



Staff Report to the Zoning Administrator

Application Number: **151089**

Applicant: DeMattei Construction
Owner: Conte
APN: 101-231-04

Agenda Date: 7/17/15
Agenda Item #: 6
Time: After 9:00 a.m.

Project Description: Proposal to add approximately 1,000 square feet to an existing 4,000 square foot single family dwelling resulting in an approximately 5,000 square foot single family dwelling. Requires a Large Dwelling Review.

Location: Property located at the end of Celeste Way approximately .5 miles south of the intersection with Granite Creek Road (700 Celeste Way).

Supervisory District: 1st District (District Supervisor: Leopold)

Permits Required: Residential Development Permit

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 151089, based on the attached findings and conditions.

Exhibits

- | | |
|---|---|
| A. Categorical Exemption (CEQA determination) | E. Assessor's, Location, Zoning and General Plan Maps |
| B. Findings | F. Comments & Correspondence |
| C. Conditions | |
| D. Project plans | |

Parcel Information

Parcel Size:	5.8 acres
Existing Land Use - Parcel:	Residential
Existing Land Use - Surrounding:	Residential
Project Access:	Celeste Way (private right of way)
Planning Area:	Carbonera
Land Use Designation:	R-R (Rural Residential)
Zone District:	A (Agriculture)

Coastal Zone: ☐ Inside ☒ Outside
Appealable to Calif. Coastal ☐ Yes ☒ No
Comm.

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Soils: Soils report required at building permit stage
Fire Hazard: Not a mapped constraint
Slopes: Building site is relatively flat
Env. Sen. Habitat: Mapped biotic/no physical evidence on site
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Drainage: No change to existing drainage
Archeology: Mapped Archeological – Further investigation not required due to limited ground disturbance.

Services Information

Urban/Rural Services Line: ☐ Inside ☒ Outside
Water Supply: Well
Sewage Disposal: Septic
Fire District: Branciforte Fire Protection District
Drainage District: Outside flood control district

Project Setting

The subject property is approximately 5.8 acres in size and located near the end of a private drive know as Celeste Way. Much like the subject parcel, the surrounding area consists of large parcels which are developed with large dwellings. The area is characterized by sloping terrain containing heavily wooded areas. Areas clear of vegetation are often private yards which offer expansive views of the Monterey Bay. The subject parcel is developed with an approximately 4,000 square foot single family dwelling, detached garage and swimming pool.

Large Dwelling and Design Review

For the purposes of determining if a large dwelling review is required, Santa Cruz County Planning Department Administrative Practice Guideline FAR-SQFT-DET-REV is used for calculating square footage in two ways. Structure exceeding 5,000 square feet are required to meet the design guidelines set forth in SCCC 13.10.325 for large dwellings and 13.11.040 design review guidelines. As proposed, the development is 5,119 square feet in size and must comply with the above aforementioned code sections.

The proposed 1,000 square foot addition will consist of the conversion of an existing garage to habitable space to create a new laundry room, wine room, rear entry, bathroom, and bedroom at the first floor. A new garage will be constructed with an attached storage area. The second floor

addition will consist of a living room and bedroom with bathroom.

As proposed, the project complies with the design guidelines for large dwellings and the County Design Review Ordinance, in that the result is a project which is compatible in size and scale to that of the other homes and development patterns in the vicinity. With the use of the same color and building materials as that of the existing dwelling, the proposed addition will be consistent with development on the subject property and compatible with the type of development in the vicinity. Further, the location of the addition will be mostly screened from public view by mature vegetation and the main portion of the existing dwelling.

Zoning & General Plan Consistency

The subject property is a parcel of approximately 5.8 acres, located in the A (Agriculture) zone district, a designation which allows residential uses. The proposed addition is a principal permitted use within the zone district and the zoning is consistent with the site's R-R (Rural Residential) General Plan designation. The subject property is located outside of the coastal zone.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **151089**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

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CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 151089

Assessor Parcel Number: 101-231-04

Project Location: 700 Celeste Way

Project Description: Proposal to construct a 1,000 square foot addition to an existing 4,000 square foot residence.

Person or Agency Proposing Project: Steve Plyler DeMattei Construction Inc

Contact Phone Number: (408) 295-7516

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. ☒ **Categorical Exemption**

Specify type: Class 1 – Existing facilities - (Section 15301)

F. Reasons why the project is exempt:

Addition to an existing single family dwelling not resulting in an increase of 50% of the floor area or 2,500 square feet whichever is less.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Nathan MacBeth, Project Planner

Date: _____

Large Dwelling Review Findings

1. The proposed structure is compatible with its surroundings given the neighborhood, locational and environmental context and its design is consistent with the large dwelling design guidelines in County Code section 13.10.325(d); or

This finding can be made, in that the surrounding area consists of parcels in excess of 5 acres which are developed with single family dwellings of similar size to that which is proposed. The proposed addition will result in a minimal amount of ground disturbance in that the majority of the addition will be over a combination of an existing driveway and existing lower floor. The proposed design uses recessed wall planes and second story dormers to break up massing and the use of the same color and building material as that of the existing dwelling will create a seamless appearance and design consistent with that of the existing development onsite.

2. The proposed structure, due to site conditions, or mitigation measures approved as part of this application, will be adequately screened from public view and will not adversely impact public viewsheds, neighboring property privacy or solar access, and its design is consistent with the large dwelling design guidelines set forth in County Code section 13.10.325(d).

This finding can be made, in that the project is located at the end of a private road known as Celeste Way. This road is gated approximately 350 feet from its intersection with Granite Creek Road and accessible to approximately 10 homeowners. Many of the homes along the gated portion of Celeste Way also have entry gates to their properties. The location of the proposed addition is not visible from a public viewshed or the travelled road in that the site is obscured by existing mature vegetation and partially screened by the other development onsite.

As proposed, the project complies with all structural setbacks to ensure neighboring properties retain access to light, air, and open space. Additionally, the view to adjacent properties is controlled by grade differentials and distances between dwellings on adjacent parcels. The proposed second story addition will not adversely impact privacy of neighboring parcels.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses and is not encumbered by physical constraints to development. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. The proposed addition will not deprive adjacent properties or the neighborhood of light, air, or open space, in that the structure meets all current setbacks that ensure access to these amenities.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the residential addition and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the A (Agriculture) zone district as the primary use of the property will be one single family dwelling that meets all current site standards for the zone district.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-R (Rural Residential) land use designation in the County General Plan.

The proposed addition will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the addition will not adversely shade adjacent properties, and will meet current setbacks for the zone district.

The proposed addition will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed addition will comply with the site standards for the A zone district (including setbacks, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed addition is to be constructed on an existing developed lot. The level of traffic generated by the proposed project is not expected to increase above existing levels. Consequently the proposal will not result in adverse impacts to existing roads or intersections in the surrounding area. Additionally, the project will not result in an overloading of utilities in that the subject property is currently served by utilities. The project has been conditioned to ensure the requirements of Environmental Health are met with respect to water supply (well) and onsite waste disposal (septic).

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood

containing a variety of architectural styles, and the proposed addition is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed addition will be of an appropriate scale and type of design that will be consistent with the scale of development in the vicinity and will not reduce or visually impact available open space in the surrounding area. The proposed development will incorporate the same color and building materials as that of the existing dwelling so as to achieve a seamless appearance and design consistent with that of the existing dwelling. Architectural design elements such as recessed wall plane and roof articulations will reduce massing. Additionally, the location of the addition will be mostly screened from public view by mature vegetation and the main portion of the existing dwelling. Further, the project is located near the end of a private (gated) road.

Conditions of Approval

Exhibit D: Project Plans 11 sheets, prepared by DeMattei Construction, Dated 3/12/15

- I. This permit authorizes the construction of a 1,000 square foot addition to an existing single family dwelling. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - C. Obtain a Grading Permit from the Santa Cruz County Building Official.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Planning Department review and approval.
 3. Grading, drainage, and erosion control plans prepared by a licensed civil engineer for review if required.
 4. Details showing compliance with fire department requirements. If the

proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.

