



## Staff Report to the Zoning Administrator

Application Number: **141097**

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**Applicant:** Valerie Hart  
**Owner:** Steven and Angela Sohl  
**APN:** 063-061-28

**Agenda Date:** July 6, 2018  
**Agenda Item #:** 1  
**Time:** After 9:00 a.m.

**Project Description:** Proposal to construct a 1,583 square foot single-family dwelling with an attached 440 square foot garage and associated improvements, in the RA zone district. Requires a Coastal Development Permit, Environmental Review and adoption of the Initial Study/Mitigated Negative Declaration.

**Location:** Property located on the north side of Alta Road approximately 1,960 feet west of the intersection with Martin Road (no situs) in the Bonny Doon Zayante Sandhills.

**Supervisory District:** Third District (District Supervisor: Ryan Coonerty)

**Permits Required:** Coastal Development Permit

**Technical Reviews:** Soils Report Review (REV 141071)  
Botic Report Review (REV141098)

### Staff Recommendation:

- Adopt the CEQA Mitigated Negative Declaration and Mitigation Measures and Reporting Program related to the proposed project (Exhibit A), certifying the Mitigated Negative Declaration per the requirements of the California Environmental Quality Act; and
- Approve Application 141097, based on the attached findings and conditions.

### Exhibits

- |   |   |
|---|---|
| A. Notice of Determination/Mitigations and Monitoring Program (CEQA) (Initial Study/Mitigated Negative Declaration available on file at the Clerk of the Board, 701 Ocean Street, 5 <sup>th</sup> Floor, Santa Cruz, CA or online at <a href="http://www.sccoplanning.com">www.sccoplanning.com</a> >> EIRs/Initial Studies >> Archived CEQA Documents) | B. Findings   |
|   | C. Conditions   |
|   | D. Project plans                                      |
|   | E. Assessor's, Location, Zoning and General Plan Maps |
|   | F. Comments & Correspondence                          |

## Parcel Information

Parcel Size: 650,879 square feet (14.94 acres)  
Existing Land Use - Parcel: Vacant land with miscellaneous improvements.  
Existing Land Use - Surrounding: Residential properties with the Bonny Doon Ecological Reserve to the north and east.  
Project Access: Alta Vista Road (off Martin Road)  
Planning Area: North Coast  
Land Use Designation: R-R (Rural Residential)  
Zone District: RA (Residential Agriculture)  
Coastal Zone: ☒ Inside ☐ Outside  
Appealable to Calif. Coastal Comm. ☒ Yes ☐ No

## Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site  
Soils: See the Soils Report for the project (REV141071)  
Fire Hazard: Not a mapped constraint  
Slopes: The building site is gently sloped (<15%)  
Env. Sen. Habitat: Within the Bonny Doon Zayante Sandhills habitat  
Grading: No grading proposed  
Tree Removal: No trees proposed to be removed  
Scenic: Within the mapped viewshed of Martin Road, project not visible from the scenic road or other adjacent public streets.  
Drainage: Existing drainage adequate  
Archeology: Not mapped/no physical evidence on site

## Services Information

Urban/Rural Services Line: ☐ Inside ☒ Outside  
Water Supply: Private well  
Sewage Disposal: Septic disposal system  
Fire District: County Fire Protection District  
Drainage District: Not located in a drainage district

## History

In April 2006 a complaint was received by the Santa Cruz County Planning Department alleging unauthorized land clearing on the subject parcel. Site inspections showed that an area of approximately one acre had been cleared and that a rock driveway providing access to a potential building site had been installed, in an area designated a the Bonny Doon Zayante Sandhills Habitat. Subsequently a Notice of Violation was recorded on the parcel. In order to resolve the violation, a Restoration Plan with a 5-year monitoring and maintenance plan was prepared by Valerie Haley of Native Vegetation Network. This Restoration Plan was initially required to cover restoration of the entire disturbed area. However, an allowance was made that one quarter of an acre of the cleared

entire disturbed area. However, an allowance was made that one quarter of an acre of the cleared area including the access road and the potential building site, could be left disturbed until the property owner submitted a proposal to construct a dwelling on the parcel. This allowance was made to reduce the potential impacts to Mount Hermon June beetles that are present on the subject parcel. Following completion of the 5-year monitoring and maintenance plan in 2011, a final letter was prepared by Native Vegetation Network which concluded that the restoration program was on schedule. Further, it was found that the property owner had met the vast majority of the established performance criteria and that with ongoing maintenance as specified, the restoration criterion would be met.

Because the proposed dwelling would be located within the Bonny Doon Zayante Sandhills Habitat, the proposed project has the potential to jeopardize the continued existence of listed species or destroy or adversely modify critical habitat that is associated with listed species. These species include the Mount Hermon June beetle (MHJB), Zayante Band-Winged grasshopper, Ben Lomond spineflower, Santa Cruz wallflower, Santa Cruz Cypress, Silverleaf manzanita and Ben Lomond buckwheat. During a presence-absence survey in 2008 by Dr. Jodi McGraw, Ecologist, the Mount Hermon June beetle (MHJB) was found on the property; however, based upon site reconnaissance by Valerie Haley of the Native Vegetation Network it was determined that there would be no additional take of any other federally listed species for the construction of the proposed home.

In February 2014, a Low-Effect Habitat Conservation Plan (HCP) for the Endangered Mount Hermon June Beetle for APN 063-061-28 was prepared by Richard A. Arnold Ph.D. This plan, which provides measures for mitigating adverse effects on the MHJB for activities associated with the site preparation and construction of a new single-family residence, revegetation associated with installation of a well and water pipeline, and vegetation management of the protected habitat area of the property, was approved by the United States Fish and Wildlife Service.

In June 2014 a Coastal Development Permit for the construction of a single-family dwelling on the parcel was submitted. The submitted plans include preliminary plans for the proposed dwelling and for other required site improvements, located within the existing area of habitat disturbance, together with a proposed Habitat Protection Plan. The application also includes a Biotic Report that addresses potential impacts to the sensitive habitat and all special status species due to the proposed residential development. This report, in conjunction with the HCP, was accepted by the County of Santa Cruz Environmental Planning section. All required measures to mitigate and minimize project impacts, including protection of existing vegetation, vegetation management, habitat enhancement, and restoration of disturbed habitat, included in the Biotic Report, as well as the required mitigation and monitoring program from the HCP prepared by Richard A. Arnold Ph.D., are included into the final project plans.

## **Project Setting**

The subject property consists of a rectangular parcel which includes a narrow strip of land that extends eastwards to Martin Road. The parcel is accessed via Alta Vista Lane, a private right-of-way that runs westwards from Martin Road along the southern edge of the parcel. The property is

**EXHIBIT B**

Bonny Doon is a loosely defined rural community that lies between Empire Grade to the northeast and the Pacific Ocean to the southwest, from San Vicente Creek on the northwest to the Santa Cruz City border on the east. The larger Bonny Doon area is characterized by rural dwellings and estates set within a landscape that includes redwood forests on the inland slopes, coastal chaparral on hillsides close to the ocean, Zayante Sandhills habitat at higher elevations in the northeast, and a range of agricultural uses from arable crops, mostly on the coastal terraces, as well as vineyards and horse pastures.

The project site is located in the Bonny Doon Zayante Sandhills, a unique community of plants and animals found only on outcrops of Zayante sands. Due to their limited geographic range and narrow habitat specificity, the endemic communities and species of the Sandhills are extraordinarily rare and include several federally listed endangered species of both plants and animals. Within 1,000 feet of the property on three sides, to the north, south and east, is the Bonny Doon Ecological Reserve. To the north of the subject parcel, within the preserve area, is a rocky peak known as the Lone Star Peak or the "moon rocks", and a ridge of higher ground with exposed sandstone outcrops extending southwards from this peak, crossing the parcel close to its eastern edge. The central and eastern portions of the parcel have similar concentrations of rare and endangered species as within the Bonny Doon Ecological Reserve. At the western edge of the parcel, although still within the Sandhills habitat area, the vegetation changes and there is an area of mixed evergreen forest and stands of Coast Live Oak as well as small areas of open meadow.

### **Zoning & General Plan Consistency**

The subject property is a parcel of approximately 650,879 square feet (14.94 acres), located in the RA (Residential Agriculture) zone district, a designation which allows residential uses. The proposed single-family dwelling is a principal permitted use within the zone district and the zoning is consistent with the site's R-R (Rural Residential) General Plan designation.

The proposed project is for the construction of a 1,583 square foot two-story single-family dwelling with a 440 square foot garage, accessed via a portion of the previously installed rock driveway. In addition, the project includes the installation of a septic system, a small fenced yard area, water tanks for fire suppression and a revised turnaround for fire trucks. The submitted plans show that the proposed project, would not exceed the maximum one-quarter of an acre of permanent disturbance allowed under the County of Santa Cruz 1994 General Plan and County Code section 16.32, Sensitive Habitat ordinance. All areas of site disturbance outside the permitted area one-quarter acre site are to be restored in accordance with the recommendations of the HCP and Biotic Report, prior to project completion, including protection of existing vegetation, vegetation management, habitat enhancement, and restoration of disturbed habitat.

### **Local Coastal Program Consistency**

The proposed single-family dwelling is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding rural neighborhood. Developed parcels in the area contain single family dwellings. Size and architectural styles vary widely in the area, and the design

submitted is consistent with the existing range of styles. The project site is not located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

The existing visual setting is characterized by its central location within the Bonny Doon Zayante Sandhills. To the north of the subject parcel, within the Bonny Doon Ecological Reserve, is a rocky peak known as the Lone Star Peak, and a ridge of higher ground with exposed sandstone outcrops extends southwards from this peak, crossing the parcel close to its eastern edge. This portion of the site, which is characterized by vegetation associated with Sandhills habitat, such as Santa Cruz Cypress and Bonny Doon (Silverleaf) Manzanita, has a high scenic beauty. However, the proposed building site is located away from this area, close to an area of mixed evergreen forest that covers the western approximately one quarter of the parcel and is also bordered by areas of Live Oak woodland. Because of the surrounding trees the proposed dwelling would not be visible from the upper ridges of the Bonny Doon Ecological Reserve.

### **Design Review**

The proposed single-family dwelling is mapped as being within a scenic area, as designated in the County's General Plan, and is therefore subject to design review. The proposed single-family dwelling would not be visible from any public road or other public viewpoint. In views from Martin Road, which is a County designated scenic road, the proposed building site would, at its closest point be 1,400 feet from the travelled roadway and be completely screened by existing mature vegetation as well as by the natural topography. The proposed dwelling would also not be visible from Quail Drive and Towhee Drive, located west of the project site, due to dense areas of woodland that lie between these roads and the property. Therefore, the proposed dwelling would not directly impact any public scenic resources or obstruct any public views of these visual resources.

