



Staff Report to the Zoning Administrator

Application Number: **151349**

Applicant: David Cury
Owner: David Cury Park Place Enterprises
APN: 027-171-34

Agenda Date: 1/20/17
Agenda Item #: 1
Time: After 9:00 a.m.

Project Description: Proposal to demolish an existing 756 square foot single story residence and construct an 1150 square foot two-story single family dwelling with attached garage. Requires Coastal Development Permit and Variances to reduce the required east side yard from 5 feet to 3 feet, reduce the required 15 foot rear yard to 5 feet for the house and 3 feet for the garage, reduce the required 15 foot front yard to 2 feet for the house and 13 feet for the garage, increase the allowed 40% lot coverage to 59% and increase the allowed 50% floor area ratio to 72%. Project includes a parking variance to reduce the parking requirement from 3 spaces to 1 parking space and removal of a 30 inch diameter at breast height Locust tree.

Location: Project located on the south side of Bonnie Street midway between 7th Ave and 8th Ave (752 Bonnie Street).

Supervisory District: 1st District (District Supervisor: Leopold)

Permits Required: Coastal Development Permit and Variance

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 151349, based on the attached findings and conditions.

Exhibits

- | | |
|-----------------------------------------------|-------------------------------------------------------|
| A. Categorical Exemption (CEQA determination) | E. Tree Evaluation |
| B. Findings | F. Assessor's, Location, Zoning and General Plan Maps |
| C. Conditions | G. Comments & Correspondence |
| D. Project plans | |

Parcel Information

Parcel Size: 1,575 square feet
Existing Land Use - Parcel: Residential

Existing Land Use - Surrounding: Residential/Commercial
Project Access: Bonnie Street
Planning Area: Live Oak
Land Use Designation: R-UH (Urban High Residential Density)
Zone District: R-1-3.5 (Single family residential (3,500 square foot minimum))
Coastal Zone: ☒ Inside ☐ Outside
Appealable to Calif. Coastal ☐ Yes ☒ No
Comm.

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Soils: Required at the Building permit stage
Fire Hazard: Not a mapped constraint
Slopes: Relatively flat lot
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: No grading proposed
Tree Removal: 30 inch diameter Locust tree to be removed
Scenic: Not a mapped resource
Drainage: Existing drainage adequate
Archeology: Not mapped/no physical evidence on site

Services Information

Urban/Rural Services Line: ☒ Inside ☐ Outside
Water Supply: Santa Cruz City Water
Sewage Disposal: Santa Cruz Sanitation District
Fire District: Central Fire Protection District
Drainage District: Flood Control District 5

Project Setting

The subject property located on the south side of Bonnie Street mid-block between 7th Ave and 8th Ave and developed with an existing 760 square foot two bedroom single family dwelling. The existing home is non-conforming to the 15 foot front and 15 foot rear yard setbacks. Due to the location of existing improvements onsite, sufficient onsite parking is not available.

The subject parcel is surrounded by 2 story development with commercial structures to the north and west. A 30 inch diameter at breast height Locust tree is situated between the existing home and the property line to the west. This is the only residentially zoned parcel on this block (portion) of Bonnie Street. The project is located in the Harbor Special Community, within the Live Oak Planning Area. This area is a part of the Live Oak Parking Program which establishes permit parking April through September, from 11 AM to 5 PM Saturdays and Sundays and three holidays (Memorial Day, Independence Day and Labor Day).

Zoning & General Plan & Local Coastal Program Consistency

The subject property is a parcel of approximately 1,575 square feet, located in the R-1-3.5 (Single family residential (3,500 square foot minimum)) zone district, a designation which allows residential uses. The proposed residential use is a principal permitted use within the zone district and the zoning is consistent with the site's R-UH (Urban High Residential Density) General Plan designation.

The proposed single family dwelling is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings. Size and architectural styles vary widely in the area, and the design submitted is consistent with the existing range of styles. The project site is not located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Variance

The project includes a request for reduced front yard, rear yard and side yard setbacks as well as increases in lot coverage and floor area ratio. The project also includes a reduction in parking which require variance approval. The special circumstances warranting the proposed variances are the small size of the subject parcel and dimensions of 45 feet by 35 feet. With a square footage of 1,575 square feet in area, the subject parcel is less than half the size of most lots in the area which typically range in size from 2,800 to 3,000 square feet. The subject parcel is only 45 percent of the minimum parcel size for the zone district. A strict application of the site standards would result in an approximately 200 square foot building envelope for the site. Given the small size of the parcel and its shallow depth, the variances being requested are considered reasonable.

Variance to front yard setback. The location of the existing home is approximately 18 inches from the front property line. The proposal would reconstruct the home further from the front property boundary (2 feet) which is in greater conformance with the required 15 foot front yard setback. Due to the shallow depth of the lot and the desire to have a functional floorplan, a reduction to the front yard is being requested. The design has been modified to accommodate potential future expansion and or improvements within the right of way. Namely the installation of curb gutter and sidewalk in front of the home. The design incorporates an entry porch serving as a safety buffer between occupants of the home and activities within the right of way while improving sight distance for vehicles entering and existing the site. The edge of the travelled roadway would be approximately 13 feet away from the home.

County Code Section 13.10.323 requires a 20-foot setback from the face of the garage to the property line. The depth of the subject parcel is approximately 35 feet. A 20 foot setback to the garage combined with the required 15 foot rear yard setback would preclude the construction of a garage on this site. To provide for a standard garage, the applicant has proposed to reduce the required 20 foot garage setback to 13 feet and reduce the rear yard setback to 3 feet.

Although garages are not required by County Code they provide a secure place to store vehicles and household goods while reducing visual clutter and demand for on-street parking. Given these benefits, staff supports the inclusion of a garage in this project and supports the proposed variance. With the paved portion of the right-of-way located over 20 feet from the face of the garage and the incorporation of an open covered porch, no line of sight issues are anticipated to result from this variance.

Variance to side and rear yard setbacks. Similar to the front yard, the location of the existing home is approximately 3 feet from the rear property line. The proposal would reconstruct the home at 5 feet from the rear and the back of the garage would be 3 feet from the rear and east property lines. The second floor of the home would comply with all setback requirements with the exception of the rear yard (6 feet). Careful consideration in window placement on the upper floor was taken to ensure the upmost privacy of the adjoining properties.

Due to the shallow depth of the parcel and the substandard size of the parcels, the variances being requested are reasonable to achieve a function design consistent with the surrounding homes and a modest sized home.

Variances to lot coverage and floor Area ratio. County Code allows for a maximum of .5 floor area ratio (FAR), meaning that the size of the structure cannot exceed 50% of the net site area. For the subject parcel, with 1,575 square feet in net site area means that the maximum sized home could be 787.5 square feet. The project proposes a floor area ratio of 72% or 1,146 square feet. Given the small size of the parcel, this modestly sized dwelling is considered reasonable.

County Code limits lot coverage to 40% of the parcel. Based on the size of the subject parcel, allowable lot coverage would be 640 square feet. The site is currently developed at 48% lot coverage. The proposed development would result in lot coverage of 59%. Given the size of the subject parcel, and the constraints created by the setback requirements, the proposed lot coverage of 59% is reasonable lot coverage with the need to construct a reasonably sized home.

Parking

For a two bedroom dwelling, County Code Section 13.10.552 requires three 8.5 feet by 18 feet parking spaces. The proposed site plan shows space for one vehicle to be located within the garage and a 13 foot long driveway. Since no vehicles can currently park on-site this proposal is a significant improvement over the existing situation. Given the size of the parcel, three parking spaces would cover roughly 30% of the parcel area. This proposal balances the function design which is consistent with the neighborhood and parking needs of the subject parcel's residents and the surrounding neighborhood in that the proposed parking configuration (tandem parking) would not reduce availability of on street parking for beach visitors and or use by the adjacent commercial uses.

Tree Removal

The project site contains a 30 inch in diameter locust tree that is proposed for removal. The tree is considered a significant tree as defined in SCCC 16.10.040 In a report prepared by Maureen Hamb, Certified Arborist on August 22, 2015, it was concluded that the demolition of the

existing residence would likely result in a destabilizing of the tree due to the trees proximity to the home. It was concluded that the tree should be removed as part of the project and the site evaluated for appropriate size of a replacement tree. Environmental Planning Staff has reviewed and accepted these recommendations. The applicant has proposed the planting of a 15 gallon Crape Myrtle as a replacement tree to be located at the northwest corner of the property.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **151349**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

Report Prepared By: Nathan MacBeth
Santa Cruz County Planning Department
701 Ocean Street, 4th Floor
Santa Cruz CA 95060
Phone Number: (831) 454-3118
E-mail: nathan.macbeth@santacruzcounty.us

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 151349
Assessor Parcel Number: 027-171-34
Project Location: 752 Bonnie Street

Project Description: Demolish an existing single family dwelling and construct a new single family dwelling.

Person or Agency Proposing Project: David Cury

Contact Phone Number: (813) 476-0302

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. ☒ **Categorical Exemption**

Specify type: Class 3 – New Construction or Conversion of Small Structures (Section 15303).

F. Reasons why the project is exempt:

Demolition of an existing home and construction of a new single family residence on a parcel designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Nathan MacBeth, Project Planner

Date: _____

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts, listed in section 13.10.170(D) as consistent with the General Plan and Local Coastal Program LUP designation.

This finding can be made, in that the property is zoned R-1-3.5 (Single family residential (3,500 square foot minimum)), a designation which allows residential uses. The proposed residential is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UH (Urban High Residential Density) General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to Section 13.20.130 and Section 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the site is surrounded by lots developed to an urban density; the colors will be natural in appearance and complementary to the site; and the development site is not on a prominent ridge, beach, or bluff top.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the General Plan and Local Coastal Program land use plan, specifically Chapter 2: figure 2.5 and Chapter 7, and, as to any development between the nearest through public road and the sea or the shoreline of any body of water located within the coastal zone, such development is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act commencing with section 30200.

This finding can be made, in that the project site is not located between the shoreline and the first public road. Consequently, the project will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

5. That the proposed development is in conformity with the certified local coastal program.

This finding can be made, in that the structure is sited and designed to be visually compatible, in scale, and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-3.5 (Single family residential (3,500 square foot minimum)) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary widely in the area, and the design submitted is consistent with the existing range of styles.

The demolition of the existing home will require the removal of a 30 inch DBH Locust tree. An evaluation of the tree was prepared by Maureen Hamb-Certified Arborist on April 22, 2015 and submitted to the County for review. The tree is considered a significant tree under Section 16.34 of the County Code. It was determined that removal of the tree is necessary for the redevelopment of the site and noted that the demolition of the home would likely destabilize the tree therefore the removal of the tree is warranted. A replacement tree and appropriate landscape shall be required as indicated on Exhibit D.

Variance Findings

1. That because of special circumstances applicable to the property, including size, shape, topography, location, and surrounding existing structures, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

This finding can be made, in that the subject property is roughly half the size of the minimum parcel size required in the R-1-3.5 zone district. A strict application of the site standards would deprive the property the ability to develop site with a reasonably sized dwelling. In terms of lot coverage and floor area ratio, the proposed 1,200 square foot dwelling will be appropriately sized for the parcel and consistent with the surrounding density and intensity of development. The reduced setbacks are

Given the size of the parcel, three parking spaces would cover roughly 30% of the parcel area. This proposal balances the function design which is consistent with the neighborhood and parking needs of the subject parcel's residents and the surrounding neighborhood in that the proposed parking configuration (tandem parking) would not reduce availability of on street parking for beach visitors and or use by the adjacent commercial uses. The reduction in parking would be proportionate to the size of the parcel and an improvement to the existing situation as there is currently no parking available onsite.

The proposal requires an increase in lot coverage from 40% to 59%. Whereas the existing home has a lot coverage of 48%, the proposed dwelling would have a smaller footprint and the increase in lot coverage will be necessary for the construction of a garage (provide parking). As a result of the addition of a 459 square foot second floor, and increase in floor area ratio from 50% to 72% is necessary. Given the small size of the parcel, this modestly sized dwelling is considered reasonable. Further

2. That the granting of the variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.

The proposed dwelling will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity, in that the project represents an overall improvement in the dwelling's conformance with County Code requirements, which reflect the general intent and purpose of zoning objectives. The proposed development is consistent with the density and intensity of the surrounding pattern of development.

The existing structure is nonconforming to the front, and rear yard setbacks, exceeds lot coverage and does not provide any parking. The proposal has been designed to ensure sufficient sight distance for vehicles entering and existing the subject parcel and privacy of the adjoining properties. Though the proposed development would be deficient in terms of parking in an area that has notable shortages in parking and further restrictions, the parking that is being provided will improve the current situation and the project would not result in an intensification of the existing use.

3. That the granting of such variances shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.

This finding can be made, in that the subject parcel is smaller than most of the parcels in the area. The other parcels in the area typically range between 2,800 and 3,000 square feet in size, while the subject parcel is just 1,575 square feet. The County Code provides relief for sites that are substandard in area. A parcel that is less than 80% of the minimum lot area required by the zone district is allowed to utilize the site standards for the zone district that most closely fits the lot size. In this instance, there is no zone district corresponding to the 1,575 square foot lot size of the subject parcel so there is no relief and variances are required.

