



Staff Report to the Zoning Administrator

Application Number: **10-0081**

Applicant: Michael and Lynne Wolcott
Owner: Michael and Lynne Wolcott
APN: 052-061-20

Agenda Date: June 17, 2011
Agenda Item #: **3**
Time: After 10:00 a.m.

Project Description: Proposal to construct a 4 bedroom, 2.5 bathroom, two story, 3,848 square foot single family dwelling with an attached garage and about 409 square feet of terraces, and to grade approximately 970 cubic yards of earth (550 cubic yards of cut and 420 cubic yards of fill) on an existing vacant parcel. Requires a Coastal Permit, Archaeological Report Review (REV10-0081), Preliminary Grading Review, and Soils Report Review (REV10-0081-1).

Location: Property located at the terminus of a private right of way about 1650 feet south of Harkins Slough Road.

Supervisory District: 2nd District (District Supervisor: Ellen Pirie)

Permits Required: Coastal Permit & Residential Development Permit

Technical Reviews: Archaeological Report Review, Preliminary Grading Review & Soils Report Review

Staff Recommendation:

- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 10-0081, based on the attached findings and conditions.

Exhibits

- | | |
|-------------------------------------|--------------------------------------|
| A. Project plans | F. Geotechnical Investigation; |
| B. Findings | Conclusions and Recommendations, |
| C. Conditions | 11/17/10 |
| D. Categorical Exemption (CEQA | G. Archaeological Report, April 2010 |
| determination) | H. Comments & Correspondence |
| E. Assessor's, Location, Zoning and | |
| General Plan Maps | |

Parcel Information

Parcel Size: 85,948 square feet (1.97 acres) EMIS estimate

County of Santa Cruz Planning Department
701 Ocean Street, 4th Floor, Santa Cruz CA 95060

Existing Land Use - Parcel: Vacant
Existing Land Use - Surrounding: Single Family Dwellings & a Warehouse/Dry Storage use to the north
Project Access: Via a private driveway off of Harkins Slough Road
Planning Area: San Andreas
Land Use Designation: AG (Agriculture)
Zone District: A (Agriculture)
Coastal Zone: ☒ Inside ☐ Outside
Appealable to Calif. Coastal Comm. ☒ Yes (partially) ☐ No

Environmental Information

Geologic Hazards: Mapped landslide area; two landslide features identified at east and south sides of the proposed building location. Engineered geologic evaluations prepared by Haro, Kasunich and Associates, Inc (dated 7/14/09 & 11/17/10) and Craig Harwood (dated 10/19/10) have been accepted by Planning Department staff and provide recommendations for landslide mitigation.
Soils: See above.
Fire Hazard: Not a mapped constraint
Slopes: Slope >30% to the east of the proposed building site.
Env. Sen. Habitat: Biotic features/habitats not evident at site.
Grading: 550 cubic yards of excavation; 420 cubic yards of fill.
Tree Removal: No trees proposed to be removed
Scenic: Mapped scenic, however parcel not visible from San Andreas Road or Highway 1.
Drainage: Proposed new drainage system proposed with on-site detention.
Archeology: Mapped archaeological resource; Archaeological Reconnaissance performed on site concluded that no resources were evident on site.

Services Information

Urban/Rural Services Line: ☐ Inside ☒ Outside
Water Supply: Private well
Sewage Disposal: Septic
Fire District: Cal Fire
Drainage District: None

History

In 2004, the property owner obtained a Pre-development Site Review (PDSR) for the subject parcel which indicated, among other issues, that a Certificate of Compliance would be required to determine compliance with zoning regulations at the time of lot creation. An unconditional certificate of compliance (04-0417) recognized the parcel as an existing lot of record in 2004.

In 2009, the property owner applied for a Project Consultation to review potential issues associated with the construction of a single family dwelling. Potential issues with access and site

geology have been addressed in the current application.

Project Setting

The subject parcel is located on Harkins Slough approximately 1,900 feet south of Harkins Slough Road in Watsonville. The access driveway is an unnamed, 30-foot wide right-of-way that accesses three other parcels. There are two single family dwellings and a commercial storage yard/warehouse located north of the subject parcel. Further north is the Tierra Alta Migrant Farm Labor Camp, the Roundtree Detention Center, and the Buena Vista Landfill.

The proposed building site is located on a ridge on the northwest portion of the parcel. The topography slopes downwards towards Harkins Slough to the west, south, and east.

Although the parcel is mapped as a scenic resource, the parcel is not visible from San Andreas Road or Highway 1 given its distance from the roadway and existing vegetative screening.

Project Analysis & Discussion

The proposal is to construct a two story single family dwelling of approximately 3,848 square feet with an attached garage. Three standard sized (8.5' x 18') parking spaces have been provided within the garage to serve the four bedroom residence (three bedrooms and a media room).

The subject property is a parcel of approximately 1.97 acres and is located in the A (Agriculture) zone district, a designation which allows residential uses. The proposed single family dwelling is a permitted use within the zone district and the zoning is consistent with the site's (AG) Agriculture General Plan designation.

County Code Section 13.10.313 (Agricultural Development Standards) requires that legal lots less than 2.5 acres in size comply with the site and structural dimensions for the comparable residential district specified in Section 13.10.323, based on the parcel's size. The subject parcel is over one acre in size and is therefore subject to the site standards of the Residential Agriculture (RA) zone district.

The proposed dwelling complies with the site and structural dimensions of the Residential Agriculture (RA) zone district and with required agricultural buffer setbacks, as shown in the following table:

	Required as per County Code 13.10.323(b) RA District & 16.50.095 Ag Buffers	Proposed Setbacks (approximate)
Front Yard	40'	41'
Side Yards	20' & 20'	215' & 28'
Rear Yard	20'	144'
From CA land to west	200'	>200' to the south & east
Maximum Height	28'	28'
Lot Coverage	10%	4%

The parcel is accessed by a 30 foot wide right-of-way; however, in 2004, the County recognized the parcel as an existing legal parcel of record. Therefore, the project does not require additional approval to construct on a parcel accessed with a less than 40 foot right-of-way access as per County Code Section 13.10.521.

A site visit conducted by Environmental Planning staff concluded that biotic resources associated with Harkins Slough Road were not evident at the site. Additionally, an archaeological reconnaissance and archival survey completed by Archaeological Associates of Central California (EXHIBIT G) did not indicate the presence of an archaeological site on the proposed project parcel.

Landslides/Geology

There are two landslides on the subject property which are located to the east and south of the proposed building envelope. Environmental Planning staff reviewed two geotechnical reports prepared by Haro, Kasunich and Associates (dated 7/14/09 & 11/17/10) and a geology report prepared by Craig S. Harwood (dated 10/19/10) and determined that, with implementation of the recommended mitigations, the locations of the proposed building site and sewage pretreatment system (HOOT tank structure) are feasible. Mitigations will include the construction of a pin pile pier retaining wall system along the east side of the residence to provide vertical support of the home and the HOOT tank structure and lateral retention of the potential landslide soils below the improvements. Conventional piers that penetrate through existing fill and landslide clay will adequately support the remaining portions of the residence and HOOT system. Additional mitigations are included as recommendations in the accepted geotechnical report (EXHIBIT F).

Local Coastal Program Consistency

The proposed single family dwelling is in conformance with the County's certified Local Coastal Program. The first floor is similar to a basement, in that it is only about 473 square feet while the main (upper) floor is about 2415 square feet and about 50% of the perimeter wall of the first story is visible from the exterior. The structure will be constructed into the existing slope and the first story of the structure will be fully visible only at the east elevation and only partially visible at the north elevation. The proposed structure has been designed to blend in with the surrounding rolling hills, in that the proposed roof will be primarily flat with one curved portion at the center of the structure to act as a clerestory which reduces the visual impact of the structure. The resulting residence may be slightly visible from San Andreas Road, which is a designated scenic corridor in the County General Plan, however, views of the structure and associated site improvements will be adequately buffered from the rural scenic road by existing topography, vegetation, and distance and will not impact the existing viewshed. The project site is not located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Design Review

The proposed single family dwelling complies with the requirements of the County Design Review Ordinance, in that the proposed project will incorporate the site and architectural design

features described above to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape. The proposed exterior colors of beige/peach, white, and blue were determined based on surrounding site vegetation and soils, and exterior materials of stucco with metal roofing will blend in with the surrounding environment.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **10-0081**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

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Santa Cruz County Planning Department
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Santa Cruz CA 95060
Phone Number: (831) 454-3214
E-mail: samantha.haschert@co.santa-cruz.ca.us

WOLCOTT RESIDENCE

Harkins Slough Road Santa Cruz County California

SD PLATTREITER-JONES, Architects
2000 North First Street, Suite 200
San Jose, California 95131
Tel: 408/281-1000
Fax: 408/281-1001
www.sdplattreiter-jones.com

PROJECT DATA
Harkins Slough Road, Watsonville, California
Owner: Mr. & Mrs. Wolcott
Site Area: 1.07 Acres
Zoning: A-1/CZ
Two Story, 3 Bedroom Single Family Residence with Attached
Three Car Garage and Three Car Parking Spaces On Site.
Type V-1, Regulated per MHPA 15D
241 W. Harkins Slough Road, Watsonville, CA 95080
Telephone: 831/534-5399 email: mrsoc@comcast.net

DESIGN CRITERIA

All construction to be in conformance with the 2007 edition of the California Building, Mechanical and Plumbing codes, 2007 California Fire and 2007 California Electrical Codes, as amended by the State of California under the County of Santa Cruz. See adoption of codes per County code 15.10.215, 15.10.250, 15.10.255, 15.10.340 and 15.10.345.

STATISTICS

TERMINES COVERED AREA

TERMINES COVERED AREA

TERMINES COVERED AREA

TERMINES COVERED AREA

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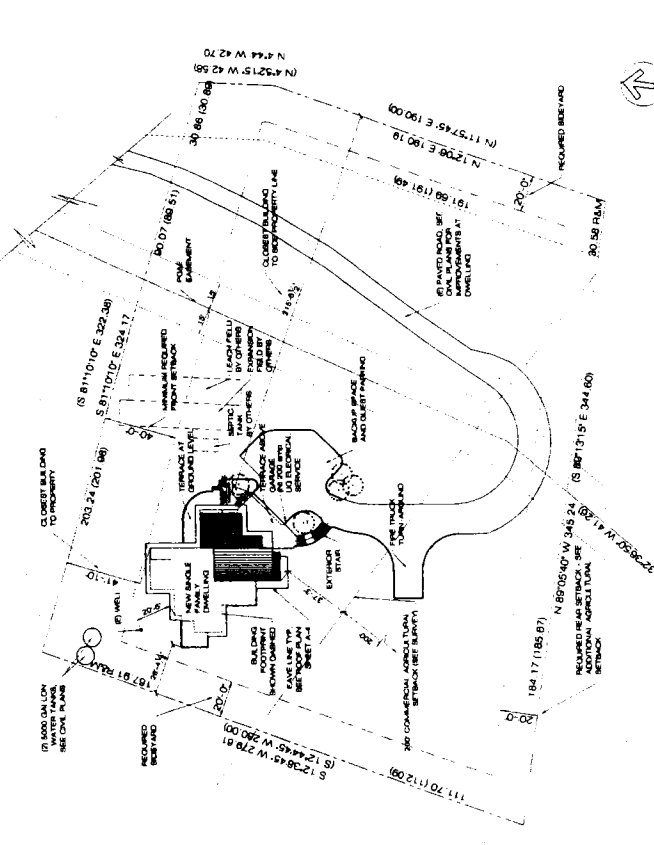
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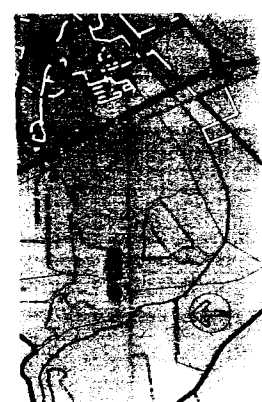
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TERMINES COVERED AREA



SITE PLAN (see enlarged area sheet A-2/A-3)

1/32" = 1'-0"