The project further complies with the requirements of the County Design Review Ordinance, in that the proposed project is small in scale and is required to include exterior materials and colors that reflect the colors and textures of the surrounding natural landscape. Moreover, in accordance with the County's Sensitive Habitat ordinance, all areas outside of the development envelope would be landscaped and restored in accordance with the approved Habitat Conservation Plan, so as to fit into the project setting within the Zayante Sandhills. This will reduce the visual impact of the proposed development on surrounding land uses and the natural landscape.

### **Environmental Review**

Environmental review is required for the proposed project per the requirements of the California Environmental Quality Act (CEQA). The project was reviewed by the County's Environmental Coordinator on December 21, 2017. A preliminary determination to issue a Negative Declaration with Mitigations (Exhibit A) was made on April 18, 2018. The mandatory public comment period expired on May 22, 2018, with no comments received.

The environmental review process focused on the potential impacts of the project on the Zayante Sandhills Habitat, within which the proposed dwelling is to be constructed. The environmental review process generated mitigation measures that will reduce potential impacts from the proposed



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development and adequately address these issues. All of the required mitigation measures have been incorporated into the conditions of approval of this project.

## **Conclusion**

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

## **Staff Recommendation**

- **ADOPT** the CEQA Mitigated Negative Declaration and Mitigation Measures and Reporting Program related to the proposed project (Exhibit A), certifying the Mitigated Negative Declaration per the requirements of the California Environmental Quality Act: and
- **APPROVE** Application Number **141097**, based on the attached findings and conditions.

**Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.**

**The County Code and General Plan, as well as hearing agendas and additional information are available online at: [www.co.santa-cruz.ca.us](http://www.co.santa-cruz.ca.us)**

Report Prepared By: Lezanne Jeffs  
Santa Cruz County Planning Department  
701 Ocean Street, 4th Floor  
Santa Cruz CA 95060  
Phone Number: (831) 454-2480  
E-mail: [lezanne.jeffs@santacruzcounty.us](mailto:lezanne.jeffs@santacruzcounty.us)

## **Coastal Development Permit Findings**

- 1. That the project is a use allowed in one of the basic zone districts, listed in section 13.10.170(D) as consistent with the General Plan and Local Coastal Program LUP designation.**

This finding can be made, in that the property is zoned RA (Residential Agriculture), a designation which allows residential uses. The proposed single-family dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's R-R (Rural Residential) General Plan designation.

- 2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.**

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

- 3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to Section 13.20.130 and Section 13.20.140 et seq.**

This finding can be made, in that the development is consistent with the existing visual setting, which is characterized by the project's central location within the Bonny Doon Zayante Sandhills. To the north of the subject parcel, within the Bonny Doon Ecological Reserve, is a rocky peak known as the Lone Star Peak, and a ridge of higher ground with exposed sandstone outcrops extends southwards from this peak, crossing the parcel close to its eastern edge. This portion of the site, which is characterized by vegetation associated with Sandhills habitat, such as Santa Cruz Cypress and Bonny Doon (Silverleaf) Manzanita, has a high scenic beauty. The proposed building site is located just south and east of the center of the parcel, away from this area and close to the mixed evergreen forest that covers the western approximately one quarter of the parcel and is also bordered by areas of Live Oak woodland. Because of the surrounding trees, the proposed dwelling would not be visible from the upper ridges of the Bonny Doon Ecological Reserve. The proposed single-family dwelling would also not be visible from any public road or other public viewpoint. In views from Martin Road, which is a County designated scenic road, the proposed building site would, at its closest point be 1,400 feet from the travelled roadway and be completely screened by existing mature vegetation as well as by the natural topography. The proposed dwelling would also not be visible from Quail Drive and Towhee Drive, located west of the project site, due to dense areas of woodland that lie between these roads and the property. Therefore, the proposed dwelling would not directly impact any public scenic resources or obstruct any public views of these visual resources. Parcels immediately adjacent to the project site are developed with single-family homes and the proposed project is consistent with the surrounding neighborhood in terms of architectural style.

The site is surrounded by lots developed to a rural density; the colors will be natural in appearance and complementary to the site; and the development site is not on a prominent ridge, beach, or bluff top.

- 4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the General Plan and Local Coastal Program land use plan, specifically Chapter 2: figure 2.5 and Chapter 7, and, as to any development between the nearest through public road and the sea or the shoreline of any body of water located within the coastal zone, such development is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act commencing with section 30200.**

The project site is not located between the shoreline and the first public road. Consequently, the single-family dwelling will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

The proposed dwelling will not deprive adjacent properties or the neighborhood of light, air, or open space, in that the proposed structure meets or exceeds all required setbacks to the property lines that directly adjoin any neighboring parcel. Further, the proposed dwelling and garage will not exceed the height limit for residential structures.

This finding can therefore be made, in that the structure is sited and designed to be visually compatible, in scale, and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the RA (Residential Agriculture) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the existing range of styles.



## **Development Permit Findings**

- 1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.**

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to insure the optimum in safety and the conservation of energy and resources.

The proposed dwelling will not deprive adjacent properties or the neighborhood of light, air, or open space, in that the proposed structure meets or exceeds all required setbacks to the property lines that directly adjoin any neighboring parcel. Further, the proposed dwelling and garage will not exceed the height limit for residential structures.

- 2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.**

The proposed location of the single-family dwelling and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the RA (Residential Agriculture) zone district as the primary use of the property will be one dwelling that meets all current site standards for the zone district; therefore, this finding can be made.

- 3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.**

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-R (Rural Residential) land use designation in the County General Plan.

The proposed single-family dwelling will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the single-family dwelling will not adversely shade adjacent properties and will meet current setbacks for the zone district.

The proposed single-family dwelling will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed single-family dwelling will comply with the site standards for the RA zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County.

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**4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.**

This finding can be made, in that the proposed single-family dwelling is to be constructed on an existing undeveloped lot. The expected level of traffic generated by the proposed project is anticipated to be only one peak trip per day (1 peak trip per dwelling unit), such an increase will not adversely impact existing roads or intersections in the surrounding area.

**5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.**

This finding can be made, in that the development is consistent with the existing visual setting, which is characterized by the project's central location within the Bonny Doon Zayante Sandhills. To the north of the subject parcel, within the Bonny Doon Ecological Reserve, is a rocky peak known as the Lone Star Peak, and a ridge of higher ground with exposed sandstone outcrops extends southwards from this peak, crossing the parcel close to its eastern edge. This portion of the site, which is characterized by vegetation associated with Sandhills habitat, such as Santa Cruz Cypress and Bonny Doon (Silverleaf) Manzanita, has a high scenic beauty. However, the proposed building site is located away from this area, close to an area of mixed evergreen forest that covers the western approximately one quarter of the parcel and is also bordered by areas of Live Oak woodland. Because of the surrounding trees the proposed dwelling would not be visible from the upper ridges of the Bonny Doon Ecological Reserve. The site is surrounded by lots developed to a rural density; parcels immediately adjacent to the project site are developed with single-family homes and the proposed project is consistent with the surrounding neighborhood in terms of architectural style and the colors will be natural in appearance and complementary to the surrounding Sandhills Habitat.

**6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.**

The proposed single-family dwelling is mapped as being within a scenic area, as designated in the County's General Plan, and is therefore subject to design review. The proposed single-family dwelling would not be visible from any public road or other public viewpoint. In views from Martin Road, which is a County designated scenic road, the proposed building site would, at its closest point be 1,400 feet from the travelled roadway and be completely screened by existing mature vegetation as well as by the natural topography. The proposed dwelling would also not be visible from Quail Drive and Towhee Drive, located west of the project site, due to dense areas of woodland that lie between these roads and the property. Therefore, the proposed dwelling would not directly impact any public scenic resources or obstruct any public views of these visual resources.

Further, the project complies with the requirements of the County Design Review Ordinance, in that the proposed project is small in scale and would to include exterior materials and colors that reflect the colors and textures of the surrounding natural landscape. Moreover, in accordance with the County's Sensitive Habitat ordinance, all areas outside of the development envelope would be

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landscaped and restored in accordance with the approved Habitat Conservation Plan, so as to fit into the project setting within the Zayante Sandhills. This will reduce the visual impact of the proposed development on surrounding land uses and the natural landscape. Therefore this finding can be made.

## Conditions of Approval

**Exhibit D:** Project plans, 15 sheets, 6 sheets prepared by Valerie Hart Drafting and Design, dated August 2, 2017, 7 sheets prepared by Hogan Land Services, dated July 19, 2017 with 6 sheets revised February 6, 2017, and 2 sheets prepared by Edmundson & Associates, Land Surveying, 1 dated July 8, 2013 and 1 dated September 30, 2014.

- I. This permit authorizes the construction of a single-family dwelling with an attached garage and associated improvements including a driveway and private yard areas within a maximum one-quarter acre development envelope, all as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
  - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
  - B. Obtain a Building Permit from the Santa Cruz County Building Official.
    1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
  - C. Submit proof that these conditions have been recorded in the official records of the County of Santa Cruz (Office of the County Recorder) within 30 days from the effective date of this permit.
  - D. The proposed project shall be constructed and maintained in strict accordance with all provisions of the adopted Mitigations and Monitoring Program.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
  - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
    1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
    2. Submit a color and material sheet in 8½" X 11" format for Planning

**EXHIBIT C**

Department review and approval. Colors shall be earth-toned and natural in appearance and shall be chosen to blend with the colors of the surrounding Zayante Sandhills Habitat.

3. One elevation shall indicate the location of proposed materials and colors.
  4. Grading, drainage, and erosion control plans.
  5. A Staging Plan to show the location of all vehicle and materials storage areas to be utilized during the construction of the proposed dwelling. The details of the Staging Plan shall comply with the provisions set out in IV.E. and F. of these conditions of approval.
  6. Details showing compliance with fire department requirements. If the proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
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- B. Meet all requirements of the County Department of Public Works, Stormwater Management.
  - C. Obtain an Environmental Health Clearance for this project from the County Department of Environmental Health Services. An approved Onsite Sewage Disposal Permit Application with approved water supply permit will be required in order to receive an Environmental Health Building Clearance.
  - D. Meet all requirements and pay any applicable plan check fee of the Santa Cruz County Fire Protection District.
  - E. Meet all requirements of the Environmental Planning section of the Planning Department.
  - F. Submit 3 copies of plan review letters prepared and stamped by the project Geotechnical Engineer.
  - G. Pay the required fee to the Clerk of the Board of the County of Santa Cruz for posting the Negative Declaration as required by the California Department of Fish and Wildlife mitigation fees program. Currently, the fee is \$2,216.25, but is subject to change.
  - H. Pay the current fees for Parks and Child Care mitigation for 2 bedrooms. Currently, these fees are, respectively, \$578 and \$109 per bedroom.
  - I. Pay the current Affordable Housing Impact Fee. The fees are based on unit size and the current fee for a dwelling up to 2,000 square feet is \$2 per square foot.
  - J. Provide required off-street parking for 3 cars. Parking spaces must be 8.5 feet wide

by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.

