



Staff Report to the Zoning Administrator

Application Number: **131077**

Applicant: Matson Britton Architects
Owner: Mike and Lori Wade
APN: 063-071-10

Agenda Date: 8/02/2013
Agenda Item #: 2
Time: After 9:00 a.m.

Project Description: Proposal to construct an approximately 3,902 square foot two story single family dwelling with an attached 473 square foot garage, a detached 885 square foot garage, and a 60 square foot pool bathroom on a parcel in the RA zone district. Requires a Coastal Development Permit, Preliminary Grading Approval, and an Environmental Exemption from the California Environmental Quality Act (CEQA).

Location: Property located on the south side of Brisa Del Mar, approximately 400 feet southwest of Via Venado and ¼ mile west from Bonny Doon Road.

Supervisory District: 3rd District (District Supervisor: Neil Coonerty)

Permits Required: Coastal Development Permit and Preliminary Grading Approval

Technical Reviews: None

Staff Recommendation:

- Certification that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 131077, based on the attached findings and conditions.

Exhibits

- | | |
|---|---|
| A. Categorical Exemption (CEQA determination) | E. Assessor's, Location, Zoning and General Plan Maps |
| B. Findings | F. Comments & Correspondence |
| C. Conditions | |
| D. Project plans | |

Parcel Information

Parcel Size:	4.72 acres
Existing Land Use - Parcel:	Vacant
Existing Land Use - Surrounding:	Residential, Timber Preserve, Agriculture
Project Access:	40' R/W (Brisa Del Mar)
Planning Area:	Bonny Doon
Land Use Designation:	RM (Mountain Residential)
Zone District:	RA (Residential Agriculture)

Coastal Zone: x Inside Outside
Appealable to Calif. Coastal Yes x No
Comm.

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Soils: Soils report required prior to building permit issuance
Fire Hazard: Critical Fire Hazard
Slopes: 0-30% slope
Env. Sen. Habitat: No mapped resources
Grading: Total volumes: 627 cubic yards (cy) cut, 361 cy fill, net 266 cy cut
Residence: 325 cy cut and 342 cy fill, net 17 cy yards fill
Driveway: 302 cy cut and 19 cy fill, net 283 cy cut for driveway
Excess cut required to be off-hauled to a landfill
Tree Removal: One 24 inch in diameter fir tree removed within the building
envelope, as noted
Scenic: Not a mapped resource
Drainage: Existing drainage adequate
Archeology: Mapped Archaeological; the environmental analysis for the Redwood
Meadows subdivision evaluated archaeology resources as part of
building envelope design. Additional analysis for resources is not
required; however the conditions of approval of this project require
construction to cease if archaeological resources are found during
grading activities per County Code 16.40.040 and 16.42.080.

Services Information

Urban/Rural Services Line: Inside x Outside
Water Supply: Shared Water system for Redwood Meadows Ranch,
approved by Environmental Health
Sewage Disposal: Septic System approved by Environmental Health
Fire District: California Department of Forestry and Fire Protection
Drainage District: N/A

History

The property is located within the Redwood Meadows Ranch Subdivision and Planned Unit Development approved in 1983 and located on the west side of the topographic crest of Bonny Doon Road north from Highway One. The development contains 12, five-acre lots, surrounded by a 70-acre agricultural lot and 140 acre timber preserve area.

The Redwood Meadows Ranch Subdivision Permit established the approved building envelopes for each lot. All residential lots were pre-approved for septic and a shared water system by Environmental Health. Updated approvals have been completed as part of the coastal permit review process. The entire development includes a minimum 16 foot shared access as well as 12 foot gated emergency access road.

The Subdivision conditions of approval include a number of home development criteria. These include:

- Native drought tolerant landscaping
- Grading limited to area necessary for construction
- To minimize the visual impact of hill or ridge top development, home design shall have a low profile or split-level, use earthen color tones and make maximum use of landscape screening. Structures shall be sited and designed so as to prevent reflections from windows in the daytime, or from indoor or outdoor lighting at night from being seen on either on eight Bonny Doon Road or on the Coast Road (Highway One)
- Structural improvements limited to building envelopes
- Homes required to be plumbed and wired for solar water heating
- All units shall be oriented to make maximum use of solar energy
- No perimeter site fencing except within the building envelope
- All buildings should be designed and sited to balance minimum tree removal against maximum solar opportunity

Two previous Coastal Development Permits have been issued on this property. Both permits have expired because they were not exercised and are no longer valid. This includes Permit 01-0407, which authorized a 3,648 square foot single family dwelling with a detached 576 square foot garage, including 510 cubic yards of grading; and, Permit 95-0569 for a 2,671 square foot dwelling with a 550 square foot detached habitable accessory structure, including 230 cubic yards of grading.

Prior to the submittal of the current coastal permit application the existing trees located within the building envelope were removed from the site with exception of one 24 inch fir tree. While the conditions of the Redwood Meadows Ranch development generally encourage that tree removal be minimized, the removed trees and proposed 24 inch fir tree do not qualify as significant trees pursuant to the Significant Tree Protection Ordinance because the property is located outside the Urban Services line and Rural Service Line and is not visible from a scenic road, beach, or within a designated scenic corridor. Thus, a permit to remove these trees was not required by the ordinance and is not a consideration for this application.

Site Setting

The subject property extends along a narrow knoll extending southwest from Brisa Del Mar and gradually slopes down to the southwest. The building envelope is located along the spine of the knoll and is surrounded by a mix of existing and mature oak, madrone, and fir trees. The site varies in topography, but is generally gently sloping at the site entry and gradually drops off toward the rear of the building envelope, between 0 and 15 percent slope. An existing driveway cut follows the eastern edge of the building envelope and some fill is present at the center of the building envelope per the County Civil Engineer.

Existing topographic contour differences and existing trees located outside the building envelope obscure views of the site from the surrounding residential lots as well as surrounding roadways, including Highway One and Bonny Doon Road.

Proposed Project

The project consists of a two story single family dwelling with three bedrooms, three and one half baths, a living room, dining room, kitchen, and an attached two car garage as well as a pool with a detached pool bathroom located in the lower level of the dwelling. The house is designed in a u-shape around an interior courtyard located at the front of the proposed dwelling and between a first story element located on the northeast side of the property and a recessed two story element located on the southwest side of the building envelope containing the proposed garage and second story living room area. The second story portion of the structure is located toward the front of the recessed portion of the house. Additional covered porch areas are provided along the west side of the garage and the south side of the home nearby the pool. A detached garage is also located at the entry to the property.

Proposed colors and materials include green colored stucco siding, dark gray composition shingles, and ivory wood windows, trim and garage door. Rock facing is proposed along portions of the base of the front of the structure.

The following table provides a breakdown of the proposed square footage.

Main House	Square footage
1 st Floor	3,018 square feet
2 nd Floor	884 square feet
Subtotal	3,902 square feet
Attached Non Habitable Garage	473 square feet
Pool Bathroom on first floor	60 square feet
Total	4,435 square feet
Detached Non Habitable Garage	885 square feet
Covered Porches*	571.75 square feet

*Covered porches do not count toward floor area in general

Zoning & General Plan Consistency

The subject property is a parcel of approximately 4.7 acres, located in the RA (Residential Agriculture) zone district, a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district and the zoning is consistent with the site's (Mountain Residential) General Plan designation. The Residential Agriculture zoning allows up to 10 percent lot coverage and does not establish a maximum floor area ratio standard given the large size of properties with this zoning. The proposed structure will be approximately 2.5 percent lot coverage, far below the standard.

Proposed structural improvements are located entirely within the building envelope toward the rear where partial views of the ocean are available. Additional work, including grading and a future septic system leach expansion area is proposed slightly beyond the envelope, and is necessary for driveway and foundation construction. This work is consistent with the conditions

of approval of the Redwood Meadows Subdivision, which limit structural work and grading to within the building envelope and that necessary for construction.

The proposed project includes approximately 627 cubic yards (cy) cut, 361 cy fill with a net of 266 cy cut. Environmental Planning staff has noted that some of this proposed grading is necessary to address previous fill placed on this site and the previously graded roadway. Grading also addresses the grade differences associated with the knoll site development where the slope of the building envelope drops off on either side, which challenges development of the foundation and driveway entre. These grading volumes are considered acceptable by Environmental Planning staff and will require a grading permit with issuance of the building permit prior to building construction.

The proposed dwelling is approximately 26 feet in height and complies with the maximum 28 foot height standard.

While the home is larger than most homes, the structure is significantly smaller than the 7000 square foot large dwelling standard and therefore does not require a large dwelling review. The structure incorporates the requirements established by the Redwood Meadows Ranch Conditions of approval, including provision for solar access and plumbing, which will be included in the building permit phase of the project. The site is not visible from either Highway One or Bonny Doon Road. Tree removal is limited to the building envelope only and is considered appropriate to development. All other trees outside the envelope are proposed for retention and conditioned to be protected with construction fencing.

The project either meets the Redwood Meadows Subdivision conditions as proposed or is conditioned to require compliance. Project design addresses the orientation of the building to maximize solar access and conditions of approval include required plumbing for solar water heating and a prohibition on site fencing except around the building envelope.

Local Coastal Program Consistency

The proposed Single Family Dwelling is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to fit within the established building envelope and integrated into the natural topography as much as possible. The structure is primarily a one story dwelling with a recessed second story element, meeting the allowed 28 foot building height established by the residential development standards.

The proposed dwelling will not be visible from Bonny Doon Road or Highway 1 due to significant topographic grade differences between these roads and the subject property and intervening mature vegetation. The colors and materials also help to blend the dwelling into the trees, obscuring it further from view by the one home northeast of the building envelope. Size and architectural styles vary widely throughout Redwood Meadows Ranch, and the design submitted is consistent with the existing size range and styles. The project site is not located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Environmental Review

A preliminary determination has been made that the project is exempt from the California Environmental Quality Act and a notice of exemption has been attached as Exhibit A.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- **CERTIFICATION** that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **131077**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

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CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 131077
Assessor Parcel Number: 063-071-10
Project Location: 865 Brisa Del Mar

Project Description: Proposal to construct an approximately 3,902 square foot two story single family dwelling with an attached 473 square foot garage, a detached 885 square foot garage, and a 60 square foot pool bathroom on a parcel in the RA zone district. Requires a Coastal Development Permit, Preliminary Grading Approval, and an Environmental Exemption from the California Environmental Quality Act (CEQA).

Person or Agency Proposing Project: Matson Britton Architects

Contact Phone Number: (831) 425-0544

- A. _____ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. _____ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. _____ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. _____ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).

Specify type:

E. X **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. **Reasons why the project is exempt:**

Construction of a Single Family Dwelling in a residential zone.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Sheila McDaniel, Project Planner

Date: _____

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts, other than the Special Use (SU) district, listed in section 13.10.170(d) as consistent with the General Plan and Local Coastal Program LUP designation.

This finding can be made, in that the property is zoned RA (Residential Agriculture), a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's (MR) Mountain Residential General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to section 13.20.130 et seq.

