



Staff Report to the Zoning Administrator

Application Number: **151032**

Applicant: Matson-Britton Architects
Owner: Emery
APN: 033-171-02

Agenda Date: February 5, 2016
Agenda Item #: 3
Time: After 9:00 a.m.

Project Description: Proposal to modify 41 percent of an existing non-conforming two story single family dwelling. Modifications to include remodeling and reconfiguring the first and second floors by relocating windows, doors and wall, and roof reframing. Requires an Amendment to Coastal Development Permit 97-0819.

Location: Property located on the south east corner of Opal Cliff Drive and 41st Avenue (4100 Opal Cliff Drive).

Supervisory District: 1st District (District Supervisor: Leopold)

Permits Required: Coastal Development Permit

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 151032, based on the attached findings and conditions.

Exhibits

- | | |
|---|---|
| A. Categorical Exemption (CEQA determination) | E. Assessor's, Location, Zoning and General Plan Maps |
| B. Findings | F. Comments & Correspondence |
| C. Conditions | |
| D. Project plans | |

Parcel Information

Parcel Size:	10,454.5 square feet (less coastal bluff)
Existing Land Use - Parcel:	Residential
Existing Land Use - Surrounding:	Residential
Project Access:	Opal Cliff Drive
Planning Area:	Live Oak
Land Use Designation:	R-UM (Urban Medium Density Residential)

Zone District: R-1-5 (Single family residential - 5,000 square feet minimum)
Coastal Zone: X Inside ___ Outside
Appealable to Calif. Coastal Comm. X Yes ___ No

Environmental Information

Geologic Hazards: Coastal bluff
Soils: Required at building permit stage
Fire Hazard: Not a mapped constraint
Slopes: Flat lot with coastal bluff at the rear
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Drainage: Existing drainage adequate
Archeology: Not a mapped resource

Services Information

Urban/Rural Services Line: X Inside ___ Outside
Water Supply: Soquel Creek Water district
Sewage Disposal: Santa Cruz County Sanitation District
Fire District: Central Fire Protection
Drainage District: Flood Control District 5

History and Project Setting

The subject property is located on the ocean side of Opal Cliff Drive at the intersection with 41st Avenue in the Live Oak Planning area. The subject property is relatively flat with the exception of the coastal bluff located at the rear. Development in the vicinity consists of single family construction on lots of similar size. Several newer homes exist on the street and there is a mix of architectural designs and styles due to the varying age of construction in the neighborhood.

The property is developed with an existing 4,880 square foot single family dwelling with attached garage constructed in 2001 under Coastal Development Permit 97-0819. The existing home was developed to maximize the 50 percent FAR (Floor Area Ratio). Since the approval of the home, the County of Santa Cruz now deducts coastal bluffs from lot area when calculating FAR. As a result of this change, the home is considered non-conforming with a 52% FAR. The proposed modifications of less than 65 percent do not require further review under the County's nonconforming ordinance (SCCC 13.10.260-265) and no change in FAR is proposed.

The project has been conditioned to ensure compliance with the County's Geologic Hazards Ordinance. As proposed, the project does not constitute development as defined in SCCC 16.10.

Zoning & General Plan Consistency

The subject property is a parcel of approximately 9,400 square feet, located in the R-1-5 (Single family residential - 5,000 square feet minimum) zone district, a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district and the zoning is consistent with the site's R-UM (Urban Medium Density Residential) General Plan designation.

Local Coastal Program Consistency

The proposed remodel is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings. Size and architectural styles vary widely in the area, and the design submitted is consistent with the existing range of styles. The project site is located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **151032**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

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Santa Cruz County Planning Department
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CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 151032

Assessor Parcel Number: 033-171-02

Project Location: 4100 Opal Cliff Drive

Project Description: Remodel exiting single family dwelling.

Person or Agency Proposing Project: Matson-Britton Architects

Contact Phone Number: (831) 425-0544

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. ☒ **Categorical Exemption**

Specify type: Class 1 – Existing Facilities (Section 15301) and Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

Interior and exterior modifications to an existing residence in an area designated for residential uses

In addition, none of the conditions described in Section 15300.2 apply to this project.

Nathan MacBeth, Project Planner

Date: _____

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts, listed in section 13.10.170(D) as consistent with the General Plan and Local Coastal Program LUP designation.

This finding can be made, in that the property is zoned R-1-5 (Single family residential - 5,000 square feet minimum), a designation which allows residential uses. The proposed remodel will result in one single family dwelling which is a principal permitted use within the zone district. The parcel zoning is consistent with the site's R-UM (Urban Medium Density Residential) General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to Section 13.20.130 and Section 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style and the site is surrounded by lots developed to an urban density. The project will involve resurfacing the existing home with similar colors and materials which will be natural in appearance and complementary to the site. The existing home is located on a coastal bluff and the proposed remodel will result in a reduced impact to coastal resources. The reframing/reconfiguring of the roof will soften the exterior of the home by introducing additional wall plains, varied rooflines, and reduce the overall height of the home. Additionally, the second story deck railing will be revised from a solid surface to an open rail eliminating the massing effect of the existing design. The remodel will also include the elimination of parapet walls on the street side (front) of the home by replacing the feature with a hipped roof and covered porch.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the General Plan and Local Coastal Program land use plan, specifically Chapter 2: figure 2.5 and Chapter 7, and, as to any development between and nearest public road and the sea or the shoreline of any body of water located within the coastal zone, such development is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act commencing with section 30200.

This finding can be made, in that the project site is located between the shoreline and the first through public road however, the replacement single family dwelling will not interfere with public access to the beach, ocean, or any nearby body of water. Existing and adequate public beach access exists nearby, located approximately 500 feet to the southwest of the project site and consisting of a public parking lot and stairs to a popular surf break and beach/ocean areas. The project site is also not identified as a priority acquisition site in the County Local Coastal Program.

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5. That the proposed development is in conformity with the certified local coastal program.

This finding can be made, in that the proposed remodel will result in a structure that is sited and designed to be visually compatible, in scale, and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-5 (Single family residential - 5,000 square feet minimum) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary widely in the area, and the design submitted is consistent with the existing range of styles.

The project has been conditioned to ensure compliance with the SCCC 16.10 (Geologic Hazard Ordinance). Review of the soils report will occur at the building permit stage.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses and is not encumbered by physical constraints to development. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. The proposed remodel will not deprive adjacent properties or the neighborhood of light, air, or open space, in that the structure meets all current setbacks that ensure access to these amenities.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-5 (Single family residential - 5,000 square feet minimum) zone district as the primary use of the property will be one single family that meets all current site standards for the zone district. As proposed, the project does not constitute development as defined in SCCC 16.10. The project has been conditioned to ensure compliance with the County's Geologic Hazards Ordinance.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-UM (Urban Medium Density Residential) land use designation in the County General Plan.

