

## Staff Report to the Zoning Administrator

Application Number: 151349

**Applicant:** David Cury

Owner: David Cury Park Place Enterprises

**APN:** 027-171-34

Agenda Date: 1/20/17

Agenda Item #: 1

Time: After 9:00 a.m.

**Project Description**: Proposal to demolish an existing 756 square foot single story residence and construct an 1150 square foot two-story single family dwelling with attached garage. Requires Coastal Development Permit and Variances to reduce the required east side yard from 5 feet to 3 feet, reduce the required 15 foot rear yard to 5 feet for the house and 3 feet for the garage, reduce the required 15 foot front yard to 2 feet for the house and 13 feet for the garage, increase the allowed 40% lot coverage to 59% and increase the allowed 50% floor area ratio to 72%. Project includes a parking variance to reduce the parking requirement from 3 spaces to 1 parking space and removal of a 30 inch diameter at breast height Locust tree.

**Location**: Project located on the south side of Bonnie Street midway between 7<sup>th</sup> Ave and 8<sup>th</sup> Ave (752 Bonnie Street).

Supervisorial District: 1st District (District Supervisor: Leopold)

Permits Required: Coastal Development Permit and Variance

#### Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 151349, based on the attached findings and conditions.

#### **Exhibits**

A. Categorical Exemption (CEQA

determination)

B. Findings

C. Conditions

D. Project plans

E. Tree Evaluation

F. Assessor's, Location, Zoning and General Plan Maps

G. Comments & Correspondence

#### Parcel Information

Parcel Size:

1,575 square feet

Existing Land Use - Parcel:

Residential

County of Santa Cruz Planning Department 701 Ocean Street, 4th Floor, Santa Cruz CA 95060

Owner: C/O David Cury Park Place Enterprises

Existing Land Use - Surrounding:

Residential/Commercial

Project Access:

Bonnie Street

Planning Area:

Live Oak

Land Use Designation:

R-UH (Urban High Residential Density)

Zone District:

R-1-3.5 (Single family residential (3,500 square foot

minimum))

Coastal Zone:

X Inside

\_\_ Outside

Appealable to Calif. Coastal

\_\_ Yes

X No

Comm.

#### **Environmental Information**

Geologic Hazards:

Not mapped/no physical evidence on site

Soils:

Required at the Building permit stage

Fire Hazard:

Not a mapped constraint

Slopes:

Relatively flat lot

Env. Sen. Habitat:

Not mapped/no physical evidence on site

Grading:

No grading proposed

Tree Removal:

30 inch diameter Locust tree to be removed

Scenic:

Not a mapped resource Existing drainage adequate

Drainage: Archeology:

Not mapped/no physical evidence on site

#### **Services Information**

Urban/Rural Services Line:

X Inside \_ Outside

Water Supply:

Santa Cruz City Water

Sewage Disposal:

Drainage District:

Santa Cruz Sanitation District Central Fire Protection District

Fire District:

Flood Control District 5

#### **Project Setting**

The subject property located on the south side of Bonnie Street mid-block between 7<sup>th</sup> Ave and 8<sup>th</sup> Ave and developed with an existing 760 square foot two bedroom single family dwelling. The existing home is non-conforming to the 15 foot front and 15 foot rear yard setbacks. Due to the location of existing improvements onsite, sufficient onsite parking is not available.

The subject parcel is surrounded by 2 story development with commercial structures to the north and west. A 30 inch diameter at breast height Locust tree is situated between the existing home and the property line to the west. This is the only residentially zoned parcel on this block (portion) of Bonnie Street. The project is located in the Harbor Special Community, within the Live Oak Planning Area. This area is a part of the Live Oak Parking Program which establishes permit parking April through September, from 11 AM to 5 PM Saturdays and Sundays and three holidays (Memorial Day, Independence Day and Labor Day).

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#### Zoning & General Plan & Local Coastal Program Consistency

The subject property is a parcel of approximately 1,575 square feet, located in the R-1-3.5 (Single family residential (3,500 square foot minimum)) zone district, a designation which allows residential uses. The proposed residential use is a principal permitted use within the zone district and the zoning is consistent with the site's R-UH (Urban High Residential Density) General Plan designation.

The proposed single family dwelling is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings. Size and architectural styles vary widely in the area, and the design submitted is consistent with the existing range of styles. The project site is not located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

#### Variance

The project includes a request for reduced front yard, rear yard and side yard setbacks as well as increases in lot coverage and floor area ratio. The project also includes a reduction in parking which require variance approval. The special circumstances warranting the proposed variances are the small size of the subject parcel and dimensions of 45 feet by 35 feet. With a square footage of 1,575 square feet in area, the subject parcel is less than half the size of most lots in the area which typically range in size from 2,800 to 3,000 square feet. The subject parcel is only 45 percent of the minimum parcel size for the zone district. A strict application of the site standards would result in an approximately 200 square foot building envelope for the site. Given the small size of the parcel and its shallow depth, the variances being requested are considered reasonable.

Variance to front yard setback. The location of the existing home is approximately 18 inches from the front property line. The proposal would reconstruct the home further from the front property boundary (2 feet) which is in greater conformance with the required 15 foot front yard setback. Due to the shallow depth of the lot and the desire to have a functional floorplan, a reduction to the front yard is being requested. The design has been modified to accommodate potential future expansion and or improvements within the right of way. Namely the installation of curb gutter and sidewalk in front of the home. The design incorporates an entry porch serving as a safety buffer between occupants of the home and activities within the right of way while improving sight distance for vehicles entering and existing the site. The edge of the travelled roadway would be approximately 13 feet away from the home.

County Code Section 13.10.323 requires a 20-foot setback from the face of the garage to the property line. The depth of the subject parcel is approximately 35 feet. A 20 foot setback to the garage combined with the required 15 foot rear yard setback would preclude the construction of a garage on this site. To provide for a standard garage, the applicant has proposed to reduce the required 20 foot garage setback to 13 feet and reduce the rear yard setback to 3 feet.

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Although garages are not required by County Code they provide a secure place to store vehicles and household goods while reducing visual clutter and demand for on-street parking. Given these benefits, staff supports the inclusion of a garage in this project and supports the proposed variance. With the paved portion of the right-of-way located over 20 feet from the face of the garage and the incorporation of an open covered porch, no line of sight issues are anticipated to result from this variance.

Variance to side and rear yard setbacks. Similar to the front yard, the location of the existing home is approximately 3 feet from the rear property line. The proposal would reconstruct the home at 5 feet from the rear and the back of the garage would be 3 feet from the rear and east property lines. The second floor of the home would comply with all setback requirements with the exception of the rear yard (6 feet). Careful consideration in window placement on the upper floor was taken to ensure the upmost privacy of the adjoining properties.

Due to the shallow depth of the parcel and the substandard size of the parcels, the variances being requested are reasonable to achieve a function design consistent with the surrounding homes and a modest sized home.

Variances to lot coverage and floor Area ratio. County Code allows for a maximum of .5 floor area ratio (FAR), meaning that the size of the structure cannot exceed 50% of the net site area. For the subject parcel, with 1,575 square feet in net site area means that the maximum sized home could be 787.5 square feet. The project proposes a floor area ratio of 72% or 1,146 square feet. Given the small size of the parcel, this modestly sized dwelling is considered reasonable.

County Code limits lot coverage to 40% of the parcel. Based on the size of the subject parcel, allowable lot coverage would be 640 square feet. The site is currently developed at 48% lot coverage. The proposed development would result in lot coverage of 59%. Given the size of the subject parcel, and the constraints created by the setback requirements, the proposed lot coverage of 59% is reasonable lot coverage with the need to construct a reasonably sized home.

#### **Parking**

For a two bedroom dwelling, County Code Section 13.10.552 requires three 8.5 feet by 18 feet parking spaces. The proposed site plan shows space for one vehicle to be located within the garage and a 13 foot long driveway. Since no vehicles can currently park on-site this proposal is a significant improvement over the existing situation. Given the size of the parcel, three parking spaces would cover roughly 30% of the parcel area. This proposal balances the function design which is consistent with the neighborhood and parking needs of the subject parcel's residents and the surrounding neighborhood in that the proposed parking configuration (tandem parking) would not reduce availability of on street parking for beach visitors and or use by the adjacent commercial uses.

#### Tree Removal

The project site contains a 30 inch in diameter locust tree that is proposed for removal. The tree is considered a significant tree as defined in SCCC 16.10.040 In a report prepared by Maureen Hamb, Certified Arborist on August 22, 2015, it was concluded that the demolition of the

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existing residence would likely result in a destabilizing of the tree due to the trees proximity to the home. It was concluded that the tree should be removed as part of the project and the site evaluated for appropriate size of a replacement tree. Environmental Planning Staff has reviewed and accepted these recommendations. The applicant has proposed the planting of a 15 gallon Crape Myrtle as a replacement tree to be located at the northwest corner of the property.

#### Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

#### Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- APPROVAL of Application Number 151349, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: <a href="https://www.co.santa-cruz.ca.us">www.co.santa-cruz.ca.us</a>

Report Prepared By: Nathan MacBeth

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### CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 1 Assessor Parcel Number Project Location: 752 I	er: 027-171-34
	Demolish an existing single family dwelling and construct a new single amily dwelling.
Person or Agency Pro	posing Project: David Cury
Contact Phone Number	er: (813) 476-0302
B The prop	posed activity is not a project under CEQA Guidelines Section 15378.  posed activity is not subject to CEQA as specified under CEQA Guidelines 15060 (c).
	rial Project involving only the use of fixed standards or objective ments without personal judgment.
	y Exemption other than a Ministerial Project (CEQA Guidelines Section
E. X Categor	ical Exemption
Specify type: Class 3 –	New Construction or Conversion of Small Structures (Section 15303).
F. Reasons why th	ne project is exempt:
Demolition of an existing designated for residential	ng home and construction of a new single famuily residence on a parcel al uses.
In addition, none of the	conditions described in Section 15300.2 apply to this project.
Nathan MacBeth, Project	Date: et Planner

#### **Coastal Development Permit Findings**

1. That the project is a use allowed in one of the basic zone districts, listed in section 13.10.170(D) as consistent with the General Plan and Local Coastal Program LUP designation.

This finding can be made, in that the property is zoned R-1-3.5 (Single family residential (3,500 square foot minimum)), a designation which allows residential uses. The proposed residential is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UH (Urban High Residential Density) General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to Section 13.20.130 and Section 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the site is surrounded by lots developed to an urban density; the colors will be natural in appearance and complementary to the site; and the development site is not on a prominent ridge, beach, or bluff top.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the General Plan and Local Coastal Program land use plan, specifically Chapter 2: figure 2.5 and Chapter 7, and, as to any development between the nearest through public road and the sea or the shoreline of any body of water located within the coastal zone, such development is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act commencing with section 30200.

This finding can be made, in that the project site is not located between the shoreline and the first public road. Consequently, the project will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

5. That the proposed development is in conformity with the certified local coastal program.

This finding can be made, in that the structure is sited and designed to be visually compatible, in scale, and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-3.5 (Single family residential (3,500 square foot minimum)) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary widely in the area, and the design submitted is consistent with the existing range of styles.

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The demolition of the existing home will require the removal of a 30 inch DBH Locust tree. An evaluation of the tree was prepared by Maureen Hamb-Certified Arborist on April 22, 2015 and submitted to the County or review. The tree is considered a significant tree under Section 16.34 of the County Code. It was determined that removal of the tree is necessary for the redevelopment of the site and noted that the demolition of the home would likely be destabilize the tree therefore the removal of the tree is warranted. A replacement tree and appropriate landscape shall be required as indicated on Exhibit D.

#### **Variance Findings**

1. That because of special circumstances applicable to the property, including size, shape, topography, location, and surrounding existing structures, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

This finding can be made, in that the subject property is roughly half the size of the minimum parcel size required in the R-1-3.5 zone district. A strict application of the site standards) would deprive the property the ability to development site with a reasonably sized dwelling. In terms of lot coverage and floor area ratio, the proposed 1,200 square foot dwelling will be appropriately sized for the parcel and consistent with the surrounding density and intensity of development. The reduced setbacks are

Given the size of the parcel, three parking spaces would cover roughly 30% of the parcel area. This proposal balances the function design which is consistent with the neighborhood and parking needs of the subject parcel's residents and the surrounding neighborhood in that the proposed parking configuration (tandem parking) would not reduce availability of on street parking for beach visitors and or use by the adjacent commercial uses. The reduction in parking would be proportionate to the size of the parcel and an improvement to the existing situation as there is currently no parking available onsite.

The proposal requires an increase in lot coverage from 40% to 59%. Whereas the existing home has a lot coverage of 48%, the proposed dwelling would have a smaller footprint and the increase in lot coverage will be necessary for the construction of a garage (provide parking). As a result of the addition of a 459 square foot second floor, and increase in floor area ration from 50% to 72% is necessary. Given the small size of the parcel, this modestly sized dwelling is considered reasonable. Further

2. That the granting of the variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.

The proposed dwelling will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity, in that the project represents an overall improvement in the dwelling's conformance with County Code requirements, which reflect the general intent and purpose of zoning objectives. The proposed development is consistent with the density and intensity of the surrounding pattern of development.

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The existing structure is nonconforming to the front, and rear yard setbacks, exceeds lot coverage and does not provide any parking. The proposal has been designed to ensure sufficient sight distance for vehicles entering and existing the subject parcel and privacy of the adjoining properties. Though the proposed development would be deficient in terms of parking in an area that has notable shortages in parking and further restrictions, the parking that is being provided will improve the current situation and the project would not result in an intensification of the existing use.

3. That the granting of such variances shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.

This finding can be made, in that the subject parcel is smaller than most of the parcels in the area. The other parcels in the area typically range between 2,800 and 3,000 square feet in size, while the subject parcel is just 1,575 square feet. The County Code provides relief for sites that are substandard in area. A parcel that is less than 80% of the minimum lot area required by the zone district is allowed to utilize the site standards for the zone district that most closely fits the lot size. In this instance, there is no zone district corresponding to the 1,575 square foot lot size of the subject parcel so there is no relief and variances are required.

