



Staff Report to the Zoning Administrator

Application Number: **161363**

Applicant: Stephanie Barnes-Castro
Owner: Graham & Nina Burnette
APN: 028-212-03

Agenda Date: June 2, 2017
Agenda Item #: 1
Time: After 9:00 a.m.

Project Description: Proposal to demolish an existing one story single family dwelling (approx. 1,700 square feet) and to construct a replacement two story single family dwelling (approx. 3,000 square feet) with an attached garage (approx. 600 square feet) on property within the R-1-6 zone district.

Location: Property located on the south side of Geoffroy Drive, approximately 75 feet west of the intersection with 16th Avenue. (130 Geoffroy Drive)

Supervisory District: 1st District (District Supervisor: John Leopold)

Permits Required: Coastal Development Permit

Technical Reviews: Geologic and Soils Report Reviews

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 161363, based on the attached findings and conditions.

Exhibits

- | | |
|---|---|
| A. Categorical Exemption (CEQA determination) | E. Assessor's, Location, Zoning and General Plan Maps |
| B. Findings | F. Comments & Correspondence |
| C. Conditions | |
| D. Project plans | |

Parcel Information

Parcel Size:	6,649 square feet (plans)
Existing Land Use - Parcel:	Single family residence
Existing Land Use - Surrounding:	Single family residential neighborhood, Pacific Ocean
Project Access:	Geoffroy Drive

Planning Area: Live Oak
Land Use Designation: R-UL (Urban Low Density Residential)
Zone District: R-1-6 (Single Family Residential - 6,000 square feet minimum)
Coastal Zone: ☒ Inside ☐ Outside
Appealable to Calif. Coastal Comm. ☒ Yes ☐ No

Environmental Information

Geologic Hazards: Coastal rock shelf
Soils: Report review completed
Fire Hazard: Not a mapped constraint
Slopes: 5% at building site
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: No grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Scenic beach viewshed
Drainage: Drainage plan reviewed by Department of Public Works
Archeology: Not mapped/no physical evidence on site

Services Information

Urban/Rural Services Line: ☒ Inside ☐ Outside
Water Supply: City of Santa Cruz
Sewage Disposal: Santa Cruz County Sanitation District
Fire District: Central Fire Protection District
Drainage District: Zone 5 Flood Control District

Project Setting

The project site is located on the south side of Geoffroy Drive, at 130 Geoffroy Drive. The project site is located within a single family residential neighborhood with homes to the north, east, and west. A coastal rock shelf (bluff) is located to the south of the subject property. The project site is located within the scenic viewshed of the coastal rock shelf located to the immediate south of the property.

Project Scope

This application includes a proposal to demolish an existing one story single family dwelling (approximately 1,700 square feet with two bedrooms) and to construct a two-story single family dwelling (of approximately 3,000 square feet with an attached garage of approximately 600 square feet).

Zoning & General Plan Consistency

The subject property is a parcel of approximately 6,649 square feet, located in the R-1-6 (Single Family Residential - 6,000 square feet minimum) zone district, a designation which allows residential uses. The proposed replacement residence is a principal permitted use within the zone district and the zoning is consistent with the site's R-UL (Urban Low Density Residential) General Plan designation.

The proposed residence complies with the site standards for the zone district, as outlined below:

	R-1-6 Site Standards	Proposed
Front yard setback	20'	20'
Rear yard setback	15' (or coastal bluff setback)*	34'
Side yard setbacks	5' and 8'	5' and 8'
Maximum height	28'	27'-6"
Maximum % lot coverage	40%	35%
Maximum Floor Area Ratio	50%	49.9%

*Coastal bluff setback also applies - minimum of 25 feet from coastal bluff edge (per technical reports).

Adequate parking will be provided on site for the proposed three-bedroom residence in the driveway and attached garage.

Design Review & Scenic Resources

The design of the proposed residence was evaluated from both the context of views from the surrounding neighborhood and views from the rock shelf to the south. As viewed from Geoffroy Drive, as well as the rock shelf to the south, the residence will fit into the surrounding neighborhood. The proposed residence will be located adjacent to other residences in the neighborhood and will blend with the existing pattern of development.

Coastal Rock Shelf & Geologic Hazards

The project site is located adjacent to a coastal rock shelf (bluff) to the south of the subject property. Geologic and geotechnical reports have been reviewed and accepted for this application and an appropriate coastal bluff setback has been determined. The proposed residence will comply with the required coastal bluff setback.

Conclusion

This proposal would result in the construction of a replacement single family residence with an existing residential neighborhood. The design of the proposed replacement residence is consistent with the existing pattern of development in the immediate neighborhood and surrounding area.

As proposed and conditioned, the project is consistent with all applicable codes and policies of the

Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **161363**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

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CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 161363

Assessor Parcel Number: 028-212-03

Project Location: 130 Geoffroy Drive

Project Description: Demolish an existing 1 story residence and construct a replacement 2 story residence.

Person or Agency Proposing Project: Stephanie Barnes-Castro

Contact Phone Number: 831-239-0603

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. ☒ **Categorical Exemption**

Specify type: Class 2 - Replacement or Reconstruction (Section 15302)

F. Reasons why the project is exempt:

Construction of a replacement single family dwelling in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Randall Adams, Project Planner

Date: _____

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts, listed in section 13.10.170(D) as consistent with the General Plan and Local Coastal Program LUP designation.

This finding can be made, in that the property is zoned R-1-6 (Single Family Residential - 6,000 square feet minimum), a designation which allows residential uses. The proposed replacement residence is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UL (Urban Low Density Residential) General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to Section 13.20.130 and Section 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the site is surrounded by lots developed to an urban density; the colors will be natural in appearance and complementary to the site.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the General Plan and Local Coastal Program land use plan, specifically Chapter 2: figure 2.5 and Chapter 7, and, as to any development between the nearest through public road and the sea or the shoreline of any body of water located within the coastal zone, such development is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act commencing with section 30200.

This finding can be made, in that although the project site is located between the shoreline and the first public road, public beach access is available at 14th Avenue and Sunny Cove. Consequently, the replacement residence will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

5. That the proposed development is in conformity with the certified local coastal program.

This finding can be made, in that the structure is sited and designed to be visually compatible, in scale, and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-6 (Single Family Residential - 6,000 square feet minimum) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the existing range of styles.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the replacement residence and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-6 (Single Family Residential - 6,000 square feet minimum) zone district as the primary use of the property will be one single family residence that meets all current site standards for the zone district.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-UL (Urban Low Density Residential) land use designation in the County General Plan.

The proposed replacement residence will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the replacement residence will not adversely shade adjacent properties, and will meet current setbacks for the zone district.

The proposed replacement residence will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed replacement residence will comply with the site standards for the R-1-6 zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed replacement residence is to be constructed in place of an existing residence. No increase in traffic generation (1 PM peak trip per dwelling unit) or utilities consumption is anticipated.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed replacement residence is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed replacement residence will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area.

Conditions of Approval

Exhibit D: Project plans "Burnette Residence", prepared by Stephanie Barnes-Castro Architect, revised 2/6/17.

- I. This permit authorizes the construction of a replacement residence as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
 - C. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - D. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
 - E. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder) within 30 days from the effective date of this permit.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not

been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Planning Department review and approval.

3. Grading, drainage, and erosion control plans.
 4. Re-label the proposed floor plans and sections to change the proposed "Playroom" to "Living Room" and to change the proposed "Living Room" to "Family Room". (If these revisions are not made, the Playroom would be considered as a bedroom and additional fees would be charged in the Building Permit phase).
 5. Details showing compliance with fire department requirements.
- B. Meet all requirements of and pay Zone 5 drainage fees to the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
 - C. Meet all requirements of the City of Santa Cruz Water Department.
 - D. Meet all requirements of the Santa Cruz County Sanitation District.
 - E. Meet all requirements of the Environmental Planning section of the Planning Department.
 - F. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
 - G. Submit 3 copies of plan review letters prepared and stamped by the project Geologist.
 - H. Submit 3 copies of plan review letters prepared and stamped by the project Geotechnical Engineer.
 - I. Pay the current fees for Parks and Child Care mitigation for 1 bedroom(s). Currently, these fees are, respectively, \$1,000 and \$109 per bedroom.
 - J. Pay the current fees for Roadside and Transportation improvements for 1 bedroom(s). Currently, these fees are, respectively, \$1,000 and \$1,000 per bedroom.
 - K. Provide required off-street parking for 3 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - L. Submit a written statement signed by an authorized representative of the school

district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.

- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- IV. Operational Conditions
- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or

cooperate was significantly prejudicial to the Development Approval Holder.

- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor'(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

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SHEET A1	EXISTING & PROPOSED SITE PLAN
SHEET A2	PROJECT DATA, HISTORY MAP
SHEET A3	LOWER LEVEL FLOOR PLAN
SHEET A4	UPPER LEVEL FLOOR PLAN
SHEET A5	EXTENSIVE ELEVATIONS
SHEET A6	EXTENSIVE ELEVATIONS
SHEET A7	ROOF PLAN
SHEET A8	REACHING, SECTION A-A EXTENSIVE
SHEET A9	REACHING, SECTION A-A EXTENSIVE
SHEET B1	NEIGHBORHOOD PHOTOS
SHEET B2	F.A.R. & LOT COVERAGE LEGEND
SHEET B3	GENERAL NOTES, LAST-MINUTE REVISIONS
SHEET B4	PERMITS ANALYSIS
SHEET C1	EXISTING SITE INFORMATION PLAN
SHEET C2	PRELIMINARY GRADING & DRAINAGE
SHEET C3	PRELIMINARY GRADING SECTIONS
SHEET C4	PRELIMINARY GRADING SECTIONS
SHEET C5	PRELIMINARY SITEWATER FLOW PLAN

NOTE:
ALL TREES ARE TO BE 15 GALLON UNLESS NOTED OTHERWISE. ALL SHRUBS ARE TO BE 5 GALLON UNLESS NOTED OTHERWISE. AUTOMATICALLY TIMED IRRIGATION SYSTEM CONSISTING OF SPRAY AND DRIP COMPONENTS WILL BE USED.