- K. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. Prior to any site disturbance on the subject property, the following conditions shall be met in accordance with the "Low-Effect Habitat Conservation Plan (HCP) for the Endangered Mount Hermon June Beetle for APN 063-061-26", prepared by Richard A. Arnold Ph.D., dated February 2014, and Biotic Reports prepared by Valerie Haley of Native Vegetation Network, dated November 2015 and July 2016 and the Addendum to the Biotic Reports dated April 2018:
- A. Hold a pre-construction meeting to verify that the adjacent Sandhills habitats and special status plant species will be protected by the proper placement of construction fencing and individual protection shelters. The proposed construction fencing shall not be placed outside of the existing disturbed area, most of which is currently covered with gravel. The line of the temporary fencing is required to be approved by the Project Biologist prior to installation of the construction fencing and must conform to the surveyed limits of disturbance plan (sheet C7 of &, Exhibit D). Attendees of the pre-construction meeting shall include Environmental Planning staff, the project Biologists, the soils engineer and the civil engineer and all construction personnel.
  - B. Temporary fencing and signs shall be erected before any vegetation clearing, or excavation activities occur to clearly delineate the boundaries of the project's impact area. Warning signs shall be posted on the temporary fencing to alert excavators and other construction workers not to proceed beyond the fence. All protective fencing shall remain in place until all construction and other site improvements have been completed. Signs will include the following language: "NOTICE: SENSITIVE HABITAT AREA. DO NOT ENTER." All Protection fencing and perimeter erosion control will be inspected by Environmental Planning staff.
  - C. In addition to temporary construction fencing around the development site, to protect the population area of the Ben Lomond Spineflower, construction fencing should also be placed at the east end of the parcel, in the previously burned area along Alta Vista Road.
  - D. All temporary protection fencing shall be functional during the entire construction period around the entire area of the existing gravel driveway and proposed development and along Alta Vista Road.
  - E. As directed by project biologist, install individual protection shelters using welded wire or poultry netting to avoid impacts to special status Bonny Doon (Silverleaf) Manzanita and Anderson's Manzanita.



- F. Ensure a minimum 10 feet between the flagged seedlings and the proposed water tanks.
- G. A biologist approved by the USFWS shall conduct a pre-construction training session for all construction staff. All personnel shall be shown pictures of the Mount Hermon June Beetle (MHJB) larval and adult life stages and instructed to cease construction activities and call an entomologist qualified and permitted to handle and translocate the endangered beetle should any be observed during the covered activities. If the life stage of the MHJB is one that is below ground, then it shall be reburied outside of the impact area at the approximate depth at which it was unearthed. If an adult MHJB is found on the soil surface, then it shall be relocated and released outside of the impact area on the soil surface. This measure will minimize take of the MHJB by reducing the number of larvae and adults that could otherwise be injured or killed as a result of project-related activities. The orientation will also inform equipment operators and other workers about the impact area's boundaries, equipment storage locations, materials laydown areas, construction activity restrictions, and identify other habitat protection and work procedures. Workers will be directed to immediately cease work if a MHJB is observed within the designated impact area and contact the project biologist who can handle and relocate the beetle.
- H. The training session conducted by the project biologist shall also include identification of all listed plant species that may be found on the site, including but not limited to Santa Cruz Cypress, Bonny Doon (Silverleaf) Manzanita and Anderson's Manzanita, Santa Cruz wallflower, Ben Lomond buckwheat and Ben Lomond spineflower.
- I. Remove the cement blocks (no mortar keystone blocks), BBQ and patio furniture from the existing recreational barbecue area. Also, remove the dead chinquapin trees.
- J. Erosion Control Measures. Measures shall be implemented to prevent increased erosion, sedimentation, and run-off into undisturbed habitats, especially in sensitive habitats. Suggested erosion control measures include: straw wattles, and/or weed-free straw bales anchored with wooden stakes to trap loose sediment, which could move down slope. Santa Cruz Erosion Control Mix should not be used as it contains invasive, non-native grasses and clover species. The effectiveness of the erosion control measures shall be inspected by the project Botanist to determine if additional measures should be implemented the following fall.
- K. Structures and features proposed for residential development shall not be placed within 50 feet of an endangered Santa Cruz Cypress tree. This measure is specified in the County's Sensitive Habitat Ordinance (Santa Cruz County Code 16.10.090).

IV. All construction shall be performed according to the approved plans for the Building Permit and in accordance with the "Low-Effect Habitat Conservation Plan (HCP) for the Endangered Mount Hermon June Beetle for APN 063-061-28", prepared by Richard A. Arnold Ph.D., dated February 2014, and Biotic Reports prepared by Valerie Haley of Native Vegetation Network, dated November 2015 and July 2016 and the Addendum to the Biotic Reports dated April 2018:. Prior to final building inspection, the applicant/owner must meet the following conditions:

- A. All site improvements shown on the final approved Building Permit plans shall be installed.
- B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
- C. The project must comply with all recommendations of the approved soils reports.
- D. A minimum of 48 hours prior to initial site disturbance, contact Chad Mitchum of the United States Fish and Wildlife Service.
- E. Staging of construction vehicles and equipment. No Staging areas shall be allowed along Alta Vista Rd., especially in the turnout located at a low point midway along Alta Vista Rd. that is associated with a drainage and seasonal tributary that leads to Mill Creek. Sediments and hazardous material such as oil and gas shall not enter the drainage.
- F. Staging of construction vehicles and equipment shall be allowed in the Development Envelope, provided that Best Management Practices for sensitive habitats are used, including parking vehicles over drip pans and having spill kits on-site during construction. All refueling, maintenance, and staging of equipment and vehicles will occur within the established staging areas. The property owners will ensure that contamination of sensitive habitat does not occur during such operations. Prior to the onset of work, the contractor shall prepare a plan that provides a prompt and effective response to any accidental spills. All workers will be informed of the importance of preventing spills and of the appropriate measures to take should a spill occur.
- G. Standard construction procedures and Best Management Practices (BMPs) shall be implemented to reduce the emissions of dust and pollutants during construction. These standard BMPs for construction projects include:
  - 1. Using a covered, paved area dedicated to vehicle maintenance and washing;
  - 2. Developing a spill prevention and cleanup plan;
  - 3. Preventing hazardous chemical leaks by properly maintaining vehicles and equipment;
  - 4. Vehicle tires should be sanitized with Lysol or equivalent prior to entering Alta Vista Rd. to avoid spread of fungal diseases and "Sudden Oak Death".

- H. To prevent dust that can clog the spiracles of adult beetles or cause a decline in vigor or even death of plants that larvae of the MHJB may feed upon, dust control measures, such as periodically wetting down the work areas, shall be used as necessary during excavation for the new foundations in of the impact area, site grading, or any other project-related activities that generate dust.
- I. If any construction occurs during any portion of the MHJB breeding/flight season, between May 15 and August 15, all exposed soils within the impact area will be covered between the hours of 7pm and 7am daily with tarps, plywood, erosion control fabric, or another suitable impervious material. This will prevent adult males from burrowing into the exposed soils and subsequently being injured or killed by soil disturbance (i.e., digging, grading, covering, etc.). The biologist shall keep a log of all visits to document all findings together with any recommendations or other special instructions that have been required.
- J. In accordance with the provisions set out in the pre-construction meeting, workers shall be directed to immediately cease work if a MHJB is observed within the designated impact area. Workers shall immediately contact the project biologist who can handle and relocate the beetle as authorized by the USFWS.
- K. Throughout the construction and the other covered activities, a minimum of one time per week, an approved biologist shall conduct regular inspections of the project site during all phases of the project to ensure that the perimeter fencing and signs that delineate the impact area remain in place, that exposed soils are properly covered by impervious materials, and to salvage and relocate and MHJB life stages.
- L. The permit holder shall allow representatives from the USFWS access to the project site to monitor compliance with the terms and conditions of the HCP and the effects of the covered activities of this project.
- M. If construction activities are proposed within the drip line of trees designated to be retained, the following construction guidelines should be implemented: minimize excavation, filling, or other type of soil disturbance within 10 feet of the tree trunk. If 1/3 or more of the roots are disturbed, the injured tree should be watered so that the ground is soaked to a depth of 18 inches, extending outward to the drip line of the tree.
- N. To the greatest extent possible, keep construction activities a minimum of 10 feet away from the tree trunks. Existing trees to be saved that are adjacent to construction activities shall be protected per the project Biologist.

- O. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- V. After completion of construction but before the final inspection clearance:
- A. Following project completion, the project biologist shall calculate the area of soil disturbance (i.e., incidental take), and tally the number of MHJB life stages that were found and translocated during the project to quantify the amount of incidental take at the end of the project.
  - B. All areas of permanent disturbance including the site of the dwelling, yard areas, septic system and the gravel areas remaining for residential use including the access drive way and turn-around, shall be surveyed to determine the number of square feet of permanently disturbed habitat. The boundary of the area of permanent disturbance shall be determined by the project Biologist, who will stake the boundary of this area, and shall not exceed one-quarter of an acre.
  - C. The final surveyed area of disturbance shall be used as a basis for determining the final number of additional conservation credits that the property owner has voluntarily agreed to purchase.
  - D. A total of 10,240 credits have been purchased at the Zayante Sandhills Conservation Bank. The property owner shall purchase additional conservation credits at a 1:1 ratio, (one credit purchased for each sq. ft. of permanent disturbance) for any additional areas of permanent disturbance beyond 10,240 square feet. A hold will be placed on the Building Permit pending the submittal of receipts for the purchase of additional Conservation Credits.
  - E. A permanent fence or other barrier (i.e., split rail wood or rocks) shall be erected along the entrance driveway and around all areas of permanent disturbance as identified by the project survey to minimize future potential disturbance to adjacent natural habitats.
  - F. To reduce the potential for the spread of exotic species in areas of disturbed ground from construction vehicles and earth moving activities the following measures shall be implemented:

1. The project botanist shall conduct weed surveys, flag problem areas, and conduct walk-throughs with the property owners to show them the maintenance needed. As compensation for indirect impacts to locally unique species and sensitive habitats, the landowners should remove/control the occurrences of invasive, non-native plant species that occur along the construction route and the western third of the parcel. Winter and early spring are good times to remove acacia saplings and French broom plants, when the soil is wet and before the plants have gone to seed. This helps to avoid the spread of seed into new areas. Controlling invasive, non-native plants will likely be needed on a yearly basis as regular management of the property. No herbicides shall be used.
2. High priority species for removal include silver wattle acacia, rose clover, dog tail grass, French broom, thistle species, velvet grass, feather grass, cat's ear, and rattlesnake grass. The plants should be removed in a manner that minimizes disturbances to the native trees and shrubs occurring in these habitat areas.