Granting the proposed variances to setbacks, lot coverage, floor area ratio and required parking does not constitute a grant of special privileges in that other, larger, properties are developed with reasonably sized dwellings. The granting of the variances to setbacks, lot coverage, floor area ratio and required parking will provide a reasonable amount of living space for a residence on the subject parcel. Denial of the proposed variances would result in a hardship for the property owner by extinguishing the ability to construct a reasonably sized dwelling. Several properties in the vicinity have been granted variances, including 152 8<sup>th</sup> Ave, 821 Carmel St., 331 5<sup>th</sup> Ave., and 351 5<sup>th</sup> Ave.

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#### **Development Permit Findings**

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses and is not encumbered by physical constraints to development. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. The proposed project will not deprive adjacent properties or the neighborhood of light, air, or open space. The proposed single family dwelling is the only home on this block of Bonnie Street and is surrounded by two story development. The structure is located on the south side of Bonnie Street and the proposed two story elements of the project would comply with the required 15 foot front yard and 5 foot side yard setbacks for the R-1-3.5 zone district. Therefore this finding can be made.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that with the approval of the requested variances, the proposed location of the single family dwelling and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-3.5 (Single family residential (3,500 square foot minimum)) zone district as the primary use of the property will be one single family dwelling.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-UH (Urban High Residential Density) land use designation in the County General Plan.

The proposed single family dwelling will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties. With the exception of the elements for which the variances are being requested, the project meets current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the residential will not adversely shade adjacent properties, and will meet current setbacks for the zone district.

The proposed single family dwellling will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposal has been evaluated in terms of design for consistency with the surrounding homes and variances have been found appropriate based on unique characteristics of the subject parcel. Further, several similar

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variances have been granted on parcels in the vicinity.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed residential is to be constructed on an existing developed lot. The proposed project is not anticipated to result in an increase in traffic therefore will not adversely impact existing roads or intersections in the surrounding area. It is expected that existing utilities would be sufficient to serve the proposed use.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed residential is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed residential will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area. Further, removal of a 30 inch DBH Locust tree is necessary for the redevelopment of the site. A comprehensive landscape plan has been designed for the site.

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#### **Conditions of Approval**

Exhibit D: Project Plans 16 sheets, prepared by Michael Helm revised 6/24/15

- I. This permit authorizes the demolition of an existing home and construction of an approximately 1200 square foot single family dwelling with attached garage. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
  - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
  - C. Obtain a Building Permit from the Santa Cruz County Building Official.
    - 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
  - D. Obtain a Grading Permit from the Santa Cruz County Building Official.
  - E. Obtain an Encroachment Permit from the Department of Public Works for all offsite work performed in the County road right-of-way.
  - F. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder) within 30 days from the effective date of this permit.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
  - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
    - 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
    - 2. One elevation shall indicate materials and colors as they were approved by

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this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Planning Department review and approval.

- 3. Grading, drainage, and erosion control plans.
- 4. Details showing compliance with fire department requirements.
- B. Meet all requirements of and pay Zone 5 drainage fees to the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
- C. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
- D. Submit 2 copies of a soils report prepared and stamped by a licensed Geotechnical Engineer.
- E. Provide required off-street parking for 1 car. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
- F. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
  - A. <u>Construction Hours</u>: During construction, workers may assemble on-site as early as 7:30 AM, but noise-generating activities may not begin earlier than 8:00 AM. Noise-generating activities must cease by 6 PM. Workdays are limited to Monday through Friday unless authorization to work outside of those hours is approved in advance by Planning Staff.
  - B. All site improvements shown on the final approved Building Permit plans shall be installed.
  - C. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
  - D. The project must comply with all recommendations of the approved soils reports.
  - E. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with

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this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

#### IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- B. No improvements, including landscaping, shall be located in the adjacent rights-of-way. This area must remain open for public parking.
- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, it officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
  - A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
  - B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
    - 1. COUNTY bears its own attorney's fees and costs; and
    - 2. COUNTY defends the action in good faith.
  - C. <u>Settlement</u>. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development

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approval without the prior written consent of the County.

D. <u>Successors Bound</u>. "Development Approval Holder" shall include the applicant and the successor'(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date:	
Effective Date:	
Expiration Date:	
Wanda Williams Deputy Zoning Administrator	Nathan MacBeth Project Planner

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

# REMODEL AND ADDITION PLANS FOR:



			21 Documentation of VOC compliant finishes shall be verified by Inspector.		Gray Bears	760 840	Carriboard	-
			20 Carpet shall be compliant with VCC units.		Greg Menna Trucking	2 Cu. Yda.	Concrete	-
				4.505.3 Moisture configuration and advanced before enclusive 4.506.1 Exhaust tans to harminate at extendor	Location	Est Quantity	Туре	-
			Plan prior to Construction.			ON - RECYCLING	NEW CONSTRUCTION	-
			18 Recycle minimum 50% of Construction Waste. Retain receipts for Inspector verification. Contractor to provide Building Department with a Construction Waste Management.	De varified by trapector  4.504.3 Carpet shall be compliant with VOC timits  4.604.5 Particleboard MDE 8. Hardword Disserved shall	Buena Vista Recycling Cir.	500 lbs.	Appliances	-
	Dra.		closing 1-3/6" (mln.) Inick solid wood doors.	with MIR limits for FIOC compounts 4 504 2.4 Documentation of VOC compilant finishes shall	Valley Recycling		Glass	-
Vuter Supply: Cay of Su Sewage Disposel: County of	Son		17 Dumbwalter shaft and linen citude shall comply with CBC 707.1 & 707.14. Line shaft with the course finish vertically shall be course from a vertical shall be course from the course of the course		Buena Vista Recycling Cir.	3,900 lbs.	Drywall, wood, metals	-
SHATION Cont. Line	SE		16 FIGO BIRLOGIBING assemblines statut set unit subjects of units the area of concentration space does not exceed 1000 et 1. The data spays shall divide the contrated space into approximately equal areas per CBC 717.3 7 & CRC R 302.12	170	Charles Turking	F 0	base & subgrade	
nagu. Existing of Not mappy.	Dra				Grande Annoqueto Facility	10 Car Yals	Sand lonsoil rock	_
	Tro		15 Provide combustion air openings in mechanical room doors for furnace and water heater per CMC 702.1, 703, 707, and table 7A. Provide 100 sq. in. min. vent within	ENVIROMENTAL QUALITY  4.503.1 Gas fireplaces to be direct-vent, wood-burning	Together	XCTING CHOMPS	DEMOLIDON - RECYCLING	_
abelati	Sion		14 Hearth dimensions shall comply with CBC 2111.9 & 2111.10.	4.4010.1 Provide Operation & Maintenance Manual	r Humanity.	Donate unused materials to Habitat for Humanity	2 Donate unused r	_
oragic mazards revi mappe its: Sois Reports e Hazard: Not a mappe	Son		13 Provide smoke deluctors per CBC 907.2 10.1 1 8. CRC R 314. Shoke alarms are to be 110v with bettery back-up and are to be audible in all steeping areas.	4.408 1 Recycle militinum 50% of Construction Waste	Hecycle job site construction and demoition waste @ 65% per County of Santa Cruz Green Building Program.	n Building Program.	Santa Cruz Gree	-
ž	WA		<ol> <li>Provide low flow showerheads and weterclasels that do not use more than 1.6 gallons per flush</li> </ol>	soil moisture based sensors MATERIAL CONSERVATION & RESOURCE EFFICIENCY	BECYCLE CONSTRUCTION & DEMOLITION WASTE NOTES	STRUCTION &	RECYCLE CON	-
South Zoni Squistal Zoni Indide typeniable to Gui. Guastal Contin. No	Co.s. App		<ol> <li>Showas shall be Intahed with a smooth hard, non-assurem extense or neight of at least 70° above the drain outsit per CBC 1203.3 &amp; CRC R 307.2</li> </ol>	4.303.3 Plumbing fotuses and fittings shall comply with specified performance regularements     4.304.1 Auto infigation sys. shall have weather or	on the constant			-
	Plar Lanc Zone		plang shall not be installed under building stab. All solder paints to be lead free.	h oos. I require involverable to a 7% with water saving the conference and flow need closes 4 303 2 Shower houds shall not exceed max, flow rates	350 Be/acre or		Fertilizer (16-20-0)	_
se - Surroussing	Exis Proje			WATER EFFICIENCY & CONSERVATION	35 lbs/tacre gr 8 lbs/ 10,000 Sq. Ft. gr 9/ lbs/ 10,000 Sq. Ft. gr		Apply seed mix at rate of	_
	Para		Strap water heater at coints within the upper third and lower third of halight and 4"	ENERGY EFFICIENCY  4 201.1 Excused OFC Minimum Standard Directors	5 lbs/acre		Creeping Red Fescue	
ARCEL INFORMATION	PAR		6 Openings around gas verits, ducts, pipes, chimneys & fireplaces at ceiling and floor levels shall have the hordren nor CRC 717.1 & CRC R 1003.19.1001.12.8.802.8	4.106.3 Storm Water Drainage Manupament Plan 4.106.3 Grading & Drainage Plan	3 lbs/acre		Zorro Annual Fescue	_
H (752 Hamle Street) between 7° and 8° Aven	Street		7 Guardrails shall be 42" min, high and have intermediate rails spaced so that a 4 inch diameter sphere will not pass through per CBC 1013.4 & CRC R 312	SESI	12 lbs/acre		Rose Clover	
urce to reduce the required off-street parking for use the allowed floor area ratio from the allowed vertices from the allowed 40% to 50%. The pro-	Variety increase in the control of t		C) Handrails shall comply with CBC 1009 to Handrail to be 34° 38" above the rosting of the treats. Provide handrails at all stairs of 4 fisers or more.	Residential Mandatory Measures	15 lbs/acre		Blando Brome	_
The garage investigated settlects to 3 feet from the required country addition, a Variance to reduce the garage settle required 5 feet, a Variance to reduce the garage settle	To go and a succession of the go		<li>Provide duir sturgers at 16° on caller for one-hour construction.</li>	10.00	GRASS/LEGUME SEED MIX FOR EROSION CONTROL	ME SEED M	GRASS/LEGU	
osal to reconstruct an existing nerconforming a add a second floor Requires a Constal Develop rice to reduce the front yard settleck to 2 feet it	Prop and a		wats and suffits protected on the enjoceau size with one type x, gypsum board as required for one-hour fire resistive construction per CBC 717.2.4 & 1009.5.3.					_
PROJECT DESCRIPTION	Landscape Plan	LANDSCAPE	Stativerys to comply with GBC 1009     The closels under the states are enclosed usable areas and shall have the	Coddes 15, 2017	If mulcivity, seeding, or fetilizing manually, mulch with straw or hay at 4000 blooders. Fetilize with Ammonium Phosphate with Sulphus (16-25-0) at 350 blooders. If Hydro-mulching, use wood fiber mulch at 2000 blooders.	ding, or fertilizing m Fertilize with Ammor If Hydro-mulching, t	13 If mulching, se 4000 lbs/acre. at 350 lbs/acre	-
PARKESS REQUISED 2 BORM = 3 SPACES 21	Construction Details Architectural Specifications	ΣZ	between garage und living areas. Provide a tight fitting 1-3/4" min, thick solid occur door with auto closer.		Apply erosion control material on all delringe swales, cuts and till, also any location where any existing vegetation has been removed.	any existing vegetati	12 Apply erosion location where	_
TOFAL	Construction Details Construction Details	15 = 6	4 All interior passageway doors shall have a 30 inch net clear opening.  5 Provide 58" tone "X" grossin board fire-tailed on garage side walls and calling	10 Permitted hours of work are 7:30AM to 6:00PM, Moxday through Friday.	Elicaticas; is abjetived to sittati areas, in this least dajoy issuace veroes seeding, after seeding apply straw or hay muich.	seding apply straw o		
UPPER FLR	Erosion Control Plan Construction Details		3 Skylights shall comply with CBC 2408 3 CRC R 308.6	to beginning any work.  9 No notable water to be used for any grading purposes on this protect.	ime for planting is September-October, unless there is a sprinkler system	is September-Octol		_
	Demolition Plan Grading & Drainage Plan	7 6	2 Provide tempered glass at all hazardous locations per CBC 2406 35 & CRC R 308 1	8 Contractor shall arrange a pre-grading meeting with County inspector prior	seeding method for large areas. Best	Hydro-mulching is the best effective seeding method	10 Hydro-mukahira	-
FAR	Proposed Exterior Elevations  Proposed Exterior Elevations	o 4 ro	<ol> <li>All Glozing to be double pane insulated glass (garage excepted).</li> </ol>	<ol> <li>Residence location and pad elevation to be done by a licensed Surveyor or Civil Engineer prior to grading.</li> </ol>	auto Infration	17.	October 15, 20	
GABAGE TOTAL	Topographic Map Existing Floor Plan & Elevations Proposed Size Plan	ω Ν →	GENERAL NOTES	6 A minimum of 16 ft. of slope rounding shall be provided at the top of all cuts.	Erosion control percent of permanent landscaping altest be completed by	planting or permane	8 Erosion contro	_
TOT COMPANY	ARCHITECTURAL  C Cover Sheet & Notes	ARCHITE	Install an approved spark arrestsr at the top of the channey, with wire mesh nut to exceed 1/2 inch openings. Maintain a 30 foot deatance with non-combustible around all structures.	placement, alopse of all case and file, and provide final letter of happention on all Grading and Salis Work. Compaction shall be certified by the Solis Engineer to the Building Department prior to foundation placement.	Exposed soll on slopes greater than 20% shall be seeded, covered with 2 inches of strew and an erosion control blanket. The erosion control blanket shall be seeded to place	slopes greater than and an erosion contr	7 Exposed soll or inches of straw	_
TOTANIA	DEX	SHEET INDEX	a milmam of 4 inches in height and of a color contrasting to their background. Where numbers are not visible from the street, additional numbers shall be installed on a directional slips at the property driveway and the street.	shall be 2 horizontal to 1 verticul.  5 Soils Engineer to be retained to inspect compaction of fill, foundation	Any material stockpiled on site shall be covered with plastic, especially during the winter months or during periods of rain.	ockpiled on site shall his or during periods	6 Any material st the winter mon	_
FIRE HATTING	Fellon, CA 95018-4014 831-335-3656		District for approval. Installation shall follow guide sheet.  Address numbers will be posted to the right of the garage door at eye level. Numbers shall be	to 95% relative density.  4. Maximum cut slopes shall be 2 horizontal to 1 vertical. Maximum till stopes	All excavated material shall be removed to an approved disposal site or disposed of oxysite in a marinor that will not cause erosion.	aterial shall be remo	5 All excavated n disposed of on-	_
OCCUPANCY CI	Archigraphics P.O. Box 4014	ENERGY	Sprinkler system designificatailer shall submit thee (3) sets of plans and calculations for the underground and overhead residential automatic file sprinkler system to the Fire Protection	3 The upper 6" of subgrade below driveway or parking area shall be compacted	of sum wan system. Cooks all pape, stop points, ray paiss, an issues or other means shall be used to prevent such dischurge.	all be used to preven	other means sh	-
ZONING	Suntu Cruz, CA 95061 831-423-2225		Job copies of the approved Building and Fire system plans must be on site during inspections.	compection to Insure uniform distribution of moleture.  2 No organic material shall be calcoed in any file.	shall be permitted to enter the channel	tion, no turbid water	4 During constru	-
Arri		STRUCTURAL	-	compaction begins the fill shall be brought to a water content that will permit proper compaction by either (1) aerating the fill it is to over, or (2) mosteraing the fill with water if it is too day. Fach if it shall has thoroughly mixed helves the fill with water if it is too day. Fach if it shall has thoroughly mixed helves	convent occurrent part end what the explanate sometime or particular train arcision at all times. Hay belies, filled begins, salt (en. so, or other means shall be employed to prevent sediment from leaving the site or entering any	prevent sediment fro	erosion at all the	
H31MO	501 Mission Street, Suite &A Santa Cruz, CA 95060 831-427-1770			existing III shall be removed, until material compacted to 90% reliable density is exposed. The new III shall be placed par these construction notes. Fill material abult he naced in uniform tits not exceeding to 10 nonacted their see Reform	Unecessary grading and disturbing of soil shall be avoided.	ding and disturbing of		_
PROJECT DATA	831-476-5386 Dees & Associates, Inc.	SOILS	Occupancy Classification: R-3 / U-1 Building Construction Type: V-B Fite Rating: Sprinkferad	the surface of the governd shall be exertified to a depth of 6" before the fill is placed. Where natural ground is sleeper than 5.1, it shall be benched and the fill keyard in to auchieve stability. Where new fill is to be placed on existing fill, thu	The developer shall be responsible for osion control at all times.	g such construction. or maintaining site ea	prior to beginning a	
PLUMBANG, RESIDENTIAL CODES, G MID 2013 CALIFORNIA ENERGY EFF	Michael Helm & Associates 200 Seventh Avenue, Suite #110 Santa Cruz, CA 95062	ARCHITECT		1 Excavated material shall be placed in the fill areas designated or shall be haufed away from the site. Where fill material is to be placed on natural grade it shall be stripped of all vegetation. To active proper bond with the fill material,	No land clearing, grading, or excavation shall be done between October 15th and April 15th, Any deviation from this condition requires review and appropriate principles review and appropriate principles.	grading, or excavat ury deviation from the	No land clearing and April 15th.	-
APPLICABLE CODE	PROJECT CONSULTANTS	PROJEC		GRADING NOTES	ES	NTROL NOT	EROSION CONTROL NOTES	
								T
			752 BONNIE STREET - SANTA CRUZ, CALIFORNIA	752 BONNIE S				
No.			ADN 007-171-3/					
and the second			SINGLE FAMILY RESIDENCE	SINGLE				
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10,300 lbs.

