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## Staff Report to the Zoning Administrator

Application Number: **151211**

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**Applicant:** Matson Britton Architects  
**Owner:** David and Denise Cote  
**APN:** 033-132-11

**Agenda Date:** 7/15/16  
**Agenda Item #:** 3  
**Time:** After 9:00 a.m.

**Project Description:** Proposal to demolish an existing one story, 1,700 square foot single family dwelling with attached garage located on an existing lot which includes a coastal bluff and construct a replacement two-story single family dwelling of approximately 3,350 square feet with 4 bedrooms, 4.5 bathrooms, 202 square foot basement, and attached 452 square foot garage. Requires a Coastal Development Permit.

**Location:** Property located on the south side of Opal Cliff Drive approximately 300 feet west of the intersection with Portola Drive (4780 Opal Cliff Drive).

**Supervisory District:** First District (District Supervisor: Leopold)

**Permits Required:** Coastal Development Permit

### Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 151211, based on the attached findings and conditions.

### Exhibits

- |   |   |
|---|---|
| A. Categorical Exemption (CEQA determination) | E. Assessor's, Location, Zoning and General Plan Maps |
| B. Findings                                   | F. Comments & Correspondence                          |
| C. Conditions                                 |   |
| D. Project plans                              |   |

### Parcel Information

Parcel Size:	7,420 square feet (net site area)
Existing Land Use - Parcel:	Residential
Existing Land Use - Surrounding:	Residential
Project Access:	Opal Cliff Drive
Planning Area:	Live Oak

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Land Use Designation: R-UM (Urban Medium Residential)  
Zone District: R-1-5 (Single family residential - 5,000 square feet minimum)  
Coastal Zone: ☒ Inside ☐ Outside  
Appealable to Calif. Coastal Comm.: ☒ Yes ☐ No

### Environmental Information

Geologic Hazards: Development to occur outside 100 year coastal bluff setback  
Soils: Soils & Geology Reports reviewed and accepted REV151112  
Fire Hazard: Not a mapped constraint  
Slopes: Flat building site with coastal bluff at the rear of property  
Env. Sen. Habitat: Not mapped/no physical evidence on site  
Grading: No grading proposed  
Tree Removal: No trees proposed to be removed  
Scenic: Not a mapped resource  
Drainage: Existing drainage adequate  
Archeology: Not mapped

### Services Information

Urban/Rural Services Line: ☒ Inside ☐ Outside  
Water Supply: Soquel Creek Water District  
Sewage Disposal: County Sanitation District  
Fire District: Central Fire Protection District  
Drainage District: Flood Control District 5

### Project Setting

The subject property is located on the ocean side of Opal Cliff Drive approximately 300 feet west of the intersection with Portola Drive in the Live Oak Planning area. The subject property is developed with an existing 1,700 square foot single family dwelling with attached garage. The home was originally constructed in 1954. The parcel is relatively flat with the exception of the coastal bluff located at the rear of the property.

Existing development in the vicinity consists of single family construction on lots of similar size. Several newer homes exist on the street and there is a mix of architectural designs and styles due to the varying age of construction in the neighborhood.

The subject property is a large parcel of approximately 7,420 square feet of net site area, located in the R-1-5 (Single family residential - 5,000 square feet minimum) zone district, a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district and the zoning is consistent with the site's R-UM (Urban Medium Density Residential) General Plan designation.



### **Local Coastal Program Consistency**

Due to its location between the sea and the first public through road paralleling the sea, the proposed single family residential project does not qualify for an exemption from the requirement to obtain a coastal development permit, and also does not qualify for the exclusion for residential development. Therefore, the project to demolish and replace the single family dwelling requires issuance of a Coastal Development Permit. The proposed single family dwelling is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings. Size and architectural styles vary widely in the area, and the design submitted is consistent with the existing range of styles.

The project site is not identified as a priority acquisition site in the County's Local Coastal Program. The proposed project will not interfere with public access to the beach, ocean, or other nearby body of water. Existing public access to the beach and shoreline exists approximately 1,300 feet to the west at Privates Beach as well as 1,600 feet to the east within the City of Capitola. As indicated in the attached findings, the project has been reviewed by the County Geologist and found to be consistent with the County's Geologic Hazards Ordinance. The proposed location of the replacement home on the lot meets the requirement for a stable building site for a 100 year period. There is no existing shoreline protection structure at the site and the application does not propose to construct a shoreline protection structure.

### **Conclusion**

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

### **Staff Recommendation**

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **151211**, based on the attached findings and conditions.

**Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.**

**The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.co.santa-cruz.ca.us](http://www.co.santa-cruz.ca.us)**

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Owner: David and Denise Cote

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# CALIFORNIA ENVIRONMENTAL QUALITY ACT

## NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 151211

Assessor Parcel Number: 033-132-11

Project Location: 4780 Opal Cliff Drive

**Project Description: Demolish an existing single family dwelling and construct a new single family dwelling.**

**Person or Agency Proposing Project: Matson Britton Architects**

**Contact Phone Number: (831) 425-0544**

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. ☒ **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

**F. Reasons why the project is exempt:**

A class 3 categorical exemption consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The numbers of structures described in this section are the maximum allowable on any legal parcel. An example of this exemption includes, but is not limited to: (a) One single-family residence, or a second dwelling unit in a residential zone. In urbanized areas, up to three single-family residences may be constructed or converted under this exemption.

In addition, none of the conditions described in Section 15300.2 apply to this project. A geologic study has demonstrated compliance with the requirement for a stable site for a minimum of 100 years for the replacement single family residence, and no shoreline protection structure is proposed or required to provide for this 100 year setback.

\_\_\_\_\_  
Nathan MacBeth, Project Planner

Date: \_\_\_\_\_

## **Coastal Development Permit Findings**

1. That the project is a use allowed in one of the basic zone districts, listed in section 13.10.170(D) as consistent with the General Plan and Local Coastal Program LUP designation.

This finding can be made, in that the property is zoned R-1-5 (Single family residential - 5,000 square feet minimum), a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UM (Urban Medium Residential) General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to Section 13.20.130 and Section 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style and the colors will be natural in appearance and complementary to the site. The site is surrounded by lots developed to an urban density. The development is situated on a bluff top but is not readily visible from the beach below. The project will result in limited site disturbance and grading will be limited to foundation only. The location of the replacement single family residence will be situated further from the edge of the bluff than the existing dwelling, and the second floor of the residence will be stepped back. The location and design of the proposal, including the proposed landscaping and retention of a large cypress tree on the seaward side of the home, are such that the project will not impact coastal resources and will result in development that is compatible with the surrounding environment and other existing development in the vicinity.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the General Plan and Local Coastal Program land use plan, specifically Chapter 2: figure 2.5 and Chapter 7, and, as to any development between the nearest through public road and the sea or the shoreline of any body of water located within the coastal zone, such development is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act commencing with section 30200.

This finding can be made, in that though the project is located between the shoreline and the first public road no existing beach access exists on the project site. Developed beach access is located approximately 1300 feet to the west of the project site (Privates Beach) and approximately 1600 feet to the east within the City of Capitola. The project will not interfere with public access to the beach, ocean, or any nearby body of water and the project site is not identified as a priority acquisition site in the County Local Coastal Program.

5. That the proposed development is in conformity with the certified local coastal program.

This finding can be made, in that the structure is sited and designed to be visually compatible, in scale, and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-5 (Single family residential - 5,000 square feet minimum) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary widely in the area, and the design submitted is consistent with the existing range of styles. The project has been designed and conditioned for the preservation of a 60 foot tall (89 inch diameter at breast height) Monterey Cypress tree located on the seaward side of the proposed development. Tree protection strategies shall be consistent with the consulting arborist's recommendations.

A Geotechnical Report prepared by Pacific Crest Engineering Inc dated October 23, 2015 and Geology Report dated prepared by Zinn Geology dated October 22, 2015, were submitted to the County for review. The County Geologist reviewed and accepted the reports on May 11, 2016. It was determined that the location of all development was consistent with the County's Geologic Hazards Ordinance with respect to geologic setback to the coastal bluff. The analyses demonstrated that the site would be stable for a minimum of 100 years, and the location of the replacement single family dwelling will comply with the geologic setback requirement. No shoreline protection structure is proposed. Additional information and a copy of these reports are on file with the Planning Department (REV151112). The project has been conditioned to ensure compliance with the recommendations of the project Geotechnical Engineer and Geologist.

## **Development Permit Findings**

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses and is not encumbered by physical constraints to development. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. The proposed residential will not deprive adjacent properties or the neighborhood of light, air, or open space, in that the structure meets all current setbacks that ensure access to these amenities.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-5 (Single family residential - 5,000 square feet minimum parcel) zone district as the primary use of the property will be one single family dwelling that meets all current site standards for the zone district.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-UM (Urban Medium Residential) land use designation in the County General Plan.

The proposed replacement dwelling will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the use will not adversely shade adjacent properties, and will meet current setbacks for the zone district.

The proposed development will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed residential will comply with the site standards for the R-1-5 zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed single replacement family dwelling is to be constructed on an existing lot that has been developed with a single family dwelling since the 1950s. The proposed project consisting of demolition of the existing home and replacement with a single family home on the site will not result in an increase in traffic. Existing utilities serve the site. No adverse impacts on existing roads, intersection or utilities are expected.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles and the proposed single family dwelling is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed replacement single family dwelling will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area. The project proposes a variety of shed and flat roof design. The combination of roof pitch and orientation results in a design that is compatible with the range of styles in the vicinity. The use of natural color and material combined with a comprehensive landscape plan and retention of a large Monterey Cypress tree will result in a project that is consistent with County Design Standards and Guidelines.

## Conditions of Approval

Exhibit D: Project Plans 11 sheets prepared by Matson Britton Architects revised 7/28/16

- I. This permit authorizes the demolition of an existing single family dwelling and construction of a new single family dwelling. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
  - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Obtain a Demolition Permit for the existing single family dwelling from the Santa Cruz County Building Official.
  - C. Obtain a Building Permit from the Santa Cruz County Building Official.
    1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
  - D. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
  - E. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder) within 30 days from the effective date of this permit.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
  - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
    1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
    2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not



been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Planning Department review and approval.