The proposed remodel will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties. The existing home meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance) with the exception of floor area ratio (52%). The proposed remodel will not adversely shade adjacent properties, and will meet current setbacks for the zone district.

The existing home was designed to maximize the 50 percent FAR (Floor Area Ratio). Current code requirements deduct coastal bluffs from lot area when calculating FAR. As a result, the home is considered non-conforming with respect to FAR. The project will not result in a change to FAR though several exterior modifications will reduce the bulkier/boxy appearance of the existing home. Therefore the proposed remodel will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed remodel will comply with

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Owner: Emery

the site standards for the R-1-5 zone district (including setbacks, lot coverage, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the parcel is currently developed with a single family dwelling that was reconstructed in 2001. The proposed project consisting of the remodel of the existing home and will not result in an increase in traffic. Existing utilities serve the site. No adverse impacts on existing roads, intersection or utilities are expected.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed remodel is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed remodel will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area.

Conditions of Approval

Exhibit D: Project Plans 12 sheets, prepared by Matson Britton Architects, Dated 6/23/15

- I. This permit authorizes the remodel of an existing single family dwelling. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - C. Obtain a Grading Permit from the Santa Cruz County Building Official.
 - D. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
 - E. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder) within 30 days from the effective date of this permit.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color

and material sheet in 8 1/2" x 11" format for Planning Department review and approval.

3. Grading, drainage, and erosion control plans. Grading and drainage plans shall include:
 - a. The location of the 100-year erosion setback boundary.
 - b. The location of the 25 foot coastal bluff setback.
 - c. A note that states: "Development within the established 100-year erosion setback and/or the minimum 25 foot coastal bluff setback is prohibited. Grading, other than minor leveling of a scale typically accomplished by hand, is prohibited within the 100-year erosion setback boundary and/or 25 foot coastal bluff setback."
 4. A structural modification plan shall be submitted. If modifications exceed 65%, the project shall be considered "development" as defined in SCCC 16.10 requiring updates from the soils engineer and engineering geologist that re-establish the 100-year stability setback.
 5. Details showing compliance with fire department requirements.
 6. A landscape plan for review by the County Geologist. The landscape plan shall include the location of the 100-year erosion setback boundary and the location of the 25 foot coastal bluff setback. The landscape plan shall include a note that states: "Development within the established 100-year erosion setback or the minimum 25 foot coastal bluff setback is prohibited. Grading, other than minor leveling of a scale typically accomplished by hand, is prohibited within the 100-year erosion setback boundary and/or 25 foot coastal bluff setback."
- B. Meet all requirements of and pay Zone 5 drainage fees to the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
 - C. Obtain an Environmental Health Clearance for this project from the County Department of Environmental Health Services.
 - D. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
 - E. Submit 3 copies of a soils report prepared and stamped by a licensed Geotechnical Engineer.
 - F. Provide required off-street parking for 3 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.

- G. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. Development, including any site improvements which require a building permit, or any portion of the structure, including that which is cantilevered, is prohibited within the established 100-year erosion setback boundary.
 - E. Development, including any site improvements which require a building permit, or any portion of the structure, including that which is cantilevered, is prohibited within the minimum 25 foot coastal bluff setback.
 - F. Grading, other than minor leveling of a scale typically accomplished by hand, is prohibited within the 25 foot coastal bluff setback.
 - G. Grading, other than minor leveling of a scale typically accomplished by hand, is prohibited within the 100-year erosion setback boundary.
 - H. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- IV. Operational Conditions
- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Application #: 151032
APN: 033-171-02
Owner: Emery

Approval Date: _____

Effective Date: _____

Expiration Date: _____

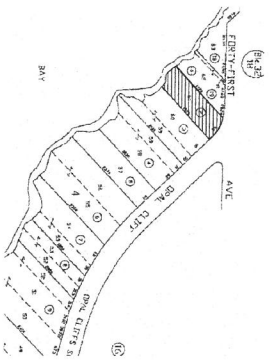
Wanda Williams
Deputy Zoning Administrator

Nathan MacBeth
Project Planner

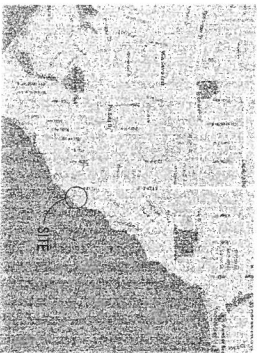
Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

EMERY RESIDENCE REMODEL

4100 OPAL CLIFF DRIVE, SANTA CRUZ, CA



PARCEL MAP



VICINITY MAP

ARCHITECTS:

MATSON BRITTON ARCHITECTS
728 N. BRANCFLORE
SANTA CRUZ, CA 95062
PHONE: 831-425-0544
FAX: 831-425-4795

ENGINEERING:

R.I. ENGINEERING, INC.
303 POTRERO STREET, STE. 42-202
SANTA CRUZ, CA 95060
PHONE: 831-425-3901
FAX: 831-425-1522

SUPERVISING:

HANAGAN LAND SUPERVISING, INC.
5850 AVENUE 16
SANTA CRUZ, CA 95062
PHONE: 831-469-9428

CONSULTANTS

LOT SIZE: 10,157 S.F.

EXISTING:
FIRST FLOOR CONDITIONED AREA: 2,594 S.F.
SECOND FLOOR CONDITIONED AREA: 1,837 S.F.
GARAGES (672 S.F. - 225 S.F. CREDIT): 447 S.F.
TOTAL: 4,880 S.F.

PROPOSED REMODELED:
FIRST FLOOR CONDITIONED AREA: 2,348 S.F. (2,594 S.F. - 248 S.F.)
SECOND FLOOR CONDITIONED AREA: 1,466 S.F. (1,837 S.F. - 371 S.F.)
GARAGES AND PROPOSED
SURF EQUIPMENT STORAGE: 447 S.F.
TOTAL REMODELED: 4,261 S.F.

NO CHANGE IN F.A.R.
MORE THAN 70% OF EXTERIOR WALLS TO REMAIN.
(4) PARKING SPACES PROVIDED.
SEE SITE PLAN SHEET P2.

PROJECT CALCULATIONS

OWNER: BOB EMERY
3522 CLAY STREET
SAN FRANCISCO, CA 94118-1839

A.P.N.: 033 171-02

ZONING: R-1.6

OCCUPANCY GROUP: R-3 U (PER 2013 C.R.C.)

CONSTRUCTION TYPE: V.B

PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF:

1. THE REMODEL AND RECONFIGURATION TO AN EXISTING TWO FLOOR, FOUR BEDROOMS, THREE BATHROOMS, THREE 1/2 BATHROOMS, KITCHEN, NOOK, DINING ROOM, GREAT SPACE, SEWING AND LAUNDRY.
2. REMODEL A ONE CAR GARAGE INTO A SURF EQUIPMENT ROOM.

PROJECT INFO.