The proposal is consistent with the design and use standards pursuant to Section 13.20.130 in that the development is sited within the approved building envelope established by the original subdivision; the two story design is consistent with site standards; the tree removal is limited to trees located within the building envelope and, as those trees are not large enough to qualify as significant trees they are not required to be replaced; the house follows the natural topography as much as possible; grading is limited to areas necessary for driveway improvements and house design due to the location straddling a knoll-top; and finally, the proposed structure will not be visible from surrounding residential properties, Bonny Doon Road, or Highway One. The proposed house color will also blend the structure into the natural setting, providing even greater camouflage to the property.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the General Plan and Local Coastal Program land use plan, specifically Chapter 2: figure 2.5 and Chapter 7, and, as to any development between and nearest public road and the sea or the shoreline of any body of water located within the coastal zone, such development is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act commencing with section 30200.

This finding can be made, in that the project site is not located between the shoreline and the first public road. Consequently, the single family dwelling will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

5. That the proposed development is in conformity with the certified local coastal program.

This finding can be made, in that the structure is sited and designed to be visually compatible, in scale, and integrated with the character of the surrounding neighborhood and will not be visible from surrounding residential properties or roadways including Bonny Doon Road or Highway

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One. Additionally, residential uses are allowed uses in the RA (Residential Agriculture) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary widely throughout the Redwood Meadows Ranch, and the design submitted is consistent with the existing range of size and styles.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for Residential uses and is not encumbered by physical constraints to development. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. The proposed single family dwelling will not deprive adjacent properties or the neighborhood of light, air, or open space, in that the structure meets all current setbacks that ensure access to these amenities. The project is conditioned to require solar water heating, consistent with the restrictions placed on the development by the Redwood Meadows Ranch conditions of approval requiring solar access and solar plumbing.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the single family dwelling and the conditions under which it would be maintained will be consistent with all pertinent County ordinances and the purpose of the RA (Residential Agriculture) zone district as the primary use of the property will be one single family dwelling that meets all current site standards for the zone district as well as the conditions of approval established for the Redwood Meadows Ranch.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the RM (Mountain Residential) land use designation in the County General Plan in that the proposed single family residential use is the intended use and site density for this designation and the proposed structure complies with the implementing site standards of the zoning ordinance.

The proposed single family dwelling will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the Single Family Dwelling will not adversely shade adjacent properties, and will meet current setbacks for the zone district.

The proposed single family dwelling will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed single family dwelling will comply with the site standards for the RA zone district (including setbacks, lot coverage, height, and number of stories) and will result in a structure consistent with a design that could be

approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed single family dwelling is to be constructed on an existing undeveloped lot. The expected level of traffic generated by the proposed project is anticipated to be only 1 peak trip per day (1 peak trip per dwelling unit); such an increase will not adversely impact existing roads or intersections in the surrounding area.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a remote part of the county in a mixed neighborhood containing a variety of architectural styles where homes are not visible from each other, and the proposed single family dwelling is consistent with the land use intensity and density of the neighborhood and will not be visible to surrounding structures.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed single family dwelling is not subject to Design Review and will otherwise have no affect on surrounding residential property because it is not visible to surrounding property, Bonny Doon Road, or Highway One. The scale of the proposed structure fits within the building envelope and the materials and colors will complement the natural character of the site.

Conditions of Approval

Exhibit D: Architectural Plan sheets P1, P2, P3, P4, P5, P6, P7, P8, P9, prepared by Matson Britton Architects, dated 8/29/2013
Civil plan sheets C-1, C-2, C-3. prepared by RI Engineering, inc., dated March 2013
Surveyor's map sheets SU1-T, SU1, SU2, SC1, prepared by Michael Beautz, dated January and February 2013

- I. This permit authorizes the construction an approximately 3,902 square foot two story single family dwelling with an attached 473 square foot garage, a detached 885 square foot garage, and a 60 square foot pool bathroom. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - C. Obtain a Grading Permit from the Santa Cruz County Building Official.
 - D. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder) within 30 days from the effective date of this permit.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing

the materials and colors on the elevation, the applicant shall supply a color and material board in 8 1/2" x 11" format for Planning Department review and approval.

2. Grading, drainage, and erosion control plans.
 3. The building plans must include detailed elevations and cross-sections and the topography of the project site which clearly depict the total height of the proposed structure. Maximum height is 28 feet.
 4. Details showing compliance with fire department requirements. If the proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
 5. Water Efficient Landscape Plan (including a signed Water Efficient Landscape Checklist and Certificate) prepared in accordance with the requirements of the Water Efficient Landscape Ordinance (County Code Chapter 13.13) by a certified/licensed landscape architect, landscape contractor, civil engineer, landscape irrigation designer, landscape irrigation auditor, or water manager. Landscaping plans shall provide native and drought tolerant species.
 6. Building plans are required be plumbed and wired for solar water heating.
- B. Meet all requirements of and pay drainage fees to the County Department of Public Works, Stormwater Management as noted in project comments dated June 21, 2013. Drainage fees will be assessed on the net increase in impervious area.
- C. Obtain a final Environmental Health Clearance for this project from the County Department of Environmental Health Services.
- D. Meet all requirements and pay any applicable plan check fee of the Fire Protection District.
- E. Pay the current fees for Parks and Child Care mitigation for 3 bedroom(s). Currently, these fees are, respectively, \$578.00 and \$109.00 per bedroom.
- F. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- G. Complete and record a Declaration of Restriction to construct an 885 square foot detached garage as a non-habitable accessory structure. **You may not alter the wording of this declaration.** Follow the instructions to record and return the form to the Planning Department.
- H. Comply with all conditions of approval of Environmental Planning staff as noted

in the project comments dated 4/4/2013 by Carolyn Burke. This includes, but is not limited to:

1. Submit two copies of a design level geotechnical report prepared by a licensed engineer with the building permit application.
2. Submit a geotechnical plan review letter that states that the project plans have been prepared in conformance with the recommendations of the geotechnical report. Note that all drainage locations must be shown on the plans and approved by the geotechnical engineer with respect to erosion and slope stability prior to permit issuance.\
3. Per County Code Section 7.79.100 (Best Management Practices for Construction Activities), please submit a stormwater pollution control plan that meets the requirements set forth in the County's Construction Site Stormwater Pollution Control BMP Manual. The Manual may be found online at: www.sccoplaning.com, under the "Environmental" tab → "Erosion and Stormwater Pollution Control" → "Construction Site Stormwater BMP Manual".
4. Please revise the limit of grading line to reflect the limits of grading and disturbance. This line would include areas required for construction equipment and access in addition to that required for grading.

III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:

- A. All site improvements shown on the final approved Building Permit plans shall be installed.
- B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
- C. The project must comply with all recommendations of the approved soils reports.
- D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose

noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

- B. Site fencing is permitted along the perimeter of the building envelope only. Property line fencing is prohibited.
 - C. Removal of and/or trimming of trees located beyond the building envelope shall be subject to the significant tree protection ordinance.
- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
 - B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
 - C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
 - D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning

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Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Wanda Williams
Deputy Zoning Administrator

Sheila McDaniel
Project Planner

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

OWNERS: MIRE AND LORIE WADE
1520 VALENCIA ROAD
APTOS, CA 95003

A.P.N.: 063071-10

TONING: RA

OCCUPANCY GROUP: R-3 & U (PER 2010 C.R.C.)

CONSTRUCTION TYPE: VB (SPRINKLERS)

PROJECT DESCRIPTION:
THIS PROJECT CONSISTS OF A NEW TWO STORY SINGLE FAMILY DWELLING WITH THREE BEDROOMS, 3 1/2 BATHS, DINING, AND KITCHEN. AN ATTACHED TWO CAR GARAGE IS ALSO PROVIDED.

CODE COMPLIANCE:
THIS RESIDENTIAL CONSTRUCTION COMPLIES WITH TITLE 24, AND THE FOLLOWING CODES: 2010 CALIFORNIA RESIDENTIAL CODES, 2010 CMC, 2010 CEC AND THE WILDLAND URBAN INTERFACE CODES.

PROJECT SUMMARY

LOT AREA:	205,752 SQ. FT.
LOT COVERAGE PER COUNTY CALCULATIONS	
FIRST FLOOR CONDITIONED AREA:	3,018.0 SQ. FT.
ATTACHED GARAGE:	4,944.25 SQ. FT.
COVERED PORCHES:	894.0 SQ. FT.
186 (NW) + 60.5 (N) + 271 (SW) + 50.7 (SE) =	568.25 SQ. FT.
TOTAL PROPOSED AREAS:	4,244.25 SQ. FT.
LOT COVERAGE: 4,244.25 / 205,752 X (100) =	2.4%

MAX. LOT COVERAGE (@10% OF NET LOT SITE):
205,752 (NET LOT SITE) X .10 =
PROPOSED LOT COVERAGE

PROPOSED AREAS PER COUNTY CALCULATIONS

FIRST FLOOR CONDITIONED AREA:	3,018.0 SQ. FT.
SECOND FLOOR CONDITIONED AREA:	894.0 SQ. FT.
GARAGE (473.0 - 225 CREDIT) =	4,150.0 SQ. FT.
TOTAL PROPOSED AREAS:	
COVERED PORCHES:	106.5 SQ. FT.
NORTH COVERED PORCHES: 246.5 - 140(CREDIT) =	106.5 SQ. FT.
SOUTH COVERED PORCHES: 325.75 - 140(CREDIT) =	181.75 SQ. FT.
TOTAL COVERED PORCHES =	288.25 SQ. FT.
TOTAL AREAS: 4,150 + 288.25 =	4,438.25 SQ. FT.

DETACHED (NOT ACCESSED DIRECTLY FROM MAIN RESIDENCE)
BATHROOM:
UNDERFLOOR UNCONDITIONED MECHANICAL
W/ CEILING LESS THAN 7'-6":
TOTAL:
60 SQ. FT.
276 SQ. FT.
336 SQ. FT.
895 SQ. FT.

*DETACHED NON-HABITABLE ACCESSORY STRUCTURE: 3 CAR GARAGE:
60 SQ. FT.