Granting the proposed variances to setbacks, lot coverage, floor area ratio and required parking does not constitute a grant of special privileges in that other, larger, properties are developed with reasonably sized dwellings. The granting of the variances to setbacks, lot coverage, floor area ratio and required parking will provide a reasonable amount of living space for a residence on the subject parcel. Denial of the proposed variances would result in a hardship for the property owner by extinguishing the ability to construct a reasonably sized dwelling. Several properties in the vicinity have been granted variances, including 152 8th Ave, 821 Carmel St., 331 5th Ave., and 351 5th Ave.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses and is not encumbered by physical constraints to development. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources. The proposed project will not deprive adjacent properties or the neighborhood of light, air, or open space. The proposed single family dwelling is the only home on this block of Bonnie Street and is surrounded by two story development. The structure is located on the south side of Bonnie Street and the proposed two story elements of the project would comply with the required 15 foot front yard and 5 foot side yard setbacks for the R-1-3.5 zone district. Therefore this finding can be made.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that with the approval of the requested variances, the proposed location of the single family dwelling and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-3.5 (Single family residential (3,500 square foot minimum)) zone district as the primary use of the property will be one single family dwelling.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-UH (Urban High Residential Density) land use designation in the County General Plan.

The proposed single family dwelling will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties. With the exception of the elements for which the variances are being requested, the project meets current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the residential will not adversely shade adjacent properties, and will meet current setbacks for the zone district.

The proposed single family dwelling will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposal has been evaluated in terms of design for consistency with the surrounding homes and variances have been found appropriate based on unique characteristics of the subject parcel. Further, several similar

variances have been granted on parcels in the vicinity.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed residential is to be constructed on an existing developed lot. The proposed project is not anticipated to result in an increase in traffic therefore will not adversely impact existing roads or intersections in the surrounding area. It is expected that existing utilities would be sufficient to serve the proposed use.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed residential is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed residential will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area. Further, removal of a 30 inch DBH Locust tree is necessary for the redevelopment of the site. A comprehensive landscape plan has been designed for the site.

Conditions of Approval

Exhibit D: Project Plans 16 sheets, prepared by Michael Helm revised 6/24/15

- I. This permit authorizes the demolition of an existing home and construction of an approximately 1200 square foot single family dwelling with attached garage. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
 - C. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - D. Obtain a Grading Permit from the Santa Cruz County Building Official.
 - E. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
 - F. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder) within 30 days from the effective date of this permit.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by

this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Planning Department review and approval.

3. Grading, drainage, and erosion control plans.
 4. Details showing compliance with fire department requirements.
- B. Meet all requirements of and pay Zone 5 drainage fees to the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
 - C. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
 - D. Submit 2 copies of a soils report prepared and stamped by a licensed Geotechnical Engineer.
 - E. Provide required off-street parking for 1 car. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - F. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. Construction Hours: During construction, workers may assemble on-site as early as 7:30 AM, but noise-generating activities may not begin earlier than 8:00 AM. Noise-generating activities must cease by 6 PM. Workdays are limited to Monday through Friday unless authorization to work outside of those hours is approved in advance by Planning Staff.
 - B. All site improvements shown on the final approved Building Permit plans shall be installed.
 - C. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - D. The project must comply with all recommendations of the approved soils reports.
 - E. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with

this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- B. No improvements, including landscaping, shall be located in the adjacent rights-of-way. This area must remain open for public parking.

V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.

- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development

Application #: 151349
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Owner: C/O David Cury Park Place Enterprises

approval without the prior written consent of the County.

- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor'(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Wanda Williams
Deputy Zoning Administrator

Nathan MacBeth
Project Planner

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

APN 027-171-34

EROSION CONTROL NOTES

- 1 No land clearing, grading, or excavation shall be done between October 15th and April 1st during any construction project that requires removal and replacement of vegetation. The contractor shall be responsible for the timing and scheduling of any construction project that requires removal and replacement of vegetation to beginning snow cessation. The developer shall be responsible for implementing and maintaining any erosion control at all times.
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- 3 Unexcused grading and disturbance of soil shall be avoided.
- 4 Between October 15th and April 1st all exposed soil shall be protected from erosion at all times. No piles, holes, ditches, or trenches shall be exposed to the weather. Any exposed soil shall be covered with straw or other means that will prevent sediment from being the soil or entering any water body.
- 5 During construction, no loose soil shall be permitted to leave the allowed work area. All exposed soil shall be protected from erosion.
- 6 All exposed material shall be covered or an approved erosion control or stabilization method shall be used to prevent erosion.
- 7 The contractor shall be responsible for the timing and scheduling of any construction project that requires removal and replacement of vegetation to beginning snow cessation.
- 8 Exposed soil or other exposed material shall be covered with straw or other means of erosion control during periods of rain.
- 9 Exposed soil or other exposed material shall be covered with straw or other means of erosion control during periods of rain.
- 10 Exposed soil or other exposed material shall be covered with straw or other means of erosion control during periods of rain.
- 11 Exposed soil or other exposed material shall be covered with straw or other means of erosion control during periods of rain.
- 12 Exposed soil or other exposed material shall be covered with straw or other means of erosion control during periods of rain.
- 13 Exposed soil or other exposed material shall be covered with straw or other means of erosion control during periods of rain.

GRASS/LEGUME SEED MIX FOR EROSION CONTROL

Genotype	Seedling emergence (%)
Blundo Bicornis	15
Rosa Oliver	12
Zorro Animal Fecund	3
Creeper Red Fecund	5
Apply seed rate at rate of	8.5 bushels/ha 8.1 bushels/ha 3.9 bushels/ha 3.9 bushels/ha
Fertilizer (16-20-0)	350 bushels/ha 350 bushels/ha 350 bushels/ha 350 bushels/ha

RECYCLE CONSTRUCTION & DEMOLITION WASTE NOTES

- 1 Recycle job site construction and demolition waste @ 65% per County of Santa Cruz Green Building Program.
- 2 Donate unused materials to Habitat for Humanity.

DEMOLITION-REGULATING

Type	Est. Quantity	1 solution
Steel pipe, rock	70 Cu. Yds.	Gentle Aggregate Family
Stump puller		
Stump digger		
Bottom Grubber	5 Cu. Yds.	Gray Marine Trucking
Bottom Grubber	3,800 lbs.	Gray Marine Trucking
Dredge	500 lbs.	White Recycling Co.
Grass		Valley Recycling
Appliances	500 lbs.	Brown Waste Recycling Co.

RECYCLING/RECYCLED		
Type	Est. Quantity	1 solution
Concrete	2 Cu. Yds.	Gray Marine Trucking
Concrete	750 lbs.	Gray Marine
Drywall work, metals	10,500 lbs.	Brown Waste Recycling Co.

GRADING NOTES

- [illegible]

GREEN BUILDING STANDARDS

PLANNING & DESIGN	
4.100.2	Storm Water Drainage Management Plan
4.100.3	Grading & Drainage Plan
ENERGY EFFICIENCY	
4.201.1	Exceed DEC Minimum Standard Design
WATER EFFICIENCY & CONSERVATION	
4.303.1	Reduce indoor water use 20 % with water saving fixtures
4.303.2	Reduce and flow restrictions
4.303.3	Shower heads shall not exceed max. flow rates
4.303.4	Punching holes and fittings shall comply with specified performance requirements
4.303.5	

MATERIAL CONSERVATION & RESOURCE EFFICIENCY

- [illegible]

FIRE PROTECTION NOTES

- These plans are in compliance with the California Building and Fire Codes (2013) and other state standards.
- | | |
|-----------------------------|--------------|
| Occupancy Classification | R-3 (U-1) |
| Estimated Construction Year | 1998 |
| Fire Rating | Preservative |
- This project is to be completed with a Standard 300 residential automatic fire sprinkler system. The automatic fire sprinkler system will be installed in accordance with the sprinkler system design and installation manual published by the manufacturer. The production equipment shall be installed per the latest edition of the National Fire Code.
- The details of the approved building and fire system plans will be on the drawing attachments.
- Sprinkler system design requires that at least three (3) sets of plans and calculations be for the design and installation of the sprinkler system. The design and calculations for the approved building and fire system plans shall be submitted to the Fire Protection District for approval. The approved building and fire system plans shall be submitted to the Fire Protection District for approval.
- A minimum of 48 hours before the fire alarm system is installed, the fire alarm system shall be tested to ensure that the fire alarm system is in proper working order. The fire alarm system shall be tested to ensure that the fire alarm system is in proper working order.
- Upon an approved street address at the top of the driveway, with one street and to second street. Address 12345 Street, with one street and to second street.
- GENERAL NOTES**

GENERAL NOTES

1. All Greeting to be delivered upon receiving guest (Greeting exception)
2. Provide tempered glass at all bar/lounge locations per CDC 2400.35 & CDC H 309.1
3. Single-use shall comply with CDC 2400.35 & CDC H 309.6
4. All interior passageway doors shall have a 30 inch net clear opening
5. Provide six types "X" glycerin coated, two liquid on glass/side walls and ceiling doors and three "X" glycerin coated, two liquid on glass/side walls and ceiling doors and two solid doors
6. Staff ways to comply with CDC 1009

PROJECT CONSULTANTS

ARCHITECT	Michael Helm & Associates 200 Stewart Avenue, S. Santa Cruz, CA 95062 831-476-5366
SOILS	Dugas & Associates, Inc. 601 Mission Street, Suite Santa Cruz, CA 95060 831-427-1710
STRUCTURAL	Fletcher Woodman, P. E. P.O. Box 1261 Santa Cruz, CA 95061 831-423-2226
ENERGY	Archangelos P.O. Box 4014 Fellow, CA 95018-4014 831-335-3866

SHEET INDEX

ARCHITECTURAL	
C	Cover Sheet & Map
1	Topographic Map
2	Existing Floor Plans & Elevation
3	Proposed Site Plan
4	Proposed Floor Plans & Elevation
5	Proposed Exterior Elevation
6	Section
7	Foundation Plan
8	Foundation Elevation
9	Excavation Control Plan
10	Construction Details
11	Electrical Schematic
12	Construction Details
13	Construction Details
14	Architectural Specification

LANDSCAPE	
L-1	Landscape Plan

APPLICABLE CODES

PROJECT DATA	
COMPANY	FOUR PLACE 2200 UNIVERSITY AVE. SANTA CRUZ, CA 95060 831-426-0002
ARCHT	627 711-34
CONTRACT	811.35
OCCUPANCY CL	811.41
CONSTR TYPE	W B
DATE 11/83	COMPLETED

101 AREA

[illegible]

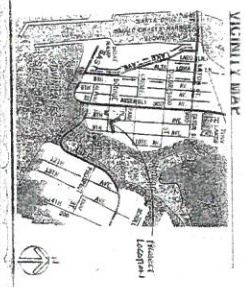
PROJECT DESCRIPTION

[illegible]

PARCEL INFORMATION

Funding Source	Purdue University
Sustaining Land Use	Agriculture
Project Location	Southwest Indiana
Planning Area:	
and Description:	Indiana's largest landfill
Council Zone	Central Zone
Appropriate to Our Council's Mission?	No

**Original & restored
Sells
Ego Museum**

[illegible]

Michael Heim, AIA Architect & Associates
200 Seventh Avenue, #110 Santa Cruz, California 95062 (831) 476-5366

CURB AND GUTTER

EDGE OF ASPHALT
-4.62.0
+3.18
+0.0

141 EIGHTH AVE.

N06°31'00"E 34.94'

EDGE OF ASPHALT

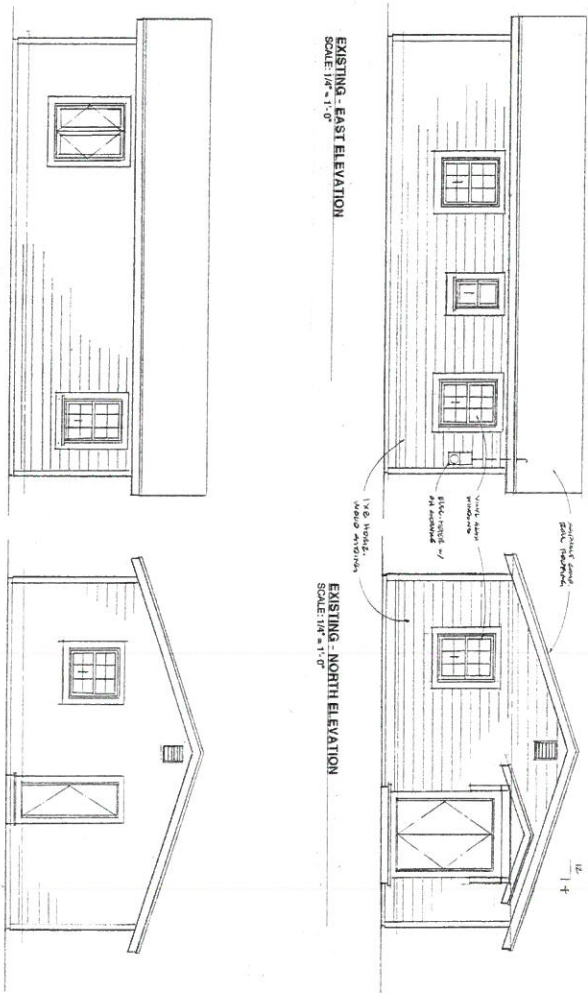
EIGHTH AVE.