Grey Bears
Buene Vista Recycling Cir.

22 21 20

Particleboard, MDF & Hardwood Plywood shall comply with Low-formal emissions standards.

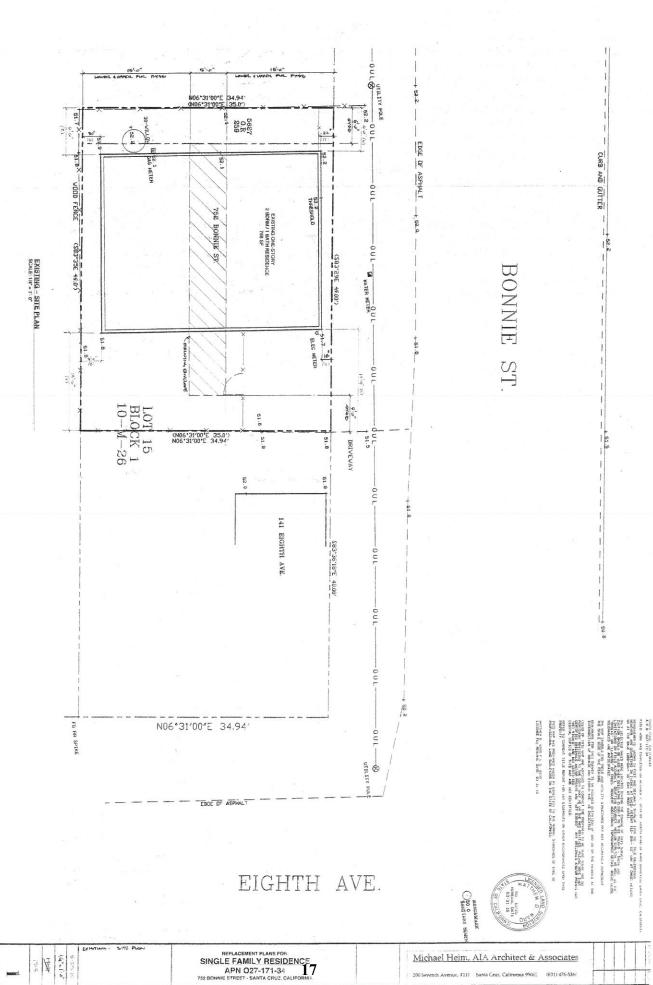
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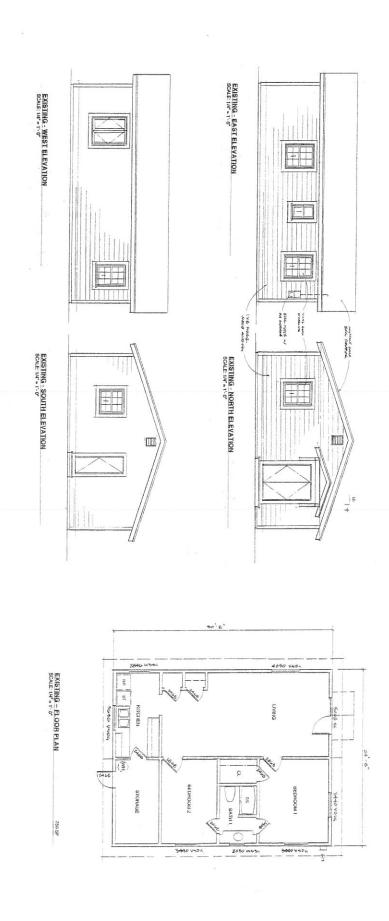
PHOPOSED 721 214 935 - 59 % VARIANCE HEQUES

L = 787.5 SF PROPSIBLE 887 459 NC 1146 = 72 % RANCE RECURRE

PROPOSED 2 BORM = 2 SPAC



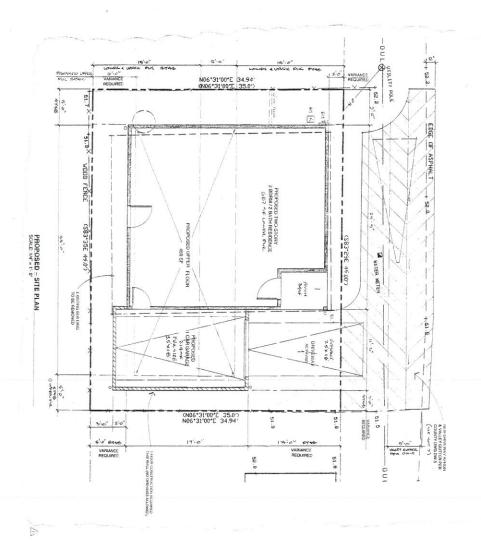
200 Seventh Avenue, #110 Santa Cruz, California 95062 (831) 476-538



STATE OF THE SERVETORS

REPLACEMENT PLANS FOR:
SINGLE FAMILY RESIDENCE
APN 027-171-34
752 BONNIE STREET - SANTA CRUZ, CALIFORNIA

Michael Helm, AIA Architect & Associates
200 Seventh Avenue. #110 Santa Cruz, California 95000 (831) 476-5386



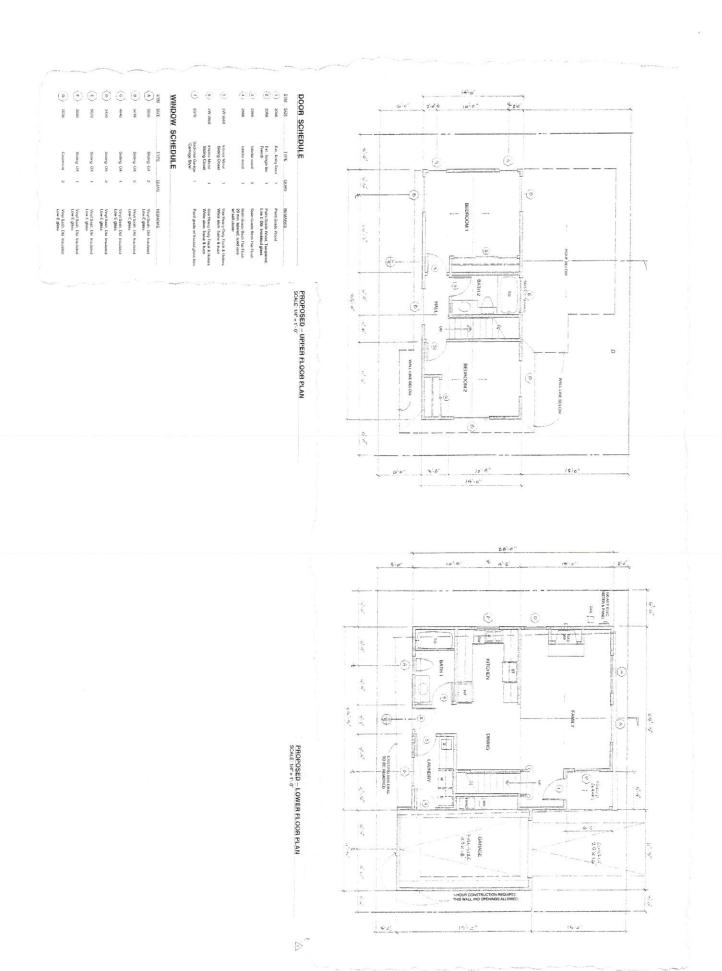
SONNIE ST.



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752 BONNIE STREET - SANTA CRUZ. CALIFORNIA

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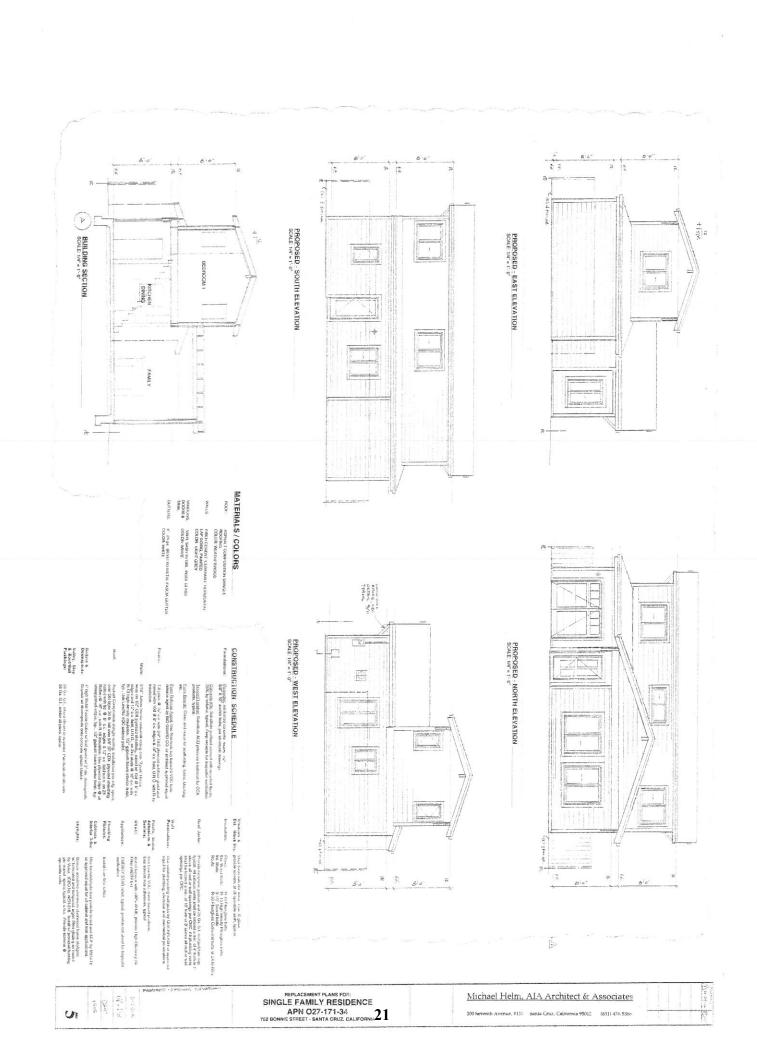
Michael Helm, AIA Architect & Associates
200 Seventh Avenue, #110 Santa Cruz, California 95062 (831) 476-5386