## VI. Operational Conditions

- A. A Four-year Restoration Program shall be implemented in accordance with the recommendations of the approved Biotic Reports and shall commence, starting at year zero, after construction is complete. The Restoration Program shall be supervised by the project Biologist. Restoration measures will include:
  1. Reclaiming gravel areas outside of the 12-foot wide driveway, and gravel areas that are not needed for maintenance access, and the fire turn-around. Gravel shall be removed by using hand rakes. Reclaimed areas shall be hand seeded with local native plant species representative of Sandhills habitat, weeded, and managed to promote native vegetation.
  2. Habitat Enhancement, including combination of weed control and hand seeding to promote species richness.
  3. Monitoring and reporting shall document new locations of special status species, invasive weeds, and rate of natural recruitment.
  4. Remove Invasive, Non-native Species.
  5. Fostering the natural recruitment of native plant species that are representative of Sandhills habitat.
  6. Hand seeding of selected meadow habitat planting sites. Seeds will be collected within two miles of the property, and will include common aster, bristly aster, goldenrod, yellow yarrow, white yarrow, and woolly paint brush. The project botanist and revegetation specialist will conduct the seed collection, hand seeding, and select the areas to be seeded. The exact areas to be seeded will be determined by the project Biologist so that no special status species are adversely affected.

7. Implementation of a Selective Weed-trimming Program. Depending on the amount of annual rainfall, it is recommended that the meadow areas be selectively weed trimmed 2 to 3 times in spring and once again in late fall. Mowing should not be conducted during the summer season so that the native plants may complete their life cycle to produce mature seed. The project botanist will let the property owner know when it is the proper time to mow. The mowing or trimming will serve two main functions:
    - a. Mowing helps lower the competition between native herbs and non-native weeds and grasses.
    - b. Mowing will lower vegetation height and fire hazard.
  8. Ongoing weed surveys as required by the project Biologist.
- B. Measures for Vegetation Management and Fire Safety in the 100' CAL Fire Defensible Space around Residence:
1. Avoid doing fuel reduction work during the flight season for the Mount Hermon June Beetle (MHJB), which extends from mid May to Mid August. Do not remove completely, or thin out rare Santa Cruz Cypress trees, Bonny Doon (Silverleaf) Manzanita shrubs, or other listed species. Instead, use corrective pruning and remove lower branches that could fuel a ground fire.
  2. If a burn pile is needed, it should be placed in the Mixed Evergreen Forest habitat on the property. Place the burn pile to avoid damage to the Western azalea grove or manzanita seedlings. Routes for hauling slash/cut brush or cut trees should avoid ground disturbance near special status plants such as Santa Cruz Cypress and Bonny Doon (Silverleaf) Manzanita.
- C. All exterior lighting on the property must comply with the following restrictions:
1. All outdoor lighting shall be directed away from adjacent sensitive habitat areas. Light sources may be shielded by landscaping, structure, fixture design or other physical means.
  2. Outdoor light fixtures shall use only light bulbs that are certified to not attract nocturnally-active insect species.
- D. To prevent over predation of the site's rodent, bird, snake and lizard populations, no Kennel or other animal boarding is allowed such that a maximum of four cats and/or dogs may be kept on the parcel in accordance with the provisions of Santa Cruz county Code 13.10.700-K definitions "Kennel".
- E. The following report shall be prepared as required by the HCP:



1. **Compliance Report:** By January 31<sup>st</sup> following each year of the permit, the project biologist shall submit a report to the Ventura Fish and Wildlife Office of the Service and the Santa Cruz County Planning Department to document the status of the project. The report will provide the following information:
  - a. Brief summary or list of project activities accomplished during the reporting year (e.g. this includes development/construction activities, and other covered activities)
  - b. Project impacts (e.g. number of acres graded, number of buildings constructed, etc.)
  - c. Description of any take that occurred for each covered species (includes cause of take, form of take, take amount, location of take and time of day, and deposition of dead or injured individuals)
  - d. Brief description of conservation strategy implemented
  - e. Monitoring results (compliance, effects and effectiveness monitoring) and survey information (if applicable)
  - f. Description of circumstances that made adaptive management necessary and how it was implemented. Please include a table including the cumulative totals; by reporting period all adaptive management changes to the HCP, including a very brief summary of the actions.
  - g. Description of any changed or unforeseen circumstances that occurred and how they were dealt with
  - h. Funding expenditures, balance, and accrual
  - i. Description of any minor or major amendments.
- F. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- G. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
- H. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend,

indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.

- I. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
  1. COUNTY bears its own attorney's fees and costs; and
  2. COUNTY defends the action in good faith.
- J. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- K. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

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Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

**Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.**

Approval Date: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

\_\_\_\_\_  
Steven Guiney  
Deputy Zoning Administrator

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Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by



# COUNTY OF SANTA CRUZ

## PLANNING DEPARTMENT

701 OCEAN STREET, 4<sup>TH</sup> FLOOR, SANTA CRUZ, CA 95060  
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123  
KATHLEEN MOLLOY PREVISICH, PLANNING DIRECTOR  
<http://www.sccoplanning.com/>

## NOTICE OF DETERMINATION

**To:**

X County of Santa Cruz  
Clerk of the Board  
701 Ocean Street, Room 500  
Santa Cruz, CA 95060

X Office of Planning and Research  
State Clearinghouse  
P.O. Box 3044  
Sacramento, CA 95812-3044

**Subject:** Filing of Notice of Determination in compliance with Section 21108 or 21152 of the Public Resources Code.

**State Clearinghouse Number:** 2018042068

**Project Title:** Sohl Residence

**Project Applicant:** Valerie Hart

**Project Location:** North side of Alta Vista Road approx. 1960 feet west from Martin Road in the community of Bonny Doon in unincorporated Santa Cruz County.

**Project Description:**

Proposal to construct a 1,583 square foot single-family dwelling with an attached 440 square foot garage and associated improvements in the RA zone district.

This is to advise that the County of Santa Cruz has approved the above described project on July 6, 2018, and has made the following determinations regarding the above described project:

1. The project [ ☐ will ☒ will not ] have a significant effect on the environment.
2. ☐ An Environmental Impact Report was prepared for this project pursuant to the provisions of CEQA.  
☒ A Negative Declaration was prepared for this project pursuant to the provisions of CEQA.
3. Mitigation Measures [ ☒ were ☐ were not ] made a condition of the approval of the project.
4. A mitigation reporting or monitoring plan [ ☒ was ☐ was not ] adopted for this project.
5. A statement of Overriding Considerations [ ☐ was ☒ was not ] adopted for this project.
6. Findings [ ☒ were ☐ were not ] made pursuant to the provisions of CEQA.

This is to certify that the Final EIR with comments and responses and record of project approval, or the Negative Declaration, is available to the General Public at the following location:

County of Santa Cruz Planning Department  
701 Ocean Street, 4<sup>th</sup> Floor  
Santa Cruz, CA 95060

\_\_\_\_\_  
Environmental Coordinator

\_\_\_\_\_  
Date

\_\_\_\_\_  
Date Received for Filing at Clerk of the Board

\_\_\_\_\_  
Date Received for filing at OPR

Updated 12/11



## County of Santa Cruz

### PLANNING DEPARTMENT

701 OCEAN STREET, 4<sup>TH</sup> FLOOR, SANTA CRUZ, CA 95060  
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123

KATHLEEN MOLLOY, PLANNING DIRECTOR

## MITIGATION MONITORING AND REPORTING PROGRAM for the SOHL RESIDENCE PROJECT Application No. 141097, April 2018

No.	Environmental Impact	Mitigation Measures	Responsibility for Compliance	Method of Compliance	Timing of Compliance
<b>Biological Resources</b>					
BIO-1	Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations or by the California Department of Fish and Wildlife, or U.S. Fish and Wildlife Service?	<p>Avoid and minimize, to the extent practical, take of the Mount Hermon June Beetle (MHJB) within the project site.</p> <ul style="list-style-type: none"><li>A biologist approved by the USFWS shall conduct a pre-construction training session for all construction staff. All personnel shall be shown pictures of the MHJB larval and adult life stages, and instructed to cease construction activities and call an entomologist qualified and permitted to handle and translocate the endangered beetle should any be observed during the covered activities. If the life stage of the MHJB is one that is below ground, then it shall be reburied outside of the impact area at the approximate depth at which it was unearthed. If an adult MHJB is found on the soil surface, then it shall be relocated and released outside of the impact area on the soil surface. This measure will minimize take of the MHJB by reducing the number of larvae and adults that could otherwise be injured or killed as a result of project-related activities. The orientation will also inform equipment operators and other workers about the impact area's boundaries, equipment storage locations, materials laydown areas, construction activity restrictions, and identify other habitat protection and work procedures. Workers will be directed to immediately cease work if a MHJB is observed within the designated impact area and contact the project biologist who can handle and relocate the beetle.</li><li>Require that temporary fencing and signs be erected before any vegetation clearing, or excavation activities occur to clearly delineate the boundaries of the project's impact area. Warning signs shall be posted on the temporary fencing to alert excavators and other construction workers not to proceed beyond the fence. All protective fencing shall remain in place until all construction and other site improvements have been completed. Signs will include the following language: "NOTICE: SENSITIVE HABITAT AREA. DO NOT ENTER."</li><li>To prevent dust that can clog the spiracles of adult beetles or cause a decline in vigor or even death of plants that larvae of the MHJB may feed upon, dust control measures, such as periodically wetting down the work areas, shall be used as necessary during excavation for the new foundations in of the impact area, site grading, or any other project-related activities that generate dust.</li><li>If any construction occurs during any portion of the MHJB breeding/flight season, between May 15 and August 15, all exposed soils within the impact area will be covered between the hours of 7pm and 7am daily with tarps, plywood, erosion control fabric, or another suitable impervious material. This will prevent adult males from burrowing into the exposed soils and subsequently being injured or killed by soil disturbance (i.e., digging, grading, covering, etc.).</li><li>Revegetate portions of the project site that are temporarily disturbed due to construction with</li></ul>	Project applicant and contractor.	To be conducted by a qualified A biologist approved by the USFWS.	To be implemented prior to, during, and following construction.