PROJECT CALCULATIONS

P1	TITLE SHEET
P2	PROPOSED SITE PLAN
P3	PROPOSED FIRST FLOOR PLAN
P4	PROPOSED SECOND FLOOR PLAN
P5	PROPOSED BASEMENT PLAN
P6	PROPOSED EXTERIOR ELEVATIONS
P7	PROPOSED INTERIOR ELEVATIONS
P8	PROPOSED EXTERIOR ELEVATIONS
P9	DETACHED GARAGE
C-1	GRADING AND DRAINAGE PLAN (PART 1)
C-2	GRADING AND DRAINAGE PLAN (PART 2)
C-3	DETAILS
SUR-1	SURVEY (PART 1) TREES
SUR-2	SURVEY (PART 2)
SCI	SEPTIC PLAN

WADE RESIDENCE

NEW HOME

865 BRISA DEL MAR LOT #6, CA 95060

SITE

VICINITY MAP

ARCHITECT: MATSON BRITTON ARCHITECTS
725 N. GARDEN STREET
SUITE 100
SAN ANTONIO, TEXAS 78205
PHONE: 811-425-0844

CIVIL ENGINEER: RICHARD RISH ENGINEERING
303 PORTER ST., SUITE 402
SAN ANTONIO, TEXAS 78205
PHONE: 811-425-5901

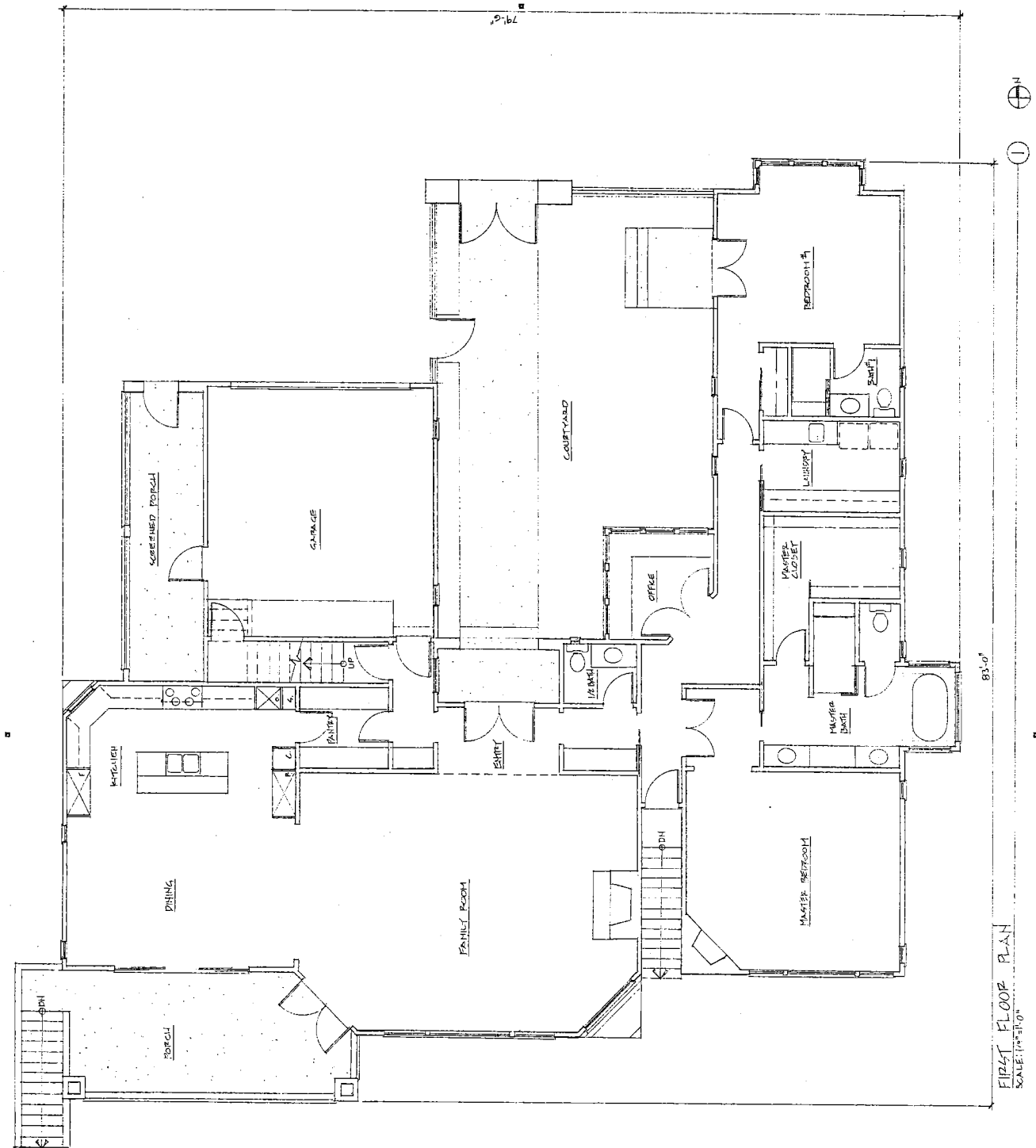
SURVEYOR: MICHAEL BEUTZI
565 RISSO CT.
SAN ANTONIO, TEXAS 78205
PHONE: 811-476-5745

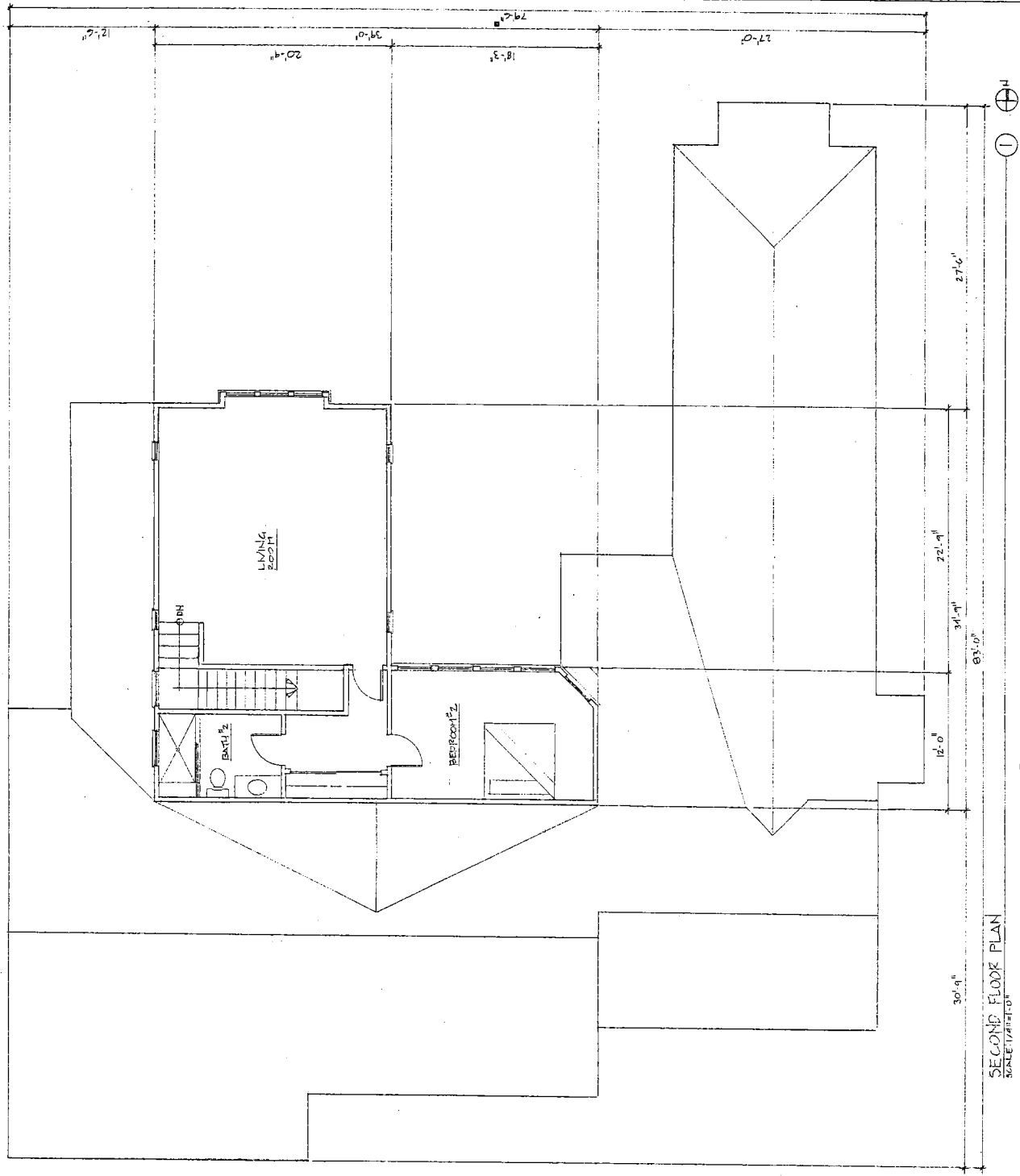
PARCEL MAP

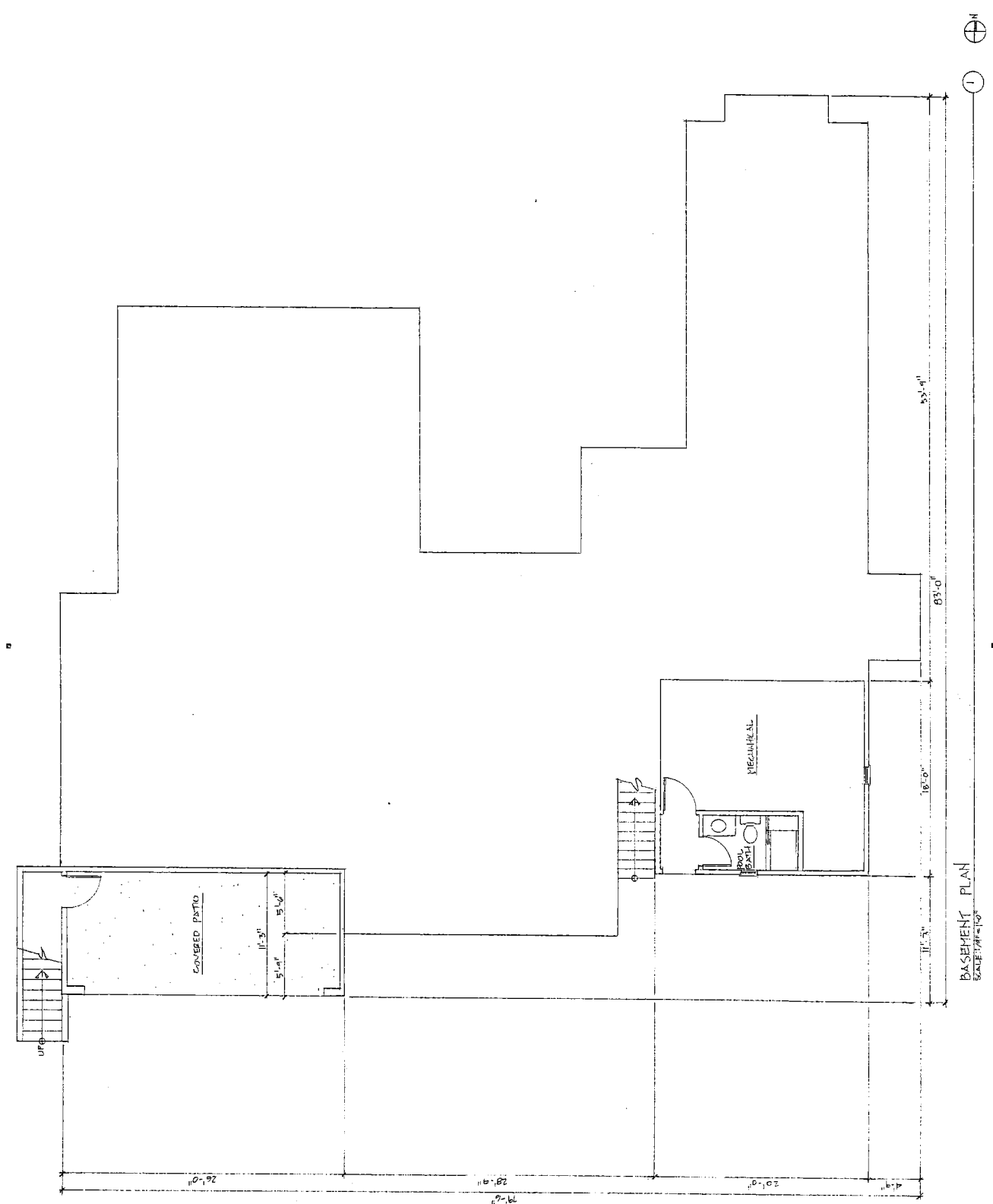
- THESE PLANS SHALL COMPLY WITH CALIFORNIA BUILDING AND FIRE CODES (2010), DISTRICT AMENDMENTS AND THE SANTA CRUZ COUNTY WILDLAND URBAN INTERFACE CODES.
- OCCUPANCY R-3, TYPE V-B, SPRINKLERED.
- ADDRESS NUMBERS SHALL BE POSTED AND MAINTAINED AS SHOWN ON THE SITE PLAN. NUMBERS SHALL BE A MINIMUM OF 4 INCHES IN HEIGHT AND OF A COLOR CONTRASTING TO THEIR BACKGROUND.
- ROOF COVERING SHALL BE NO LESS THAN CLASS "A" RATED.
- ALL CHIMNEYS SHALL BE APPROVED WITH AN APPROVED SPARK ARRESTOR ON THE TOP OF THE CHIMNEY. WIRE MESH NOT TO EXCEED 1/2" IS ACCEPTABLE.
- THE JOB COPIES OF THE BUILDING AND FIRE SYSTEMS PLANS AND PERMITS MUST REMAIN ON SITE DURING INSPECTIONS.
- THIRTY (30) FOOT CLEARANCE TO BE MAINTAINED WITH NON-COMBUSTIBLE VEGETATION AROUND ALL STRUCTURES OR TO THE PROPERTY LINE, WHICHEVER IS SHORTER DISTANCE.

