colors			NIA

Beach Viewsheds		
Blufftop development and landscaping (e.g., decks, patios, structures, trees, shrubs, etc.) in rural areas shall be set back from the bluff edge a sufficient distance to be out of sight from the shoreline, or if infeasible, not visually intrusive		N/A
No new permanent structures on open beaches shall be allowed, except where permitted pursuant to Chapter 16.10 (Geologic Hazards) or Chapter 16.20 (Grading Regulations)		N/A
The design of permitted structures shall minimize visual intrusion, and shall incorporate materials and finishes which harmonize with the character of the area. Natural materials are preferred	✓	

OTHER URBAN DESIGNERS COMMENTS :

The elevations should show the following items :

1. *The window method of opening, i.e. single or double hung, slider, casement, fixed, etc.*
2. *If the siding requires corner trim ,that should be shown.*
3. *If there are woodburning stoves, the chimneys and caps should be shown ,*

The drainage plan must be reviewed by a registered civil engineer.

Describe the material for the wrap-around low deck.

Project No. SC3516
15 April 2005

GRAHAM AND PAMELA WILMOTT
c/o Wayne Miller Designer
P.O. Box 1929
Freedom, California 95019

Subject: Update to Geotechnical Engineering Investigation

Reference: Proposed Residence Reconstruction
100 Geoffrey Drive
APN 028-143-43
Santa Cruz County, California

Dear Mr. and Mrs. Wilmott:

This letter is written to state the geotechnical engineering design criteria outlined in our 8 March 2002 Geotechnical Investigation of the referenced project is still valid and may be used to design the proposed residence reconstruction.

The residence is situated upon a narrow point or bedrock peninsula projecting out into Monterey Bay. A seacave was plugged or grouted along the east (downcoast) perimeter of the point in 1991. An active seacave is situated along the west or upcoast side of the residence. The west perimeter seacave was mapped by the project engineering geologist, Mr. Hans Nielsen and is delineated on the project Geologic Map, dated 31 January 2002.

We visited the site on 6 April 2005 to measure the depth of the west perimeter seacave relative to the previously mapped dimension. We measured the seacave in line with the existing structure roof line as shown on Figure 1 included with this letter. We prepared a cross-section, Figure 2, delineating the seacave configuration. We returned to the site on 11 April to measure the blufftop dimensions and complete the cross-section. Also included with this letter are four color plates showing the orientation of our field measurements and the bluff configuration at the time of our site visits, April 2005.

Based on our measurements, the seacave is in about the same position as outlined on the 2002 Geologic Map. It is our opinion the 40 foot blufftop setback along the west perimeter of the residence is still appropriate and may be used to design and construct the residence.

EXHIBIT J

Graham and Pamela Wilcott
Project no. SC3516
100 Geoffrey Drive
15 April 2005
Page 2

If you have any questions regarding this letter, please call our office.

Very truly yours,

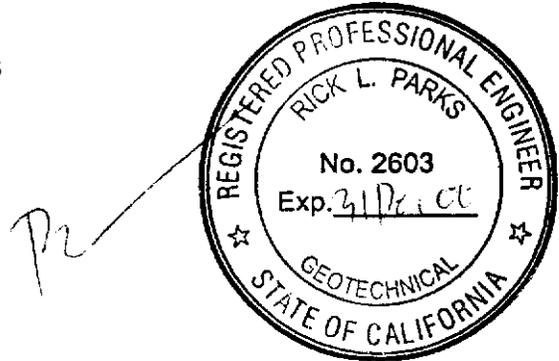
HARO, KASUNICH AND ASSOCIATES, INC.

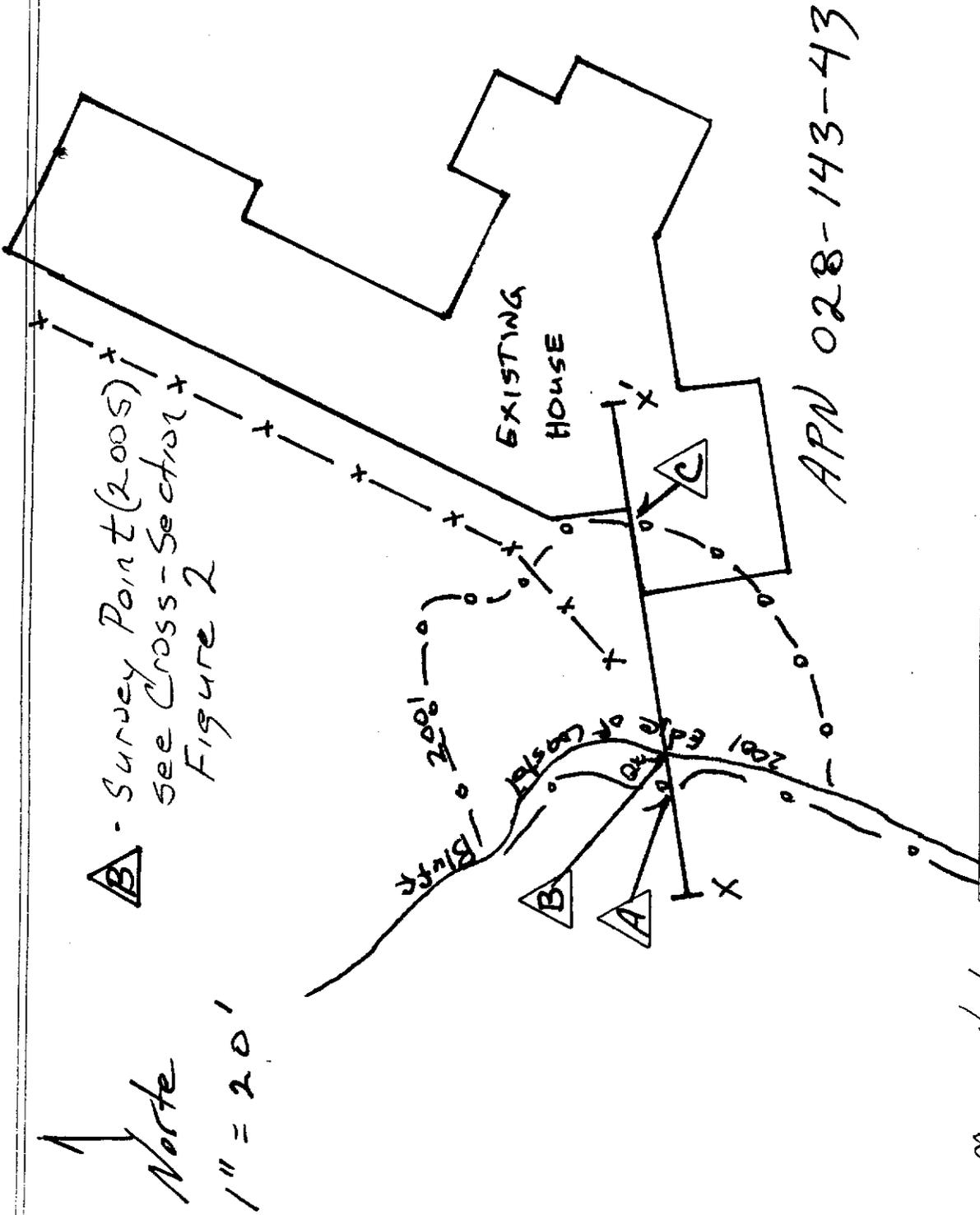
Rick L. Parks
G.E. 2603

RLP/dk

Attachments: Plan View
Cross-Section
Color Plates

Copies: 4 to Addressee
1 to Nielsen & Associates, Attn: Mr. Hans Nielsen





Base Map: Nelson
 Geographic Map
 100 Geoffrey Drive
 APN 028-212-14115
 Santa Cruz Co., CA
 31 January 2002