3. Grading, drainage, and erosion control plans.
  4. Drainage plan that complies with the requirements set forth in 2013 California Building Code (CBC) Section 1804.3 and the recommendations of the soils engineer.
  5. Stormwater pollution control plan that meets the requirements set forth in the County's Construction Site Stormwater Pollution Control BMP Manual.
  6. Details showing compliance with fire department requirements.
  7. Plans shall be prepared in conformance with all recommendations provided in the arborist's report and shall include, at a minimum: The location and details of demolition fencing, construction fencing, and root buffer protection system, structural details for the concrete patio that minimize the depth of excavation required, and inspection schedule and contact information.
  8. A landscape plan for review by the County Geologist. The landscape plan shall include the location of the 100-year erosion setback boundary and the location of the 25 foot coastal bluff setback. The landscape plan shall include a note that states: "Development within the established 100-year erosion setback or the minimum 25 foot coastal bluff setback is prohibited. Grading, other than minor leveling of a scale typically accomplished by hand, is prohibited within the 100-year erosion setback boundary and/or 25 foot coastal bluff setback."
- B. The applicant shall submit a plan review letter from the project arborist referencing the final plans and stating that they have been prepared in conformance with his recommendations.
- C. Meet all requirements of and pay Zone 5 drainage fees to the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
- D. Meet all requirements and pay any applicable plan check fee of the Fire Protection District.
- E. Submit 2 copies of a soils report prepared and stamped by a licensed Geotechnical Engineer.
- F. The applicant shall submit a signed and stamped Soils (Geotechnical) Engineer

Plan Review Form and Engineering Geologist Plan Review Forms to Environmental Planning. The plan review form(s) shall reference each reviewed sheet of the final plan set by its last revision date. Any updates to the report recommendations necessary to address conflicts between the reports and plans must be provided via a separate addendum. The author of the report(s) shall sign and stamp the completed form.

- G. Pay the current fees for Parks and Child Care mitigation for one additional bedroom. Currently, these fees are, respectively, \$1,000 and \$109 per bedroom.
- H. Pay the current fees for Roadside and Transportation improvements for one additional bedroom. Please contact the Department of Public Works.
- I. Provide required off-street parking for 3 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
- J. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- K. A "Notice of Geologic and Flood Hazards, Acceptance of Risk, and Liability Release" shall be recorded on the parcel with the format and content of that document to be reviewed and accepted by the County of Santa Cruz prior to recordation. The Notice will provide for property owner (and all successors and assigns) agreement to an acknowledgement of coastal and geologic hazards, an acceptance of and assumption of risk, a waiver of liability against the County, and an indemnification of the County; the final language of such provisions will be consistent with the following:
  - 1. Coastal Hazards. That the site is subject to coastal hazards including but not limited to episodic and long-term shoreline retreat and coastal erosion, high seas, ocean waves, storms, tsunamis, tidal scour, coastal flooding, liquefaction and the interaction of same;
  - 2. Assume Risks. To assume the risks to the Applicant and the properties that are the subject of this CDP of injury and damage from such coastal hazards in connection with the permitted development;
  - 3. Waive Liability. To unconditionally waive any claim of damage or liability against the County, its officers, agents, and employees for injury or damage from such coastal hazards;
  - 4. Indemnification. To indemnify and hold harmless the County, its officers, agents, and employees with respect to the County's approval of the development against any and all liability, claims, demands, damages, costs (including costs and fees incurred in defense of such claims), expenses, and amounts paid in settlement arising from any injury or damage due to such coastal hazards; and

5. Property Owner Responsible. That any adverse effects to property caused by the permitted development shall be fully the responsibility of the property owner.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
  - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
  - C. The project must comply with all recommendations of the approved soils reports.
  - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- IV. Coastal Hazards Response Alternatives. By acceptance of this permit, the applicant acknowledges and agrees, on behalf of itself and all successors and assigns, that:
- A. The approved single family home replacement project will be constructed and may be used consistent with the terms and conditions of this permit for only as long as the approved development remains safe for occupancy and use. If coastal hazards result in an unsafe site or unsafe structure, the property owner agrees to abate or address dangerous conditions in accordance with County regulations and/or Orders of the Chief Building Official and these Conditions of Project Approval. If all or any portion of improvements are deemed uninhabitable, the property owner agrees to remove the improvements and restore the affected area, unless an alternative response involving a shoreline protection structure is proposed by the property owner and approved by the County of Santa Cruz, and also by the California Coastal Commission if the project location is within the Coastal Commission's primary jurisdiction. Alternative responses to coastal hazards may include (1) pursuit of an Emergency Coastal Development Permit consistent with County Code regulations in Chapter 13.20 (Coastal Zone Regulations) and Chapter 16.10 (Geologic Hazards); and/or (2) pursuit of an urbanized area beach and bluff management strategy pursuant to Condition IV.C below.
  - B. Requirement for Geotechnical and Coastal Hazards Reports: Ten-foot Trigger. In the event that in the future the blufftop edge recedes to within ten feet of the

single family dwelling, the property owner shall undertake the following activities to determine whether selection and pursuit of a Coastal Hazards Response Alternative is required:

1. Notify the Santa Cruz County Geologist, and
2. Retain a licensed geologist or civil engineer with experience in coastal processes and hazard response to prepare a geotechnical investigation and Coastal Hazards Report that addresses whether all or any portions of the residence and related development are threatened by coastal hazards, and that identifies actions that should be taken to ensure safe use and occupancy, which may include removal or relocation of all or portions of the threatened development and improvements, or other alternate response(s).
3. Agree to undertake activities to pursue an appropriate Coastal Hazards Response consistent with these Conditions of Approval and in accordance with adopted and applicable County of Santa Cruz and California Coastal Commission regulations. The geotechnical investigation and Coastal Hazards Report shall be submitted to the Executive Director of the California Coastal Commission, and to the Planning Director, Chief Building Official and County Geologist of Santa Cruz County. If the residence or any portion of the residence is proposed to be removed, the Applicant shall submit a Removal and Restoration Plan (see Condition IV.D below).

C. Urbanized Area Shoreline Protective Structure Alternative.

1. The property owner agrees and acknowledges that the current project does not and will not include a coastal shoreline protection/armoring structure as described California Coastal Act Section 30235 except as described in IV.C.2 below.
2. The property owner and /or any future heirs or assigns further acknowledge and agree that any future shoreline protection/armoring structure (including but not limited to seawalls, revetments, retaining walls, tie backs, caissons, piers, groins, etc.) will only be considered for approval if proposed as part of a comprehensive and unified Urbanized Area Beach and Bluff Management Strategy, such as a unified project design that is implemented through a Geologic Hazard Abatement District (GHAD) to address Opal Cliff Drive (or related unit thereof) coastal bluff properties and coastal resources that exist in this urbanized area. Such strategy may allow for phased implementation. The Strategy would be required to address potential loss of beach areas, potential opportunities to improve public access to the coast, protection of visual resources, and protection of public infrastructure in response to sea level rise.
3. The property owner and / or any future heirs or assigns, by accepting this permit, agree not to protest the formation of any Geologic Hazard Abatement District (GHAD) that is proposed, either by the County or other private entity, to address East Cliff Drive (or related unit thereof) coastal bluff properties and coastal resources that exist in this urbanized area.

- D. Removal and Restoration. If an appropriate government agency so orders, or as a result of the above-referenced geotechnical investigation and Coastal Hazards Report, it is determined that any portion of the approved development will be proposed for removal due to coastal hazards, the Applicant shall, prior to removal, submit two copies of a Removal and Restoration Plan to the County of Santa Cruz Planning Director for review and approval. No removal activities shall commence until the Removal and Restoration Plan and all other required plans and permits are approved. If the Director determines that an amendment to this permit or separate grading and coastal development permits are legally required in order to authorize the activities, the Applicant shall as soon as immediately feasible submit the required application, including all necessary supporting information to ensure it is complete. The Removal and Restoration Plan shall clearly describe the manner in which such development is to be removed and the affected area restored so as to best protect coastal resources, and shall be implemented immediately upon Director approval, or County approval of the permit application, if necessary.

V. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- B. Earthwork is prohibited during the rainy season (October 15-April 15) unless a winter grading permit is approved by the Planning Director.

- VI. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.

- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the

defense of any claim, action, or proceeding if both of the following occur:

1. COUNTY bears its own attorney's fees and costs; and
  2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

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Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

**Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.**

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

\_\_\_\_\_  
Wanda Williams  
Deputy Zoning Administrator

\_\_\_\_\_  
Nathan MacBeth  
Project Planner

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Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

ARCHITECTS:

MAISON BRITTON ARCHITECTS  
728 N. BRANFORD  
SANTA CRUZ, CA 95062  
PHONE: 831-425-0544  
FAX: 831-425-4795

ENGINEERING:

R.I. ENGINEERING, INC.  
303 POTRERO STREET, STE. 42-202  
SANTA CRUZ, CA 95060  
PHONE: 831-425-3901  
FAX: 831-425-1522

SURVEYING:

HANNAGAN LAND SURVEYING, INC.  
305-C SOQUEL AVE.  
SANTA CRUZ, CA 95062  
PHONE: 831-469-3428

GEOLOGY:

ZINN GEOLOGY  
3085 CARRIKER LANE, SUITE B  
SOQUEL, CA 95073  
PHONE: 831-334-4833

GEO/TECHNICAL  
ENGINEERS:

PACIFIC CREST ENGINEERING, INC.  
444 AIRPORT BLVD., SUITE 106  
WATSONVILLE, CA 95076  
PHONE: (831) 722-9446  
FAX: (831) 722-9158