EXISTING - SITE PLAN
SCALE: 1/4" = 1'-0"

LOT 15
BLOCK 1
10-M-26

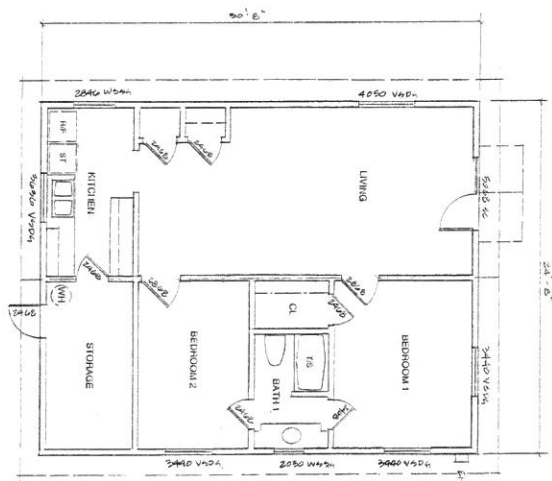
REPLACEMENT PLANS FOR:
SINGLE FAMILY RESIDENCE
APN 027-171-34
752 BONNIE STREET - SANTA CRUZ, CALIFORNIA

Michael Heim, AIA Architect & Associates
200 Seventh Avenue, #110 Santa Cruz, California 95062 (831) 476-5386



EXISTING - WEST ELEVATION
SCALE: 1/4" = 1'-0"

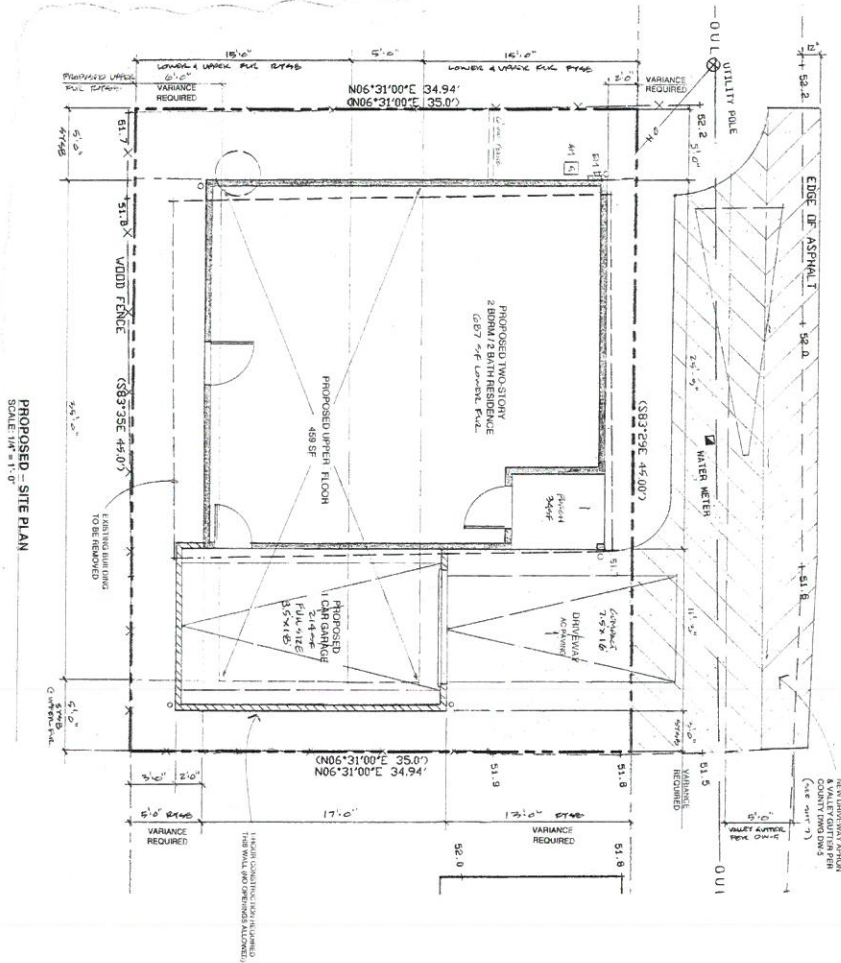
EXISTING - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



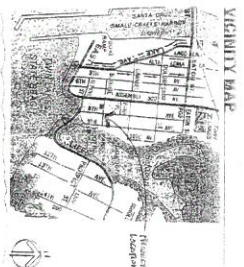
EXISTING - FLOOR PLAN
SCALE: 1/4" = 1'-0"

761 SF

BONNIE ST.



PROPOSED - SITE PLAN
SCALE 1/4" = 1'-0"



APPLICABLE CODES

2013 CALIFORNIA BUILDING CODE, LATEST AMENDMENTS
2013 CALIFORNIA FIRE CODE, LATEST AMENDMENTS
2013 CALIFORNIA ENVIRONMENTAL IMPROVEMENT STANDARDS

PROJECT DATA

OWNER

PAUL & JILL
200 SEVENTH AVENUE
SANTA CRUZ, CA 95062
607-49-0002

APN

007-171-34

ZONING

R-1.5

OCCEPANCY CL.

R-1.5(U)

CONDT TYPE

VAR

PRE-PLANNED

SPRINKLED

LOT AREA

135.5 SF

LOT COVERAGE

50% MAX ALLOW = 68.5 SF

EXPENSING

750

QUALITY

750

TOTAL

750

EXPENSING

750

QUALITY

750

TOTAL

750

EXPENSING

750

QUALITY

750

TOTAL

750

EXPENSING

750

QUALITY

750

TOTAL

750

EXPENSING

750

QUALITY

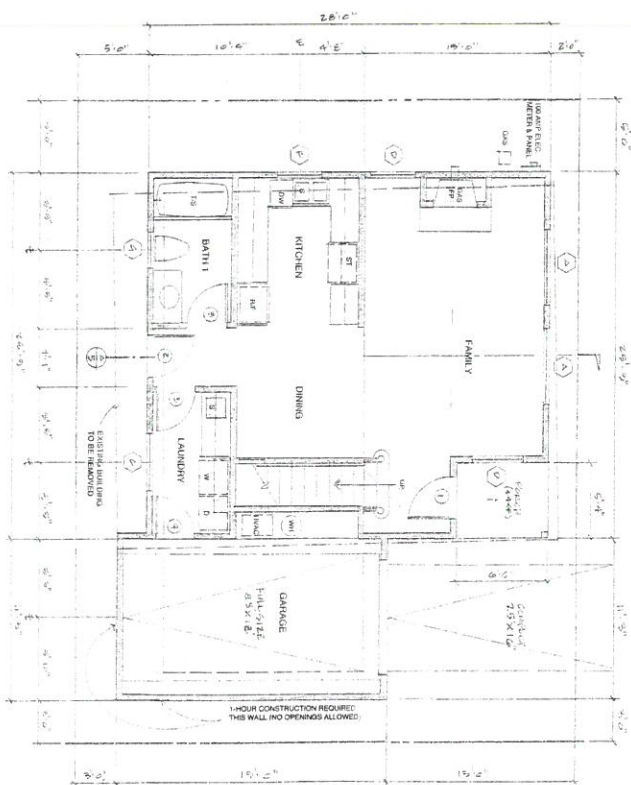
750

TOTAL

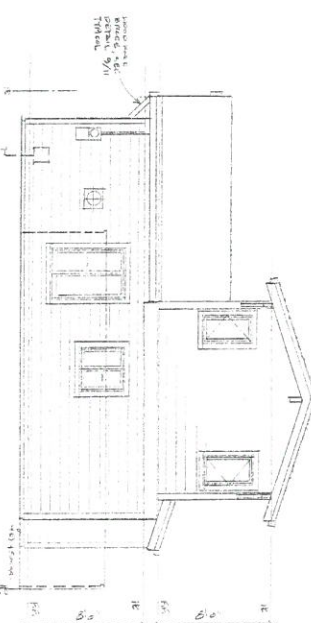
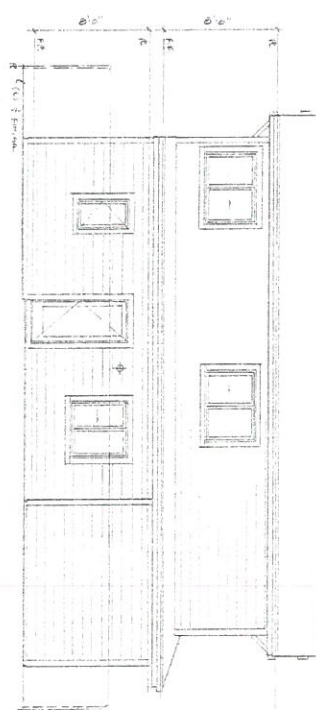
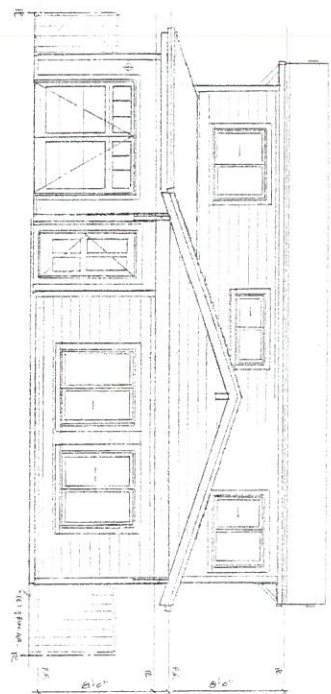
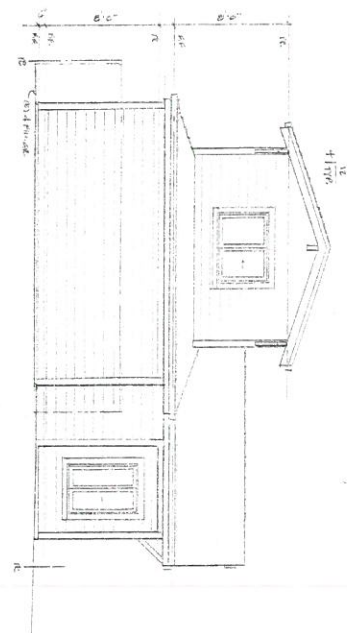
750

REPLACEMENT PLANS FOR:
SINGLE FAMILY RESIDENCE
APN 027-171-34
752 BONNIE STREET - SANTA CRUZ, CALIFORNIA

Michael Helm, AIA Architect & Associates
200 Seventh Avenue, #110 Santa Cruz, California 95062 (831) 476-5386



PROPOSED -- LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



MATERIALS / COLORS

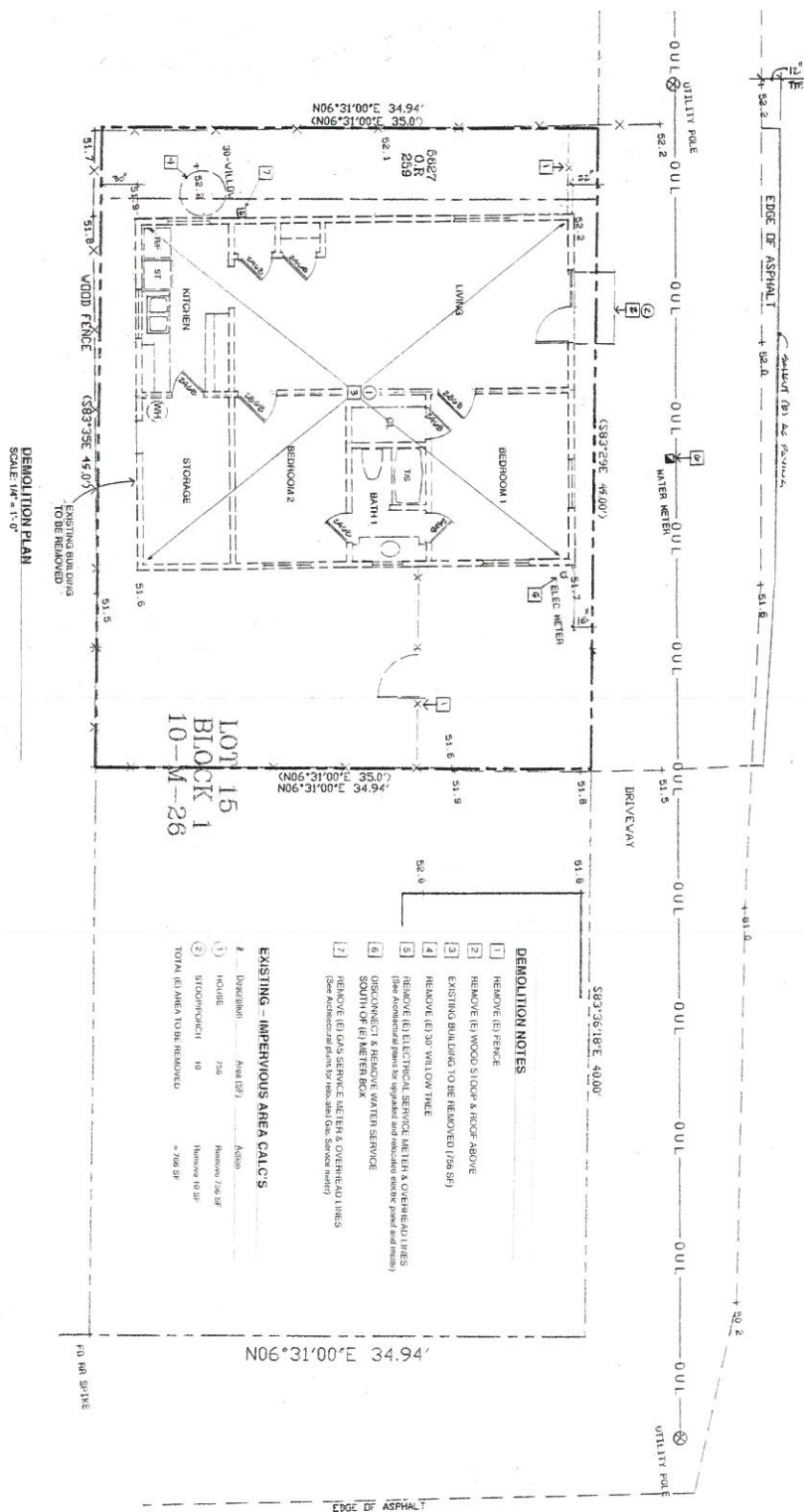
MOORE	ASPHALT COMPOSITION SINGLE MOORING
WALLIS	COLOR WEAVERWOOD PILICEMENT TERNUMATE, HORIZONAL LAY LONG, PAINTED COLOR LIGHT GREY
WAGGONS, DOCK NO. 8 TRAIL	WENT SASH W/OUT MASH IN ASS COLOR WHITE
CUTLINGS	4" 24 GA WHITE METAL FASCIA GUTTER COLOR WHITE