PROJECT NO: SC 3516	2005 West Seacore Recon.
DATE: April 2005	Plan View
SCALE: 1 inch = 20 feet	100 Geoffrey Drive
DRAWN BY: DP	Santa Cruz County, CA

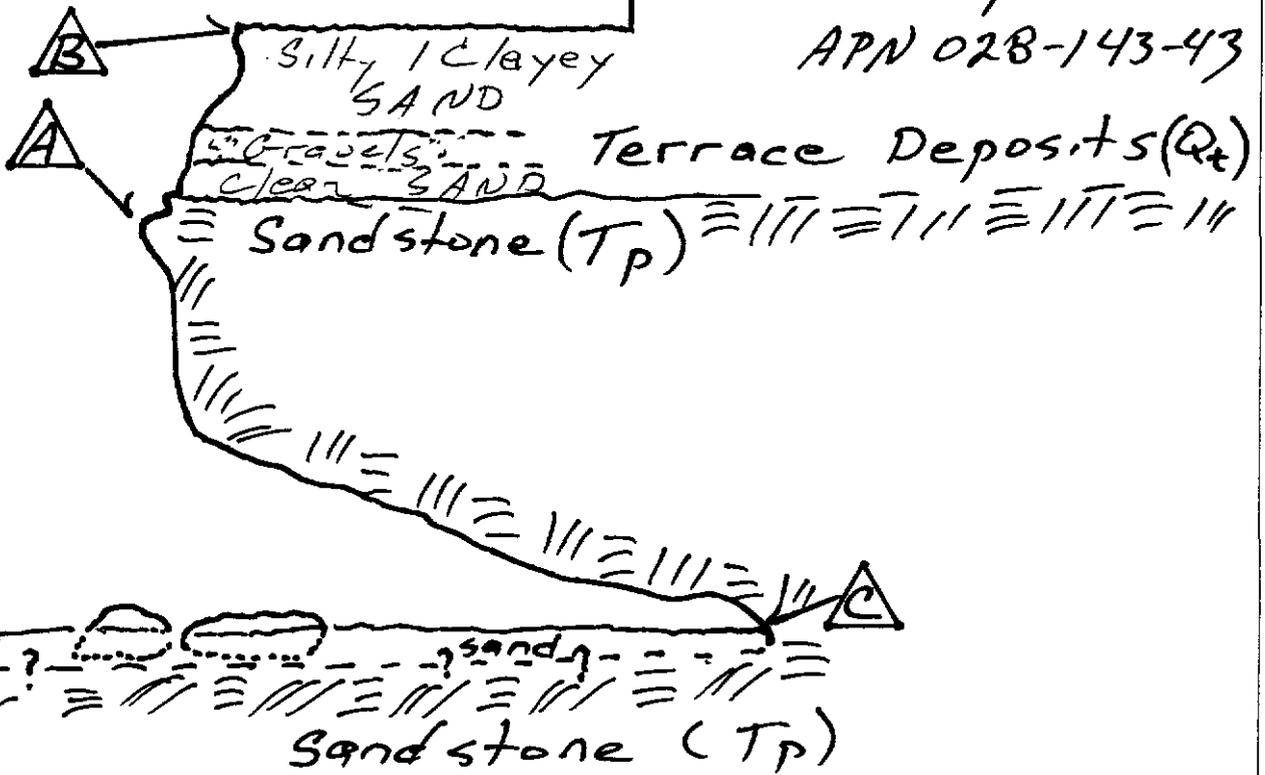
APN 028-143-43

HARO, KASUNICH & ASSOCIATES

FIGURE No. 1

S 81° W

100
Geo Froy Drive
APN 02B-143-43



PROJECT No: SC3516
DATE: 14 April 2005
SCALE: 1 inch = 20 feet
DRAWN BY: DP

2005 West Perimeter
Seacave Cross-Section
100 Geo Froy Drive
Santa Cruz County, CA

HARO, I & ASSOCIATES

FIGURE No 2

EXHIBIT J

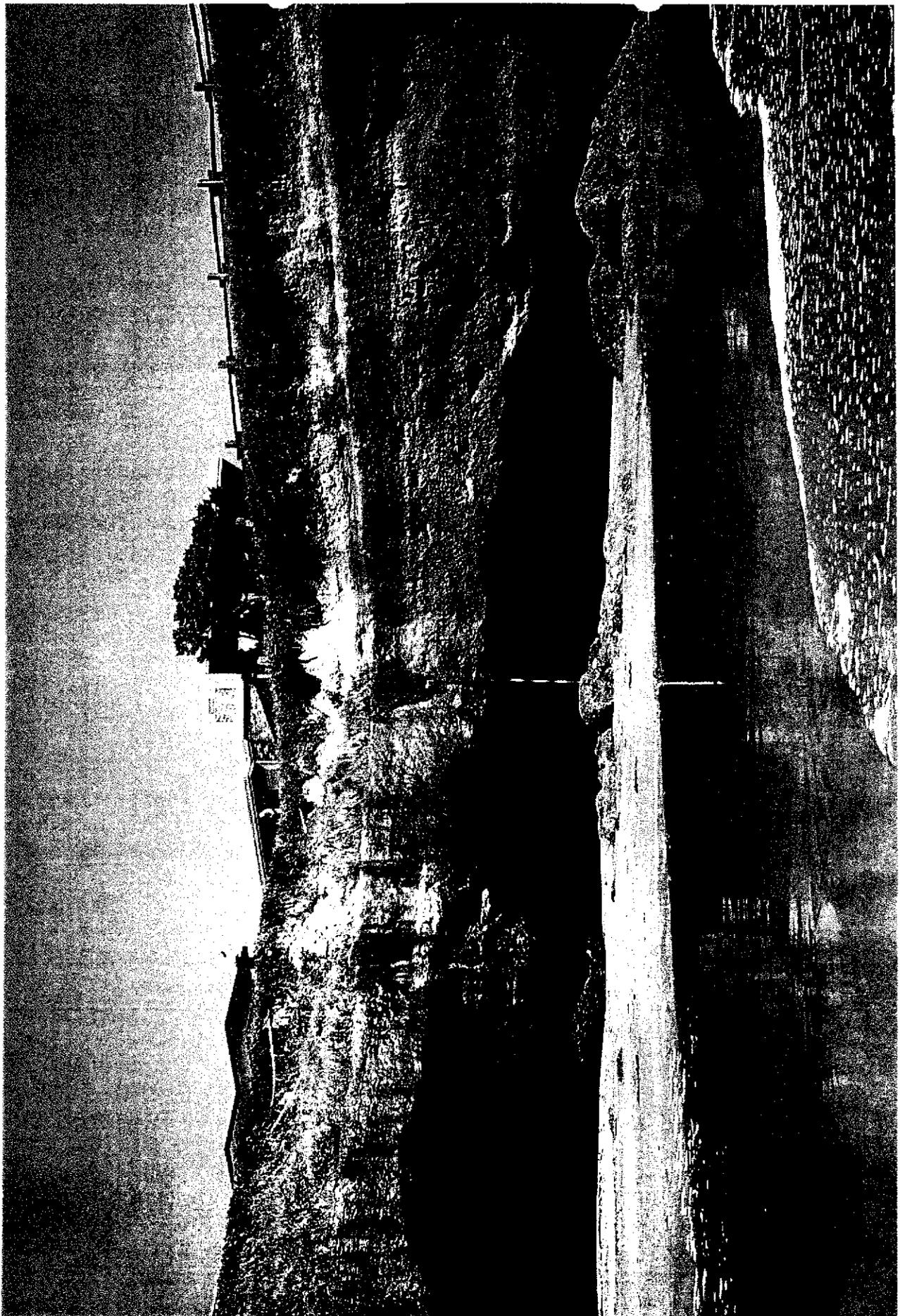


EXHIBIT J

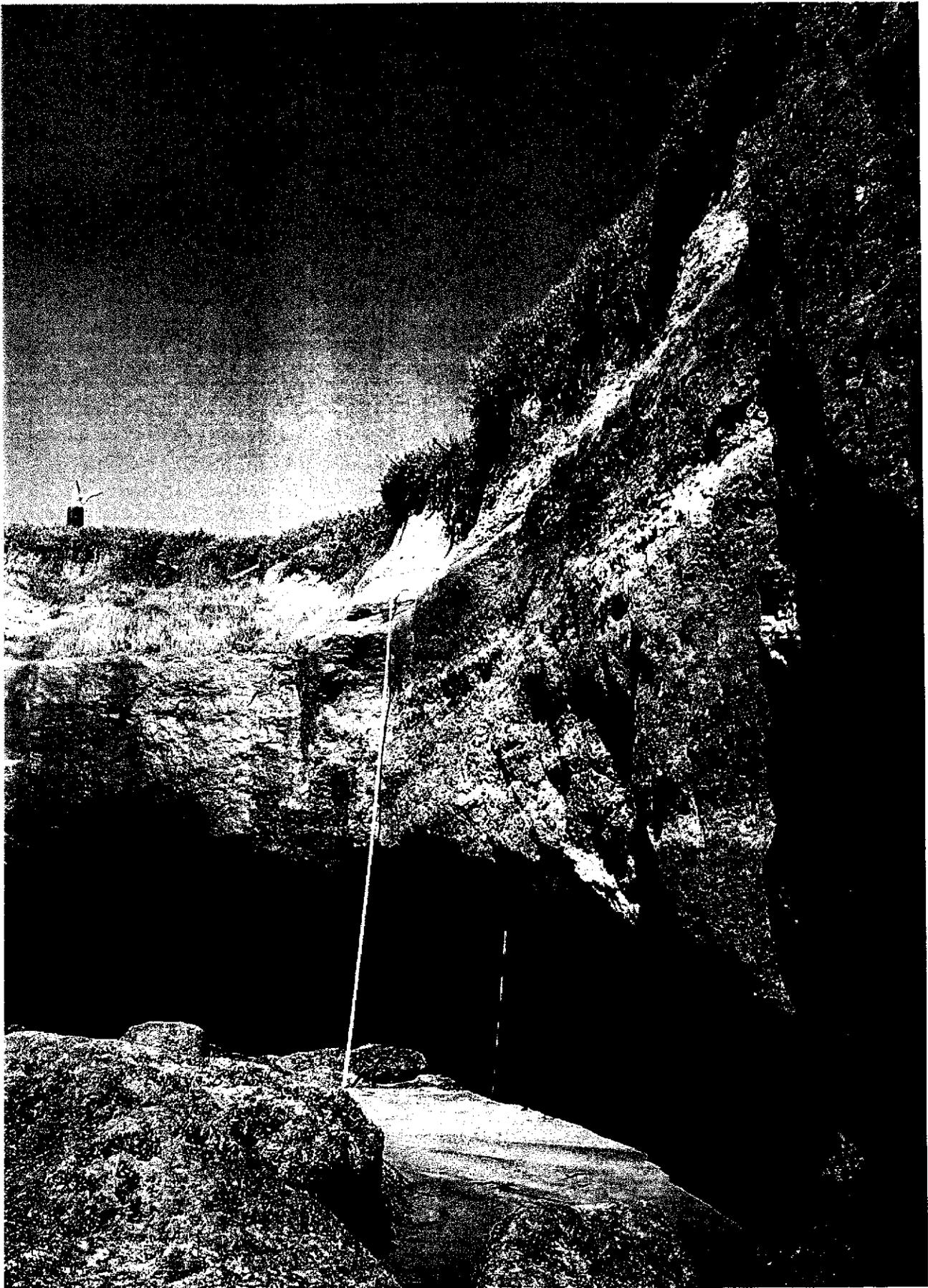


EXHIBIT J 1

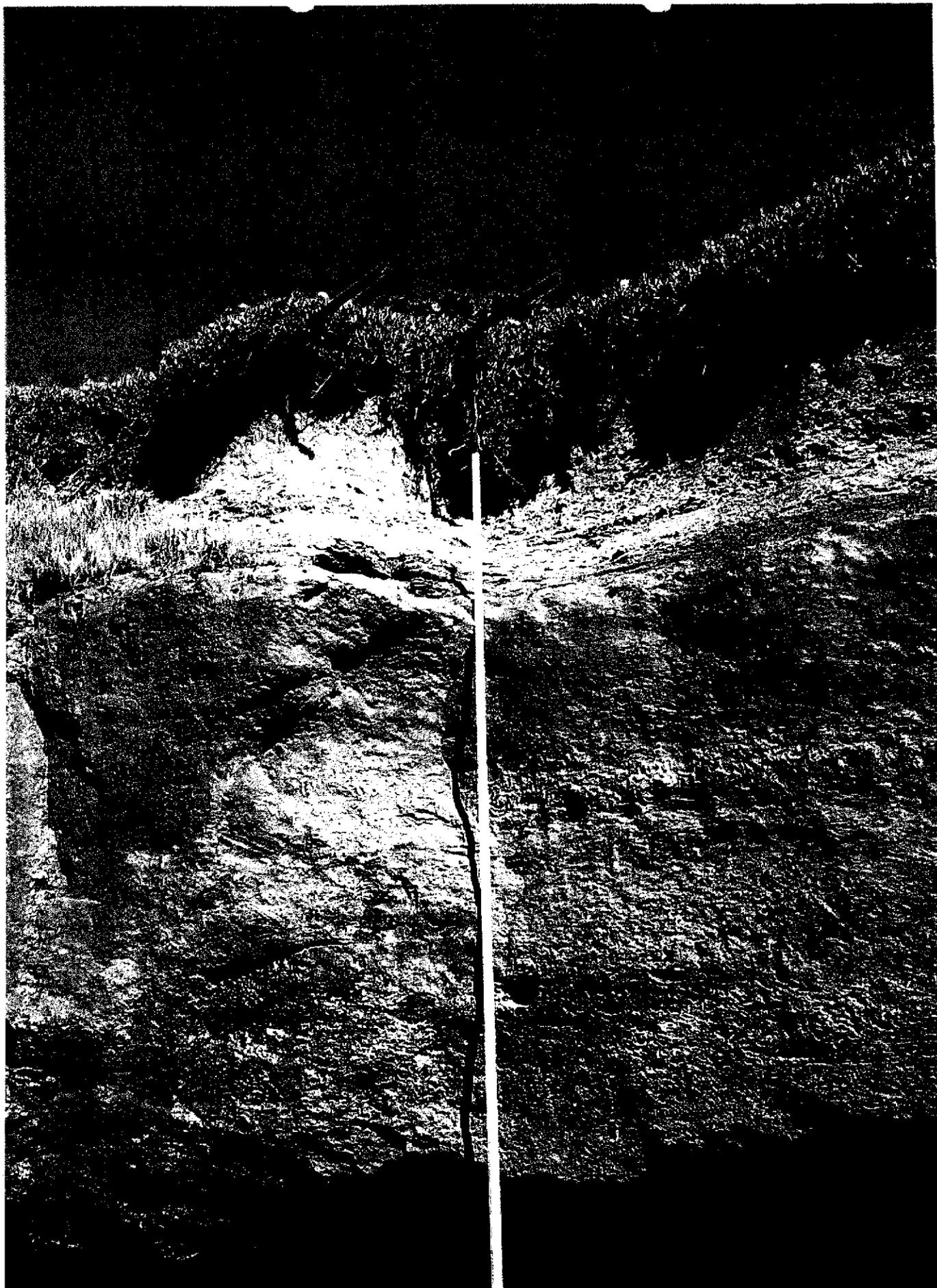


EXHIBIT J



EXHIBIT J

NIELSEN and ASSOCIATES

ENGINEERING GEOLOGY AND COASTAL CONSULTING

16 November 2004

Job No. SCr-1056-C

Graham Willmott
100 Geoffroy Drive
Santa Cruz, CA 95062

SUBJECT: Review of revised plans for a proposed single family home.

REFERENCE: 100 Geoffroy Drive, Santa Cruz County, California, APN 028-212-14 & 15.

Dear Mr. and Mrs. Willmott:

We received a set of plans from your designer, Wayne Miller. We were asked by your planner, Stephen Graves, to review the plans for conformance with the recommendations in our geologic report for your property dated February 2002. We reviewed two sheets of the plans that contained information pertinent to our recommendations: Sheet One - Site Plan dated 2 November 2004, and Sheet One-L - Landscape/Drainage Plan dated 2 November 2004.

Sheet One shows the home and the building setbacks that we defined in our geologic report. The setback lines conform to those that we defined, and the house is wholly within the setback lines. This aspect of the plans **conforms** to our recommendations.

Sheet One-L shows drainage around the homesite. Although we did not comment on the drainage in our report, we find the drainage plan acceptable from a geologic standpoint. Runoff from the roof will be directed to two percolation basins in the rear yard. Overflow from these pits will travel in three rock-lined pathways to a long rock-lined trough along the edge of the property above the broad bedrock shelf south of the property. This drainage plan appears to provide percolation for much of the runoff and dispersion/percolation for much of the overflow. In our opinion, this is an adequate drainage plan for this property.