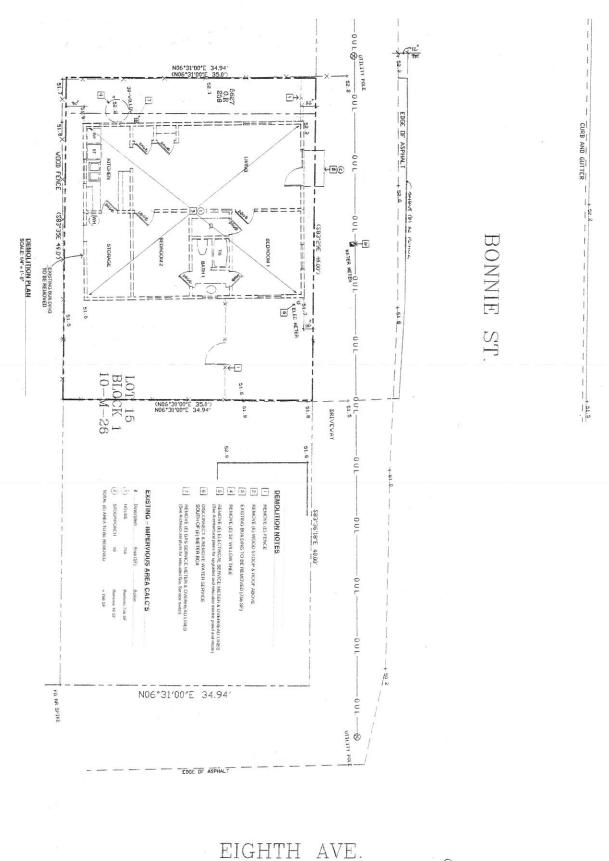


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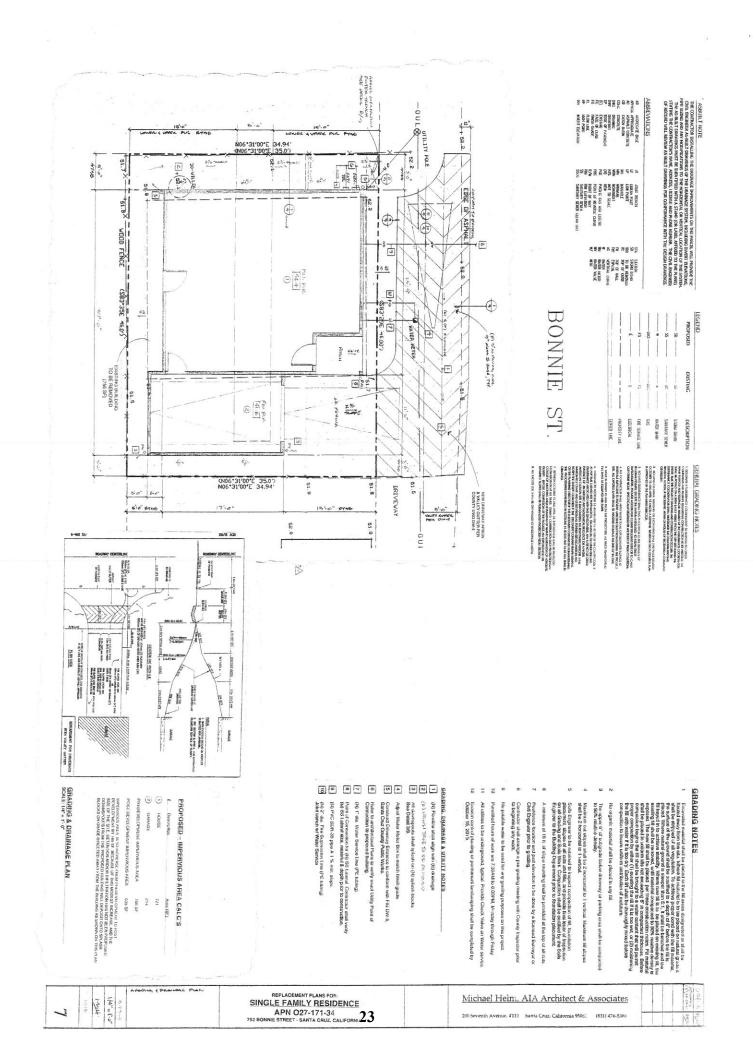
Michael Helm, AIA Architect & Associates 200 Seventh Avenue, #110 Santa Cruz, Calitornia 95062 (831) 476-5386

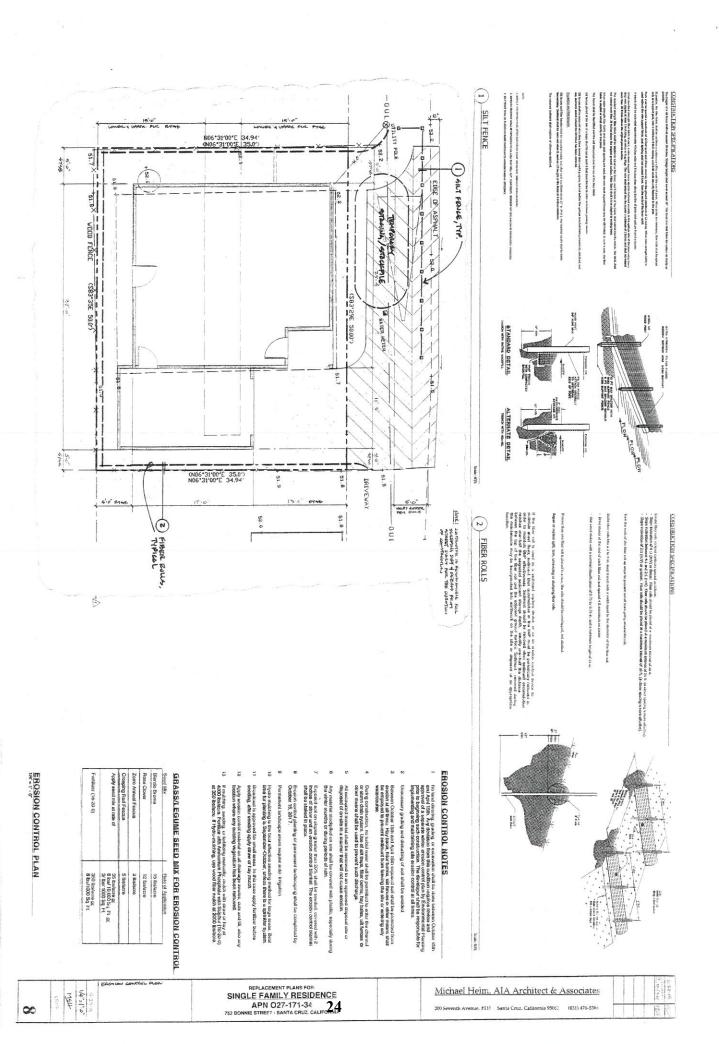
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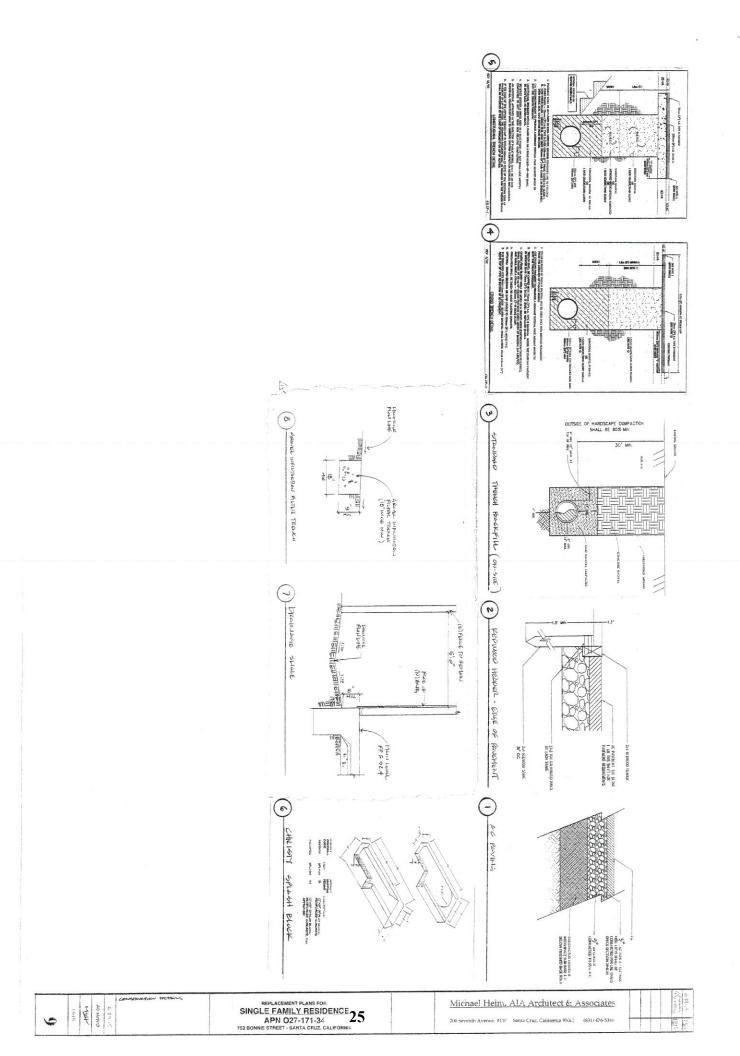




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APN 027-171-34
752 BONNIE STREET - SANTA CRUZ, CALIFORNIZ, 14 - 1 · 0. Michael Heim, AIA Architect & Associates 200 Seventh Avenue, #110 Santa Cruz, California 95062 (S31) 476-5386







## PLUMBING NOTES

- Provides cleam outer for every signification durings in dissident accepting 155 diagnosts. If the visual rupply presente acception (95 fig.), brasil an approvide present in regulation in an operated by calcinot in reducing the service present in 50 FPI or lates. Heat also a mail to protected by a flandfrow present in order of personal reducing the service of the calcinot of the service of the calcinot of the service of the Waste times shall be ABS. Waster supply piping shall be Type I. copper below grade and Type I. copper within the building. Gas piping shall be Schedule 40 black won.
- For the purpose of clustry and stugisticy, these drawings are constituting and diagrammitte to the vector that many pricease, bords, informs, appoint improgram accept (positions are not inclinated. Contractor shall verify all conditions at the site accept (positions are not inclinated. Contractor shall not expendituding of the contractor to including a shall include the contractor of the building is malificationed. Provide pressure balance or thermostatic mixing valves at tubishower (120F max.) Verity at rough plumbing inspection per CPC eec. 418. building water supply systems in which quick acting valves (vrashing chines, dishwashers, etc...) are installed, shall be provided with devices to orb-high pressures rusuling from the quick closing of these valves.
- First how rating of the water heater is 67 gallons as specified in CPC table 5-1 CPC sec. 501. nstall chlorine filters on all show
- Pre-plumb for future Solar Hot Water system
- LAVATORY VALVES PLUMBING FIXTURE MAXIMUM FLOW RATES 1.5 GPM @ 60 psi

KITCHEN FAUCET TUBISHOWER VALVES

1-8 GPM @ 60 psi

S O GPM @ 80 psi

# 

Hose Bibb	Tollet 3"	Washer 1-112"	Klichun Sink 2"	Tub/Shower 2"	avalory 1-1/2"	Type Waste
	N	1-1/2"	1:102	2015	211	Vent
		1/2"	1/2"	10 112	12 12	Hot - Cold
3/4"	1/2"	12" 12"	12 12	1/2"	100	Cold

# MECHANICAL NOTES

- The Spatien shall be installed in exocutations with the sitest edition of the Uniform Mechanical Confer Provide all explanants as advant on trainings and as needed for a complete and working greatm. Use Municachian as a schooladed or Equal appropriately the Anticach, this sills all explanant in accordance with the Manifestherian's restrictions and wight all applicable costes and standards. Manifestheria's restrictions and wight all applicable costes and standards. Manifestheria all and company of the conference of the standards of the Manifestheria and accordance of the conference of the standards are not be of the standards of the standards and the standards when the standards are standards and the standards when the standards are standards and the standards when the standards are standards when the standa
- For the purpose of clarity and legalitin, those drawings are essentially disparamental to the caster that many offents, bends, special filtings not wood classification as the east locations are not indicated. Contingtor shall verify all conditions at the sale before proceeding with instabilition, it is the septimizing of the Contingtor entitle the structural plagnity of the Conting is maintained ingell the system such that the structural plagnity of the building is maintained. All exhaust fans and fan systems must have damper controls and be ENERGY STAR compilant.
- All joints and penetrations must be sealed. Duct openings shall be sealed during construction.
- Mechanical equipment and water heaters must be certified and labeled by the California Energy Commission. Gas cooking appliances must have intermittent ignition devices and be ENERGY STAR compliant.
- Termination of ell environmental six ducts sixel be a mintrum of 3 feet from any openings into the building (ell, d'yeres, buils, d'utilly funs, onc., must be 3 feet ever yet of the control of the cont

- essed flutures shall be air-tight construction in addition bronio ballasts are required for all fluorescent tridures.
- dimning switches use LUTRON 'Maestro' series.

- vide dedicated 20-amp branch circuit to eupply faundry receptable outliet. Dryers looking units shall have a four-prong outlet with four conductor wires with an lated neutral.
- Provide exhaust tans in kitchen and each bathroom venhed to outside and sized as follows. Kothen: >et/0 of in identifized, >= 54,0h, conflucus, Bathrooms: >== 50 of in intermitient, >== 20 of in. conflucus, Exhaust fan ratings to be <= 1 sone conflucus, <= 4 sones intermitiant.
- 1(80 SE HTD Area + 7.5 X (2 Bdrms +1) = 34.3 CFM, Use 54 CFM fen min. Indoor Air Ventilation Celculation per CEC 150 (O) & ASHBAE 52 2

3 F

THIS FIXTURE SCHEDULE

programmy servesia

day back

Mendiatrias Trestas Calgoris 1060; Lang Elfay Ge P32 Rir SPC35 Balant Electronic

Marie Mill. Calcon, Depots 1982
Leng Mill. GB F02 T3 4 PX 33
Balanc Booron at
Buffler recently by the calcons took 1,54 to

## ELECTRICAL NOTES

- All Electrical Work to comply with the latest edition of the California Electrical Code
- outside, garage, kitchen and bathroom outlets to be on G.F.I. circuit.