[illegible]

1. THESE PLANS SHALL COMPLY WITH CALIFORNIA BUILDING AND FIRE CODES (CURRENT EDITION) AND DISTRICT AMENDMENTS.

- FIRE RATING, CONSTRUCTION TYPE, TYPE IV**
- A 30 FOOT CLEARANCE SHALL BE MAINTAINED TO FLAMMABLE OBSTACLES INCLUDING BUT NOT LIMITED TO TREES, POWER LINES, AND STRUCTURES. SINGLE OPENINGS OF TREES, POWER LINES, AND STRUCTURES ARE NOT TO BE USED AS GROUND COVE. REQUIRED FIRE PROOFING OF ALL MAINS AND TRANSFORMERS SHALL BE MAINTAINED TO PREVENT FIRE FROM THE GROUND TO ANY STRUCTURES, ARE EXEMPT.
- THE ROOF COVERING SHALL NOT RELEASER THAN GLASS W/ BATT ROOF.
- ALL 4 HIGH ADDRESS NUMBERS OF CONTAINING COLOR WITH THE JOB CODES OF THE BUILDING PLANS AND PERMITS MUST BE ON BUILDING NOTIFICATIONS.
- THE BUILDING SHALL BE PROTECTED BY AN AUTOMATIC FIRE SUPPRESSION SYSTEM COMPLIANT WITH THE CURRENTLY ADOPTED EDITION OF NFPA 201 IN CHAPTER 25 OF THE CALIFORNIA BUILDING CODE.
- PERMITS FOR THE INSTALLATION OF THESE TYPES OF PLANS AND ADDRESS NUMBERS FOR THE INSTALLATION OF THIS AGENCY FOR APPROVAL.
- AUTOMATIC FIRE SUPPRESSION SYSTEM TO THIS AGENCY FOR APPROVAL.

EXISTING RESIDENT TO BE DEMOLISHED

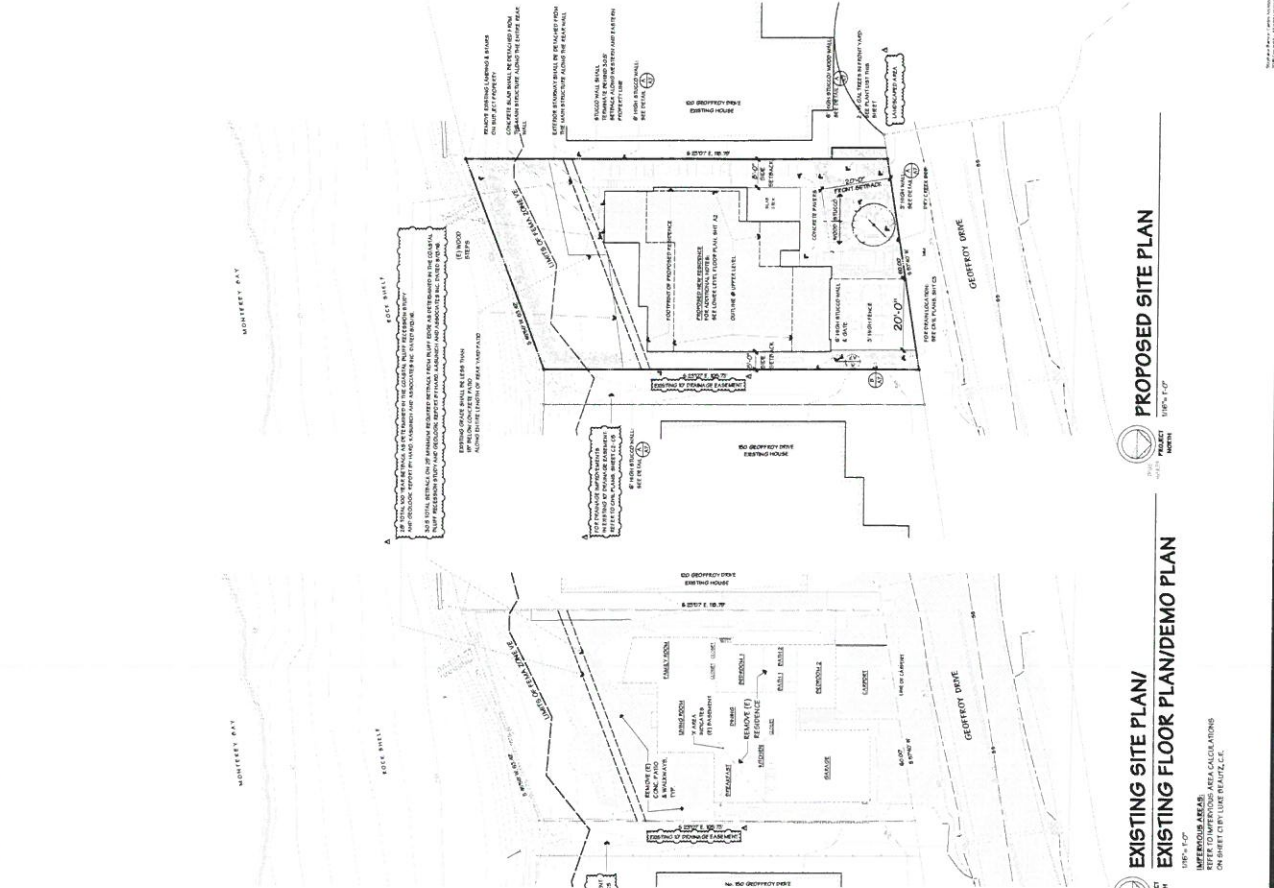
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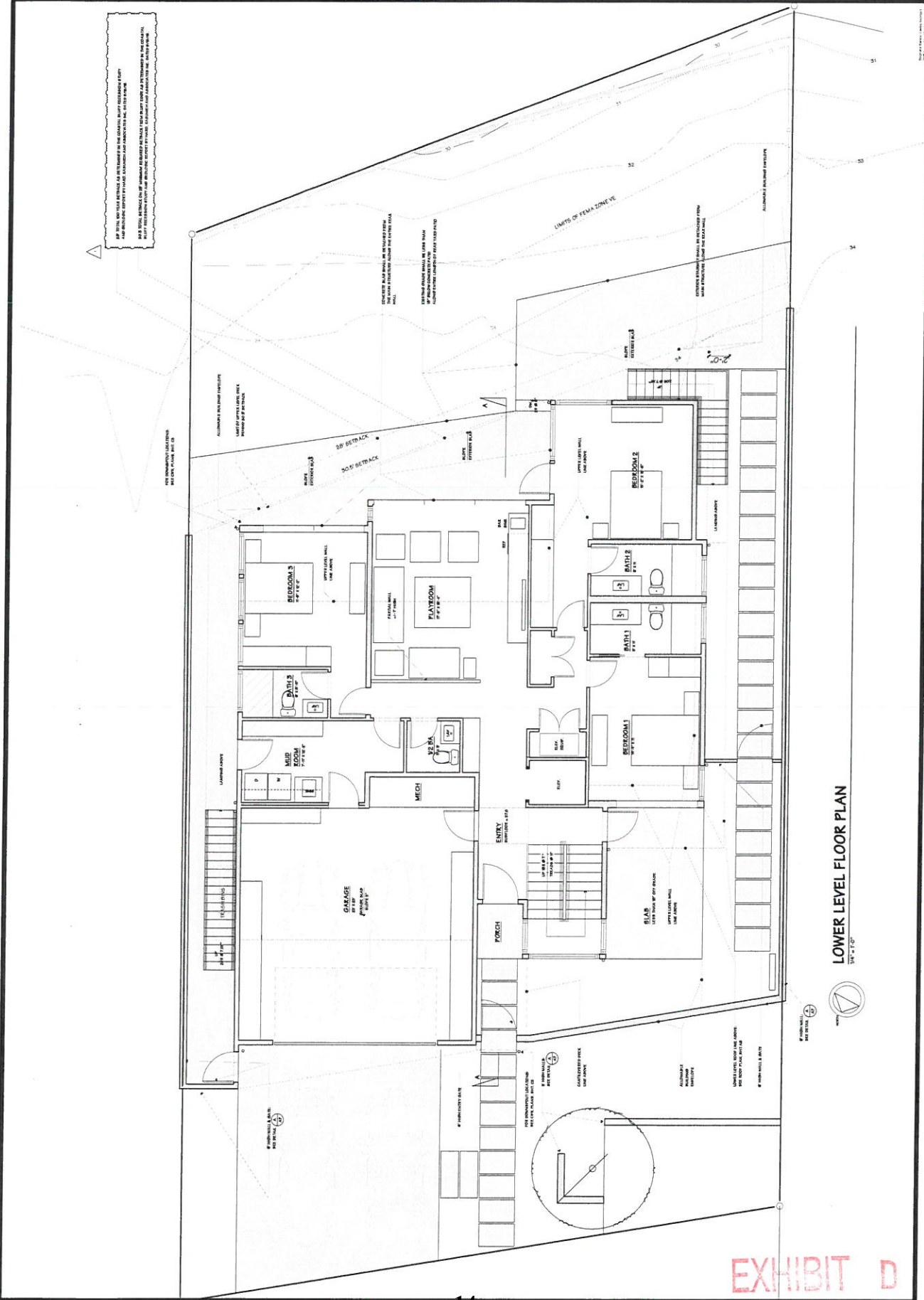
MAXIMUM ALLOWABLE LOT COVERAGE: LOT AREA X 40% = 8,849 SF X 40%

116" = 9'-0"

IMPERVIOUS AREAS:

1995, 1996)