In general, the plans adhere to the recommendations of our geologic report. Please call if you have any questions.

Sincerely,
Sincerely

Hans Nielsen
C.E.G. 1390

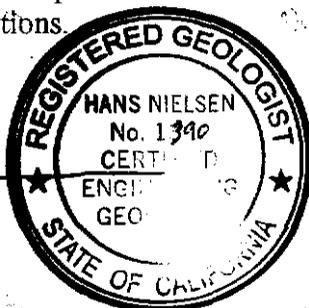


EXHIBIT K

March 23, 2004

To Whom it May **Concern:**

We the undersigned **owners of** a residence at 63 Geoffroy have received and reviewed the site plan and elevations for the proposed Willmott residence located at 100 Geoffroy Drive. At this time, we have no objection to the proposal.

Sincerely,



Signature

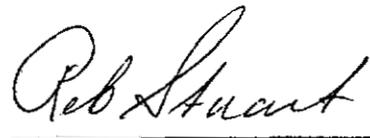
EXHIBIT L

December 15, 2003

To Whom it May Concern:

We the undersigned owners of a residence at 101 Geoffroy received and reviewed the site plan and elevations for the proposed Willmott residence located at 100 Geoffroy Drive. At this time, we have no objection to the proposal.

Sincerely,



Signature

Sorry, it has taken
5 to get back to you.
we were very busy over the
holiday season.

Good luck on
your process for your
new home.

EXHIBIT L

December 15, 2003

To Whom it May Concern:

We the undersigned owners of a residence at 110 Geoffroy have received and reviewed the site plan and elevations for the proposed Willmott residence located at 100 Geoffroy Drive. At this time, we have no objection to the proposal.

Sincerely,

Aileen E. Wade
Signature

EXHIBIT L

December 15, 2003

To Whom it May Concern:

We the undersigned owners of a residence at 130 Geoffrey Dr. have received and reviewed the site plan and elevations for the proposed Willmott residence located at 100 Geoffroy Drive. At this time, we have no objection to the proposal.

Sincerely,

Bernadine E. Miller
Signature

EXHIBIT L

December 15, 2003

To Whom it May Concern:

~~We the~~ undersigned owners of a residence at 200 GEOFFROY ^{HAS} ~~have~~ received and reviewed the site plan and elevations for the proposed ~~Willott~~ residence located at 100 Geoffroy Drive. At this time, ~~we~~ have no objection to the proposal.

Sincerely,


Signature TRUSTEE
PATRICIA J. ROY SURVIVOR'S TRUST
DAD 12-23-93

EXHIBIT L

December 15, 2003

To Whom it May Concern:

151 Black Point Lane

We the undersigned owners of a residence at *151* have received and reviewed the site plan and elevations for the proposed Willmott residence located at 100 Geoffroy Drive. At ~~this~~ time, we have no objection to the proposal.

Sincerely,

A handwritten signature in cursive script, appearing to read "Robert R. Rittenhouse".

Signature

Robert R. Rittenhouse

EXHIBIT L

December 15, 2003

To Whom it May Concern:

We the undersigned owners of a residence at 70 GEOFFROY DR have received and reviewed the site plan and elevations for the proposed Willmott residence located at 100 Geoffroy Drive. At this time, we have no objection to the proposal.

Sincerely,

Raymond G. Shida - Eugene Shklar
Signature

EXHIBIT L

**Norman & Carol Chapman
281 Blackfield Drive
Tiburon, CA 94920
tel. 415 435-8833**

February 6, 2004

Stephen Graves & Associates
2735 Porter Street
Soquel, CA 95073

Re: Proposed New Construction of Pamela & Graham Willmott Residence Located 100
Geoffroy Drive, Santa Cruz

Gentlemen:

We own the property at 80 Geoffroy Drive, Santa Cruz. two houses west of the subject
property.

We have reviewed the proposed demolition of the existing residence and elevation
drawings of the proposed new construction for the Willmotts property *at* 100 Geoffroy
Drive. We support the project and think it will be a welcome addition to the
neighborhood.

Yours truly,


Norman & Carol Chapman

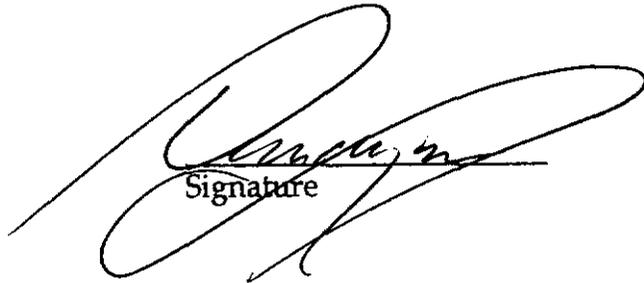
EXHIBIT L

March 23, 2004

To Whom it May Concern:

We the undersigned **owners** of a residence at 60 Geoffrey have received and reviewed the site plan and elevations for the proposed Willmott residence located at 100 Geoffroy Drive. At this time, we have no objection to the **proposal**.

