



Staff Report to the Zoning Administrator

Application Number: **101022**

Applicant: Marty Fiorovich
Owner: William & Suzanne Lyons
APN: 052-291-03

Agenda Date: 6/17/11
Agenda Item #: 2
Time: After 10:00 a.m.

Project Description: Proposal to construct a detached habitable accessory structure (approximately 780 square feet) and a garage (approximately 660 square feet), provide grading of approximately 170 cubic yards, and foundation upgrades to an existing single family dwelling.

Location: Project is located on the south side of Shearwater Lane, about 250 feet northwest of the intersection with Puffin Lane. (40 Shearwater Lane)

Supervisory District: 2nd District (District Supervisor: Ellen Pirie)

Permits Required: Coastal Development Permit, Residential Development Permit

Technical Reviews: Soils Report Review, Biotic Assessment

Staff Recommendation:

- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 101022, based on the attached findings and conditions.

Exhibits

- | | |
|---|-------------------------------------|
| A. Project plans | E. Assessor's, Location, Zoning and |
| B. Findings | General Plan Maps |
| C. Conditions | F. Comments & Correspondence |
| D. Categorical Exemption (CEQA determination) | |

Parcel Information

Parcel Size:	11,100 square feet
Existing Land Use - Parcel:	Single family dwelling
Existing Land Use - Surrounding:	Single family residential, Beach
Project Access:	Shearwater Lane
Planning Area:	San Andreas
Land Use Designation:	R-UL (Urban Low Density Residential)

Zone District: SU (Special Use)
Coastal Zone: X Inside Outside
Appealable to Calif. Coastal Comm. X Yes No

Environmental Information

Geologic Hazards: Beach/wave run-up zone
Soils: Report reviewed and accepted
Fire Hazard: Not a mapped constraint
Slopes: 2-5%
Env. Sen. Habitat: Mapped resource - beach dune
Grading: 170 cubic yards (cut)
Tree Removal: No trees proposed to be removed
Scenic: Beach viewshed
Drainage: Existing drainage adequate
Archeology: Not mapped/no physical evidence on site

Services Information

Urban/Rural Services Line: X Inside (RSL) Outside
Water Supply: City of Watsonville
Sewage Disposal: Pajaro Dunes/City of Watsonville
Fire District: Pajaro Valley Fire Protection District
Drainage District: Zone 7 Flood Control District

Project Setting

The subject property is located on the southwest side of the cul-de-sac of Shearwater Court in Pajaro Dunes. The portion of the property adjacent to the cul-de-sac is currently undeveloped and an existing residence is located on the west side of the parcel closest to the beach. The residence is located above the level of the beach adjacent to a rock rip-rap slope protection structure. The property is covered with dune grasses and similar coastal vegetation associated with a sand substrate. Surrounding properties are developed with single family dwellings.

Zoning & General Plan Consistency

The subject property is a parcel of approximately 11,100 square feet, located in the SU (Special Use) zone district, a designation which allows residential uses when combined with a residential General Plan land use designation. The construction of the proposed accessory structure is an allowed use within the zone district and is ancillary to the principal permitted single family residential use. The zoning is consistent with the site's (R-UL) Urban Low Density Residential General Plan designation.

Accessory Structure

This proposal is for the construction of a detached habitable two bedroom, one bathroom accessory structure with a garage, on site with an existing single family dwelling. The inclusion of a bathroom within a habitable accessory structure requires a residential development permit. Given the layout of the property and the desire to construct additional bedrooms without modifying the existing residence, a bathroom has been proposed within the accessory structure. A declaration of restriction will be required to restrict the use and rental of the accessory structure and this structure will not be allowed to be rented separately from the primary dwelling.

As a result of the project, the total bedroom count will be 5 bedrooms and 4 off-street parking spaces will be provided consistent with County Code. The structure will comply with all required site standards and the proposed design has been reviewed and approved by the Pajaro Dunes homeowners association.

Local Coastal Program Consistency & Design Review

The proposed accessory structure is in conformance with the County's certified Local Coastal Program, in that the project site is located between the shoreline and the first public road, with public beach access nearby at Palm State Beach on West Beach Road. The property is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

The proposed structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the existing single family dwelling and the surrounding neighborhood. The proposed structure will be located on site with an existing single family residence, with matching colors and materials, resulting in a consistent style of architecture on the subject property. Developed parcels in the area contain single family dwellings and accessory structures. Size and architectural styles vary in the area, and the design has been reviewed and approved by the Pajaro Dunes homeowners association.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **101022**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available

for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

Report Prepared By: Randall Adams
Santa Cruz County Planning Department
701 Ocean Street, 4th Floor
Santa Cruz CA 95060
Phone Number: (831) 454-3218
E-mail: randall.adams@co.santa-cruz.ca.us



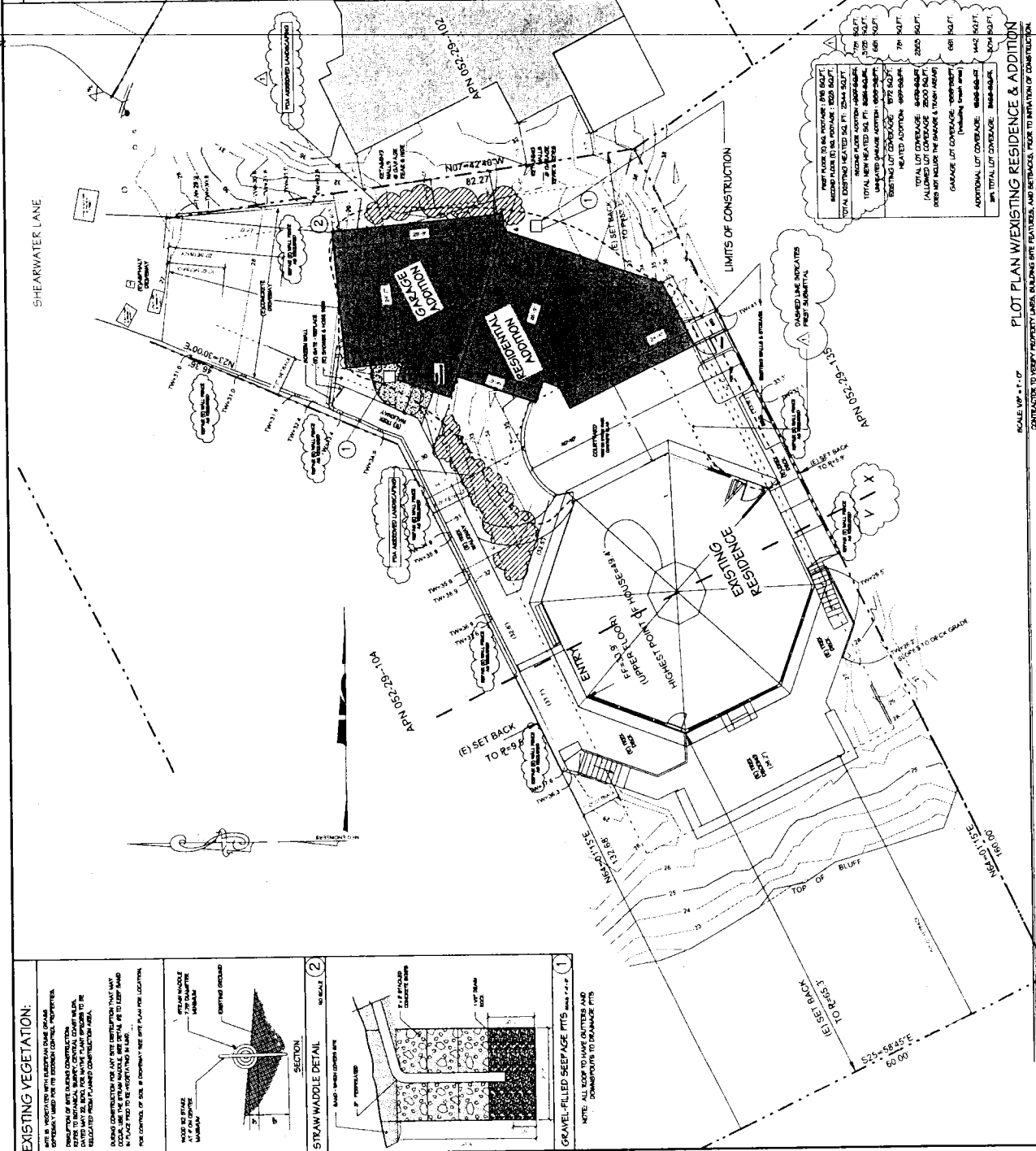
Martha A. Fiorovitch AIA, Architect
11 Marston Way
Watsonville, CA 95076
APN: 052-29-103