- B. Obtain a grading permit if required.
 - C. Meet all requirements of and pay drainage fees to the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
 - D. Meet all requirements of and pay fees to Environmental Health Services.
 - E. Meet all requirements and pay any applicable plan check fee of the Branciforte Fire Protection District.
 - F. Submit 3 copies of a soils report prepared and stamped by a licensed Geotechnical Engineer.
 - G. Pay the current fees for Parks and Child Care mitigation for 4 additional bedrooms. Currently, these fees are, respectively, \$1000 and \$109 per bedroom.
 - H. Pay the current fees for Roadside and Transportation improvements for 4 additional bedroom(s). Please contact the Department of Public Works for a current list of these fees.
 - I. Provide required off-street parking for 6 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - J. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological

resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.

- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Wanda Williams
Deputy Zoning Administrator

Nathan MacBeth
Project Planner

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

PLANNING SUBMITTAL

CONTE RESIDENCE

SCOPE OF WORK

CONVERT USE OF CURRENT GARAGE TO BEDROOM WITH POOL BATH AND ADD 363 ADDITIONAL LIVING AREA. ADD REPLACEMENT GARAGE TO FRONT. ADD 498 SF TO 2ND FLOOR PLUS 2ND FLR BALCONY.

PROJECT DATA

A-R-R

APN 101-230-104

LOT SIZE 284,915 SF

(E) EXISTING 1ST FLOOR 452 SF

(E) ATTACHED EXISTING FLOOR AREA TOTAL 3563 SF

PROPD LIVING ADDITIONS 617 SF

PROPD 1ST FLR ADDN OF LIVING 303 SF

PROPD 2ND FLR ADDN OF LIVING 498 SF

PROPD TOTAL LIVING 1478 SF

(E) ATTACHED GARAGE 715 SF

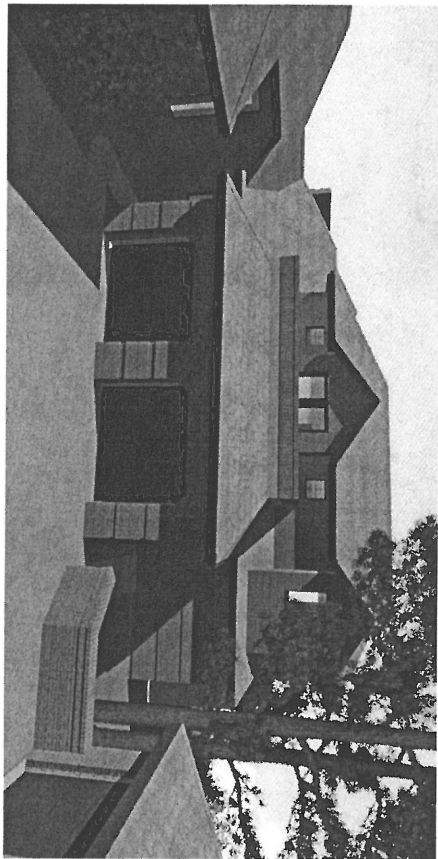
CONVERT GARAGE TO LIVING 617 SF

PROPD NEW GAR-STOREAGE 597 SF

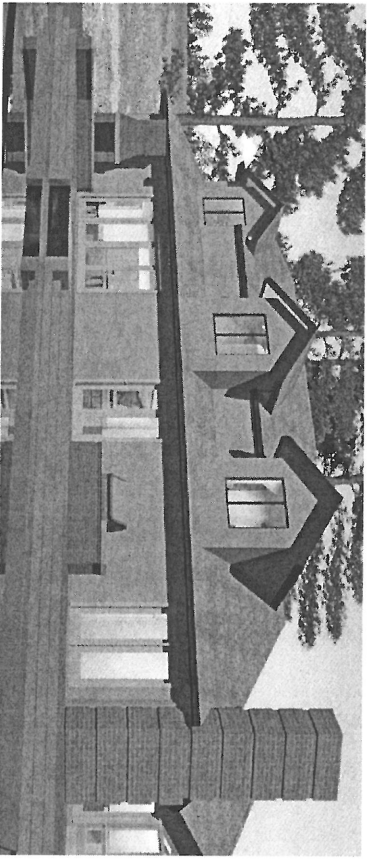
NET PROPD NEW GAR-STOREAGE 695 SF

TTL 1ST FLR PROPD LIVING + ATT'D GAR 715 SF

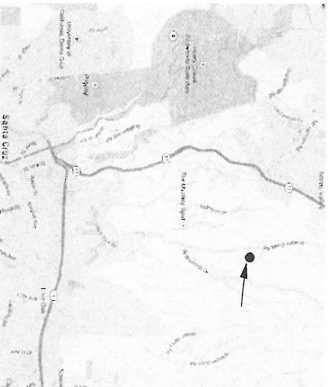
(E) DETACHED GARAGE 4786 SF



FRONT RENDERING OF ADDITION



REAR RENDERING OF ADDITION



METHOD 1 - HABITABLE AREA	EXISTING	PROPD	PROPD
2ND FLOOR AREA	311	210	521
BASEMENTS	0	0	0
BASEMENTS GARAGE	0	0	0
SECOND DWELLING UNITS	0	0	0
ACCESSORY STRUCTURES	0	0	0
STABLES	0	0	0
VOLUME CEILINGS	0	0	0
UNDER-FLOOR	0	0	0
ATTIC	0	0	0
EAVES, CHIMNEYS, AREA UNDER EAVES, BUILDING PROJECTIONS COVERED OR UNCOVERED, OR ELEMENTS THAT PROTRUDE BEYOND EXTERIOR WALLS, BAY WINDOWS	0	0	0
DECKS, BAY WINDOWS	0	0	0
3563	851	4424	TOTAL
METHOD 2 - FLOOR AREA	EXISTING	PROPD	PROPD
2ND FLOOR AREA	311	210	521
BASEMENTS	0	0	0
BASEMENTS GARAGE	0	0	0
SECOND DWELLING UNITS	0	0	0
ACCESSORY STRUCTURES	0	0	0
STABLES	0	0	0
VOLUME CEILINGS	0	0	0
UNDER-FLOOR	0	0	0
ATTIC	0	0	0
EAVES, CHIMNEYS, AREA UNDER EAVES, BUILDING PROJECTIONS COVERED OR UNCOVERED, OR ELEMENTS THAT PROTRUDE BEYOND EXTERIOR WALLS, BAY WINDOWS	0	0	0
DECKS, BAY WINDOWS	0	0	0
4278	841	5119	TOTAL

SHEET INDEX

- A-1 COVER SHEET
- A-2 SITE PLAN, APM
- A-3 TOPO PLAN
- A-4 APM, ROOF AND WELL LOCATION PLANS
- A-5 (E) FLOOR PLANS
- A-6 (N) FLOOR PLANS
- A-7 (E) AND (N) FLOOR PLANS
- A-8 (E) ELEVATIONS AND PICTURES
- A-9 (N) ELEVATIONS
- A-10 COMPLETE PROPD ELEVATIONS
- A-11 BUILDING SECTIONS

PRINTED 5/12/2015

DRAWINGS PROVIDED BY: DeMattei Construction 1144 The Alameda, San Jose, CA. 95126 P: (408) 350-4200 F: (408) 226-6584 LIC# B-478455		PROJECT DESCRIPTION: CONTE RESIDENCE 700 CELESTE WAY SANTA CRUZ, CA. 95065		SHEET TITLE: 	
DATE: 3/12/15		SCALE: 3/12/15		NO. DESCRIPTION BY DATE	
SHEET: A-1				1 PLANO FLOOR AREA REVIS 4/20/15	

220'

PROPERTY LINE

SHEET REPRINTED 4/13/15 TO
CORRECT PREVIOUS OMISSION OF
DETACHED GARAGE

EXP. 15' x 8' E.F. x 6'

EXP. 15' x 8' E.F. x 6'

EXP. 15' x 8' E.F. x 6'

EXP. 15' x 8' E.F. x 6'