No.	Environmental Impact	Mitigation Measures	Responsibility for Compliance	Method of Compliance	Timing of Compliance
BIO-2		<p>plant taxa indigenous to the Zayante Sandhills. Because MHJB adults emerge from the soil to attract and search for mates, turf grass, dense ground covers (such as ivy), weed matting, aggregate, and mulch can degrade habitat conditions and shall not be used in this project</p> <p>Protect habitat for the MHJB at an off-site location with high conservation value for the beetle.</p> <ul style="list-style-type: none"> <li>• Provide funds, through the purchase of conservation credits at the Ben Lomond Sandhills Preserve of the Zayante Sandhills Conservation Bank, to protect, manage, and monitor habitat of the MHJB in perpetuity. Project construction will permanently remove 10,857 square feet (0.2492acre) of habitat that could potentially be used by the MHJB. Credits shall be purchased at a 1:1 ratio, of conservation credits based upon the total area of project disturbance, from the Ben Lomond Sandhills Preserve of the Zayante Sandhills Conservation Bank. The property owner has previously purchased credits as required under the HCP prepared by Richard Arnold, Ph.D. for a total of 2,720 square feet as evidenced by the receipt for payment from the Ben Lomond Sandhills Preserve of the Zayante Sandhills Conservation Bank (Attachment 9) and shall pay the remaining balance of credits for the remaining 8,137 square feet at a 1:1 ratio for the total square feet of permanent disturbance for this project.</li> </ul> <p>The operator of the conservation bank, PCO, LLC, will be responsible for all species monitoring, habitat management, and other conservation related activities that occur at the Ben Lomond Sandhills Preserve. An annual monitoring report will be prepared for submission to the USFWS and the County of Santa Cruz.</p>	Project applicant.	Purchase of conservation credits at the Ben Lomond Sandhills Preserve of the Zayante Sandhills Conservation Bank.	To be implemented prior to construction.
BIO-3		<p>Protect Manage habitat for the MHJB on-site.</p> <ul style="list-style-type: none"> <li>• Maintain the habitat portions of the property.</li> <li>• Control invasive plants in the habitat area.</li> <li>• Promote native sandhill plant colonization</li> </ul>	Project applicant.	Routine maintenance to promote native sandhill plant colonization.	To be implemented prior to, during, and following construction.
BIO-4		<p>Track compliance with the terms and conditions of the HCP and permit, including compliance, effects, and effectiveness monitoring.</p> <ul style="list-style-type: none"> <li>• In accordance with the provisions set out in the pre-construction meeting, workers shall be directed to immediately cease work if a MHJB is observed within the designated impact area. Workers shall immediately contact the project biologist who can handle and relocate the beetle as authorized by the USFWS.</li> <li>• Throughout the construction and the other covered activities an approved biologist shall conduct regular inspections of the project site during all phases of the project to ensure that the perimeter fencing and signs that delineate the impact area remain in place, that exposed soils are properly covered by impervious materials, and to salvage and relocate and MHJB life stages.</li> <li>• Following project completion the project biologist shall calculate the area of soil disturbance (i.e., incidental take), and tally the number of MHJB life stages that were found and translocated during the project to quantify the amount of incidental take at the end of the project.</li> </ul>	Project applicant and contractor.	To be conducted by a qualified A biologist approved by the USFWS.	To be implemented prior to, during, and following construction.



No.	Environmental Impact	Mitigation Measures	Responsibility for Compliance	Method of Compliance	Timing of Compliance
BIO-5		<ul style="list-style-type: none"> <li>The permit holder shall allow representatives from the USFWS access to the project site to monitor compliance with the terms and conditions of the HCP and the effects of the covered activities of this project.</li> </ul> <p>The following reports shall be prepared as required by the Habitat Conservation Plan (HCP).</p> <ul style="list-style-type: none"> <li>Compliance Report: By January 31st following each year of the permit, the project biologist shall submit a report to the Ventura Fish and Wildlife Office of the Service and the Santa Cruz County Planning Department to document the status of the project. The report will provide the following information:               <ol style="list-style-type: none"> <li>Brief summary or list of project activities accomplished during the reporting year (e.g. this includes development/construction activities, and other covered activities)</li> <li>Project impacts (e.g. number of acres graded, number of buildings constructed, etc.)</li> <li>Description of any take that occurred for each covered species (includes cause of take, form of take, take amount, location of take and time of day, and deposition of dead or injured individuals)</li> <li>Brief description of conservation strategy implemented</li> <li>Monitoring results (compliance, effects and effectiveness monitoring) and survey information (if applicable)</li> <li>Description of circumstances that made adaptive management necessary and how it was implemented. Please include a table including the cumulative totals; by reporting period all adaptive management changes to the HCP, including a very brief summary of the actions.</li> <li>Description of any changed or unforeseen circumstances that occurred and how they were dealt with</li> <li>Funding expenditures, balance, and accrual</li> <li>Description of any minor or major amendments.</li> </ol> </li> <li>Annual Mitigation Monitoring Reports: The operator of the Ben Lomond Sandhills Preserve of the Zayante Sandhills Conservation Bank, PCO, LLC, must submit an annual monitoring report to the Ventura Fish and Wildlife Office of the Service, describing activities performed to benefit the MHJB as part of its agreement to sell conservation credits and operate a conservation bank. This report shall be submitted to Service by December 31st of the monitoring year. This report shall include:               <ol style="list-style-type: none"> <li>A general assessment of the condition of the habitat at the Ben Lomond Sandhills Preserve;</li> <li>A description of all management actions taken on the Preserve along with an assessment of their effectiveness toward enhancing the biological goals and objectives;</li> <li>A description of any problems encountered in managing the Preserve;</li> <li>Results of monitoring studies for the endangered species and/or communities conducted during the year and an assessment of their implications for the biological goals and</li> </ol> </li> </ul>	Project applicant and contractor.	To be conducted by a qualified A biologist approved by the USFWS.	To be implemented prior to, during, and following construction.



No.	Environmental Impact	Mitigation Measures	Responsibility for Compliance	Method of Compliance	Timing of Compliance
		objectives; and  5. A description of other activities designed to enhance the Preserve.			
BIO-6	Have a substantial adverse effect on any riparian habitat or sensitive natural community identified in local or regional plans, policies, regulations (e.g. wetland, native grassland, special forest, intertidal zone, etc.) or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?	<p>This direct impact is considered significant, but mitigatable to a less-than-significant level through the incorporation of the following measures:</p> <ul style="list-style-type: none"> <li>Implement a Four-year Restoration program that commences after construction is complete. Restoration measures will include: reclaiming gravel areas outside of the 12-foot wide driveway, and gravel areas that are not needed for maintenance access, and the fire turn-around. Gravel shall be removed by using hand rakes. Reclaimed areas shall be hand seeded with local native plant species representative of Sandhills habitat, weeded, and managed to promote native vegetation. Monitoring and reporting shall document new locations of special status species, invasive weeds, and rate of natural recruitment.</li> <li>Opportunities for Habitat Enhancement. The Meadow habitat areas support moderate levels of non-native annual grasses and weeds. A combination of weed control and hand seeding to promote species richness would improve the habitat value. Most of the meadow areas occur in gaps in the existing Live Oak Woodland or adjacent to the Live Oak Woodland located west of the house site. Four small areas of Meadow habitat located within the Live Oak Woodland, totaling approximately 4,009 square feet are proposed to be restored and enhanced. In addition, approximately 18,750 square feet of Oak Woodland adjacent to the entrance gate and along the driveway are proposed to be enhanced. The Mixed Evergreen Forest at the west end of the parcel will also be enhanced by removing French broom, velvet grass and other invasive non-native plants, and by protecting special status manzanita seedlings that naturally recruit in the forest. There are recorded observations of Anderson's manzanita in the past, and after the 4-year drought, normal rainfall may activate the soil "seed bank". Approximately 49,645 square feet of the Mixed Evergreen Forest will undergo enhancement and will be monitored for natural recruitment of native trees and shrubs.</li> </ul>	Project applicant and contractor.	To be conducted by a qualified A restoration ecologist.	To be implemented following construction.

### IMPACT AND MITIGATION TABLE FOR SANDHILLS HABITAT AREAS

Sensitive Sandhills Habitat	Area of Disturbance (sq. ft.)	Replacement/ Restoration ratio	Area of Restoration/ Enhancement (sq. ft.)	Proposed restoration/ enhancement/ mitigation measures
Mixed Evergreen Forest	P	1:1	121	Conservation credits*
	T	1:1 29:1	1,721 (restore) 49,645 (enhance)	Restoration and Habitat Enhancement
Oak Woodland	P	1:1	838	Conservation credits*
	T	22:1 1:1	18,750 794	Conservation and Restoration Conservation credits* and Restoration
Santa Cruz Cypress/ Knobcone PineForest/ Maritime Mixed Chapparral (old impacts included as existing disturbed habitat)	P	N/A	None	N/A
	T	N/A	No additional	N/A
Meadow	P	1:1	1,256	Conservation credits*

No.	Environmental Impact	Mitigation Measures					Responsibility for Compliance	Method of Compliance	Timing of Compliance
		Existing disturbed habitat area***		T	None	3:1	4,009 (enhance)	Habitat Enhancement	
		• (e)/(p) Driveway • House Site	P P	7,088 760	1:1 1:1		7,088 760	Conservation credits* Conservation credits*	
		* Credits are paid to the Ben Lomond Sandhills Preserve of the Zayante Sandhills Conservation Bank. Payment has already been made for 2,720 square feet of disturbance. An additional payment of credits for the remaining 8,137 square feet of permanent disturbance will be required prior to the issuance of a building permit for the proposed home.							
		** Area of disturbed Mixed Evergreen Forest in area of existing gravel driveway that extends beyond the (p) building site. After completion of construction all gravel will be removed and entire area restored.							
		*** This is the area of existing disturbance, including the rock driveway and cleared building site that will be incorporated into the area of permanent disturbance. Disturbed oak woodland within the building envelope has no herb layer and has bare dirt or gravel.							
		P = Permanent disturbance (total maximum 0.25 acre)							
		T = Temporary disturbance areas to be restored							
		Summary						Area (square feet/acres)	
		Total area of permanent disturbance						10,063 / 0.2310	
		Total area of temporary additional disturbance during construction						794 / 0.0182	
		Total area subject to purchase of conservation credits						10,857 / 0.2492	
		Total area of Restoration/enhancement (not including areas of permanent disturbance for which conservation credits will be purchased)						55,375 / 1.2712	
BIO-7		<p>The following measures are recommended to reduce impacts to the Live Oak Woodland to a less-than significant level.</p> <ul style="list-style-type: none"> <li>After the Development Permit is issued and prior to construction, remove the cement blocks (no mortar keystone blocks), BBQ and patio furniture from the existing recreational barbecue area. Also, remove the dead chinquapin trees.</li> <li>During the construction of the house site, protect the Live Oak Woodland habitats that occur adjacent to the development envelope to prevent inadvertent impacts to these habitat types. These natural areas outside the development envelope should be protected by the placement of 5-foot high construction fencing (metal stakes and rope) along the outside edge of the Development Envelope. The fencing should be maintained throughout the site construction period and should be inspected periodically for damage and proper functioning.</li> <li>To the greatest extent possible, keep construction activities a minimum of 10 feet away from the tree trunks. Existing trees to be saved that are adjacent to construction activities shall be protected by a 5-foot high temporary fence (metal stakes and rope). The protection fencing</li> </ul>							
		Project applicant and contractor.							
		To be monitored by a qualified A biologist approved by the USFWS and the County of Santa Cruz Planning Department.							
		To be implemented prior to, during, and following construction.							