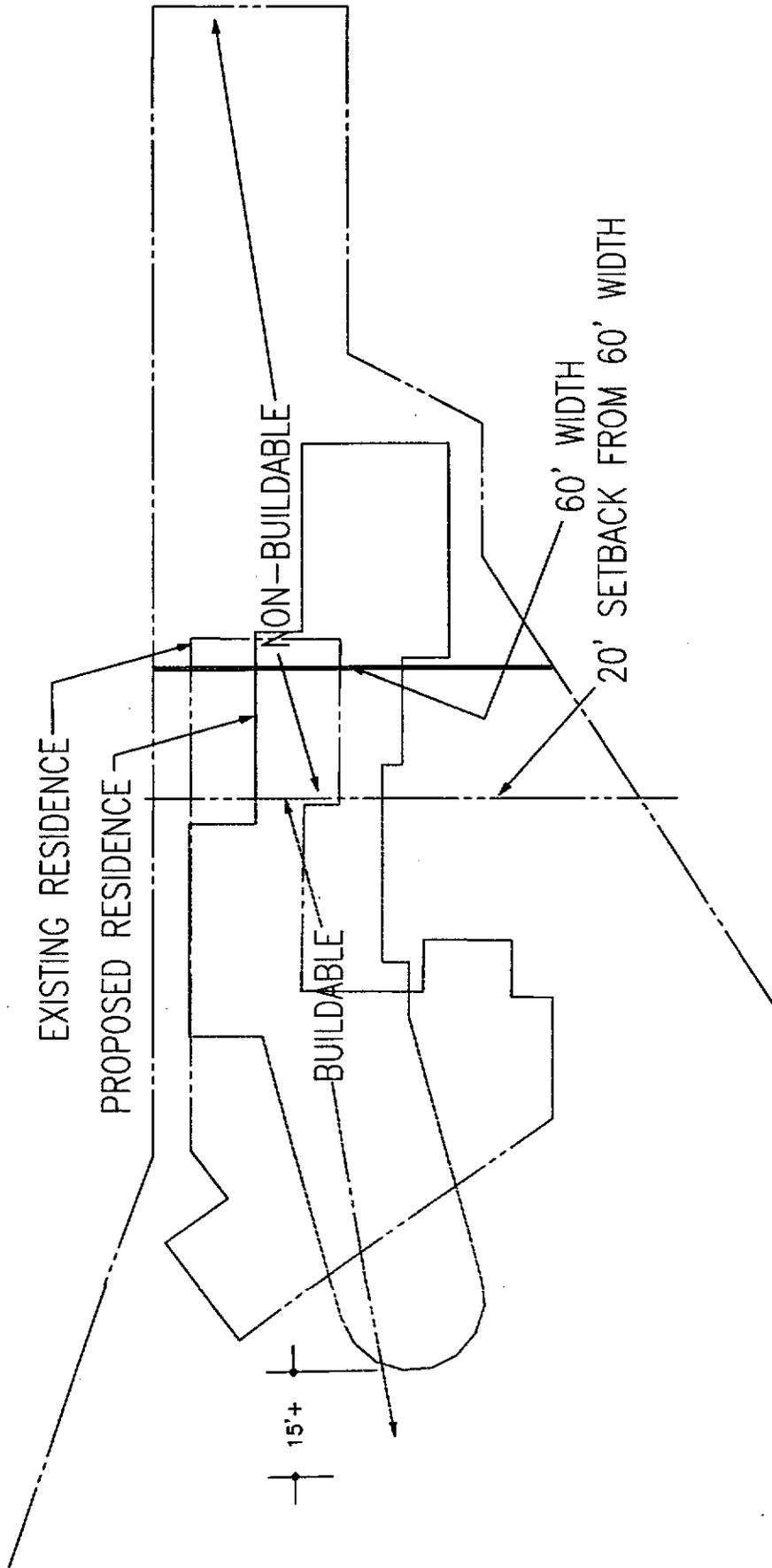
Sincerely,



Signature

EXHIBIT L

1"=20'