- white decidated 20 amp clicuit to serve the required butterom outlets. This circuit not supply any other recoplactes, lights, frans, etc., (exception where the clicuit piles a single butteron, callets for other equationed within the same betteroom if he permitted to be supplied.)

- Provide smoke detectors per CBC 907.2, 10.1.1 & CRC R 314. Smoke alarms are to be 110v with battery buck-up and are audible in all sleeping areas.
- Provide a whole-building mechanical exhaust system to custoor sit at the rate of 70 cfm or greater. System to have an excessible office switch that is properly labelled. Covers or louvers to have min. 94.2 insulation value.

For wall switches and outlats use LEVITON 'Decora" rocker switches and face plates switches to 42" @ centerline above firish floor. All outlets to be 12" @ centerline ove finish floor, unless noted otherwise.

15 18 20

Pre-wire for future Photovoltaic System

New outlets in the diring room, living room, heliway, bedrooms and closets shall be AFCI protected per CEC 210.12. Provide Carbon Monoxide alarms on all habitable levels per CRC R 315.

tacle outlists shall be listed tumper resistant per CEC 406.11

- trical Contractor to submit load calculations to Building Department prior to Permit
- centrel heating equipment shall be supplied by an individual branch circuit. Verify Electrical requiraments for all Mechanical Systems.

- to being IC rated
- All joints and penetrations must be caulked and sealed
- whose suppenses transmit circuits for Nitchen wall and counter outlets. Note discults cumos serve any outside puge, range hood, disposal, dishwasher or wave, only counterrop and wall outlets including refrigerator.
- All branch clacilitis that supply 125-rols, 15 s. 20 amp outless for receptacles, lights & sender alarms insteaded in develop and before shall be proceeded by an arc least circuit interrupter (AFCI) listed to provide protection of the entire branch circuit. Light fixtures above showers and bathtubs to be labeled " suitable for damp location
- Guestinata Calving 36 0.55 250 .5 Lived 1.51 1201 Year SP-4500

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- WHOLE HOUSE EXHAUST FAN SCHEDULE

Light underly, with director Lights, Colling ourface mounted Lights, Wall workson provinted

s sydeylt, D-way iai perpasa autias, 220v

MARK MODEL TORE OFFILE OF PAUL SOHES DITAVE AURIS POWER BACKERSOHEE

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UPPER FLOOR - ELECTRICAL SCHEMATIC SCALE: 1/4"= 1'-0"

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= 10-

1/4" cl' of

1212

REPLACEMENT PLANS FOR:
SINGLE FAMILY RESIDENCE 26
APN 027-171-34
752 BONNIE STREET - SANTA CRUZ, CALIFORNIA

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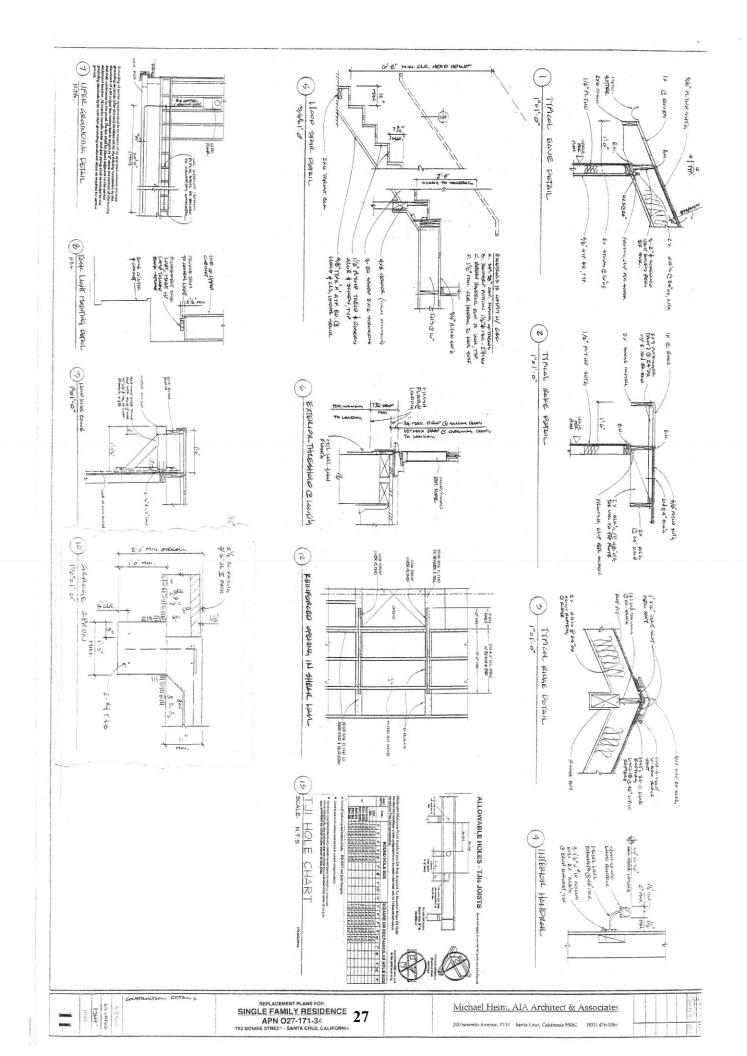
Michael Helm, AIA Architect & Associates

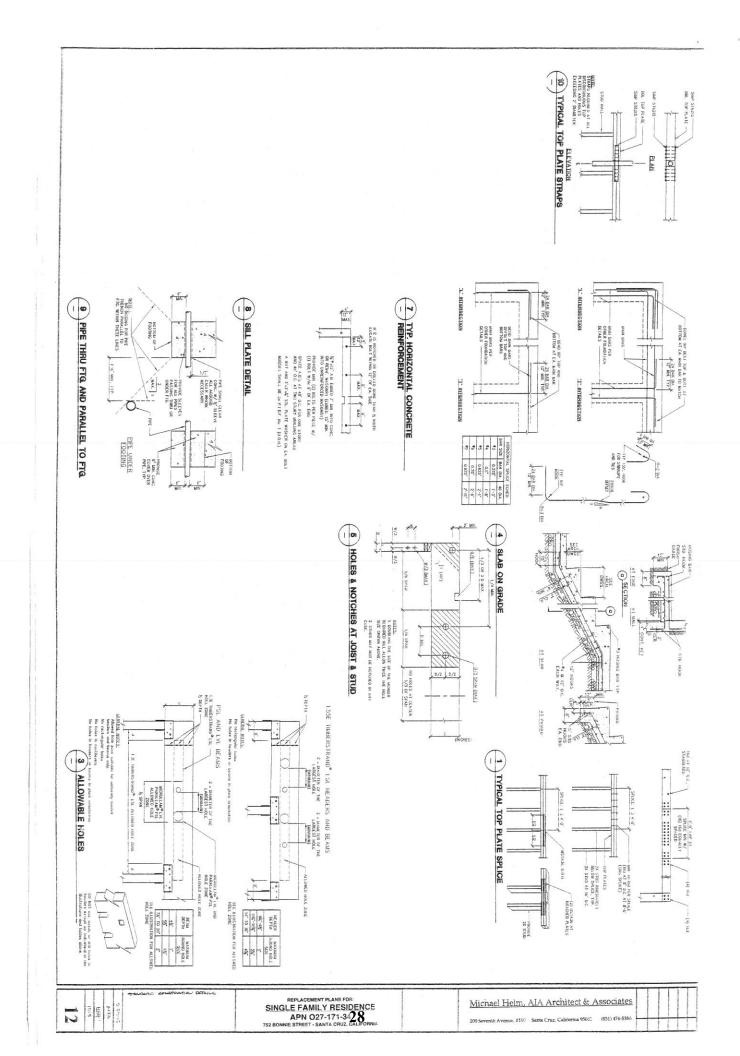
Edward fan

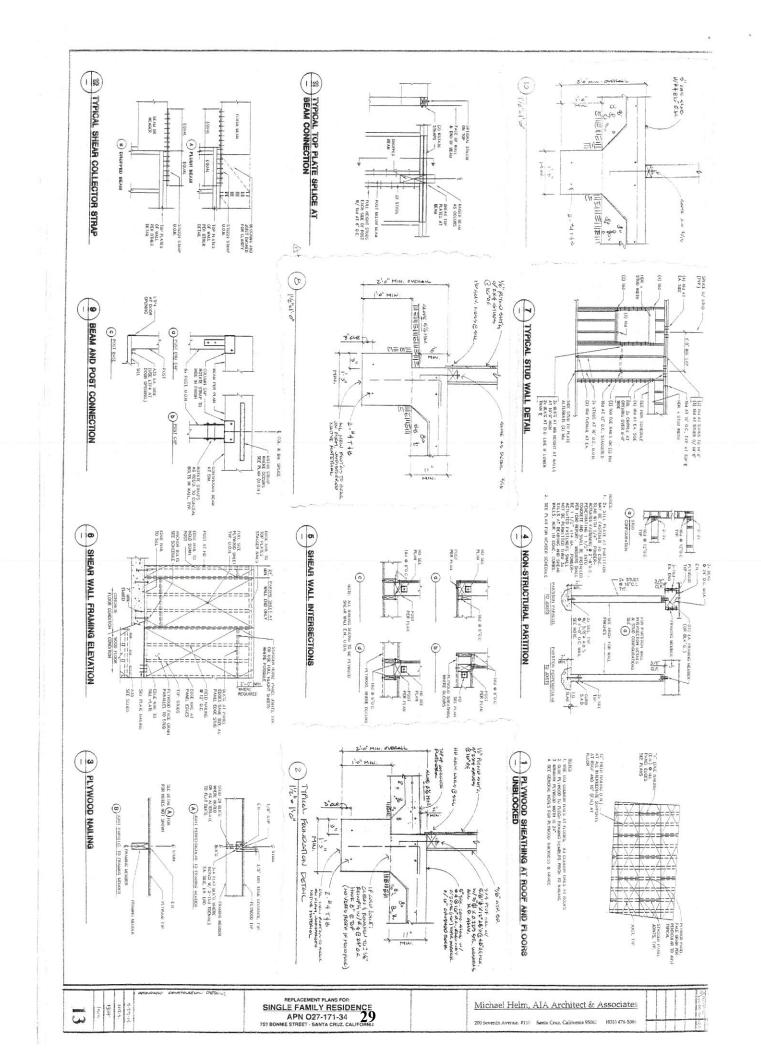
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ELECTRICAL SYMBOL LEGEND outles, 120/60/L v 12" above first hoer.