- P1 TITLE SHEET
- P2 SITE PLAN
- P3 DEMOLITION FIRST FLOOR PLAN
- P4 DEMOLITION SECOND FLOOR PLAN
- P5 FIRST FLOOR REMODEL
- P6 SECOND FLOOR REMODEL
- P7 EXTERIOR ELEVATIONS
- P8 EXTERIOR ELEVATIONS
- C-1 GRADING AND DRAINAGE PLAN
- C-2 DETAILS
- C-3 STORMWATER POLLUTION CONTROL PLAN
- SL-1 SURVEYING PLAN

SHEET INDEX

TITLE SHEET

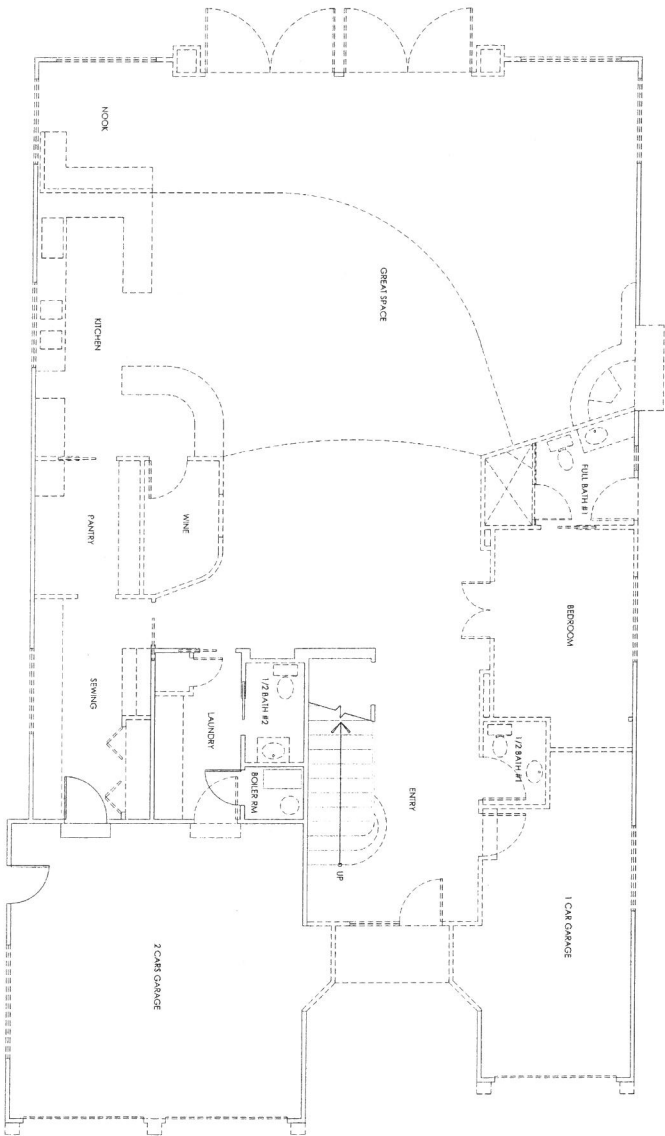
EMERY RESIDENCE REMODEL
4100 OPAL CLIFF DRIVE
SANTA CRUZ, CA 95062
A.P.N. 033-171-02



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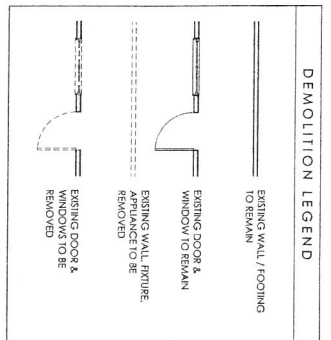


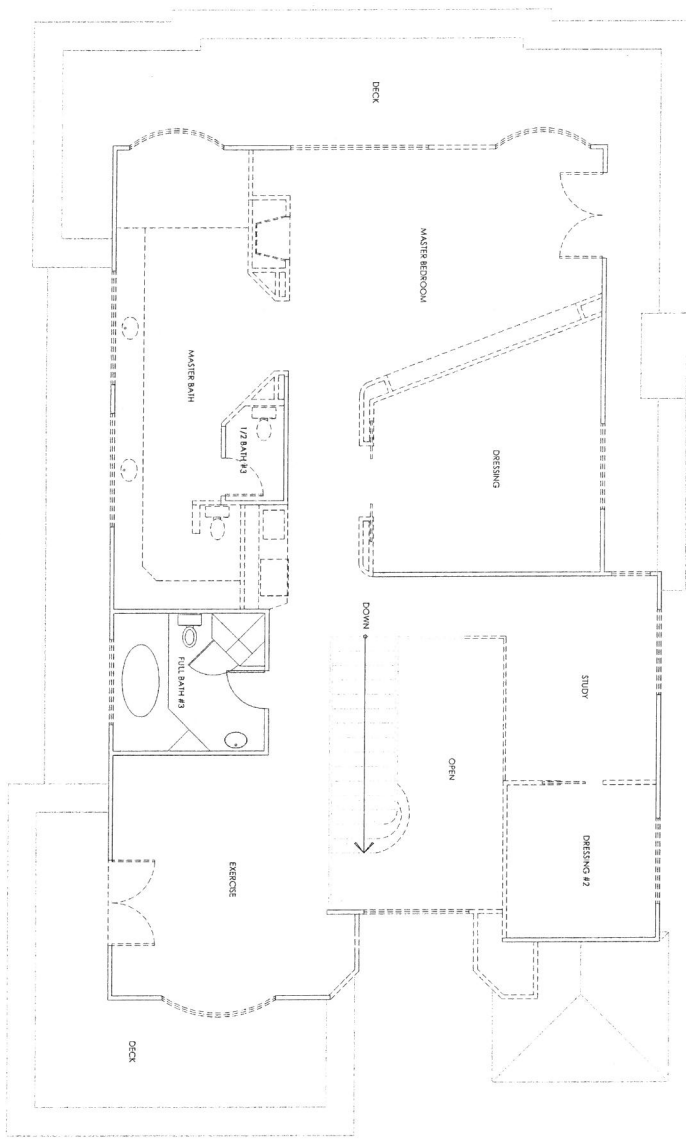
SITE PLAN
SCALE: 1/8" = 1' - 0"



FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1' - 0"