CONSULTANTS

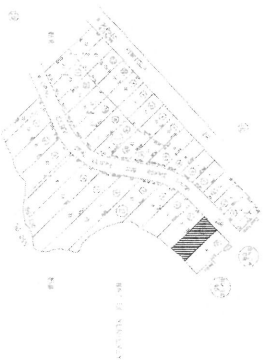
# CÔTÉ RESIDENCE

## NEW RESIDENCE

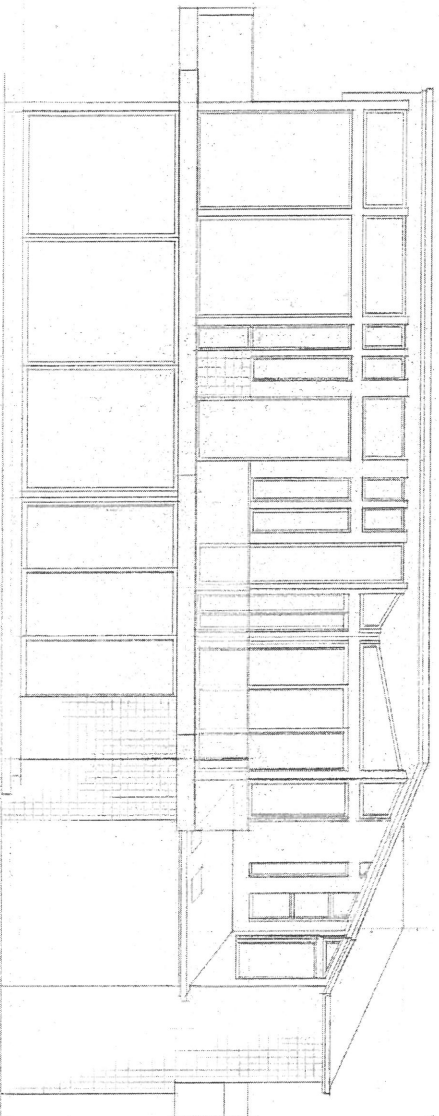
4780 OPAL CLIFF DRIVE  
SANTA CRUZ, CA 95062



VICINITY MAP



PARCEL MAP



OWNER:

DAVE & DENISE CÔTÉ  
4780 OPAL CLIFF DRIVE  
SANTA CRUZ, CA 95062  
033-132-11

A.P.N.:

033-132-11

ZONING:

R-1.5

OCCUPANCY GROUP:

R-3.8 U.P.F.R. 2013 C.R.C.

CONSTRUCTION TYPE:

V.B.

PROJECT DESCRIPTION:  
A NEW TWO FLOOR SINGLE-FAMILY RESIDENCE WITH FOUR BEDROOMS,  
FOUR AND ONE HALF BATHROOMS, AND AN ATTACHED TWO CAR GARAGE.

### PROJECT INFORMATION

#### ARCHITECTURAL DRAWINGS

- P1 TITLE SHEET
- P2 SITE PLAN
- P2.1 SITE PLAN + TREE LOCATIONS
- P3 FIRST FLOOR PLAN
- P4 SECOND FLOOR PLAN
- P5 EXTERIOR ELEVATIONS
- P6 EXTERIOR ELEVATIONS
- P7 EXTERIOR ELEVATIONS

#### CIVIL DRAWINGS

- C-1 GRADING & DRAINAGE PLAN
- C-2 DETAILS
- C-3 STORMWATER POLLUTION CONTROL PLAN

#### SURVEY

- SU-1 BOUNDARY & TOPOGRAPHIC MAP
- SU-2 SURVEY + TREE LOCATIONS

#### SHEET INDEX

TOTAL GROSS LOT SIZE:	8,867 SQ. FT.
TOTAL NET LOT SIZE:	7,420 SQ. FT.
MAX LOT COVERAGE (40% OF NET LOT SIZE):	2,968 SQ. FT. (40%)
7,420 SF. X .40 =	
PROPOSED LOT COVERAGE AREA:	2,070 SQ. FT. (28%)
MAXIMUM FLOOR AREA RATIO (40% OF LOT SIZE):	3,710 SQ. FT. (40%)
7,420 SQ. FT. X .50 =	
CONDITIONED AREA:	1,591 SQ. FT.
1ST FLOOR:	1,171 SQ. FT.
2ND FLOOR:	3,345 SQ. FT.
TOTAL CONDITIONED AREA:	
GARAGE AREA:	227 SQ. FT.
452 SQ. FT. - 225 SQ. FT. CREDITS =	
COVERED AREA:	
1ST FLOOR COVERED ENTRY AREA:	0 SQ. FT.
2ND FLOOR COVERED DECK AREA:	0 SQ. FT.
323 SQ. FT. - 140 SQ. FT. (CREDITS) =	
TOTAL COVERED AREA:	0 SQ. FT.
OPEN DECK AREA:	
2ND FLOOR OPEN DECK AREA: 224 SQ. FT.	
(NOT COUNTED TOWARD FLOOR AREA)	
BASEMENT AREA:	
BASEMENT/CELLAR AREA: 202 SQ. FT.	
(AREA IS UNDER 7'-6" C.G. HT.	
(NOT COUNTED TOWARD FLOOR AREA)	
TOTAL GROSS FLOOR AREA:	3,572 SQ. FT.
F.A.R.:	48.14%
3,572 SQ. FT. ÷ 7,420 SQ. FT. =	
PARKING SPACES PROVIDED:	2 COVERED, 2 UNCOVERED

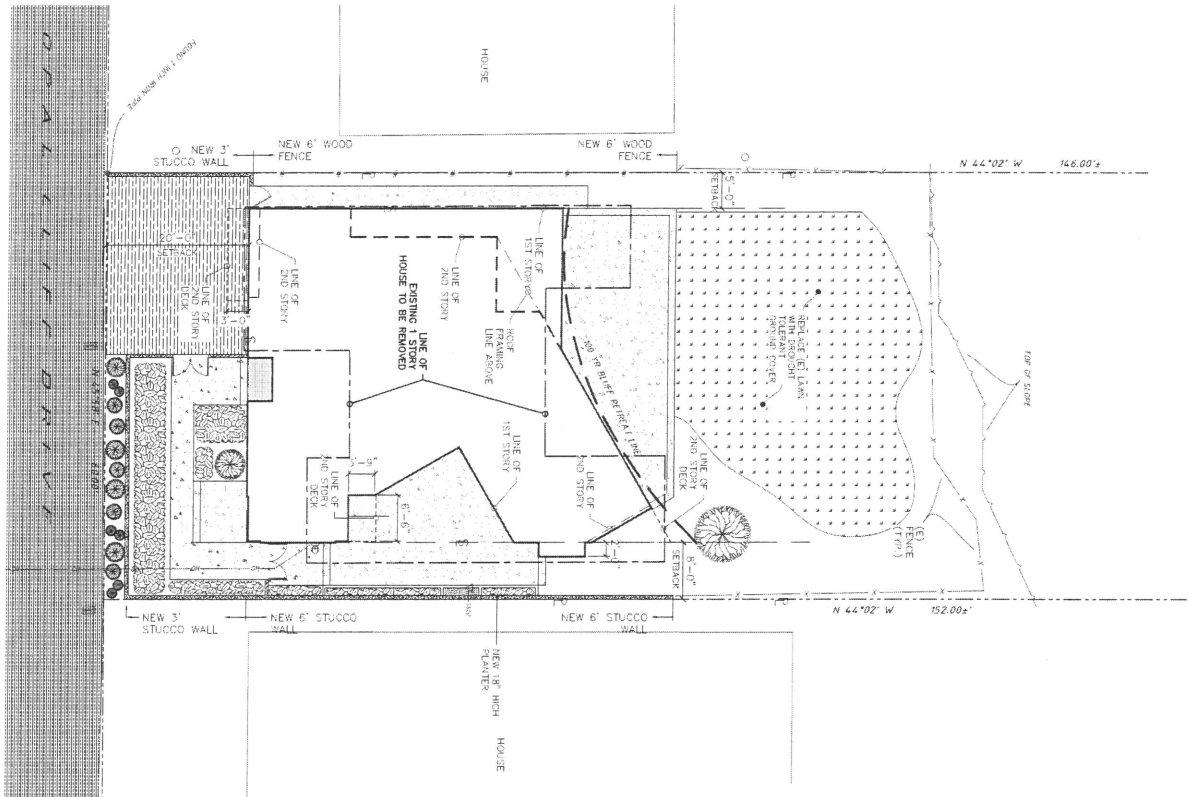
### PROJECT CALCULATIONS







CÔTÉ RESIDENCE  
4780 OPAL CLIFF DRIVE  
SANTA CRUZ, CA 95062  
033-132-11

TITLE SHEET

P1





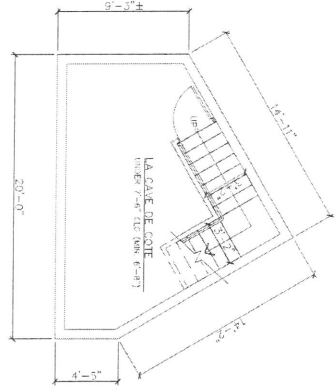
SITE LEGEND	
	PROPERTY LINE
	SETBACK LINE
	FENCE
	NEW CONCRETE FLAT WORK
	NEW STAMPED CONCRETE DRIVEWAY
	COVERED AREA
SITE	PLAN NOTES
	<ol style="list-style-type: none"> <li>1. PROJECT REQUIRES MINIMAL GRADING. SEE SHEET C-1</li> <li>2. UNDESIRABLE GRASSING AND DISTRIBUTING OF THE SOIL SHALL BE AVOIDED.</li> <li>3. AN EXCESS MATERIAL SHALL BE REMOVED IN A MANNER TO AVOID RUNOFF ONTO ADJOINING PROPERTIES.</li> <li>4. ANY MATERIAL STORED DURING PLASTIC.</li> <li>5. FOR ADDITIONAL GRADING, DRAINAGE, UTILITY INFORMATION, SEE C-1.</li> </ol>
DRAINAGE NOTES	
	<ol style="list-style-type: none"> <li>1. SEE CIVIL DRAWINGS BY F.T. ENGINEERING.</li> </ol>