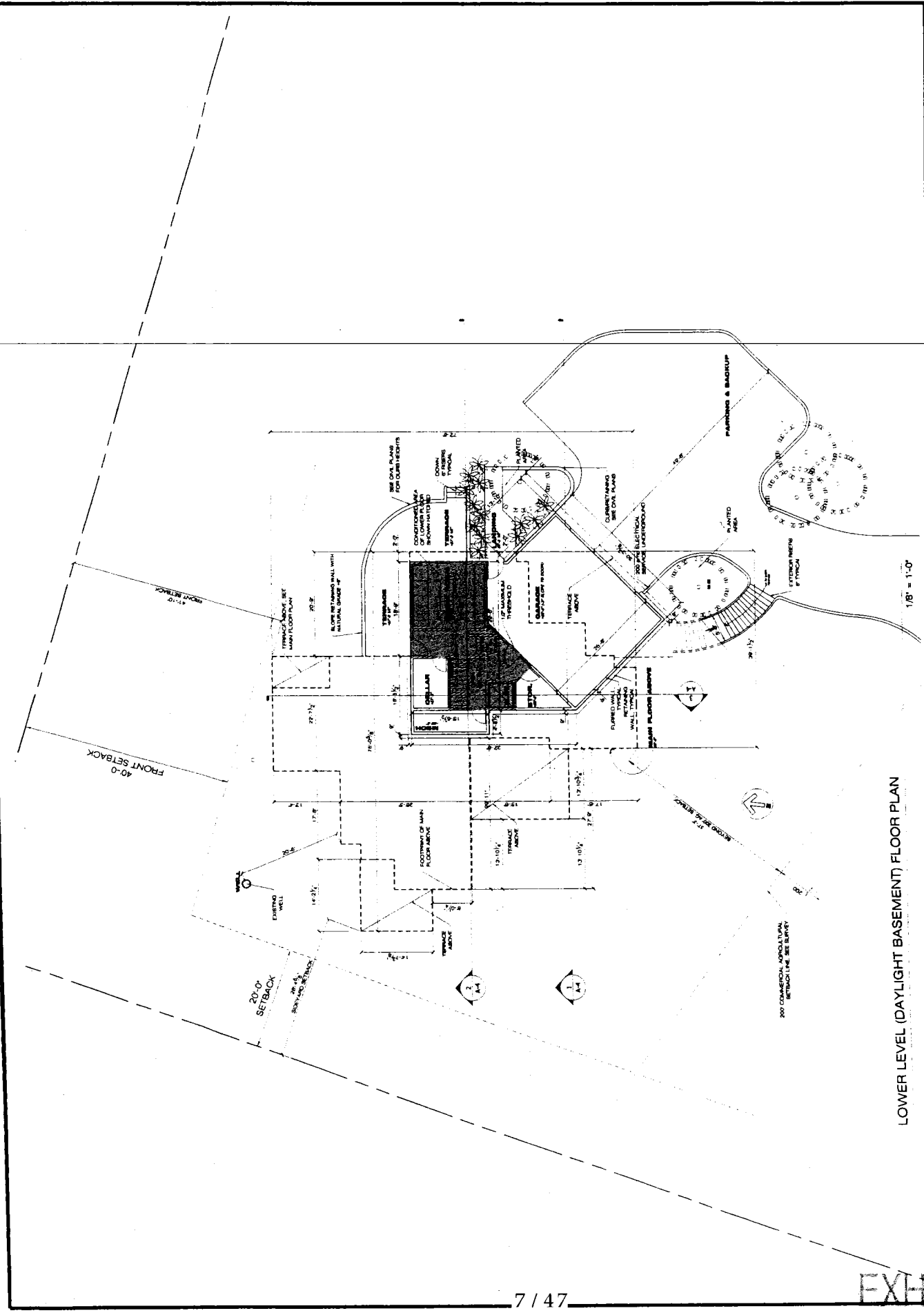


VICINITY MAP

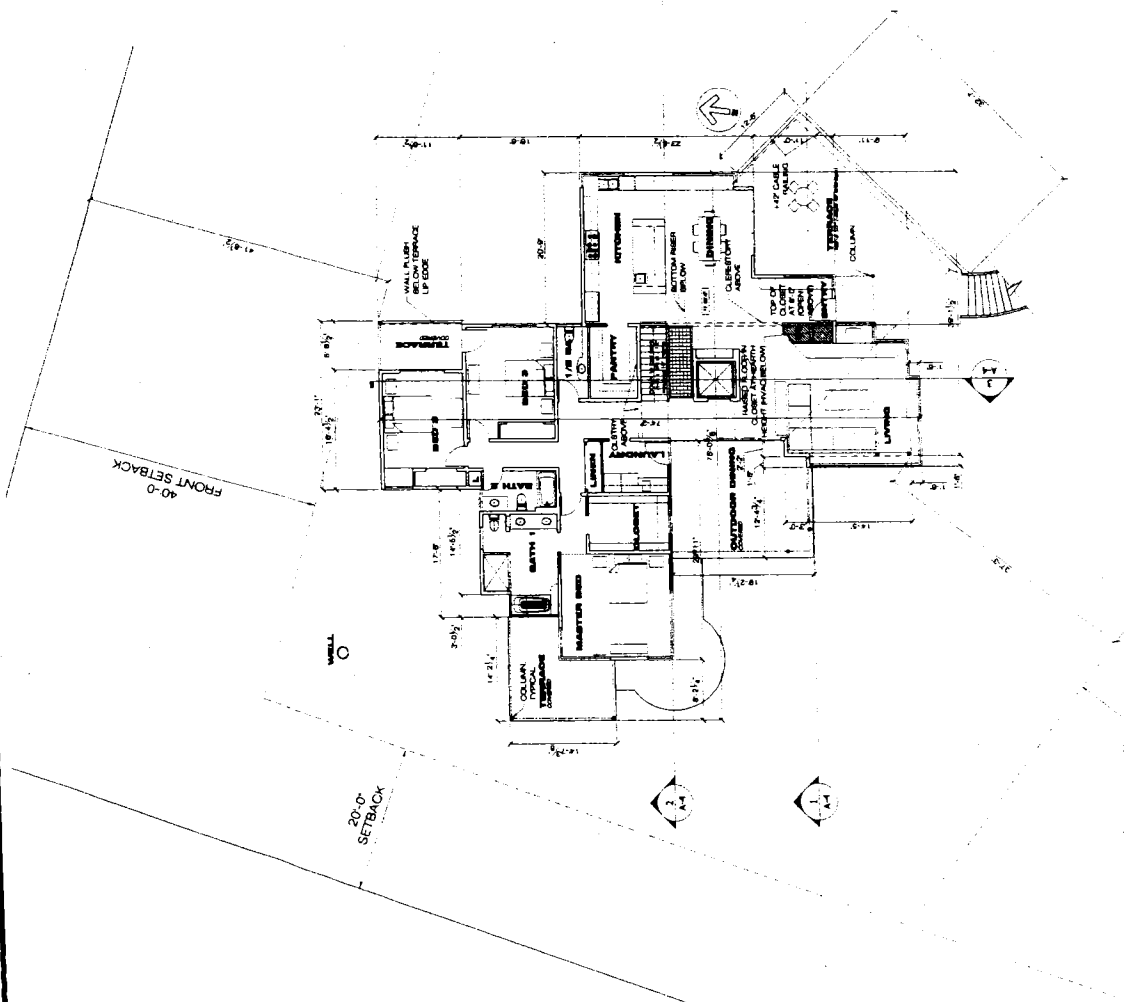
Preliminary Drawings for Design Review: A New Residence for
Lynne and Michael Wolcott
Santa Cruz County, California apn: 052-061-20

SCALE: NOTED
These drawings and any accompanying documents are
intended to be used in conjunction with the
original site plan for which they are prepared.

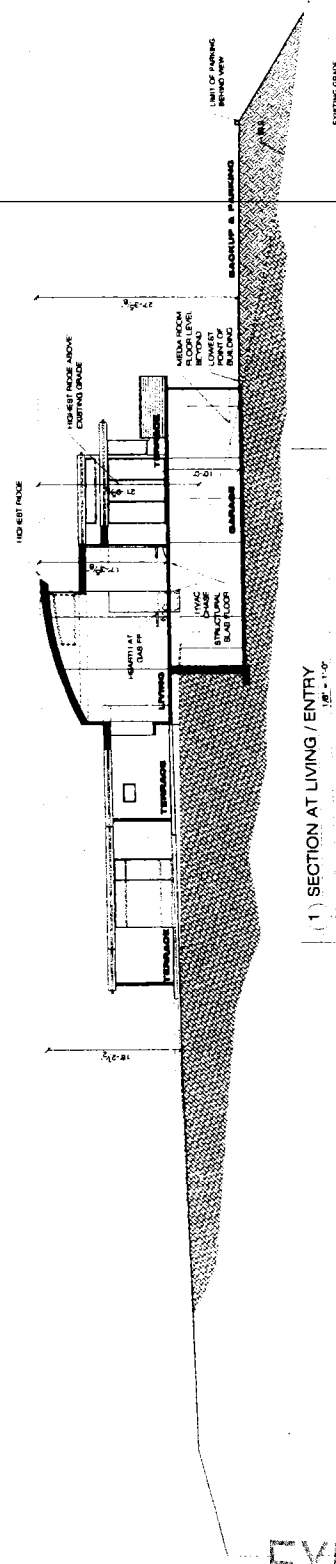
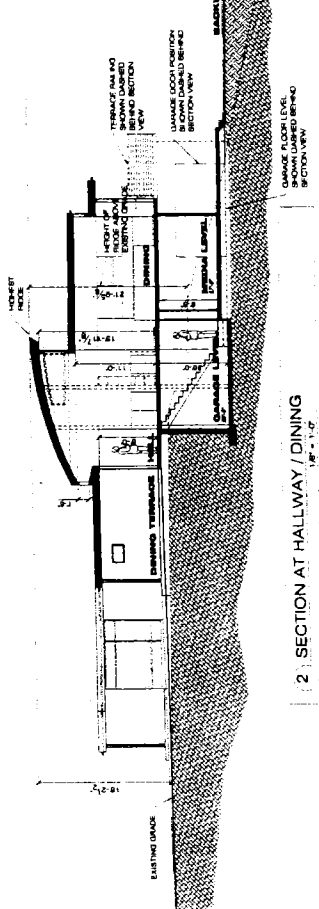
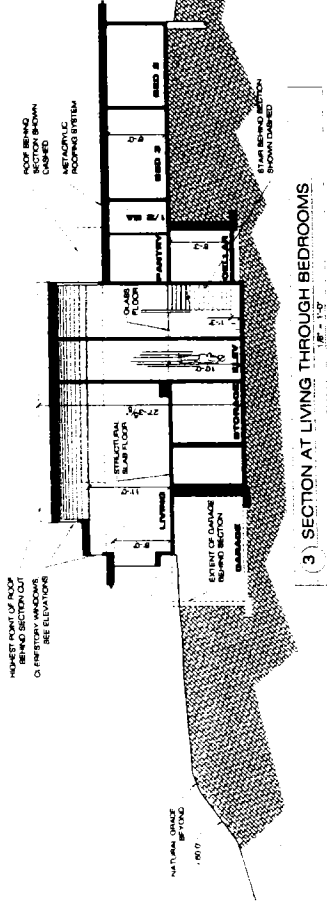
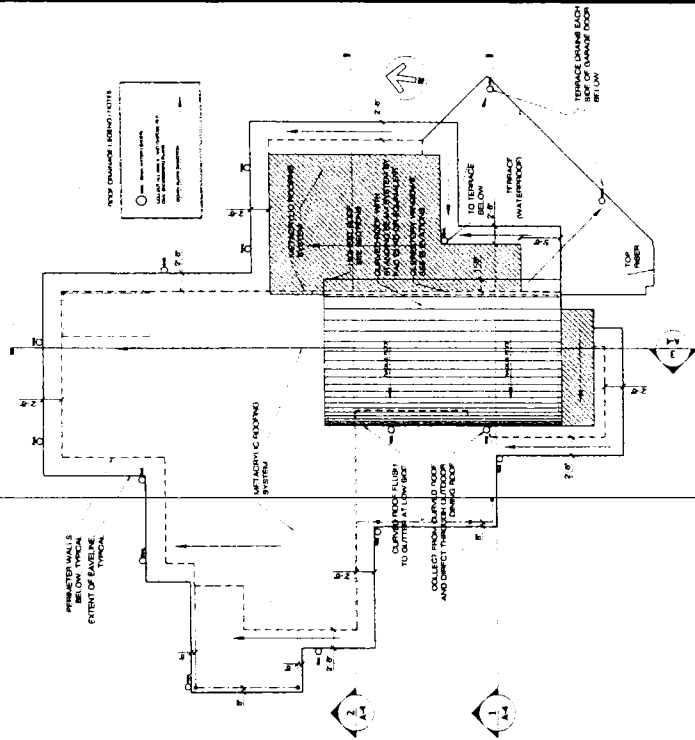
DATE: 7/20/2009
JOB NO.
SHEET NO. A-1
OF 5 SHEETS