No.	Environmental Impact	Mitigation Measures	Responsibility for Compliance	Method of Compliance	Timing of Compliance
		<p>should also be installed along the gravel driveway access route where it abuts the Live Oak Woodland habitat. The fence will start at the entry gate, where the gravel driveway starts. The existing natural habitat along the existing gravel driveway and natural habitat outside the proposed Development Envelope shall not be cut, filled, or compacted. The fencing along the driveway access route shall be maintained throughout the construction period and shall be inspected periodically for damage and proper functioning.</p> <ul style="list-style-type: none"> <li>For trees designated to be retained within 20 feet of construction, utility trenching for the house and leach field, the trees should COP be protected by the placement of 5-foot high plastic construction fencing along the outside edge of the drip line of the tree or grove of trees. The fencing should be maintained throughout the site construction period and should be inspected periodically for damage and proper functioning.</li> <li>If construction activities are proposed within the drip line of trees designated to be retained, the following construction guidelines should be implemented: minimize excavation, filling, or other type of soil disturbance within 10 feet of the tree trunk. If 1/3 or more of the roots are disturbed, the injured tree should be watered so that the ground is soaked to a depth of 18 inches, extending outward to the drip line of the tree.</li> <li>Remove Invasive, Non-native Species (see Mitigation Measure BIO-14).</li> </ul>			
BIO-8		<p>These direct impacts are considered significant, but mitigatable to a less- than-significant level through the incorporation of the following measures:</p> <ul style="list-style-type: none"> <li>Staging of construction vehicles and equipment. No Staging areas shall be allowed along Alta Vista Rd., especially in the turnout located at a low point midway along Alta Vista Rd. that is associated with a drainage and seasonal tributary that leads to Mill Creek. Sediments and hazardous material such as oil and gas shall not enter the drainage.</li> <li>Staging of construction vehicles and equipment shall be allowed in the Development Envelope, provided that Best Management Practices for sensitive habitats are used, including parking vehicles over drip pans and having spill kits on-site during construction. All refueling, maintenance, and staging of equipment and vehicles will occur within the established staging areas. The property owners will ensure that contamination of sensitive habitat does not occur during such operations. Prior to the onset of work, the contractor shall prepare a plan that provides a prompt and effective response to any accidental spills. All workers will be informed of the importance of preventing spills and of the appropriate measures to take should a spill occur.</li> <li>Standard construction procedures and Best Management Practices (BMPs) will be implemented to reduce the emissions of dust and pollutants during construction. Some standard BMPs for construction projects include: <ol style="list-style-type: none"> <li>Using a covered, paved area dedicated to vehicle maintenance and washing;</li> <li>Developing a spill prevention and cleanup plan;</li> <li>Preventing hazardous chemical leaks by properly maintaining vehicles and equipment;</li> </ol> </li> <li>Vehicle tires should be sanitized with Lysol or equivalent prior to entering Alta Vista Rd. to avoid spread of fungal diseases and "Sudden Oak Death".</li> </ul>	Project applicant and contractor.	To be monitored by the County of Santa Cruz Planning Department.	To be implemented during construction.

No.	Environmental Impact	Mitigation Measures	Responsibility for Compliance	Method of Compliance	Timing of Compliance
<b>BIO-9</b>		<ul style="list-style-type: none"> <li>Remove Invasive, Non-native Species (see Mitigation Measure BIO-14).</li> </ul> <p>These direct impacts are considered significant, but mitigatable to a less- than-significant level through the incorporation of the following measures:</p> <ul style="list-style-type: none"> <li>Protection Fencing. During the construction of the house site, protect the Santa Cruz Cypress-Knobcone Pine Forest/ Maritime Mixed Chaparral that occurs adjacent to the existing gravel driveway access. This sensitive habitat should be protected by the placement of 5-foot high construction fencing along the outside edge of the gravel driveway. The fencing should be maintained throughout the site construction period and should be inspected periodically for damage and proper functioning.</li> <li>After the construction, a permanent fence (i.e., split rail wood or rocks) shall be placed along the entrance driveway to minimize future potential disturbance to adjacent natural habitats.</li> <li>Minimize the use of bright lighting that may influence the behavior and disorient wildlife species.</li> <li>Maintain moderate levels of cats and dogs, so that there is not over predation of the site's rodent, bird, snake and lizard populations. No Kennel or other animal boarding is allowed such that a maximum of four cats and/or dogs may be kept on the parcel in accordance with the provisions of Santa Cruz county Code 13.10.700-K definitions "Kennel".</li> <li>Remove Invasive, Non-native Species (see Mitigation Measure BIO-14).</li> <li>Foster the natural recruitment of native plant species that are representative of Sandhills habitat.</li> <li>Structures and features proposed for residential development shall not be placed within 50 feet of an endangered Santa Cruz Cypress tree. This measure is specified in the County's Sensitive Habitat Ordinance (Santa Cruz County Code 16.10.090).</li> </ul>	Project applicant and contractor.	To be monitored by the County of Santa Cruz Planning Department	To be implemented prior to, during, and following construction.
<b>BIO-10</b>		<p>These direct impacts are considered significant, but mitigatable to a less- than-significant level through the incorporation of the following measures:</p> <ul style="list-style-type: none"> <li>Enhance remaining forest areas by removing invasive, non-native vegetation and by fostering natural recruitment of native trees and shrubs (see Mitigation Measure BIO-14).</li> <li>For trees designated to be retained within 20 feet of construction, utility trenching for the house and leach field, the trees should be protected by the placement of 5-foot high plastic construction fencing along the outside edge of the drip line of the tree or grove of trees. The fencing should be maintained throughout the site construction period and should be inspected periodically for damage and proper functioning.</li> <li>If construction activities are proposed within the drip line of trees designated to be retained, the following construction guidelines should be implemented: minimize excavation, filling, or other type of soil disturbance within 10 feet of the tree trunk. If 1/3 or more of the roots are disturbed, the injured tree should be watered so that the ground is soaked to a depth of 18 inches, extending outward to the drip line of the tree.</li> </ul>	Project applicant and contractor.	To be monitored by a qualified A biologist approved by the USFWS and the County of Santa Cruz Planning Department.	To be implemented prior to, during, and following construction.



No.	Environmental Impact	Mitigation Measures	Responsibility for Compliance	Method of Compliance	Timing of Compliance
BIO-11		<p>These direct impacts are considered significant, but mitigatable to a less- than-significant level through the incorporation of the following measures:</p> <ul style="list-style-type: none"> <li>Enhance Remaining Meadow areas. After construction, the remaining meadow areas will be managed to promote native sandhills vegetation. Certain planting sites will be selected hand-seeding. Seeds will be collected within two miles of the property, and will include common aster, bristly aster, goldenrod, yellow yarrow, white yarrow, and woolly paint brush. The project botanist and revegetation specialist will conduct the seed collection, hand seeding, and select the areas to be seeded. The exact areas to be seeded will be determined by the project Biologist so that no special status species are adversely affected.</li> <li>Implement Selective Weed-trimming Program. Depending on the amount of annual rainfall, it is recommended that the meadow areas be selectively weed trimmed 2 to 3 times in spring and once again in late fall. Mowing should not be conducted during the summer season so that the native plants may complete their life cycle to produce mature seed. The project botanist will let the property owner know when it is the proper time to mow. The mowing or trimming will serve two main functions:               <ol style="list-style-type: none"> <li>Mowing helps lower the competition between native herbs and non-native weeds and grasses.</li> <li>Mowing will lower vegetation height and fire hazard.</li> </ol> </li> </ul>			
BIO-12		<p>These direct impacts are considered significant, but mitigatable to a less- than-significant level through the incorporation of the following measures:</p> <ul style="list-style-type: none"> <li>Remove Invasive, Non-native Species (see Mitigation Measure BIO-11). Care should be taken during invasive, non-native plant removal when working near the cypress saplings.</li> <li>Measures for Vegetation Management and Fire Safety in the 100' CAL Fire Defensible Space around Residence:               <p>Avoid doing fuel reduction work during the flight season for the Mount Hermon June Beetle (MHJB), which extends from mid-May to mid-August. Do not remove completely, or thin out rare Santa Cruz Cypress trees, Bonny Doon (Silver leaf) Manzanita shrubs, or other listed species. Instead, use corrective pruning and remove lower branches that could fuel a ground fire.</p> <p>If a burn pile is needed, it should be placed in the Mixed Evergreen Forest habitat on the property. Place the burn pile to avoid damage to the Western azalea grove or manzanita seedlings. Routes for hauling slash/cut brush or cut trees should avoid ground disturbance near special status plants such as Santa Cruz Cypress and Bonny Doon (Silver leaf) Manzanita.</p> </li> </ul>	Project applicant and contractor.	To be monitored by a qualified A biologist approved by the USFWS and the County of Santa Cruz Planning Department.	To be implemented prior to, during, and following construction.
BIO-13		<p>These direct impacts are considered significant, but mitigatable to a less- than-significant level through the incorporation of the following measures:</p> <ul style="list-style-type: none"> <li>Placement of temporary protection fencing that will be functional during the construction period around the entire area of the existing gravel driveway and proposed development. In addition, to protect the population area of the Ben Lomond Spineflower (<i>Chorizanthe pungens</i> var. <i>hartwegiana</i>) construction fencing should be placed at the east end of the parcel, in the previously burned area along Alta Vista Road.</li> </ul>	Project applicant and contractor.	To be monitored by a qualified A biologist approved by the USFWS and the County of	To be implemented prior to and during construction.