DIVERSION VALVE

1500 GAL SEPTIC TANK OK
PER HEATHER RENOLDS
FOR 1-4 BR + 1 BR IF GOOD
SEPTIC REPORT

(E) 1500 gal
SEPTIC TANK

(E) POOL
MIN 10,000 GALLONS

STAIR AREA
COUNTED ON 1ST
FLOOR ONLY

DIAGRAM OF 2ND FLOOR

(E) 452 SF 2ND FLR ANGLE
HATCHED, w/o STAIR

PROPD 458 SF 2ND FLR ADDN
ENTIRE 2ND FLR SHOWN OPPOSITE ANGLE HATCH
THIS TOTAL 2ND FLR AREA AFTER ADDN = 950 SF

OUTLINE INCL STAIR SHOWN DASHED LINE

PROPD 144 FLR ADDN OF LIVING

PROPD 2ND FLR ADDN OF LIVING

PROPD TOTAL LIVING

(E) ATTACHED GARAGE
CONVERT GARAGE TO LIVING

PROPD GARAGE ADDN

NET PROPD NEW GAR+STORAGE

TTL 1ST FLR PROPD LIVING + ATTG GAR

(E) DETACHED GARAGE

TTL 1ST FLR PROPD LIVING + ATTG GAR

(E) DETACHED GARAGE

TTL 1ST FLR PROPD LIVING + ATTG GAR

(N) 2ND FLR OUTLINE SHOWN
AS DASHED LINE, SEE
DIAGRAM OFFSET ABOVE

(E) PL 4140 SF HOUSE+GAR+
ADDITION

(E) RESIDENCE

(E) CC
DRIVEWAY

(E) 12' WIDE
DRIVE

(E) 12' WIDE
DRIVE

(E) 12' WIDE
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(E) 12' WIDE
DRIVE

SITE PLAN

SCALE: 1"=20'-0"

N

METHOD #1 - HABITABLE AREA		EXISTING		PROPD		TOTAL	
1ST FLOOR AREA	3111	498	80	3174	3174	3174	3174
2ND FLOOR AREA	452	0	0	452	452	452	452
3RD FLOOR AREA	0	0	0	0	0	0	0
4TH FLOOR AREA	0	0	0	0	0	0	0
5TH FLOOR AREA	0	0	0	0	0	0	0
6TH FLOOR AREA	0	0	0	0	0	0	0
7TH FLOOR AREA	0	0	0	0	0	0	0
8TH FLOOR AREA	0	0	0	0	0	0	0
9TH FLOOR AREA	0	0	0	0	0	0	0
10TH FLOOR AREA	0	0	0	0	0	0	0
11TH FLOOR AREA	0	0	0	0	0	0	0
12TH FLOOR AREA	0	0	0	0	0	0	0
13TH FLOOR AREA	0	0	0	0	0	0	0
14TH FLOOR AREA	0	0	0	0	0	0	0
15TH FLOOR AREA	0	0	0	0	0	0	0
16TH FLOOR AREA	0	0	0	0	0	0	0
17TH FLOOR AREA	0	0	0	0	0	0	0
18TH FLOOR AREA	0	0	0	0	0	0	0
19TH FLOOR AREA	0	0	0	0	0	0	0
20TH FLOOR AREA	0	0	0	0	0	0	0
21TH FLOOR AREA	0	0	0	0	0	0	0
22TH FLOOR AREA	0	0	0	0	0	0	0
23TH FLOOR AREA	0	0	0	0	0	0	0
24TH FLOOR AREA	0	0	0	0	0	0	0
25TH FLOOR AREA	0	0	0	0	0	0	0
26TH FLOOR AREA	0	0	0	0	0	0	0
27TH FLOOR AREA	0	0	0	0	0	0	0
28TH FLOOR AREA	0	0	0	0	0	0	0
29TH FLOOR AREA	0	0	0	0	0	0	0
30TH FLOOR AREA	0	0	0	0	0	0	0
31TH FLOOR AREA	0	0	0	0	0	0	0
32TH FLOOR AREA	0	0	0	0	0	0	0
33TH FLOOR AREA	0	0	0	0	0	0	0
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35TH FLOOR AREA	0	0	0	0	0	0	0
36TH FLOOR AREA	0	0	0	0	0	0	0
37TH FLOOR AREA	0	0	0	0	0	0	0
38TH FLOOR AREA	0	0	0	0	0	0	0
39TH FLOOR AREA	0	0	0	0	0	0	0
40TH FLOOR AREA	0	0	0	0	0	0	0
41TH FLOOR AREA	0	0	0	0	0	0	0
42TH FLOOR AREA	0	0	0	0	0	0	0
43TH FLOOR AREA	0	0	0	0	0	0	0
44TH FLOOR AREA	0	0	0	0	0	0	0
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52TH FLOOR AREA	0	0	0	0	0	0	0
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55TH FLOOR AREA	0	0	0	0	0	0	0
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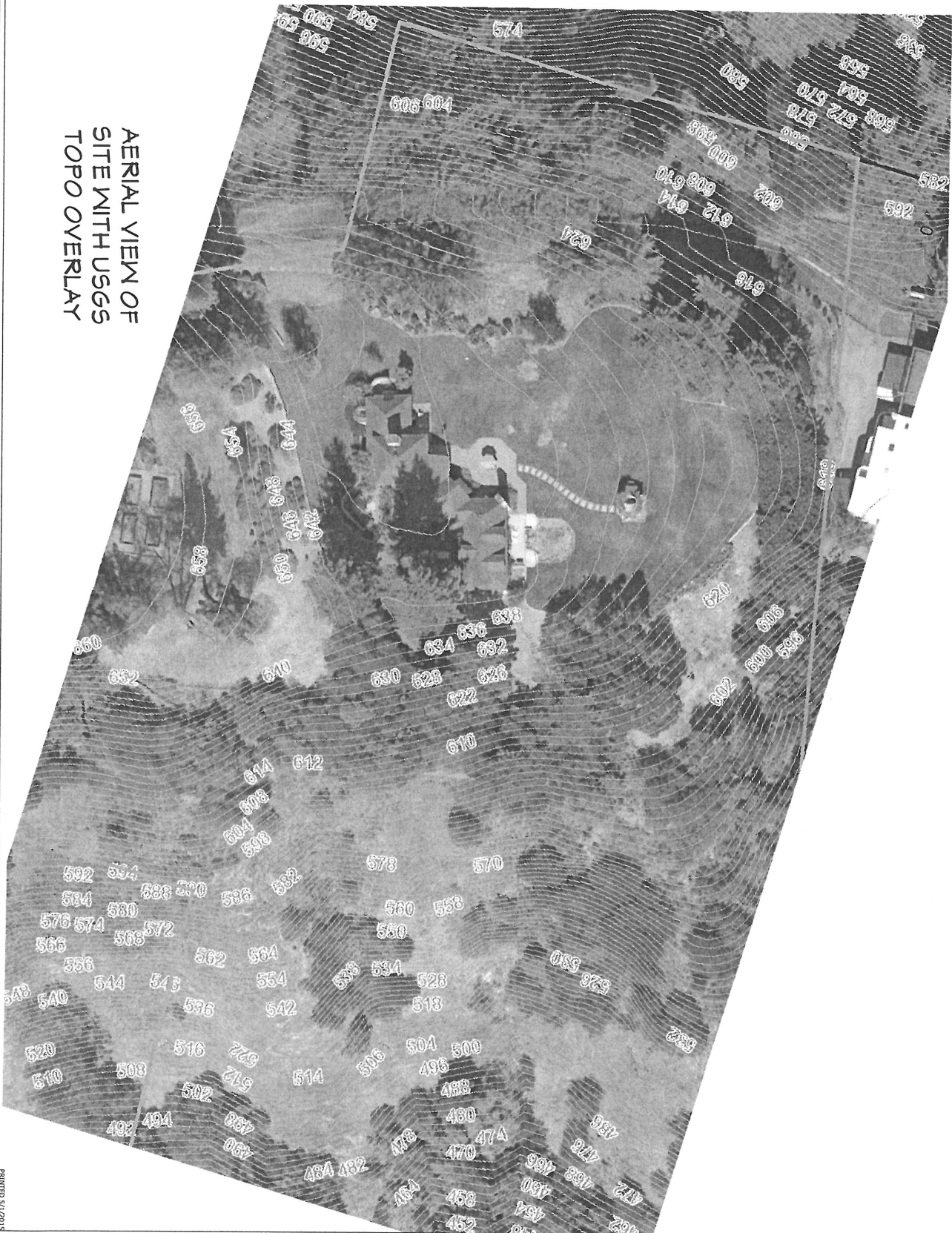
PRINTED 5/12/15

A-2

13

EXHIBIT D

AERIAL VIEW OF
SITE WITH USGS
TOPO OVERLAY



PRINTED 5/1/2015

A-3

SHEET:

SCALE:

DATE:

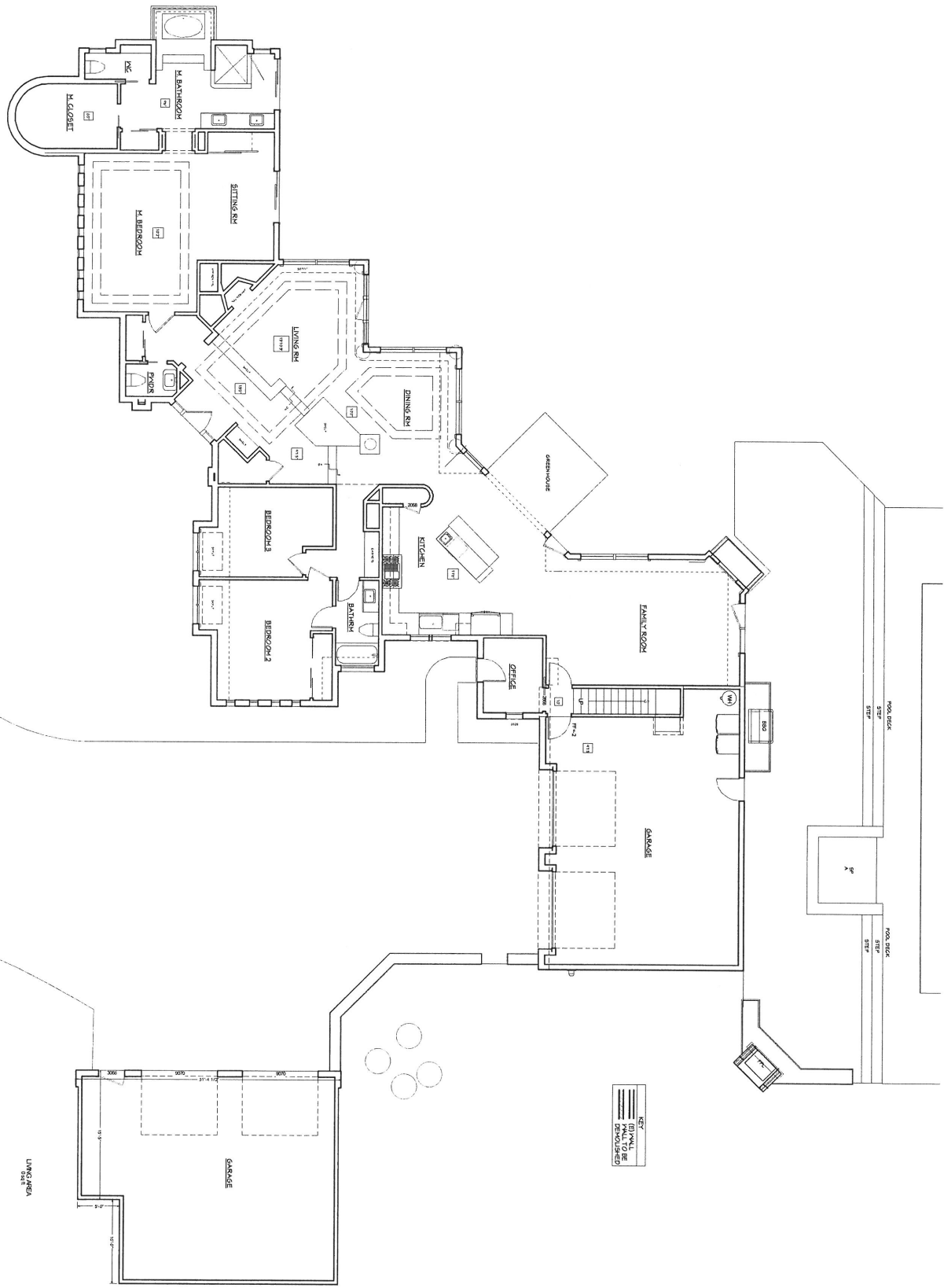
3/12/15

DRAWINGS PROVIDED BY:
DeMattei Construction
1144 The Alameda, San Jose, CA, 95126
P: (408) 350-4200
F: (408) 266-6569
LIC # B-478495

PROJECT DESCRIPTION:
CONTE RESIDENCE
700 CELESTE WAY
SANTA CRUZ, CA. 95065

SHEET TITLE:

NO.	DESCRIPTION	BY	DATE
1	PLANTING AREA REVISED	SVF	4/30/15

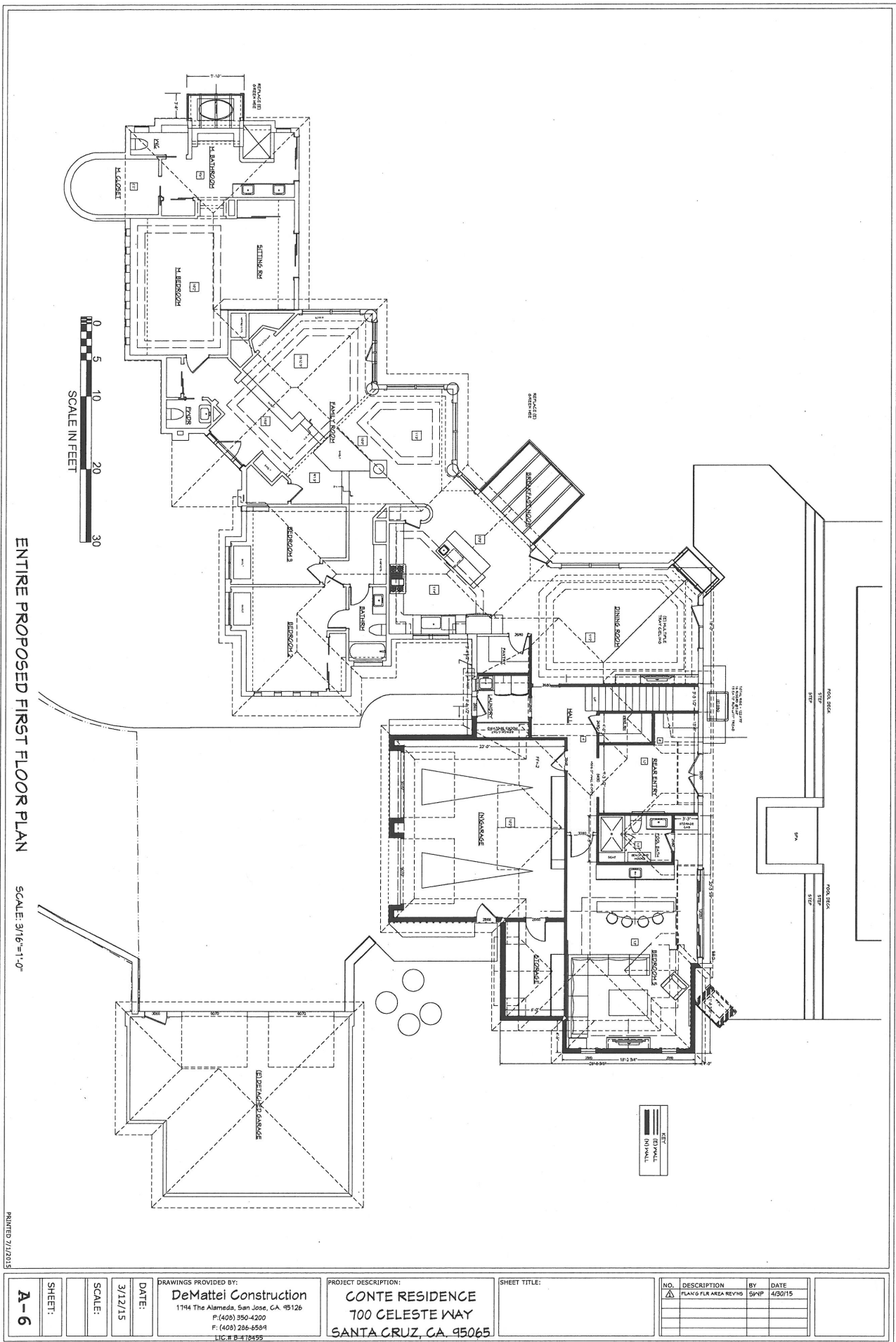


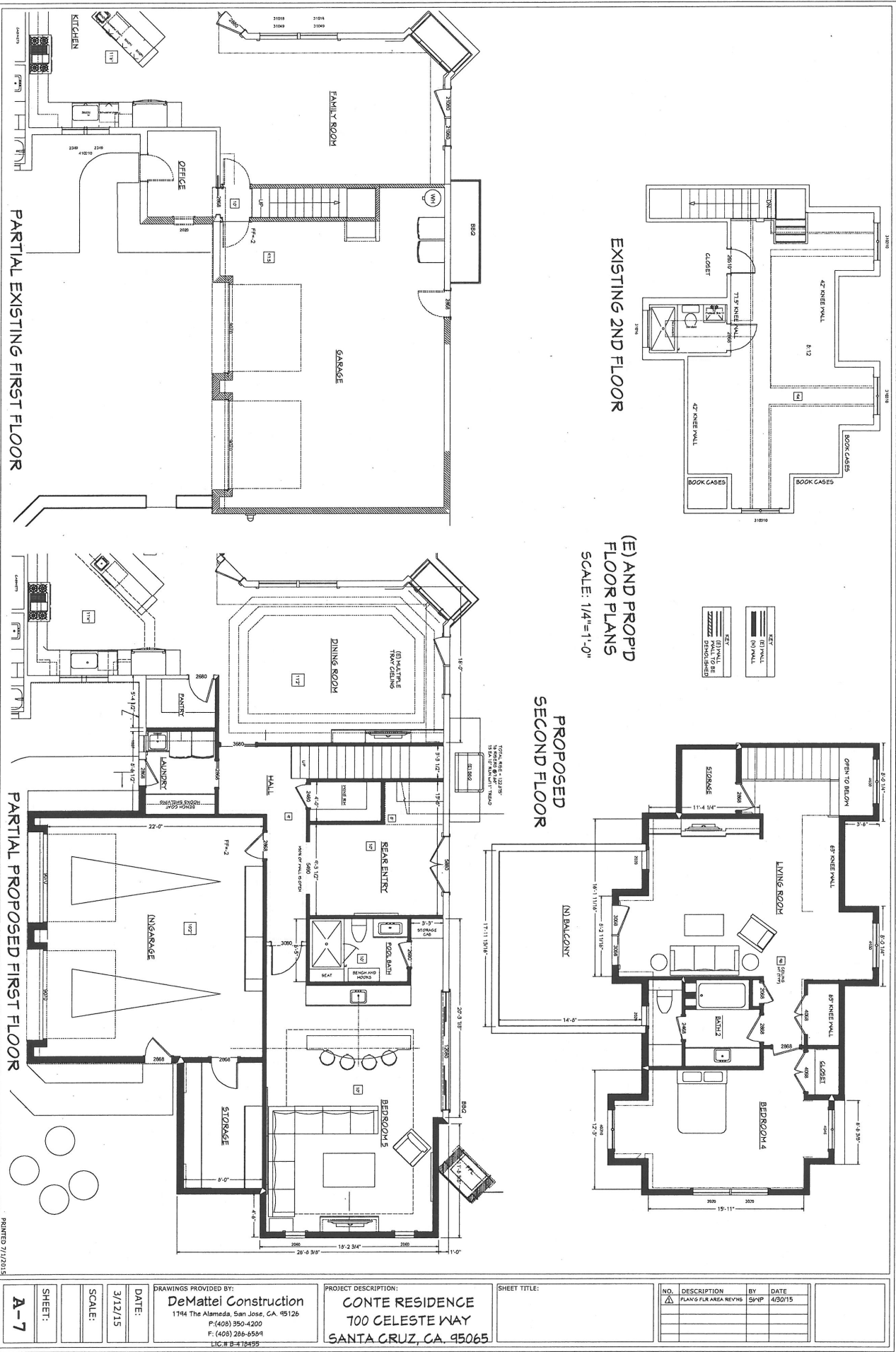
EXISTING AND DEMOLITION 1st FLR PLAN

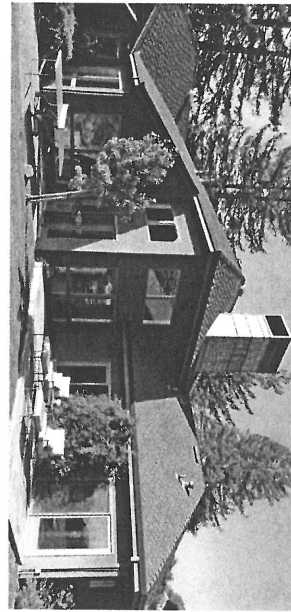
SCALE: 3/16"=1'-0"

PRINTED 5/17/2015

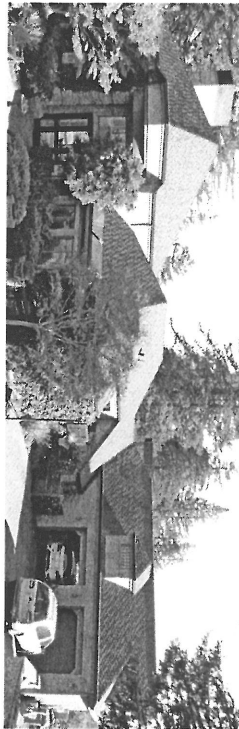
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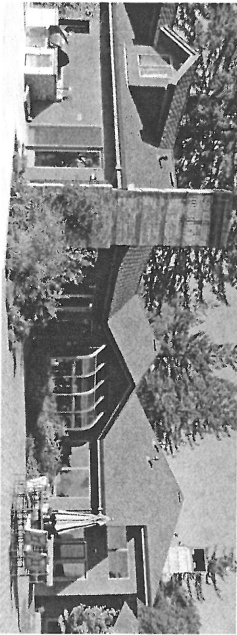