40 SHEARWATER LANE
PAJARO DUNES
WATSONVILLE, CA 95076
APN: 052-29-103

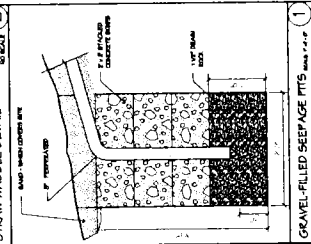
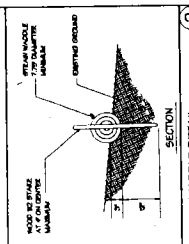
RESIDENTIAL REMODEL
PLOT PLAN

1
SHEET

TABLE OF CONTENTS	
1. PLOT PLAN/VICINITY MAP - 1/8" SCALE	
1/1. TOPOGRAPHIC MAP - 1/8" SCALE	
2. (E) FLOOR PLANS - 1/8" SCALE	
3. FLOOR PLAN ADDITION - 1/8" SCALE	
4. ROOF PLAN ADDITION - 1/8" SCALE	
5. EXTERIOR ELEVATIONS & SECTIONS - 1/8" SCALE	
PROJECT DESCRIPTION	
BEDROOM, BATHROOM, FAMILY ROOM & GARAGE ADDITION W/ COURTYARD, HOT TUB W/ SCREENING & REAR YARD.	
PROJECT DATA	
2548 ACRES	11,000 SQ. FT.
(E) BLDG LOT COVERAGE:	1872 SQ. FT.
ADDITIONAL COVERAGE:	791 SQ. FT.
BLDG LOT COVERAGE:	2489 SQ. FT.
DOES NOT INCLUDE GARAGE:	2500 SQ. FT.
ALLOWED BLDG LOT COVERAGE:	2500 SQ. FT.
DOES NOT INCLUDE GARAGE:	2500 SQ. FT.
GARAGE & TRASH ENCLOSURE:	684 SQ. FT.
BLDG LOT COVERAGE:	5968 SQ. FT.
(N) BLDG LOT COVERAGE:	304 SQ. FT.
ADDITIONAL IMPERVIOUS AREA:	22%
ADDITIONAL IMPERVIOUS AREA:	1880 SQ. FT.
GRAVING EXPORT:	APPROX. 770 CU YDS.
NOTES: CONSTRUCTION	
NOTE ON LIMITS OF CONSTRUCTION	
PROVIDE FINISHING WORK, PROPERTY LINES, AND ALIAS CENSUS SETBACK REAR FENCE TO START OF CONSTRUCTION.	
ANY CONSTRUCTION WORK, DATES AND TIMES, TO COMPLY WITH PAJARO DUNES ASSOCIATION RULES, VERIFY.	
GEOTECHNICAL ENGINEER NOTIFICATION:	
THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED AT LEAST (4) WEEKS PRIOR TO ANY SITE CLEARING OR GRADING, AND ALL WORK SHALL BE IN ACCORDANCE WITH THE ENGINEER'S RECOMMENDATIONS. THE ENGINEER'S RECOMMENDATIONS SHALL BE PLACED AND CONCRETE IS REQUIRED.	
REFER TO SOILS REPORT DATED 10/20/07 FOR ALL RECOMMENDATIONS. PROJECT NO. 052-29-103 FOR ALL RECOMMENDATIONS.	
ALL CONSTRUCTION SHALL COMPLY WITH THE RECOMMENDATIONS OF THE REPORT.	
BIOTIC STUDY:	
REFER TO BOTANICAL SURVEY, CENTRAL COAST WILDLIFE DATED MAY 22, 2007 FOR ALL RECOMMENDATIONS. THE REPORT SHALL BE PLACED AND CONCRETE IS REQUIRED.	
VICINITY MAP	



EXISTING VEGETATION:
SITE IS VEGETATED WITH SUBSTANTIAL GRASS. VEGETATION IS TO BE REMOVED FOR CONSTRUCTION. REMOVAL OF VEGETATION SHALL BE COMPLETED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF REMAINING VEGETATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF REMAINING VEGETATION.



SCALE: 1/8" = 1'-0"
CONTRACTOR TO VERIFY PROPERTY LINES, BUILDING SETBACKS, AND SETBACKS PRIOR TO INITIATION OF CONSTRUCTION.
ALL SITE INFORMATION FROM TOPOGRAPHIC MAP, AIRCRAFT PHOTOGRAPHY, & FIELD SURVEY.

APN 052-29-102	APN 052-29-102
APN 052-29-102	APN 052-29-102
APN 052-29-102	APN 052-29-102



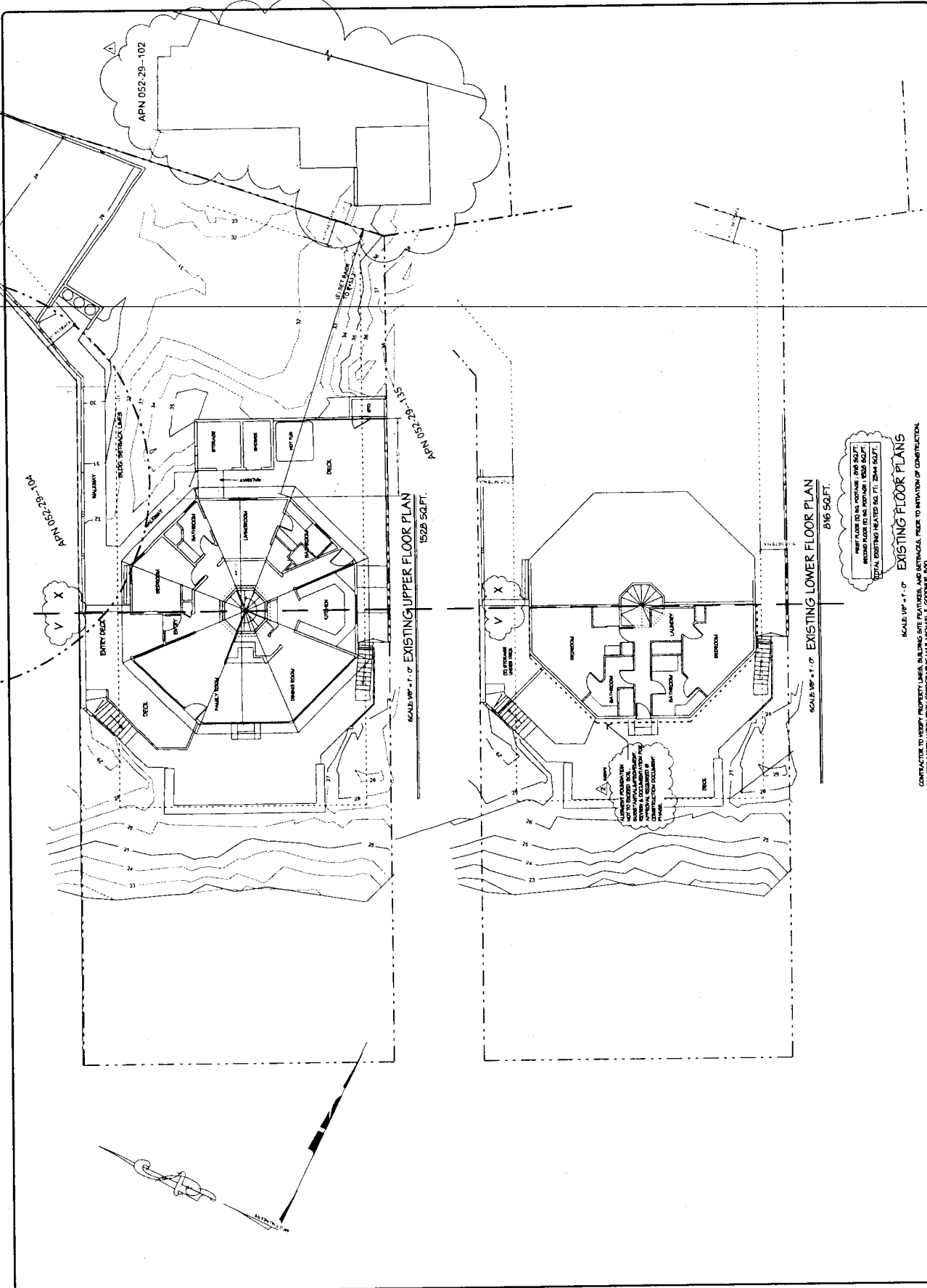
Martha A. Florovich AIA, Architect
 251-724-1075
 Watsonville, CA 95076
 11 Leggett Way

40 SHEARWATER LANE
 PAJARO DUNES
 WATSONVILLE, CA 95076
 APN: 052-29-102

EXISTING FLOOR PLANS
 RESIDENTIAL REMODEL

DATE	APPROVED
JUNE 2007	AS NOTED

2



EXISTING FLOOR PLANS
 SCALE: 1/8" = 1'-0"
 CONTRACTOR TO VERIFY PROPERTY LINES, BUILDING SITE FEATURES, AND SETBACKS PRIOR TO INITIATION OF CONSTRUCTION.
 ALL SITE INFORMATION FROM TOPOGRAHY MAP, METRELL, 1/2" = 1" = 100' SCALE.