No.	Environmental Impact	Mitigation Measures	Responsibility for Compliance	Method of Compliance	Timing of Compliance
BIO-14		<ul style="list-style-type: none"> <li>• Install individual protection shelters using welded wire or poultry netting to avoid impacts to special status Bonny Doon (Silver leaf) Manzanita (<i>Arctostaphylos silvicola</i>) and Anderson's Manzanita (<i>A. andersonii</i>).</li> <li>• Ensure a minimum 10 feet between the flagged <i>Arctostaphylos silvicola</i> seedlings and the proposed water tanks.</li> <li>• Hold a pre-construction meeting to verify that the adjacent Sandhills habitats and special status plant species will be protected by the proper placement of construction fencing and individual protection shelters. The proposed construction fencing shall not be placed outside of the existing disturbed area, most of which is currently covered with gravel. The line of the temporary fencing is required to be approved by the Project Biologist prior to installation of the construction fencing.</li> </ul> <p>These direct impacts are considered significant, but mitigatable to a less- than-significant level through the incorporation of the following measures:</p> <ul style="list-style-type: none"> <li>• Erosion Control Measures. Measures shall be implemented to prevent increased erosion, sedimentation, and run-off into undisturbed habitats, especially in sensitive habitats. Suggested erosion control measures include: straw wattles, and/or weed-free straw bales anchored with wooden stakes to trap loose sediment, which could move down slope. Santa Cruz Erosion Control Mix should <u>not</u> be used as it contains invasive, non-native grasses and clover species. The effectiveness of the erosion control measures should be inspected to determine if additional measures should be implemented the following fall.</li> <li>• Monitoring for Natural Recruitment and Special Status Plants. The western third of the parcel shall be evaluated for rare plants, sandhills indicator species, natural regeneration, and to confirm the amount of hand seeding needed. A survey is recommended, since the rare Ben Lomond spineflower and other annual sandhills specialty plants would be identifiable at this time.</li> </ul>	Project applicant and contractor.	To be monitored by a qualified A biologist approved by the USFWS and the County of Santa Cruz Planning Department.	To be implemented prior to, during, and following construction.
BIO-15		<p>These direct impacts are considered significant, but mitigatable to a less- than-significant level through the incorporation of the following measures:</p> <ul style="list-style-type: none"> <li>• The project biologist will conduct weed surveys, flag problem areas, and conduct walk-throughs with the property owners to show them the maintenance needed. As compensation for indirect impacts to locally unique species and sensitive habitats, the landowners should remove/control the occurrences of invasive, non-native plant species that occur along the construction route and the western third of the parcel. Winter and early spring are good times to remove acacia saplings and French broom plants, when the soil is wet and before the plants have gone to seed. This helps to avoid the spread of seed into new areas. Controlling invasive, non-native plants will likely be needed on a yearly basis as regular management of the property. No herbicides shall be used.</li> <li>• High priority species for removal include silver wattle acacia, rose clover, dog tail grass, French broom, thistle species, velvet grass, feather grass, cat's ear, and rattlesnake grass. The plants should be removed in a manner that minimizes disturbances to the native trees and shrubs occurring in these habitat areas.</li> </ul>	Project applicant and contractor.	To be monitored by a qualified A biologist approved by the USFWS and the County of Santa Cruz Planning Department.	To be implemented following construction.



No.	Environmental Impact	Mitigation Measures	Responsibility for Compliance	Method of Compliance	Timing of Compliance
BIO-16	Produce nighttime lighting that would substantially illuminate wildlife habitats?	<p>All exterior lighting on the property must comply with the following restrictions:</p> <ul style="list-style-type: none"> <li>All outdoor lighting shall be directed away from adjacent sensitive habitat areas. Light sources may be shielded by landscaping, structure, fixture design or other physical means.</li> <li>Outdoor light fixtures shall use only light bulbs that are certified to not attract nocturnally-active insect species.</li> </ul>	Project applicant and contractor.	To be monitored by the County of Santa Cruz Planning Department.	To be implemented following construction.

TABLE 1. FANS AND AVALANCHES OF 1974-1975 IN THE CONTOUR-TERRAINED ZONE OF THE KAMCHATKA PENINSULA

Area	Number of Fans	Number of Avalanches	Number of Victims	Number of Injured	Number of Property Losses (rubles)
1. Kamchatka Peninsula	10	10	10	10	10
2. Kamchatka Peninsula	10	10	10	10	10
3. Kamchatka Peninsula	10	10	10	10	10
4. Kamchatka Peninsula	10	10	10	10	10
5. Kamchatka Peninsula	10	10	10	10	10
6. Kamchatka Peninsula	10	10	10	10	10
7. Kamchatka Peninsula	10	10	10	10	10
8. Kamchatka Peninsula	10	10	10	10	10
9. Kamchatka Peninsula	10	10	10	10	10
10. Kamchatka Peninsula	10	10	10	10	10

[illegible]

## 1997-1998

**EXHIBIT D**









**WALL LEGEND**

 SOLID CONCRETE

 INSULATED CONCRETE

 AIR SPACE

 PARTITION WALL

 WINDOW

 DOOR

 STAIR

 ROOF

 FLOOR

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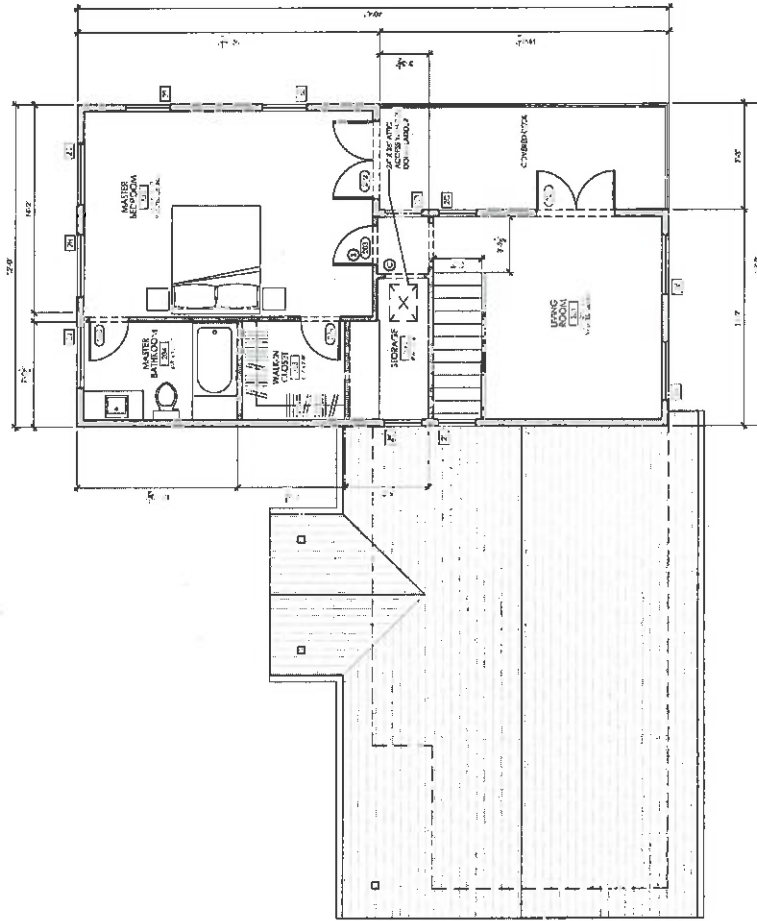
 TOWER

sohl residence	DATE	A1
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Planning Week: 2  
Plan Date: 2014  
August 2, 2014

VALERIE HART DRAFTING AND DESIGN  
3403 W. ROTHENGLU CHURCH SQUARE, CA. 95273  
415.738.1409 [valerie@70524-jahiro.com](mailto:valerie@70524-jahiro.com)

PROPOSED LOWER FLOOR PLAN



- ① FINISH: 1/2" THICK, 12" X 12" POLISHED CONCRETE  
② FINISH: 1/2" THICK, 12" X 12" POLISHED CONCRETE  
③ FINISH: 1/2" THICK, 12" X 12" POLISHED CONCRETE  
④ FINISH: 1/2" THICK, 12" X 12" POLISHED CONCRETE  
⑤ FINISH: 1/2" THICK, 12" X 12" POLISHED CONCRETE  
⑥ FINISH: 1/2" THICK, 12" X 12" POLISHED CONCRETE  
⑦ FINISH: 1/2" THICK, 12" X 12" POLISHED CONCRETE  
⑧ FINISH: 1/2" THICK, 12" X 12" POLISHED CONCRETE  
⑨ FINISH: 1/2" THICK, 12" X 12" POLISHED CONCRETE  
⑩ FINISH: 1/2" THICK, 12" X 12" POLISHED CONCRETE

WALL LEGEND	
	1/2" 2x4 INCL. 1" INSUL.
	NEW 2x4 INCL. 1" INSUL.