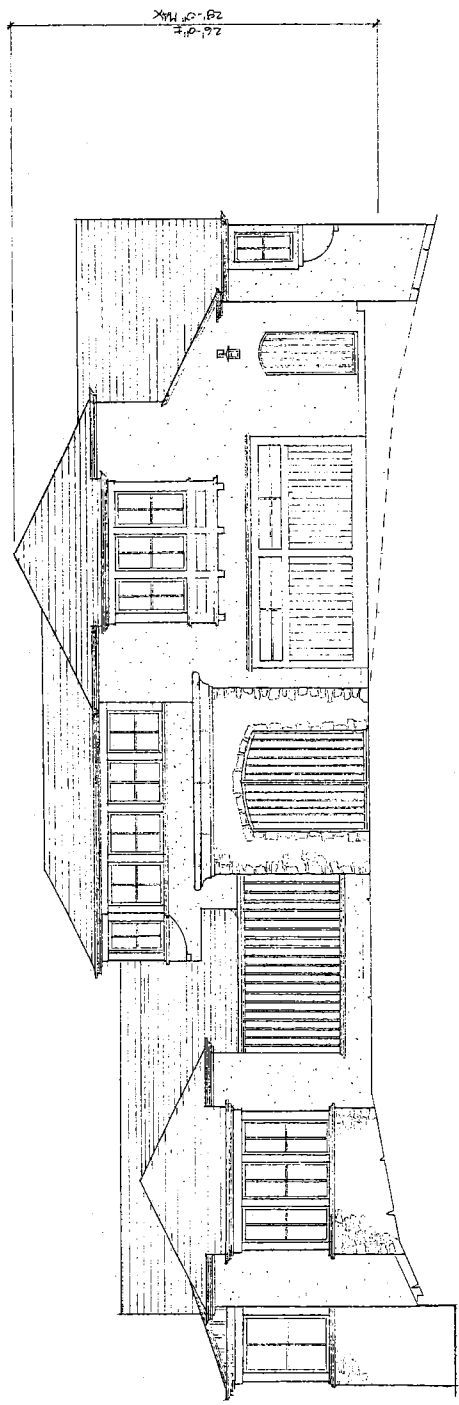
FIRE PROTECTION NOTES

CONSULTANTS

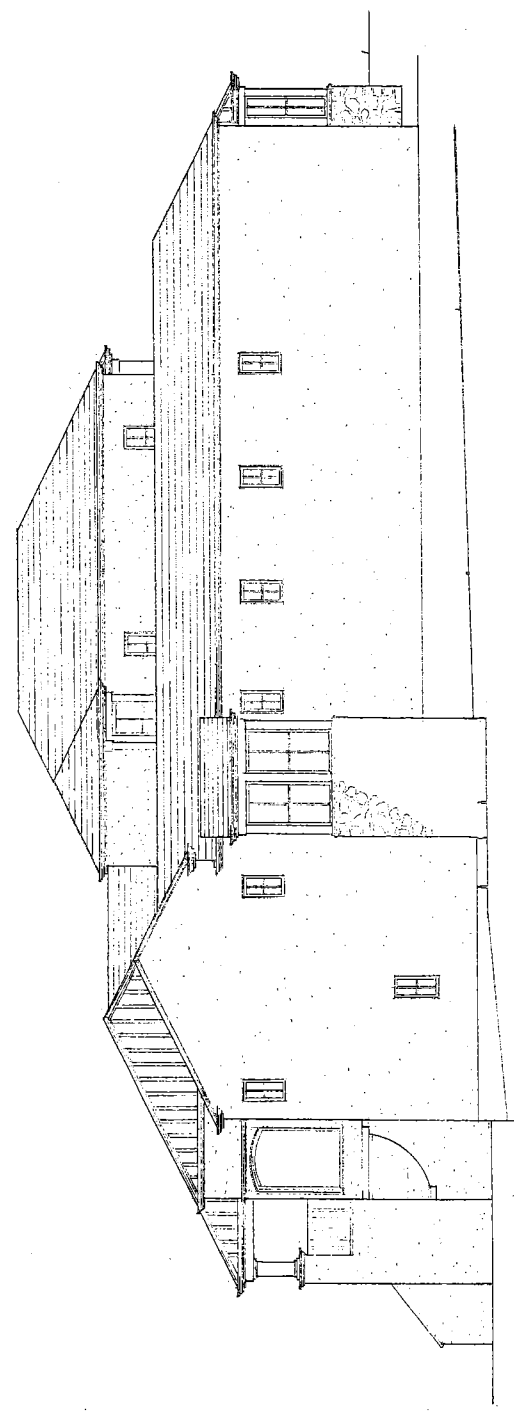


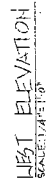
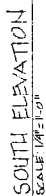


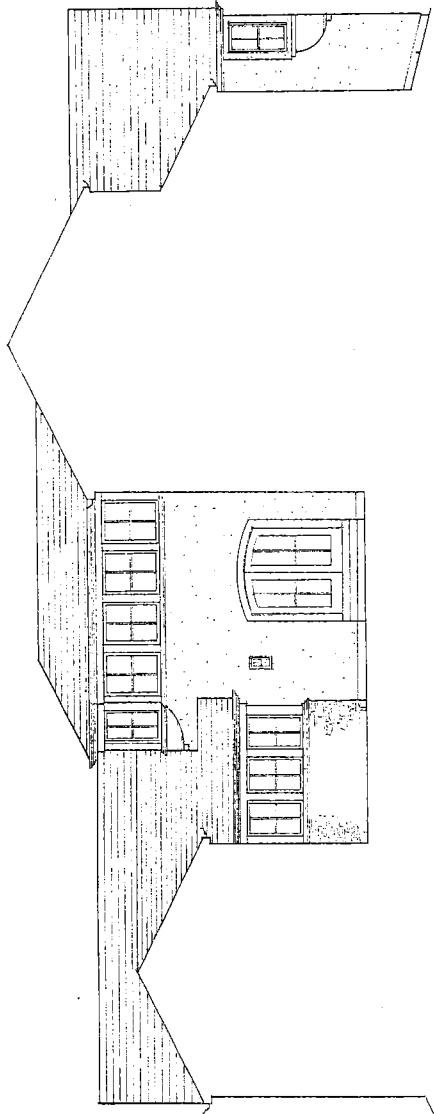




1
NORTH ELEVATION
SCALE 1/8" = 1'-0"

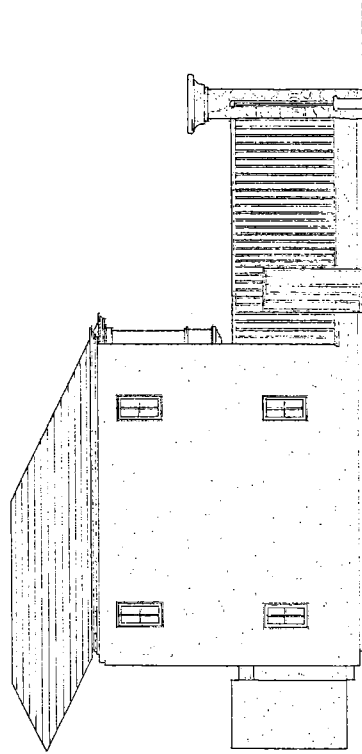






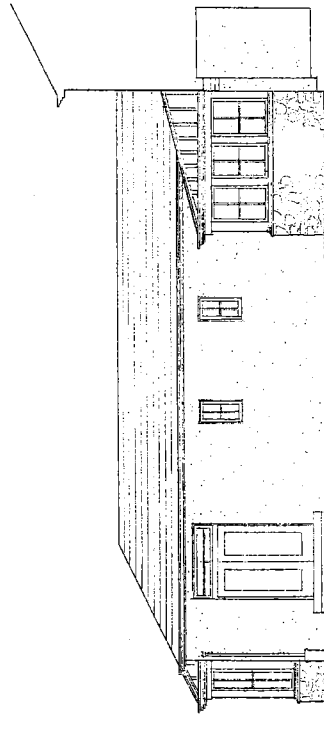
NORTH COURTYARD ELEVATION
 SCALE 1/4" = 1'-0"

1



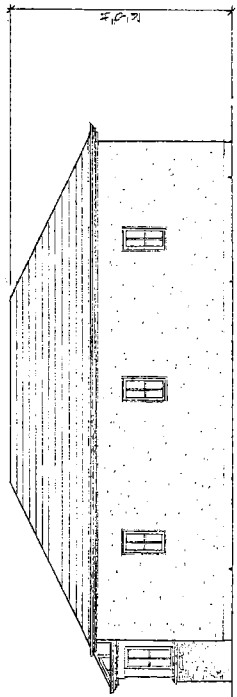
EAST COURTYARD ELEVATION
 SCALE 1/4" = 1'-0"

2

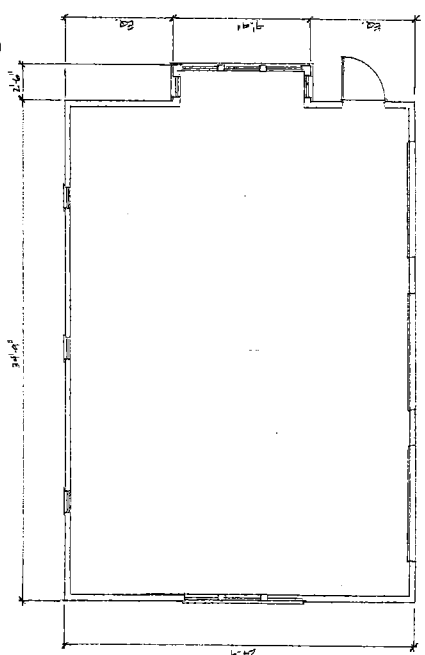


WEST COURTYARD ELEVATION
 SCALE 1/4" = 1'-0"