entich + 42° above fieleh floor







<ol> <li>Stude: construction grade Douglas Fix #2 (Furs 12)-c)</li> <li>Prywood Fuoring - 5/4" Douglas Fix 1"A G auterior physiols CDX</li> <li>Sub-flooring- Douglas Fix 2" x 6" T &amp; G utility dealing</li> </ol>		<ol> <li>Joists and refere: "2" to 4" tidd, 6" &amp; wider construction grade Douglae Ft #2 (Fara. 125-c)</li> </ol>	<ol> <li>Posts and Beams- 4" &amp; shicker D.F. #1(Para. 150-b) F.O.H.C.</li> </ol>	<ol> <li>Mudelle-Toundarion grade redecod or equivalent treated materials.</li> </ol>	Lumber Inspection Bureau Gradiny Rules No. 16 au amended to date. Grados to be se followe unbee noted otherwise on the plane:	ESCALING MALEKIALB  Listaning make lumber whall be arealed in conformance white the Weet Coasts	Contractor will design the lintel and flue as required by code.	See plans for extent of mesonry work to be included in this building OWNER is to edect type of rocks or brides prior to construction. The Masonry	EIRECLACE AND BLOCK WORK		d. Rainfricing steel shall be deformed, intermediate grade, conforming	Courted 5'-0' O.C. for two story of tructures and 4'-0' O.C. for single at one of the story of t	<ul> <li>Deelgn mix for 2,500 pounds per equars inch concrete at 29 Jayo. (unless noted orthornlas)</li> </ul>		the controls of that conform so the physical and chemical properties as apacified in C.B.C.	The quality of the magazine used in the concrete and the quality of	CONCINE WORK	areas are to be keyed into islands and compacted as required.	material to area designated, apreading same and finish grading and paving on areas designated. Slope finish grade to drain away from building. All fills d	See plane for extent of work, in general, the consists of preparing she exic, excavation of foundation transhes, all file and backfile, removal of excess	EXCAVATION GRADING, AND PAYING	<ol> <li>The CONTRACTOR shall make no deviations from the drawings unless euch deviations are approved by the OWNER.</li> </ol>		<ol> <li>If It CONTING UNIT BY ME REPORT IN PUBLISHING IN ACCORDANCE WITH THE BY CONTINGED OF the building as shown on the drawings. The CONTINGED ON A half furnish all engineering services necessary to the</li> </ol>		specifications, the CONTRACTOR shall bring them to the attention of the CONTRACTOR shall bring them to the attention of the CONTRACTOR. No "extras" will be allowed or approved unless a pecified	(O. The CONTRACTOR shall check and varify drawings as to ecale and	<ol> <li>All concrete elabs, walls and driveways shall be adequately protected from damage from any source until acceptance of the work.</li> </ol>	of construction. Temporary facilities, construction and equipment stall be removed.	and ready ter occupancy, thierhold euritaces caracters or analysis channaged shall be refinished, resurfaced or replaced, as the case may be. The entire premises shall be clean and fine from all debris and evidence	B. Upon the completion of the work, the building shall be broom desired	<ul> <li>a positivations, the CONTINUE'DIX will be haid responsible for any and all damage to watering adjacent property, est uctures, aldewalks, ourbe, and gustere.</li> </ul>	<ol> <li>During the execution of the work called for on the plane and in these</li> </ol>	<ol> <li>It is CONTROCLING shall provide, produce, and pay for all building primits required for this assecution of the contract and the compation of the lob.</li> </ol>			<ol> <li>Temporary waser and electricity shall be provided by the</li> </ol>	<ol> <li>It a CONYRAC (OR stall inapport the site and dendilarize timesif with all uced conditions and tasks full responsibility for maintaining ingrees to and agrees from the site as all forms.</li> </ol>		rie dome vector o en a comung anan compty met an apparent reguliermente and regulasione set forth by the latest of the California Building Code; and all applicable requirements and regulations set		b. Public Liability insurance: This policy shall cover the full hability and	<ul> <li>a. Weikman's Compensation issue ance at this policy shall cover the full labellity of the contractor and his workmen. Each sub-contractor shull be required so provide the arms for his workmen.</li> </ul>	governed by the State of California; policies as follows:	<ol> <li>Before commencing any work under shie convent, she CONTRACTOR whall have in the poscession she necessary and required insurance as</li> </ol>	GENERAL CONDITIONS	accordance with these epocifications and the applicable drawings subject to the terms of the contract.	The Work under title contract includes furnishing all labor, equipment's, appliance, and trusterists secribed for construction of the local includes	GENERAL REQUIREMENTS
		T.	straight area. Keep elisetrock within 2010" of all rough in power.	of hanging. Do not treak jointe at plates in stair sells, header connections, or at plates on two story high walls. All recessed Mechan lights to have dean	They may be awad prior to covering with adywest. Operate over mours to exace the protect and present of the fittels wood outfaces. All doors and wholese with a fittel to do the mount of the fittels would be compared to the fittels of the second of the control of the fittels.	finds crooked walls or had joints occurring in the frame ethockers then those should not be covered but brought to the attention of the CONTRACTOR so	All Exterior corners to have metal edges. The bear workmanning and construction practices are regulated. In the earnt the Drawall Contractor	me-rased gypoun board petwen garage and none where indicated on the drawings, and under esalways.	coased, flashead, 150° long, Taging, "Ferfetape" joint reinforcing tape and cement as manufactured by U.S. Gypsum Co. Use 50°, sype"X" one hour	on the drawings. Wall beard shall be Vt.º recessed edge type board such as manufactured by U.S. Gypsum Co. or equal. Nalls 5d-15 V2 gauge, remains	includes a complete gyptem board yall and ceiling installation so indicated	DXTWALL:	UNDERLAYMENT: Use 378" partide board under all resilient flooring except for light second fluid 18" at of an 177" in and 6" in field earth way.	d. Floor: "see Product Manual.	<li>Clothes Pole-Hardwood 1-5/6" flamorer, Provide an insermediate support for spane longer than 4-O*.</li>	<ul> <li>Shiftwa - 3/4" plywood or particle poated with gland-on solid edge or plactic lid. Solid pine shaftes may be used as a substitute.</li> </ul>	CLOSETS: Paint House	MUCH DALLE SALE & SALE & BALL & BOOKEN	handralla.	All exterior redivioud decking is to be installed in a craft-emanilio manner. Sand all misered corners and exposed edges. Remove all sharp edges from	exterior.	All excernal fascions shall be exerted. No burst joints or espected boards will be allowed 4.8 telescopenately me about 4 to 1 t	IKIM WORK	<ol> <li>Frontia Do equare siches of fload ventes per car to outside air within 6° of garage floor.</li> </ol>		19. Provide fire blocking at floor, ceiling, covers, and mid-height of walls over	17. If home has an underfloor crawl area, provide 2 equare feet of year space	recover computation are for turn assaud waser featurer in equated. Confluencing at final-case to be located at this fit of floor and celling. Provides 6° clearance between furnace and combustibles.		<ol> <li>Provide an artic access of a sistest 22" x 50".</li> <li>Open flame for furnace and water heater shall be 10" above floor level if</li> </ol>		13. All required hundralls are to be 56° high and constructed to the withteam of a herizontal force of 20 pointing par finals front, applied as the top of the railing. Maximum specing in hundralls shall not.		<ol> <li>Unises indicated otherwise all headers are so be 4" x 12" D.f. #2.</li> </ol>	width of the provide installment community of "-O" min. Install handrada as required 54" to 55" above treads.			Use centent coated 16 <sup>st</sup> winder nalls for framing.     Provide an 18 <sup>st</sup> x 24 <sup>st</sup> minimum section area to underedde of home.			5. Use anchor hold type takin for all plywood flooring.				2	<ol> <li>Shearthing Paper - #30 Bldg, paper Kraft type or squal</li> </ol>		Exposed colling -select Plan T & G Applica	
inclusive of too weakfirm landing. Surfaced shall be standed amounts was now and lamperfaction in this wood ashall be follow this material dots the stands can see the feath. All feathers intend factory filled this little stands on soil to granted or findished whether positionally mentioned benefit or note.	proper condition to reache werne, Each coss shall be applied as the proper condition to reache werne, Each coss shall be applied as the proper consistency, free of runs, sage, trush nurse, pays to rue, or any other actions of common action as the beautiful as a second to the conditions of the conditions as the condition of the conditions as the condition of the conditions are conditioned as the condition of the conditions are conditioned as the condition are conditioned as the condition as the condition are conditioned as the condition are conditi	WORKMANSHIP: No painting or finishing shall be done under conditions which poparatize the quality of the work. Surfaces to be finished shall be in	MATERIALS: Paint materials shall be as manufactured by the Kelly-Moore Co. or an approved equal, unless otherwise noted.	PAINING		SPECIAL NOTES:	An allowance of \$12 to be made for hibsh surework. This is for include all door knobs, cabinet handles, door, pulls, towel bars, paper holders, sec.	HARDWAKE			SPECIAL NOTES:	plane glasse.	See drawings for size and locasion or shower doors and narows. Shower doors to have ancrowed electromost class. Naroya to be 14 ° odioted	SHOWER DOOKS AND MIKKOKS		SPECIAL NOTES:	guaranteed water right and any glass much treat treats on a general cuts glass to most whishnum C. B. C., requirements.	See drawings for size and location of flood glasse. All glasting shall be	EVED GLASS:		SPECIAL NOTES: province com-e gloss, provide	approved equal, frowle screens for all openings, Windows shall be straight, plamb, and true, and chall operate easily without bluding.	See drawings for size and location of windows. Windows to be or	WaliDORS:		SPECIAL NOTES:	garage. States as Indicased on drawings. Pocket door frances to be Norgal or south	aball be 15/8 " solid core door with self-dooling high between human from and Provide 15/8 " solid ore door with self-dooling high between human and Provide 15/8 " solid ore door with self-dooling high between human and	COUNTY The street leaving and some of Joseph needed institute doors.	í	ANCHIBER PAPERSO	Catherine sources of a sale with the source business of a street of a street of a street of a sale of a sa	SPECIAL NOTES:	RODANG.	SPECIAL NOTES:	Provide wonte to kitchen fane, bath fane, gas ranges, gas heaters, and any other areas indicated on the drawings.	guster so be straight with all inseresetion soldered. Do not use shore places.	Downspouls whall be of round design unless noted otherwise. Offsets shall be fellowed former to out to shall be feld and waterbalks. Finding	solder and be watertight. Free adges projecting from adjoining eurfaces shall have mesal bent on least. Natia shall be copper.	flashing, counter flashing and an other shade mean the exponency a part or other trades. Fatrication and intendiation in accordance with the book workmanteh; standards in required, Doldared joints whall have combinuous workmanteh; and standards in required, Doldared joints whall have combinuous	All sheet metal shall be 36 4.4.5 per unless indicated otherwise on the drawings. Sheet metal work includes chinney eaddles, gutters, downspouse,	SHEET METAL:	Epscial Noise: Provide S-1/2" sound Insulation between floor's and in walls around at bathrooms, all bedrooms and laundry room.	4			Guilling: R-30 & FLAT CULS.		
						irresponsations that critise additional time and experted to the guidral contractor. Sub-contractor will be changed for such litera as timy may occur for a petiod of one year after the home is completed.	<ol> <li>All sub-contractors will be responsible for clanages caused by: poor workenamelilip, system failures, breakage, or their employees</li> </ol>		responses for and mass good all defoces date of railes of happy of maschaus in the work included in the contract for one year following the completion of the defluxing.	1. The CONTRACTOR and all out-contractors shall guarantee and be	GENERAL HOTES:	Constitution in Commission of the Constitution	and the state of t	The eyerem to be designed and installed by the Contractor duing the installed in The of suction.	HEATRIG SYSTEM:	Provide an allowance of a IPD / PER. for fixtures not apacified on plans and normal installation.		recessed, under counter, and softs lighting if hadcated on plane.	agining, including control amediae, no ear a charges was no paint or furnishing teams not apecified in the plane but required by the local electrical codes. Provide glocals as standard team, Provide till electrical codes.	The Euckrical Contractor will design his system for a complete and operating system. The drawings show only the location and type of outers.	ELECIBRIAL		Contract contract of the Contr	SPECIAL NOTES:	or more it ne sets or tils house inaceses, rionae parteral to automate debraceber. Provide prossure relatively valve a rester heater. Provide a cresoure addicer if valve research accorde SO PSI.	etc. required. Stop valves should be at each fluture or appliance. Flumb system for fluture soft suare system. Flumb for a least 4 extentor hose blow or more if the above detail bound influences. Product alumitation for automatic	accommodate the fidures served. The flumbing Contractor shall make all necessary connections to utilities shown on plot plan and install all piping.	The Flunishing Contractor shall design and install a complete planting every entitle to the develope. From a shall be about adjactately to		Furnish and install the following:	KITCHEN APPLIANCES:	MALL TOWN YOU GENTLAND CONTENT CONFECT	Ceramic the floors are not induced in this allowance.	An allowance of § 75/62(0), is to be made for floor coverings. This is to include all realisms flooring, campets, and wood floors used in the project.	ELODBING MAYERIALS		SPECIAL NOTES: LIEB PLANTER MENUAL FOIL SIPECTS	nest, symmetrical and all fines rue and straights, dearts and tile shall be thoroughly washed. Owner to salest color.	The shall be installed in accordance with the best methods and construction or actions. I less are to be souled before applying and joints are to be kept	INE	Use Solvent Frage Applicatives		Condition.  Apperta Materia	operate cere obtaind by states to properly institutal woodwork, work of the real states of the conditions, clean and accurate so so as note to destroy fitted not natural wood surfaces. All surfaces not intended to have paint said by loft in dean	ucoprosed. Drywell in kischen and besthamae so be easiled and estippied. Other drywell arcae to have one cost of interior flat intexwell fluids.  Availed cream should be selected to the interior flat intexwell fluids.	INTERIOR SURFACES: Hatural woods use send transparent stain and sealer. Cabinets and wood doors to be sanded, stained, sealed, and	otherwise. Exterior doors use two costs of exterior type spar variable. Prime all galvanized metal and cost with exterior flat enamel.	EXTERIOR SUXFACES: Wood aiding, trim, fauda, dacke, Jeanne, railinge. treat with a semi-transparent or heavy body penotrating stain unless noted.	
									Pentanera Kepal, Anatamanak Gandup Segupani Gisena sana en Pelanter I. SECE. Mara lathemation il resolute timo de Jar Essucreta Bosel	Designation  The specifies Continues to earth or within an angued from the state of	District of VAC per time of command, without the state and introduced products.	Yanarujik nosterna 20 It set neinge	Tools and research	Jereth and and an and an anomalo AR 500	SALISMENT STREET. SEE	Angel ance 20	Pricement and Lines 68 Pricement 68 Pricement of the Pricement of Administrated 69 Pricement 68	Track model arrange 960  Shadik salamanga malaya 980  Managarina menana 980	Marchine de propose de de la 1888 Marchine de propose de 1888 Marchine de	Construction and about 100 100 100 100 100 100 100 100 100 10	The interior conducts ANI	Securitarion mitto 189 Emiliarios 191 Emiliarios 191	International In	Activated femine 50  Automatication period 50  Decimal and article 50  Ingritted and article 50  Ingritted and article 50  Ingritted and article 50	De la constitución de la constit	Zursetu	VICE CONTINUE LANGE & PARK ACCOUNT Graums of VCCC pro-Libra Lane Water band Lane Comm	~	genell is antermane with AFFA II (190-0) Offer (1) for additional inference size, and California Cache of Baydelman, That FL Braining SFLSH 691048 50(2) II.  This made an integry Borbeaut has a vactorium Bildman of Fl Salbon.	The material family flatformed. (b) (b) (b) (c) (c) (c) (c) (c) (c) (c) (c) (c) (c	Printered arrand mounts are, 39, 640 (	Nonmous Purchastiphydis Estimation in Parts per calling Company Company Laboration (Ass.) Practically Laboration (Ass.) Practically Laboration (Ass.) 187	Late L county	Joint Marketing 202  Joint Marketing 202  John		Andreas St. 222  Andreas St. 222  Local da and seathers 221	Account of the Control of the Contro	Table 1.56.2 Listant VOLUME Listant	with all injuries WCC communicated by distances.  The conditional distances are produced produced by WCC colored produced in the colored produced by WCC colored produced by W	District State of the Control of the	Marie a seed.  Proses foots: 30	S Resid control proper selection 120  Description selection 15 15 15 15 15 15 15 15 15 15 15 15 15	All memers. 322  Zhang agent sathur. 322  Affilian action for mission. 329  Campa a liquido. 188	Discribe 198	Occument alterna authories col cocon 178 South side and searchests of cocon 178 South alternational states 179 South alterna	Constitutional state on 18 Constitutional State of the St	And an administration (6) And an administration (6) Completely referring (7) XXT and see An american (7)	Scotter area district. 20 Strate area district. 20 Strate in the district. 20	Lactor data adeques.
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Drip Irrigation Notes

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Nonpressure Pipe Sizing Guide

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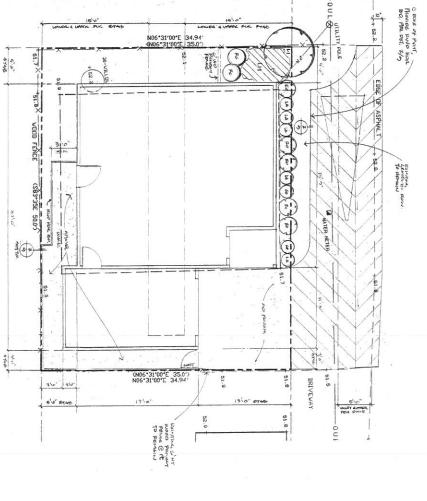
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LA 1 gal

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SESHI

BONNIE





PLANT LEGEND GROUND COVER Shrub Planting No Scale LANDSCAPE PLAN On more condeplant leaves in Javas high colorage are that evoluting books to suck bounded in which taken his local. Top of the control allocate are no leak of 2 higher hists pract of soid. ree Planting the last that I doubt the children is 6 has dark that the children for place has problem in problem to problem in problem. In program, it is not problem for place has problem in problem. In problem is problem, in problem in problem in problem in problem in problem. In problem is problem in the problem in t No Scale [78] this membraise of the first with beadest used peach it such as not brown, restricted.