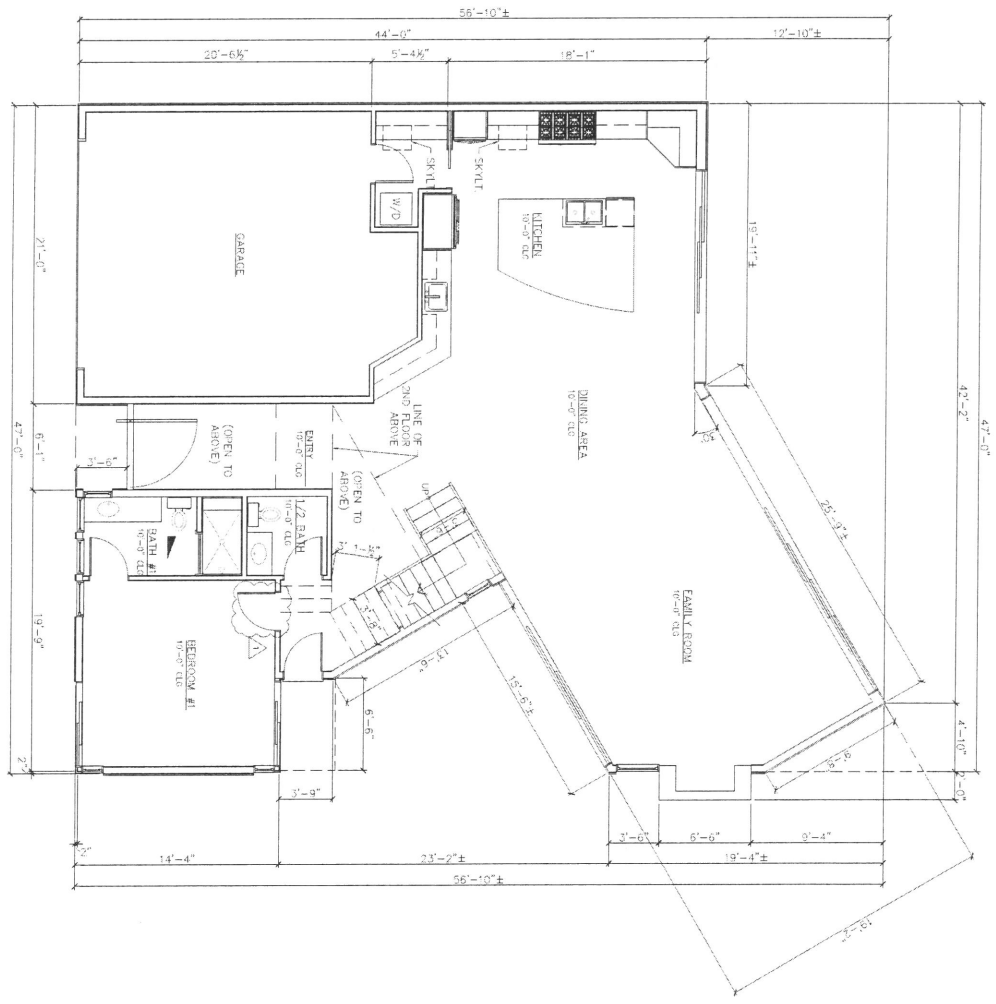
SCALE: 1/8" = 1'-0"

[illegible]

BASEMENT/WINE CELLAR  
FLOOR PLAN  
SCALE: 1/4" = 1' - 0"

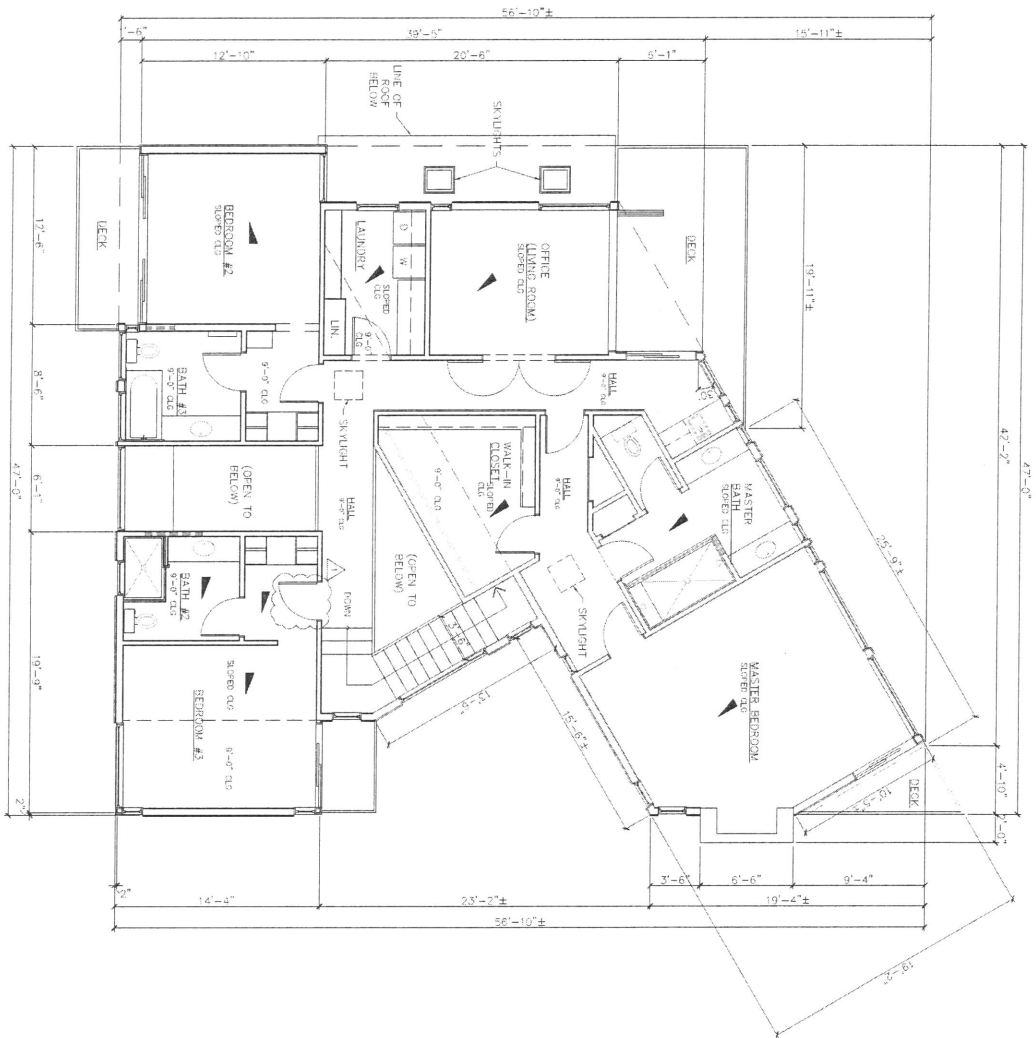


FIRST FLOOR PLAN  
SCALE: 1/4" = 1' - 0"



**FLOOR PLAN KEY**

2X WOOD STUDS	INDICATES CEILING SLOPE
—	DIRECTION
—	ELEMENTS ABOVE
---	DECK OR ROOF LINE ABOVE



SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



FLOOR PLAN KEY	
	2x WOOD STUDS
	INDICATES CEILING SLOPE DIRECTION
	CEILING LINE/TRANSITION
	FIRST FLOOR LINE BELOW

## EARTHWORK AND GRADING

- [illegible]

CORNER OF PALM BLVD AND FORTY-FIRST AVENUE

## BASIS OF BEARINGS

THE BASTS OF BEARING FOR THIS MAP WAS BEEN  
RECEIVED FROM BETWEEN FOUND MONUMENTS POS  
RECORD MAP 25-4-12, SANTA CRUZ COUNTY RECORDS

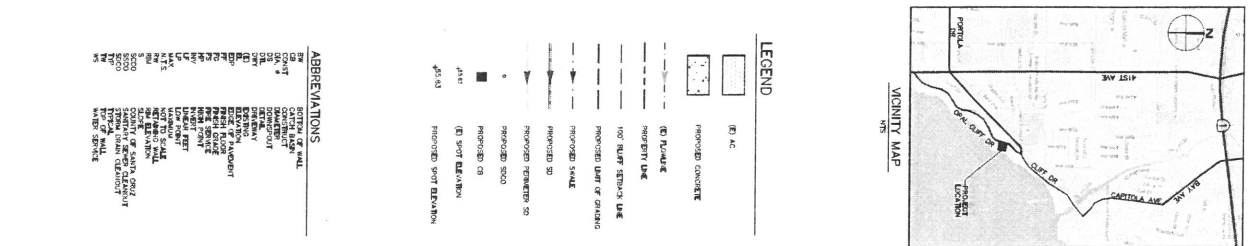
1001

—

- 
- PROPERTY LINE
- 100' BLUFF SETBACK LINE
- PROPOSED UNIT OF CHILDREN



435.03 (E) SPOT ELEVATION



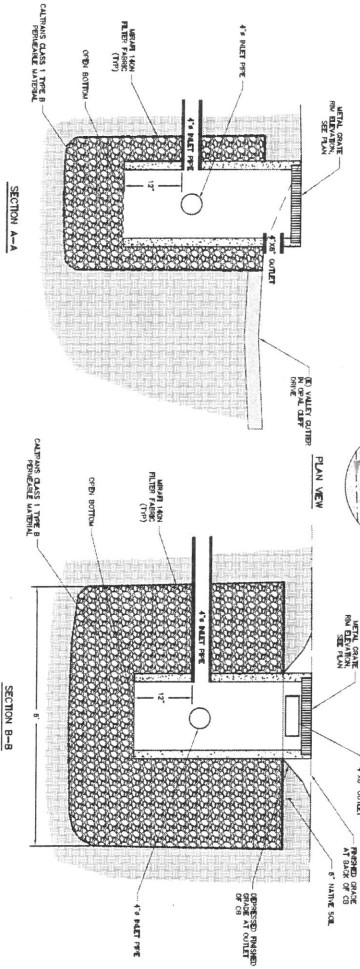
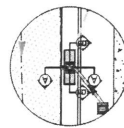
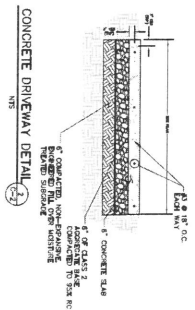
Ω

SINGLE FAMILY RESIDENCE  
FOR  
DAVE AND DENISE COTE  
4780 OPAL CLIFF DRIVE  
SANTA CRUZ, CALIFORNIA  
APN 033-132-11

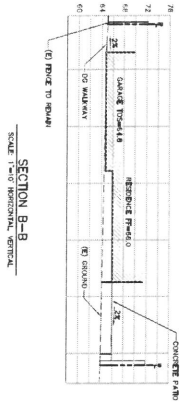
RI Engineering, Inc.