CONSTRUCTION SCHEDULE

[illegible]

CURB AND GUTTER

BONNIE ST.



DEMOLITION NOTES

- 1 REMOVE EX FENCE
- 2 REMOVE EX WOOD SLOOF & ROOF ABOVE
- 3 EXISTING BUILDING TO BE REMOVED (726 SF)
- 4 REMOVE EX ST WILLOW TREE
- 5 REMOVE EX ELECTRICAL SERVICE METER & OVERHEAD LINES (see Architecture plans for original and proposed electric panel and meter)
- 6 DISCONNECT & REMOVE WATER SERVICE
- 7 REMOVE EX GAS SERVICE METER & OVERHEAD LINES (see Architecture plans for original and proposed gas service meter)

EXISTING - IMPERVIOUS AREA CALC'S

#	DESCRIPTION	Area (SF)	Action
1	HOUSE	726	Remove 726 SF
2	STOPOVERCH	10	Remove 10 SF
TOTAL EX AREA TO BE REMOVED		736 SF	

EIGHTH AVE.

DEMOLITION
96.0
SMALLER SERIES

THE CONTRACTOR INSTALLING THE DRAINAGE IMPROVEMENTS ON THE PAVED WILL PROVIDE THE CIVIL ENGINEER AS-BUILT DRAWINGS OF THE DRAINAGE SYSTEM, INCLUDING INVERT ELEVATIONS, PIPE SIZING AND ANY MODIFICATIONS TO THE HORIZONTAL OR VERTICAL LOCATION OF THE SYSTEM. THE AS-BUILT DRAWINGS MUST BE IDENTIFIED WITH A STAMP (OR LABEL, AFFIXED TO THE PLOKS) STATING THE CONTRACTOR'S NAME, ADDRESS, LICENSE AND PHONE NUMBER. THE CIVIL ENGINEER WILL REVIEW AS-BUILT DRAWINGS FOR CONFORMANCE WITH THE DESIGN DRAWINGS. IF REQUIRED, WILL REVIEW AS-BUILT DRAWINGS FOR CONFORMANCE WITH THE DESIGN DRAWINGS.

[illegible]

LEGEND

PROPOSED	EXISTING	DESCRIPTION
50	50	STORM DRAIN
SS	SS	SOLIDITY SURVEY
W	W	WATER MAIN
QAS	QAC	QAS
PS	PS	PERMANENT SURVEY LINE
E	E	ELECTRICAL
		PRIORITY LINE
		CHUNK LINE

Case Studies in Chemicals and Polymers

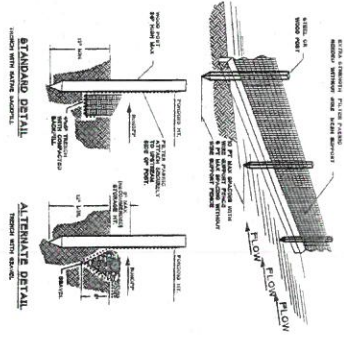
[illegible]

1	(b) Position shall align with (b) drainage
2	(c) Utility Depth to (b) drainage
3	At intersection shall align on (b) signal blocks
4	Align Water Main block to match these grade
5	Control Driveway Entrance to culvert with PDS DW 5.
6	Setback from County Public Works.
7	Match architectural future to existing road along Frontal
8	Connection to proposed building
9	Point A Connection for (b) SS Lateral Collector and water
10	(b) SS Lateral pipe, installed & depth per to construction
11	(b) PDS SDH 55 pipe a 1.5 min. runs.
12	Point A. This connection line (see detail)
13	Point A. This connection line (see detail)

①	②	③	④	⑤	⑥	⑦	⑧	⑨	⑩	⑪	⑫	⑬	⑭	⑮	⑯	⑰	⑱	⑲	⑳	㉑	㉒	㉓	㉔	㉕	㉖	㉗	㉘	㉙	㉚	㉛	㉜	㉝	㉞	㉟	㊱	㊲	㊳	㊴	㊵	㊶	㊷	㊸	㊹	㊺	㊻	㊼	㊽	㊾	㊿																																																		
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100

CONSTRUCTION SPECIFICATIONS

1. The contractor shall provide and install a silt fence to prevent sediment from leaving the site during construction. The silt fence shall be constructed of heavy-duty polypropylene fabric supported by a minimum of 2" x 4" wooden posts driven into the ground at 10' intervals. The fabric shall be at least 6' high and 12' wide. The silt fence shall be installed along the perimeter of the site and at all exits from the site. The silt fence shall be maintained throughout the construction period and shall be removed upon completion of the project. The contractor shall be responsible for the cost of the silt fence and its removal.

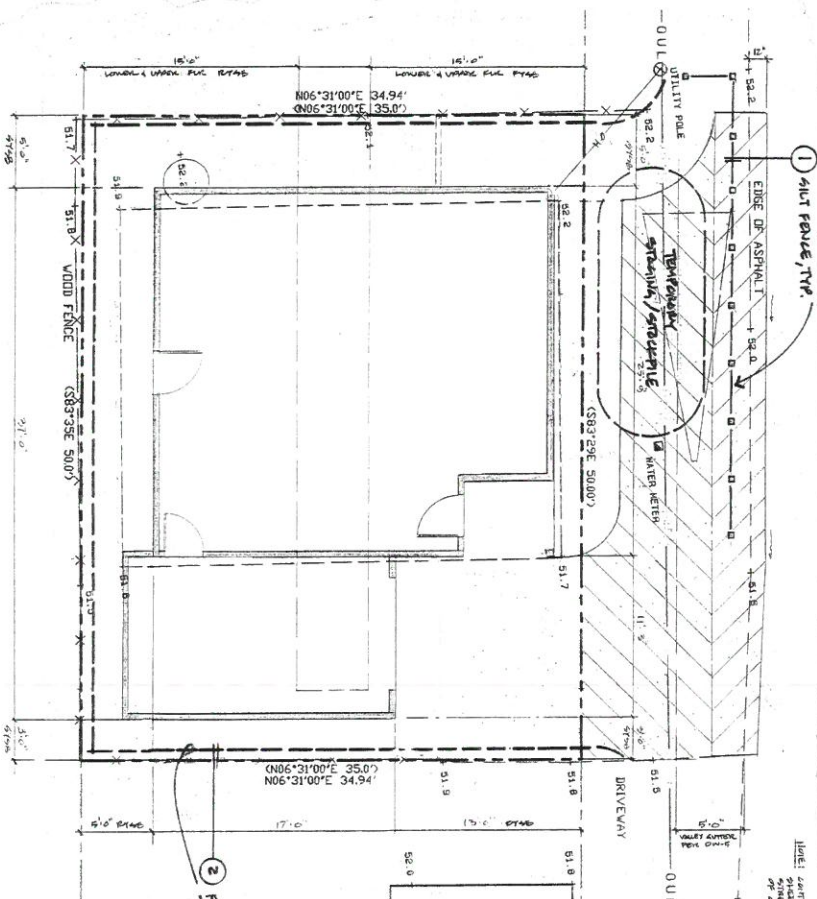


1 SILT FENCE, TYP.

2 FIBER ROLLS, TYP.

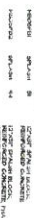
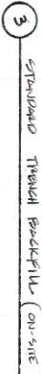
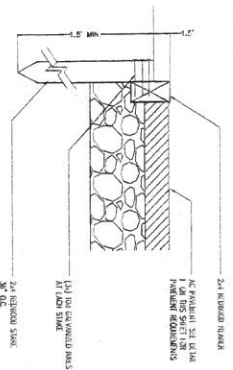
EROSION CONTROL NOTES

1. No hard clearing, grading, or excavation shall be done between October 1st and April 1st. Any erosion from the construction process shall be controlled by the contractor during this period.
2. Unnecessary grading and disturbance of soil shall be avoided.
3. Between October 1st and April 1st, the contractor shall be responsible for maintaining the erosion control at all times.
4. During construction, the contractor shall be responsible for maintaining the erosion control at all times.
5. All excavated material shall be removed to an approved disposal site or disposed of on-site in a manner that will not cause erosion.
6. Any material deposited on-site shall be covered with plastic, especially during the winter months or during periods of rain.
7. Excavated soil on slopes greater than 20% shall be seeded and covered with 2" of mulch within 14 days of excavation.
8. Erosion control planting or permanent landscaping shall be completed by October 15, 2017.
9. Permanent landscape areas require arbor irrigation.
10. The contractor shall be responsible for maintaining the erosion control during the construction period.
11. Seeding shall be applied to all areas to be seeded.
12. Apply erosion control mulch on all drainage swales, cuts and fills, also any location where any existing vegetation has been removed.
13. If mulching, seeding, or installing naturally, mulch with straw or hay at 4000 lbs/acre. Fertilize with ammonium phosphate with 50-10-10 (15-20-0) at 500 lbs/acre. If hydro-mulching, use wood fiber mulch at 2000 lbs/acre.



Seed Mix	Rate of Application
Barbados Broom	15 lbs/acre
Poa Cover	12 lbs/acre
Zero Annual Fescue	3 lbs/acre
Creeping Red Fescue	5 lbs/acre
Apply seed mix at rate of	35 lbs/acre
	500 lbs/acre
Fertilizer (15-20-0)	8 lbs/1000 sq ft

EROSION CONTROL PLAN



2



6 CHLISRY SPLASH BLOCK

⑦ Drainage slope

8. General Information About Me

ELECTRICAL NOTES

- | Standard | Type | Wash | Wet | Hot | Cold |
|----------|--------------|--------|--------|--------|--------|
| LV | Laundry | 1-1/2" | 1-1/2" | 1-1/2" | 1-1/2" |
| IRB | Tub/Washer | 2" | 1-1/2" | 1-1/2" | 1-1/2" |
| KB | Kitchen Sink | 2" | 1-1/2" | 1-1/2" | 1-1/2" |
| WS | Washer | 1-1/2" | 1-1/2" | 1-1/2" | 1-1/2" |
| WC | Toilet | 3" | 2" | 1-1/2" | 1-1/2" |
| HL | Household | | | | 3-1/2" |

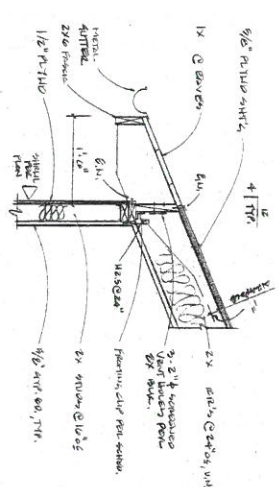
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Light, Ceiling surface measured

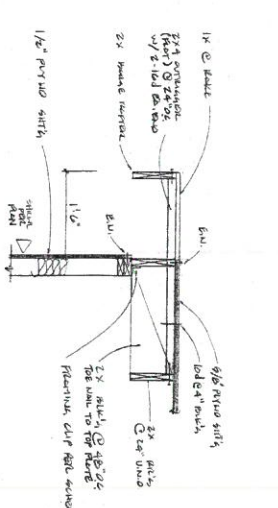
Light, Wall surface mounted
Light, Pendant
Light, Recessed double, L.C.U. HUGHES