Martha A. Fiorovich A.P.A. ARCHITECT
WATSONVILLE, CA 95076
951-724-1079

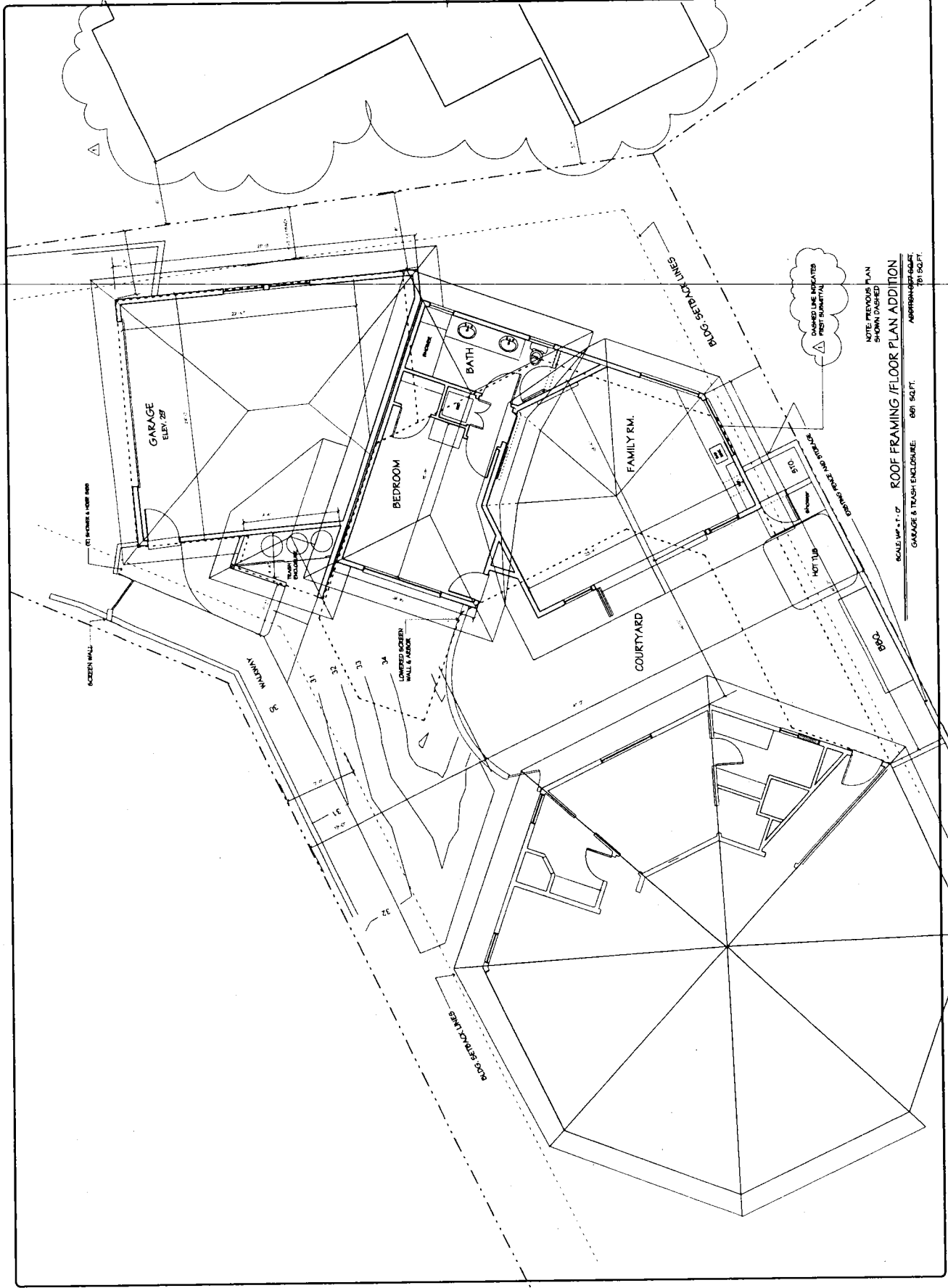
40 BHEARWATER LANE
PALARO DUNES
WATSONVILLE, CA 95076
APN: 052-291-03

FLOOR PLAN ADDITION
RESIDENTIAL REMODEL

DATE: 06/01/00
DRAWN BY: J.A.M.
CHECKED BY: M.A.F.

4

NOTE: DO NOT SCALE ANY DIMENSIONS. THE DIMENSIONS SHOWN SHALL PREVAIL OVER ANY DIMENSIONS INDICATED BY THE GRAPHICAL REPRESENTATION.



NOTE: PREVIOUS PLAN SHOWN DASHED
SCALE: 1/4" = 1'-0"
GARAGE & TRASH ENCLOSURE: 6'0" x 5'0"
HOT TUB: 6'0" x 4'0"
DISH: 4'0" x 4'0"
STAIRS: 4'0" x 2'0" x 10'0" (10'0" x 4'0")
DASHED LINE INDICATES FIRST SUBMITTAL