303 Potrero St., Suite 42-202, Santa Cruz, CA 95060  
831-425-3901 [www.dendengineering.com](http://www.dendengineering.com)

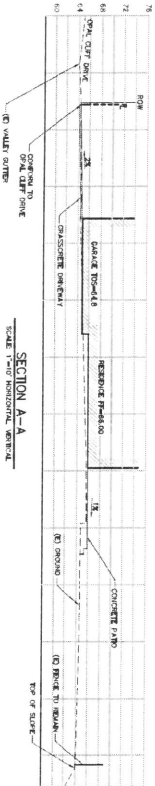




BUBBLE UP CATCH BASIN



SECTION B-B

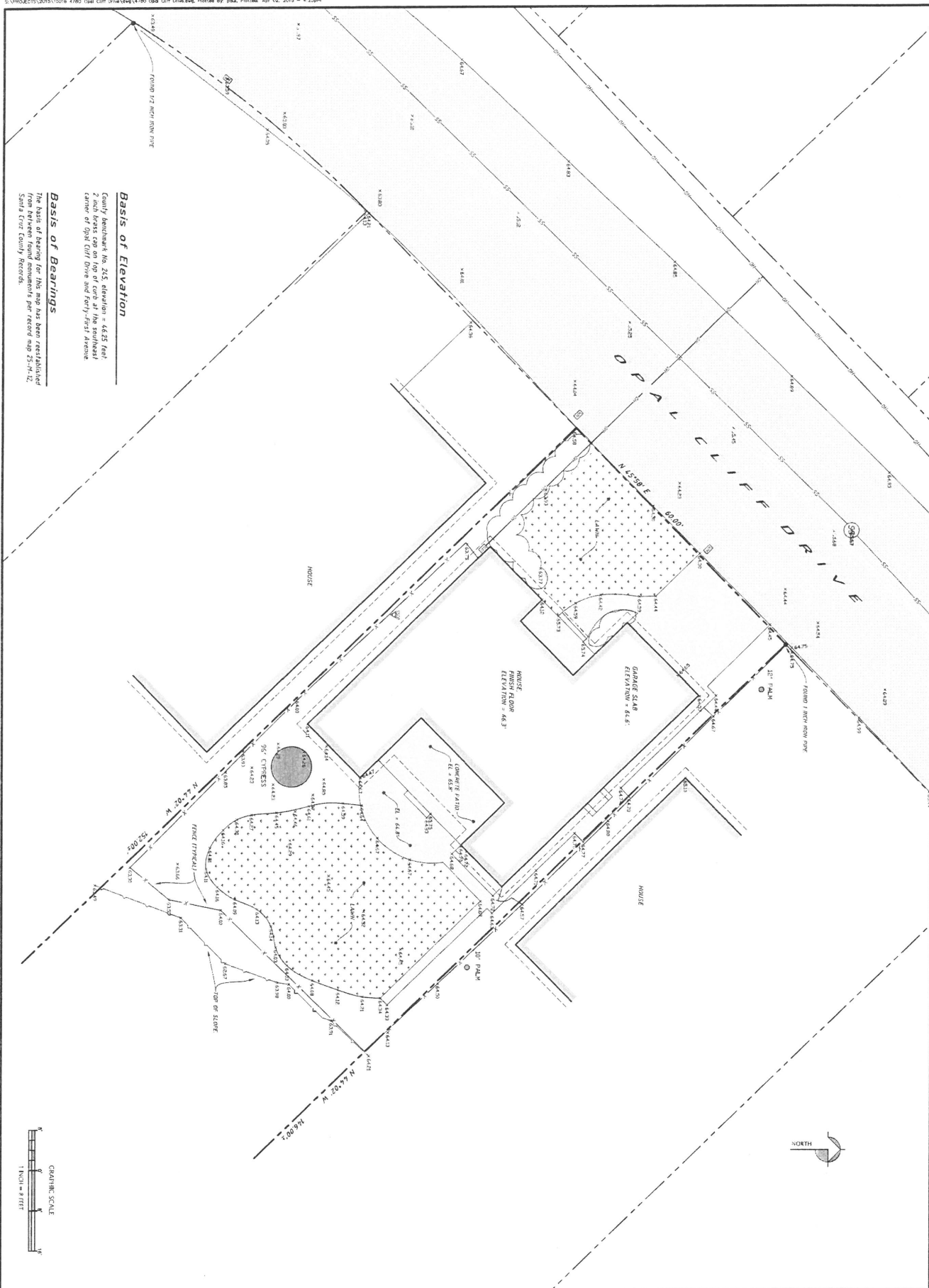


SECTION A-A

PLANNING SUBMITTAL

<p><b>C-2</b></p>	<p>SINGLE FAMILY RESIDENCE FOR DAVE AND DENISE COTE 4780 OPAL CLIFF DRIVE SANTA CRUZ, CALIFORNIA APN 033-132-11</p>	<p>RI Engineering, Inc. 303 Potrero St., Suite 202, Santa Cruz, CA 95060 831-425-3901 <b>23</b>engineering.com</p>	<p>REVISIONS NO. DATE BY 1-1-15 2-1-15 3-1-15</p>
	<p>DETAILS</p>	<p>303 Potrero St., Suite 202, Santa Cruz, CA 95060 831-425-3901 <b>23</b>engineering.com</p>	<p>REVISIONS NO. DATE BY 1-1-15 2-1-15 3-1-15</p>



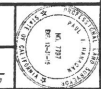


SHEET	A.P.N. 033-132-11	
	DATE 3-31-2015	DESIGN
OF 1 SHEETS	SCALE 1" = 8'	DRAWN J. Hanagan
15015		

Boundary and topographic Map, The Lands Of:  
**David & Denise Co.**  
4780 Opal Cliff Drive, Santa Cruz, CA 95062

**HANAGAN LAND SURVEYING, INC.**  
305-C SOQUEL AVE., SANTA CRUZ, CA 95062  
PHONE 831-469-3428

REVISION	
APPROVED	<i>Paul Hanagan LS 7797</i>



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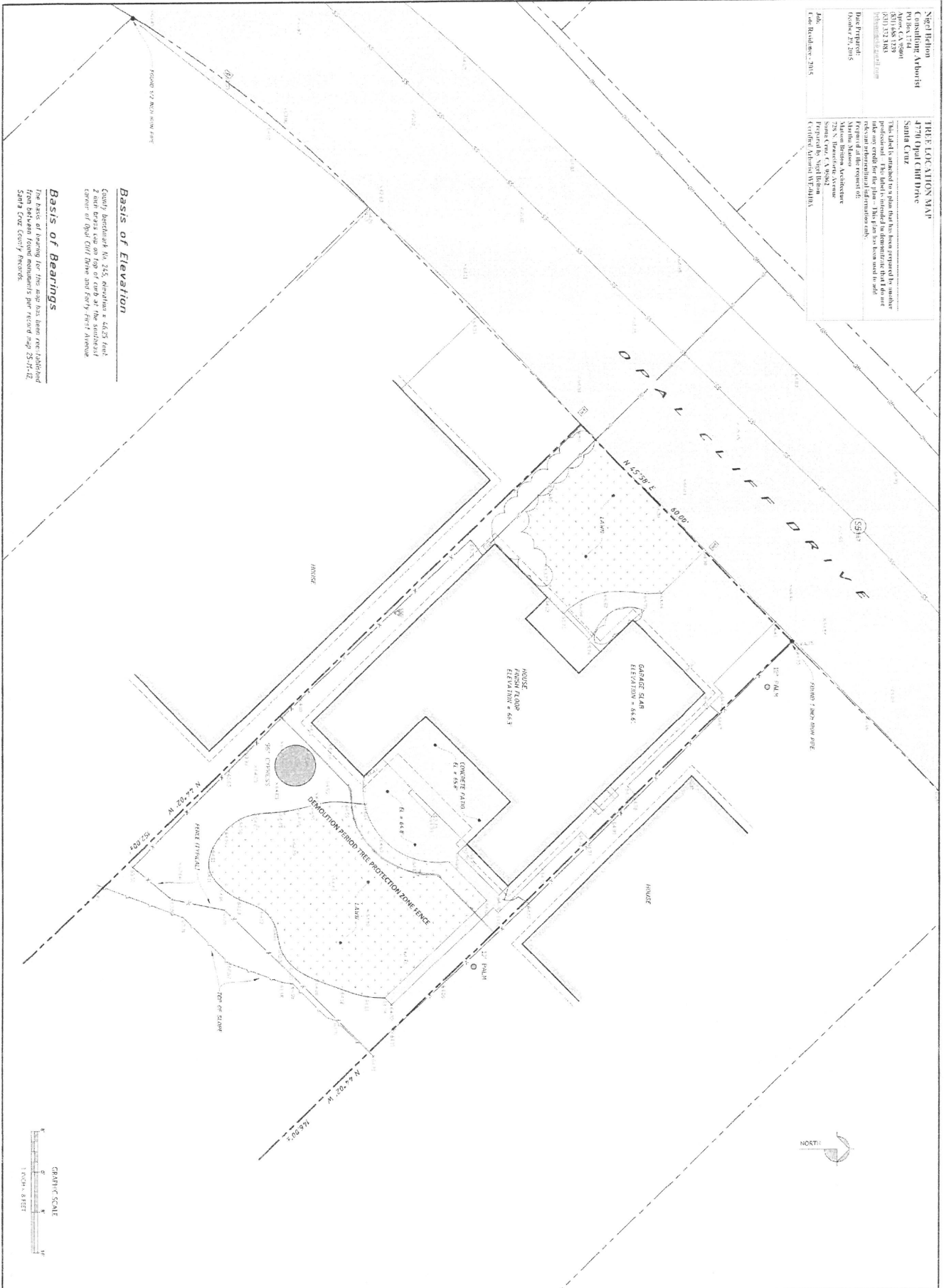
Project No. 033-132-11  
 Date: 2-21-2015  
 Scale: 1" = 40'

**Next Edition**  
 Consulting Architect  
 Santa Cruz  
 4780 Opal Cliff Drive  
 Santa Cruz, CA 95062  
 (531) 488-1339  
 (531) 522-1887  
 Fax: (531) 522-1887  
 E-mail: info@hanagan.com

**Due Prepared:**  
 October 27, 2015

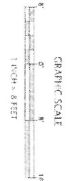
**Prepared by:**  
 Hanagan Land Surveying, Inc.  
 4780 Opal Cliff Drive  
 Santa Cruz, CA 95062  
 (531) 488-1339  
 (531) 522-1887  
 Fax: (531) 522-1887  
 E-mail: info@hanagan.com

**THE LOCATION MAP**  
 This map is attached to a plan that has been prepared by another professional. The label is intended to identify the plan and not to provide any information that is not contained in the plan. It is not to be used as a substitute for a plan or as a basis for any action.