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SINGLE FAMILY RESIDENCE
APN 027-171-34
752 BONNIE STREET - SANTA CRUZ, CALIFON 1/4"=1:0" Michael Helm, AIA Architect & Associates 平 200 Seventh Avenue, #110 Santa Cruz, California 95062 (831) 476-5386

# REPLACEMENT PLANS FOR: SINGLE FAMILY RESIDENCE APN 027-171-34

752 BONNIE STREET - SANTA CRUZ, CALIFORNIA

#### MATERIALS / COLOR BOARD

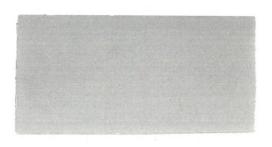


ROOF:

ASPHALT COMPOSITION SHINGLE

ROOFING,

COLOR: WEATHERWOOD



WALLS:

FIBER CEMENT 'CEDARMILL' HORIZONTAL

LAP SIDING, PAINTED COLOR: LIGHT GREY

WINDOWS, DOORS & TRIM; VINYL SASH W/ DBL. INSUL GLASS

COLOR: WHITE

**GUTTERS**:

4" - 24 ga. BEVELED METAL FASCIA GUTTER

COLOR: WHITE

April 22, 2016

**Dave Cury** 200 7<sup>th</sup> Avenue, Suite 190 Santa Cruz, CA 95062

Project: 752 Bonnie Street (APN 027-171-34)

Phase: Tree Impact Assessment

As you requested I have reviewed the plans for residential development at 752 Bonnie Street in Santa Cruz County. The project includes the demolition of an existing older residence and construction of a new single-family home. The plans were prepared by Michael Helm, Architect.

#### **Observations**

The site is a small residential parcel with an older home surrounded by a mix of other residential and commercial buildings.

One mature locust (*Robinia sp*) tree 30 inches in trunk diameter is growing on the property, just at the edge of the house (pictured). The lower portion of the trunk and buttress are jammed into the outside wall.

The tree is in fair health; the foliar canopy is concentrated at the top of the tree and has been pruned to provide clearance for the adjacent office building, which has multiple floors. The canopy extends over both structures.

Tree structure is poor. The limited growing conditions are obvious. The structural root system, which is responsible for anchoring the tree, has had to develop under the foundation of the existing house. The tree leans toward the adjacent office building.

Stem/branch attachments are weak with areas of crowded branching and included bark.





#### **Project Impacts**

To evaluate the impacts to the tree I reviewed the architectural plans prepared by Michael Helm. The project proposes the demolition of the existing residence and construction of a new home.

The impacts to the tree include excavation into the supporting roots to demolish the existing foundation. The removal or damage to roots in this area will destabilize the tree and could lead to whole tree failure.

Failure of the tree could cause property damage or injury to the adjacent office building.

The tree meets the criteria as a "Significant Tree" in the County of Santa Cruz and is protected by several sections of County ordinances. The Significant Tree Protection ordinance seeks to preserve significant trees and forests communities and to protect and enhance the County's natural beauty, property values, and tourist industry (Section 16.34.010).

Santa Cruz County staff will review the project and if approved a permit to remove the tree will be issued.

#### Recommendations

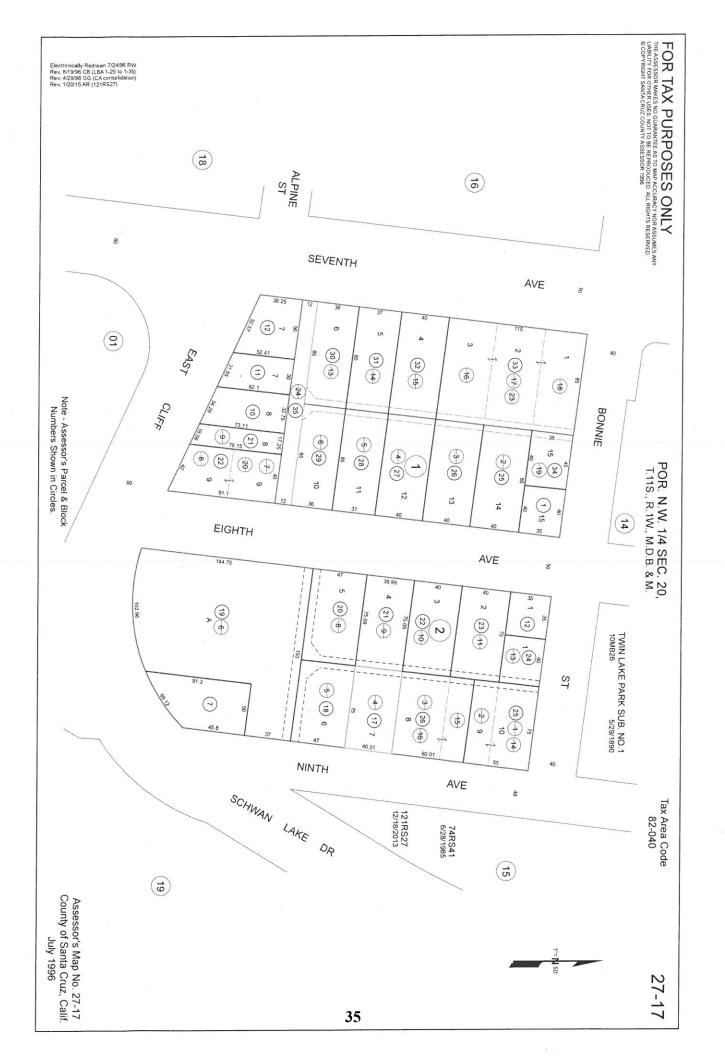
The removal of the locust tree will be required to demolish and develop the site as proposed. There are no options available to reduce impacts and allow the retention of the tree.

The completed project may not provide adequate space to install a large species replacement tree. The site should be re-evaluated once the plans are approved to provide recommendations for a replacement tree.

Please call my office with any questions regarding this report.