LOWER LEVEL (DAYLIGHT BASEMENT) FLOOR PLAN



MAIN (UPPER) FLOOR PLAN
 1/8" = 1'-0"





IMPROVEMENT PLANS FOR PROPOSED SINGLE FAMILY RESID HARKINS SLOUGH ROAD

WATSONVILLE, CALIFORNIA
COUNTY OF SANTA CRUZ

GENERAL NOTES

- [illegible]

PAYEMENT NOTES

- [illegible]

EARTHWORK AND GRADING NOTES

- [illegible]

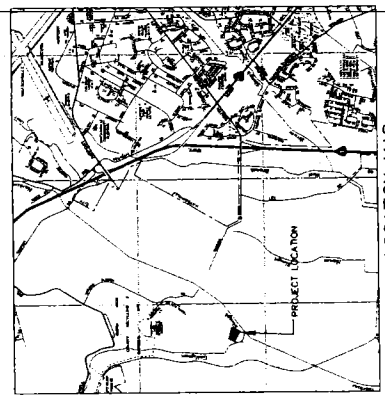
ESTIMATED
EARTHWORK VOLUMES[illegible]

ABBREVIATIONS

- [illegible]

LEGEND

- (1) CATCH BASIN
CONTINUATION OF SURVEY RECORD
- (2) SIDE OF ROAD
- (3) SIDE OF PAYMENT TO BE MEASURED
- (4) ESTIMATE CONTIGUOUS
- (5) FERRY GRADE CONTIGUOUS
- (6) FERRY GRADE ELEVATION
- (7) GRADING LINE
- (8) MEASUREMENT AS NOTED
- (9) CONCRETE CURB LINE
- (10) NEW AC PAYMENT
- (11) EXISTING ROAD PAYMENT SECTION
- (12) FUTURE LINE
- SCALE
- 1" = 20'
- BOOK 0
- 11

[illegible]VICINITY MAP

LOCATION MAP
SCALE: NTS

~~STORM DRAIN NOTES~~

1. STRENGTHENING PIPE SHALL BE SDR 26 PIPE OR APPROVED SUBSTITUTE OR AS NOTED ON PLANS.
2. STORM DRAIN INLETS SHALL BE INVOPLAST INLETS BY HDS OR PRECAST CONCRETE INLETS BY CONCRETE. EQUAL SUBSTITUTIONS ARE ALLOWED WITH WRITTEN

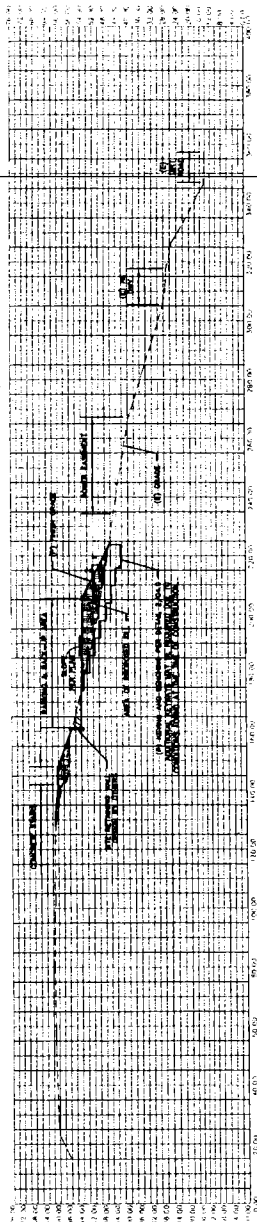
CONCRETE NOTES

1. ALL CONCRETE WORK SHALL BE DONE IN CONFORMANCE WITH THE LATEST EDITIONS OF THE ACI CODE AND THE LATEST EDITION OF THE MANUALS OF CONCRETE.
2. ALL CONCRETE SHALL BE CLASS 40, 5000 PSI, 28 DAY STRENGTH.
3. COMPLETE TENSILE STRENGTH OF 2000 PSI AT 28 DAYS.
4. ALL CONCRETE SHALL BE PLACED AT 40 DEGREES OF TEMPERATURE.
5. PROTECT CONCRETE FROM FREEZING FOR 14 DAYS AFTER PLACEMENT.
6. ALL COMBINED CONCRETE SHALL BE COMPACTED TO HAVE A DRY ROUGH SURFACE.
7. ALL COMBINED CONCRETE SHALL NOT BE ALLOWED TO FREEZE ANY MORE THAN 10 DEGREES BELOW ZERO DURING THE CURE PERIOD.
8. ALL COMBINED CONCRETE SHALL BE CURED FOR 14 DAYS.
9. ALL COMBINED CONCRETE SHALL BE PROTECTED FROM DAMAGE TO THE SURFACE OF THE CONCRETE.

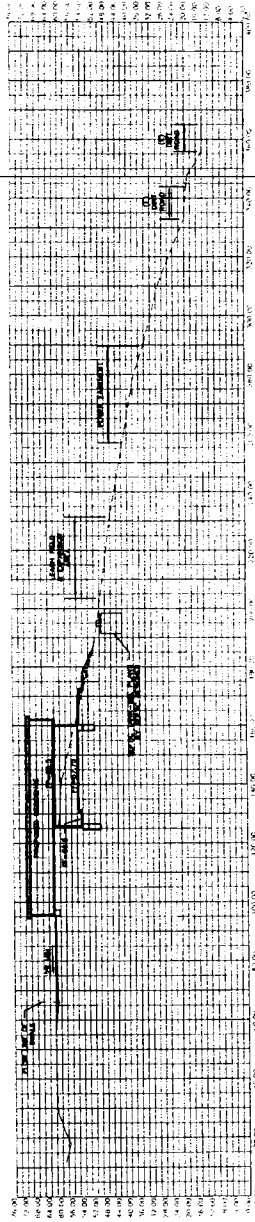
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DATE 12-20-2017 AND TIME 09:47:00 AM EST		COVER SHEET		PROPOSED BOND / FUND INCREASE \$10,000,000.00 WINTERVILLE, GA		94871	
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS 10015 STATE ST. N.E. SUITE 200 (404) 426-3687		PROJECT NO. 133743		JOB NO. 133743		CO #	
PROJECT NAME 133743-0000		PERIOD 1/1/2018 - 12/31/2018		DATE 12/20/2017		CO #	

12 / 47



SITE SECTION A-A
SCALE 1"=20'



SITE SECTION B-B
SCALE 1"=20'

LEGEND
 EXISTING ROAD
 PROPOSED ROAD
 EXISTING SIDEWALK
 PROPOSED SIDEWALK

NOTE: SEE PLANS FOR SITE SECTIONS ONLY. SEE ARCHITECT'S DIMS FOR BUILDING HEIGHT REQUIREMENTS.

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DATE: 05-12-2010

BOWMAN & WILLIAMS CONSULTING ENGINEERS 101 WEST STREET SUITE 200 BOSTON, MA 02108 (617) 452-1200		SITE SECTIONS	
PROJECT: PROPOSED SIDEWALK & SIDEWALK LOCATION: WASHINGTON ST. DATE: JULY 10, 2009 DRAWN BY: J. J. J.		SHEET NO. 12143 SHEET 1 OF 1	