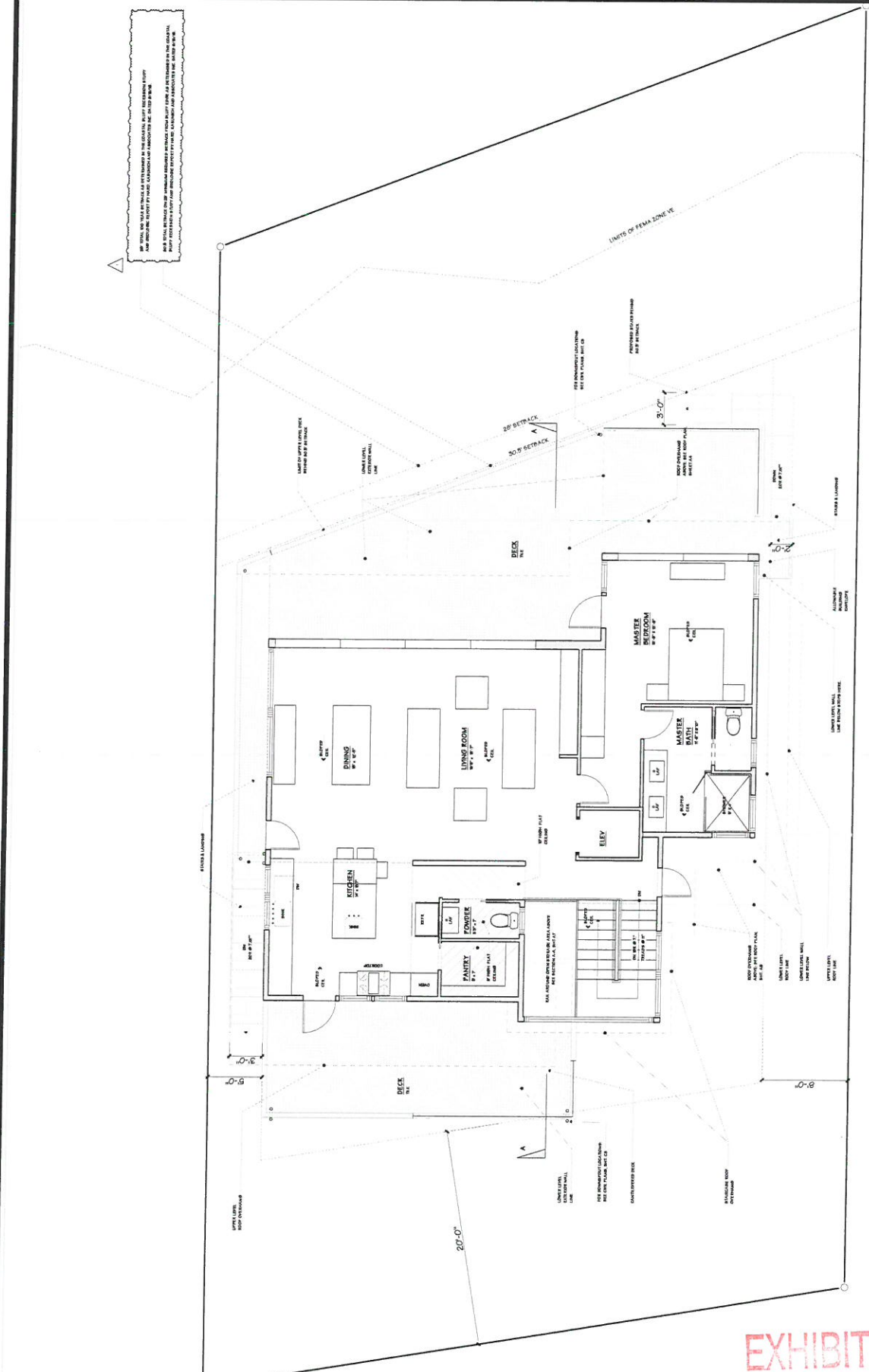


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UPPER LEVEL
FLOOR PLAN

BURNETTE RESIDENCE
130 GEOFFROY DRIVE
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APN# 028-212-03

SHEET	DATE
A3	11/11/11
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NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.
3. ALL DOORS ARE 3'0" WIDE UNLESS NOTED OTHERWISE.
4. ALL WINDOWS ARE 6'0" WIDE UNLESS NOTED OTHERWISE.
5. ALL FLOORS ARE 4" THICK UNLESS NOTED OTHERWISE.
6. ALL ROOFS ARE 12/12 UNLESS NOTED OTHERWISE.
7. ALL CEILING ARE 9'0" HIGH UNLESS NOTED OTHERWISE.
8. ALL STAIRS ARE 10'0" WIDE UNLESS NOTED OTHERWISE.
9. ALL BALUSTRADES ARE 42" HIGH UNLESS NOTED OTHERWISE.
10. ALL HANDRAILS ARE 36" HIGH UNLESS NOTED OTHERWISE.
11. ALL LIGHT FIXTURES ARE 24" DIAMETER UNLESS NOTED OTHERWISE.
12. ALL SINKS ARE 18" WIDE UNLESS NOTED OTHERWISE.
13. ALL TUBS ARE 60" WIDE UNLESS NOTED OTHERWISE.
14. ALL SHOWERS ARE 60" WIDE UNLESS NOTED OTHERWISE.
15. ALL TOILETS ARE 30" WIDE UNLESS NOTED OTHERWISE.
16. ALL VANES ARE 14" WIDE UNLESS NOTED OTHERWISE.
17. ALL CASES ARE 36" WIDE UNLESS NOTED OTHERWISE.
18. ALL ISLANDS ARE 48" WIDE UNLESS NOTED OTHERWISE.
19. ALL BENCHES ARE 48" WIDE UNLESS NOTED OTHERWISE.
20. ALL SEATING ARE 18" WIDE UNLESS NOTED OTHERWISE.
21. ALL TABLES ARE 30" WIDE UNLESS NOTED OTHERWISE.
22. ALL CHAIRS ARE 18" WIDE UNLESS NOTED OTHERWISE.
23. ALL SOFAS ARE 72" WIDE UNLESS NOTED OTHERWISE.
24. ALL COUCHES ARE 72" WIDE UNLESS NOTED OTHERWISE.
25. ALL BEDS ARE 72" WIDE UNLESS NOTED OTHERWISE.
26. ALL MATTRESSES ARE 72" WIDE UNLESS NOTED OTHERWISE.
27. ALL PILLOWS ARE 18" WIDE UNLESS NOTED OTHERWISE.
28. ALL BLINDS ARE 48" WIDE UNLESS NOTED OTHERWISE.
29. ALL CURTAINS ARE 48" WIDE UNLESS NOTED OTHERWISE.
30. ALL RUGS ARE 12'0" X 18'0" UNLESS NOTED OTHERWISE.
31. ALL CARPETS ARE 1/4" THICK UNLESS NOTED OTHERWISE.
32. ALL FLOORS ARE 4" THICK UNLESS NOTED OTHERWISE.
33. ALL ROOFS ARE 12/12 UNLESS NOTED OTHERWISE.
34. ALL CEILING ARE 9'0" HIGH UNLESS NOTED OTHERWISE.
35. ALL STAIRS ARE 10'0" WIDE UNLESS NOTED OTHERWISE.
36. ALL BALUSTRADES ARE 42" HIGH UNLESS NOTED OTHERWISE.
37. ALL HANDRAILS ARE 36" HIGH UNLESS NOTED OTHERWISE.
38. ALL LIGHT FIXTURES ARE 24" DIAMETER UNLESS NOTED OTHERWISE.
39. ALL SINKS ARE 18" WIDE UNLESS NOTED OTHERWISE.
40. ALL TUBS ARE 60" WIDE UNLESS NOTED OTHERWISE.
41. ALL SHOWERS ARE 60" WIDE UNLESS NOTED OTHERWISE.
42. ALL TOILETS ARE 30" WIDE UNLESS NOTED OTHERWISE.
43. ALL VANES ARE 14" WIDE UNLESS NOTED OTHERWISE.
44. ALL CASES ARE 36" WIDE UNLESS NOTED OTHERWISE.
45. ALL ISLANDS ARE 48" WIDE UNLESS NOTED OTHERWISE.
46. ALL BENCHES ARE 48" WIDE UNLESS NOTED OTHERWISE.
47. ALL SEATING ARE 18" WIDE UNLESS NOTED OTHERWISE.
48. ALL TABLES ARE 30" WIDE UNLESS NOTED OTHERWISE.
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99. ALL ISLANDS ARE 48" WIDE UNLESS NOTED OTHERWISE.
100. ALL BENCHES ARE 48" WIDE UNLESS NOTED OTHERWISE.

UPPER LEVEL FLOOR PLAN
1/8" = 1'-0"