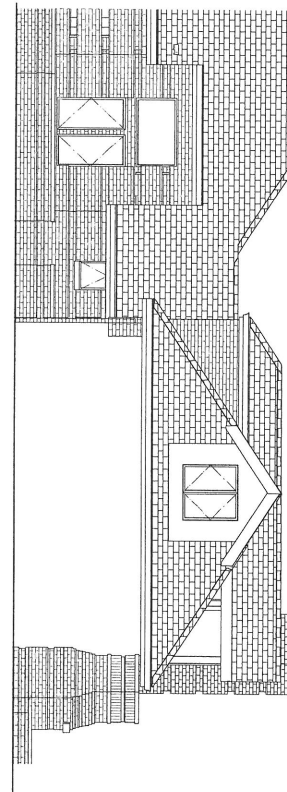
LEFT REAR PICTURE



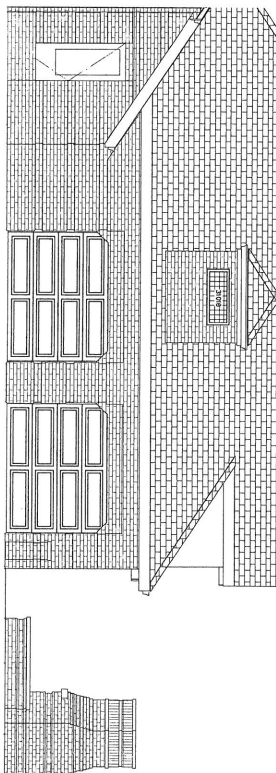
FRONT/DRIVEWAY PICTURE



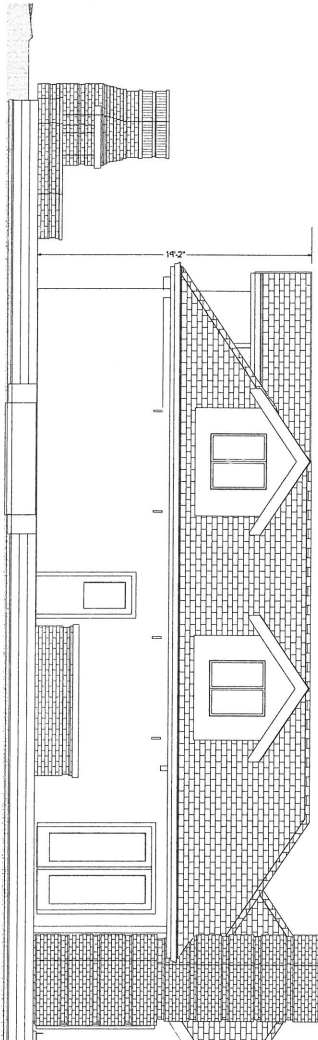
REAR PICTURE



RIGHT SIDE ELEVATION



FRONT ELEVATION

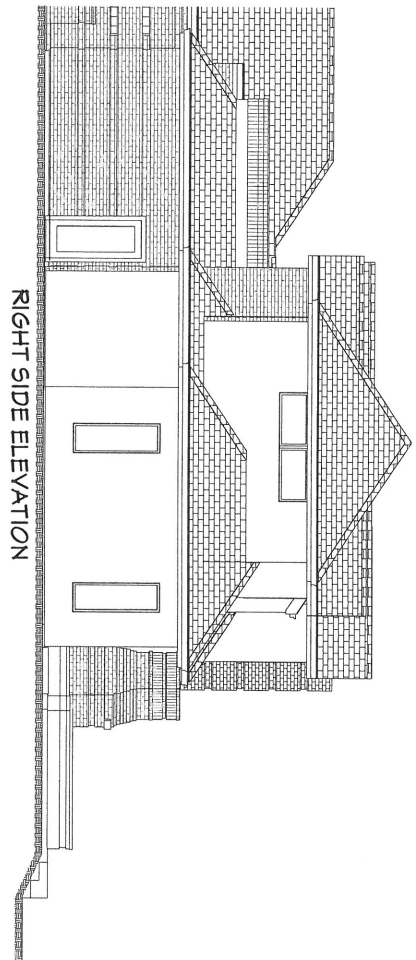


REAR ELEVATION

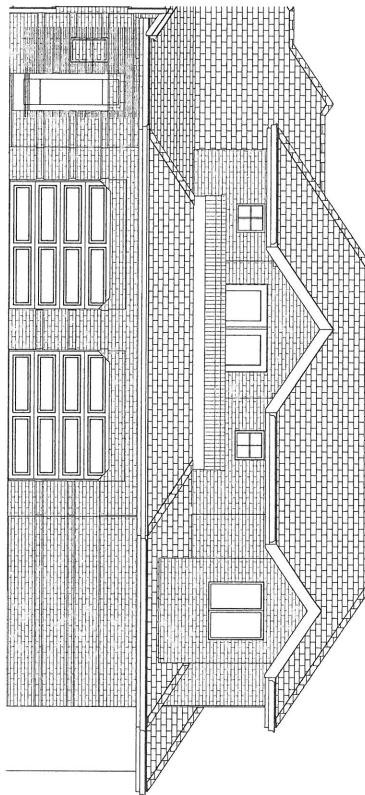
**PARTIAL (E)
ELEVATIONS**
SCALE: 1/4"=1'-0"

PRINTED 3/1/2015

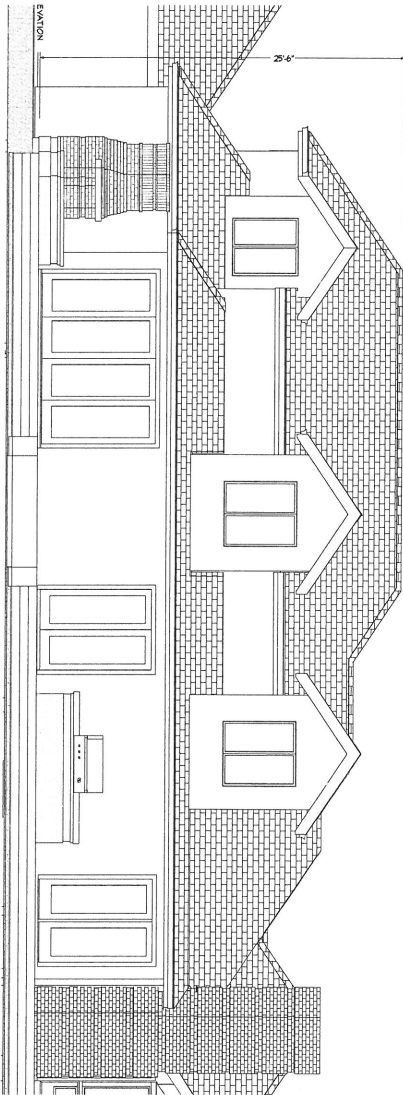
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NO.	DESCRIPTION	BY	DATE																																																
1	PLANS F.L.R. AREA REVINS	5/1/15	4/30/15																																																



RIGHT SIDE ELEVATION



FRONT ELEVATION



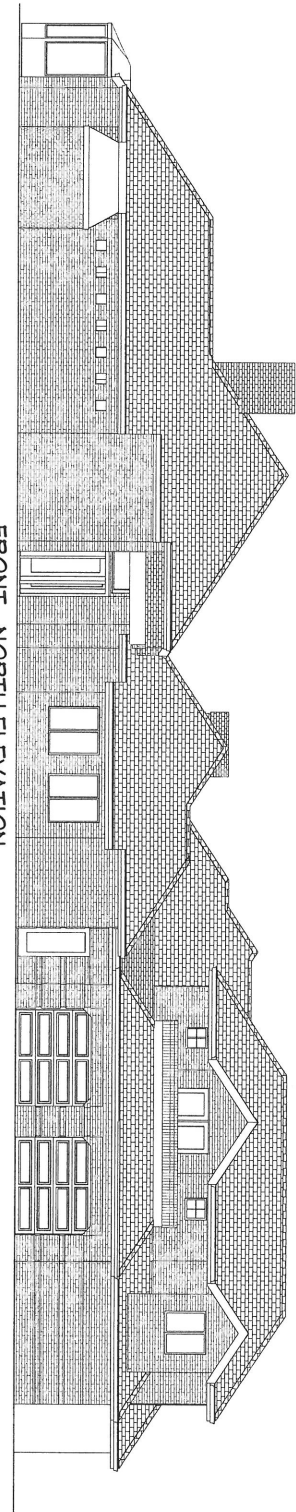
REAR ELEVATION

PARTIAL
PROPOSED
ELEVATIONS

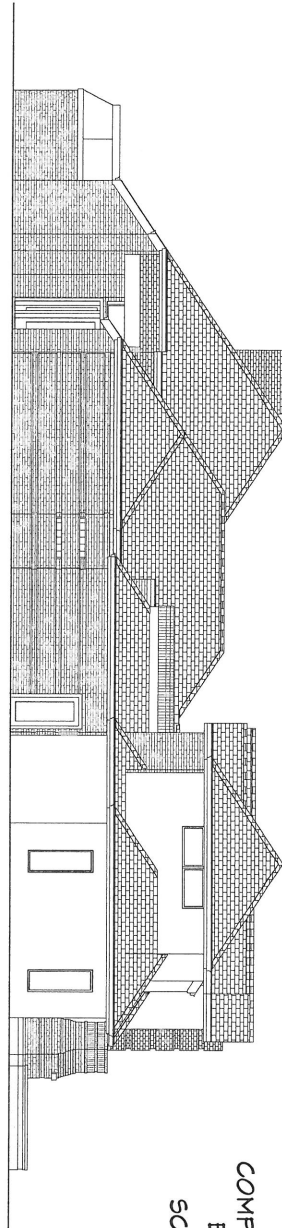
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PRINTED 5/12/2015

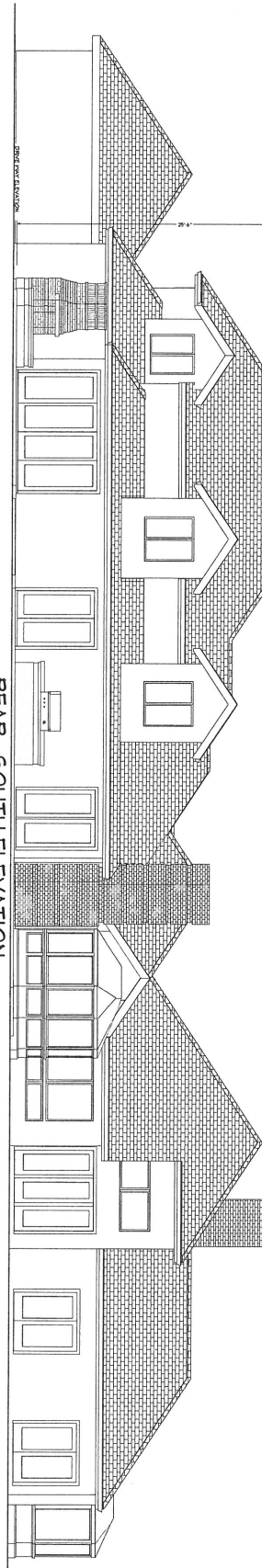
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	NO.	DESCRIPTION	BY	DATE																					
1	PLANS FOR AREA REVISED	SM/P	4/30/15																						