Martha A. Florovich AIA, Architect
WATSONVILLE, CA 95076
503-724-1076

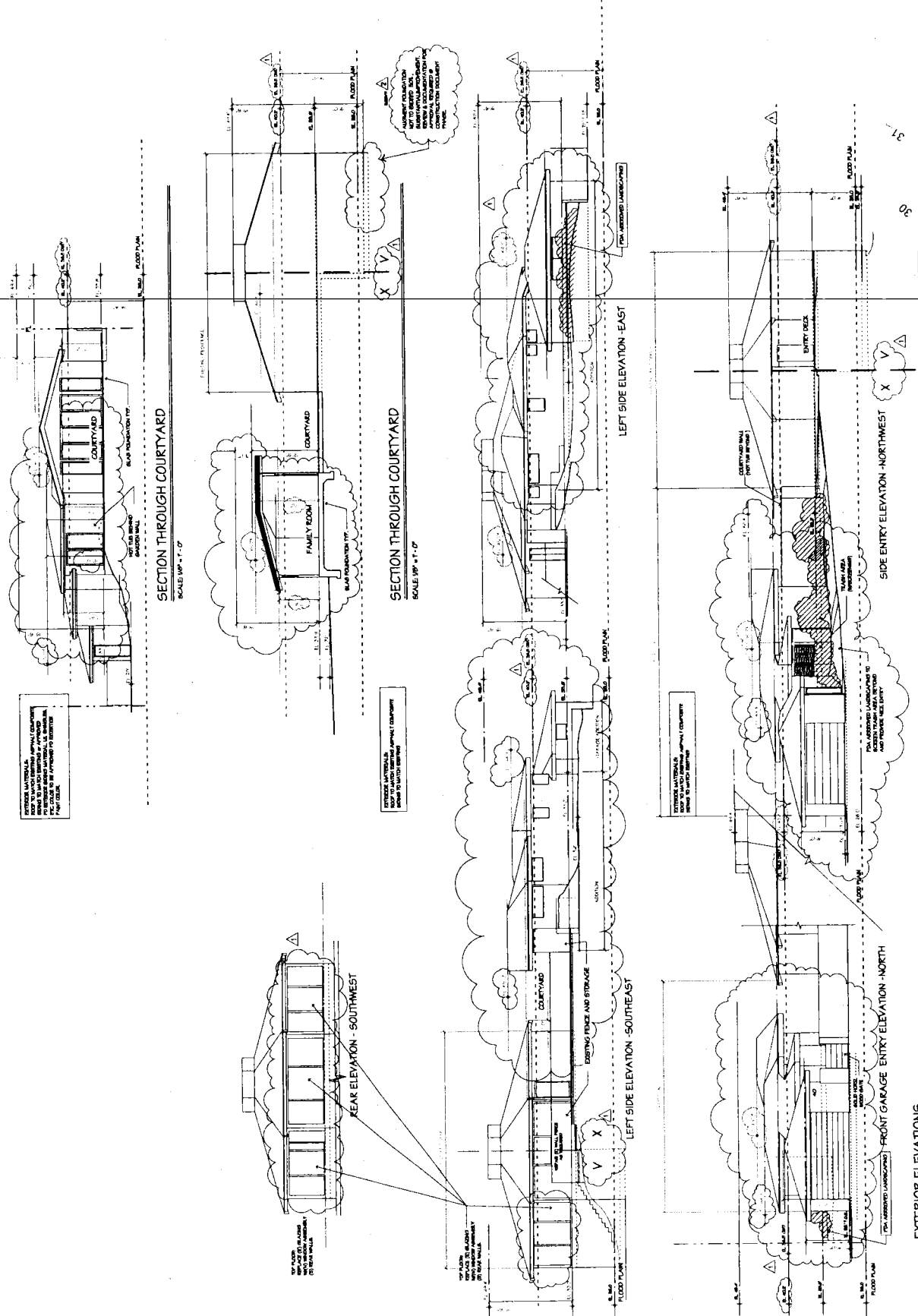
40 SHEARWATER LANE
PAJARO DUNES
WATSONVILLE, CA 95076
APN: 052-291-03

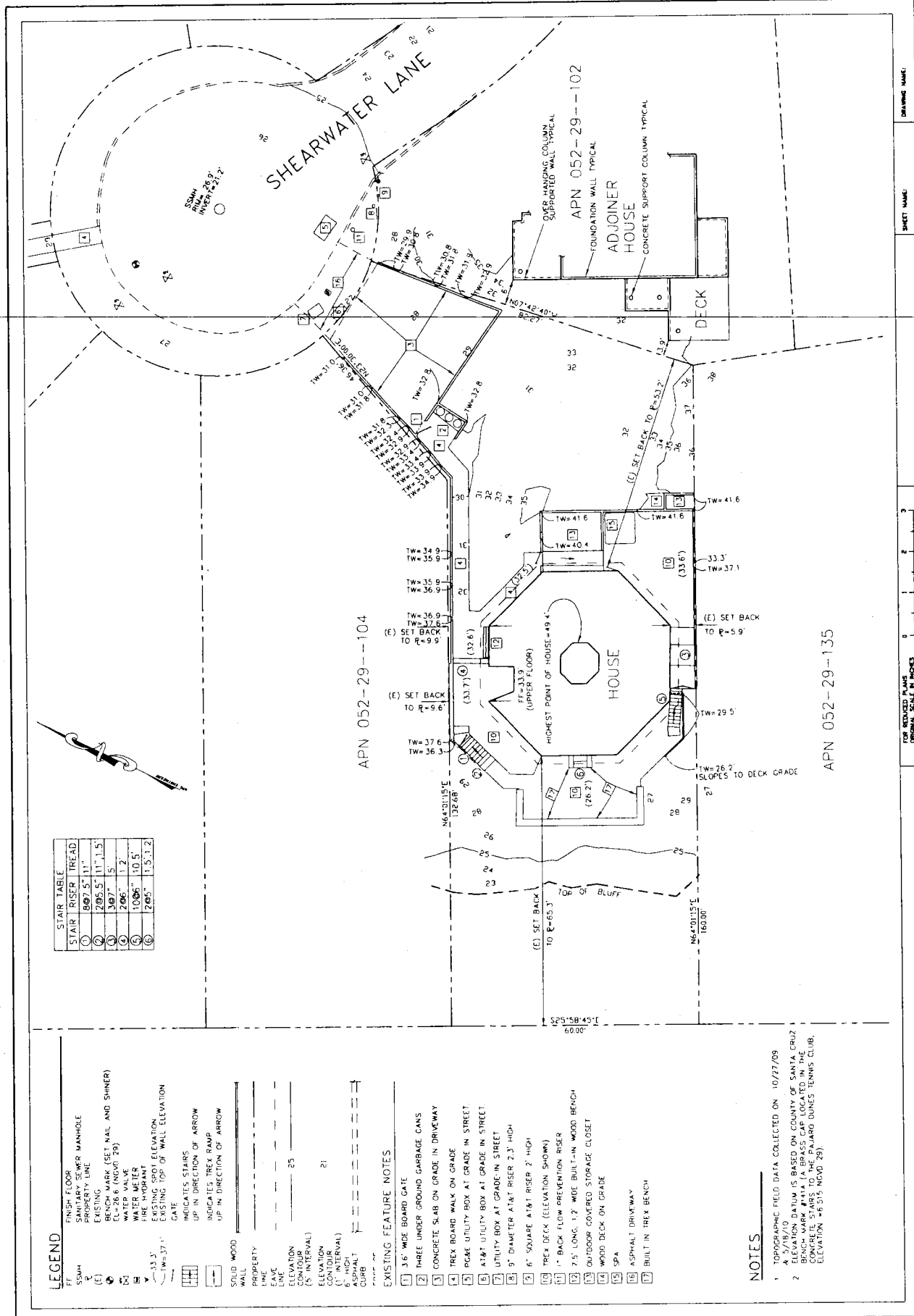
RESIDENTIAL REMODEL
EXTERIOR ELEVATIONS
STRUCTURAL SECTIONS

DATE: 01/11/2020
SCALE: AS NOTED

5

NOTE: DO NOT SCALE ANY DRAWINGS. USE DIMENSIONS GIVEN. ALL DIMENSIONS AND NOTES ARE SUBJECT TO ANY DISCREPANCIES.





Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts, other than the Special Use (SU) district, listed in section 13.10.170(d) as consistent with the General Plan and Local Coastal Program LUP designation.

This finding can be made, in that the property is zoned SU (Special Use), a designation which allows residential uses when combined with a residential General Plan land use designation. The proposed dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's (R-UL) Urban Low Density Residential General Plan designation.

-
2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to section 13.20.130 et seq.

This finding can be made, in that the development is consistent with the architectural styles of the structures within the surrounding neighborhood in terms of architectural style. Additionally, the construction of the accessory structure will be located behind the existing residence (away from the beach) within the existing subdivision.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the General Plan and Local Coastal Program land use plan, specifically Chapter 2: figure 2.5 and Chapter 7, and, as to any development between and nearest public road and the sea or the shoreline of any body of water located within the coastal zone, such development is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act commencing with section 30200.

This finding can be made, in that, while the project site is located between the shoreline and the first public road, public beach access is provided nearby at Palm State Beach on West Beach Road. Consequently, the dwelling will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

5. That the proposed development is in conformity with the certified local coastal program.

This finding can be made, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the SU (Special Use) zone district of the area, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings and accessory structures. Size and architectural styles vary in the area, and the design has been reviewed and approved by the Pajaro Dunes homeowners association.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. The proposed structure will not deprive adjacent properties or the neighborhood of light, air, or open space, in that the structure meets all current setbacks that ensure access to light, air, and open space in the neighborhood.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the accessory structure and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the SU (Special Use) zone district. The primary use of the property will continue to be one single family dwelling and the proposed accessory structure will meet all current site standards for the zone district.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the Urban Low Density Residential (R-UL) land use designation in the County General Plan.

The proposed accessory structure will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, in that it will meet all current site and development standards for the zone district intended to protect neighboring parcels from the effects of offsite development, and as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the dwelling will not adversely shade adjacent properties, and will meet current setbacks for the zone district that ensure access to light, air, and open space in the neighborhood.

The proposed dwelling and accessory structure will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed accessory structure will comply with the site standards for the SU zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed structure is accessory to the existing single family dwelling. The expected level of traffic is anticipated to remain at only one peak trip per day (1 peak trip per dwelling unit) and such an increase will not adversely impact existing roads and intersections in the surrounding area.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.
-

This finding can be made, in that the proposed accessory structure is located in a mixed neighborhood containing a variety of architectural styles, is compatible with that range of styles, and is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed structure will be on site with an existing single family residence, with matching colors and materials, resulting in a consistent style of architecture on the subject property.

Conditions of Approval

Exhibit A: Project Plans "Residential Remodel - 40 Shearwater Lane", prepared by Martha A. Fiorovich A.I.A, 6 sheets, revised 3/28/11.

- I. This permit authorizes the construction of an accessory structure (to include two bedrooms, a bathroom, and a garage) and foundation upgrades, as indicated on the approved Exhibit "A" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - C. Obtain a Grading Permit from the Santa Cruz County Building Official.
 - D. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder) within 30 days from the effective date of this permit.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. Any changes from the approved Exhibit "A" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material board in 8 1/2" x 11" format for Planning Department review and approval.