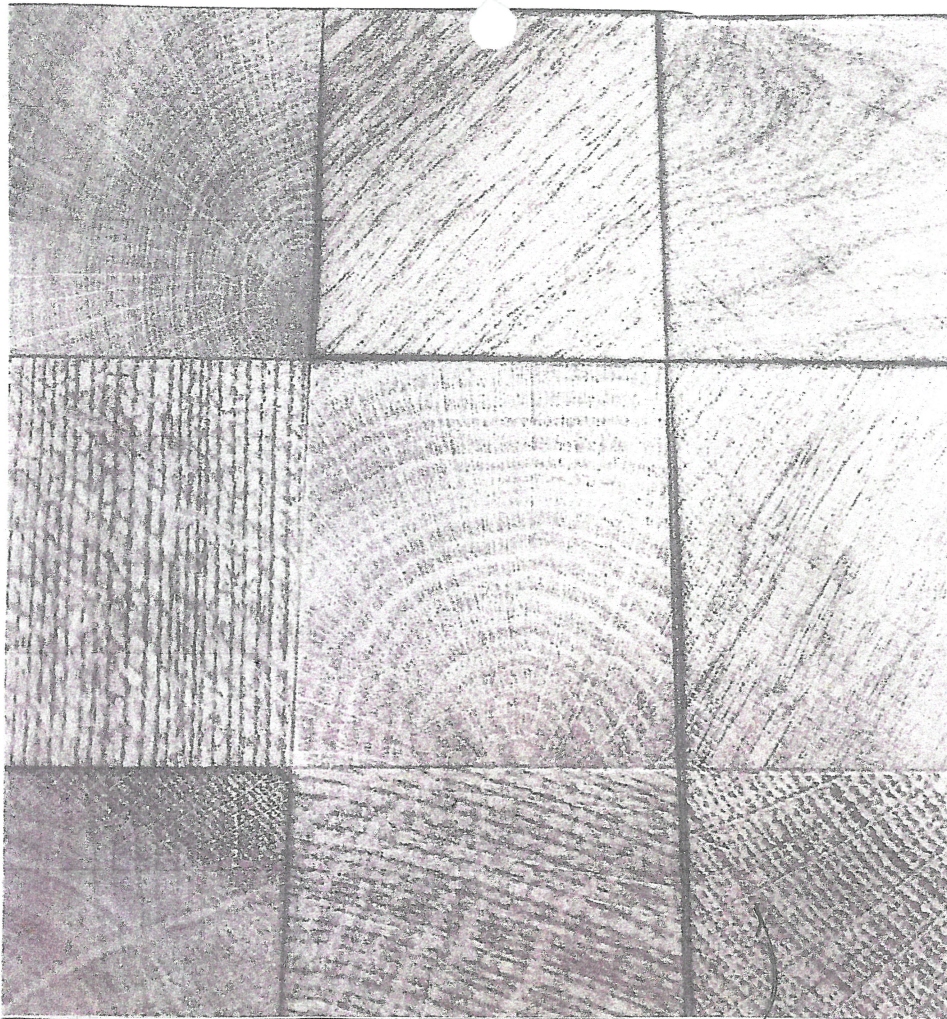


**Basis of Elevation**  
 County benchmark No. 245, elevation = 46.37 feet.  
 2 inch brass pin on top of curb at the southeast corner of Opal Cliff Drive and Forty First Avenue.

**Basis of Bearings**  
 The basis of bearing for this map has been established from between found monuments per record map 25-H-12, Santa Cruz County Records.

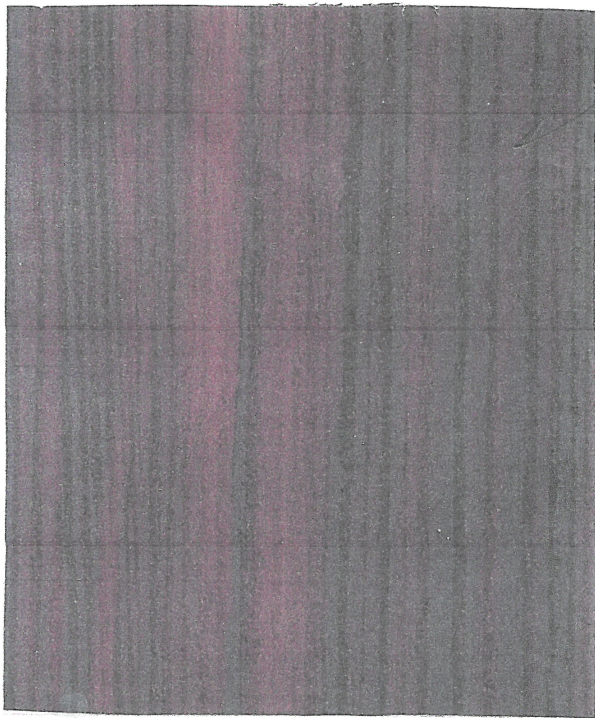






DRIFTWOOD GRAY PORCELAIN  
PANELS

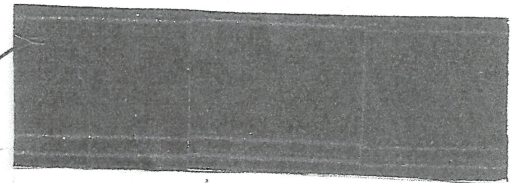
FRONT DOOR & GARAGE WOOD



COTE RESIDENCE  
4700 OAK CLIFF

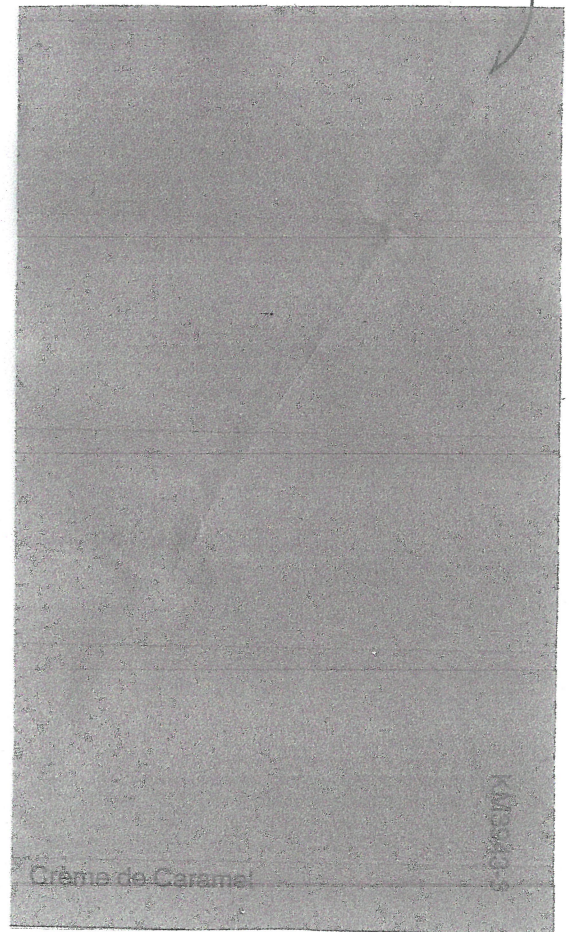


STANDING SEAM  
SEAM ROOF "BUCKSKIN"



WINDOWS / OVERHANGS  
ANODIZED BRONZE

STUCCO "CREME DE  
CARAMEL"