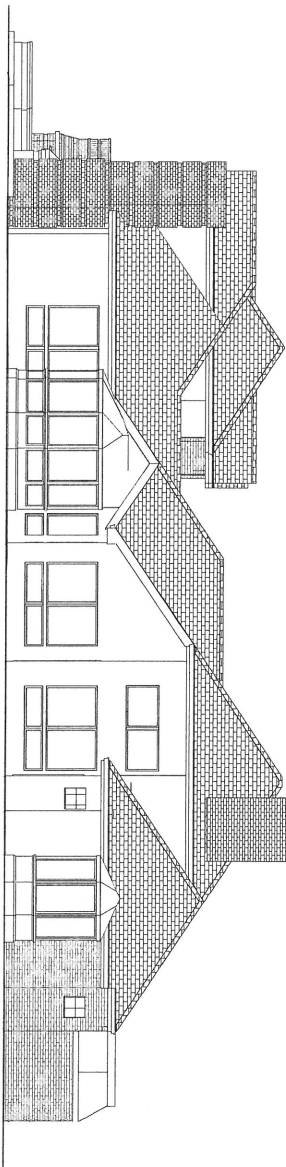
FRONT - NORTH ELEVATION



RIGHT - WEST ELEVATION



REAR - SOUTH ELEVATION



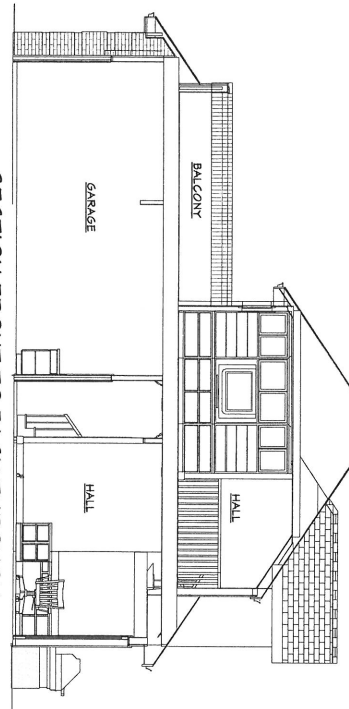
LEFT - EAST ELEVATION

COMPLETE PROPOSED
ELEVATIONS
SCALE: 3/16"=1'-0"

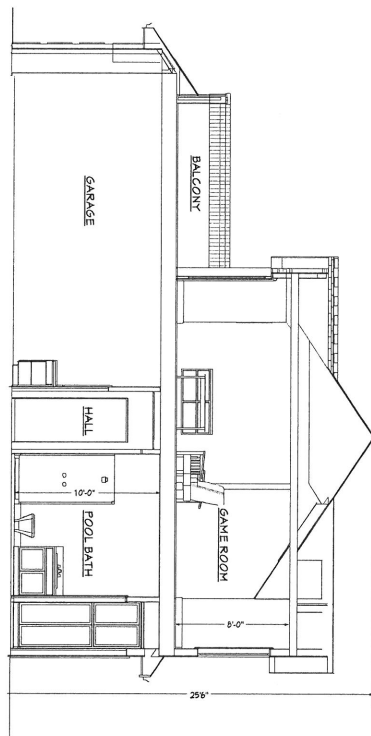
PRINTED 3/1/2015

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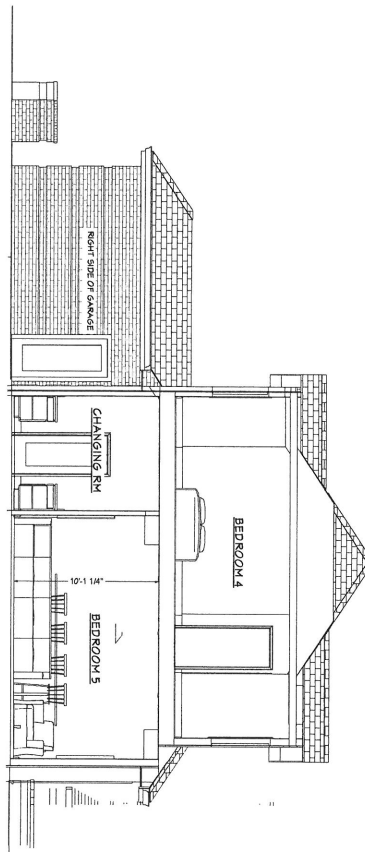
SECTION FRONT TO BACK THROUGH
OFFICE, GARAGE AND GAME RM



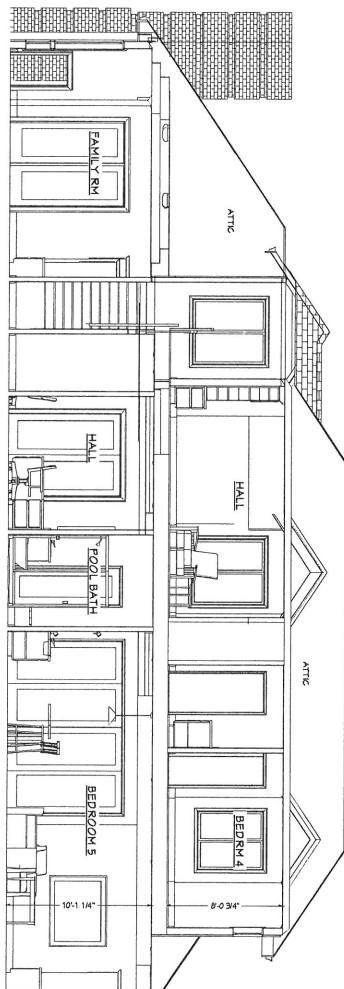
SECTION FRONT TO BACK THROUGH
LOGGIA, GARAGE AND GAME RM



SECTION FRONT TO BACK
THROUGH POOL BATH



SECTION SIDE TO SIDE THROUGH
LOGGIA, FAMILY RM AND POOL BATH



PRINTED 3/1/2015

A-11

SHEET:

SCALE:

DATE:

3/12/15

DRAWINGS PROVIDED BY:
DeMattei Construction
1794 The Alameda, San Jose, CA. 95126
P: (408) 350-4200
F: (408) 266-6509
LIC. # B-418455

PROJECT DESCRIPTION:
CONTE RESIDENCE
700 CELESTE WAY
SANTA CRUZ, CA. 95065

SHEET TITLE:

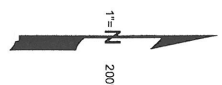
NO.	DESCRIPTION	BY	DATE
1	PLANS FLR AREA REVISED	5/1/15	4/30/15