- [illegible]

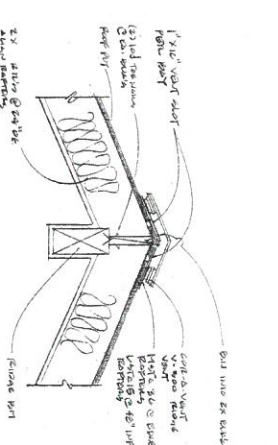




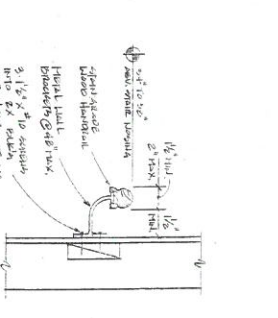
1
1"=1'-0"



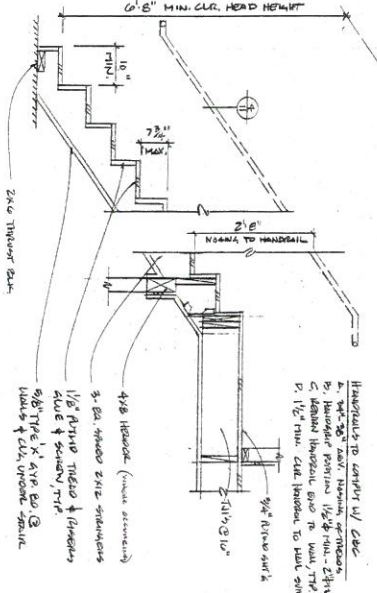
2
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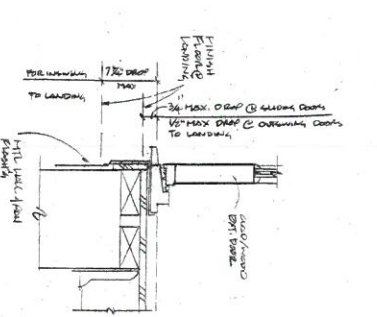
3
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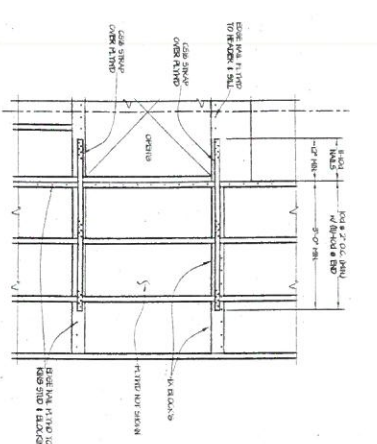
4
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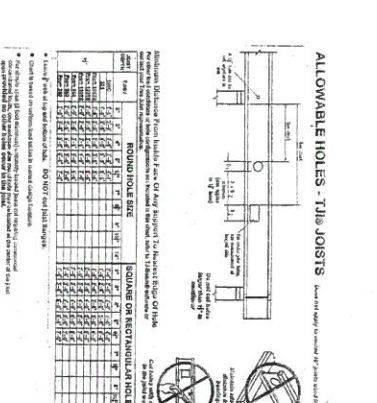
5
3/4"=1'-0"



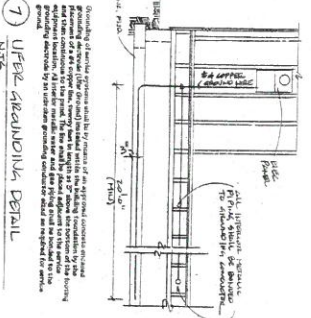
6
1"=1'-0"



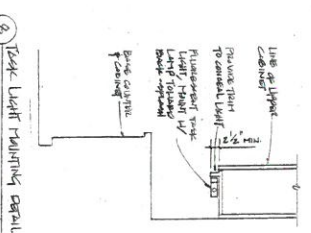
7
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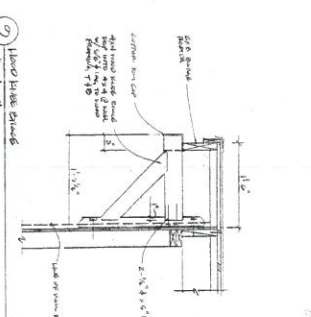
8
1"=1'-0"



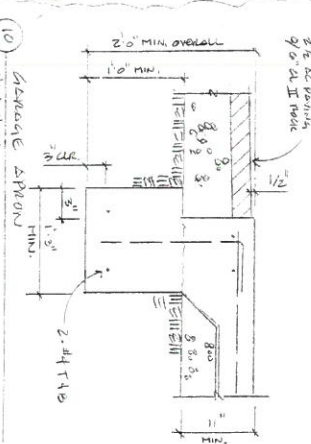
9
1"=1'-0"



10
1"=1'-0"



11
1"=1'-0"

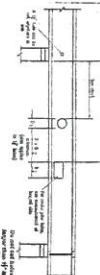


12
1"=1'-0"



13
1"=1'-0"

ALLOWABLE HOLES - TJI JOISTS

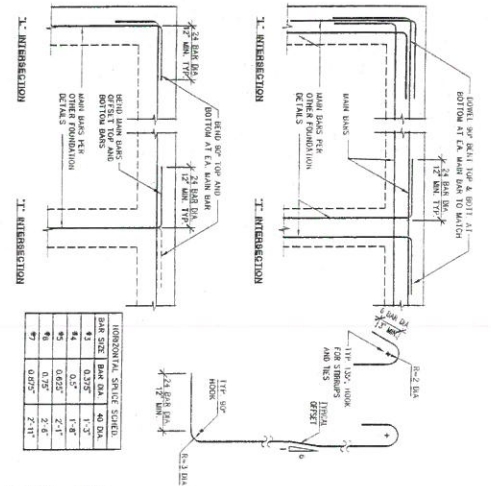


JOIST TYPE	JOIST SIZE	MAX. HOLE SIZE	MAX. HOLE SPACING	MAX. HOLE LOCATION
TJI 2.0	2x6	1 1/2"	12"	1" from ends
	2x8	1 1/2"	12"	1" from ends
	2x10	1 1/2"	12"	1" from ends
	2x12	1 1/2"	12"	1" from ends
TJI 2.2	2x6	1 1/2"	12"	1" from ends
	2x8	1 1/2"	12"	1" from ends
	2x10	1 1/2"	12"	1" from ends
	2x12	1 1/2"	12"	1" from ends
TJI 2.4	2x6	1 1/2"	12"	1" from ends
	2x8	1 1/2"	12"	1" from ends
	2x10	1 1/2"	12"	1" from ends
	2x12	1 1/2"	12"	1" from ends
TJI 2.6	2x6	1 1/2"	12"	1" from ends
	2x8	1 1/2"	12"	1" from ends
	2x10	1 1/2"	12"	1" from ends
	2x12	1 1/2"	12"	1" from ends

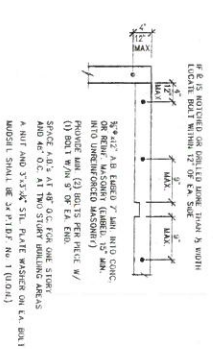
TJI HOLE CHART

JOIST TYPE	JOIST SIZE	MAX. HOLE SIZE	MAX. HOLE SPACING	MAX. HOLE LOCATION
TJI 2.0	2x6	1 1/2"	12"	1" from ends
	2x8	1 1/2"	12"	1" from ends
	2x10	1 1/2"	12"	1" from ends
	2x12	1 1/2"	12"	1" from ends
TJI 2.2	2x6	1 1/2"	12"	1" from ends
	2x8	1 1/2"	12"	1" from ends
	2x10	1 1/2"	12"	1" from ends
	2x12	1 1/2"	12"	1" from ends
TJI 2.4	2x6	1 1/2"	12"	1" from ends
	2x8	1 1/2"	12"	1" from ends
	2x10	1 1/2"	12"	1" from ends
	2x12	1 1/2"	12"	1" from ends
TJI 2.6	2x6	1 1/2"	12"	1" from ends
	2x8	1 1/2"	12"	1" from ends
	2x10	1 1/2"	12"	1" from ends
	2x12	1 1/2"	12"	1" from ends

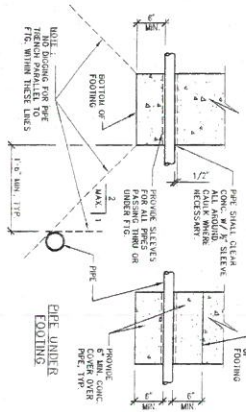
ELEVATION
TYPICAL TOP PLATE STRAPS



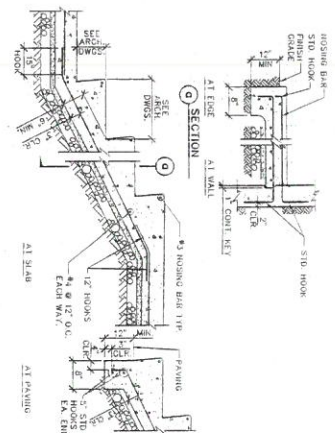
7 TYP. HORIZONTAL CONCRETE REINFORCEMENT



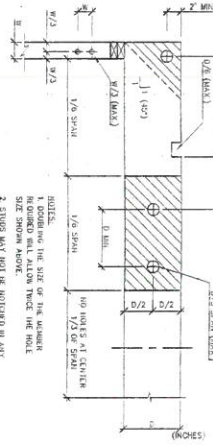
8 SILL PLATE DETAIL



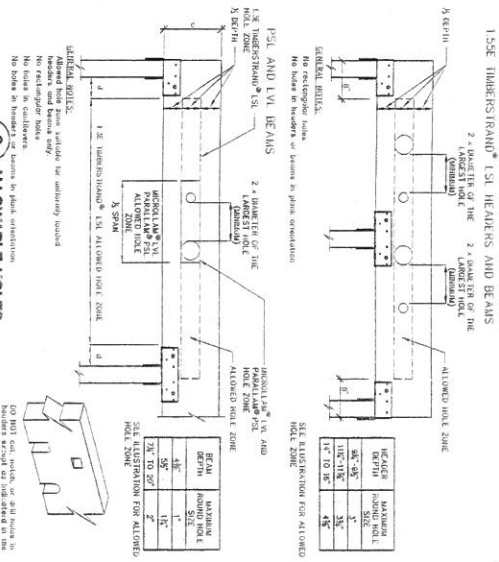
9 PIPE THRU FTG. AND PARALLEL TO FTG.



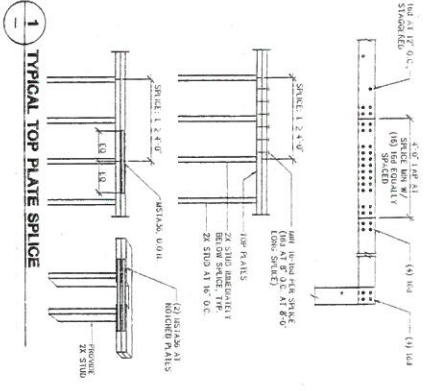
4 SLAB ON GRADE
1/4 MIN.



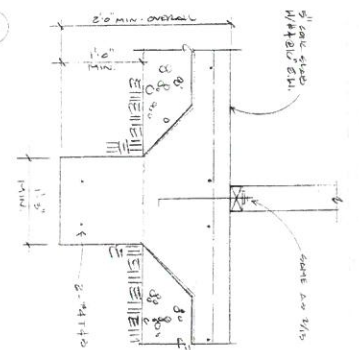
5 HOLES & NOTCHES AT JOIST & STUD



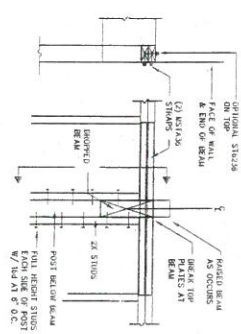
3 ALLOWABLE HOLES



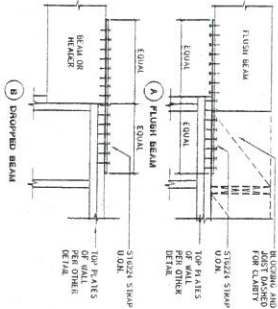
1 TYPICAL TOP PLATE SPlice



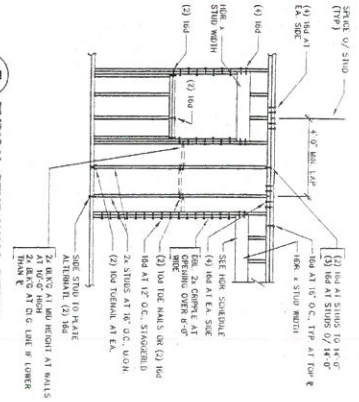
1 TYPICAL SHEAR COLLECTOR STRAP



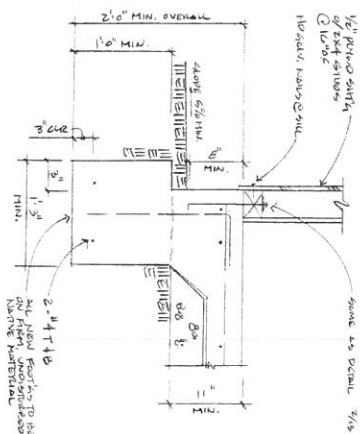
2 TYPICAL TOP PLATE SPLICE AT BEAM CONNECTION