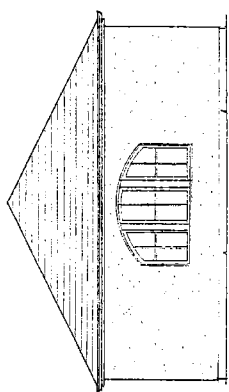
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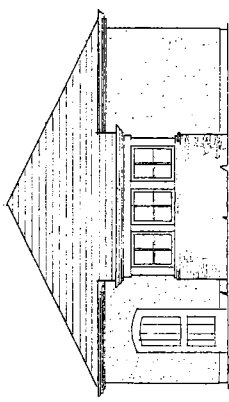
⑤ EAST ELEVATION
SCALE: 1/4" = 1'-0"



① FLOOR PLAN
SCALE: 1/4" = 1'-0"

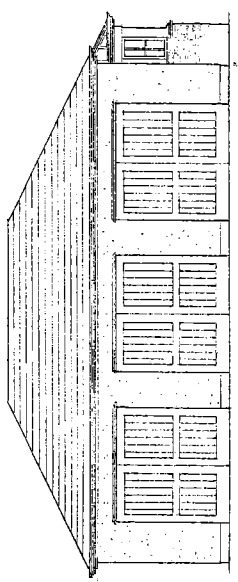


④ NORTH ELEVATION
SCALE: 1/4" = 1'-0"



② SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

NON-HABITABLE ACCESSORY STRUCTURE
DETACHED 3 CAR GARAGE - 885 SF
PROPOSED STRUCTURE TO MATCH RESIDENCE IN EXTENSION FINISHES



③ WEST ELEVATION
SCALE: 1/4" = 1'-0"

[illegible]

PRELIMINARY DRAINAGE EVALUATION	
SANITARY DISTRICT: CERRILLO	
PROJECT LOCATION: 100' W. OF HWY. 101	
PROJECT CATEGORY: GRADE RETENTION BY SLOPE	
DESIGN SPEED: 35 MPH	
DESIGN EVENT: 10 YR. STORM	
DESIGN PERIOD: 24 HRS.	
RAINFALL: 1.30	
WATER OF CONCENTRATION: 4.0-4.5	
TIME OF CONCENTRATION: 10 MINS (MINIMUM)	
PROPOSED CONDITIONS	
PROJECT AREA: 0.11 AC	
PERMEABLE AREA: 0.01 AC	
IMPERMEABLE AREA: 0.10 AC	
RUNOFF COEFFICIENT: 0.63	
DESIGN FLOW RATE: 0.863 SF	
RETENTION COEFFICIENT: 0.33	
DESIGN FLOW RATE: 0.57 SF	
PRE DRAINAGE FLOW RATE: 0.57 SF	
POST DRAINAGE FLOW RATE: 0.10 SF	

STORM DRAIN SYSTEM MAINTENANCE

ONE YEAR AFTER THE COMPLETION OF THE PROJECT, THE DISTRICT SHALL CONDUCT A VISUAL INSPECTION OF THE STORM DRAIN SYSTEM AND ALL COMPONENTS. EVERY YEAR, PRIOR TO THE BEGINNING OF THE RAINY SEASON, THE DISTRICT SHALL CONDUCT A VISUAL INSPECTION OF THE STORM DRAIN SYSTEM AND ALL COMPONENTS. THE DISTRICT SHALL MAINTAIN AND CLEAR THE STORM DRAIN SYSTEM OF ALL DEBRIS, WEEDS, TWIGS AND SEDIMENT.

STORM DRAINAGE NOTES

1. EXISTING STORM DRAINAGE (SEE SHEET 103) SHALL BE MAINTAINED AND NOT REMOVED OR REDUCED IN SIZE OR CAPACITY. EXISTING STORM DRAINAGE SHALL BE MAINTAINED AND NOT REMOVED OR REDUCED IN SIZE OR CAPACITY.
2. EXISTING STORM DRAINAGE SHALL BE MAINTAINED AND NOT REMOVED OR REDUCED IN SIZE OR CAPACITY.

	CUT	FILL	CURB	PAVEMENT
REFERENCE GRADING	329	242	17	FTL
FINISH PAVING	302	18	283	CT


NOTE: EARTHWORK QUANTITIES ARE APPROXIMATE AND SHALL BE FURTHER VERIFIED BY THE CONTRACTOR PRIOR TO BIDDING.

2. EARTHWORK VOLUMES FOR REFERENCE GRADING SHALL BE PROVIDED BY THE CONTRACTOR. EARTHWORK VOLUMES REQUIRED TO CONSTRUCT THE PAVING SHALL BE PROVIDED BY THE CONTRACTOR. BIDDING SHALL BE BASED ON THE PAVING GRADING. EARTHWORK VOLUMES REQUIRED TO CONSTRUCT THE PAVING SHALL BE PROVIDED BY THE CONTRACTOR. BIDDING SHALL BE BASED ON THE PAVING GRADING.

[illegible]

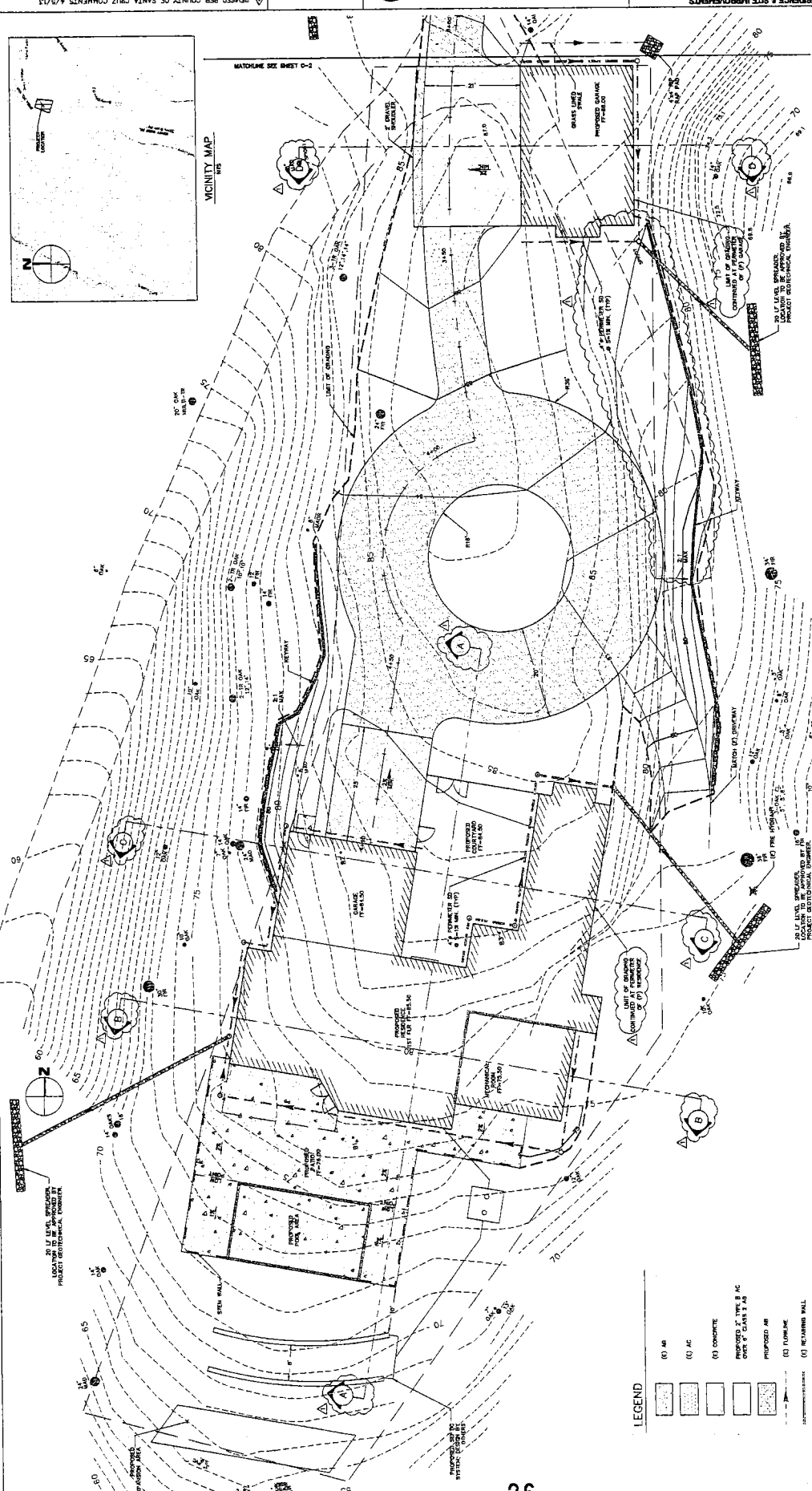
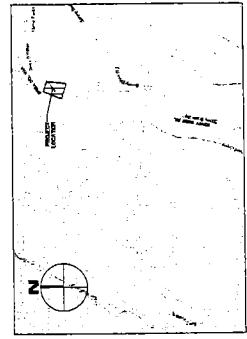
	PROPOSED LOT
	PROPOSED SETBACK
	PROPOSED LIMIT OF GRADING
	PROPOSED RETAINING WALL
	PROPOSED AC DRIVE
	PROPOSED DRIVEWAY
	PROPOSED LEVEL SPREADER
	PROPOSED SINGLE
	PROPOSED SD
	PROPOSED PERMITS SD

PROPOSED RESIDENCE SITE PLAN
APN: 063-071-10
SANTA CRUZ, CALIFORNIA
885 BRISA DEL MAR
MIKE & LOUIE WADE
OR
NEW RESIDENCE & SITE IMPROVEMENTS

















RI Engineering, Inc. 

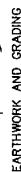
303 Potrero St., Suite 42-202, Santa Cruz, CA 95060

RECEIVED PER BOOK OF SOUTH SHOT BARRIERS 1/1/19



LEGEND

	(C) AIR
	(C) AC
	(C) CONCRETE
	PROPOSED 1 ST , 2 ND , 3 RD AC OVER 4' SLAB
	PROPOSED AC
	(C) FUTURE WALL
	PROPERTY LINE
	PROPOSED SEWER
	PROPOSED 1 ST OF SLAB
	PROPOSED 1 ST OF SLAB
	PROPOSED AC SLAB
	PROPOSED SLUMP
	PROPOSED 1 ST OF SLAB
	PROPOSED SLUMP
	PROPOSED 1 ST OF SLAB
	PROPOSED SLUMP



- [illegible]

GENERAL NOTES

[illegible]



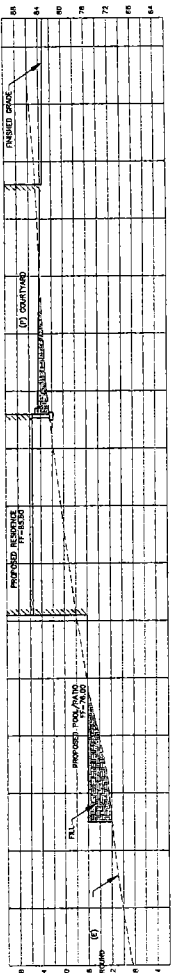
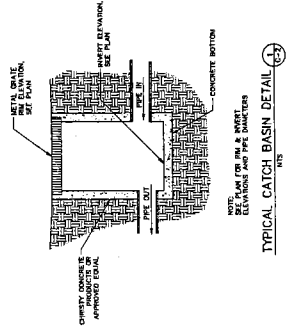
DATE: 12-06-21
 DRAWN: J. H. HARRIS
 CHECKED: J. H. HARRIS
 CIVIL ENGINEER

NEW RESURFACING & SITE IMPROVEMENTS
 FOR
 RAMP & LOBE WADE
 855 RIVERA DEL MAR
 SANTA CRUZ, CALIFORNIA
 APP: 083-071-10
 12-06-21

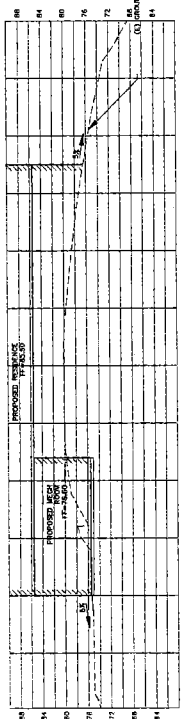
303 Putnam St., Suite 42-202, Santa Cruz, CA 95060
 831-425-3901 www.rjengineering.com
 RJ Engineering, Inc.