EXHIBIT A

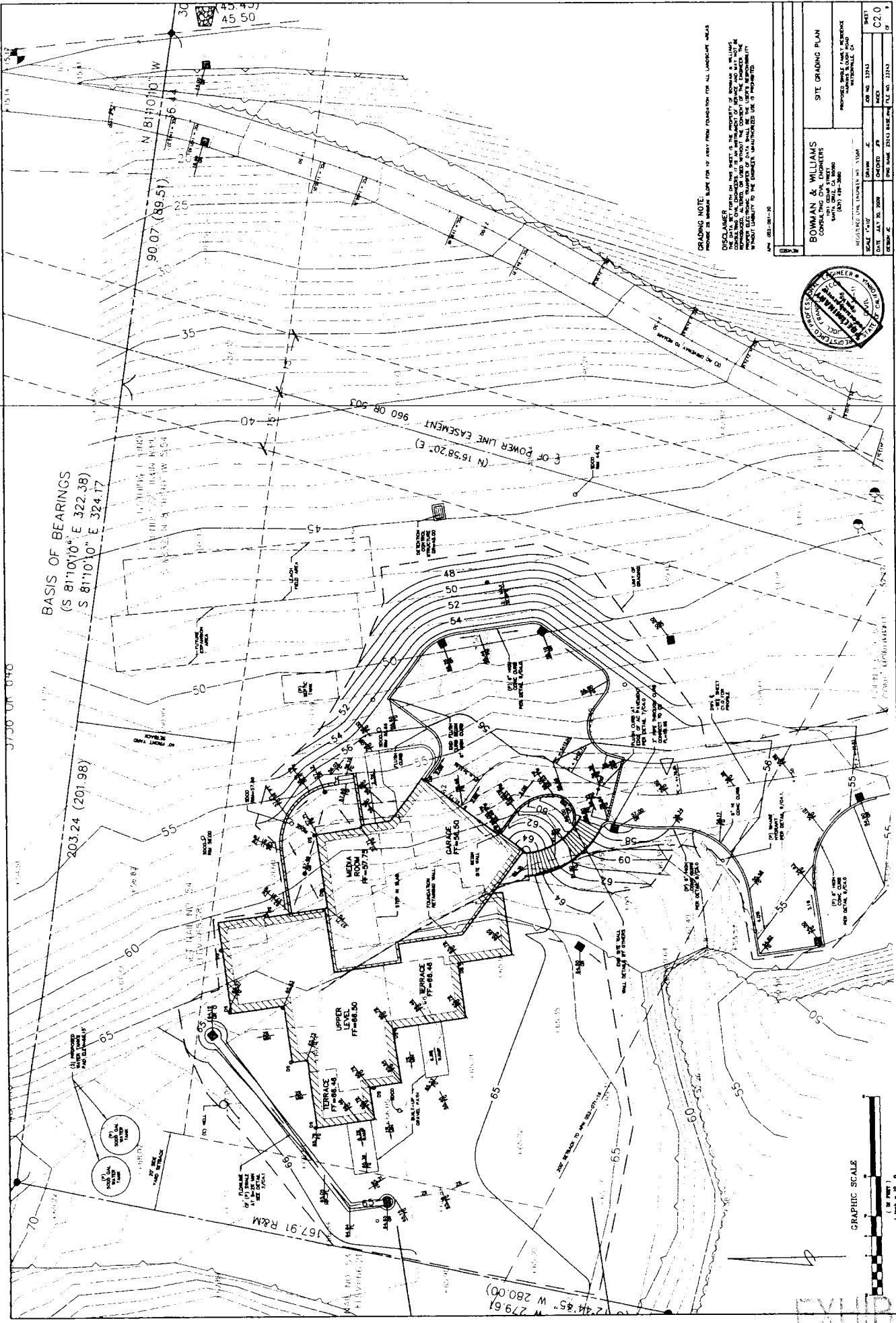
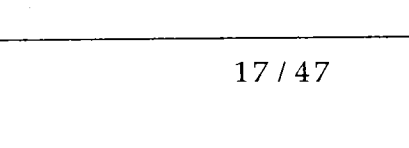
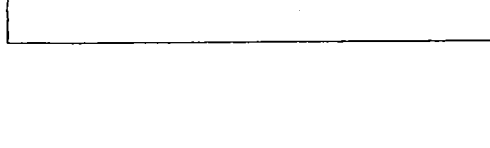
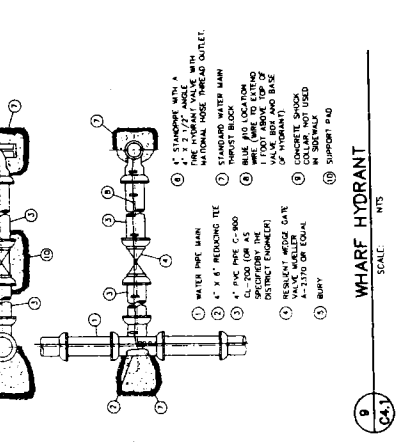
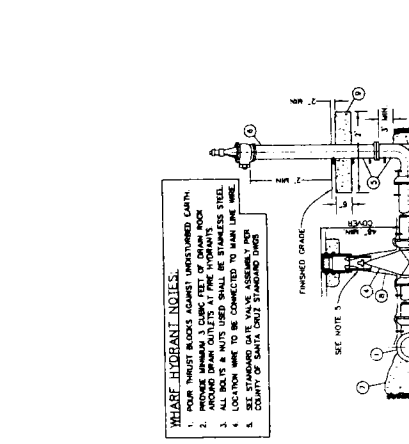
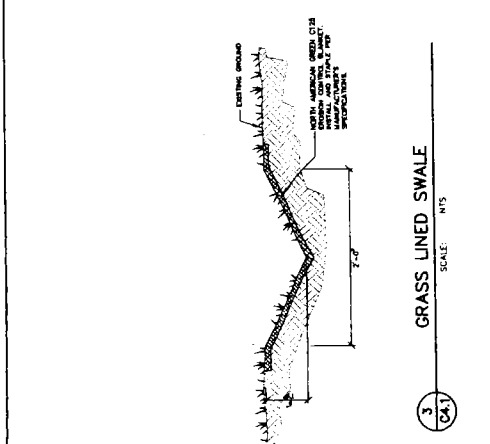
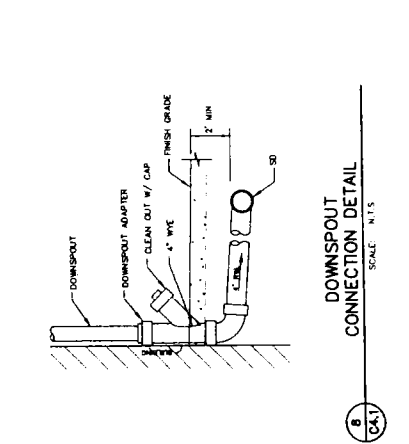
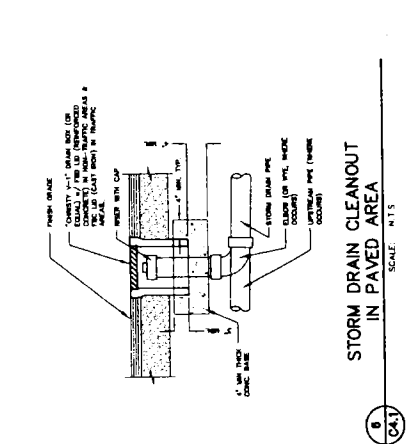
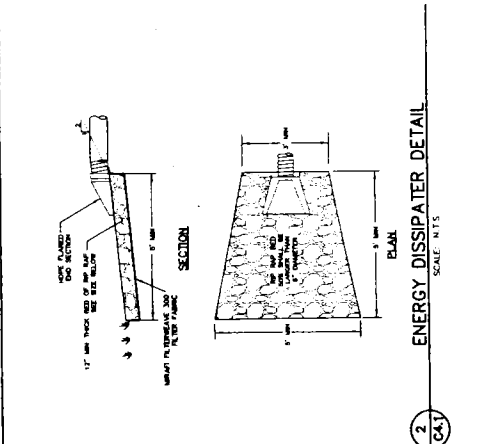
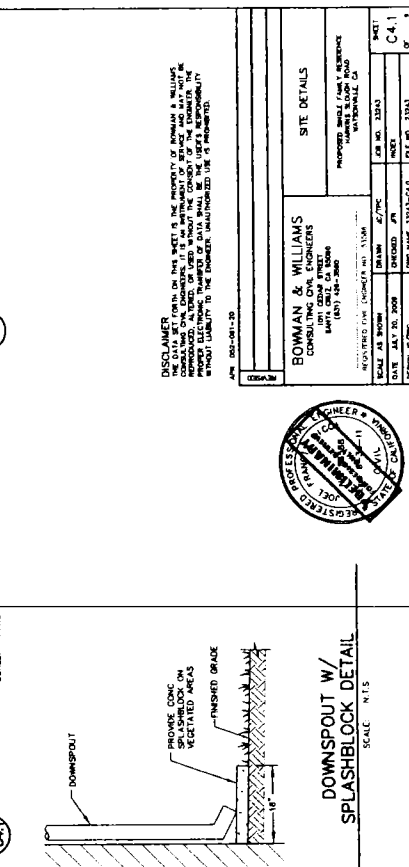
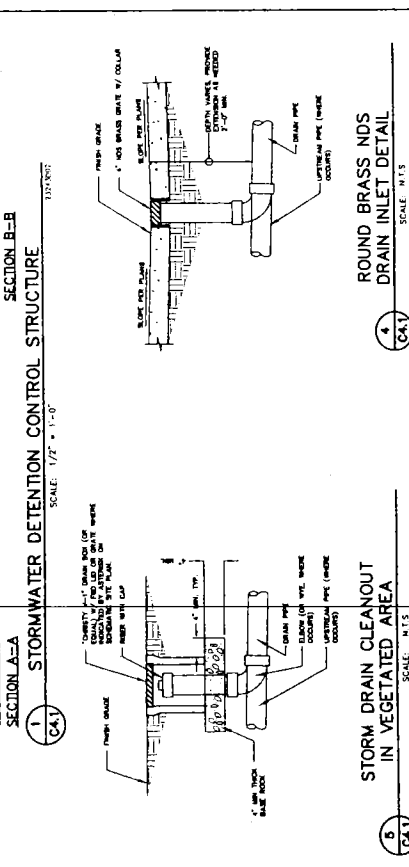
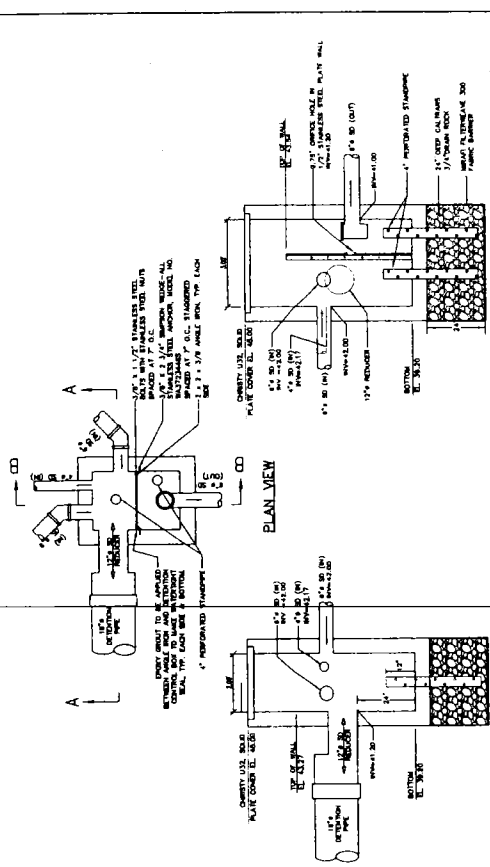


EXHIBIT A



DISCLAIMER: THE ENGINEER HAS NOT BEEN ADVISED OF ANY OTHER CONDITIONS OR REQUIREMENTS THAT MAY AFFECT THE DESIGN OR CONSTRUCTION OF THE PROJECT. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE DRAWINGS. THE USER ASSUMES ALL LIABILITY FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

APR 2001-01-20

BOWMAN & WILLIAMS
CONSULTING CIVIL ENGINEERS
101 CENTRAL STREET
SUITE 200
BOSTON, MA 02101
(617) 552-3000

SITE DETAILS

PROJECT: BOWMAN & WILLIAMS
CONSULTING CIVIL ENGINEERS
101 CENTRAL STREET
SUITE 200
BOSTON, MA 02101
(617) 552-3000

DATE: 04/20/01
DRAWN: JWC
CHECKED: JWC
SCALE: 1/2" = 1'-0"



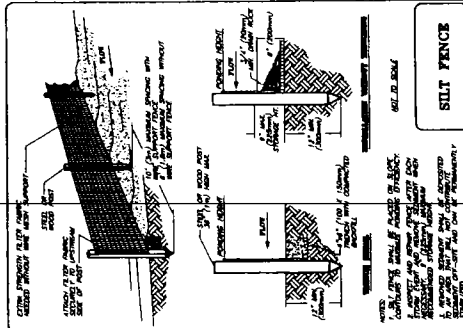
TEMPORARY EROSION CONTROL MEASURES

1. EROSION IS TO BE CONTROLLED AT ALL TIMES IN ACCORD WITH THE EROSION CONTROL PLAN. EROSION CONTROL MEASURES SHALL BE INSTALLED BY OCTOBER 19TH AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
2. NO WATER GRADING IS ALLOWED FOR THIS SITE.
3. ALL WATER GRADING IS TO BE DONE IN ACCORD WITH THE EROSION CONTROL PLAN. WATER GRADING SHALL BE ALLOWED TO FLOW OVER ANY EXISTING EROSION CONTROL MEASURES.
4. ALL SLOPES ARE TO BE PROTECTED WITH THE EROSION CONTROL MEASURES SHOWN ON THE EROSION CONTROL PLAN.
5. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
6. ALL EROSION CONTROL MEASURES SHALL BE REMOVED OR MODIFIED AS REQUIRED BY THE EROSION CONTROL PLAN.
7. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

EROSION BLANKET

SCALE: NTS

2



SILT FENCE

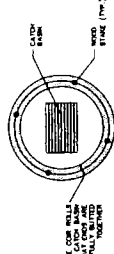
SCALE: NTS

3

INLET PROTECTION

SCALE: NTS

1



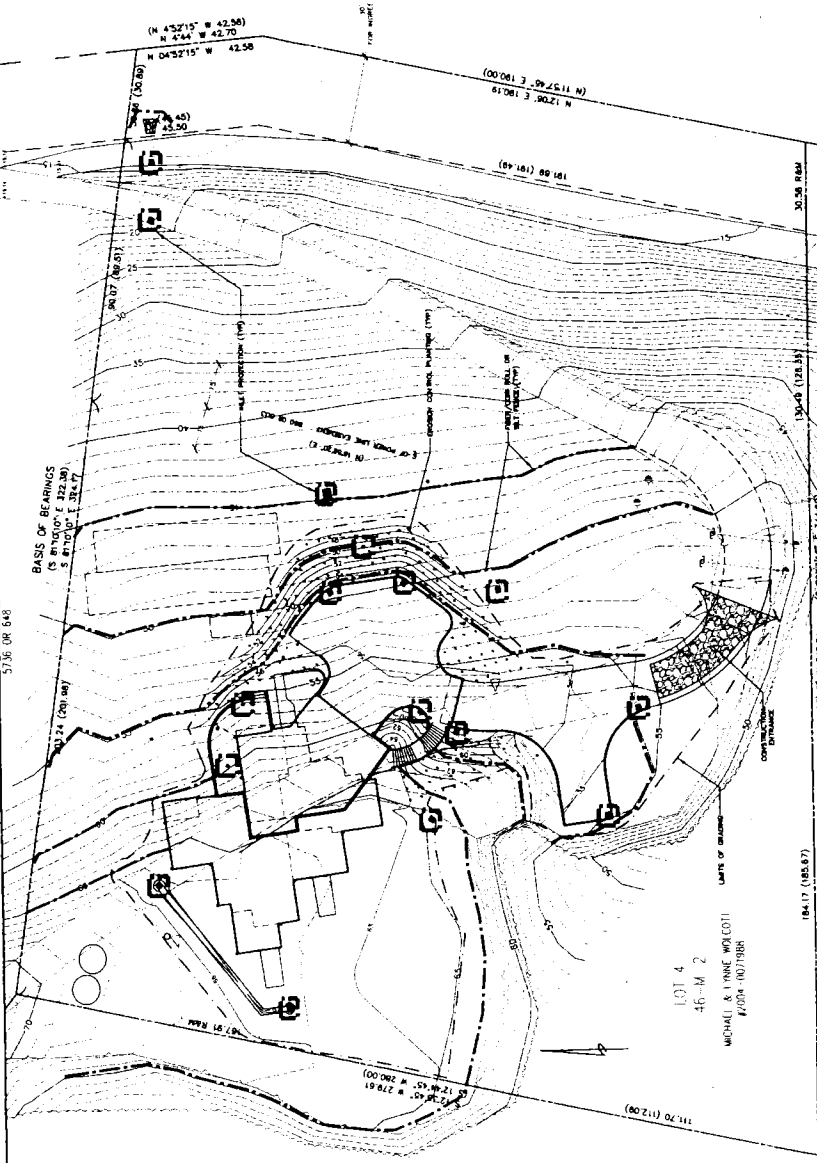
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SANTA ANA, CA 92705
(949) 438-3800

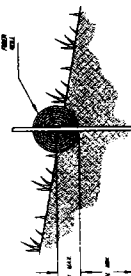
EROSION CONTROL PLAN
PROJECT: 1001-1001-1001
SHEET: 05.0

DATE: 08/10/2008
DRAWN: J.W.
CHECKED: J.W.
SCALE: 1/8" = 1'-0"



PLAN

SCALE: 1"=20'



1. GRAVEL BAG SEDIMENT BARRIERS SHALL BE INSTALLED ON ALL SLOPES THAT ARE NOT TO BE GRADED.
2. GRAVEL BAG SEDIMENT BARRIERS SHALL BE INSTALLED ON ALL SLOPES THAT ARE NOT TO BE GRADED.
3. GRAVEL BAG SEDIMENT BARRIERS SHALL BE INSTALLED ON ALL SLOPES THAT ARE NOT TO BE GRADED.
4. GRAVEL BAG SEDIMENT BARRIERS SHALL BE INSTALLED ON ALL SLOPES THAT ARE NOT TO BE GRADED.