- a. The colors and materials shall be consistent with the existing colors and materials on the existing single family dwelling.
2. Label the proposed accessory structure as "Habitable Accessory Structure" and "Garage".
3. Grading, drainage, and erosion control plans.
 - a. Include all details requested by Environmental Planning and Department of Public Works Drainage staff.
4. A landscape plan for review and approval by Environmental Planning staff.
5. Details showing compliance with fire department requirements.
- B. Submit four copies of the approved Discretionary Permit with the Conditions of Approval attached. The Conditions of Approval shall be recorded prior to submittal, if applicable.
- C. Meet all requirements of and pay Zone 7 drainage fees to the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
- D. Provide evidence of approval to connect the proposed accessory structure to the existing sanitary sewer system within Pajaro Dunes.
- E. Meet all requirements and pay any applicable plan check fee of CalFire.
- F. Submit 3 copies of a plan review letter prepared and stamped by a licensed Geotechnical Engineer.
- G. Submit 3 copies of a soils report prepared and stamped by a licensed Geotechnical Engineer for the foundation upgrades.
- H. Provide the following information to Environmental Planning staff for review and approval:
 1. Submit a contractor's estimate of costs for the proposed improvements to the existing single family dwelling.
 2. Submit an appraisal from a licensed real estate appraiser for the existing structure.
- I. Pay the current fees for Parks and Child Care mitigation for 1 bedroom. Currently, these fees are, respectively, \$800 and \$109 per bedroom.

- J. Provide required off-street parking for 4 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - K. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
 - L. Complete and record a Declaration of Restriction to construct a Habitable Accessory Structure. **You may not alter the wording of this declaration.**
Follow the instructions to record and return the form to the Planning Department.
 - M. Complete and record a Declaration of Restriction to construct a Non-Habitable Accessory Structure (Garage). **You may not alter the wording of this declaration.** Follow the instructions to record and return the form to the Planning Department.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. A biologist with knowledge of the Black Legless Lizard shall be retained and shall perform on-site inspections during rough grading operations per Environmental Planning comments. A letter from the project biologist shall be provided to Environmental Planning staff at the completion of rough grading operations.
 - C. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - D. The project must comply with all recommendations of the approved soils reports.
 - E. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.
- IV. Operational Conditions
- A. In the event that future County inspections of the subject property disclose

noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
-
- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Application #: 101022
APN: 052-291-03
Owner: William & Suzanne Lyons

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Steven Guiney, AICP
Deputy Zoning Administrator

Randall Adams
Project Planner

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 101022

Assessor Parcel Number: 052-291-03

Project Location: 40 Shearwater Lane, Watsonville

Project Description: Proposal to construct a detached accessory structure and associated improvements

Person or Agency Proposing Project: Marty Fiorovich

Contact Phone Number: (831) 724-1878

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).

Specify type:

E. ☒ **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. **Reasons why the project is exempt:**

Construction of a residential accessory structure in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

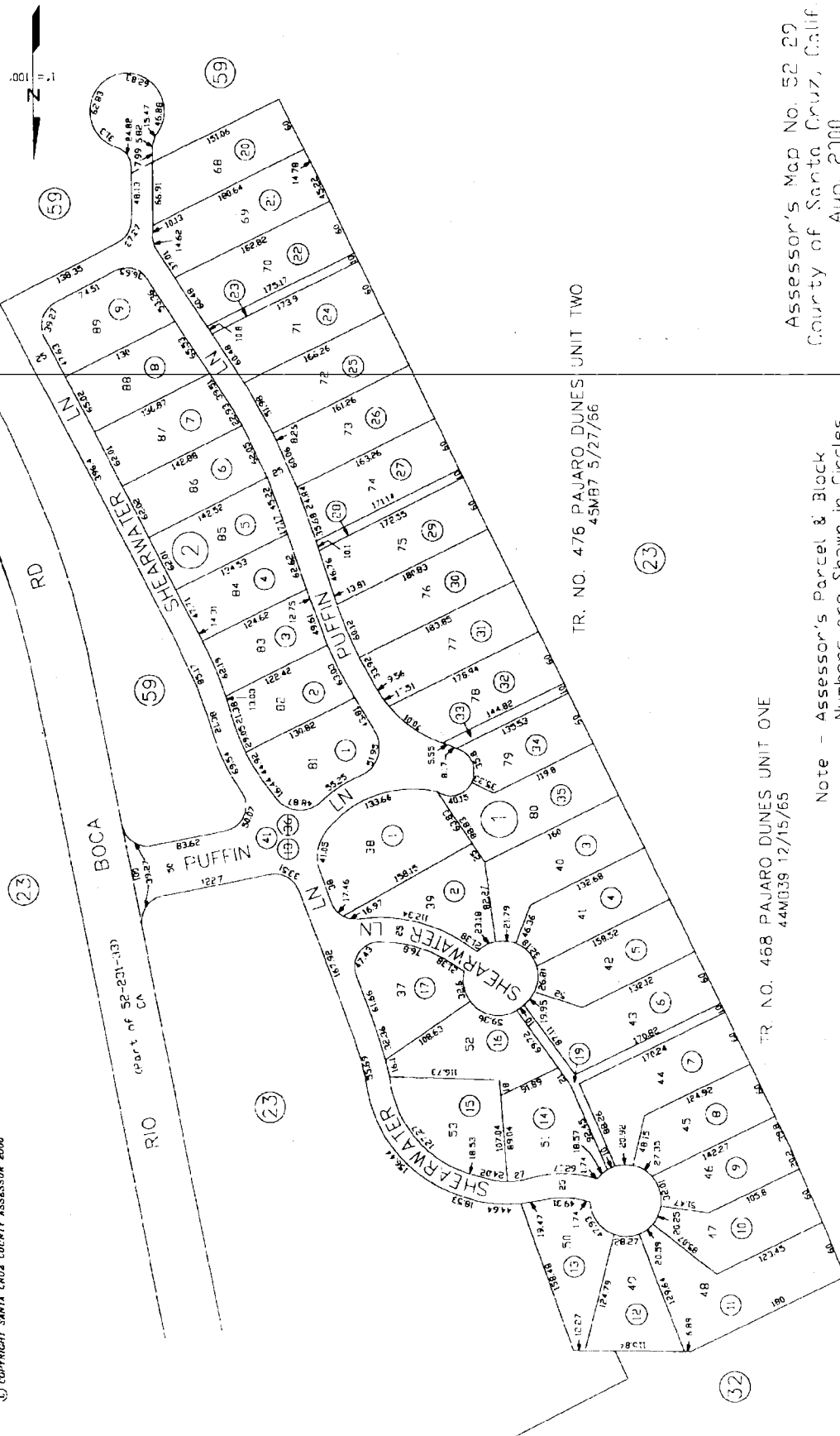
Randall Adams, Project Planner

Date: _____

FOR TAX PURPOSES ONLY
 THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY
 LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
 © COPYRIGHT SANTA CRUZ COUNTY ASSESSOR 2000

PDR. SEC. 25, T.12S., R.1E., M.D.B. & M.