1





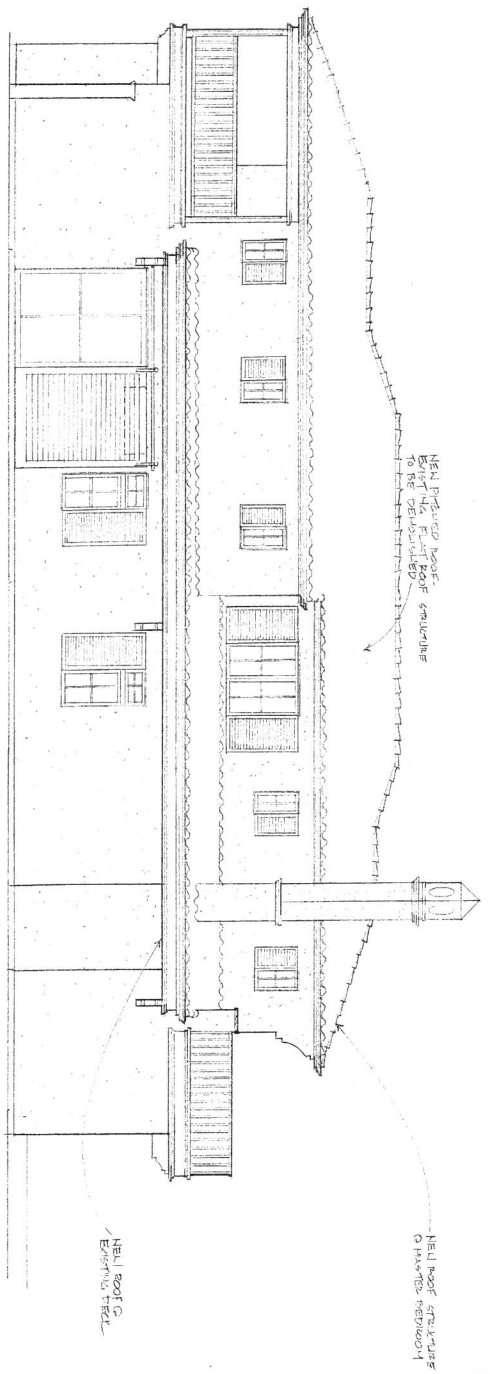
SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

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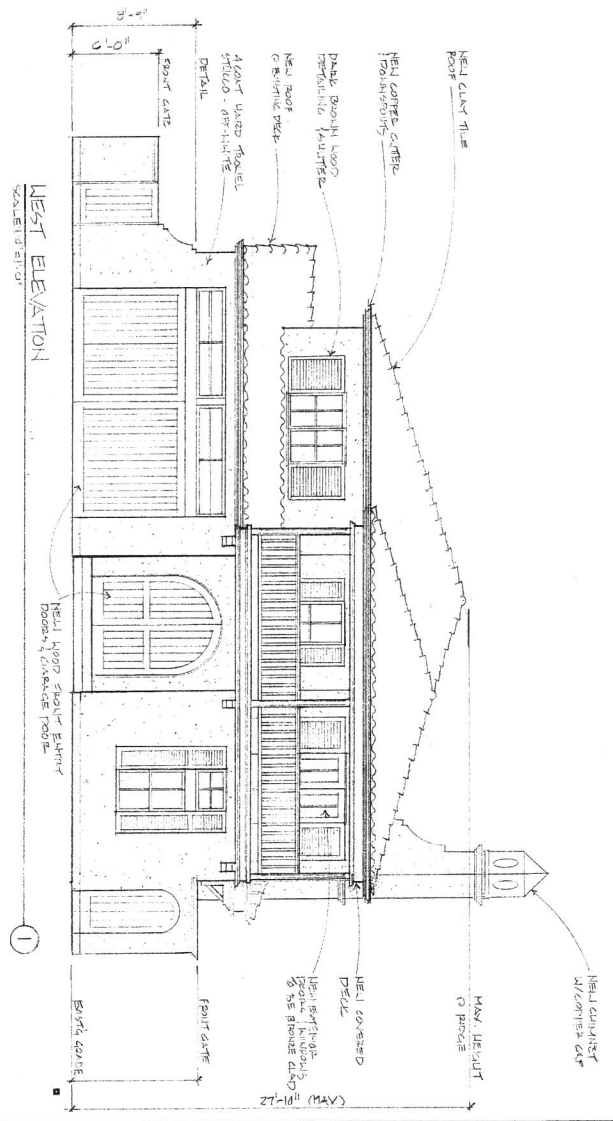
DEMOLITION LEGEND	
	EXISTING WALL / FLOORING TO REMAIN
	EXISTING DOOR & WINDOW TO REMAIN
	EXISTING WALL ENTIRE APPLIANCE TO BE REMOVED
	EXISTING DOOR & WINDOWS TO BE REMOVED

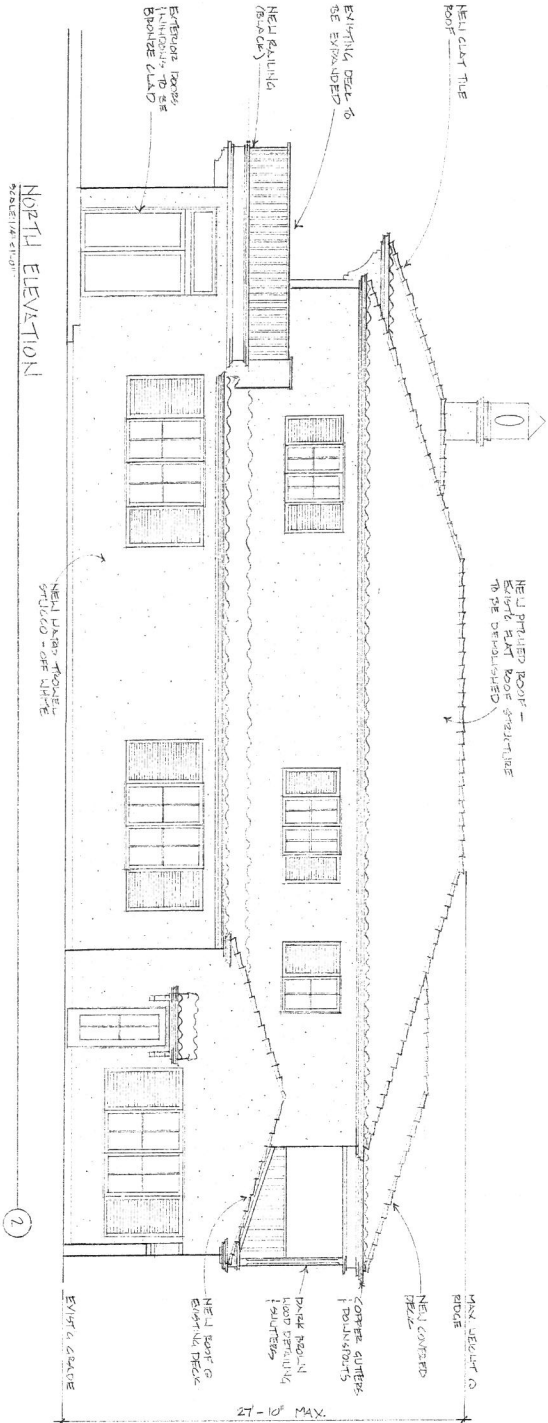
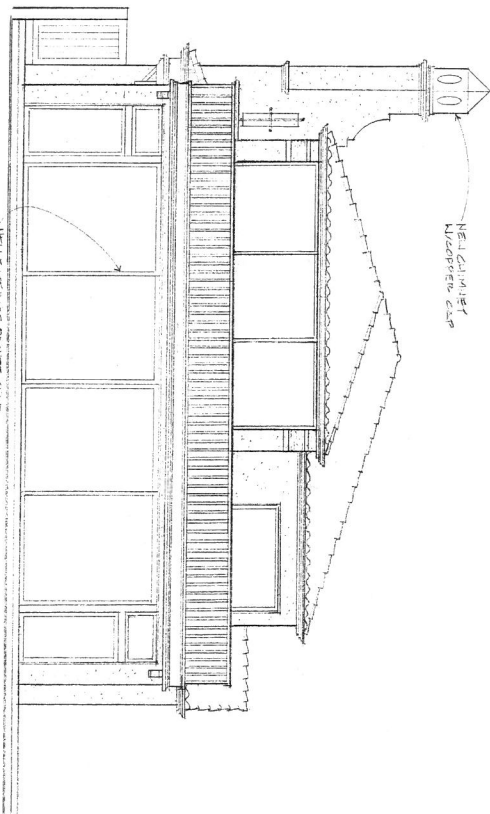
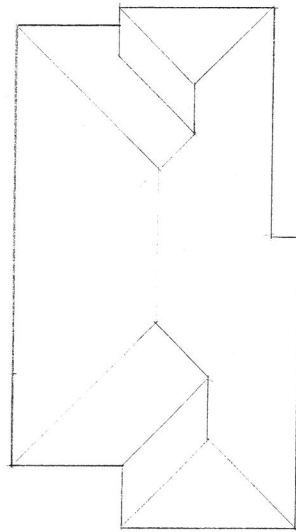