GRAVEL BAG SEDIMENT BARRIER

SCALE: NTS

3

CONSTRUCTION ENTRANCE

SCALE: NTS

8

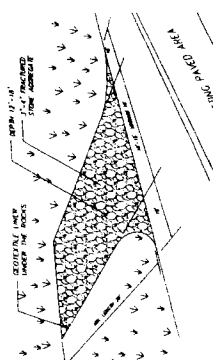


EXHIBIT A

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts, other than the Special Use (SU) district, listed in section 13.10.170(d) as consistent with the General Plan and Local Coastal Program LUP designation.

This finding can be made, in that the property is zoned A (Agriculture), a designation which allows residential uses. The proposed single family dwelling is a permitted use within the zone district, and the zoning is consistent with the site's (AG) Agriculture General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to section 13.20.130 et seq.

This finding can be made, in that the low impact design of the development and proposed colors and materials are consistent with the surrounding natural, rural environment. The resulting structure may be slightly visible from San Andreas Road, which is a designated scenic corridor in the County General Plan, however, the structure will be adequately buffered by topography, vegetation, and distance and the proposed design of the structure, stepped into the hillside with flat roofing, will blend in with the scenic viewshed.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the General Plan and Local Coastal Program land use plan, specifically Chapter 2: figure 2.5 and Chapter 7, and, as to any development between and nearest public road and the sea or the shoreline of any body of water located within the coastal zone, such development is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act commencing with section 30200.

This finding can be made, in that the project site is not located between the shoreline and the first public road and the single family dwelling will not interfere with public access to the beach, ocean, or any nearby body of water. The project site is not identified as a priority acquisition site in the County Local Coastal Program.

5. That the proposed development is in conformity with the certified local coastal program.

This finding can be made, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding rural agricultural and natural environment. Additionally, residential uses are allowed uses in the A (Agriculture) zone district and in the AG (Agriculture) General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings, multi-family dwellings, commercial uses (Buena Vista landfill and jail), and agricultural uses and the design submitted is consistent within the existing range of uses.

Conditions of Approval

Exhibit A: Project Plans, 15 sheets dated 7/20/09, sheets C0.0 & C1.0 revised 1/10/11, prepared by Ed Glatfelter-Jones, Architect, and Bowman and Williams, Engineers.

- I. This permit authorizes the construction of a two story, 4 bedroom single family dwelling of approximately 3,848 square feet with an attached garage. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - C. Obtain a Grading Permit from the Santa Cruz County Building Official.
 - D. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
 1. The intersection of Harkins Slough Road shall be repaired as per county standards.
 - E. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder) within 30 days from the effective date of this permit.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "A" on file with the Planning Department. Any changes from the approved Exhibit "A" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. One elevation shall indicate materials and colors as they were approved by this Discretionary Application.

2. Grading, drainage, and erosion control plans.
 3. Details showing compliance with fire department requirements.
 4. Final plans shall reference the approved geotechnical and geologic reports and shall include a statement that the project shall conform to the reports' recommendations.
 5. All existing vegetation at the south property line shall remain.
 6. ~~Plans shall show details of the intersection of Harkins Slough Road and the private driveway.~~
 7. Plans shall show a minimum distance of 200 feet from the property line(s) of surrounding CA (Commercial Agriculture) zoned parcels to proposed habitable structures. Structures located within 200 feet will require approval of an Agricultural Buffer Reduction from the Agricultural Policy Advisory Commission (APAC).
- B. Submit four copies of the approved Discretionary Permit with the Conditions of Approval attached. The Conditions of Approval shall be recorded prior to submittal, if applicable.
- C. Meet all requirements of and pay all drainage fees to the County Department of Public Works, Stormwater Management.
- D. Obtain an Environmental Health Clearance for this project from the County Department of Environmental Health Services.
- E. Meet all requirements and pay any applicable plan check fee of the Santa Cruz County Fire Department.
- F. Pay the current fees for Parks and Child Care mitigation for 4 bedroom(s). Currently, these fees are, respectively, \$800 and \$109 per bedroom.
- G. Provide required off-street parking for 3 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
- H. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- I. After plans are prepared that are acceptable to all reviewing agencies, the applicant shall submit technical review letters written by the authors of the technical reviews that state that the final project plans conform to the

recommendations of the reports. The plan review letters shall reference the final plan set by the last revision date.

J. Submit electronic copies of the soils and geology in .pdf format via compact disk or email to: pln829@co.santa-cruz.ca.us. Please note that the report must be generated and/or sent directly from the soils engineer or engineering geologist of record.

K. Complete and record a maintenance agreement for the proposed retention system. Please contact the County of Santa Cruz Recorder's office for appropriate recording procedure. The maintenance agreement form can be picked up from the Public Works office or can be found online at:
<http://www.dpw.co.santa-cruz.ca.us/Storm%20Water/FigureSWM25.pdf>

III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:

A. All site improvements shown on the final approved Building Permit plans shall be installed.

B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.

C. Complete and record a Declaration of Geologic Hazards for the new structure.

D. Obtain clearance from the Department of Public Works Stormwater Management Department by completing one of the following:

1. The civil engineer shall inspect the drainage improvements on the parcel and provide public works with a letter confirming that the work was completed per the plans. The civil engineer's letter shall be specific as to what was inspected such as invert elevations, pipe sizing, the size of the mitigation features and all the relevant design features. Notes of "general conformance to plans" will not be sufficient.

2. The applicant shall submit as-built plans stamped by the civil engineer. The as-built stamp shall be placed on each sheet of the plans where stormwater management improvements are shown.

3. The civil engineer shall review the as-built plans and shall provide public works with a stamped approval letter of the plans, and a copy of the as built plans. The contractor installing the drainage improvements must provide the civil engineer with as built drawings of the drainage system, including construction materials, invert elevations, pipe sizing and any modifications to the horizontal or vertical alignment of the system. The as-built drawings, for each sheet showing drainage improvements and/or their

construction details, must be identified with the stamp (or label affixed to the plan) stating the contractor's name, address, license and phone #. The civil engineer will review the as-built plans for conformance with the design drawings.

- E. All construction must comply with all recommendations of the approved soils reports.
- F. Pursuant to Sections 16.40.040 and 16.42.100 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.100, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
 - B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and

2. COUNTY defends the action in good faith.

C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.

D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Steven Guiney, AICP
Deputy Zoning Administrator

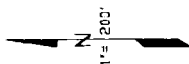
Samantha Haschert
Project Planner

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

90-25

Lots as shown on
Partition map of
San Andreas Rancho

46RS2
7/12/66



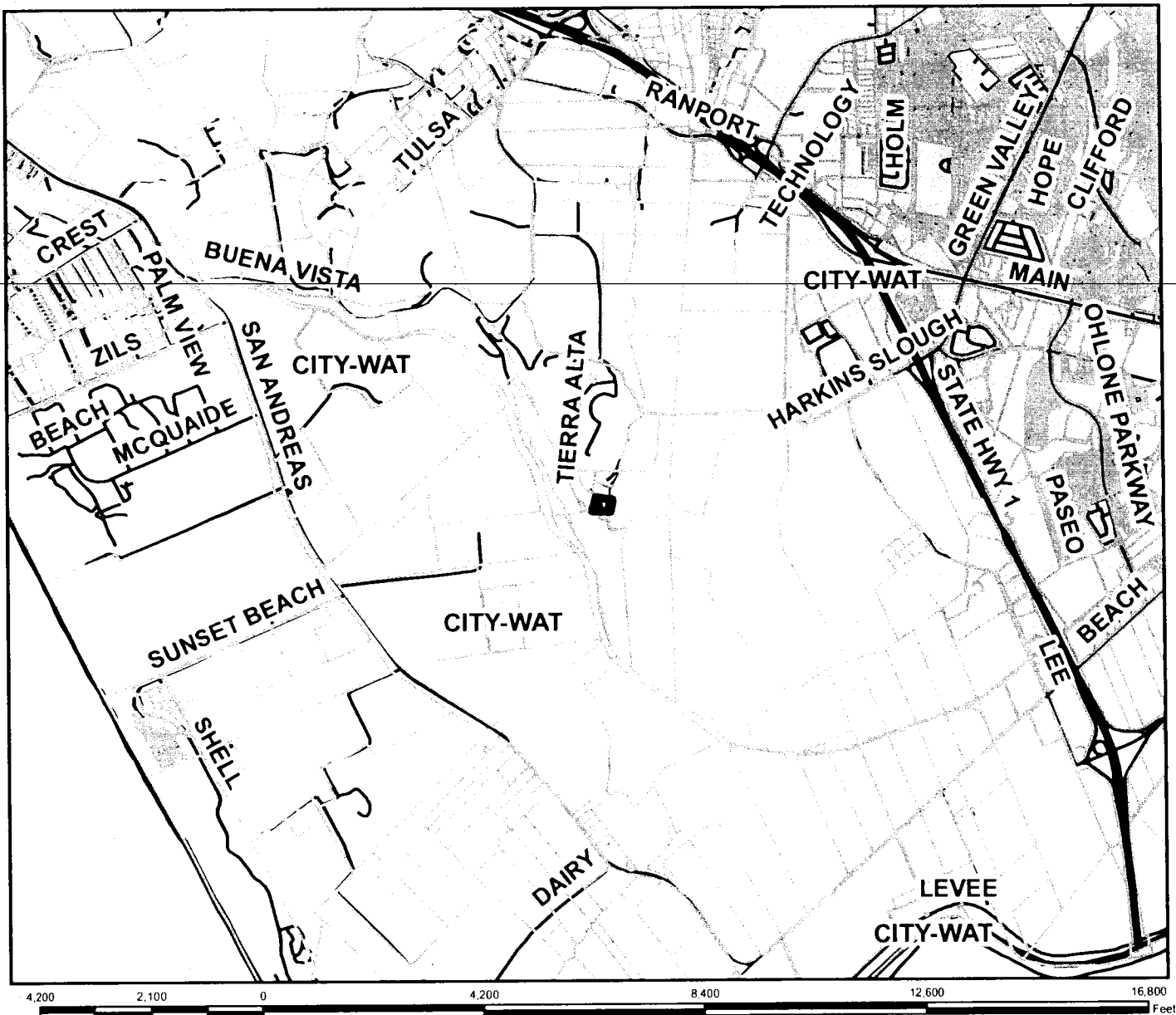
Assessor's Map No. 52-06
County of Santa Cruz, Calif.
Aug. 1951

Note - Assessor's Parcel & Block Numbers Shown in Circles.

6/8/95 KSA
TCA CONSOLIDATION) W
6/8/95 KSA (changed page refs.)