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Tax Area Code
73-001

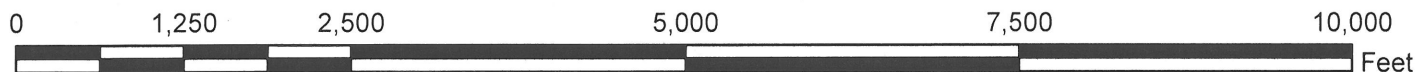
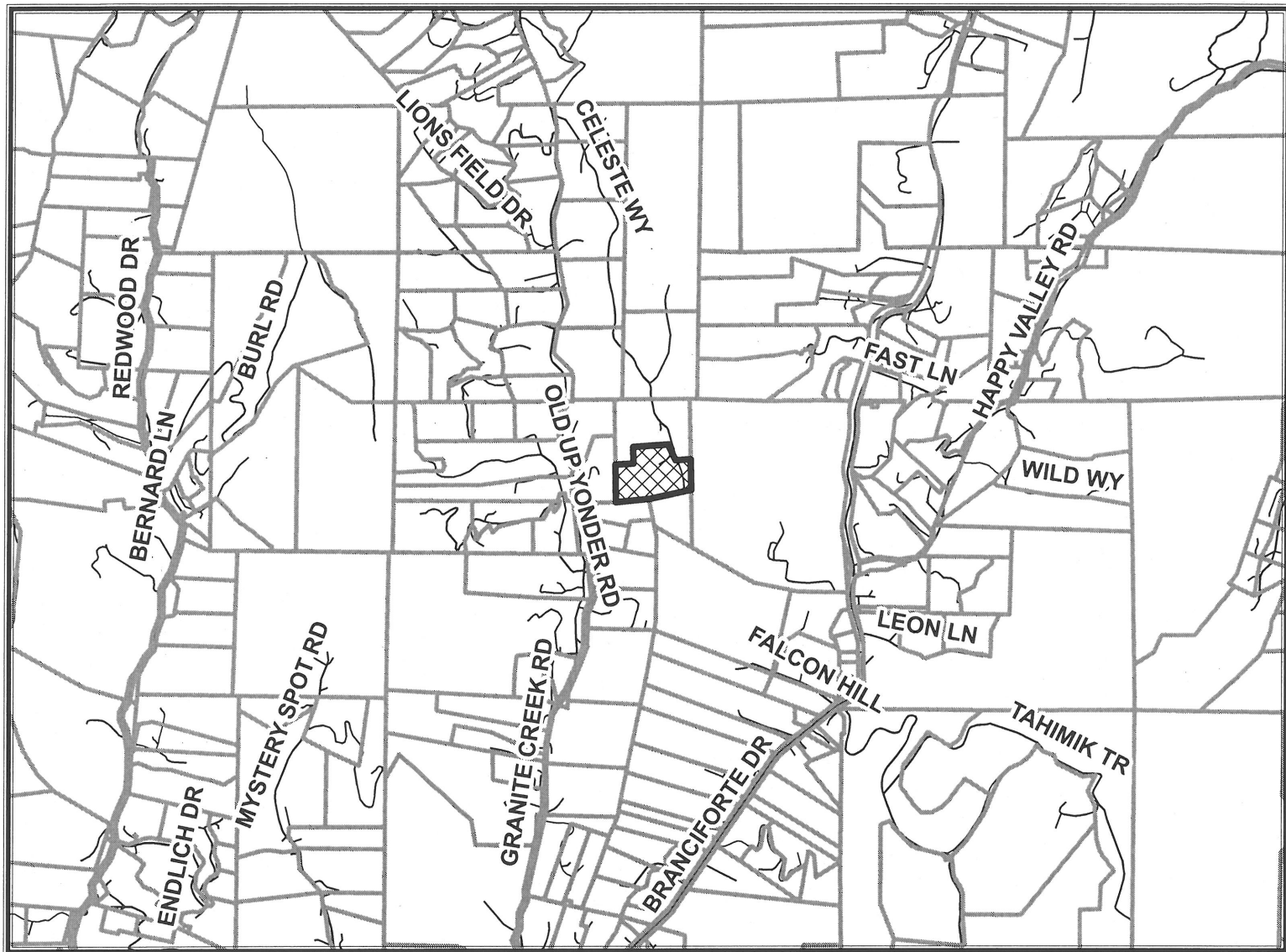
EXHIBIT E






Assessor's Map No. 101-23
County of Santa Cruz, Calif.
Sep. 1996



Location Map



LEGEND

-  APN: 101-231-04
-  Assessors Parcels
-  Street

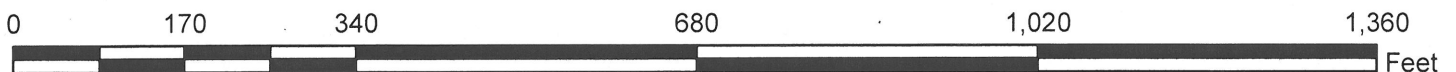


Map Created by
County of Santa Cruz
Planning Department
April 2015





EXHIBIT E



Zoning Map



LEGEND

-  APN: 101-231-04
-  Assessors Parcels
-  Street
-  AGRICULTURE

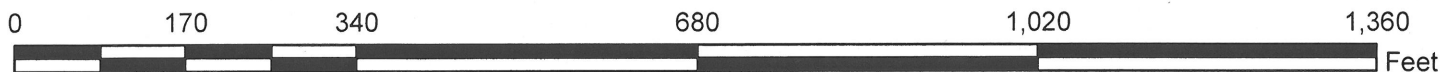
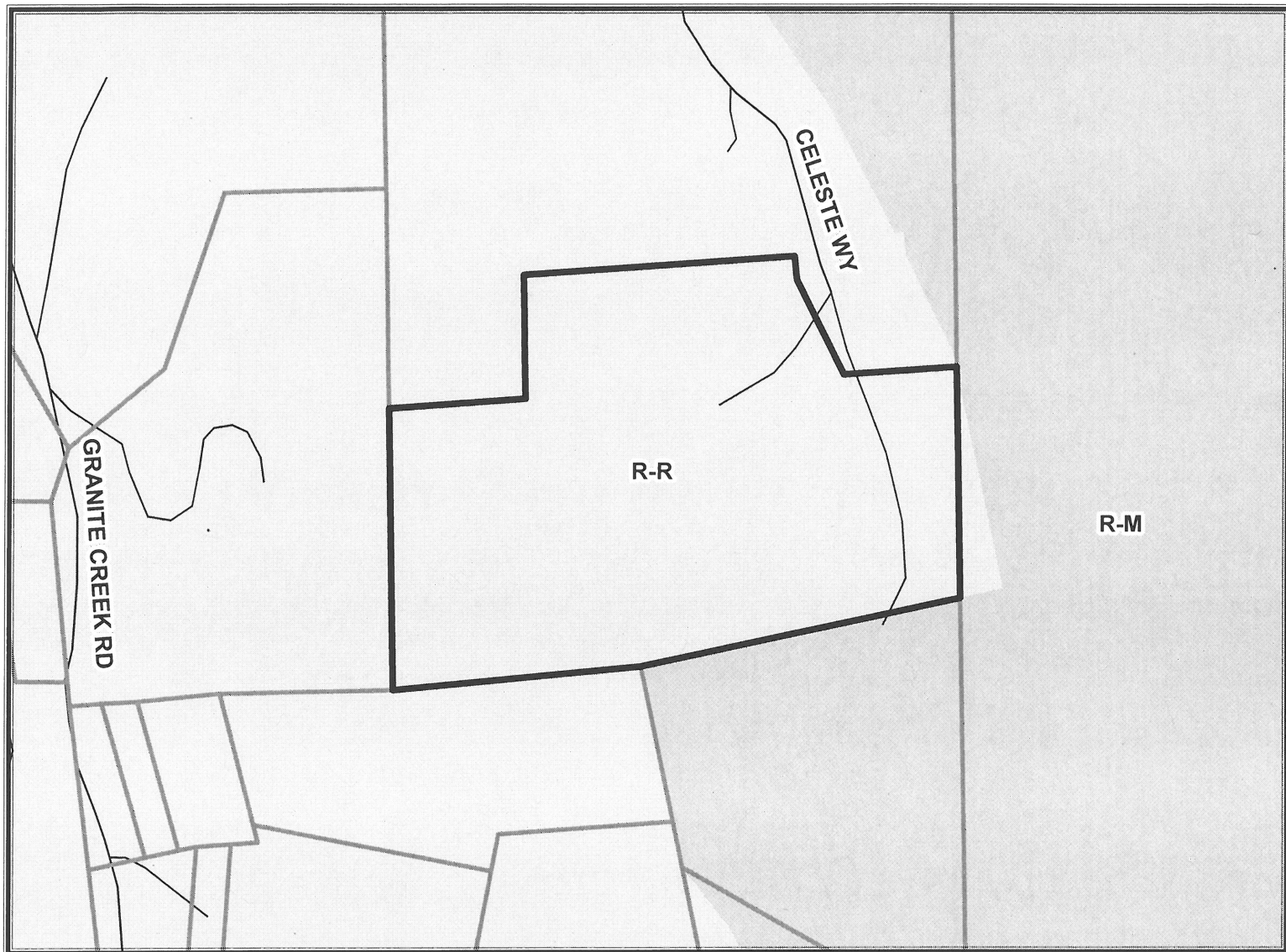


Map Created by
County of Santa Cruz
Planning Department
April 2015






EXHIBIT E



General Plan Designation Map



LEGEND

-  APN: 101-231-04
-  Assessors Parcels
-  Street
-  Residential-Rural
-  Residential-Mountain



Map Created by
County of Santa Cruz
Planning Department
April 2015

EXHIBIT F