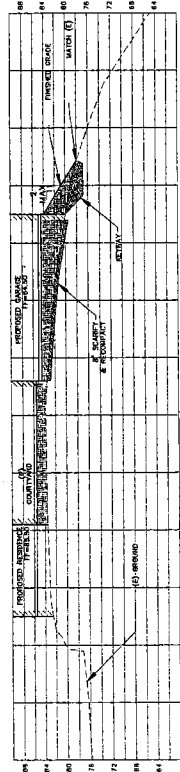
REVIEWED FOR COUNTY OF SANTA CRUZ COMMENTS 4/9/13



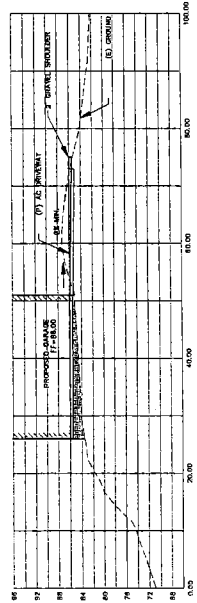
SECTION A-A
 SCALE: 1"=10' HORIZONTAL, VERTICAL



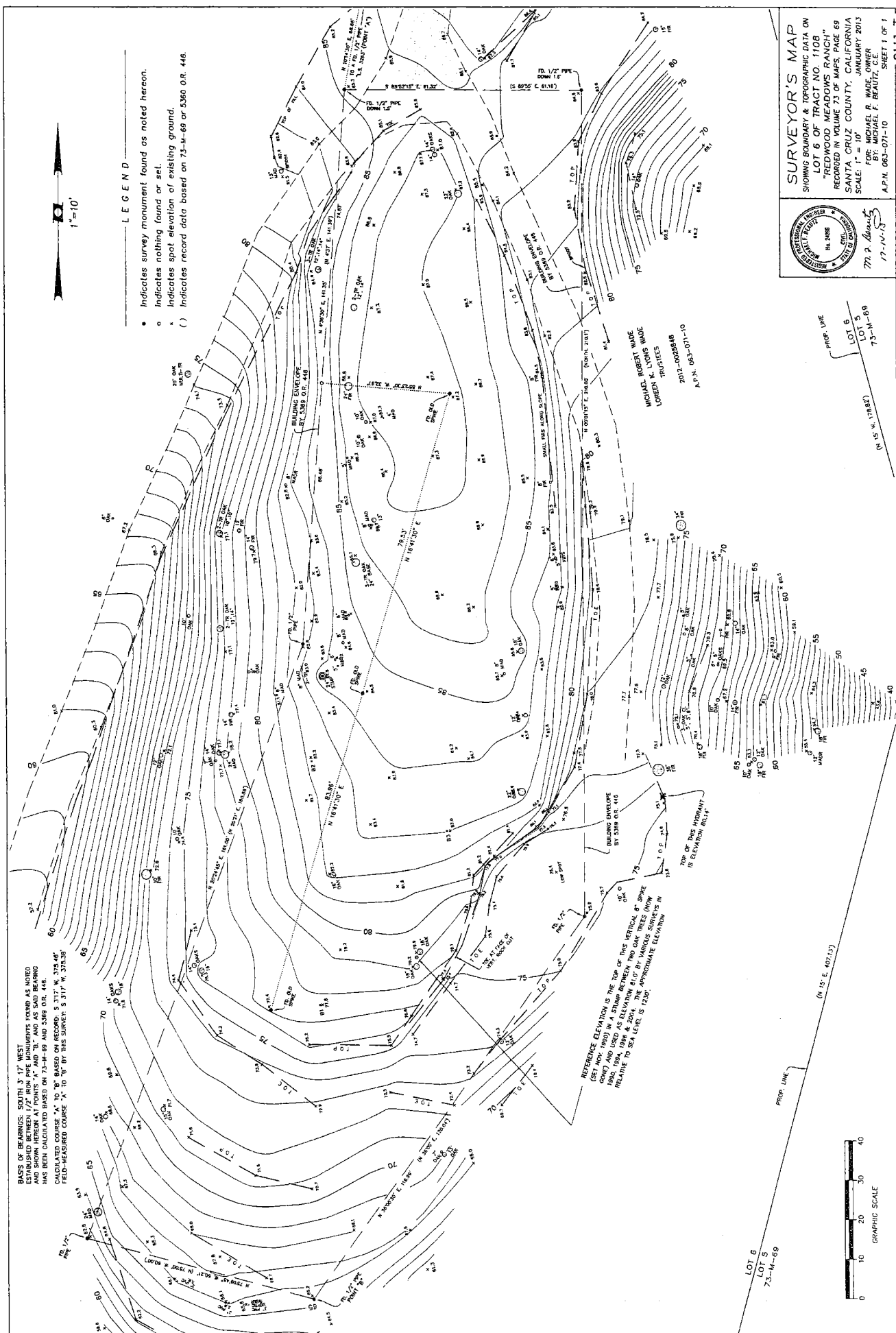
SECTION B-B
 SCALE: 1"=10' HORIZONTAL, VERTICAL



SECTION C-C
 SCALE: 1"=10' HORIZONTAL, VERTICAL



SECTION D-D
 SCALE: 1"=10' HORIZONTAL, VERTICAL

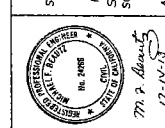


BASIS OF BEARINGS: SOUTH 3° 17' WEST
ESTABLISHED BETWEEN 1/2" IRON PIPE MONUMENTS FOUND AS NOTED
AND SHOWN HEREON AT POINTS "A" AND "B", AND AS SAID BEARING
HAS BEEN CALCULATED BASED ON 73-M-69 AND 5360 O.R. 448.
CALCULATED COURSE "A" TO "B" BASED ON RECORD: S 317° W 375.45'
FIELD-MEASURED COURSE "A" TO "B" THIS SURVEY: S 317° W 375.38'

LEGEND

- Indicates survey monument found as noted hereon.
- o Indicates nothing found or set.
- x Indicates spot elevation of existing ground.
- () Indicates record data based on 73-M-69 or 5360 O.R. 448.

SURVEYOR'S MAP
SHOWING BOUNDARY & TOPOGRAPHIC DATA ON
LOT 6 OF TRACT NO. 1108
"REDWOOD MEADOWS RANCH"
RECORDED IN VOLUME 73 OF MAPS, PAGE 69
SANTA CRUZ COUNTY, CALIFORNIA
SCALE: 1" = 10'
FOR: MICHAEL R. WADE, OWNER
BY: MICHAEL R. WADE, SURVEYOR
A.P.N. 063-071-10
SHEET 1 OF 1

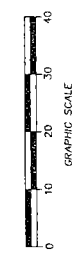


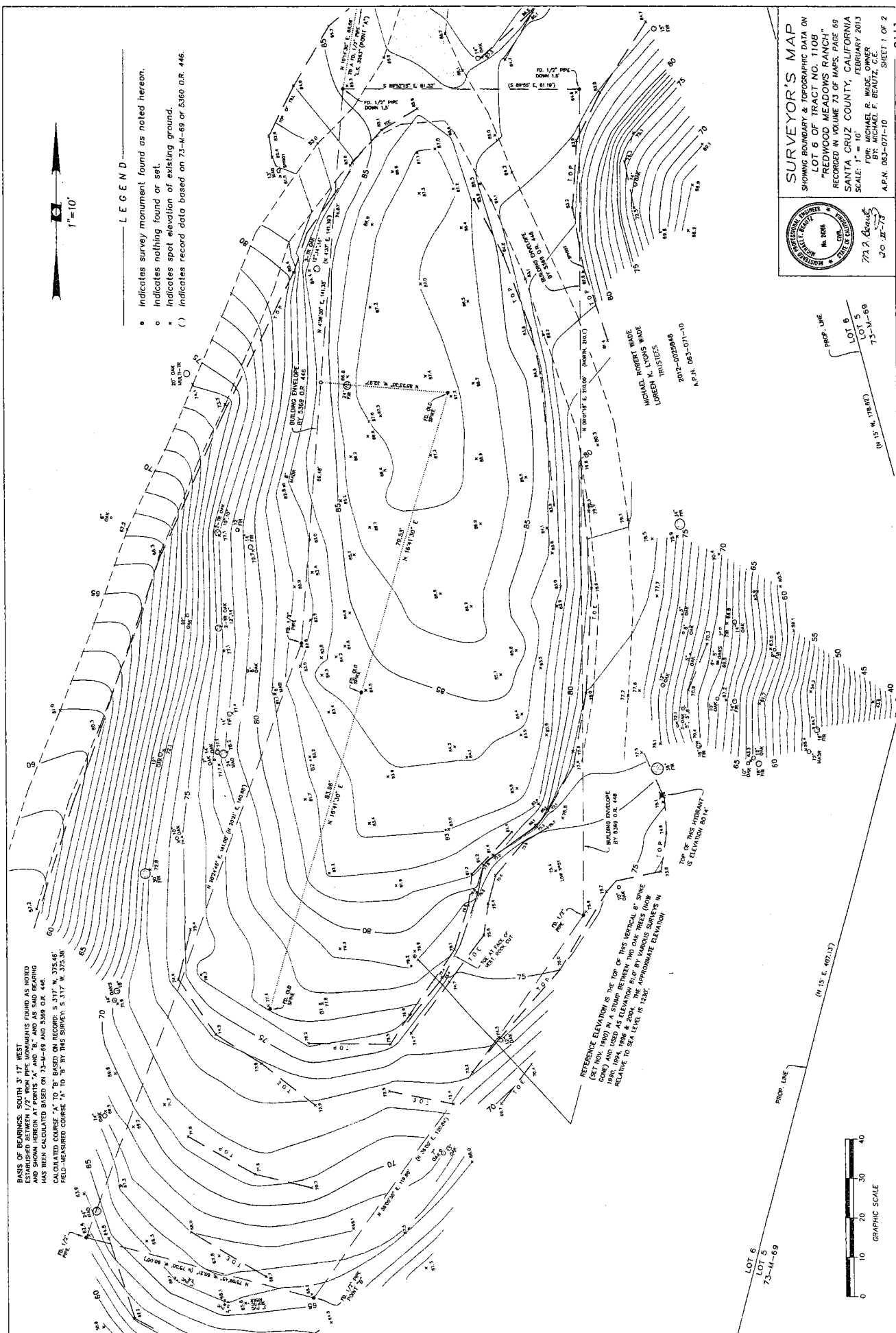
MICHAEL R. WADE
LOREN K. LYNDS WADE
TRUSTEES
2017-0026848
A.P.N. 063-071-10

REFERENCE ELEVATION IS THE TOP OF THE VERTICAL OF SPIKE
(SET NOV. 1990) IN DUMP BETWEEN TWO OAK TREES SHOWN
HEREON, USED AS ELEVATION ALSO BY VARIOUS SURVEYS IN
RELATIVE TO S.M. L.R. IS 1200.