Tax Area Code
 52-29
 69-261



TR. NO. 468 PAJARO DUNES UNIT ONE
 44M039 12/15/65

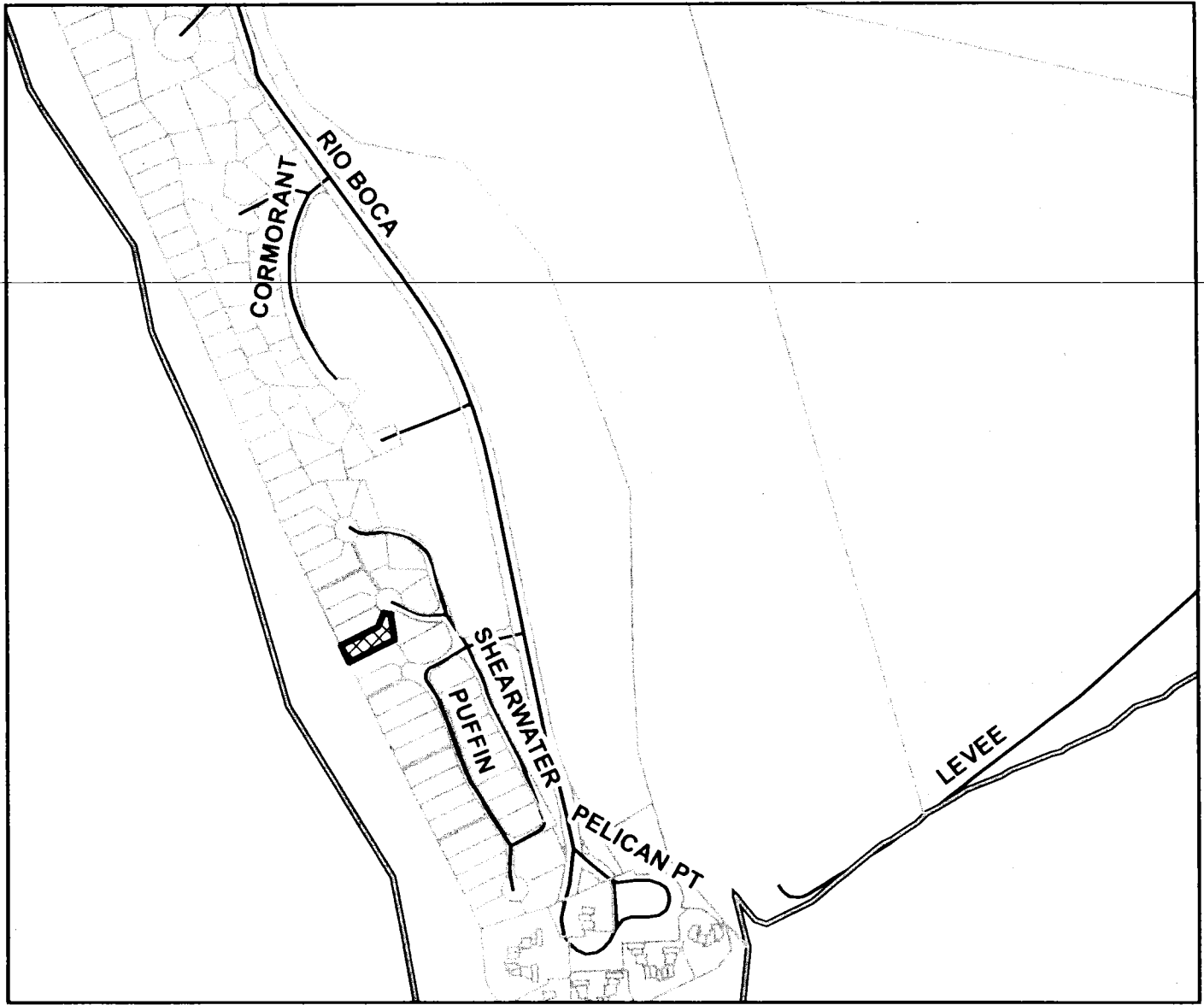
TR. NO. 476 PAJARO DUNES UNIT TWO
 45M87 5/27/66

Assessor's Map No. 52 29
 County of Santa Cruz, Calif.
 Aug. 2000






Note - Assessor's Parcel & Block
 Numbers are Shown in Circles.

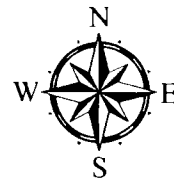


Location Map



LEGEND

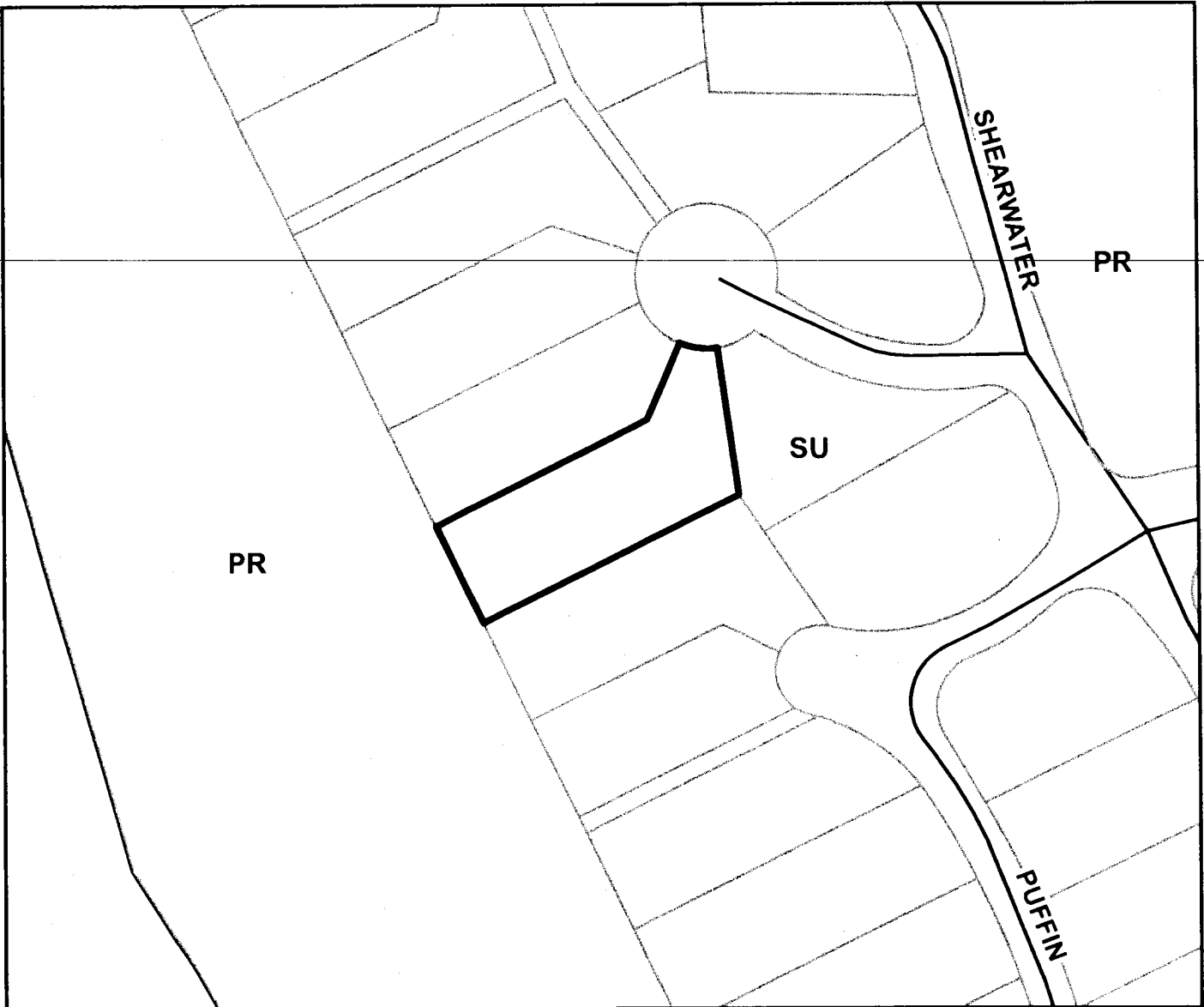
-  APN: 052-291-03
-  Assessors Parcels
-  Streets
-  County Boundary
-  Lakes



Map Created by
County of Santa Cruz
Planning Department
August 2010

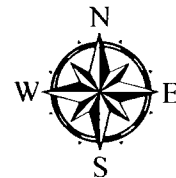


Zoning Map



LEGEND

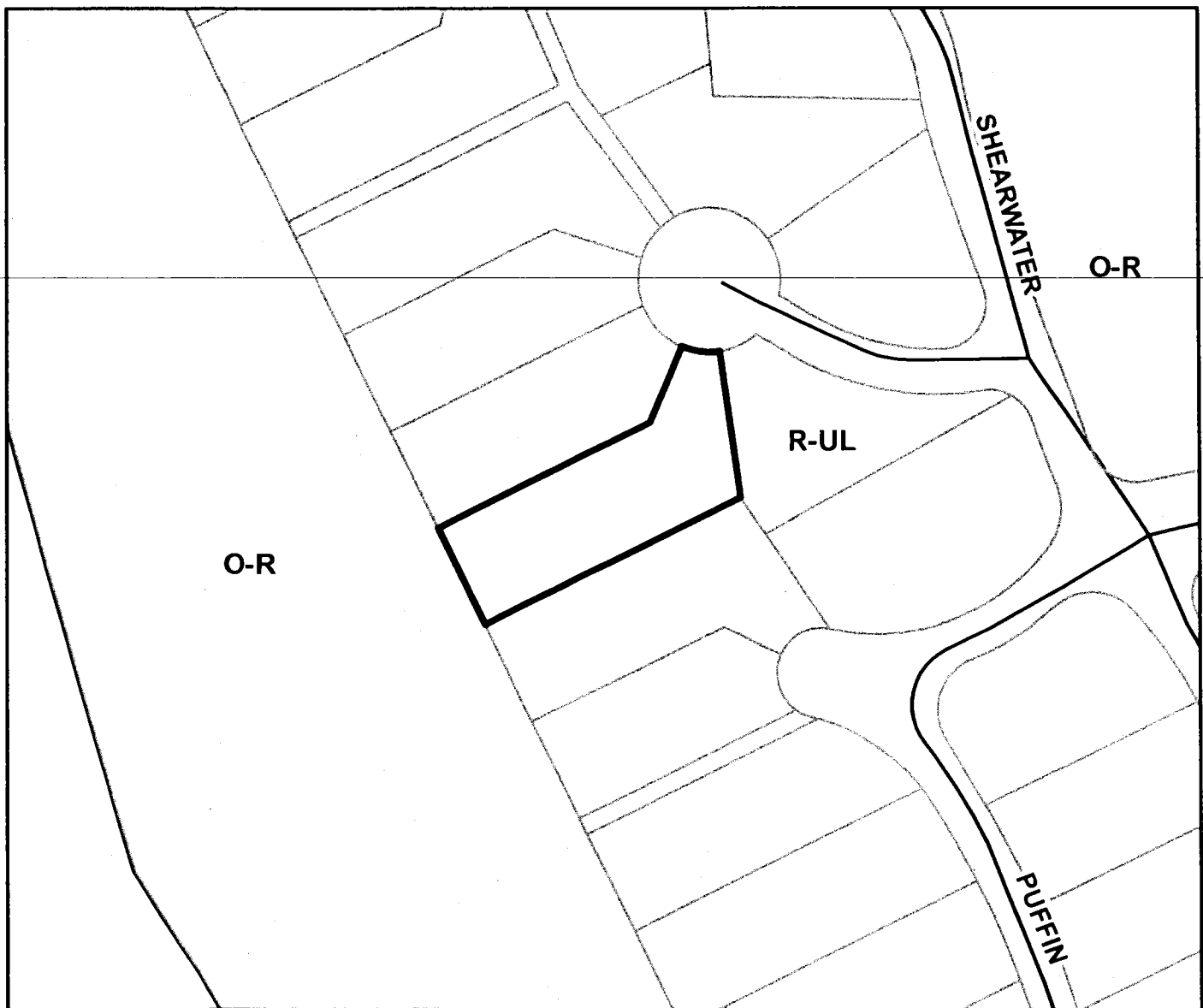
-  APN: 052-291-03
-  Assessors Parcels
-  Streets
-  County Boundary
- SPECIAL USE
- PARK