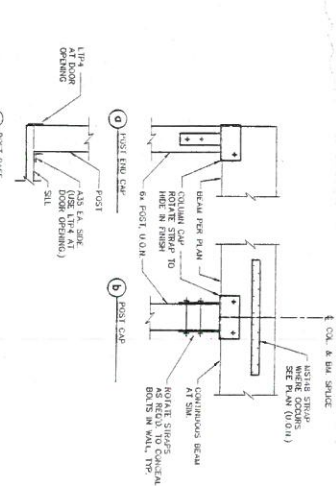
3 TYPICAL STUD WALL DETAIL



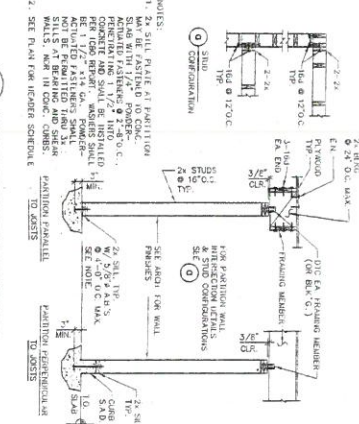
4 TYPICAL STUD WALL DETAIL



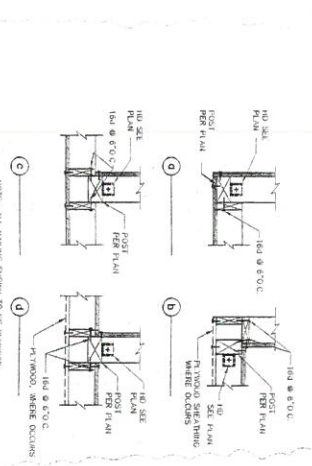
5 TYPICAL STUD WALL DETAIL



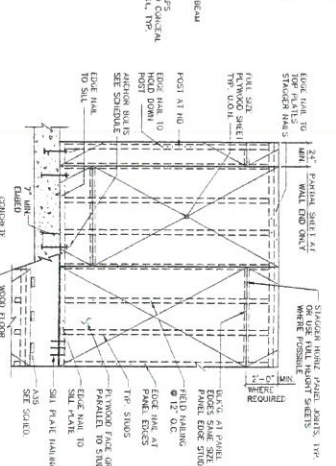
6 BEAM AND POST CONNECTION



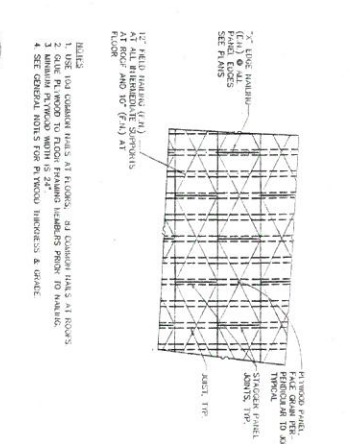
7 NON-STRUCTURAL PARTITION



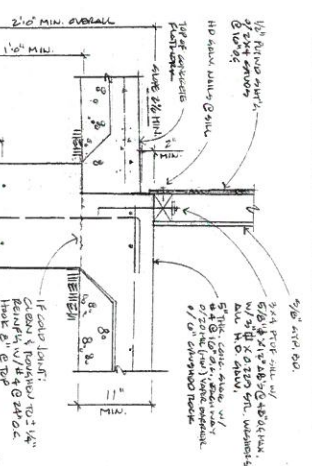
8 SHEAR WALL INTERSECTIONS



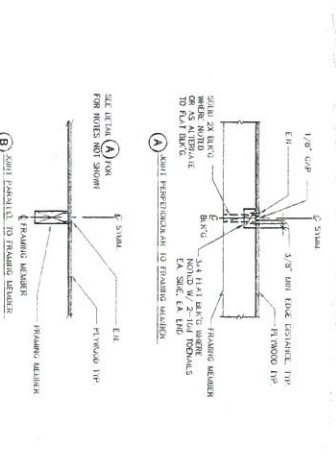
9 SHEAR WALL FRAMING ELEVATION



10 PLYWOOD SHEATHING AT ROOF AND FLOORS



11 PLYWOOD SHEATHING AT ROOF AND FLOORS



12 PLYWOOD SHEATHING AT ROOF AND FLOORS

Drip Irrigation Notes

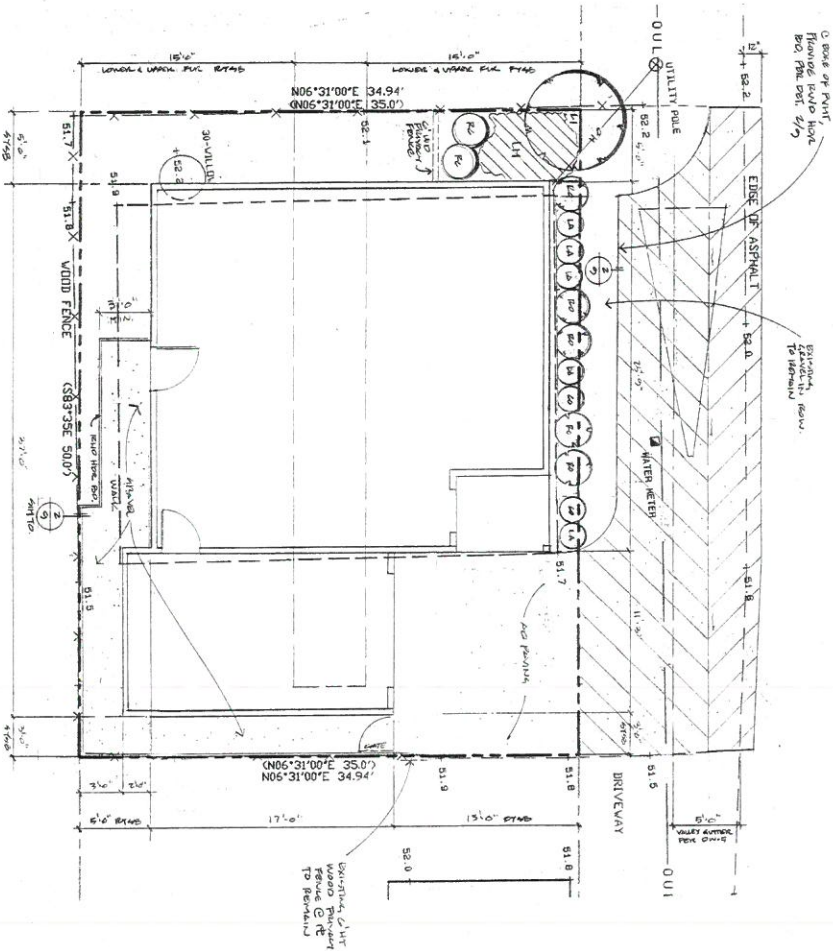
1. Drip irrigation is a method of watering plants in which water is applied directly to the root zone of the plant. This method is highly efficient and can save up to 50% of the water used in traditional watering methods. It is also a good way to control weeds and diseases. Drip irrigation is most commonly used in gardens, lawns, and sports fields. It can also be used in commercial agriculture. There are many different types of drip irrigation systems, each with its own advantages and disadvantages. The most common type is the in-line system, which uses a main line of pipe with side lines branching off. Other types include the surface system, the subsurface system, and the micro-sprinkler system. Each system has its own unique characteristics and is best suited for certain types of plants and soils. When choosing a drip irrigation system, it is important to consider the type of plants you are growing, the type of soil you have, and the amount of water you need to apply. Consulting with a professional irrigation designer can help you choose the best system for your needs.

Nonpressure Pipe Sizing Guide

For flow of pipe less than 100 gpm, the velocity in the pipe should not exceed 5 ft/sec. For flow of pipe greater than 100 gpm, the velocity in the pipe should not exceed 8 ft/sec. The following table gives the minimum pipe size for various flow rates and velocities. The pipe size is given in inches. The flow rate is given in gpm. The velocity is given in ft/sec.

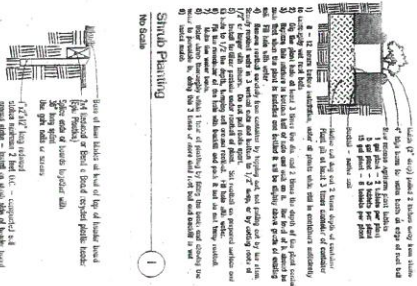
Flow Rate (gpm)	Velocity (ft/sec)	Minimum Pipe Size (inches)
10	5	1/2
20	5	3/4
30	5	1
40	5	1 1/4
50	5	1 1/2
60	5	1 3/4
70	5	2
80	5	2 1/4
90	5	2 1/2
100	5	2 3/4
120	5	3
140	5	3 1/4
160	5	3 1/2
180	5	3 3/4
200	5	4
250	5	4 1/2
300	5	5
350	5	5 1/2
400	5	6
450	5	6 1/2
500	5	7
550	5	7 1/2
600	5	8
650	5	8 1/2
700	5	9
750	5	9 1/2
800	5	10
850	5	10 1/2
900	5	11
950	5	11 1/2
1000	5	12

BONNIE ST.



PLANT LEGEND

KEY SIZE	SCIENTIFIC NAME	COMMON NAME
U 1/2 g	Large-leafed Indian Hawthorne	Cape May
SHRUBS		
RC 6 g	Rosemary Blue Spirea	Medium Blueberry
RC 5 g	Raphanoides Cirsia	Indian Hawthorne
CO 6 g	Columbine Spirea	Bush of Heaven
GROUND COVER		
LA 1 g	Lamproloma Coccinea Cirsia	Lamproloma
LA 1 g	Lamproloma Coccinea Cirsia	Lamproloma



LANDSCAPE PLAN

1/4" = 1'-0"

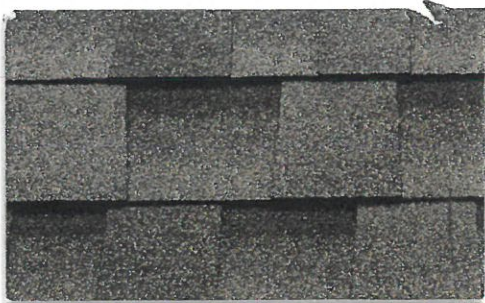
LI

REPLACEMENT PLANS FOR
SINGLE FAMILY RESIDENCE
APN 027-171-34
752 BONNIE STREET - SANTA CRUZ, CALIF. 95061

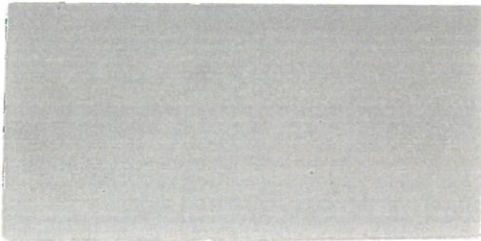
Michael Helm, AIA Architect & Associates
200 Seventh Avenue, #110 Santa Cruz, California 95062 (831) 476-5886

REPLACEMENT PLANS FOR:
SINGLE FAMILY RESIDENCE
APN 027-171-34
752 BONNIE STREET - SANTA CRUZ, CALIFORNIA

MATERIALS / COLOR BOARD



ROOF: ASPHALT COMPOSITION SHINGLE
ROOFING,
COLOR: WEATHERWOOD



WALLS: FIBER CEMENT 'CEDARMILL' HORIZONTAL
LAP SIDING, PAINTED
COLOR: LIGHT GREY

WINDOWS,
DOORS &
TRIM; VINYL SASH W/ DBL. INSUL GLASS
COLOR: WHITE

GUTTERS: 4" - 24 ga. BEVELED METAL FASCIA GUTTER
COLOR: WHITE

April 22, 2016

Dave Cury

200 7th Avenue, Suite 190
Santa Cruz, CA 95062

Project: 752 Bonnie Street (APN 027-171-34)

Phase: Tree Impact Assessment

As you requested I have reviewed the plans for residential development at 752 Bonnie Street in Santa Cruz County. The project includes the demolition of an existing older residence and construction of a new single-family home. The plans were prepared by Michael Helm, Architect.

Observations

The site is a small residential parcel with an older home surrounded by a mix of other residential and commercial buildings.

One mature locust (*Robinia sp*) tree 30 inches in trunk diameter is growing on the property, just at the edge of the house (pictured). The lower portion of the trunk and buttress are jammed into the outside wall.

The tree is in fair health; the foliar canopy is concentrated at the top of the tree and has been pruned to provide clearance for the adjacent office building, which has multiple floors. The canopy extends over both structures.

Tree structure is poor. The limited growing conditions are obvious. The structural root system, which is responsible for anchoring the tree, has had to develop under the foundation of the existing house. The tree leans toward the adjacent office building.

Stem/branch attachments are weak with areas of crowded branching and included bark.



Project Impacts

To evaluate the impacts to the tree I reviewed the architectural plans prepared by Michael Helm. The project proposes the demolition of the existing residence and construction of a new home.