Crème de Caramel

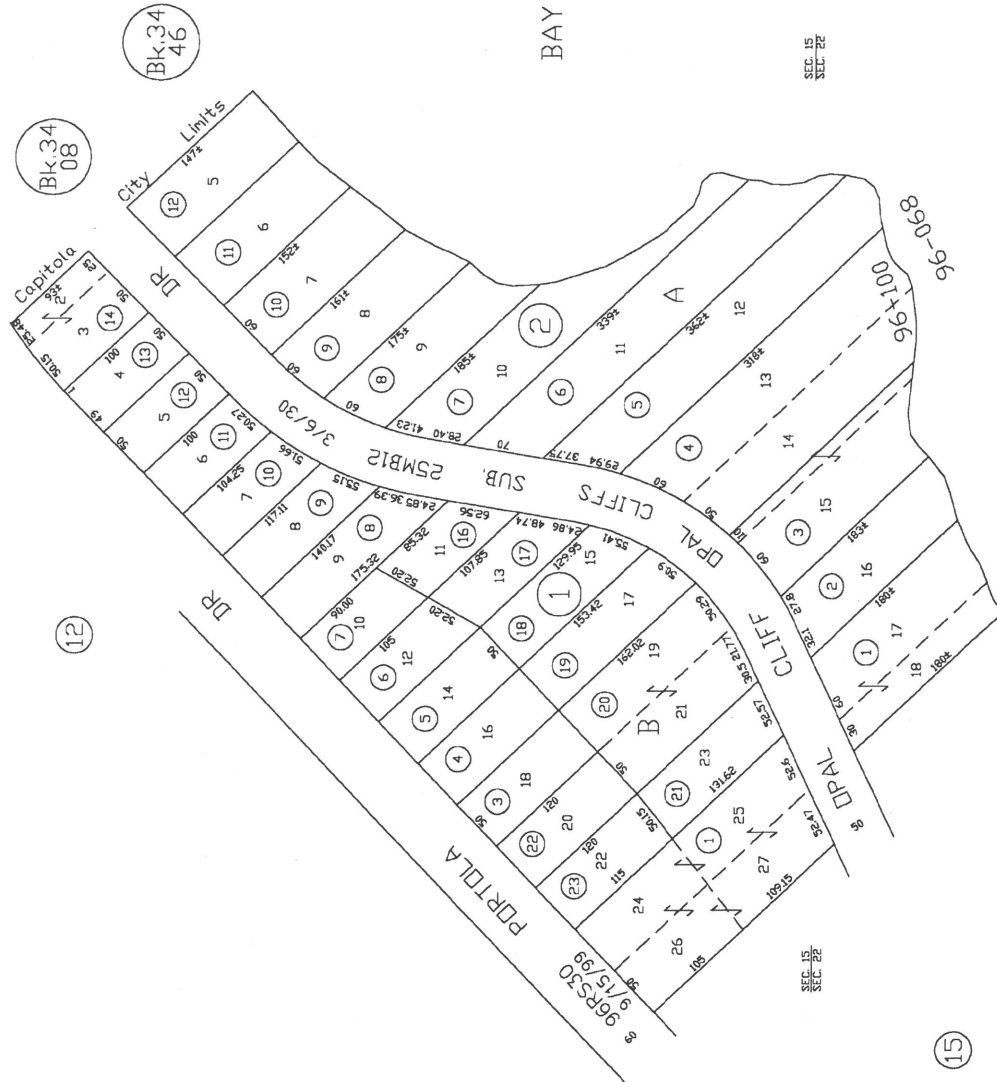
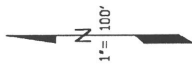


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 LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.  
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POR. RANCHO ARROYO DEL RODEO  
 SECS. 15 & 22, T.11S., R.1W., M.D.B. & M.

Tax Area Code  
 96-100 96-068

33-13



BAY OF MONTEREY

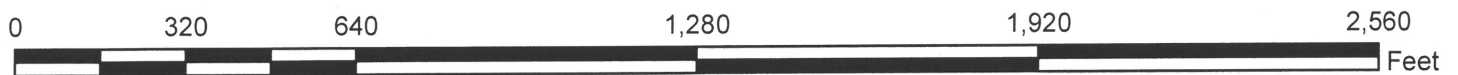
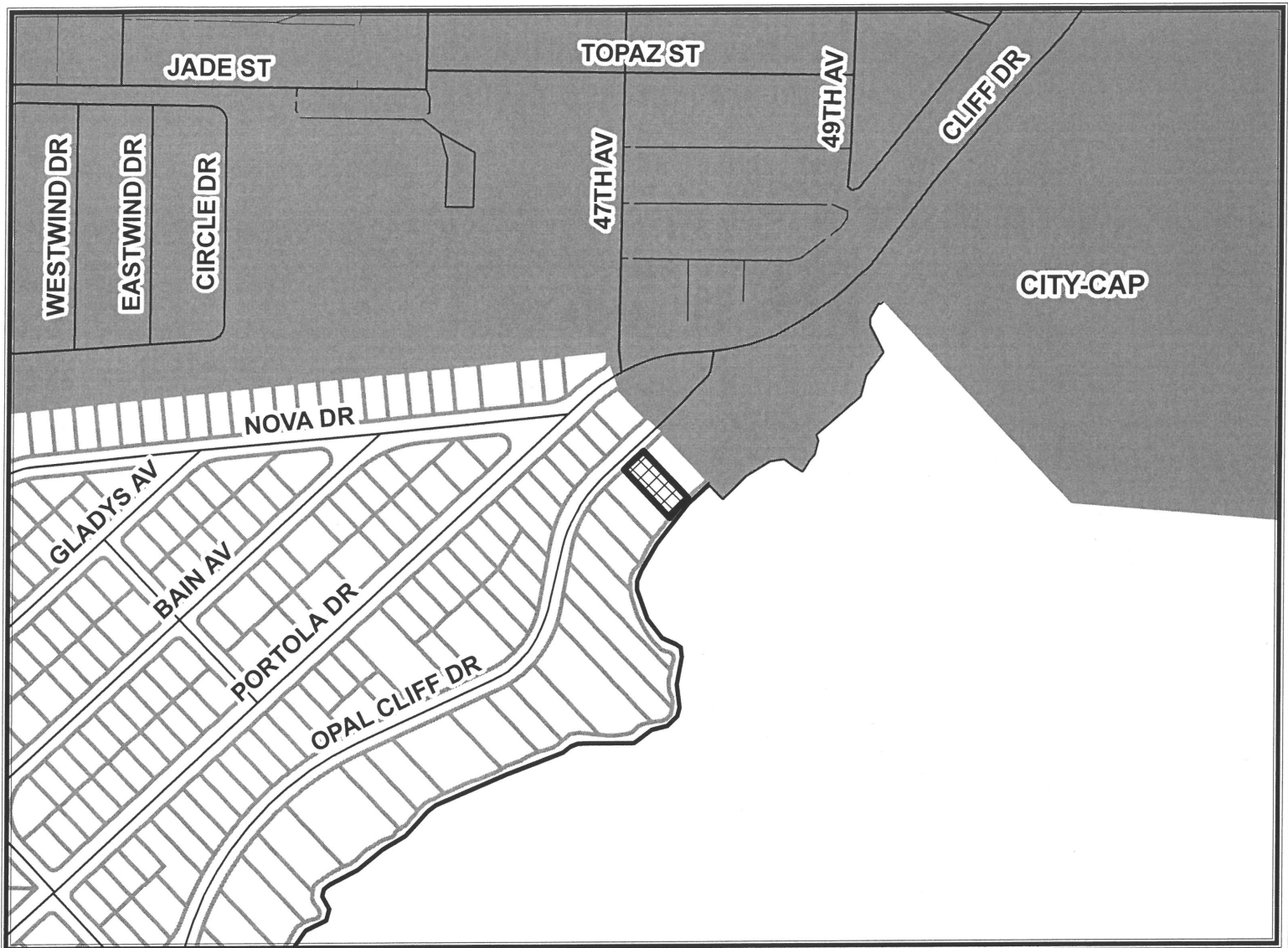
Assessor's Map No. 33-13  
 County of Santa Cruz, Calif.  
 June 1995

Note - Assessor's Parcel & Block  
 Numbers Shown in Circles.






Electronically drawn 6/2/95 KSA  
 Rev. 4/9/98 CG (CA consolidation)  
 Rev. 12/13/99 CB (96RS30)  
 Rev. 1/25/00 CG (cor. adj./other)  
 Rev. 4/12/01 nwn (changed page refs.)



# Location Map



## LEGEND

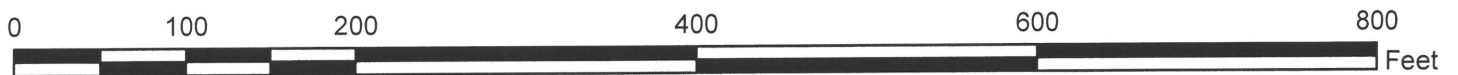
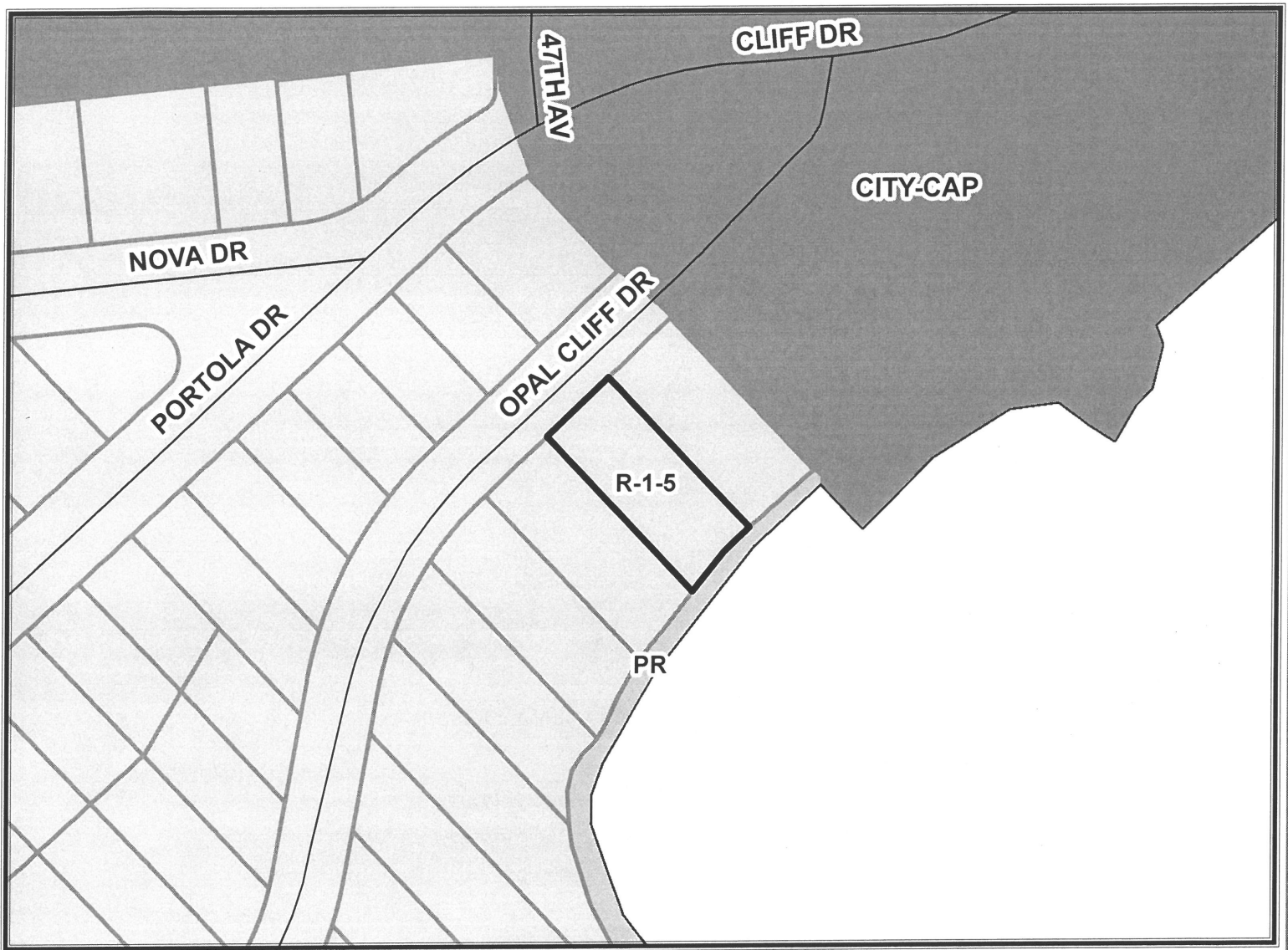
-  APN: 033-132-11
-  Assessors Parcels
-  Street
-  CITY OF CAPITOLA
-  County Boundary