EXHIBIT D

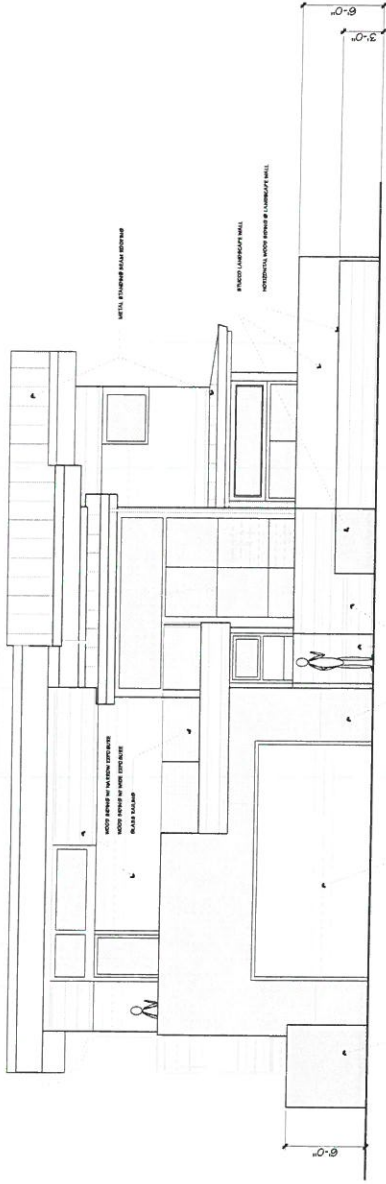


STEPHANIE
BARNES-CASTRO
ARCHITECT
SAN FRANCISCO, CA 94103
TEL: 415.774.1100
WWW.STEPHANIEBARNES-CASTRO.COM

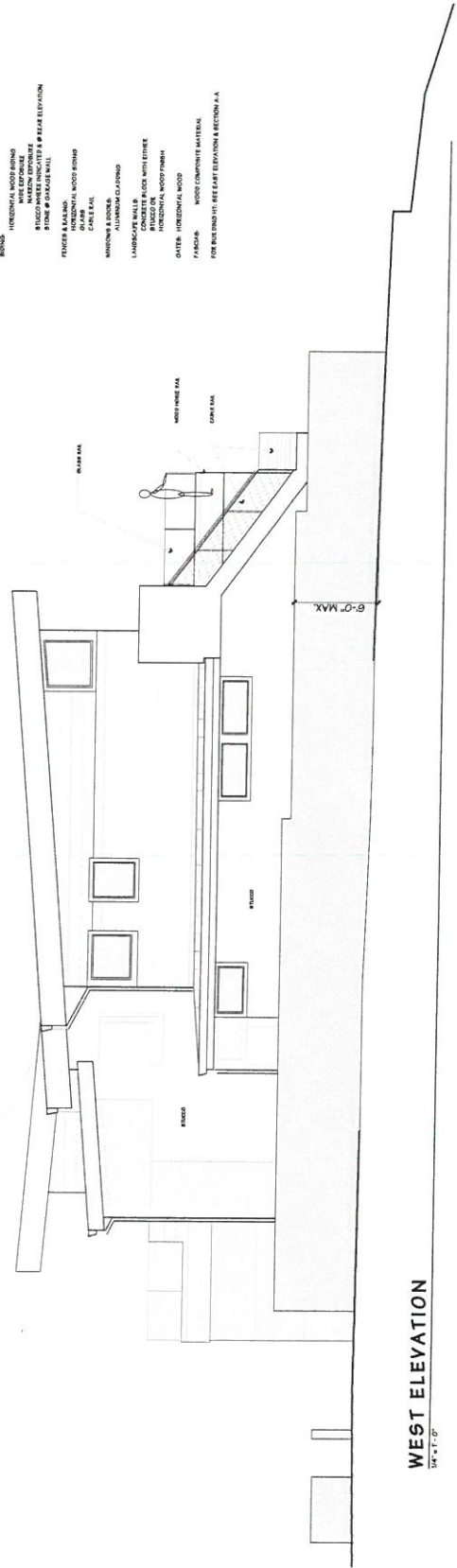
EXTERIOR
ELEVATIONS

BURNETTE RESIDENCE
130 GEOFFROY DRIVE
SANTA CRUZ, CA 95062
APN# 028-212-03

SHEET	A4
DATE	10/11/11
BY	STEPHANIE BARNES-CASTRO
CHECKED BY	
DATE	



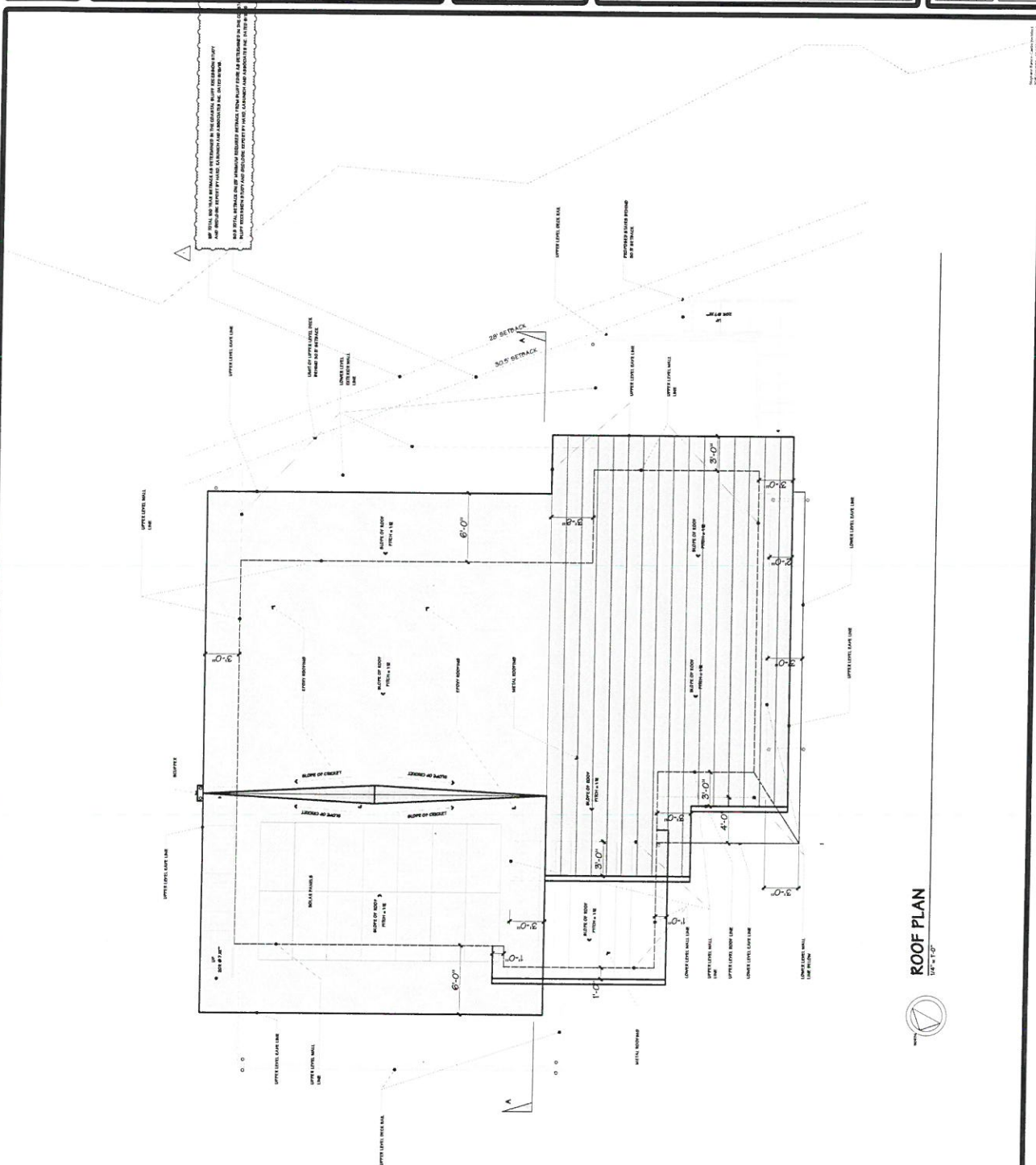
NORTH ELEVATION: STREET ELEVATION
14'-0"



WEST ELEVATION
14'-0"

- EXTERIOR BUILDING MATERIALS:
- ROOFING: WHITE TILE - 18" SQUARE
WHITE TILE - 18" SQUARE
WHITE TILE - 18" SQUARE
 - BRICKS: 18" SQUARE
18" SQUARE
18" SQUARE
 - STONE: 18" SQUARE
18" SQUARE
18" SQUARE
 - FENCES & RAILINGS: 18" SQUARE
18" SQUARE
18" SQUARE
 - WINDOWS & DOORS: 18" SQUARE
18" SQUARE
18" SQUARE
 - LANDSCAPE: 18" SQUARE
18" SQUARE
18" SQUARE
 - GATES: 18" SQUARE
18" SQUARE
18" SQUARE
 - FOR BUILDING SEE EAST ELEVATION & SECTION A-A