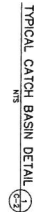
SOUTH ELEVATION
SCALE 1/4" = 1'-0"



WEST ELEVATION
SCALE 1/4" = 1'-0"







SITE HOUSEKEEPING REQUIREMENTS

LANDSCAPE MATERIALS
LANDSCAPE MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN CONTAINING FERTILIZERS AND OTHER LANDSCAPE MATERIALS ARE NOT ACTIVELY BEING USED, OR ANY RESIDUAL LANDSCAPE MATERIAL WITHIN A DAY BEFORE A FORECASTED RAIN EVENT OR SIMILAR EVENT OF PRECIPITATION.
ANY RESIDUAL LANDSCAPE MATERIAL IS QUANTIFIED AND APPLICATION RATES ARE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. LANDSCAPE MATERIALS ARE NOT BEING USED IN THE FIELD WITHOUT SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
STORMING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

VEHICLE EMISSIONS AND MAINTENANCE
ALL VEHICLES SHALL BE MAINTAINED TO PREVENT OIL, GREASE OR FUEL TO LEAK OR SPILL.

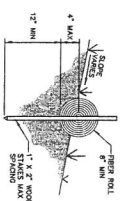
EROSION CONTROL MEASURES

1. PERSONS WHO ARE CONFINED IN THE U.S. ARE ALLOWED TO LEAVE THE COUNTRY FOR A LIMITED PERIOD OF TIME. A PERSON MAY RETURN TO THE U.S. AFTER 1 YEAR.
2. PERSONS WHO ARE DETAINED IN THE U.S. ARE ALLOWED TO LEAVE THE COUNTRY FOR A LIMITED PERIOD OF TIME. A PERSON MAY RETURN TO THE U.S. AFTER 1 YEAR.
3. PERSONS WHO ARE DETAINED IN THE U.S. ARE ALLOWED TO LEAVE THE COUNTRY FOR A LIMITED PERIOD OF TIME. A PERSON MAY RETURN TO THE U.S. AFTER 1 YEAR.
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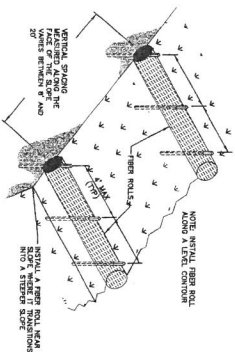
EXPOSED SLOPE MEASURES

1. COVER ALL EXPOSED SLOPES
2. STRAW 2 TONS/ACRE ON SLOPES \leq 20% WITH SOIL BINDER
3. USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES $>$ 20%.

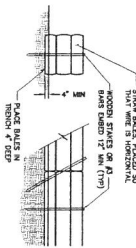
FIBER ROLL DETAIL IN SLOPE AREA



TYPICAL FIBER ROLL INSTALLATION

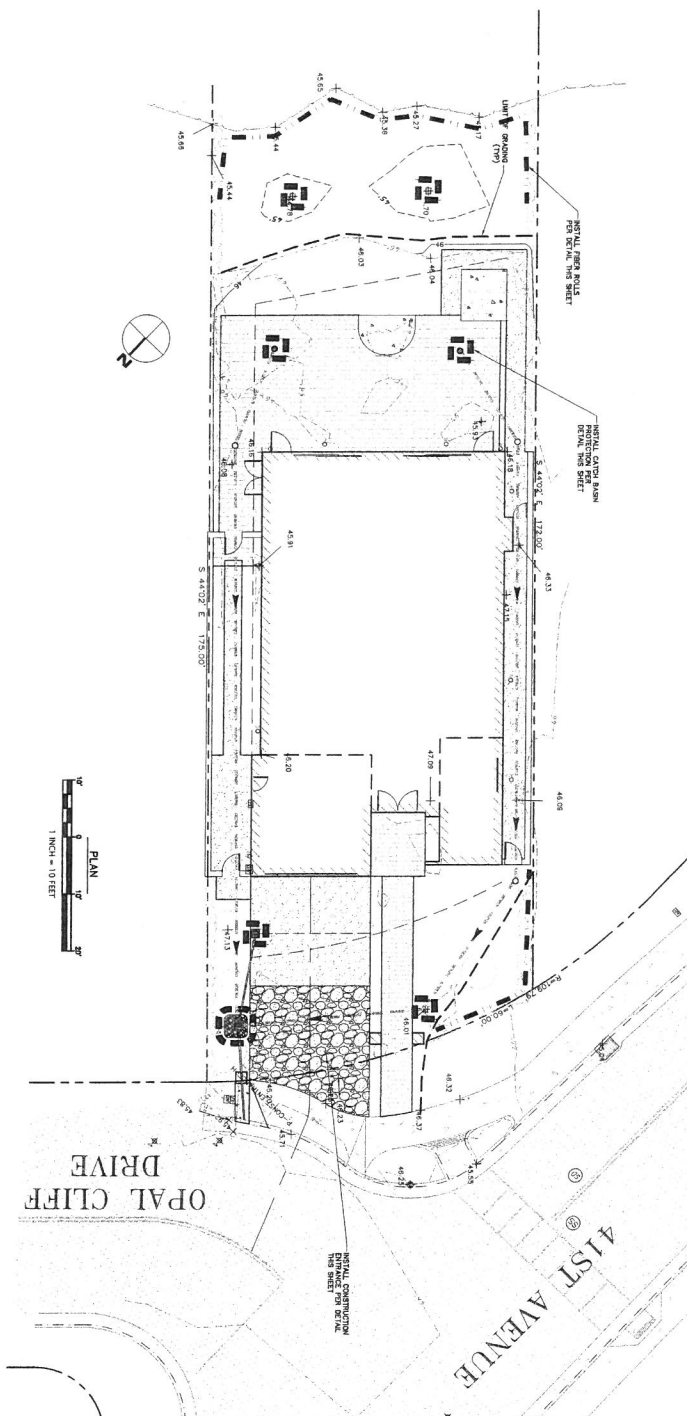
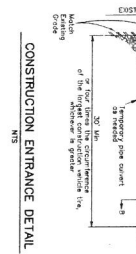
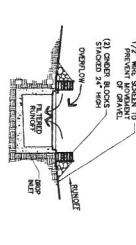