Location Map



LEGEND



APN: 052-061-20

Assessors Parcels

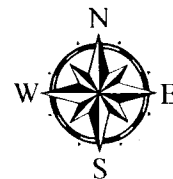
Streets

State Highways

WATSONVILLE



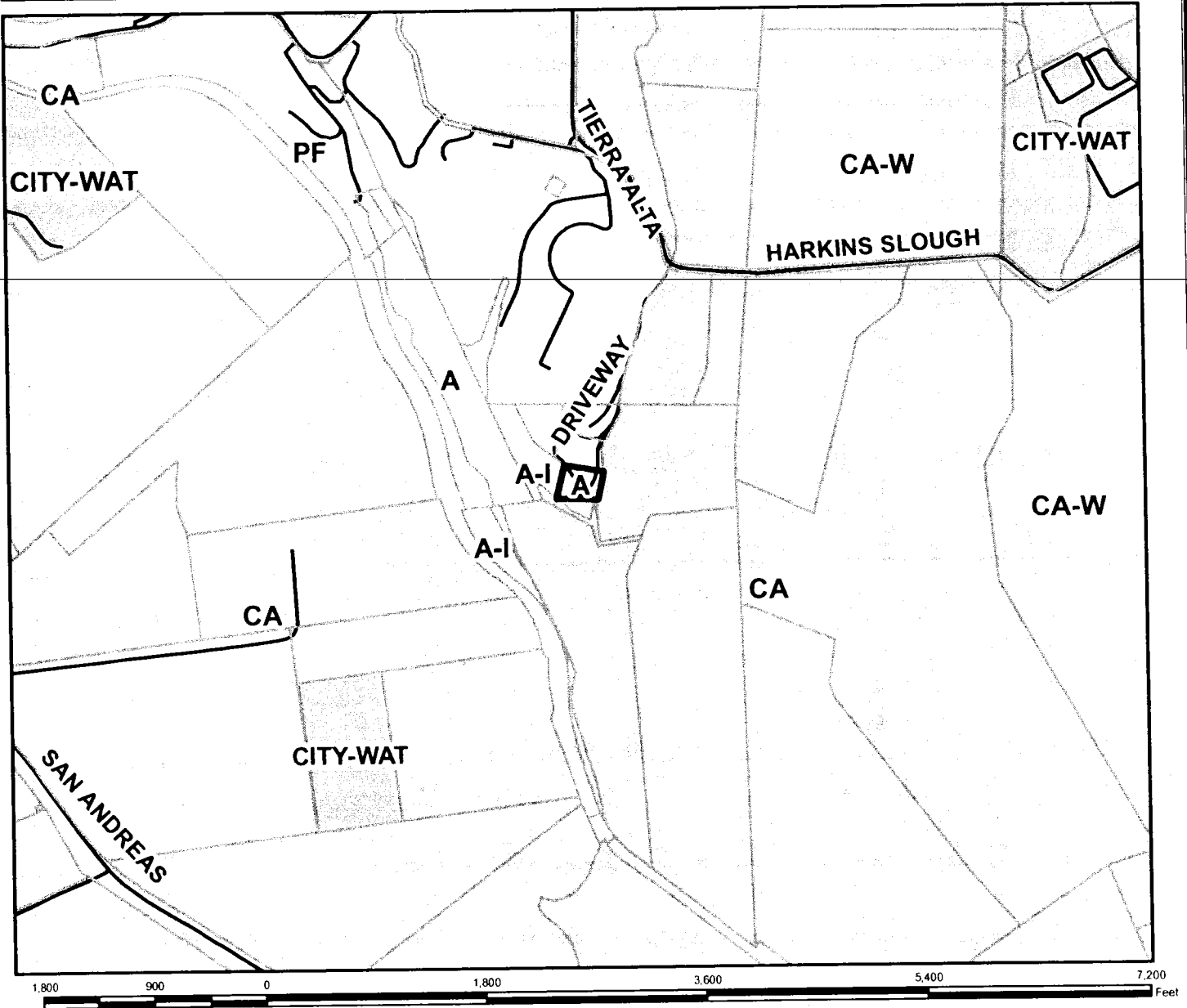
County Boundary



Map Created by
County of Santa Cruz
Planning Department
March 2010

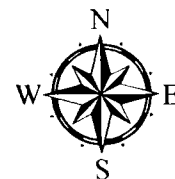


Zoning Map



LEGEND

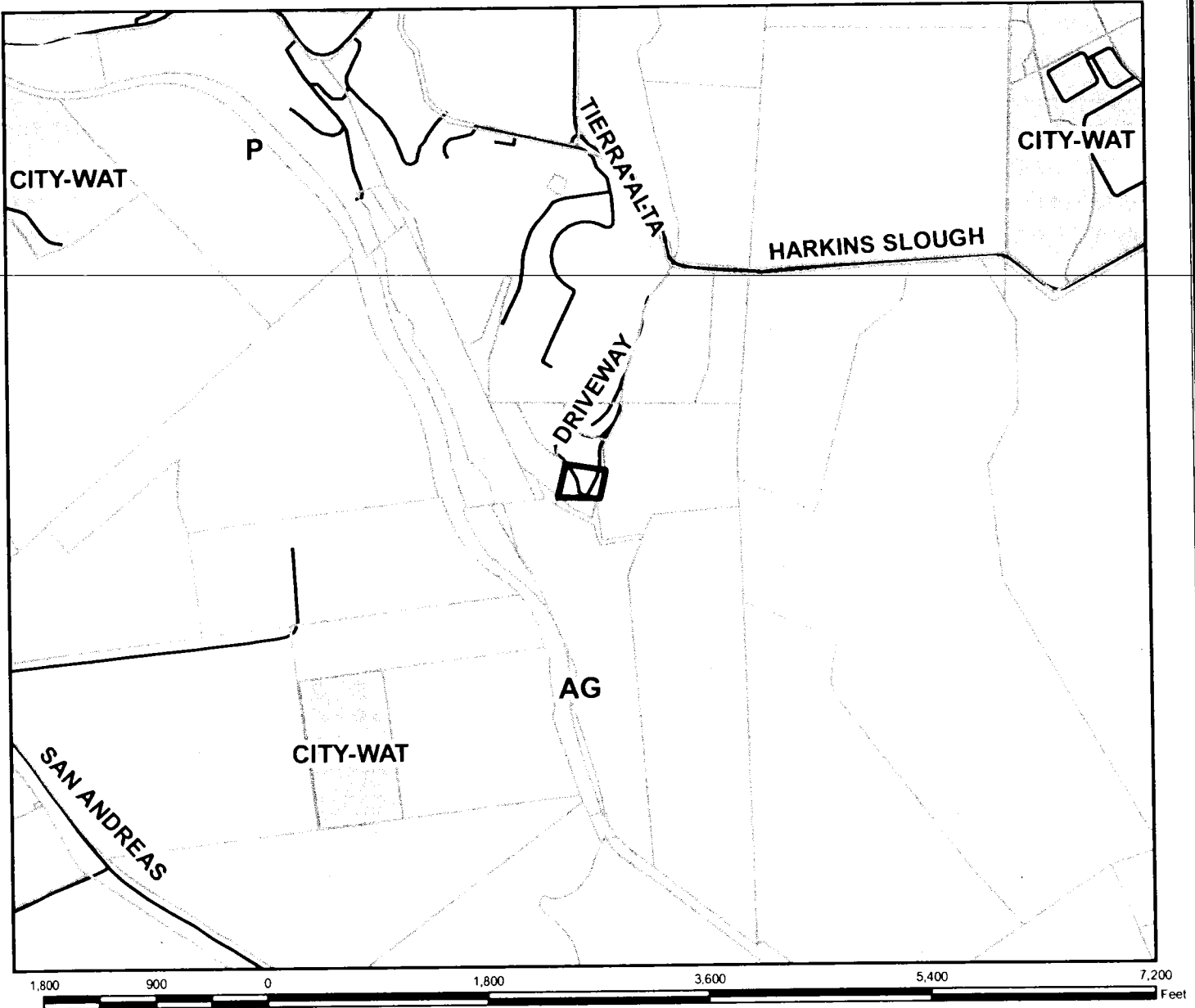
- APN: 052-061-20
- Assessors Parcels
- Streets
- WATSONVILLE
- AGRICULTURE
- PUBLIC FACILITY
- AGRICULTURE COMMERCIAL









Map Created by
County of Santa Cruz
Planning Department
March 2010

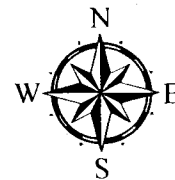


General Plan Designation Map



LEGEND

-  APN: 052-061-20
-  Assessors Parcels
-  Streets
-  WATSONVILLE
-  Agriculture
-  Public Facilities



Map Created by
County of Santa Cruz
Planning Department
March 2010

Project No. SC8714
17 November 2010

WOLCOTT CONSTRUCTION
247 Wavecrest Avenue
Santa Cruz, California 95060

Attention: Michael Wolcott

Subject: Geotechnical Investigation Update Report
• Supplemental Slope Stability Analysis

Reference: Proposed Residence, Parking Area and Septic System
Harkin Slough Road
APN 052-061-20
Watsonville, California

Dear Mr. Wolcott:

In accordance with your request, our firm in conjunction with Craig S. Harwood (C.E.G) have mapped and evaluated the existing and potential future landsliding below your proposed home site at the referenced property.

A Geologic Hazard Assessment (GHA) was requested by the County of Santa Cruz Planning Department in April 2010. Based on a preliminary review of stereo aerial photographs of the area, a large landslide feature was identified along the east side of the ridge bordering Harkin Slough which necessitated a geologic investigation by Mr. Harwood and supplemental slope stability evaluation by our firm.

Purpose and Scope

The purpose of our investigation was to explore the subsurface conditions in order to delineate and map the existing landslide geometry; evaluate the stability and magnitude of seismic displacements of the existing slide; evaluate future secondary sliding; and develop geotechnical design parameters to mitigate the affects of slope instability to the proposed residence and septic treatment "HOOT" tank at the site.

The scope of our services included the following:

1. Review of the following documents;
 - a. Geotechnical Investigation report of reference property by Haro, Kasunich and Associates dated July 2005;
 - b. Geotechnical Investigation update report of reference property by Haro, Kasunich and Associated dated 14 July 2009;

Mr. Michael Wolcott
Project No. SC8714
Harkin Slough Road, Watsonville
17 November 2010
Page 2

c. Engineering Geologic Evaluation report of reference property by Craig Harwood dated 19 October 2010.

2. Subsurface conditions were explored by excavating (2) test pits on 6 and 9 July 2010 and by drilling (8) continuous core exploratory test borings on 28 and 29 July 2001. Soil samples were obtained, sealed and returned to our laboratory for testing;
3. Laboratory classification and testing of select samples consisting of two direct shear tests and one Atterberg Limit test;
4. A quantitative supplemental slope stability analysis of geologic cross sections A and B through the property prepared by Mr. Harwood;
5. Liaison with you, project architect Ed Glatfelter-Jone, project structural engineer Scott Haggblade, project geologist Craig Harwood and Santa Cruz County geologist Joe Hanna through office meetings, site meetings, e-mails and phone correspondence;
6. Engineering analysis of field, laboratory test data and slope stability results and development of geotechnical design recommendations for structural foundations, and tiebacks;
7. Preparation of this report and related graphics, presenting the results of our update investigation.

We refer the reader to Mr. Harwood's Engineering Geologic Evaluation report dated 19 October 2010 for detailed discussion of the aforementioned subsurface field exploration, subsurface materials encountered, site geology, geologic suitable envelope and land slide geometry. Copies of Mr. Harwood's Site Geologic Map, Geologic Cross Sections and subsurface logs were used as part of our geotechnical evaluation and are presented in Appendix A of this report.

Laboratory Testing

Supplemental laboratory testing of samples retrieved during our recent subsurface exploration consisted of two direct shears and one Atterberg Limits (Test) of the native clays.

Mr. Michael Wolcott
Project No. SC8714
Harkin Slough Road, Watsonville
17 November 2010
Page 9

Discussions, Conclusions and Recommendations

Based on the results of our field exploration and supplemental slope stability analysis, the proposed residence and "HOOT" tank structure will be subject to "ordinary risks" as described in Appendix C of this report, provided the discussions, conclusions and recommendations presented in this report are adhere to during the design and construction of the project.

The concept of supporting the proposed building on a pin pile retaining wall system below the existing fill and design slip surface has not changed since the issuance of our July 2005 report. Therefore the recommendations presented in our July 2005 Geotechnical Investigation Report and our 14 July 2009 Geotechnical Update Report still apply. However, the following updated geotechnical criteria should be considered in the design and construction of the proposed project. If conflict arises with the geotechnical recommendations between these three reports, the recommendations in this 2010 report shall govern. If further clarification is needed, please contact our office.