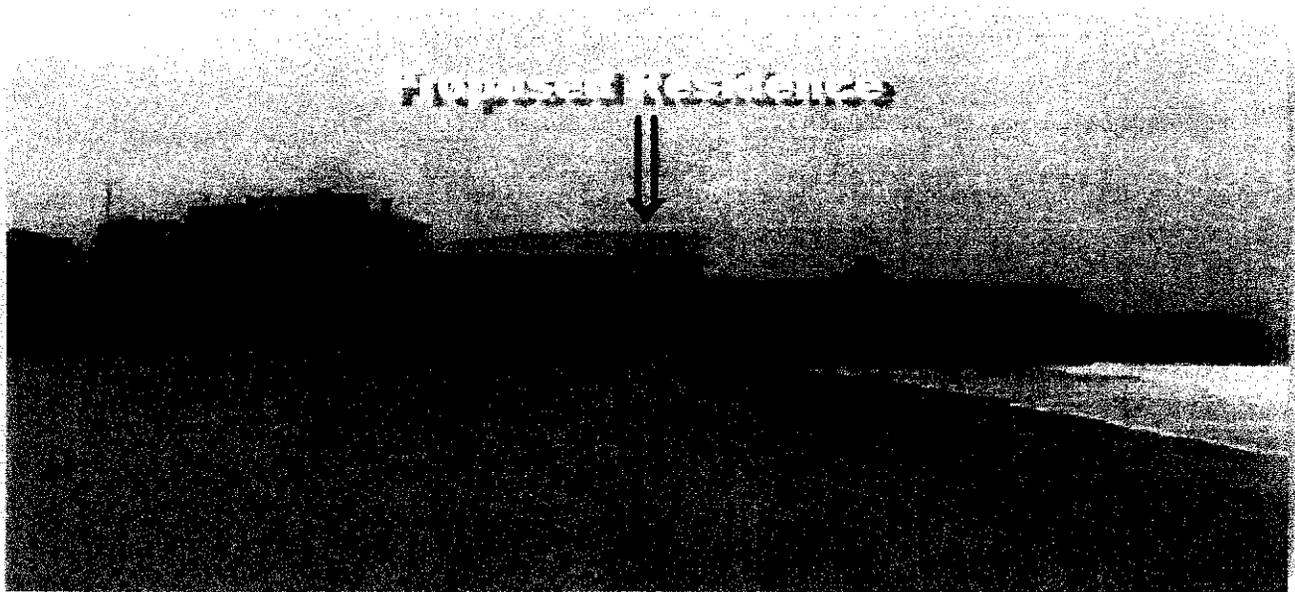


**Willmott Residence
100 Geoffroy Drive**



Overhead bayside view

Willmott Residence **100 Geoffroy Drive**



View from Blacks Beach



Willmott Residence 100 Geoffroy Drive



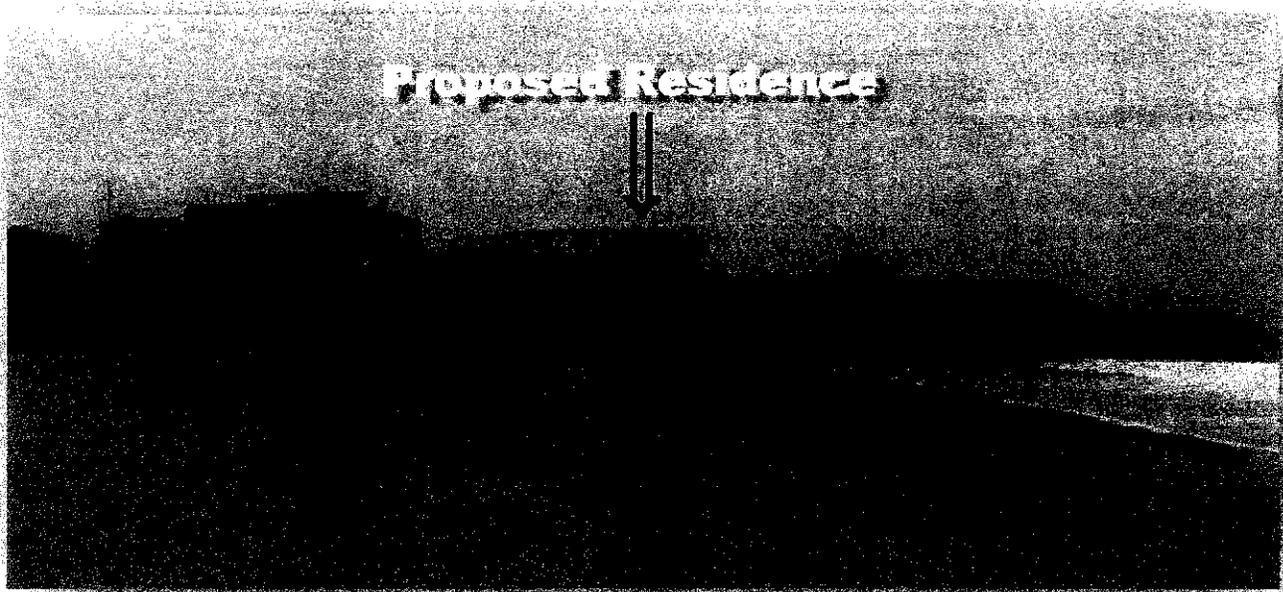
**View from Sunnycove Drive
(end of 17th Ave)**

**Willmott Residence
100 Geoffroy Drive**



Overhead bayside view

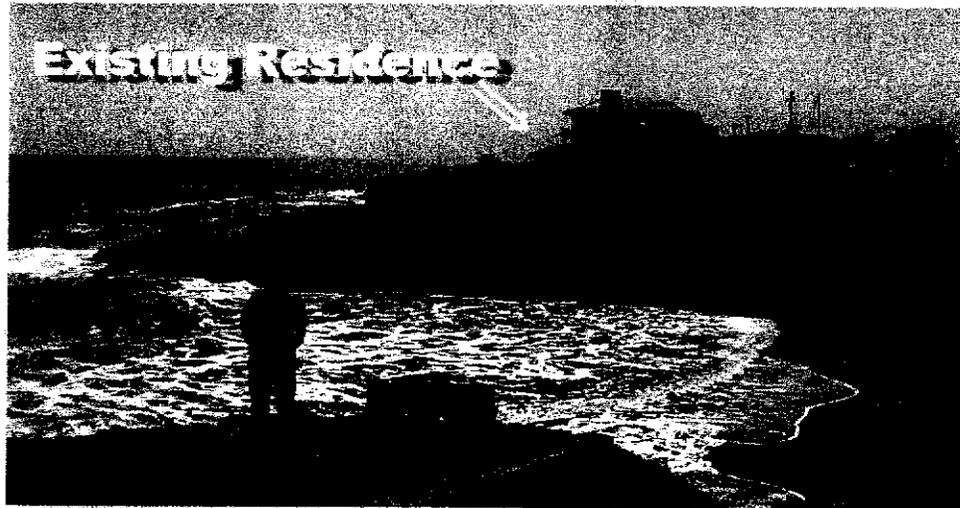
Willmott Residence 100 Geoffroy Drive



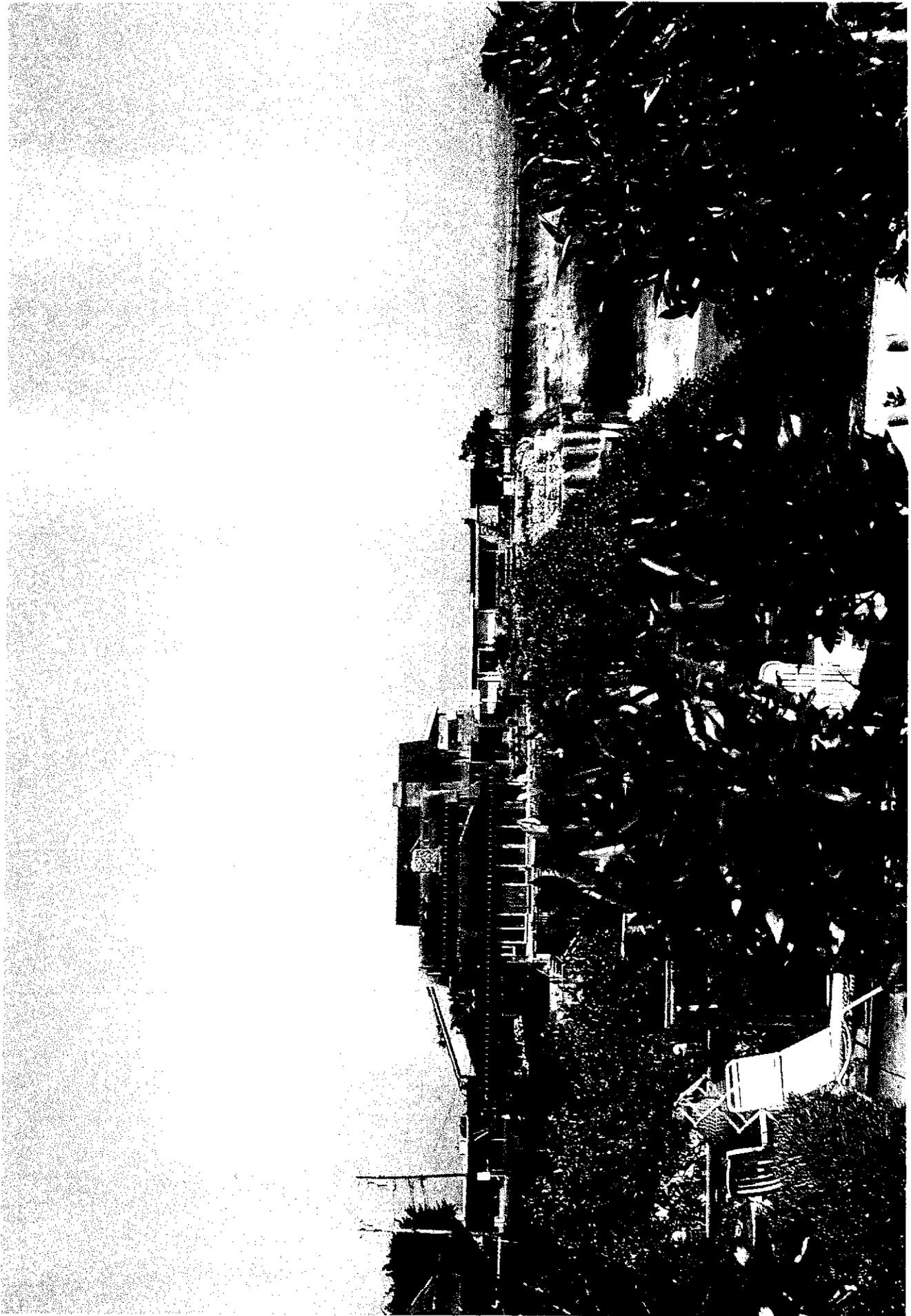
View from Blacks Beach



Willmott Residence 100 Geoffrey Drive



**View from Sunny Cove Drive
(end of 17th Ave)**



Existing View from the end of 13th Ave.