The impacts to the tree include excavation into the supporting roots to demolish the existing foundation. The removal or damage to roots in this area will destabilize the tree and could lead to whole tree failure.

Failure of the tree could cause property damage or injury to the adjacent office building.

The tree meets the criteria as a "Significant Tree" in the County of Santa Cruz and is protected by several sections of County ordinances. The Significant Tree Protection ordinance seeks to preserve significant trees and forests communities and to protect and enhance the County's natural beauty, property values, and tourist industry (Section 16.34.010).

Santa Cruz County staff will review the project and if approved a permit to remove the tree will be issued.

Recommendations

The removal of the locust tree will be required to demolish and develop the site as proposed. There are no options available to reduce impacts and allow the retention of the tree.

The completed project may not provide adequate space to install a large species replacement tree. The site should be re-evaluated once the plans are approved to provide recommendations for a replacement tree.

Please call my office with any questions regarding this report.

Respectfully submitted,

Maureen Hamb-Certified Arborist WE220

FOR TAX PURPOSES ONLY

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POR. N.W. 1/4 SEC. 20,
T.11S., R.1W., M.D.B. & M.

TWIN LAKE PARK SUB. NO. 1
10MB26 5/29/1890

Tax Area Code
82-040

27-17

Electronically Redrawn 7/24/96 RW
Rev. 8/19/96 CB (LSA 1-25 to 1-35)
Rev. 4/29/98 GG (CA consolidation)
Rev. 1/20/15 AR (121RS27)

Note - Assessor's Parcel & Block
Numbers Shown in Circles.

Assessor's Map No. 27-17
County of Santa Cruz, Calif.
July 1996





Vicinity Map



LEGEND

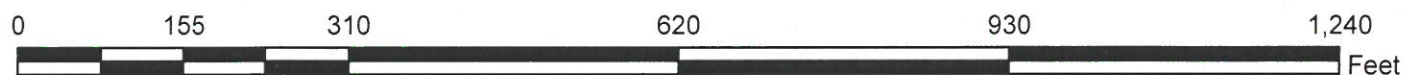
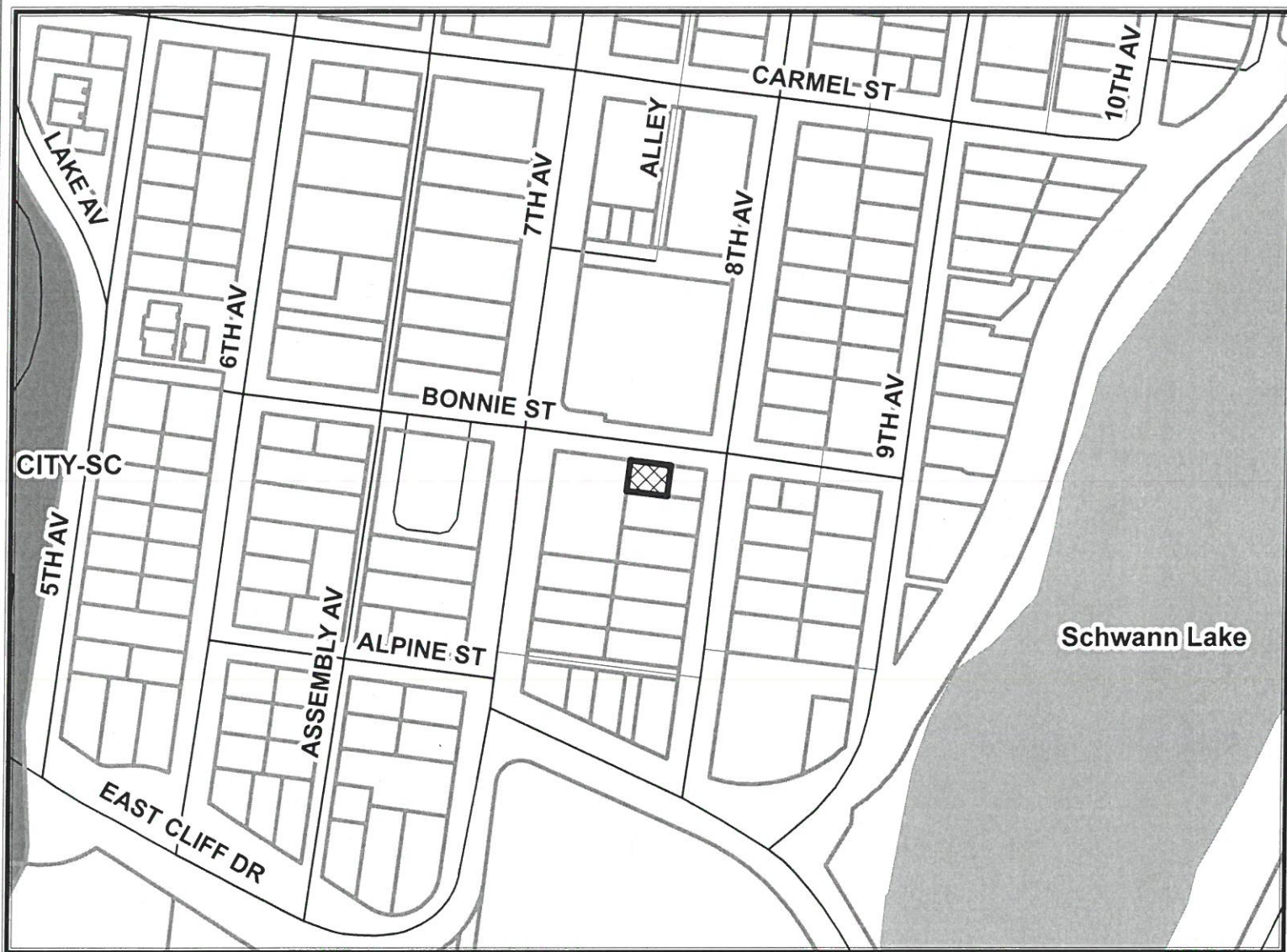
-  APN: 027-171-34
-  Assessors Parcels
-  Street
-  CITY OF SANTA CRUZ
-  County Boundary
-  Lakes







Map Created by
County of Santa Cruz
Planning Department
January 2016



Location Map



LEGEND

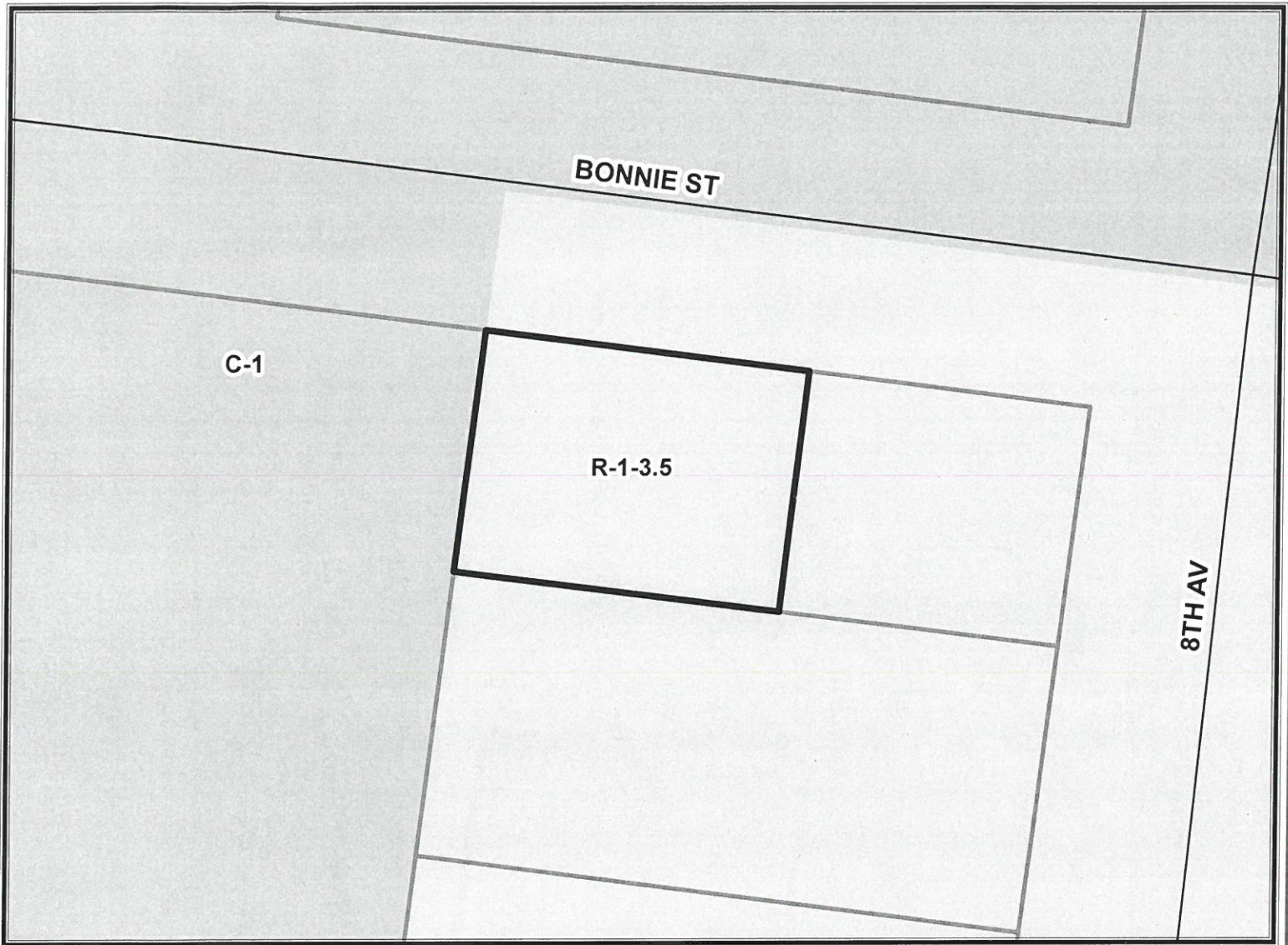
-  APN: 027-171-34
-  Assessors Parcels
-  Street
-  CITY OF SANTA CRUZ
-  Lakes



Map Created by
County of Santa Cruz
Planning Department
January 2016



Zoning Map



LEGEND



APN: 027-171-34



Assessors Parcels



Street



RESIDENTIAL-SINGLE FAMILY



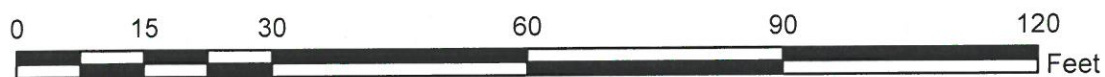
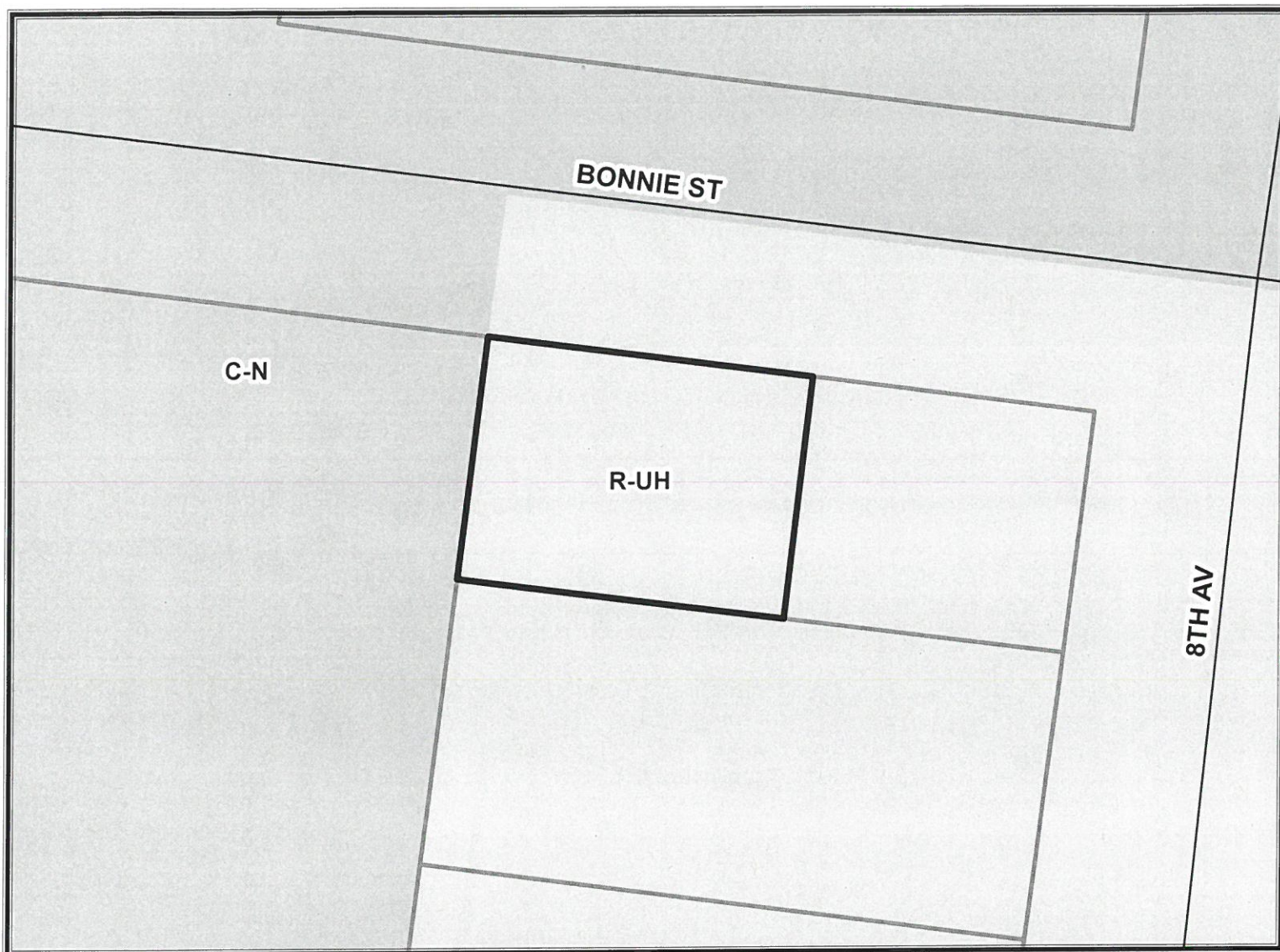
COMMERCIAL-NEIGHBORHOOD



Map Created by
County of Santa Cruz
Planning Department
January 2016



General Plan Designation Map



LEGEND

-  APN: 027-171-34
-  Assessors Parcels
-  Street
-  Residential - Urban High Density
-  Commercial-Neighborhood



Map Created by
County of Santa Cruz
Planning Department
January 2016

Save the Bonnie Tree!