EXHIBIT D



ROOF PLAN

EXHIBIT D

$1'' = 10' - 0''$ 

A CONCRETE BLOCK WALL DETAIL W/ STUCCO/WOOD FINISH

EXHIBIT D



250 GEOFFROY



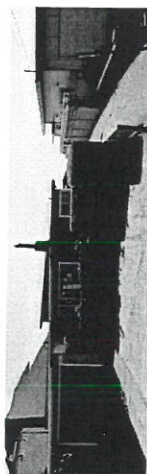
240 GEOFFROY



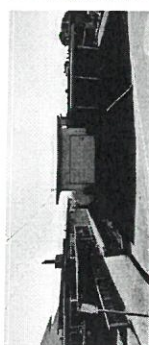
220 GEOFFROY



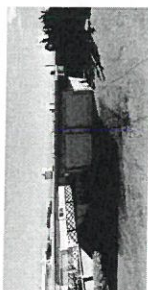
200 GEOFFROY



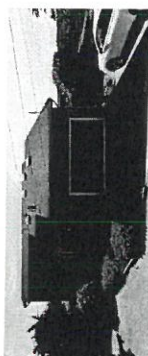
150 GEOFFROY



130 GEOFFROY
SUBJECT PROPERTY



120 GEOFFROY



110 GEOFFROY



2 STORY HOME
UNDER CONSTRUCTION
100 GEOFFROY



90 GEOFFROY

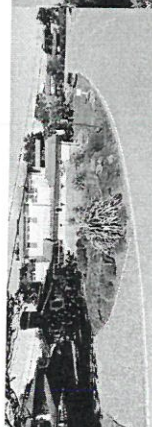


BO GEOFFROY

NEIGHBORHOOD PHOTOS: SAME SIDE OF STREET



65 GEOFFROY



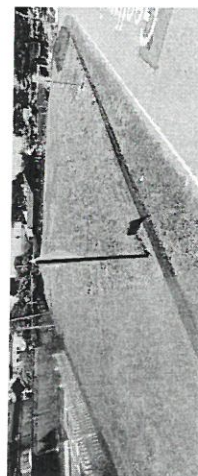
101 GEOFFROY



103 16TH AVENUE

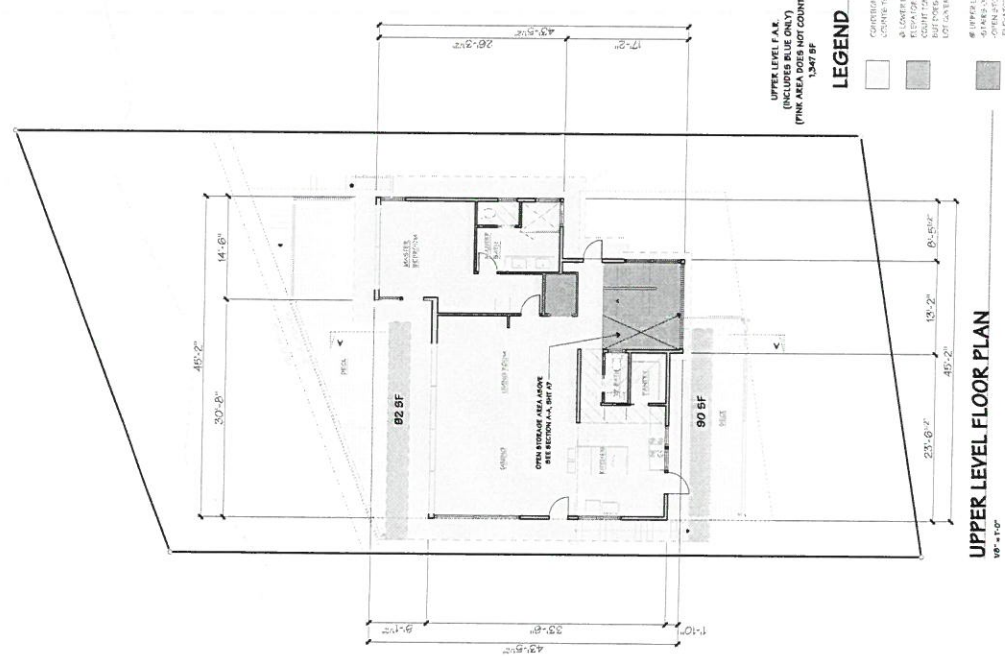
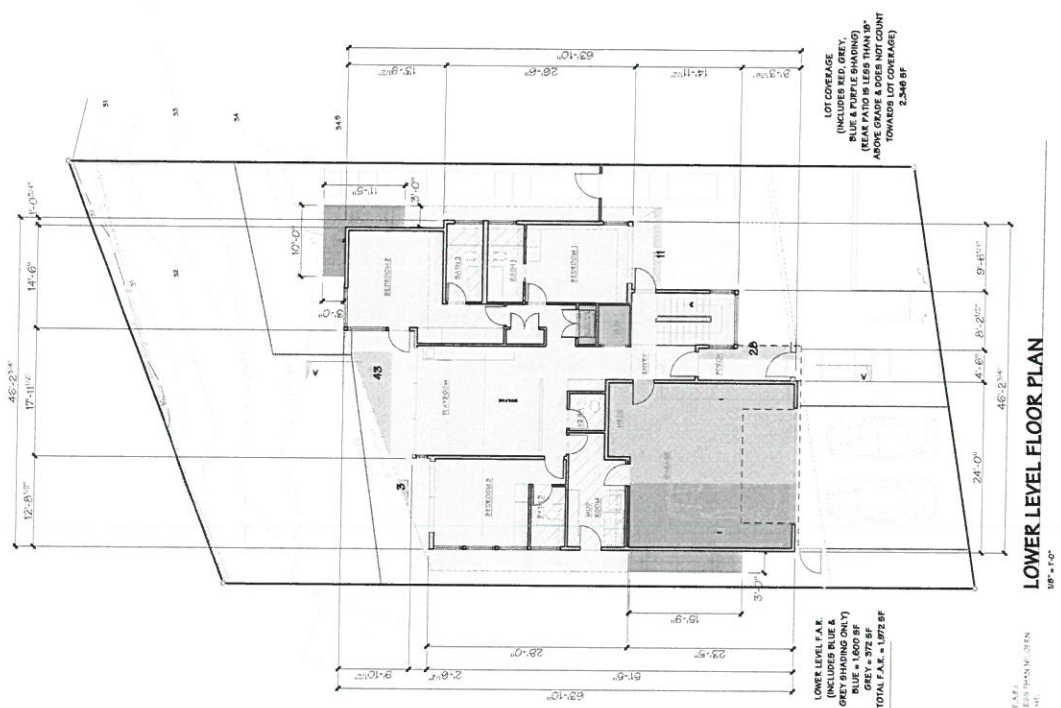


225 GEOFFROY DRIVE



TWO VACANT PARCELS
GEOFFROY DRIVE

NEIGHBORHOOD PHOTOS: OPPOSITE SIDE OF STREET



21

GENERAL NOTES

- All construction shall comply with applicable requirements in the current edition of the Santa Cruz County Design Criteria.
- All figure (fig.) references, unless otherwise specified, refer to Design Criteria.
- No changes in the approved plans shall be made without prior approval by the Santa Cruz County Planning Department and Public Works Department.
- The Director of Planning, or his authorized representative, shall have the authority to stop work if the work is not being done in accordance with the approved Improvement Plans.
- The contractor shall notify the Santa Cruz County Planning Department (454-2580 or 454-2077) at least 24 hours prior to the start of construction.
- All drainage inlets are to be precast concrete, Christy boxes.
- All material to be placed on plan, or equivalent, with concrete footings.
- All storm drain material to be Schedule 40 PVC.
- All construction shall be in accordance with the recommendations of the Geotechnical Investigation prepared for the site by Haro, Research and Associates, Inc., Project No. SC10227.

ABBREVIATIONS

AC	ASPHALT CONCRETE	RC	RELATIVE COMPACTION
AGG	AGGREGATE	S	SLOPE
BO	BOTTOM	SD	STORM DRAIN
CL	CENTERLINE	SS	SANITARY SEWER
(E)	EXISTING	SSMH	SANITARY SEWER MANHOLE
EG	EXISTING GROUND	TF	TOP OF FOOTING
FG	FINISHED GRADE	TG	TOP OF GRADE
FL	FLOWLINE	TSF	TOP OF SUBFLOOR
FS	FINISHED SURFACE	TW	TOP OF WALL
GS	GRADE BREAK	W	TYPICAL
INV	INVERT	WM	WATER METER
LF	LINEAR FEET		

EARTHWORK ESTIMATE

OVEREXCAVATION AND RECOMPACTION OF TOP 18" BELOW BUILDING SLAB PER GEOTECHNICAL REPORT

VOLUME = ±130 CUBIC YARDS

BACKFILL OF EXISTING BASEMENT

VOLUME = ±70 CUBIC YARDS

GENERAL GRADING (INCLUDES DRIVEWAY, BUILDING SLAB, AND FLATWORK STRUCTURAL SECTIONS)

FILL = 70 CUBIC YARDS

PROJECT TOTAL = 115 CUBIC YARDS IMPORT

EROSION CONTROL NOTES

- Stockpile disturbed topsoil and redistribute around the finished site as seed base.
- Disturb only those areas under construction. Do not leave soil unprotected.
- Exposed soil shall be protected at all times as follows:

Seed and Straw Mulch

Seed and straw mulch is to be used for soil disturbed areas as a means of erosion control. The seed shall be applied at a rate of 5 lbs/1000 sq. ft. over disturbed areas and then placing a uniform layer of straw (2-3 bales/1000 sq. ft.) incorporating it into the soil with a stud roller or anchoring it with a tackifier stabilizing emulsion.

Note: Areas that are not suitable habitat, the seed shall be annual winter barley and the straw shall be derived from rice, barley, or wheat. The straw shall be placed in a windrow, and the straw shall be approved by the Planning Department.

SEDIMENT CONTROL NOTES

Silt Fence shall be used for perimeter control. They shall be placed below areas where sheet piling, excavation, or other construction activities are occurring to control below disturbed areas where runoff may occur in the form of sheet erosion.

Silt fences shall not be used in locations where ponded water may cause flooding. Silt fences shall not be used on a slope, or across an easement line. If not installed at the same elevation throughout, silt fences will create erosion.

The maximum length of slope draining to any point along the silt fence should be 200 feet or less.

The ends of the silt fence shall be turned uphill to prevent stormwater from flowing around the fence.

CONSTRUCTION WASTE CONTROL MEASURES

- SPILLS ARE TO BE STORED ON SITE, PLACE SPILLS PILE ON A FLAT PORTION OF THE SITE AND SURROUND IT WITH A SILT FENCE PER DETAIL C1-C.
- BE SURROUNDED WITH A SILT FENCE PER DETAIL C1-C. WHEN ACTIVE WORK IS NOT BEING PERFORMED, THE SPILLS SHALL BE COVERED WITH PLASTIC AND THE PLASTIC SHALL BE SECURED IN PLACE WITH ROPES AND SANDBAGS.

SITE HOUSEKEEPING REQUIREMENTS

- CONSTRUCTION MATERIALS
- ALL CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (i.e. SOIL, SHALES, AGGREGATE, FLY ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BRINED.
 - HYDROCARBON CONTAINERS (WITH OR WITHOUT CONTENTS) SHALL BE STORED IN TIGHT CONTAINERS (WITH LIDS) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
 - EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE PREVENTED BY COVERING MATERIALS WITH TARP OR PLASTIC.
 - ALL MATERIALS ARE TO BE STORED OUTDOORS AND PROTECTED TO ENVIRONMENTAL CONDITIONS (i.e. PILES, EQUIPMENT PAIRS, CABINETS, CONDUITS, INSULATORS, BRICKS, ETC.)
 - BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.
- WASTE MANAGEMENT
- ALL WASTE MATERIALS OR MATERIALS ON IMPROVISED OR PERVIOUS SURFACES SHALL BE CONTAINED (i.e. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM.
 - ALL WASTE MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED IN AN INLET, STREET OR DRAINAGE, STREAM, OCEAN AREA OR OTHER DRAINAGE FACILITY.
 - SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS.
 - COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY.
 - DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
 - ALL WASTE MATERIALS SHALL BE PROTECTED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
 - PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
 - EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE.
 - ALL WASTE MATERIALS AND LIDS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY.
 - CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.
 - ON SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE ROPS AND LIDS.
 - LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.
 - LANDSCAPE MATERIALS
 - ALL LANDSCAPE MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
 - CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
 - DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
 - ALL LANDSCAPE MATERIALS SHALL BE STORED IN A DESIGNATED AREA FITTED WITH APPROPRIATE ROPS AND LIDS.
 - TO MANUFACTURER'S RECOMMENDATIONS FOR MATERIALS AND APPLICATION RATES ACCORDING TO KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
 - STOCK ERODIBLE LANDSCAPE MATERIALS ON PALLETS AND COVER, OR STORE SUCH MATERIALS WHEN NOT ACTIVELY BEING USED.

PRE-DEVELOPMENT CONDITIONS

SHEET C2 = 4,500 S.F.

POST-DEVELOPMENT CONDITIONS

IMPROVED AREA OF NEW HOUSE, AND FLATWORK AREAS - 4,000 S.F.

THE PROPOSED DEVELOPMENT RESULTS IN A NET DECREASE IN IMPROVED AREA OF 500 S.F.