Map Created by
County of Santa Cruz
Planning Department
August 2010



General Plan Designation Map



LEGEND



APN: 052-291-03



Assessors Parcels



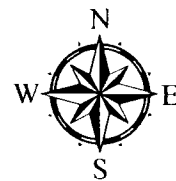
Streets



County Boundary

Residential - Urban Low Density

Parks and Recreation



Map Created by
County of Santa Cruz
Planning Department
August 2010



Discretionary Application Comments 101022

APN 052-291-03

Your plans have been sent to several agencies for review. The comments that were received are printed below. Please read each comment, noting who the reviewer is and which of the three categories (Completeness, Policy Considerations/Compliance, and Permit Conditions/Additional Information) the comment is in.

Completeness: A comment in this section indicates that your application is lacking certain information that is necessary for your plans to be reviewed and your project to proceed.

Policy Considerations/Compliance: Comments in this section indicate that there are conflicts or possible conflicts between your project and the County General Plan, County Code, and/or Design Criteria. We recommend that you address these issues with the project planner and the reviewer before investing in revising your plans in any particular direction.

Permit Conditions/Additional Information: These comments are for your information. No action is required at this time. You may contact the project planner or the reviewer for clarification if needed.

Coastal Commission Review

Routing No: 1 | Review Date: 08/09/2010

RANDALL ADAMS (RADAMS) : No Response

Drainage Review

Routing No: 1 | Review Date: 08/06/2010

GERARDO VARGAS (GVARGAS) : Complete

Application No.: 101022

G_V

8/6/2010

Completeness comments:

Application has been approved for the discretionary stage in regards to drainage.

Miscellaneous comments:

1. Please show on the plan the pipes leading to the proposed gravel pits, and indicate size.

Upon approval of the project, a drainage "Hold" will be placed on the permit and will be cleared once the construction is complete and the stormwater management improvements are constructed per the approved plans. In order to clear the Hold, one of these options has to be exercised:

1. The designer has to inspect the drainage improvements on the parcel and provide public works with a letter confirming that the work was completed per the plans. The designer's letter

EXHIBIT F



Drainage Review

Routing No: 1 | Review Date: 08/06/2010

GERARDO VARGAS (GVARGAS) : Complete

shall be specific as to what got inspected whether invert elevations, pipe sizing, the size of the mitigation features and all the relevant design features. Notes of "general conformance to plans" are not sufficient.

2. As-built plans stamped by the designer may be submitted

in lieu of the letter. The as-built stamp shall be placed on each sheet of the plans where stormwater management improvements were shown.

3. The designer may review as-built plans completed by the contractor and provide the county with an approval letter of those plans, in lieu of the above two options. The contractor installing the drainage improvements will provide the designer as-built drawings of the drainage system, including construction materials, invert elevations, pipe sizing and any modifications to the horizontal or vertical alignment of the system. The as-built drawings, for each sheet showing drainage improvements and/or their construction details, must be identified with the stamp (or label affixed to the plan) stating the contractor's name, address, license and phone #. The designer will review the as-built plans for conformance with the design drawings. Upon satisfaction of the designer that the as-built plans meet the design intent and are adequate in detail, the designer shall submit the as-built plans and a review letter, stamped by the designer to the County Public Works Department for review to process the clearance of the drainage Hold if the submittal is satisfactory.

A drainage impact fee will be assessed on the net increase in impervious area. The fees are currently \$1.06 per square foot, and are assessed upon permit issuance.

Reduced fees are assessed for semi-pervious surfacing to offset costs and encourage more extensive use of these materials.

Please call the Dept. of Public Works, Stormwater Management Section, from 8:00 am to 12:00 noon if you have questions.

Environmental Planning

Routing No: 2 | Review Date: 03/30/2011

ROBERT LOVELAND (RLOVELAND) : Complete

NOTES:

EXHIBIT F



Environmental Planning

Routing No: 2 | Review Date: 03/30/2011

ROBERT LOVELAND (RLOVELAND) : Complete

- A. The soils report and "Wave Runup Inundation Letter" from the project geotechnical engineer, dated 3/2/11, has been reviewed and accepted by the County Geologist.
- B. The proposed structures are located outside mapped flood hazard area.
- C. Lowest adjacent grade above Base Flood Elevation (BFE) per plan sheet (Sheet 2).

Conditions of Approval:

1. Submit a detailed landscaping plan for review and approval. The plan shall identify species, plant quantities, maintenance program and a success criteria shall be included.
2. A biologist with knowledge of Black Legless Lizard shall be retained and provide on-site inspections during rough grading operations. A letter report from the biologist shall be provided to the Environmental Planning Section upon completion of rough grading operations. Contact information for the biologist shall be placed on the site plan and grading plan sheets.
3. Submit a "Plan Review Letter" from the project geotechnical engineer for review and approval.
4. Submit a detailed grading/erosion control plan for review and approval.
5. Prior to building permit issuance, the labelling of the proposed structures shall read "Habitable Accessory Structure" and "Garage".

Additional "Conditions of Approval" regarding foundation upgrades to the existing home (Plan sheets 1,2 & 5) dated 3/28/11.

6. Submit a soils report from a licensed soils engineer for the proposed foundation upgrade to the existing structure.
7. Submit a licensed contractor's "cost estimate" for the proposed foundation work for the existing structure upon building application submittal.
8. Submit an appraisal from a licensed real estate appraiser for the existing structure only upon building application submittal.

IMPORTANT NOTE: Should at anytime the proposed foundation upgrade, or any additional work to the existing structure result in meeting the definition of "Substantial Improvement" (County Code Section 16.10.040) the following information will be required:

Contact the Zoning Section of the Planning Department to determine whether an application for an "Amendment" or "Minor Variation" would be required.

A "Flood Geologic Hazards Assessment" shall be applied for and completed prior to additional work being completed.

The entire structure will need to adhere to all applicable "Federal Emergency Management Agency" (FEMA) rules and regulations.

A pest report from a licensed applicator shall be provided.

Fire Review

Routing No: 1 | Review Date: 08/12/2010

EXHIBIT F



County of Santa Cruz, PLANNING DEPARTMENT

Discretionary Application Comments 101022

APN 052-291-03

Fire Review

RANDALL ADAMS (RADAMS) : Incomplete

OFFICE OF THE FIRE MARSHAL

SANTA CRUZ COUNTY FIRE DEPARTMENT / *CALFIRE*

CAL FIRE

SAN MATEO-SANTA CRUZ UNIT

6059 HIGHWAY 9

P.O. DRAWER F-2

FELTON, CA 95018

Phone (831) 335-6748

Fax # (831) 335-4053

JOHN FERREIRA

FIRE CHIEF

Date: 8/12/10

Planning Department

County of Santa Cruz

Attention: Name

701 Ocean Street

Santa Cruz, CA 95060

Subject: APN: 052-291-03 / Appl #101022
Address: 40 SHEARWATER LN

Dear Name: MARTY FIOROVICH

The Santa Cruz County Fire Marshals Office has reviewed the plans for the above cited project and has the following objections as presented.