The results of our evaluation and the recommendations in this update report are based on the assumption the location and final grades of the planned improvements will not change. If changes occur, we should be provided an opportunity to further evaluate and provide additional geotechnical recommendations prior to construction.

We recommend the proposed residential structure and "HOOT" septic tank be supported by deep piers that penetrate through existing fill and landslide clay and derive structural support in the intact native clays and silty sands.

We recommend the east perimeter of the proposed structure and "HOOT" septic tank be supported by a pin pile retaining wall system that will provide vertical support of the home and tank, and lateral retention of the potential landslide soils below these improvements.

An automatic shut off system should be provided between the "HOOT" tank and shallow dispersion field in case landslide movement occurs and ruptures the out flow lines between the tank and drain fields.

The south, west and north sides of the home are setback far enough from the break slopes and therefore do not require lateral retention from a pin pile retaining wall, however conventional piers should be utilized to penetrate the existing fill and be founded into native intact clay and silty sands. A concrete grade beam should be used to structurally tie the piers at their top.

Mr. Michael Wolcott
Project No. SC8714
Harkin Slough Road, Watsonville
17 November 2010
Page 10

Active retained heights of up to 21 feet are anticipated for the furthest down slope corner of the proposed residence and "HOOT" tank requiring a lateral resisting load of up to 39 kips per linear feet. We anticipate the need for additional lateral support will be needed from tiebacks, helical anchors and/or utilizing the interior pier and grade beams as lateral dead man.

Concrete slab floors should be designed to span over grade beams, ultimately transmitting their load to the piers. The landslide and intact clays on site are highly expansive and can damage concrete slab-on-grade floors. Based on the lowest final floor elevation of the garage in relation to the top of the clay soil encountered, there will be at least 5 feet of granular, non expansive native silty sand between the clay and garage slab. Therefore, the 5 feet of non expansive soil in conjunction with the pier foundation will offset the negative expansion potential of these clays.

It should be noted the recommendations presented in this report are focused on mitigating the affects of landsliding to the proposed residence and "HOOT" tank. The remaining improvements (existing and proposed), located on the east side of the ridge will be susceptible to small amounts of movement from potential landsliding. These improvements consist of, but are not limited to the existing asphalt driveway, existing power lines, proposed driveway, proposed parking, proposed hammer head, proposed fill slope, proposed storm drain system and proposed shallow septic drain fields. Based on our calculated Newmark displacements of between 0.098 to 0.175 feet (**or 1.2 to 2.1 inches**) it is our opinion the movement and damage from potential landsliding to the previously mentioned improvements will be minimal, and easily repairable. For instance, if these calculated displacements do occur on the driveway, parking and hammer head, the proposed residence would still be accessible to emergency response vehicles even if not repaired immediately.

The following recommendations for piers, pin pile piers, tie backs and helical anchors should be used as guidelines for preparing preliminary project plans and specifications, and assume that **Haro, Kasunich & Associates** will be commissioned to review and if deemed necessary provide additional geotechnical recommendations prior to final design.

Pier Recommendations

1. We recommend the proposed residence and "HOOT" tank be supported by a combination of a pin pile pier retaining wall system along the east side of the residence and conventional piers for the remaining portions of the home and tank;

Archaeological Reconnaissance of a Parcel
On Harkins Slough Road, near
Watsonville, in the County of Santa Cruz, California
APN 052-061-20

April 2010

For

Michael & Lynne Wolcott

By

ROBERT L. EDWARDS, A.A., B.A., M.A. and R.P.A.
Principal and Consulting Archaeologist
and

Charr Simpson Smith, A.A., A.S. B.A. and
Archaeological Technology Certificate, CCATP

Archaeological Associates of Central California
P.O. Box 310, Soquel, CA 95073-0310
Email: *robedwardsaacc@gmail.com*, phone 831-246-0907

Sites: Project parcel negative, P-44000133, CA-SCR-129 was relocated on
the parcel to the south of the project parcel

Acreage: 1.965 Ac.

UTMGs: Zone 10 606350/4085050

Quad Map: Watsonville West Quad

Key Words: Negative (But adjacent to P-44-000133)

Project No: AACC 10-03-21

no recorded sites within the project parcel. There is one recorded site (CA-SCR-129) within adjacent parcel to the south. There are no previous studies within the project parcel. There are two negative studies within the research area adjacent to the subject parcel. The extensive files of AACC files were also consulted for information.

A general surface reconnaissance (King et. al. 1973) of the project area was conducted by the authors on April 7, 2010. Two surveyors were on the parcel from 10:00 am to about 11:30 am (or 2 person - 90 minute) investigation. Soil visibility was good with several exposures associated with a current agricultural/garden. Unmodified pebbles and cobbles of Monterey Banded chert were noted in the garden. The soil there has been plowed several times and some soil was imported to improve the garden. The soil color and consistency was medium grey brown silty clay. The land adjacent to the garden was staked for the development and was also checked. There were no indicators of cultural materials on the subject parcel.

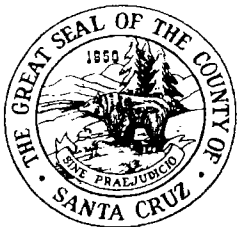
Our field survey continued to the south, off the paved road and off the subject parcel looking for remnants a prehistoric site, CA-SCR-129 noted on the site record as being in the vicinity of this parcel. Site remains for CA-SCR-129 were located. The remains were scattered shell fragments (*Mytilus edulis* and *Protothaca*) in a medium gray brown silty clay soil matrix. There were no lithics, fire-altered rock or other indications of a habitation site found. An old road cut has bisected the topography of the site. The portion of the site above the road cut is sloped from 45-50%. The site below the old road cut down to recently leveled area is at a 60-90% slope. The north and south sides of the site end before getting to the road above and where flatteThe east and west boundaries were not determined due to hillside brush.

REPORT OF FINDINGS

The archival research and the surface reconnaissance do not indicate the presence of an archaeological site on the proposed project parcel. No archaeological impact can be predicted and the proposed development should not be held up on the basis of archaeological concerns.

REFERENCES

- Barbour, M.G.
1977 *Terrestrial Vegetation of California*. John Wiley & Sons, Inc. CA
- Bergthold, Judith C.
1982 Prehistoric Settlement and Trade Models in the Santa Clara Valley, California. Masters Thesis, San Francisco State University, August.
- Edwards, Robert,
1969 "Use of the Universal Transverse Mercator Grid for Archaeological Survey" in American Antiquity, April.
- Edwards, Rob and Mark G. Hylkema
2008 Personal Communication, lecture 6/16/2008.
- Gordon, Burton L.
1977 *Monterey Bay Area: Natural History and Cultural Imprints*. Pacific Grove, CA: Boxwood Press. 2nd edition.
- Hylkema, Mark G.
1991 "Prehistoric Native American Adaptations Along the Central California Coast of San Mateo and Santa Cruz Counties." A Thesis presented to the Faculty of the Department of Social Science, San Jose State University.
- 2003 "Tidal Marsh, Oak Woodlands, and Cultural Florescence in the Southern San Francisco Bay Region" in *The Journal of California and Great Basin of Anthropology*.



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
KATHLEEN MOLLOY PREVISICH, PLANNING DIRECTOR

March 20, 2011

Michael and Lynn Wolcott
247 Wavecrest Avenue
Santa cruz, CA 95060

**Subject: Review of Geotechnical Engineering Report by Haro, Kasunich and Associates
Dated July 14, 2009 and November 17, 2010: Project: SC8714, and,
Engineering Geology Report by Craig S. Harwood dated October 19, 2010: Filre
No. G-345.2**

APN 052-061-20, Application #: APP-10-0081

Dear Applicant:

The purpose of this letter is to inform you that the Planning Department has accepted the subject reports and the following items shall be required:

1. All construction shall comply with the recommendations of the reports.
2. Final plans shall reference the reports and include a statement that the project shall conform to the reports' recommendations.
3. Prior to building permit issuance *plan review letters* shall be submitted to Environmental Planning. After plans are prepared that are acceptable to all reviewing agencies, please submit technical review letters that state the project plans conform to the recommendations of the reports. *Please note that the plan review letters must reference the final plan set by last revision date.* The authors of the reports shall write the *plan review letters*.
4. Please submit electronic copies of the soils and geology reports in .pdf format via compact disk or email to: pln829@co.santa-cruz.ca.us. Please note that the report must be generated and/or sent directly from the soils engineer or engineering geologist of record.
5. The attached declaration of geologic hazards must be recorded before the final of the building permit for the new structure.

After building permit issuance the soils engineer and engineering geologist *must remain involved with the project* during construction. Please review the *Notice to Permits Holders* (attached).

Our acceptance of the report is limited to its technical content. Other project issues such as zoning, fire safety, septic or sewer approval, etc. may require resolution by other agencies.

Please note that this determination may be appealed within 14 calendar days of the date of service. Additional information regarding the appeals process may be found online at:
http://www.sccoplanning.com/html/devrev/plnappeal_bldg.htm

Please call the undersigned at (831) 454-3175 if we can be of any further assistance.

Sincerely,

Joe Hanna CEG 1313
County Geologist

Carolyn Banti
Civil Engineer

Cc: Robert Loveland, Environmental Planning
owner (if different from applicant)



Drainage Review

Routing No: 2 Review Date: 03/07/2011

GERARDO VARGAS (GVARGAS) : Complete

Completeness comments:

Application has been approved for the discretionary stage in regards to drainage.

Miscellaneous comments:

The project was approved on design concept and feasibility. Further review of design and stormwater calculation will be reviewed at the building application stage.

Upon approval of the project, a drainage "Hold" will be placed on the permit and will be cleared once the construction is complete and the stormwater management improvements are constructed per the approved plans: In order to clear the Hold, one of these options has to be exercised:

1. The civil engineer has to inspect the drainage improvements on the parcel and provide public works with a letter confirming that the work was completed per the plans. The civil engineer's letter shall be specific as to what got inspected whether invert elevations, pipe sizing, the size of the mitigation features and all the relevant design features. Notes of "general conformance to plans" are not sufficient.
2. As-built plans stamped by the civil engineer may be submitted in lieu of the letter. The as-built stamp shall be placed on each sheet of the plans where stormwater management improvements were shown.
3. The civil engineer may review as-built plans completed by the contractor and provide the county with an approval letter of those plans, in lieu of the above two options. The contractor installing the drainage improvements will provide the civil engineer as-built drawings of the drainage system, including construction materials, invert elevations, pipe sizing and any modifications to the horizontal or vertical alignment of the system. The as-built drawings, for each sheet showing drainage improvements and/or their construction details, must be identified with the stamp (or label affixed to the plan) stating the contractor's name, address, license and phone #. The civil engineer will review the as-built plans for conformance with the design drawings. Upon satisfaction of the civil engineer that the as-built plans meet the design intent and are adequate in detail, the civil engineer shall submit the as-



Drainage Review

Routing No: 2 Review Date: 03/07/2011

GERARDO VARGAS (GVARGAS) : Complete

built plans and a review letter, stamped by the civil engineer to the County Public Works Department for review to process the clearance of the drainage Hold if the submittal is satisfactory.

A recorded maintenance agreement will be required for the proposed retention system. Please contact the County of Santa Cruz Recorder's office for appropriate recording procedure. The maintenance agreement form can be picked up from the Public Works office or can be found online at:
<http://www.dpw.co.santa-cruz.ca.us/Storm%20Water/FigureSWM25.pdf>

The applicant is encouraged to discuss the above comments with the reviewer to avoid unnecessary additional routings. A \$200.00 additional review fee shall be applied to all re-submittals starting with the third routing.

Please call the Dept. of Public Works, Stormwater Management Section, from 8:00 am to 12:00 noon if you have questions.

Environmental Health Review

Routing No: 1 Review Date: 03/30/2010

JIM SAFRANEK (JSafraneK) : Complete

:Review Type= ENVIRONMENTAL HEALTH ===== REVIEW ON MARCH 30, 2010
BY JIM G SAFRANEK ===== Project received EHS permit approval for onsite sewage disposal and water;10-0081 is complete for EHS. MISCELLANEOUS COMMENT:
===== REVIEW ON MARCH 30, 2010 BY JIM G SAFRANEK ===== NO
COMMENT

Environmental Planning

Routing No: 2 Review Date: 03/10/2011

CAROLYN BANTI (CBANTI) : Complete

Completeness

Soils and geology reports have been accepted. Please see letter dated 3/10/11. Archaeological Report from Robert Edwards, dated May 2010 has been reviewed and accepted by Robert Loveland, Resource Planner. No additional archaeological information is required.