LOW IMPACT DEVELOPMENT MEASURES

- PERMANENT PAVING BLOCKS SHALL BE NEW IMPROVED AREAS.
- 2.4 NEW DOWN SPOUTS WILL BE OUTLETTED ONTO CONCRETE SPLASH PAD AREAS TO ENCOURAGE PERCOLATION AND PREVENT FILLATION OF RUNOFF.
- 3.1 NEW DOWN SPOUT WILL BE OUTLETTED INTO A DRY CREEK BED TO PREVENT FILLATION OF RUNOFF.
- 4.1 NEW DOWN SPOUT WILL BE OUTLETTED ONTO THE PERMANENT PAVING BLOCK DRIVEWAY TO DISCOURAGE PERCOLATION.
- 5.1 NEW DOWN SPOUT WILL BE OUTLETTED INTO A CLOSED CONDUIT PER DETAIL C1-A.

BUILDING SITE UPOUSE AND ADJACENT DRAINAGE PATTERN

THE BUILDING SITE DOES NOT RECEIVE RUNOFF FROM THE ADJACENT EXISTING INLET NEAR THE NORTHEAST CORNER OF THE PROPERTY. EXISTING INLET NEAR THE NORTHEAST CORNER OF THE PROPERTY.

DOWNSTREAM ASSESSMENT

AFTER LEAVING THE SITE, RUNOFF FROM THE FRONT OF THE PROPERTY WILL BE COLLECTED IN A DRAINAGE DITCH AND RUNOFF DRIVE TO AN EXISTING INLET NEAR THE NORTHEAST CORNER OF THE PROPERTY. THE RUNOFF FROM THE FRONT OF THE PROPERTY WILL NOT CAUSE ANY ADVERSE IMPACTS TO THE EXISTING DRAINAGE SYSTEM.

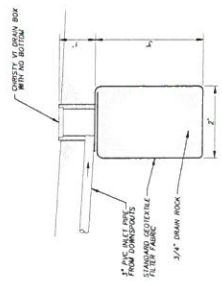
RUNOFF DRAINING TO THE REAR OF THE PROPERTY WILL BE CONCENTRATED IN A DRAINAGE DITCH AND RUNOFF DRIVE TO AN EXISTING INLET NEAR THE NORTHEAST CORNER OF THE PROPERTY. THE RUNOFF FROM THE REAR OF THE PROPERTY WILL NOT CAUSE ANY ADVERSE IMPACTS TO THE EXISTING DRAINAGE SYSTEM.

MAINTENANCE PROCEDURES FOR DRAINAGE SYSTEM

1. INSPECT THE DRAINAGE SYSTEM FOR BLOCKAGES AND REMOVED ANY ACCUMULATED SLUDGE.
2. INSPECT THE DRAIN BODIES OVER THE PERCOLATION PITS PRIOR TO THE RAINY SEASON. REMOVE ANY ACCUMULATED SLUDGE.

NOTE:

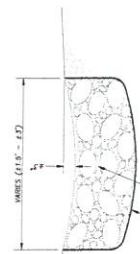
UPON COMPLETION OF WORK, THE CIVIL ENGINEER WILL HAVE TO INSPECT THE DRAINAGE IMPROVEMENTS AND PROVIDE THE PUBLIC WORKS DEPARTMENT WITH A MAINTENANCE SCHEDULE. THE MAINTENANCE SCHEDULE SHALL BE SPECIFIC AS TO WHAT WAS INSPECTED IN TERMS OF AGE, SIZE, ELEVATION, ETC.



SEPARATE PIT TO BE HAND-DUG 2' DEEP, 2' DIA. IF BED IS NOT ADEQUATE, SECTION OF ADEQUATE WASTEWATER.

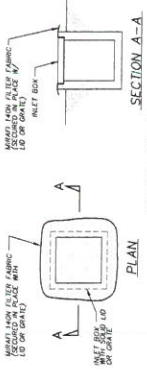
DETAIL C1-A

N.T.S.



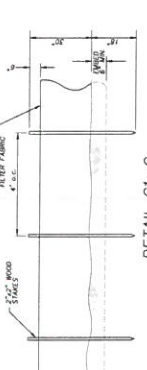
DETAIL C1-B

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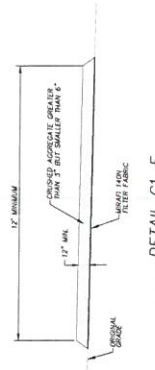
DETAIL C1-D

N.T.S.



DETAIL C1-C

N.T.S.



DETAIL C1-F

N.T.S.



Improve Plan

IMPROVEMENT PLAN
SHOWING PRELIMINARY GRADING, DRAINAGE, AND
CONSTRUCTION CONTROL FOR A NEW HOUSE ON
LOT 24 TRACT NO 57
"SANTA MARIA CLIFFS"
SANTA CRUZ COUNTY, CALIFORNIA
SCALE: NONE
BY: LUKE R. BAUTZ, C.E., L.S.
A.P.N. 028-212-03

28-M-48

JANUARY 2017

SHEET C1

NOTES, EARTHWORK ESTIMATE, DETAILS, & DRAINAGE ANALYSIS

REFERENCE NOTES

- REMOVE EXISTING ASPHALT PAVEMENT ALONG RIGHT OF WAY LINE AS REQUIRED TO INSTALL A STANDARD BRASS CAP SET IN THE CENTER OF THE CLIFF DRIVE.
- REMOVE EXISTING ASPHALT PAVEMENT.
- REMOVE EXISTING CONCRETE PAVEMENT.
- REMOVE EXISTING CONCRETE PAVEMENT.
- REMOVE EXISTING BRICK PLANTER.
- REMOVE EXISTING CAN PORT.

NOTE REGARDING EXISTING SEWER LATERAL:

Prior to the issuance of any permit for the installation of the existing residence, a sewer lateral abandonment permit shall be obtained from the Santa Cruz County (Sanitation District) for the abandonment of the existing sewer lateral. The contractor shall isolate and cap the existing sewer lateral as necessary. It shall be installed per Fig. SS-12 of the Santa Cruz County (Sanitation District) Design Criteria.

ABBREVIATIONS

CONC	CONCRETE	DS	DOWN SPOUT
DS	DOWN SPOUT	ELEV	ELEVATION
ELEV	ELEVATION	FD	FOUNDED FLOOR
FD	FOUNDED FLOOR	G	GAS
G	GAS	IP	IRON PIPE
IP	IRON PIPE	WM	WATER METER
WM	WATER METER		

LEGEND

- Indicates survey monument found as noted herein.
- Indicates nothing found or set.
- Indicates spot elevation of existing ground or surface.
- Indicates record data based on 28-M-48.
- Indicates existing impervious area to be removed.

EXISTING SITE/DEMOLITION PLAN

IMPROVEMENT PLAN

SHOWING PRELIMINARY GRADING, DRAINAGE, AND EROSION CONTROL FOR A NEW HOUSE ON LOT 24 TRACT NO. 57 28-M-48 "SANTA MARIA CLIFFS" SANTA CRUZ COUNTY, CALIFORNIA SCALE: 1" = 8' JANUARY 2017 A.P.N. 028-212-03

MONTEREY BAY

GRAPHIC SCALE 0 8 16 24 32

LOT 24

28-M-48

"SANTA MARIA CLIFFS"

SANTA CRUZ COUNTY, CALIFORNIA

SCALE: 1" = 8'