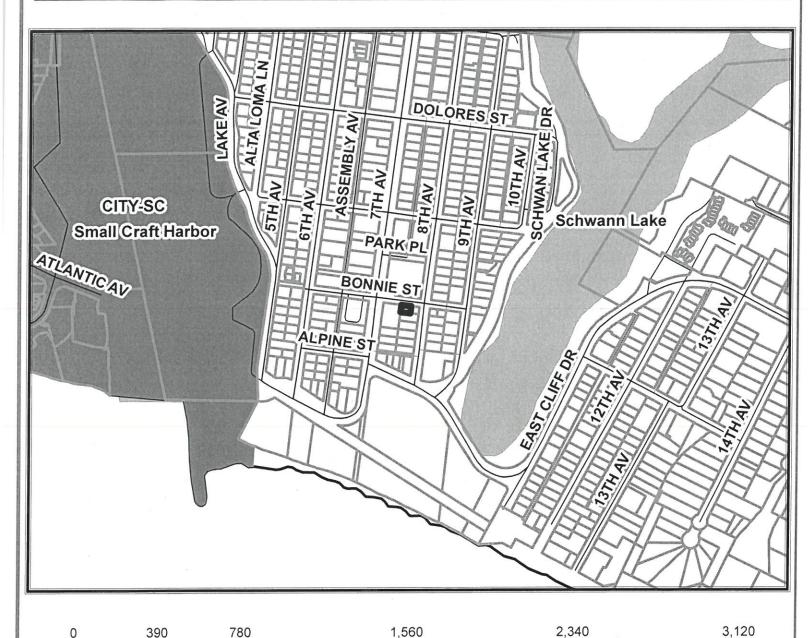
Respectfully submitted,

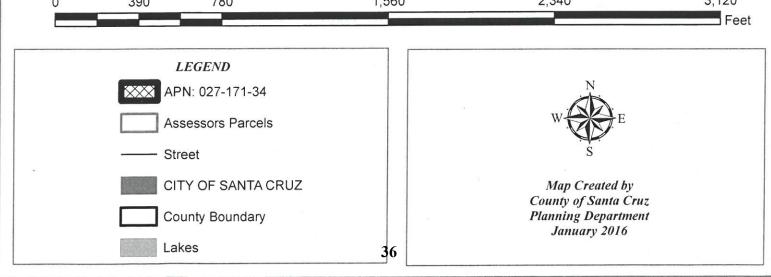
Maureen Hamb-Certified Arborist WE220





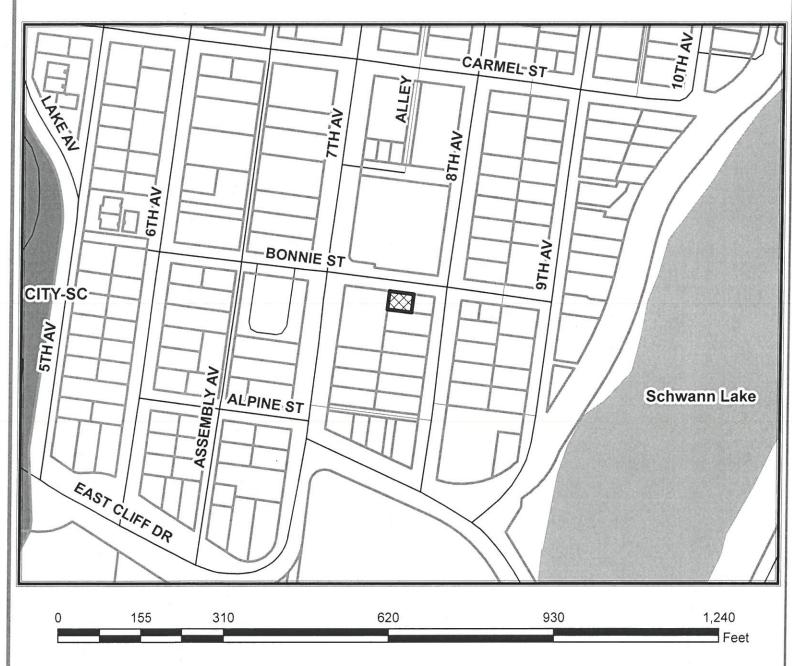
### Vicinity Map

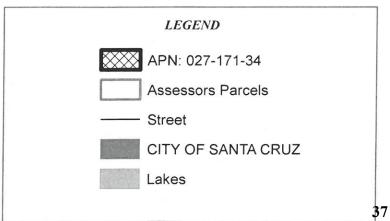






# Location Map



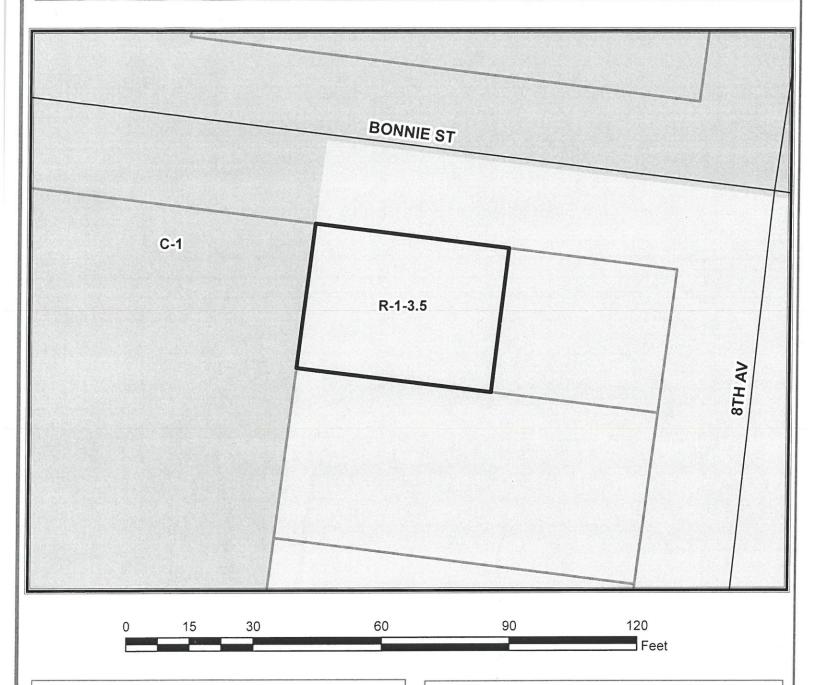




Map Created by County of Santa Cruz Planning Department January 2016

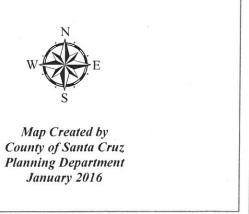


# Zoning Map



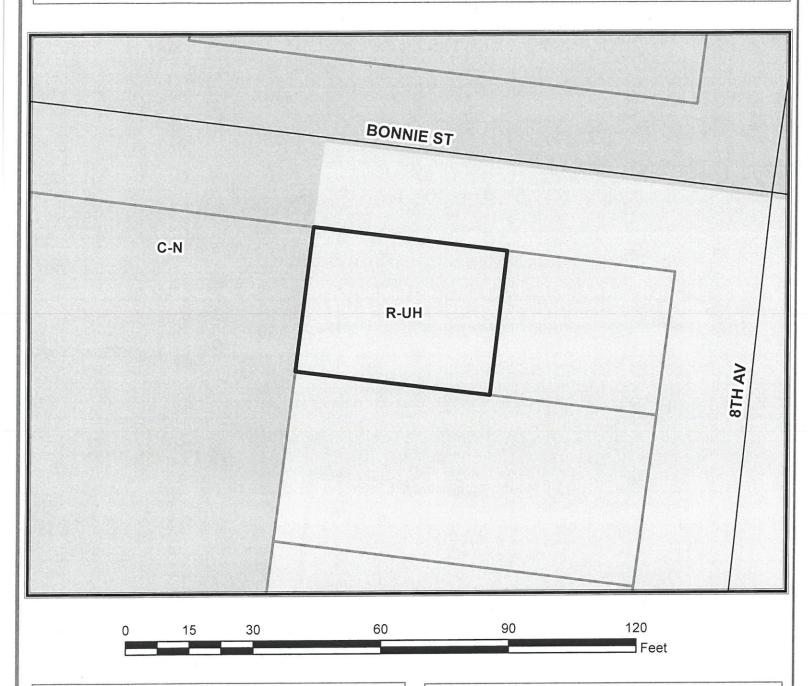
38







# General Plan Designation Map

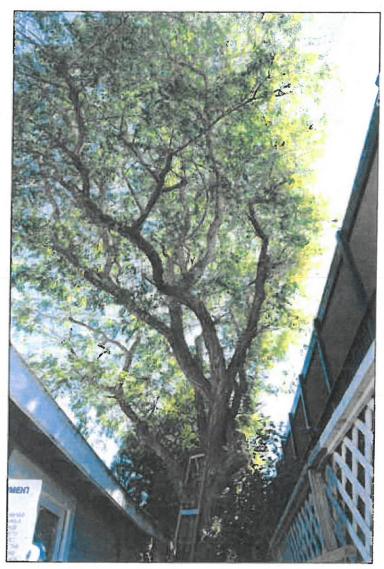






Map Created by County of Santa Cruz Planning Department January 2016

# Save the Bonnie Tree!



Significant

This lovely Heritage Tree, at 752 Bonnie Street, will be destroyed unless we act NOW! In addition to seeking the destruction of an ancient shade tree, the corporate developer has applied for substantial variances to permit construction of an oversized house on a tiny lot. They have requested numerous variances to HUGELY reduce ALL the required setbacks! They want to reduce the 15 ft yard setback to 2 feet!!!

They want to increase the allowed floor area ratio from 50% to 75%!

They want to increase the allowed 40% lot coverage to 60%!

And, finally, they want to reduce the parking requirement from 3 parking spaces to 1! WHAT??!!

When the developer bought this property, they KNEW it was home to a large Heritage Tree. Now, with callous disregard for our community, they are seeking a waiver to destroy it. There is no justification for our planning department waiving the protection we owe to this tree!

# This is the notice posted at 752 Bonnie St

# NOTICE OF PROPOSED DEVELOPMENT

#### Application #151349

PROPOSAL TO DEMOLISH AN EXISTING SINGLE FAMILY DWELLING AND TO CONSTRUCT A NEW 1,180 SQUARE FOOT TWO BEDROOM SINGLE FAMILY DWELLING WITH A 225 SQUARE FOOT ATTACHED GARAGE. REQUIRES A COASTAL DEVELOPMENT PERMIT AND VARIANCES TO REDUCE THE REQUIRED EAST SIDE YARD FROM 5 FEET TO 3 FEET, REDUCE THE REQUIRED 15 FOOT REAR YARD TO 5 FEET, REDUCE THE REQUIRED 15 FOOT YARD SETBACK TO 2 FEET FOR THE HOUSE AND 10 FEET TO THE GARAGE, INCREASE THE ALLOWED 40% LOT COVERAGE TO 60% AND INCREASE ALLOWED FLOOR AREA RATIO FROM 50% TO 75%. PROJECT INCLUDES A PARKING VARIANCE TO REDUCE THE PARKING REQUIREMENT FROM 3 SPACES TO 1 PARKING SPACE AND SIGNIFICANT TREE REMOVAL PERMIT FOR THE REMOVAL OF A 30 INCH DIAMETER LOCUST TREE.

PROPERTY LOCATED ON THE SOUTH OF BONNIE STREET MIDWAY BETWEEN 7<sup>TH</sup> AND 8<sup>TH</sup> AVE (752 BONNIE STREET).

#### APN 027-171-34

FOR FURTHER INFORMATION CONTACT:

#### APPLICANT:

MICHAEL HELM, ARCHITECT 200 – 7<sup>TH</sup> AVENUE, #110 SANTA CRUZ, CA 95062 (831) 476-5386 msh@michaelhelm.com

#### PROJECT PLANNER:

NATHAN MACBETH
PLANNING DEPARTMENT
701 OCEAN STREET, 4<sup>TH</sup> FLR
SANTA CRUZ, CA 95060
(831) 454-3118

nathan macbeth@santacruzcounty.us

Note that the (corporate) developer has deceptively given the tree size in diameter rather than circumference, which is the legal requirement. This makes the tree "appear" to be smaller. The size required to qualify a tree for "Heritage Protection" is 40" circumference at 48" above the ground. The actual size of this tree, measured at 48" above the ground, is a massive 101"- more than double the size required for protection! It is important that our community speaks with one voice to prevent this ongoing destruction of our unique ecosystem by corporate speculators.

Please call the project planner, Nathan MacBeth at (831) 454-3118 or email him at nathan.macbeth@santacruzcounty.us and let him know how you feel. Let's save the Bonnie Tree!!!

From:

Ellen Wild <wildwoman12@gmail.com>

Sent:

Tuesday, December 13, 2016 3:40 PM

To: Subject: Nathan MacBeth Save the tree!

Dear Mr. Macbeth,

I write to URGE you to save the beautiful tree at 752 Bonnie St. Our big/old trees are one of our greatest assets, and need our help to preserve their gifts. It is far more important to save them than to allow developers to get rich. Yes, we need housing, but trees and housing do not need to be mutually exclusive. Please help us find better ways to manage both.

Thank you for your consideration.

Ellen Wild 845 Paget St. Santa Cruz CA 95062

From:

Kischka Bluspiro <kbluspiro@gmail.com>

Sent:

Tuesday, December 13, 2016 3:34 PM

To:

Nathan MacBeth

Subject:

Please reject petition to remove Heritage Tree

Dear Mr. MacBeth,

I am writing to request that the county not approve a permit to remove the heritage tree located at 252 Bonnie St. When our county put a heritage tree in place, it was to prevent large shade trees from being cut down. However, my experience with the county shows that almost all requests for a waiver are allowed, and most, if not all, of these lovely trees end up being cut down to make way for more development. Please uphold the heritage tree ordinance and do not allow this tree to be cut down.



Kischka Bluspiro 2370 Paul Minnie Ave. Santa Cruz, CA 95062

From:

Vicki Downey <victoriasc27@gmail.com>

Sent:

Tuesday, November 29, 2016 4:53 PM

To:

Nathan MacBeth

Subject:

Bonnie Street Development

Dear Mr. McBeth,

Please think long and hard about the proposed development on Bonnie Street as well as the removal of the tree there. As you know, the entire Seabright neighborhood seems to be under seiche from overdevelopment as well as tree removals in the entire city. The areas are becoming too overcrowded and the trees too scarce. Please do what you can to mitigate some of this.

Thank you,

Victoria Downey

Sent from my iPad

From:

Jean Brocklebank <jeanbean@baymoon.com>

Sent:

Thursday, October 13, 2016 7:47 PM

To: Subject: Nathan MacBeth 752 Bonnie Way

Hi Nathan ~

Apologies for one more question about the project at 752 Bonnie Way.

We are planning a visit to family in lowa, so I really want as much notice as possible about a hearing date. Are you able to tell me if such a hearing will not be scheduled prior to November 9th or 16th?

Thanks in advance for your answer!

Jean Brocklebank

From:

Jean Brocklebank <jeanbean@baymoon.com> Sunday, October 09, 2016 6:34 PM Nathan MacBeth

Sent:

To: Subject:

752 Bonnie Street

Dear Nathan ~

I am interested in the proposed development at 752 Bonnie Way. Please inform me of the date scheduled for this to be on the Planning Commission's meeting agenda.

Thank you, Jean Brocklebank 7th Avenue resident

From: Sent: To: Subject:	Jean Brocklebank <jeanbean@baymoon.com> Tuesday, October 11, 2016 8:47 AM Nathan MacBeth Re: 752 Bonnie Street</jeanbean@baymoon.com>
Thank you, Nathan.	
Do you have an idea of when, in general, it might be? In other words, another month, two months, two weeks?	
I want to make sure that I e	mail my concerns to you in a timely manner.
Jean	
On Oct 11, 2016, at 8:41 AM, Nathan MacBeth wrote:	
<ul><li>&gt; Jean,</li><li>&gt; This project is not current</li><li>&gt; Thank you,</li><li>&gt;</li></ul>	ly scheduled for hearing.
<ul><li>Nathan MacBeth</li><li>Development Review Plan</li><li>County of Santa Cruz</li><li>Original Message</li></ul>	
<ul><li>&gt; From: Jean Brocklebank [r</li><li>&gt; Sent: Sunday, October 09,</li><li>&gt; To: Nathan MacBeth</li><li>&gt; Subject: 752 Bonnie Stree</li></ul>	
> > Dear Nathan ~	
>	
> I am interested in the prop be on the Planning Commiss	posed development at 752 Bonnie Way. Please inform me of the date scheduled for this to sion's meeting agenda.
>	
<ul><li>&gt; Thank you,</li><li>&gt; Jean Brocklebank</li><li>&gt; 7th Avenue resident</li></ul>	

From:

Sent:

Tim Woods <timjam49@gmail.com> Thursday, September 22, 2016 1:50 PM Nathan MacBeth

To:

Subject:

Bonnie tree

Mr. MacBeth,

Please preserve the Bonnie Tree on Bonnie & 7th Ave.

Thank you,

Tim Woods

timjam49@gmail.com

From: Sent: Timothy Gillett <info@pondmagic.com> Tuesday, September 20, 2016 4:15 PM

To:

Nathan MacBeth

Subject:

Significant tree 'locust tree' at 752 Bonnie Street.

#### 9/20/16

To whom it may concern,

I am writing to oppose any action which might be taken to harm the wonderful 'locust tree' at 252 Bonnie Street. This tree which measures 101" circumference around its trunk at 48" above the ground is a landmark tree in the area. The developer who owns the property needs to find a way to keep this tree when he develops the property. I own a business and rent office space in the building at 180 7th Street and this tree adds great ambience for those of us that work here.

In particular the view of the tree from the kitchen and upper and lower decks.

Yours sincerely

**Timothy Gillett** 

info@pondmagic.com cell 8312-234-8311

From:

Tim Woods <timjam49@gmail.com>

Sent:

Tuesday, September 20, 2016 2:24 PM

To: Subject: Nathan MacBeth 752 Bonnie St

Mr. MacBeth,

I called you yesterday and left a message.

I work in the neighborhood where this property is and have noticed the sign and plans to remove a tree.

I hope this tree can be left alone as it provides valuable shade and privacy that would be lost should a two story building be built on that site.

Also, the number of variances being asked to develop this property seem excessive.

Thank you for considering this matter.

Best,

Tim Woods 831 462 0700

Tim Woods timjam49@gmail.com

From:

Rosalie Bruning <rosalie@rosaliebruning.com>

Sent:

Monday, September 19, 2016 7:53 PM

To: Subject: Nathan MacBeth 752 Bonnie Street

Dear Mr. Macbeth,

It has come to my attention that the proposed plans for 752 Bonnie Street include significant variances. I am particularly concerned about the threat to the 101" circumference heritage tree, as well as the reduced setbacks and inadequate parking. Please don't let this project trample the well-formulated legal protections for the neighborhood, community, and environment.

Thank you, Rosalie Bruning 180 7th Avenue, Suite 107

From:

Maura Kelsea <mkelsea@baymoon.com> Saturday, September 17, 2016 4:34 PM

Sent: To:

Nathan MacBeth

Subject:

Re: 752 Bonnie Proposed Development

Dear Mr. MacBeth,

In regard to the variances and destruction of a heritage tree for this development, I feel it should be denied. If the tree size is measured by the correct method, using circumference rather than diameter, at 48" above ground it is 101", well above the 40" designation for a heritage tree. The loss of our urban forest is a significant issue, in this drought time. The value of the large trees in shade, cooling, oxygen/CO2 exchange cannot be measured by mere dollars.

Additionally, the variances requested are much too small for neighbor comfort. Please deny this proposal for tree removal and requested variances.

Thank you,
Maura Kelsea
mkelsea@baymoon.com
831-427-9866
229 Cayuga St
Santa Cruz, CA
95062

From:

Jáson Segal <jsegal@cityofsantacruz.com>

Sent:

Tuesday, January 10, 2017 3:55 PM

To:

Nathan MacBeth

Subject:

RE: 752 Bonnie St (027-171-34)

Hello Nathan,

After reviewing the upcoming planning commission agenda on the proposed existing SFD demo and rebuild, the City's comments are to submit a full set of building permit plans directly to the Santa Cruz Water Engineering Division for further review to determine water permit fees and water/fire service requirements for this proposed project. Thanks,

Jason Segal

Engineering Technician/Cross-Connection Control Specialist City of Santa Cruz Water Department

O: (831) 420-5173 || E: jsegal@cityofsantacruz.com