Compliance

As noted in first review comments from the fire agency and outlined in County Code

EXHIBIT H



Environmental Planning

Routing No: 2 Review Date: 03/10/2011

CAROLYN BANTI (CBANTI) : Complete

Chapter 16.20, fire turnouts are required every 500 feet for driveways more than 500 feet in length. Current plans do not show these features.

Conditions

Please submit an electronic copy of the soils and geology reports in .pdf format via compact disk or email to: pln829@co.santa-cruz.ca.us. Please note that the report must be generated and/or sent directly from the soils engineer of record.

A declaration of geologic hazards (sent as an attachment to the soils and geology acceptance letter dated 3/10/11) must be recorded on the parcel deed before the final of the building permit for the new structure.

Final plans shall reference the soils and geology reports and include a statement that the project shall conform to the reports' recommendations.

Fire Review

Routing No: 2 Review Date: 03/10/2011

SAMANTHA HASCHERT (SHASCHERT) : Not Required

Project Review

Routing No: 3 Review Date: 04/05/2011

SAMANTHA HASCHERT (SHASCHERT) : Complete

submitted signage certificate

Road Engineering Review

Routing No: 2 Review Date: 03/04/2011

ANWARBEG MIRZA (AMIRZA) : Complete

Conditions: (Misc. Comments of Building Application)

1. Intersection of private road to Harkins Slough Road needs to be repaired per county standards. Please contact Dave Garibotti in Encroachment for details.

Urban Designer Review

Routing No: 1 Review Date: 02/28/2011

SAMANTHA HASCHERT (SHASCHERT) : Not Required

:Review Type= URBAN DESIGNER NO PROJECT REVIEW DESCRIPTION AVAILABLE



Drainage Review

Routing No: 2 | Review Date: 03/07/2011

GERARDO VARGAS (GVARGAS) : Complete

drawings of the drainage system, including construction materials, invert elevations, pipe sizing and any modifications to the horizontal or vertical alignment of the system. The as-built drawings, for each sheet showing drainage improvements and/or their construction details, must be identified with the stamp (or label affixed to the plan) stating the contractor's name, address, license and phone #. The civil engineer will review the as-built plans for conformance with the design drawings. Upon satisfaction of the civil engineer that the as-built plans meet the design intent and are adequate in detail, the civil engineer shall submit the as-built plans and a review letter, stamped by the civil engineer to the County Public Works Department for review to process the clearance of the drainage. Hold if the submittal is satisfactory.

A recorded maintenance agreement will be required for the proposed retention system. Please contact the County of Santa Cruz Recorder's office for appropriate recording procedure. The maintenance agreement form can be picked up from the Public Works office or can be found online at:
<http://www.dpw.co.santa-cruz.ca.us/Storm%20Water/FigureSWM25.pdf>

The applicant is encouraged to discuss the above comments with the reviewer to avoid unnecessary additional routings. A \$200.00 additional review fee shall be applied to all re-submittals starting with the third routing.

Please call the Dept. of Public Works, Stormwater Management Section, from 8:00 am to 12:00 noon if you have questions.

Environmental Health Review

Routing No: 1 | Review Date: 03/30/2010

JIM SAFRANEK (JSafraneK) : Complete

:Review Type= ENVIRONMENTAL HEALTH ===== REVIEW ON MARCH 30, 2010
BY JIM G SAFRANEK ===== Project received EHS permit approval for onsite sewage
disposal and water;10-0081 is complete for EHS. MISCELLANEOUS COMMENT:
===== REVIEW ON MARCH 30, 2010 BY JIM G SAFRANEK ===== NO
COMMENT



Environmental Planning

Routing No: 1 | Review Date: 04/13/2010

CAROLYN BANTI (CBANTI) : Complete

:Review Type= ENVIRONMENTAL PLANNING ===== REVIEW ON APRIL 12, 2010 BY CAROLYN I BANTI ===== ++ Completeness ++ First Rev. ++ Soils and Grading ++
Cursory review of the geotechnical information provided indicates that landsliding has occurred in the vicinity of the proposed development. Due to this circumstance, the following is required: A Geologic Hazards Assessment (GHA) is required to determine if a full engineering geology report will be required. The application for a GHA may be submitted at the zoning counter between 8-11 am M-F. The soils report cannot be reviewed until the GHA is complete and all technical reports have been received for review. Additional comments may be forthcoming following completion of the GHA and technical report reviews. Show all geologic or geotechnical setbacks on the grading plans. Prior to discretionary approval, a geotechnical plan review letter must be submitted that references the final plan set and states that the plans are in conformance with the geotechnical report and addendums. (Please note: If the GHA determines a geologic report is required, the geologist of record must submit a similar plan review/acceptance letter. Be aware that updates to the plans and/or technical information will require an updated plan review letter.)

MISCELLANEOUS COMMENT: ===== REVIEW ON APRIL 13, 2010 BY

CAROLYN I BANTI ===== ++ First Review ++ Compliance ++ Soils and Grading ++
None ++ First Review ++ Conditions/Misc. ++ Soils and Grading ++ Please turn in two copies of the soils report (and geology report, if required) at the time of building permit application. Please submit two copies of a geotechnical plan review letter prior to issuance of building permit application.

Routing No: 2 | Review Date: 03/10/2011

CAROLYN BANTI (CBANTI) : Complete

Completeness

Soils and geology reports have been accepted. Please see letter dated 3/10/11. Archaeological Report from Robert Edwards, dated May 2010 has been reviewed and accepted by Robert Loveland, Resource Planner. No additional archaeological information is required.

Compliance

As noted in first review comments from the fire agency and outlined in County Code Chapter 16.20, fire turnouts are required every 500 feet for driveways more than 500 feet in length. Current plans do not show these features.

Conditions

Please submit an electronic copy of the soils and geology reports in .pdf format via compact disk or email to: pln829@co.santa-cruz.ca.us. Please note that the report



County of Santa Cruz, PLANNING DEPARTMENT

Discretionary Application Comments 10-0081

APN 052-061-20

Environmental Planning

Routing No: 2 | Review Date: 03/10/2011

CAROLYN BANTI (CBANTI) : Complete

must be generated and/or sent directly from the soils engineer of record.

A declaration of geologic hazards (sent as an attachment to the soils and geology acceptance letter dated 3/10/11) must be recorded on the parcel deed before the final of the building permit for the new structure.

Final plans shall reference the soils and geology reports and include a statement that the project shall conform to the reports' recommendations.

Fire Review

Routing No: 1 | Review Date: 02/17/2011

COLLEEN BAXTER (CBAXTER) : Complete

OFFICE OF THE FIRE MARSHAL

SANTA CRUZ COUNTY FIRE DEPARTMENT / *CALFIRE*

CAL FIRE

SAN MATEO-SANTA CRUZ UNIT

6059 HIGHWAY 9

P.O. DRAWER F-2

FELTON, CA 95018

Phone (831) 335-6748

Fax # (831) 335-4053

JOHN FERREIRA

FIRE CHIEF

Date: 2/17/11

Planning Department

County of Santa Cruz

Attention: Name

701 Ocean Street

Santa Cruz, CA 95060

Subject: APN: 052-061-20 / Appl #10-0081
Address



Fire Review

Routing No: 1 | Review Date: 02/17/2011

COLLEEN BAXTER (CBAXTER) : Complete

Dear Name:

The Santa Cruz County Fire Marshals Office has reviewed the plans for the above cited project and has no objections as presented.

- Any other requirements will be addressed in the Building Permit phase.
- Plan check is based upon plans submitted to this office. Any changes or alterations shall be re-submitted for review prior to construction.

NOTE on the plans "the job copies of the building and fire systems plans and permits must be on-site during inspections."

Note: As a condition of submittal of these plans, the submitter, designer and installer certify that these plans and details comply with applicable Specifications, Standards, Codes and Ordinances, agree that they are solely responsible for compliance with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent review, inspection or other source, and, to hold harmless and without prejudice, the reviewer and reviewing agency.

Should you have any additional concerns, you may contact our office at (831) 335-6748.

:Review Type= CAL DEPT OF FORESTRY/COUNTY FIRE ===== REVIEW ON
MARCH 23, 2010 BY COLLEEN L BAXTER ===== DEPARTMENT NAME: Add the
appropriate NOTES and DETAILS showing this information on your plans and RESUBMIT, with
an annotated copy of this letter: SHOW on the plans, DETAILS of compliance with the driveway
requirements. The driveway shall be 12 feet minimum width and maximum twenty percent
slope. The driveway shall be in place to the following standards prior to any framing construction,
or construction will be stopped: - The driveway surface shall be "all weather", a minimum 6" of
compacted aggregate base rock, Class 2 or equivalent certified by a licensed engineer to 95%
compaction and shall be maintained. - ALL WEATHER SURFACE: shall be a minimum of 6" of
compacted Class II base rock for grades up to and including 5%, oil and screened for grades up to
and including 15% and asphaltic concrete for grades exceeding 15%, but in no case exceeding
20%. - The maximum grade of the driveway shall not exceed 20%, with grades of 15% not



Fire Review

Routing No: 1 | Review Date: 02/17/2011

COLLEEN BAXTER (CBAXTER) : Complete

permitted for distances of more than 200 feet at a time. - The driveway shall have an overhead clearance of 14 feet vertical distance for its entire width. - A turn-around area which meets the requirements of the fire department shall be provided for access roads and driveways in excess of 150 feet in length. - Drainage details for the road or driveway shall conform to current engineering practices, including erosion control measures. - All private access roads, driveways, turn-arounds and bridges are the responsibility of the owner(s) of record and shall be maintained to ensure the fire department safe and expedient passage at all times. - The driveway shall be thereafter maintained to these standards at all times. All Fire Department building requirements and fees will be addressed in the Building Permit phase. Plan check is based upon plans submitted to this office. Any changes or alterations shall be re-submitted for review prior to construction. 72 hour minimum notice is required prior to any inspection and/or test. Note: As a condition of submittal of these plans, the submitter, designer and installer certify that these plans and details comply with the applicable Specifications, Standards, Codes and Ordinances, agree that they are solely responsible for compliance with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent review, inspection or other source, and, to hold harmless and without prejudice, the reviewing agency. If your driveway is 500 feet in length or more, CALFIRE approved turnouts must be in place every 500 feet. For the dimensions of the turnouts, please visit our website at www.santacruzcountyfire.com and go to the County Fire Marshal's link. MISCELLANEOUS COMMENT: ===== REVIEW ON MARCH 23, 2010 BY COLLEEN L BAXTER =====

Routing No: 2 | Review Date: 03/10/2011

SAMANTHA HASCHERT (SHASCHERT) : Not Required

Project Review

Routing No: 1 | Review Date: 02/28/2011

SAMANTHA HASCHERT (SHASCHERT) : Incomplete

project incomplete, see other agency comments (not complete) and letter in file

Routing No: 2 | Review Date: 03/10/2011

SAMANTHA HASCHERT (SHASCHERT) : Incomplete

Incomplete for signage

Routing No: 3 | Review Date: 04/05/2011

SAMANTHA HASCHERT (SHASCHERT) : Complete

submitted signage certificate



Road Engineering Review

Routing No: 1 | Review Date: 04/02/2010

ANWARBEG MIRZA (AMIRZA) : Complete

:Review Type= DPW ROAD ENGINEERING ===== REVIEW ON APRIL 2, 2010 BY ANWARBEG MIRZA ===== Show the intersection details (such as pavement conditions, any potholes, sight distance issues etc.) of private access driveway/road to Harkins Slough Road in plan view. (Photos/digital pictures of the intersection are preferable) For questions, call Anwar Mirza at 831 454 2160. MISCELLANEOUS COMMENT: ===== REVIEW ON APRIL 2, 2010 BY ANWARBEG MIRZA ===== NO COMMENT

Routing No: 2 | Review Date: 03/04/2011

ANWARBEG MIRZA (AMIRZA) : Complete

Conditions: (Misc. Comments of Building Application)

1. Intersection of private road to Harkins Slough Road needs to be repaired per county standards. Please contact Dave Garibotti in Encroachment for details.

Urban Designer Review

Routing No: 1 | Review Date: 02/28/2011

SAMANTHA HASCHERT (SHASCHERT) : Not Required

:Review Type= URBAN DESIGNER NO PROJECT REVIEW DESCRIPTION AVAILABLE