STRAW BALE PLACEMENT DETAILS

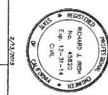


DECOY AND UNKNOWN ILLICIT BEHAVIOR

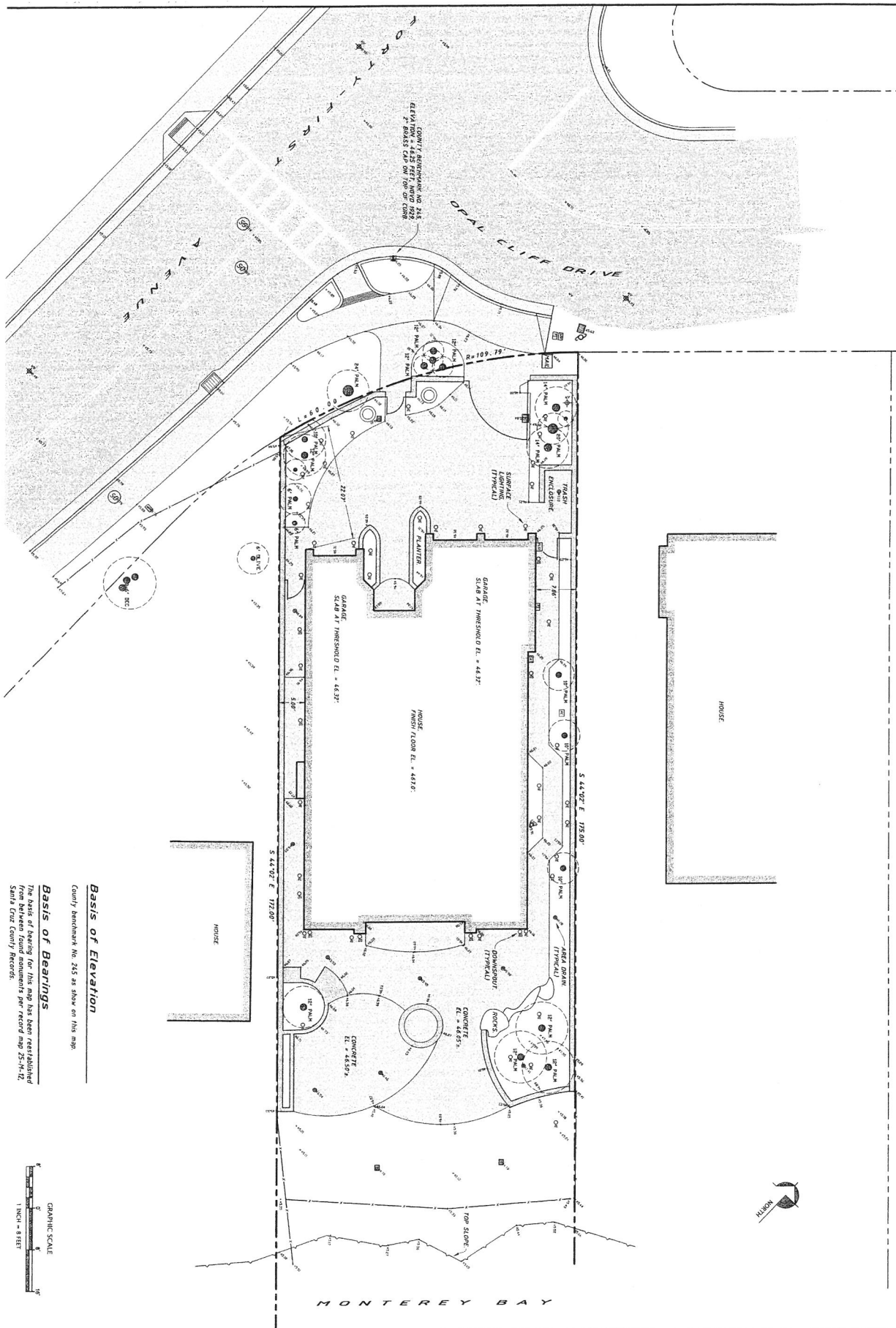
NITS



303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

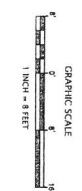


PLANNING SUBMISSION



Basis of Elevation
County benchmark No. 245 as shown on this map.

Basis of Bearings
The basis of bearing for this map has been reestablished from the monument's per record map 25-17-12, Santa Cruz County Records.