- Any other requirements will be addressed in the Building Permit phase.
- Plan check is based upon plans submitted to this office. Any changes or alterations shall be re-submitted for review prior to construction.

EXHIBIT F



Fire Review

Routing No: 1 | Review Date: 08/12/2010

RANDALL ADAMS (RADAMS) : Incomplete

In order to obtain building application approval, recommend you have the DESIGNER add appropriate NOTES and DETAILS showing the following information **on the plans that are submitted for BUILDING PERMIT**.

NOTE on the plans "these plans are in compliance with California Building and Fire Codes (2007 edition) and Santa Cruz County Amendments".

SHOW on the plans a public fire hydrant within 600 feet of any portion of the building meeting the minimum required fire flow for the building. Hydrant shall be on a fire apparatus access road, as measured by an approved drivable route around the exterior of the facility or building.

If the public fire hydrant is further than 600 feet from any portion of the building, a new fire hydrant will be required. Note on the plans "**the new hydrant shall be installed and made serviceable prior to and during the time of construction**".

Each APN (lot) shall have separate submittals for building and sprinkler system plans.

NOTE on the plans "all underground piping systems shall comply with the County Standard FPO-006 and shall require plan submittal and permit approval prior to installation. The standard is available at the Santa Cruz County Fire Marshals Office upon request".

NOTE on the plans "All buildings shall be protected by an approved automatic fire sprinkler system complying with the currently adopted edition of NFPA 13-D, and adopted standards of Santa Cruz County."

NOTE on the plans "An automatic sprinkler system shall be provided in Group R Division 3 dwellings when a building permit is issued to allow additions to be made to increase the total existing square footage by more than 50%. Additions 500 square feet and less are exempt from fire sprinkler requirements unless the structure is already protected by a fire sprinkler system."

NOTE on the plans "the designer/installer shall submit three (3) sets of plans and calculations for the underground and overhead Residential Automatic Fire Sprinkler System to this agency for approval."

NOTE on the plans "an UNDERGROUND FIRE PROTECTION SYSTEM WORKING DRAWING must be prepared by the designer/installer. The plans shall comply with the UNDERGROUND FIRE PROTECTION SYSTEM INSTALLATION POLICY HANDOUT. Underground plan submittal and permit, will be issued to a Class B, Class C-16, Class C-36 or



Fire Review

Routing No: 1 | Review Date: 08/12/2010

RANDALL ADAMS (RADAMS) : Incomplete

owner/builder. No exceptions."

SHOW on the plans where the smoke detectors are to be installed according to the following locations and approved by this agency as a minimum requirement.

One detector adjacent to each sleeping area (hall, foyer, balcony, or etc.)

One detector in each sleeping room.

One at the top of each stairway of 24" rise or greater and in an accessible location by a ladder.

There must be at least one smoke detector on each floor level regardless of area usage.

There must be a minimum of one smoke detector in every basement area.

When a fire alarm system is proposed in lieu of 110V/battery backup smoke detectors, a separate fire alarm permit and fee is required by the Santa Cruz County Fire Marshals Office. **NOTE** on the plans, "three sets of fire alarm plans shall be submitted and approved prior to commencing work."

NOTE on the plans "building numbers shall be provided. Numbers shall be a minimum of four (4) inches in height on a contrasting background and visible from the street. Where numbers are not visible from the street, additional numbers shall be installed on a directional sign at the property driveway and the street."

NOTE on the plans "the installation of an approved spark arrester on the top of the chimney. The wire mesh not to exceed 1/2 inch."

NOTE on the plans "the roof covering shall be no less than Class "B" rated roof."

SHOW on the plans **DETAILS** of the Fire Department Turn-a-round in compliance with FPO-015. Include dimensions. (See attached).

NOTE on the plans "the driveway / access road shall be in place prior to any framing construction, or construction will be stopped."

SHOW on the plans, **DETAILS** of compliance with the access road requirements. The access road shall be **20** feet minimum unobstructed width and maxi-mum twenty percent slope. The access road fronting the project property corner to property corner shall conform to the minimum width standard.

ACCESS ROAD / DRIVEWAY REQUIREMENTS

The access road / driveway shall be an "all weather" surface. "All Weather Surface" is defined as a minimum 6" of compacted aggregate base rock, Class II or equivalent, and certified in writing



Fire Review

Routing No: 1 | Review Date: 08/12/2010

RANDALL ADAMS (RADAMS) : Incomplete

by a licensed engineer to 95% compaction for grades up to and including 5%. For grades in excess of 5% but not exceeding 15%, oil and screeds shall be applied to a minimum 6" of compacted aggregate base rock, Class II or equivalent, certified in writing by a licensed engineer to 95% compaction. For grades exceeding 15%, 2" of asphaltic concrete shall be applied over a minimum 6" of compacted aggregate base rock, Class II or equivalent, certified in writing by a licensed engineer to 95%.

The maximum grade of the access road shall not exceed 20%, with grades greater than 15% not permitted for distances of more than 200 feet at a time.

The access road shall have a vertical clearance of 13'-6" for its entire width and length, including turnouts.

An approved turn-a-round shall be provided for access roads and driveways in excess of 150 feet in length.

Drainage details for the road or driveway shall conform to current engineering practices, including erosion control measures.

All private access roads, driveways, turn-around and bridges are the responsibility of the owner(s) of record and shall be maintained to ensure the fire department safe and expedient passage at all times.

The driveway shall be thereafter maintained to these standards at all times.

NOTE on the plans "a 30-foot clearance shall be maintained with non-combustible vegetation around all structures or to the property line whichever is a shorter distance.

EXCEPTION: Single specimens of trees, ornamental shrubbery or similar plants used as ground covers, pro-vided they do not form a means of rapidly trans-mitting fire from native growth to any structure."

NOTE on the plans "the job copies of the building and fire systems plans and permits must be on-site during inspections."

Note: As a condition of submittal of these plans, the submitter, designer and installer certify that these plans and details comply with applicable Specifications, Standards, Codes and Ordinances, agree that they are solely responsible for compliance with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent review, inspection or other source, and, to hold harmless and without prejudice, the reviewer and reviewing agency.

Should you have any additional concerns, you may contact our office at (831) 335-6748.

Road Engineering Review

Routing No: 1 | Review Date: 08/05/2010

ANWARBEG MIRZA (AMIRZA) : Complete



County of Santa Cruz, PLANNING DEPARTMENT

Discretionary Application Comments 101022

APN 052-291-03

Road Engineering Review

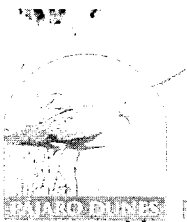
Routing No: 1 | Review Date: 08/05/2010

ANWARBEG MIRZA (AMIRZA) : Complete

Urban Designer Review

Routing No: 1 | Review Date: 08/09/2010

RANDALL ADAMS (RADAMS) : No Response



PAJARO DUNES ASSOCIATION
March 2, 2011

Mr. Bill Lyons
Lyons Family Trust
10555 Maze Blvd
Modesto, CA 95358

Dear Mr. Lyons.

The Design Committee has approved your request for an addition to your home based on plans dated January 28, 2011. The Design Committee finds that:

- 1) The proposed work conforms to the Pajaro Dunes Restrictions and the Design Committee Rules. Applicant submitted a complete application for the proposed project with all required information including, but not limited to plot plans, viewsapes, description of exterior materials and colors, and vegetation plans. Applicant paid the \$700 invoice and will be invoiced for costs in excess and submitted additional materials as requested. The plans were posted for the required period. The proposed project is in compliance with requirements set forth in the CC&Rs, Rules and for construction of an addition, including but not limited to use, building configuration, setbacks, lot area coverage, building pad square footage, height and landscaping.
- 2) The proposed work is architecturally compatible with its physical site and with the environment of Pajaro Dunes. – The proposed addition project retains a similar architectural design to the original house. The configuration of the structure is similar to other homes in Pajaro Dunes and conforms with the square footage requirements for a building pad. The height of the addition has been substantially decreased, the location of the addition has been changed, and other design elements have been altered and compromised in order to maximize compatibility with adjacent homes, to enhance views and to be appropriate in scale and configuration with the existing site. The lot coverage proposed at 29% is well below the maximum lot coverage and is consistent with the existing Pajaro Dunes neighborhood.

Thank you for submitting plans and working with the committee and your neighbors.

Sincerely,

FOR THE DESIGN COMMITTEE
Carol Turley
Manager
Pajaro Dunes Association