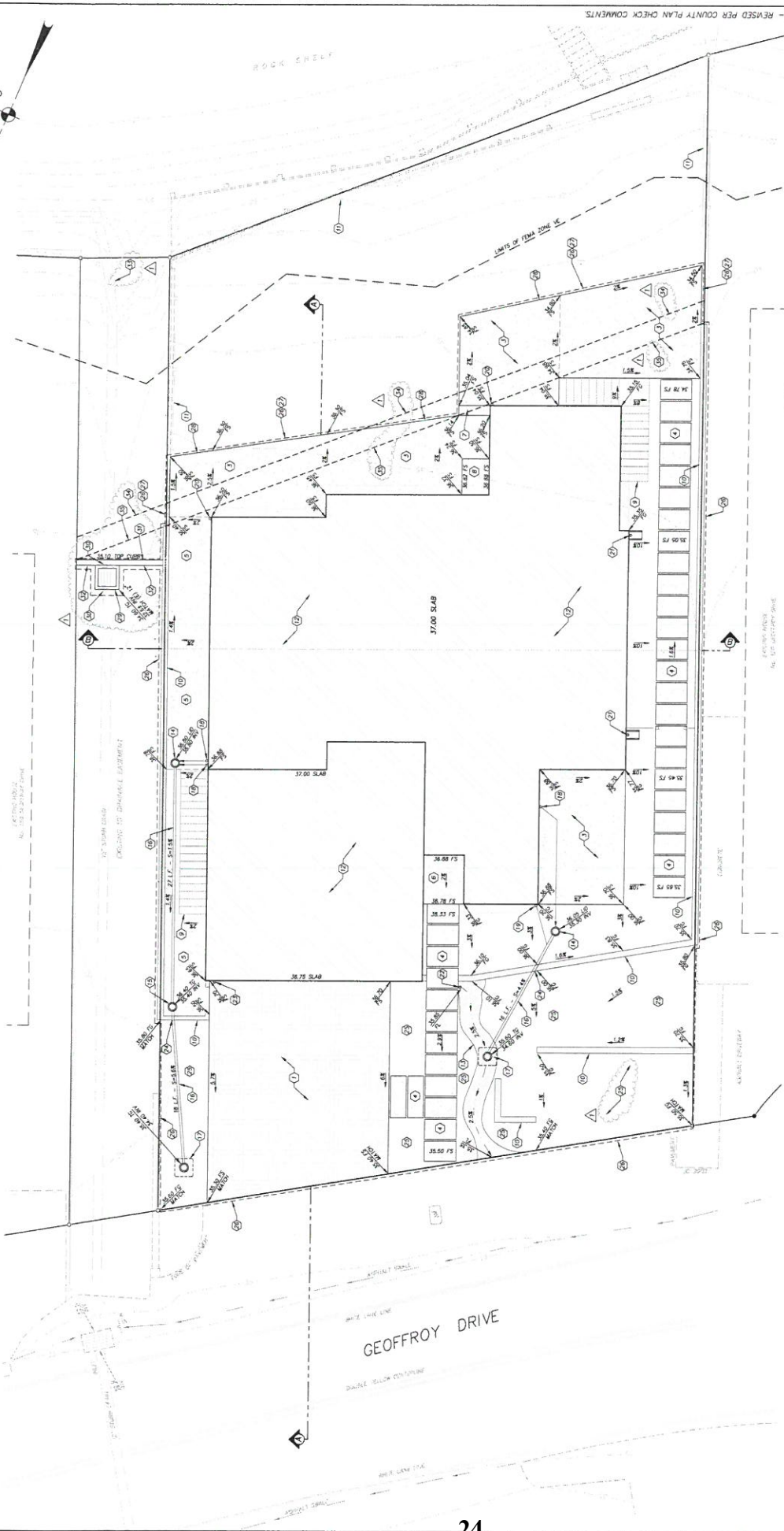
JANUARY 2017

A.P.N. 028-212-03

SHEET C2

23

EXHIBIT D



- NOTES:**
1. GRADING, OTHER THAN MAJOR LEVELING OF A SLOPE, SHALL BE ACCOMPLISHED BY HAND, IS NOT ALLOWED WITHIN THE COASTAL BLUFF SETBACK AREAS REQUIRED BY THE COUNTY OF SAN DIEGO.
 2. CONCRETE PATIO AREAS WITHIN THE COASTAL BLUFF SETBACK AREAS ARE TO BE STRUCTURALLY DETACHED FROM THE NEW HOME.
 3. ALL NEW CONCRETE PATIO AREAS ARE TO BE LESS THAN 18" ABOVE EXISTING GRADE.

REFERENCE NOTES

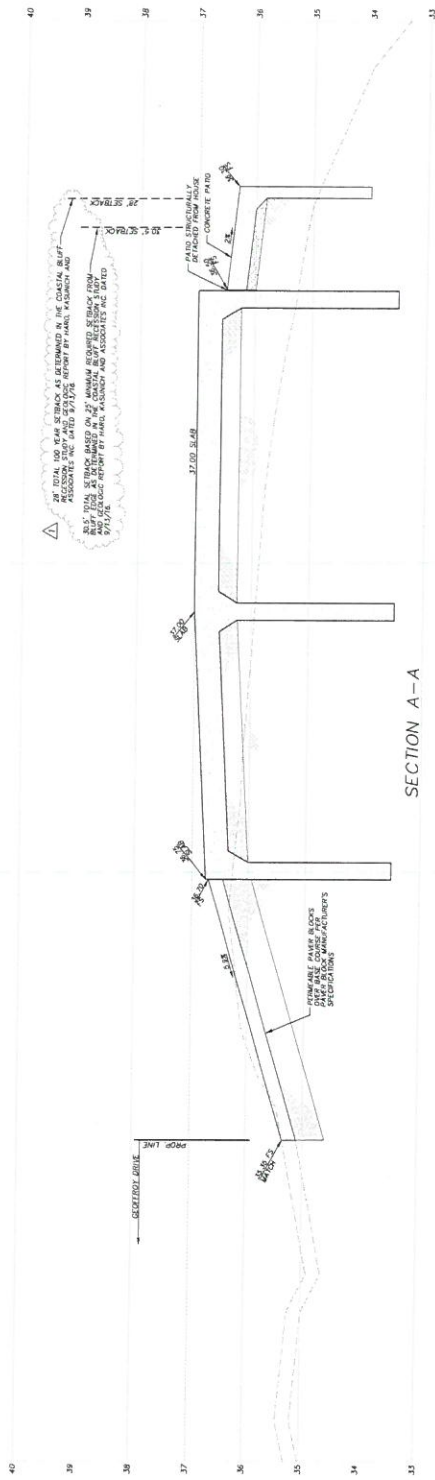
1. INSTALL PERMANENT INTERLOCKING PAVING BLOCK DRIVEWAY PER MANUFACTURER'S RECOMMENDATIONS.
2. INSTALL PERMANENT INTERLOCKING PAVING BLOCKS PER MANUFACTURER'S RECOMMENDATIONS.
3. CONSTRUCT CONCRETE PATIO.
4. CONSTRUCT CONCRETE DRIVEWAY.
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IMPROVEMENT PLAN
SHOWING PRELIMINARY GRADING, DRAINAGE, AND EROSION CONTROL FOR A NEW HOUSE ON LOT 24

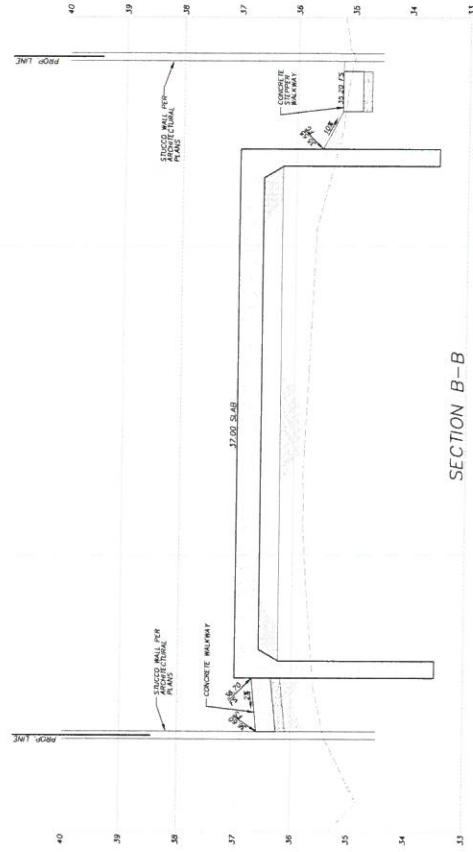
TRACT NO 57
"SANTA MARIA CLIFFS"
SANTA CRUZ COUNTY, CALIFORNIA
SCALE: 1" = 5'
A.P.N. 028-212-03

1/26/17 - REVISED PER COUNTY PLAN CHECK COMMENTS.

1/26/17 - REVISED PER COUNTY PLAN CHECK COMMENTS.



SECTION A-A



SECTION B-B

PRELIMINARY SITE CROSS SECTIONS
1" = 5' HORIZONTAL
1" = 1' VERTICAL



IMPROVEMENT PLAN
SHOWING PRELIMINARY GRADING, DRAINAGE, AND
EROSION CONTROL FOR A NEW HOUSE ON
LOT 24 TRACT NO 57 28-M-48
"SANTA MARIA CLIFFS"
SANTA CRUZ COUNTY, CALIFORNIA
SCALE: 1" = 5'
BY: LUKE R. BEUTIZ, C.E., L.S.
JANUARY 2017
A.P.N. 029-212-03

Lib. Beutiz

C4

SHEET C4

1/26/17 - REVISED PER COUNTY PLAN CHECK COMMENTS

EXHIBIT D

FOR TAX PURPOSES ONLY

THE ASSessor MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ALL RIGHTS RESERVED.
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POR. N. 1/2 SEC. 20,
T.11S., R.1W., M.D.B. & M.

Tax Area Code
82-040

28-21



Note - Assessor's Parcel & Block
Numbers Shown in Circles

Assessor's Map No. 28-21
County of Santa Cruz, Calif.
Aug. 1998

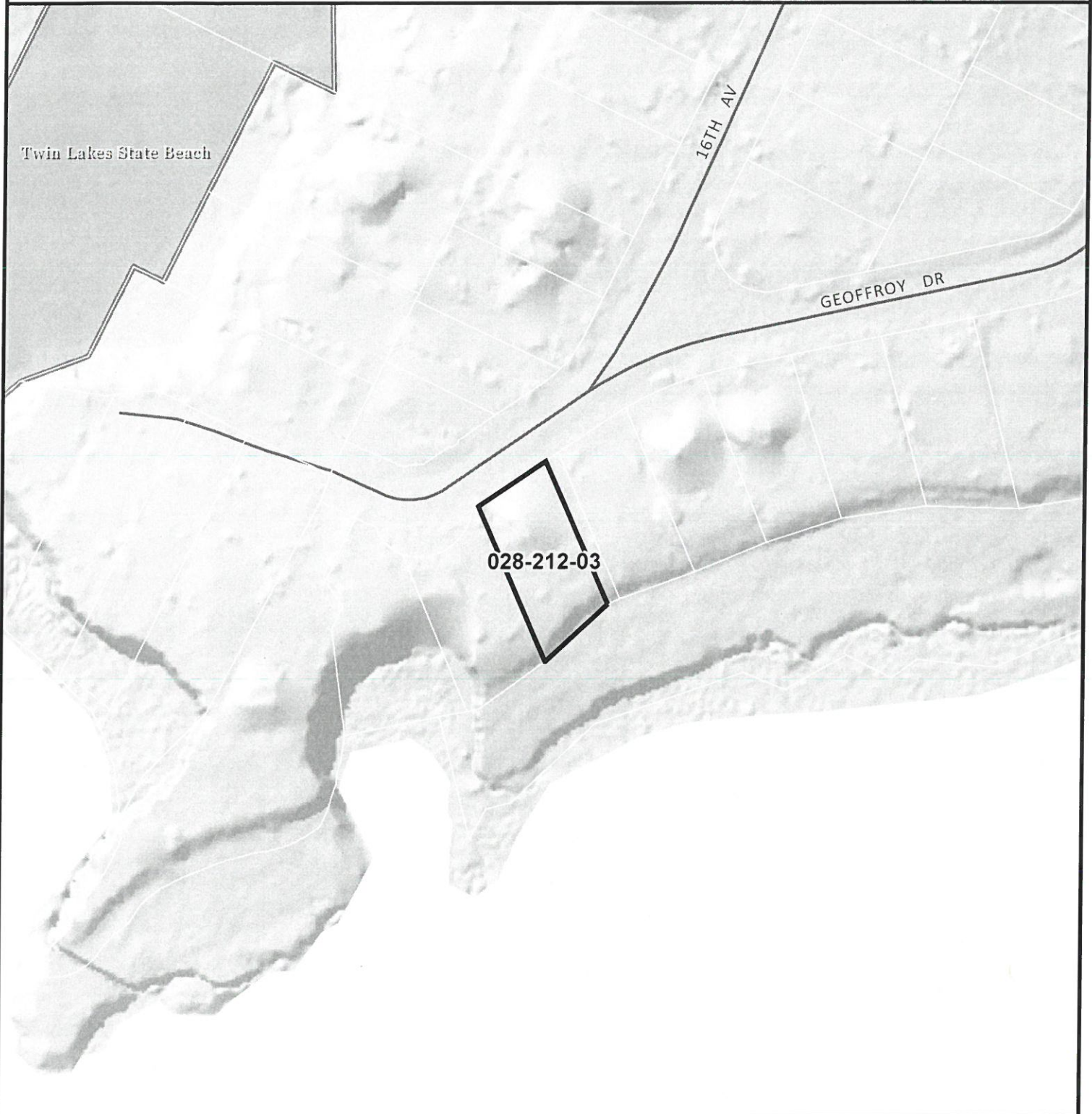
Electronically drawn 8/27/98 RW
Rev 8/27/98 (For to pg 14) RW
Rev 6/23/04 CB (For to Ocean 45 per Trans Real Property)
Rev 7/27/11 CB (SP 11-0006513 2-19)
Rev 7/27/11 CB (SP 11-0006513 2-19)
Rev 7/27/11 CB (SP 11-0006514 2-19)
Rev 4/27/13 CB (115RS14)
Rev 10/28/15 AR (15-0003417 1-24 & 25)
Rev 3/7/17 18 (16-0040401 LBA, 1-23 & 24)
Rev 3/7/17 18 (16-0040402 LBA, 1-23 & 24)