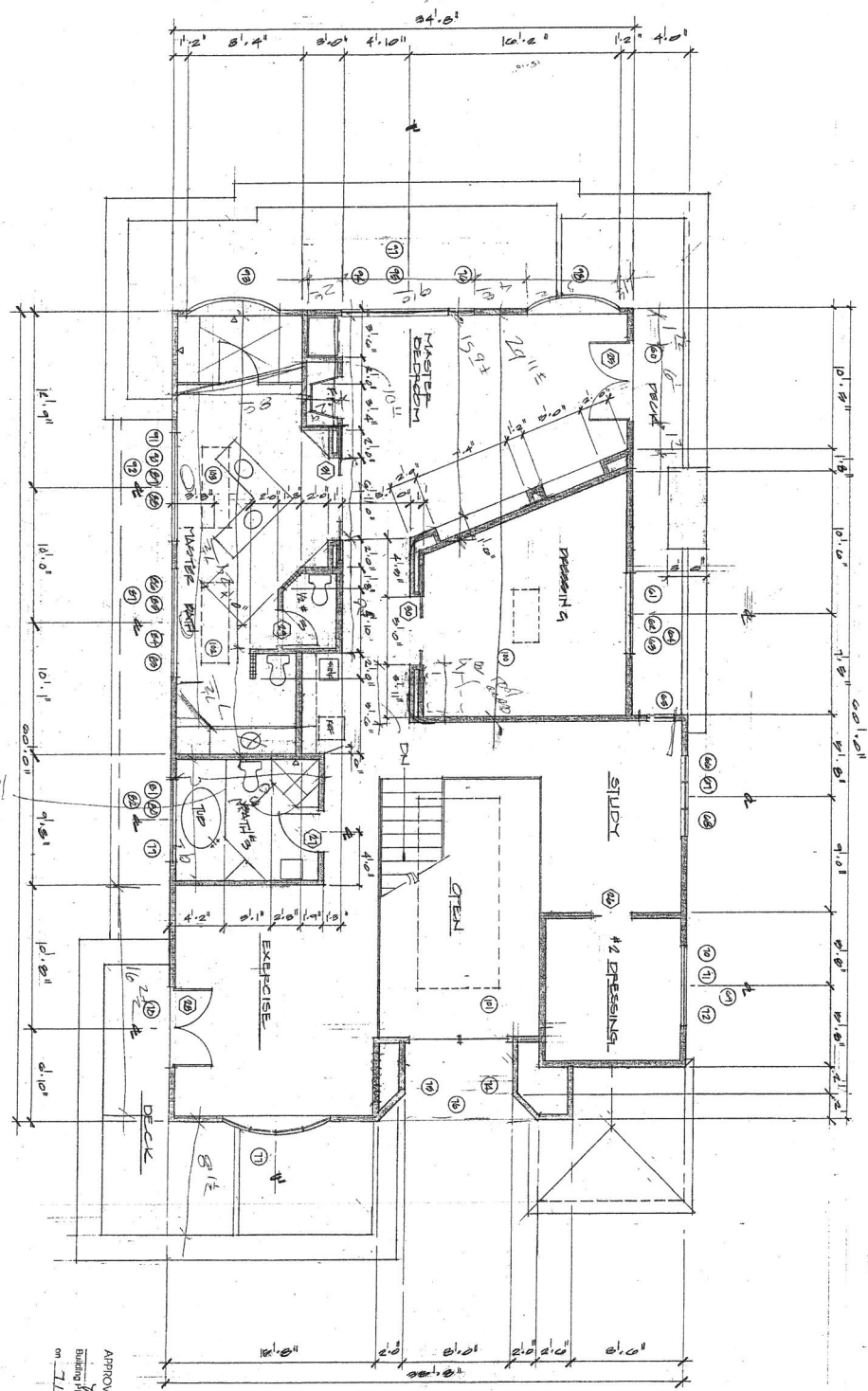
SU-1

Santa Cruz County A.P.N. 033-171-02		Boundary & Topographic Map, The Lands Of: Bob Emery 4100 Opal Cliff Drive, Santa Cruz, CA 95062		HANAGAN LAND SURVEYING, INC. 305-C BIQUEL AVE., SANTA CRUZ, CA 95062 PHONE 831-469-3458		REVISION APPROVED Paul Hanagan LS 7797	
DATE 2-11-2015	DESIGN	DRAWN P. Hanagan		SCALE 1" = 8'			

1/4" = 1'-0"

UPPER LEVEL FLOOR PLAN

FLOOR AREA: 1802 S.F.
OPEN TO BELOW: 252 S.F.
UNCOVERED DECK: 304 S.F.



APPROVED BY
[Signature]
Building Plan Check
on 1/21/94

JOB COPY
APPROVED BY THE COUNTY OF SANTA CRUZ
SUPERVISOR'S OFFICE
DATE: 1/21/94
REMARK NO. 1
This plan and specification must be approved by the County of Santa Cruz before construction of the building is begun.

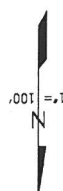
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 LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
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POR. RANCHO ARROYO DEL RODEO
 N.W. 1/4 SEC. 22, T.11S., R.1W. M.D.B. & M.