PROF. LINE
LOT 6
LOT 5
73-M-69
(N 15° W, 128.87')

LOT 6
LOT 5
73-M-69





BASIS OF BEARINGS: SOUTH 3° 17' WEST
ESTABLISHED BETWEEN 1/2" IRON PIPE MONUMENTS FOUND AS NOTED
AND SHOWN HEREIN AT POINTS "A" AND "B" AND AS 540 BEARING
HAS BEEN CALCULATED BASED ON 73-M-69 AND 5389 D.R. 446
CALCULATED COURSE: 70° 10' 00" BY THIS SURVEY: S 31° 17' W, 375.85'
FIELD-BEARING COURSE: 70° 0' 0" BY THIS SURVEY: S 31° 17' W, 375.85'



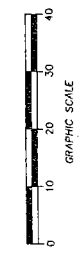
LEGEND

- Indicates survey monument found as noted herein.
- o Indicates nothing found or set.
- x Indicates spot elevation of existing ground.
- () Indicates record data based on 73-M-69 or 5360 D.R. 446.

REFERENCE ELEVATION IS THE TOP OF THIS VERTICAL STAKE
(SET IN 1990) IN A DUMP BETWEEN TWO TREES AT SPINE
(SEE) AND (SEE) AS ELEVATION BY 5389 D.R. 446.
THE APPROXIMATE ELEVATION RELATIVE TO SEA LEVEL IS 1200.



SURVEYOR'S MAP
SHOWING BOUNDARY & TOPOGRAPHIC DATA ON
LOT 6 OF TRACT NO. 1108
"REDWOOD MEADOWS RANCH"
RECORDED IN VOLUME 73 OF MAPS, PAGE 69
SANTA CRUZ COUNTY, CALIFORNIA
SCALE: 1" = 10'
FOR: MICHAEL F. WILSON, OWNER
773 2 Ave.,
JANUARY 2013
A.P.N. 083-071-10
SHEET 1 OF 2



LOT 6
LOT 5
73-M-69

PROP. LINE
LOT 6
LOT 5
73-M-69
(N 15° E, 178.87')

MICHAEL ROBERT WADE
LUREN M. LUYKES WADE
TRUSTEES
2012-001848
A.P.N. 083-071-10

63-07

Assessor's Map No. 63-07
County of Santa Cruz, Calif.
March 1997

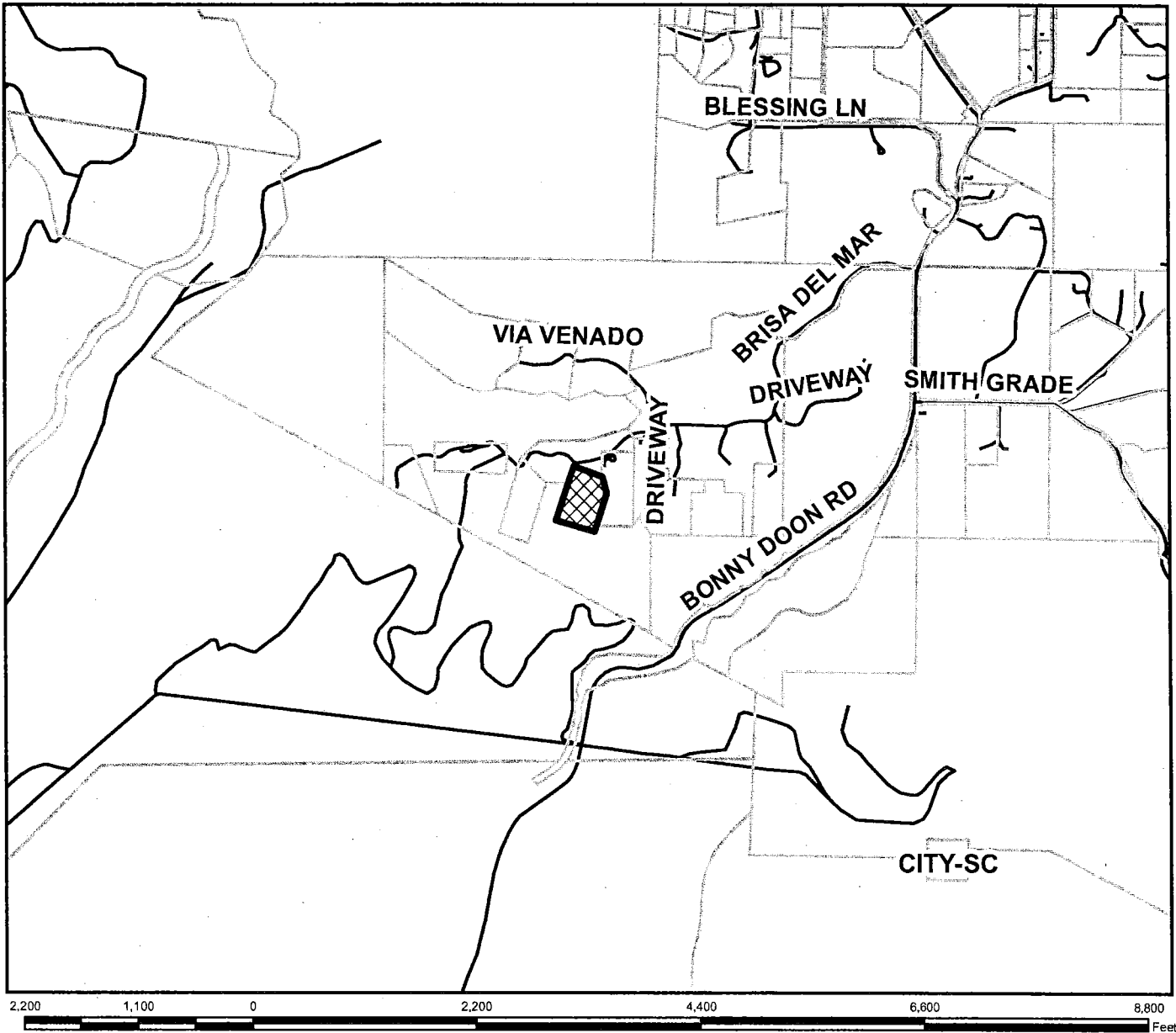
Note - Assessor's Parcel & Block Numbers Shown in Circles.

EXHIBIT

Rev 8/28/97 CB (Added Open Space EASE to 1-2B)
Rev 7/13/01 (changed BAH to 1-2B)