Significant

This lovely ~~Heritage~~ Tree, at 752 Bonnie Street, will be destroyed unless we act NOW!
In addition to seeking the destruction of an ancient shade tree, the corporate developer has applied for substantial variances to permit construction of an oversized house on a tiny lot. They have requested numerous variances to HUGELY reduce ALL the required setbacks! They want to reduce the 15 ft yard setback to 2 feet!!!
They want to increase the allowed floor area ratio from 50% to 75%!
They want to increase the allowed 40% lot coverage to 60%!
And, finally, they want to reduce the parking requirement from 3 parking spaces to 1!

WHAT??!!

When the developer bought this property, they KNEW it was home to a large Heritage Tree. Now, with callous disregard for our community, they are seeking a waiver to destroy it. There is no justification for our planning department waiving the protection we owe to this tree!

This is the notice posted at 752 Bonnie St

NOTICE OF PROPOSED DEVELOPMENT

Application #151349

PROPOSAL TO DEMOLISH AN EXISTING SINGLE FAMILY DWELLING AND TO CONSTRUCT A NEW 1,180 SQUARE FOOT TWO BEDROOM SINGLE FAMILY DWELLING WITH A 225 SQUARE FOOT ATTACHED GARAGE. REQUIRES A COASTAL DEVELOPMENT PERMIT AND VARIANCES TO REDUCE THE REQUIRED EAST SIDE YARD FROM 5 FEET TO 3 FEET, REDUCE THE REQUIRED 15 FOOT REAR YARD TO 5 FEET, REDUCE THE REQUIRED 15 FOOT YARD SETBACK TO 2 FEET FOR THE HOUSE AND 10 FEET TO THE GARAGE, INCREASE THE ALLOWED 40% LOT COVERAGE TO 60% AND INCREASE ALLOWED FLOOR AREA RATIO FROM 50% TO 75%. PROJECT INCLUDES A PARKING VARIANCE TO REDUCE THE PARKING REQUIREMENT FROM 3 SPACES TO 1 PARKING SPACE AND SIGNIFICANT TREE REMOVAL PERMIT FOR THE REMOVAL OF A 30 INCH DIAMETER LOCUST TREE.

PROPERTY LOCATED ON THE SOUTH OF BONNIE STREET MIDWAY BETWEEN 7TH AND 8TH AVE (752 BONNIE STREET).

APN 027-171-34

FOR FURTHER INFORMATION CONTACT:

APPLICANT:

MICHAEL HELM, ARCHITECT
200 – 7TH AVENUE, #110
SANTA CRUZ, CA 95062
(831) 476-5386
msh@michaelhelm.com

PROJECT PLANNER:

NATHAN MACBETH
PLANNING DEPARTMENT
701 OCEAN STREET, 4TH FLR
SANTA CRUZ, CA 95060
(831) 454-3118
nathan.macbeth@santacruzcounty.us

Note that the (corporate) developer has deceptively given the tree size in diameter rather than circumference, which is the legal requirement. This makes the tree "appear" to be smaller. The size required to qualify a tree for "Heritage Protection" is 40" circumference at 48" above the ground. The actual size of this tree, measured at 48" above the ground, is a massive 101" - more than double the size required for protection! It is important that our community speaks with one voice to prevent this ongoing destruction of our unique ecosystem by corporate speculators.

Please call the project planner, Nathan MacBeth at (831) 454-3118 or email him at nathan.macbeth@santacruzcounty.us and let him know how you feel. Let's save the Bonnie Tree!!!

Nathan MacBeth

From: Ellen Wild <wildwoman12@gmail.com>
Sent: Tuesday, December 13, 2016 3:40 PM
To: Nathan MacBeth
Subject: Save the tree!

Dear Mr. Macbeth,

I write to URGE you to save the beautiful tree at 752 Bonnie St. Our big/old trees are one of our greatest assets, and need our help to preserve their gifts. It is far more important to save them than to allow developers to get rich. Yes, we need housing, but trees and housing do not need to be mutually exclusive. Please help us find better ways to manage both.

Thank you for your consideration.

Ellen Wild
845 Paget St.
Santa Cruz CA 95062

Nathan MacBeth

From: Kischka Bluspiro <kbluspiro@gmail.com>
Sent: Tuesday, December 13, 2016 3:34 PM
To: Nathan MacBeth
Subject: Please reject petition to remove Heritage Tree

Dear Mr. MacBeth,

I am writing to request that the county not approve a permit to remove the heritage tree located at 252 Bonnie St. When our county put a heritage tree in place, it was to prevent large shade trees from being cut down. However, my experience with the county shows that almost all requests for a waiver are allowed, and most, if not all, of these lovely trees end up being cut down to make way for more development. Please uphold the heritage tree ordinance and do not allow this tree to be cut down.



Kischka Bluspiro
2370 Paul Minnie Ave.
Santa Cruz, CA 95062

Nathan MacBeth

From: Vicki Downey <victoriasc27@gmail.com>
Sent: Tuesday, November 29, 2016 4:53 PM
To: Nathan MacBeth
Subject: Bonnie Street Development

Dear Mr. McBeth,

Please think long and hard about the proposed development on Bonnie Street as well as the removal of the tree there. As you know, the entire Seabright neighborhood seems to be under seiche from overdevelopment as well as tree removals in the entire city. The areas are becoming too overcrowded and the trees too scarce. Please do what you can to mitigate some of this.

Thank you,
Victoria Downey

Sent from my iPad

Nathan MacBeth

From: Jean Brocklebank <jeanbean@baymoon.com>
Sent: Thursday, October 13, 2016 7:47 PM
To: Nathan MacBeth
Subject: 752 Bonnie Way

Hi Nathan ~

Apologies for one more question about the project at 752 Bonnie Way.

We are planning a visit to family in Iowa, so I really want as much notice as possible about a hearing date. Are you able to tell me if such a hearing will not be scheduled prior to November 9th or 16th?

Thanks in advance for your answer!

Jean Brocklebank

Nathan MacBeth

From: Jean Brocklebank <jeanbean@baymoon.com>
Sent: Sunday, October 09, 2016 6:34 PM
To: Nathan MacBeth
Subject: 752 Bonnie Street

Dear Nathan ~

I am interested in the proposed development at 752 Bonnie Way. Please inform me of the date scheduled for this to be on the Planning Commission's meeting agenda.

Thank you,
Jean Brocklebank
7th Avenue resident

Nathan MacBeth

From: Jean Brocklebank <jeanbean@baymoon.com>
Sent: Tuesday, October 11, 2016 8:47 AM
To: Nathan MacBeth
Subject: Re: 752 Bonnie Street

Thank you, Nathan.

Do you have an idea of when, in general, it might be? In other words, another month, two months, two weeks?

I want to make sure that I email my concerns to you in a timely manner.

Jean

On Oct 11, 2016, at 8:41 AM, Nathan MacBeth wrote:

> Jean,
> This project is not currently scheduled for hearing.
> Thank you,
>
> Nathan MacBeth
> Development Review Planner
> County of Santa Cruz
>
> -----Original Message-----
> From: Jean Brocklebank [mailto:jeanbean@baymoon.com]
> Sent: Sunday, October 09, 2016 6:34 PM
> To: Nathan MacBeth
> Subject: 752 Bonnie Street
>
> Dear Nathan ~
>
> I am interested in the proposed development at 752 Bonnie Way. Please inform me of the date scheduled for this to be on the Planning Commission's meeting agenda.
>
> Thank you,
> Jean Brocklebank
> 7th Avenue resident
>

Nathan MacBeth

From: Tim Woods <timjam49@gmail.com>
Sent: Thursday, September 22, 2016 1:50 PM
To: Nathan MacBeth
Subject: Bonnie tree

Mr. MacBeth,

Please preserve the Bonnie Tree on Bonnie & 7th Ave.

Thank you,

--

Tim Woods
timjam49@gmail.com

Nathan MacBeth

From: Timothy Gillett <info@pondmagic.com>
Sent: Tuesday, September 20, 2016 4:15 PM
To: Nathan MacBeth
Subject: Significant tree 'locust tree' at 752 Bonnie Street.

9/20/16

To whom it may concern,

I am writing to oppose any action which might be taken to harm the wonderful 'locust tree' at 252 Bonnie Street.

This tree which measures 101" circumference around its trunk at 48" above the ground is a landmark tree in the area.

The developer who owns the property needs to find a way to keep this tree when he develops the property.

I own a business and rent office space in the building at 180 7th Street and this tree adds great ambience for those of us that work here.

In particular the view of the tree from the kitchen and upper and lower decks.

Yours sincerely

Timothy Gillett

info@pondmagic.com
cell 8312-234-8311

Nathan MacBeth

From: Tim Woods <timjam49@gmail.com>
Sent: Tuesday, September 20, 2016 2:24 PM
To: Nathan MacBeth
Subject: 752 Bonnie St

Mr. MacBeth,

I called you yesterday and left a message.

I work in the neighborhood where this property is and have noticed the sign and plans to remove a tree.

I hope this tree can be left alone as it provides valuable shade and privacy that would be lost should a two story building be built on that site.

Also, the number of variances being asked to develop this property seem excessive.

Thank you for considering this matter.

Best,

Tim Woods
831 462 0700

--
Tim Woods
timjam49@gmail.com

Nathan MacBeth

From: Rosalie Bruning <rosalie@rosaliebruning.com>
Sent: Monday, September 19, 2016 7:53 PM
To: Nathan MacBeth
Subject: 752 Bonnie Street

Dear Mr. Macbeth,

It has come to my attention that the proposed plans for 752 Bonnie Street include significant variances. I am particularly concerned about the threat to the 101" circumference heritage tree, as well as the reduced setbacks and inadequate parking. . Please don't let this project trample the well-formulated legal protections for the neighborhood, community, and environment.

Thank you,
Rosalie Bruning
180 7th Avenue, Suite 107

Nathan MacBeth

From: Maura Kelsea <mkelsea@baymoon.com>
Sent: Saturday, September 17, 2016 4:34 PM
To: Nathan MacBeth
Subject: Re: 752 Bonnie Proposed Development

Dear Mr. MacBeth,

In regard to the variances and destruction of a heritage tree for this development, I feel it should be denied. If the tree size is measured by the correct method, using circumference rather than diameter, at 48" above ground it is 101", well above the 40" designation for a heritage tree. The loss of our urban forest is a significant issue, in this drought time. The value of the large trees in shade, cooling, oxygen/CO2 exchange cannot be measured by mere dollars.

Additionally, the variances requested are much too small for neighbor comfort. Please deny this proposal for tree removal and requested variances.

Thank you,
Maura Kelsea
mkelsea@baymoon.com
831-427-9866
229 Cayuga St
Santa Cruz, CA
95062

Nathan MacBeth

From: Jason Segal <jsegal@cityofsantacruz.com>
Sent: Tuesday, January 10, 2017 3:55 PM
To: Nathan MacBeth
Subject: RE: 752 Bonnie St (027-171-34)

Hello Nathan,

After reviewing the upcoming planning commission agenda on the proposed existing SFD demo and rebuild, the City's comments are to submit a full set of building permit plans directly to the Santa Cruz Water Engineering Division for further review to determine water permit fees and water/fire service requirements for this proposed project. Thanks,

Jason Segal

Engineering Technician/Cross-Connection Control Specialist
City of Santa Cruz Water Department
O: (831) 420-5173 || E: jsegal@cityofsantacruz.com