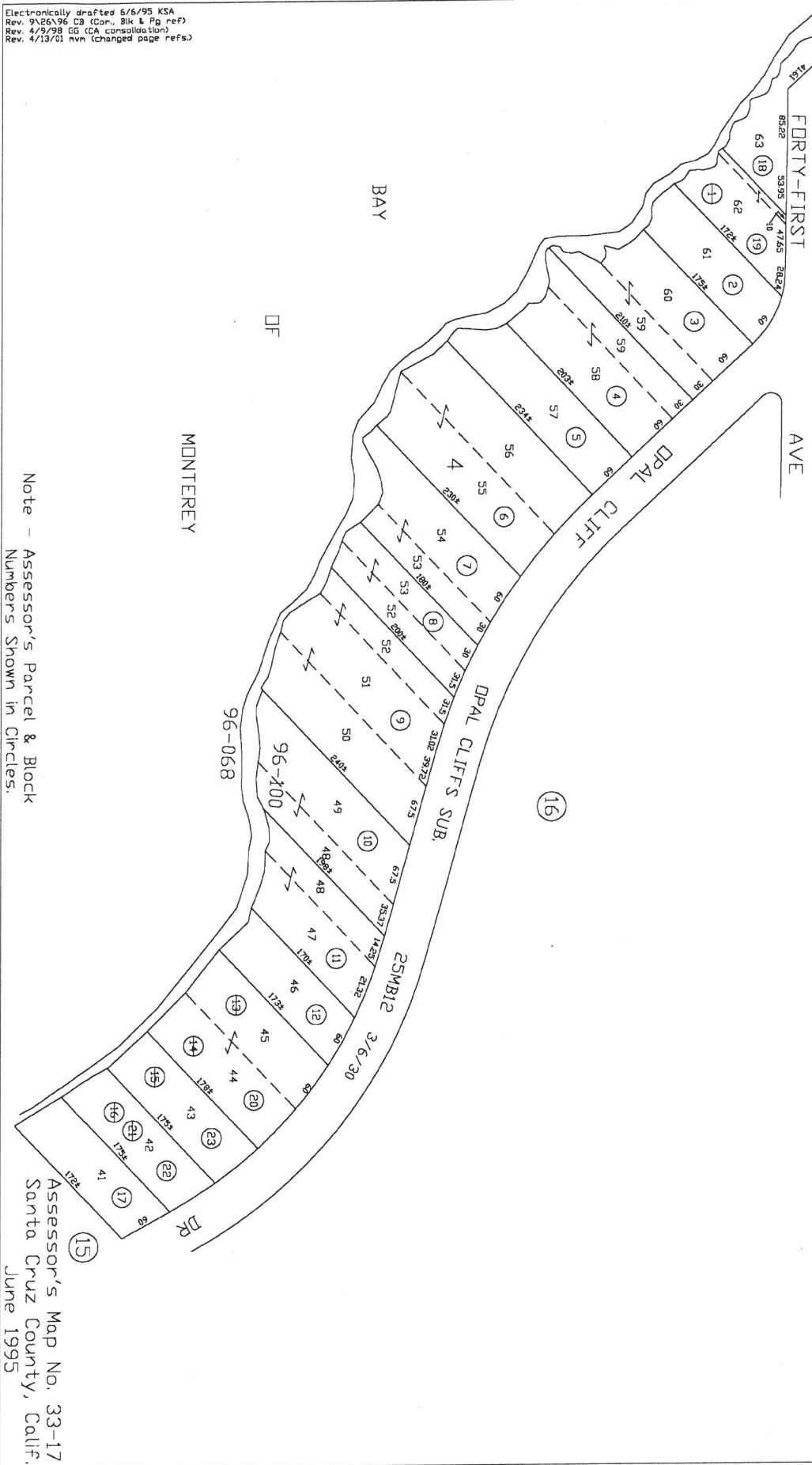
Tax Area Code
 96-100 96-068

33-17

Bk.32
 18



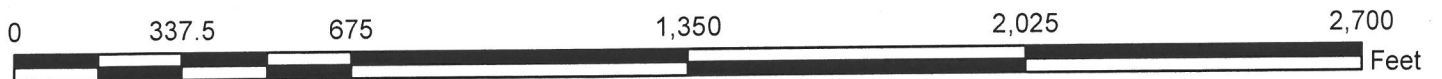
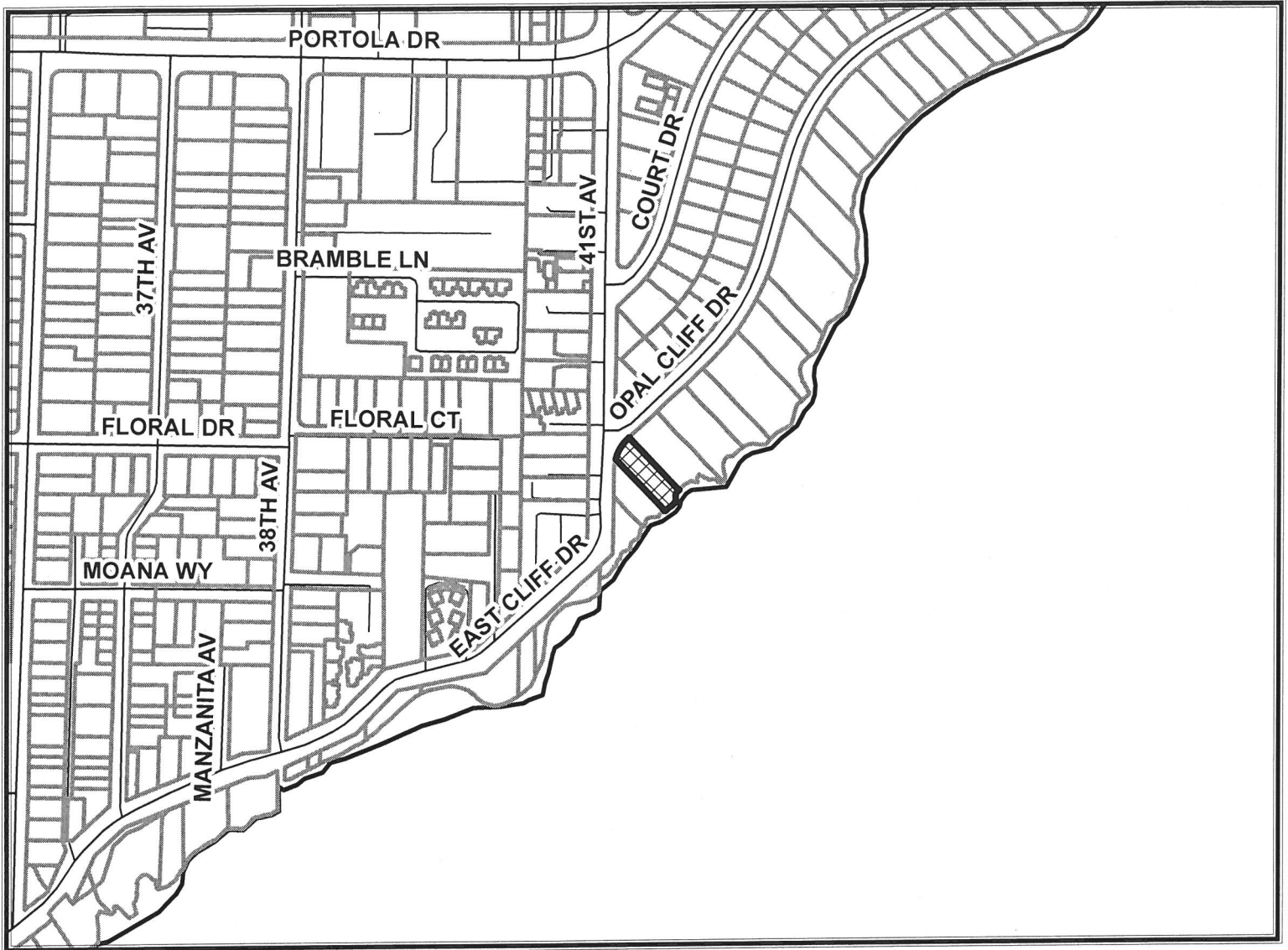
Electronically drafted 6/6/95 KSA
 Rev. 9/26/96 CB (Corr. Blk & Pg ref)
 Rev. 4/9/98 CG (CA consolidation)
 Rev. 4/13/01 nvn (changed page refs)







Note - Assessor's Parcel & Block
 Numbers Shown in Circles.



Location Map



LEGEND

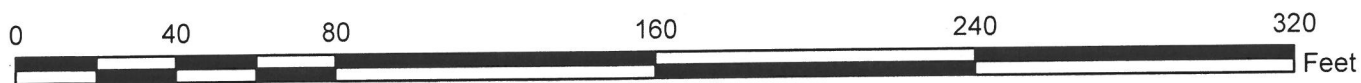
-  APN: 033-171-02
-  Assessors Parcels
-  Street
-  County Boundary



Map Created by
County of Santa Cruz
Planning Department
March 2015



Zoning Map



LEGEND

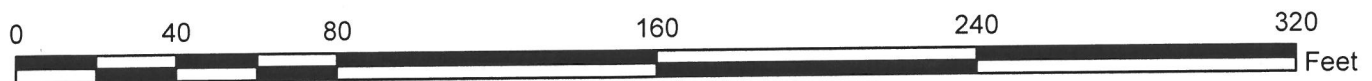
- APN: 033-171-02
- Assessors Parcels
- Street
- County Boundary
- RESIDENTIAL-SINGLE FAMILY
- PARK
- PUBLIC FACILITY
- RESIDENTIAL-MULTI FAMILY







Map Created by
County of Santa Cruz
Planning Department
March 2015

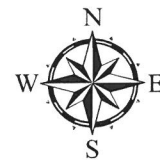


General Plan Designation Map



LEGEND

-  APN: 033-171-02
-  Assessors Parcels
-  Street
-  County Boundary
-  Residential - Urban Medium Density



Map Created by
County of Santa Cruz
Planning Department
March 2015