Location Map



LEGEND



APN: 063-071-10



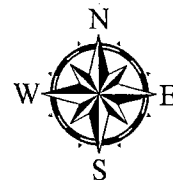
Assessors Parcels



Streets



SANTA CRUZ

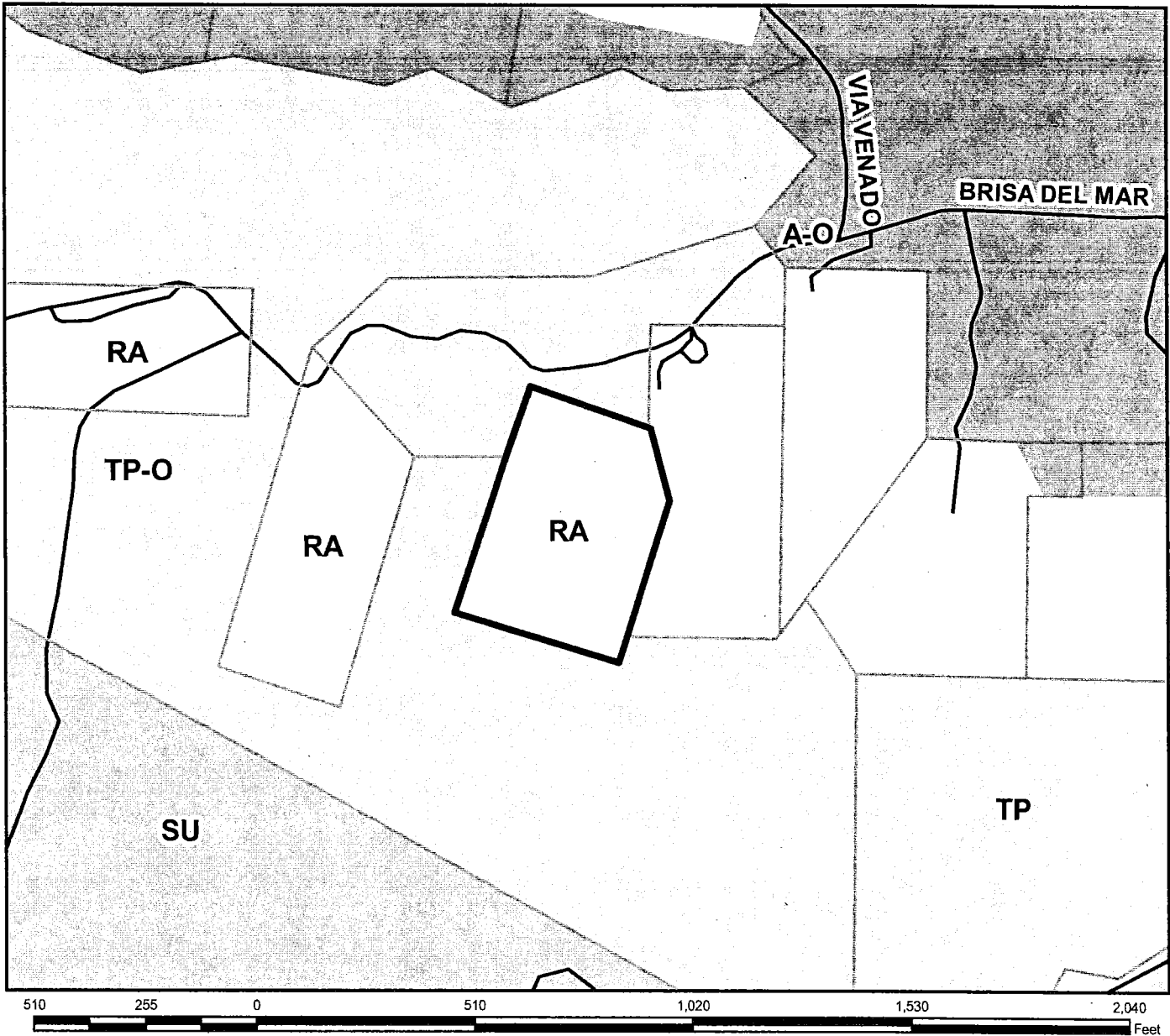


Map Created by
County of Santa Cruz
Planning Department
March 2013

EXHIBIT R



Zoning Map



LEGEND

APN: 063-071-10

Assessors Parcels

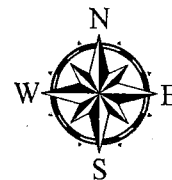
Streets

AGRICULTURE RESIDENTIAL

TIMBER PRODUCTION

SPECIAL USE

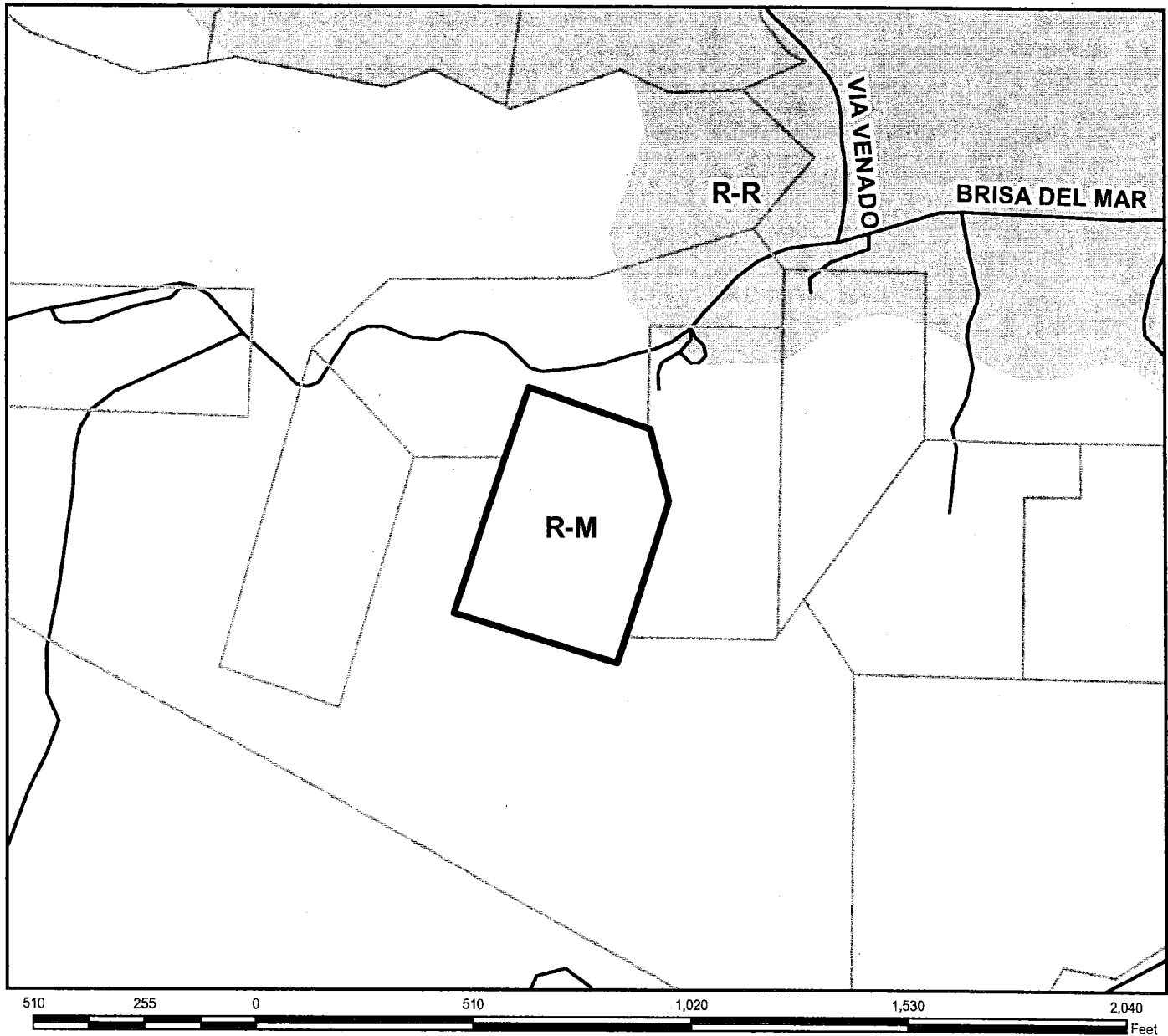
AGRICULTURE








Map Created by
County of Santa Cruz
Planning Department
March 2013

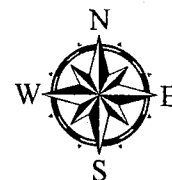


General Plan Designation Map



LEGEND

-  APN: 063-071-10
-  Assessors Parcels
-  Streets
-  Residential-Mountain
-  Residential-Rural



Map Created by
County of Santa Cruz
Planning Department
March 2013

EXHIBIT E



Discretionary Application Comments 131077

APN 063-071-10

Your plans have been sent to several agencies for review. The comments that were received are printed below. Please read each comment, noting who the reviewer is and which of the three categories (Completeness, Policy Considerations/Compliance, and Permit Conditions/Additional Information) the comment is in.

Completeness: A comment in this section indicates that your application is lacking certain information that is necessary for your plans to be reviewed and your project to proceed.

Policy Considerations/Compliance: Comments in this section indicate that there are conflicts or possible conflicts between your project and the County General Plan, County Code, and/or Design Criteria. We recommend that you address these issues with the project planner and the reviewer before investing in revising your plans in any particular direction.

Permit Conditions/Additional Information: These comments are for your information. No action is required at this time. You may contact the project planner or the reviewer for clarification if needed.

Coastal Commission Review

Routing No: 1 | Review Date: 04/05/2013

SHEILA MCDANIEL (SMCDANIEL) : Complete

Comments provided by phone regarding request that project is compliant with resource protection. Otherwise, no specific input regarding project was provided.

Drainage Review

Routing No: 2 | Review Date: 06/21/2013

SHEILA MCDANIEL (SMCDANIEL) : Complete

Application No.: 131077

G_V

3/27/13

Completeness Items:

This project is proposing more than 5,000 square feet of impervious area, therefore requiring an additional \$405.00 to supplement the already deposited fee.

Permit Conditions:

Due to the size of the subject parcel, the conditions below are being deferred to the building application stage.

Per part 3 Section C #1c of the revised Design Criteria this is a "large project". Per Section C #3a large projects are required to provide quantification demonstrating maintenance of the pre-development 2 year, 2-hour as well as the 10 year, 15-minute discharge rates. The project shall conduct a downstream impact assessment in accordance with Sections D and E of the Design Criteria. Please reference the revised Santa Cruz County Design Criteria for design requirements.



Drainage Review

Routing No: 2 | Review Date: 06/21/2013

SHEILA MCDANIEL (SMCDANIEL) : Complete

Large project- Project that add or replace more than 5,000 square feet of impervious are must incorporate BMPs to minimize and mitigate pollutant and hydrologic impacts due to development. These BMPs shall include LID measures that emphasize minimizing of impacts as a first priority consistent with General Plan Policy 7.23.2 for Minimizing Impervious Surfaces. Detailed site assessment and BMP analysis is required to demonstrate adequate mitigation design for large projects so that pre-development runoff rates are maintained for a range of storms while also maintaining pre- development groundwater recharge. Safe stormwater overflow shall be incorporated in the project design.

All drainage feature should be provided with drawn detail to facilitate accurate construction by the contractor, such that the drainage system functions as intended.

A recorded maintenance agreement will be required for the proposed retention system. Please contact the County of Santa Cruz Recorder's office for appropriate recording procedure. The maintenance agreement form can be picked up from the Public

Works office or can be found online at:

http://www.dpw.co.santa-cruz.ca.us/Storm_Water/FigureSWM25A.pdf

Upon approval of the project, a drainage "Hold" will be placed on the permit and will be cleared once the construction is complete and the stormwater management improvements are constructed per the approved plans: In order to clear the Hold, one of these options has to be exercised:

1. The civil engineer has to inspect the drainage improvements on the parcel and provide public works with a letter confirming that the work was completed per the plans. The civil engineer's letter shall be specific as to what got inspected whether invert elevations, pipe sizing, the size of the mitigation features and all the relevant design features. Notes of "general conformance to plans" are not sufficient.
2. As-built plans stamped by the civil engineer may be submitted in lieu of the letter. The as-built stamp shall be placed on each sheet of the plans where stormwater management improvements were shown.
3. The civil engineer may review as-built plans completed by the contractor and provide the county with an approval letter of those plans, in lieu of the above two options. The contractor installing the drainage improvements will provide the civil engineer as-built drawings of the drainage system, including construction materials, invert elevations, pipe sizing and any modifications to the horizontal or vertical alignment of the system. The as-built drawings, for each sheet showing drainage improvements and/or their construction details, must be identified with the stamp (or label affixed to the plan) stating the contractor's name, address, license and phone #.



Drainage Review

Routing No: 2 | Review Date: 06/21/2013

SHEILA MCDANIEL (SMCDANIEL) : Complete

The civil engineer will review the as-built plans for conformance with the design drawings. Upon satisfaction of the civil engineer that the as-built plans meet the design intent and are adequate in detail, the civil engineer shall submit the as-built plans and a review letter, stamped by the civil engineer to the County Public Works Department for review to process the clearance of the drainage Hold if the submittal is satisfactory.

Environmental Health Review

Routing No: 2 | Review Date: 05/31/2013

SHEILA MCDANIEL (SMCDANIEL) : Not Required

Environmental Planning

Routing No: 1 | Review Date: 04/04/2013

CAROLYN BURKE (CBURKE) : Incomplete

131077 – Preliminary Grading Review

Preliminary Grading Completeness Comments

1. The north elevations for the detached garage and residence appear to show level grades to the east of the structures, while natural grades are sloping. No grading is shown east of the structures on the plans and the limits of grading line stops at the structure exteriors, indicating the possible use of retaining walls here. It is also unclear whether any grading will occur beneath the residence, or if the natural grade is to remain. To clarify, please provide the following:

- a. Grading cross sections* through the house and pool/patio in the north-south and east-west directions (provide two east-west cross sections: one through the mechanical room and another through the courtyard)
- b. Grading cross section* through the detached garage in the east-west direction.
- c. Revise the limits of grading and disturbance line if necessary to show all proposed grading.

**Please note: Grading cross sections must extend a minimum of 25-feet beyond the limits of grading and disturbance.*

2. Please provide grading calculations for review.

Preliminary Grading Compliance Comments

None

Preliminary Grading Misc. Comments/Conditions of Approval

1. Please submit two copies of a design level geotechnical report prepared by a licensed geotechnical engineer with the building permit application.
2. Prior to building permit approval, please submit a geotechnical plan review letter that states the project plans have been prepared in conformance with the recommendations of the geotechnical report. Please note: All drainage outlet locations



Environmental Planning

Routing No: 1 | Review Date: 04/04/2013

CAROLYN BURKE (CBURKE) : Incomplete

must be shown on the plans and approved by the geotechnical engineer with respect to erosion and slope stability prior to permit issuance.

3. Per County Code Section 7.79.100 (Best Management Practices for Construction Activities), please submit a stormwater pollution control plan that meets the requirements set forth in the County's Construction Site Stormwater Pollution Control BMP Manual. The Manual may be found online at: www.sccoplaning.com, under the "Environmental" tab à "Erosion and Stormwater Pollution Control" à "Construction Site Stormwater BMP Manual".

4. Please revise the limit of grading line to reflect the limits of grading *and disturbance*. This line would include area required for construction equipment and access in addition to that required for grading.

Routing No: 2 | Review Date: 06/21/2013

SHEILA MCDANIEL (SMCDANIEL) : Complete

No additional conditions