Photography and Rendering by A. C. M. S.



Proposed Willmott Residence - Second Floor Moved Back 6 Feet on Ocean Side

View from the end of 13th Ave.

Photography and Rendering by A.C.M.S.

View From end of 13th Ave.

Sunny Cove

View from 24th Ave. Beach

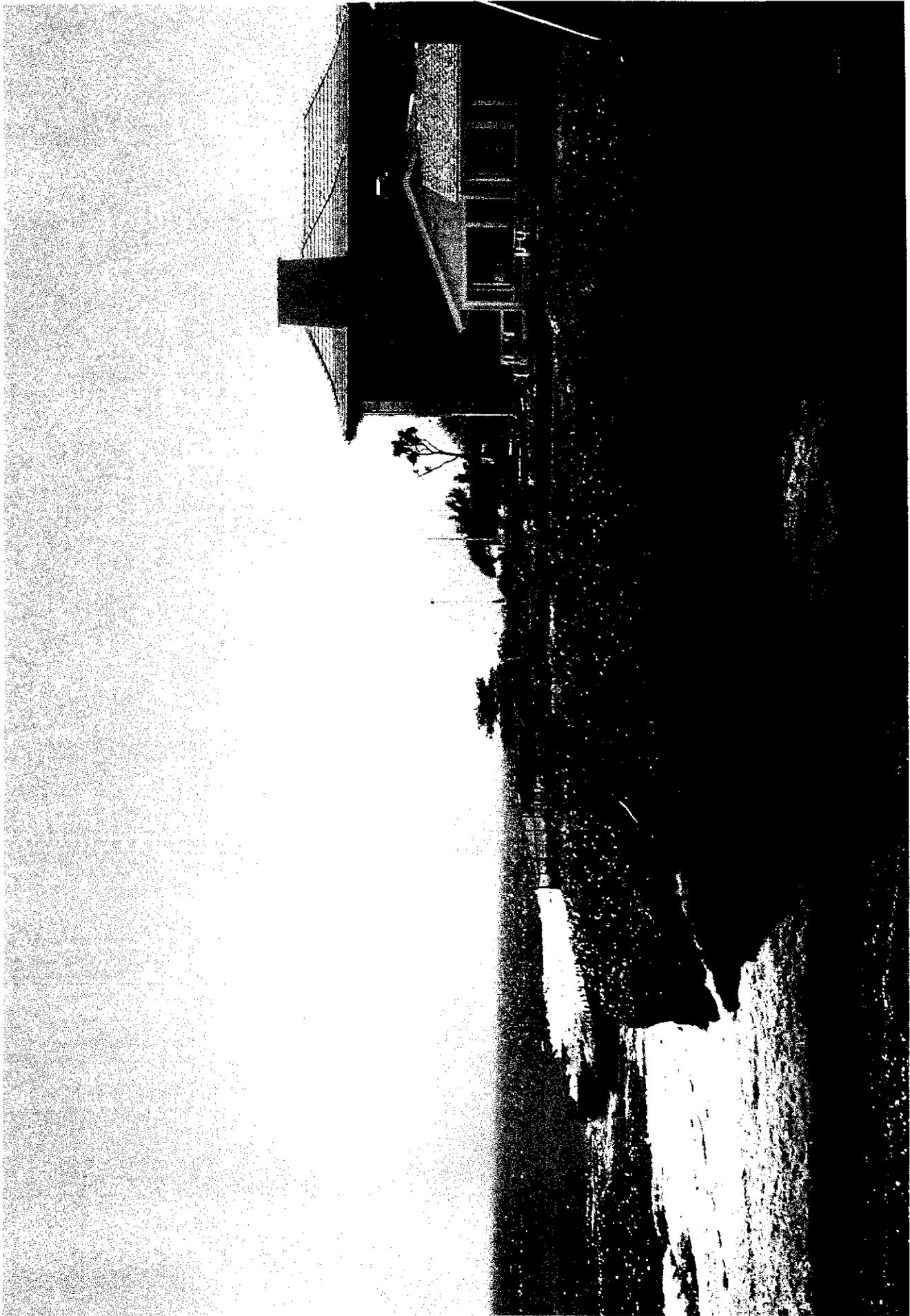


View from 14 Ave. Beach

Proposed Willmott Residence Location



Existing View from 24th Ave. Beach



Existing View from the end of Sunny Cove Ave.

8/28/05

Larry Kasparowitz
Santa Cruz County Planning Department
710 Ocean Street, Rm. 700
Santa Cruz, CA 95060

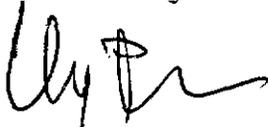
Re: Willmott Residence, 100 Geoffroy Dr., APN 028-143-43, Appl.#02-0548

Dear Larry,

This letter is a *summary* of the items requested by the Zoning Administrator at the 7/15/05 coastal hearing for Appl.#02-0548.

1. Geology, East side setback and Wine Cellar: Hans Nielsen, the project geologist has written a letter (attached) addressing the ZA's concern regarding the bluff setback on the east side and the wine cellar located on the west side below the stairs. Mr. Nielsen confirmed that he has approved the current plans that have been submitted as a part of this application. Please note that these are the plans that were approved by the County Geologist, Joe Hanna prior to the first hearing.
2. Side Setback Variance: The floor plan has been redesigned and the size reduced to address the side setbacks of five feet on both sides to five feet on the east side and eight feet on the west side. Both setbacks are now conforming to the R-1-6 zone district and eliminate the need for a side setback variance. An attempt was made to reverse the setbacks for the garage and to relocate the garage doors and driveway to the east side. This was not feasible because the configuration of the property lines on the east side would require an S shaped driveway that will not allow a proper turning radius into the garage doors (see attached drawing). To mitigate the neighbor's concern for the proximity of the garage to their bedroom, no windows or doors in the garage will be placed directly adjacent to the bedroom windows.
3. Visual Impact Buffer (building, roofline, windows and color): As per the suggestion of Dan Carl at the California Coastal Commission, story poles and photo studies were done and reviewed by interested neighbors. As a result, the structure was redesigned to set back the upper floor six feet behind the lower floor, visually reducing the appearance of the home from the beach. The windows are to be non-reflective glass. The roof pitch has been minimized and reduces the height to several feet below the height allowed by the zoning ordinance. A color board is attached with colors reflecting the coastal environment.
4. "At Cost Fees": The receipt is attached for payment of the \$1500.00 at cost fee as requested by the ZA.

This concludes the *summary of the* modifications requested by the Zoning Administrator according to my notes. If any additional information is required please contact me and I will address it immediately.



Yours Very Truly,
Wayne Miller
Applicant/Designer

EXHIBIT

0

NIELSEN and ASSOCIATES

ENGINEERING GEOLOGY AND COASTAL CONSULTING

23 August 2005

Job No. SCr-1056-C

Graham and Pamela Willmott
100 Geoffroy Drive
Santa Cruz, CA 95062

SUBJECT: Comments on a proposed basement/wine cellar and the geologically defined building setback on the east side of the property.

REFERENCE : 100 Geoffroy Drive, Santa Cruz County, California, APN 028-212-14 & 15

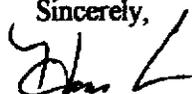
Dear Mr. and Mrs. Willmott:

We were contacted by your designer, Wayne Miller, in regards to clarification of two issues associated with the plans for your new home, clarifications that Don Bussey of the Santa Cruz County Planning Department was asking for.