Parcel Location Map

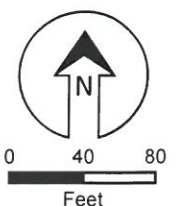
Santa Cruz County Planning Department

Parcel Number
028-212-03
May. 11, 2017



Symbol Key

- Street
- ▭ Park





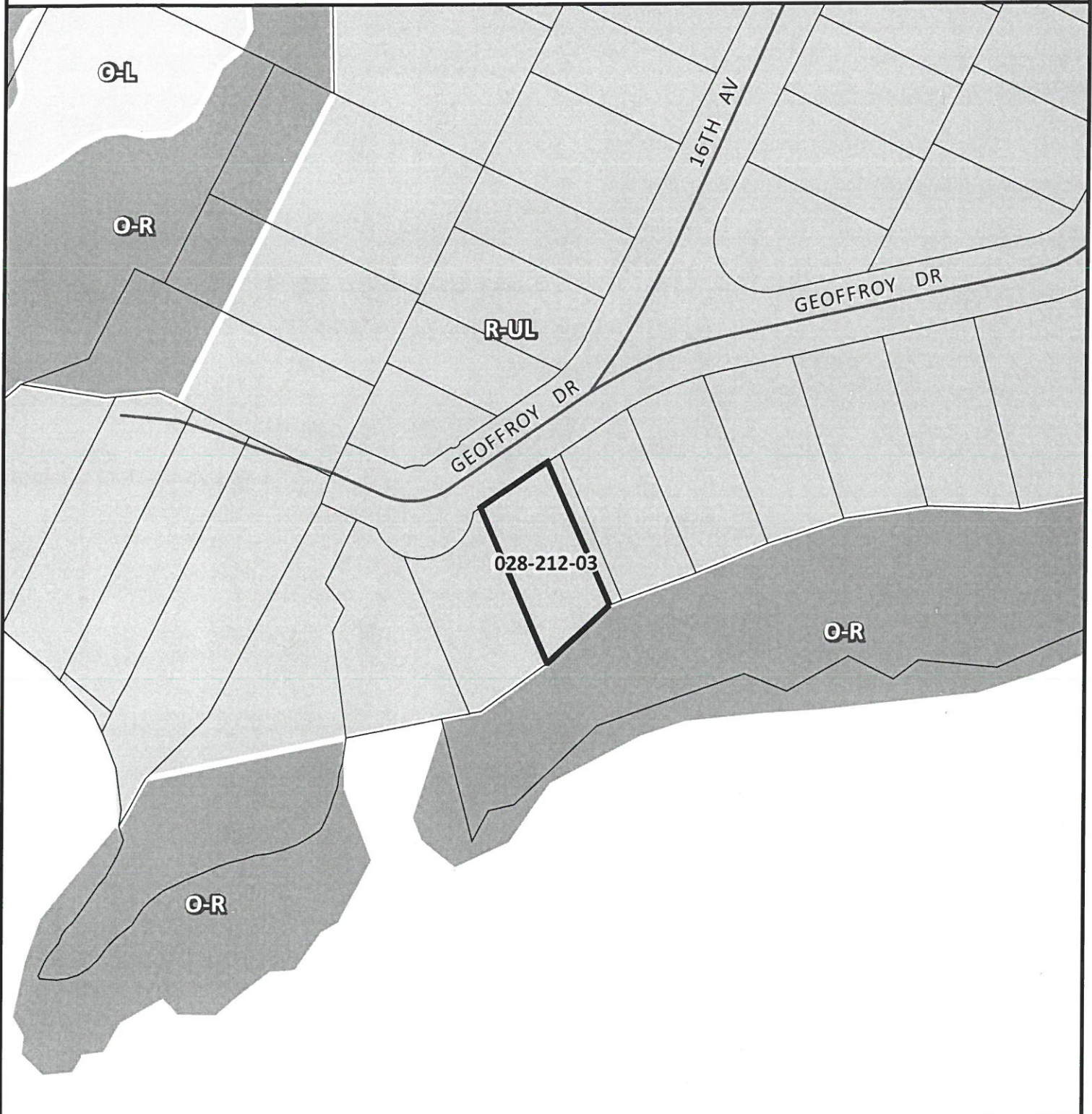
Parcel General Plan Map

Santa Cruz County Planning Department



Parcel Number

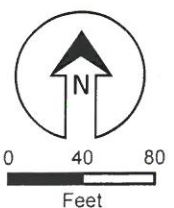
028-212-03

May. 11, 2017



General Plan

-  O-L - Lake
-  O-R - Parks and Recreation
-  R-UL - Residential - Urban Low Density

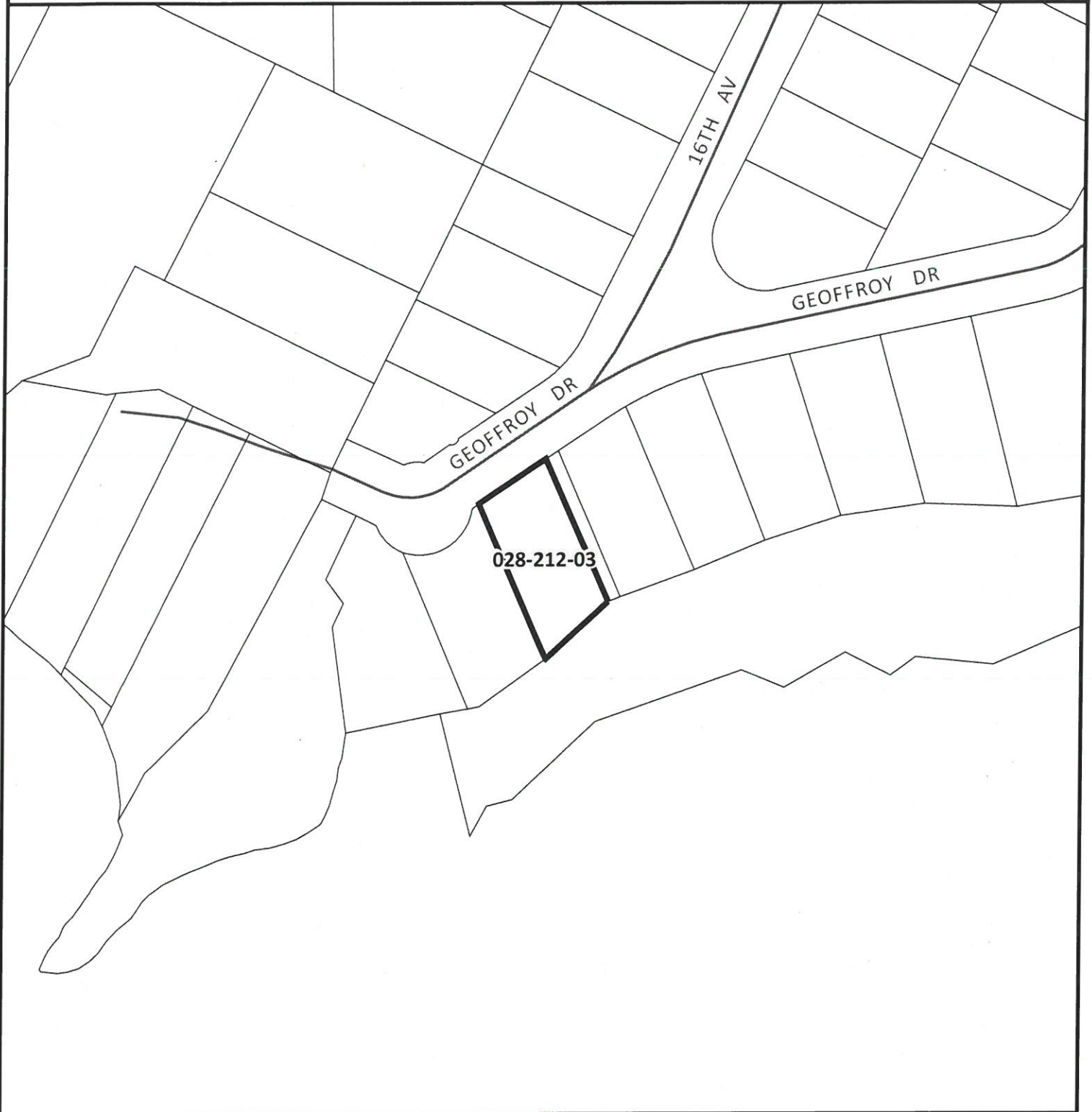




Parcel Zoning Map

Santa Cruz County Planning Department

Parcel Number
028-212-03
May. 11, 2017



Zoning