Map Created by  
County of Santa Cruz  
Planning Department  
June 2016



# Zoning Map



## LEGEND

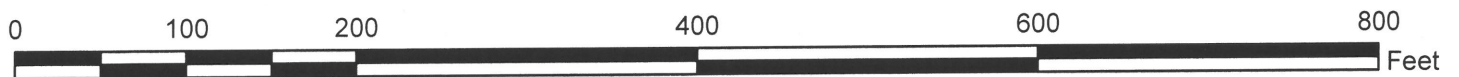
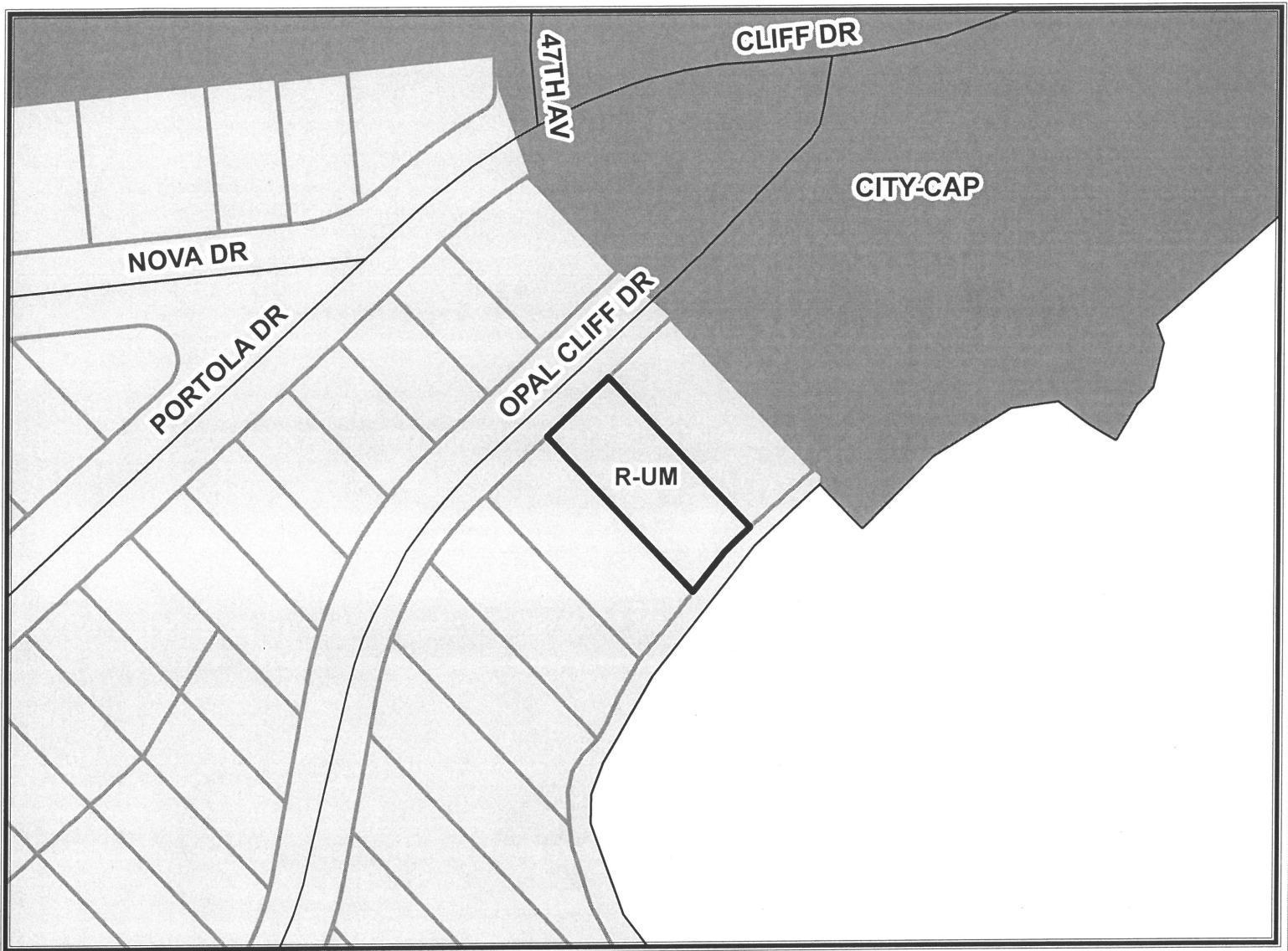
- APN: 033-132-11
- Assessors Parcels
- Street
- CITY OF CAPITOLA
- County Boundary
- RESIDENTIAL-SINGLE FAMILY
- PARK



Map Created by  
County of Santa Cruz  
Planning Department  
June 2016



# General Plan Designation Map



## LEGEND

- APN: 033-132-11
- Assessors Parcels
- Street
- County Boundary
- CITY OF CAPITOLA
- Residential - Urban Medium Density



Map Created by  
County of Santa Cruz  
Planning Department  
June 2016

## Nathan MacBeth

---

**From:** Jane Parks-McKay [janeparksmckay@gmail.com]  
**Sent:** Tuesday, June 28, 2016 11:45 AM  
**To:** Nathan MacBeth  
**Subject:** Re: Item # 3 151211\*\*

ok, thanks for this, I will let my husband know as well. Thanks Nathan.

Jane

On Jun 28, 2016, at 10:18 AM, Nathan MacBeth <[Nathan.MacBeth@santacruzcounty.us](mailto:Nathan.MacBeth@santacruzcounty.us)> wrote:

> Jane,  
> Thank you for your input on this project.  
> The proposal is for the construction of a two story home. The project has been designed to comply with the 100-year setback to the edge of the bluff.  
> Lastly, I do not have information regarding the "full-time" occupancy of the home. No permits for use of the home as a vacation rental have been issued or applied for.  
> Thank you,  
>  
> Nathan MacBeth  
> Development Review Planner  
> County of Santa Cruz  
>  
>  
>  
> -----Original Message-----  
> From: Jane Parks-McKay [<mailto:janeparksmckay@gmail.com>]  
> Sent: Saturday, June 25, 2016 7:27 PM  
> To: Nathan MacBeth  
> Cc: Tim McKay  
> Subject: Item # 3 151211\*\*  
>  
> Regarding 4780 Opal Cliff Drive, Santa Cruz, CA APN 033-132-11, what would be the time frame for the demolishing?  
>  
> Also, we don't quite understand how the larger homes are being built on the cliffs here.  
>  
> We've lived here a number of years and while we have a feeling it's taken parcel by parcel, there is a lot of erosion going on in these cliffs. Too, there are caves which make the cliffs above less steady. It would be good to know this.  
>  
> We assume this home is a two story home? That would limit the views of the homes across the street not on the cliffside.  
>  
> Is this a full-time house or going to be a vacation rental, or a weekend house, etc.?  
>  
> Jane Parks-McKay and Tim McKay  
> 4715 Opal Cliff Drive  
> Santa Cruz, CA 95062  
> (831) 475-0588

## Nathan MacBeth

---

**From:** Steven Guiney  
**Sent:** Wednesday, June 29, 2016 11:03 AM  
**To:** Nathan MacBeth  
**Subject:** RE: sidewalk on Opal Cliffs Drive

Thanks.

-----Original Message-----

**From:** Nathan MacBeth  
**Sent:** Wednesday, June 29, 2016 10:43  
**To:** Steven Guiney  
**Subject:** RE: sidewalk on Opal Cliffs Drive

Steve,  
This project was reviewed by DPW Encroachment, Roads, and Drainage. DPW did not comment regarding the installation of a sidewalk.  
The existing sidewalk is within the city of Capitola and ends at the County jurisdictional line.  
Nate

-----Original Message-----

**From:** Steven Guiney  
**Sent:** Wednesday, June 29, 2016 9:02 AM  
**To:** Nathan MacBeth  
**Subject:** FW: sidewalk on Opal Cliffs Drive

Nate, FYI. Do you know if DPW is requiring sidewalk here?

-----Original Message-----

**From:** Kathy Previsich  
**Sent:** Monday, June 27, 2016 11:07  
**To:** Steven Guiney; Ken Hart; Wanda Williams  
**Subject:** FW: sidewalk on Opal Cliffs Drive

-----Original Message-----

**From:** Debbie Bulger [<mailto:dfbulger@cruzio.com>]  
**Sent:** Sunday, June 26, 2016 9:05 PM  
**To:** John Presleigh; Jack Sohriakoff; Kathy Previsich  
**Cc:** John Leopold  
**Subject:** sidewalk on Opal Cliffs Drive

Hi All,

We have a wonderful opportunity to make walking on Opal Cliffs Drive safer with the demolition of 4780 Opal Cliffs Drive, if it is approved. There is a sidewalk, curb and gutter only two houses away.

If the County required installation of a sidewalk as a condition of approval for the new construction and then filled the one house gap, there would be a long stretch of continuous sidewalk.

This is the time to act for the safety of pedestrians in Santa Cruz.

Seize the opportunity.

Debbie Bulger for Mission: Pedestrian