The first issue involves a small proposed basement/wine cellar on the west side of the home. We understand that the excavation for the basement will only be about seven feet below existing grade and will therefore be located almost entirely within the terrace deposits. The basement is located within the designated building envelope. It is also sufficiently far enough back from the bluff edge that it will not be affected by the sea cave on this side of the property.

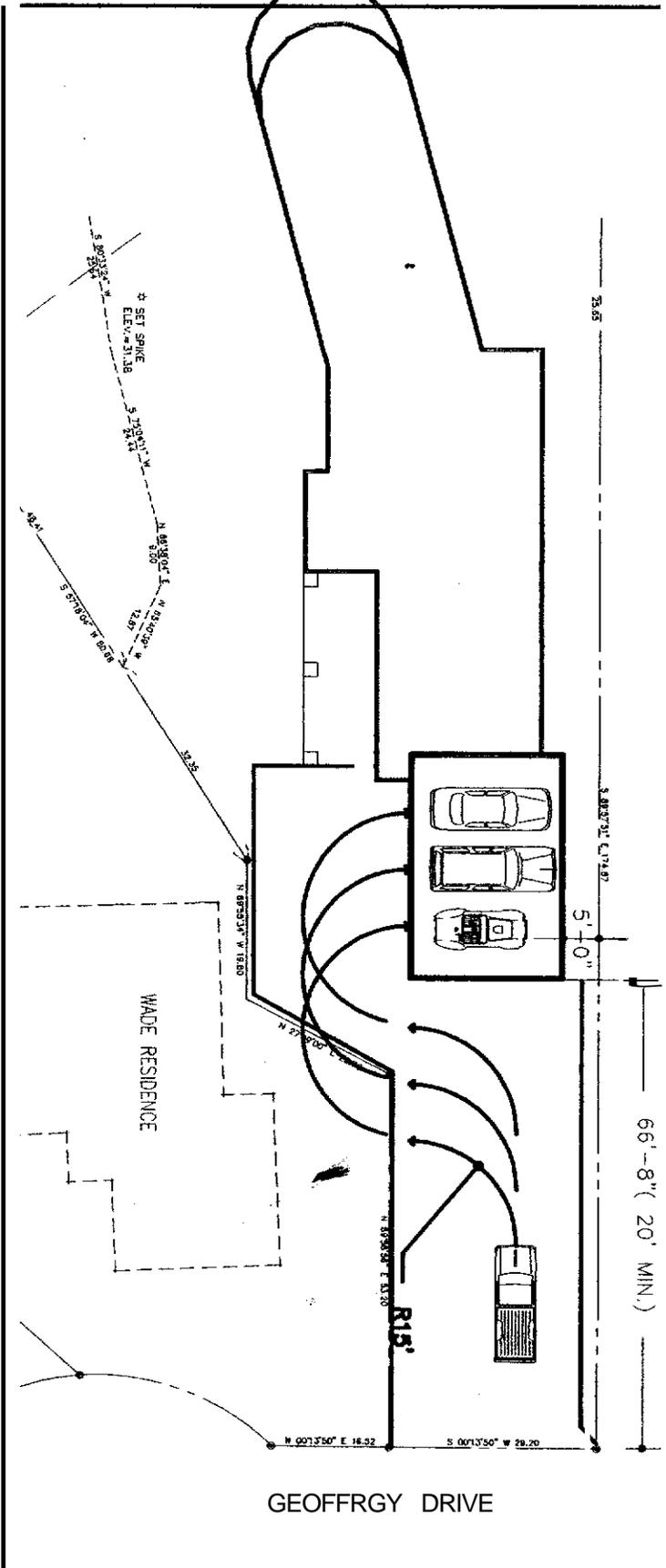
In regards to the building setback on the east side of the property, we designated it as the minimum required 25 feet since there is a concrete sea cave plug on this side of the property that has virtually reduced the erosion rate to near zero. This is because the primary cause of bluff retreat in the vicinity is undercutting of the bedrock by wave action with subsequent collapse of the upper part of the bluff above undercuts. The concrete sea cave plug has mitigated erosion of the bedrock, and therefore bluff retreat has been reduced.

Sincerely,

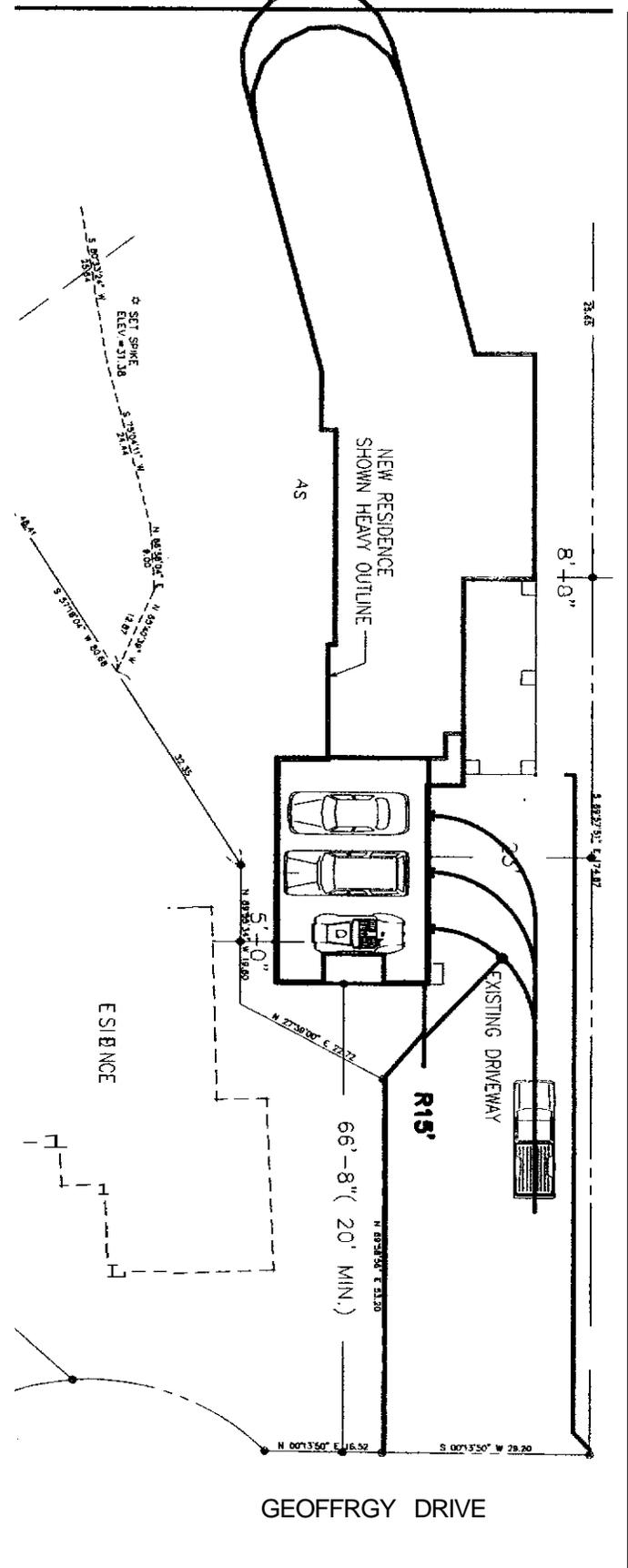


Hans Nielsen
C.E.G. 1390





GEOFFRGY DRIVE



GEOFFRGY DRIVE

EXHIBIT

3