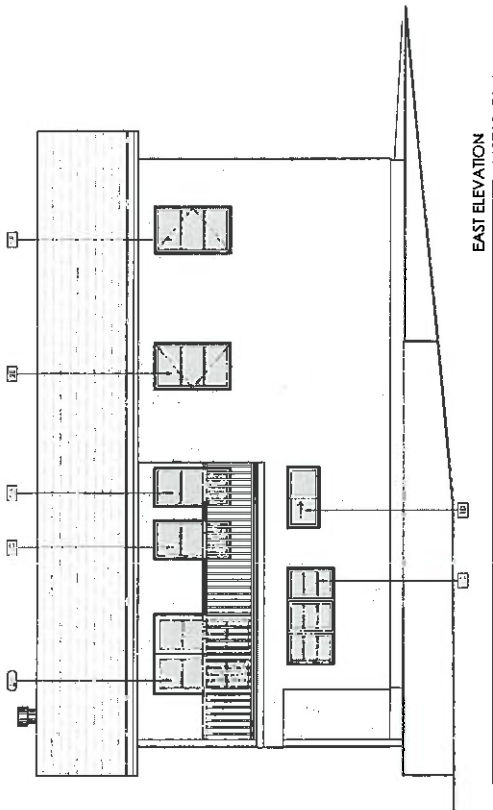
sohl residence  
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JO: 10/12/2014  
AUGUST 2.2.7

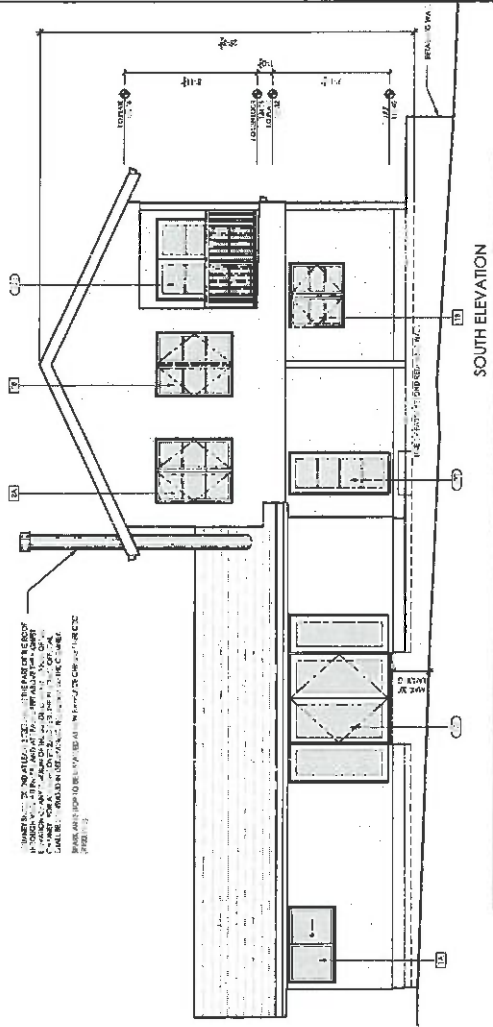
VALERIE HART DRAFTING AND DESIGN  
9608 N. DODGE C., CHICO, CA 95926  
(916) 221-1887 valerie@valeriedesign.com

PROPOSED UPPER FLOOR PLAN  
SCALE: 1/8" = 1'-0"

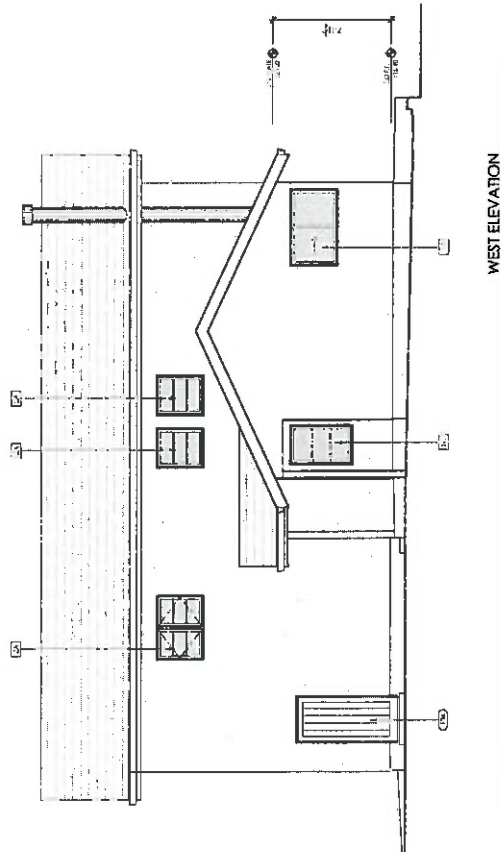




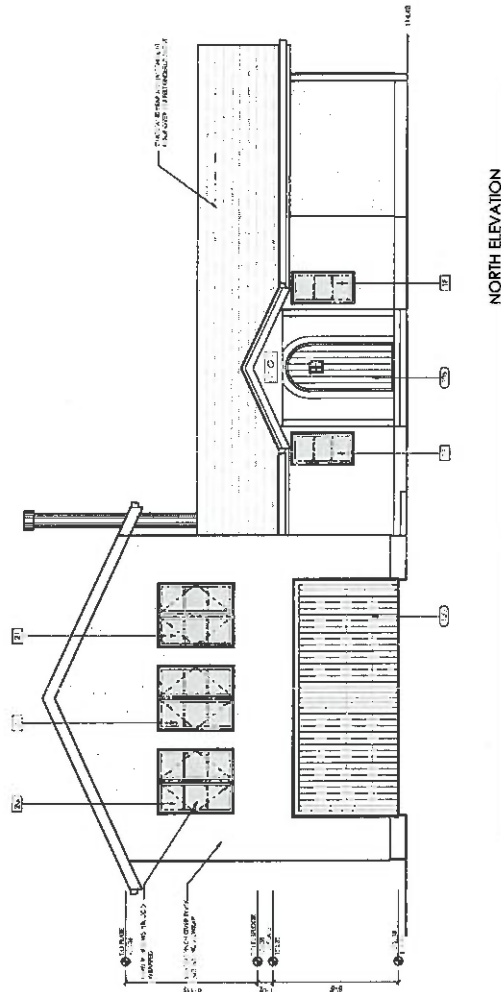
EAST ELEVATION



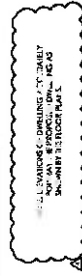
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



# ELEVATIONS

SCALE: 1/4" = 1'-0"

VALERIE HART DRAFTING AND DESIGN  
3400 N. ROSCOE BLVD. SUITE 100, CHICAGO, IL 60657  
(773) 224-1000 [www.valeriehart.com](http://www.valeriehart.com)

PLANNING BY: J. H. 12.02.2014  
DATE: AUGUST 2, 2017

sohl residence A3  
1101 N. 1st St. East, Suite 100, East Chicago, IL 60127  
DATE: 10/10/16





3 of 7

1. CEILING MATERIAL, PREPARATION
  - a. ALL CEILING SHALL BE CONFORMING GREATER THAN 42
  - b. ALL MATERIAL SHALL BE FREE OF SPACING, MUDS OR DEBRIS
  - c. ALL MATERIAL SHALL BE FREE OF SPACING, MUDS OR DEBRIS
  - d. ALL MATERIAL SHALL BE APPROVED BY QUALITY CONTROL
  - e. ALL MATERIAL SHALL BE PLACED IN 15 MINUTE MAX EXCESSING 30' AT EACH R.C.
  - f. GREATEST SPACING BETWEEN JOINTS SHALL BE 10' MAXIMUM
  - g. JOINTS SHALL BE PLACED AT 10' MAXIMUM
  - h. JOINTS SHALL BE PLACED AT 10' MAXIMUM
  - i. JOINTS SHALL BE PLACED AT 10' MAXIMUM
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  - u. JOINTS SHALL BE PLACED AT 10' MAXIMUM
  - v. JOINTS SHALL BE PLACED AT 10' MAXIMUM
  - w. JOINTS SHALL BE PLACED AT 10' MAXIMUM
  - x. JOINTS SHALL BE PLACED AT 10' MAXIMUM
  - y. JOINTS SHALL BE PLACED AT 10' MAXIMUM
  - z. JOINTS SHALL BE PLACED AT 10' MAXIMUM
2. REINFORCEMENT
  - a. ALL REINFORCEMENT SHALL BE APPROVED BY QUALITY CONTROL
  - b. ALL REINFORCEMENT SHALL BE APPROVED BY QUALITY CONTROL
  - c. ALL REINFORCEMENT SHALL BE APPROVED BY QUALITY CONTROL
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  - u. ALL REINFORCEMENT SHALL BE APPROVED BY QUALITY CONTROL
  - v. ALL REINFORCEMENT SHALL BE APPROVED BY QUALITY CONTROL
  - w. ALL REINFORCEMENT SHALL BE APPROVED BY QUALITY CONTROL
  - x. ALL REINFORCEMENT SHALL BE APPROVED BY QUALITY CONTROL
  - y. ALL REINFORCEMENT SHALL BE APPROVED BY QUALITY CONTROL
  - z. ALL REINFORCEMENT SHALL BE APPROVED BY QUALITY CONTROL

The top diagram illustrates the correct installation of a storm drain line. It shows a vertical pipe with a 45-degree elbow connecting to a horizontal pipe. Labels include: "PLASTIC GALVANIZED STEEL, 1/2\" CIRC. RAIN GAGE (RAIL DOWN)", "USE PIPE & GUNITE JOINTS TO ADAPTER OF APPROVED EQUIPMENT", "USE GUNITE AND PIPE-SET TO ADAPTER AND GUNITE JOINTS TO RAINLY SURFACE APPROPRIATIONS", "3\" OR 3/8\" PVC RAIN-SUIT, 1/2\" RAIN GAGE FINISH GROUND", "45° ELBOW", "STORM DRAIN LINE", and "PVC OR HDPE PIPE".

The bottom diagram illustrates the incorrect installation of a storm drain line. It shows a vertical pipe with a 90-degree elbow connecting to a horizontal pipe. Labels include: "PLASTIC GALVANIZED STEEL, 1/2\" CIRC. RAIN GAGE (RAIL DOWN)", "USE PIPE & GUNITE JOINTS TO ADAPTER OF APPROVED EQUIPMENT", "USE GUNITE AND PIPE-SET TO ADAPTER AND GUNITE JOINTS TO RAINLY SURFACE APPROPRIATIONS", "3\" OR 3/8\" PVC RAIN-SUIT, 1/2\" RAIN GAGE FINISH GROUND", "90° ELBOW", "STORM DRAIN LINE", and "PVC OR HDPE PIPE".

## PLAN VIEW

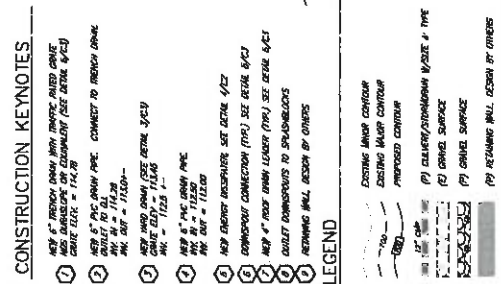
6 SURFACE SLOT DRAIN  
AND PRO SERIES CHANNEL DRAIN OR EQUIVALENT

## SECTION VIEW

## ENERGY DISSIPATOR

DOWNSPOUT CONNECTION TO S.D.







THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF:  
GREGORY T. FLEISCHER, P.E., License No. 62,289  
DATE: 7/18/17  
PROJECT: DRIVEWAY PROFILE  
SHEET NO. 1 OF 1

DATE: 7/18/17  
PROJECT: DRIVEWAY PROFILE  
SHEET NO. 1 OF 1

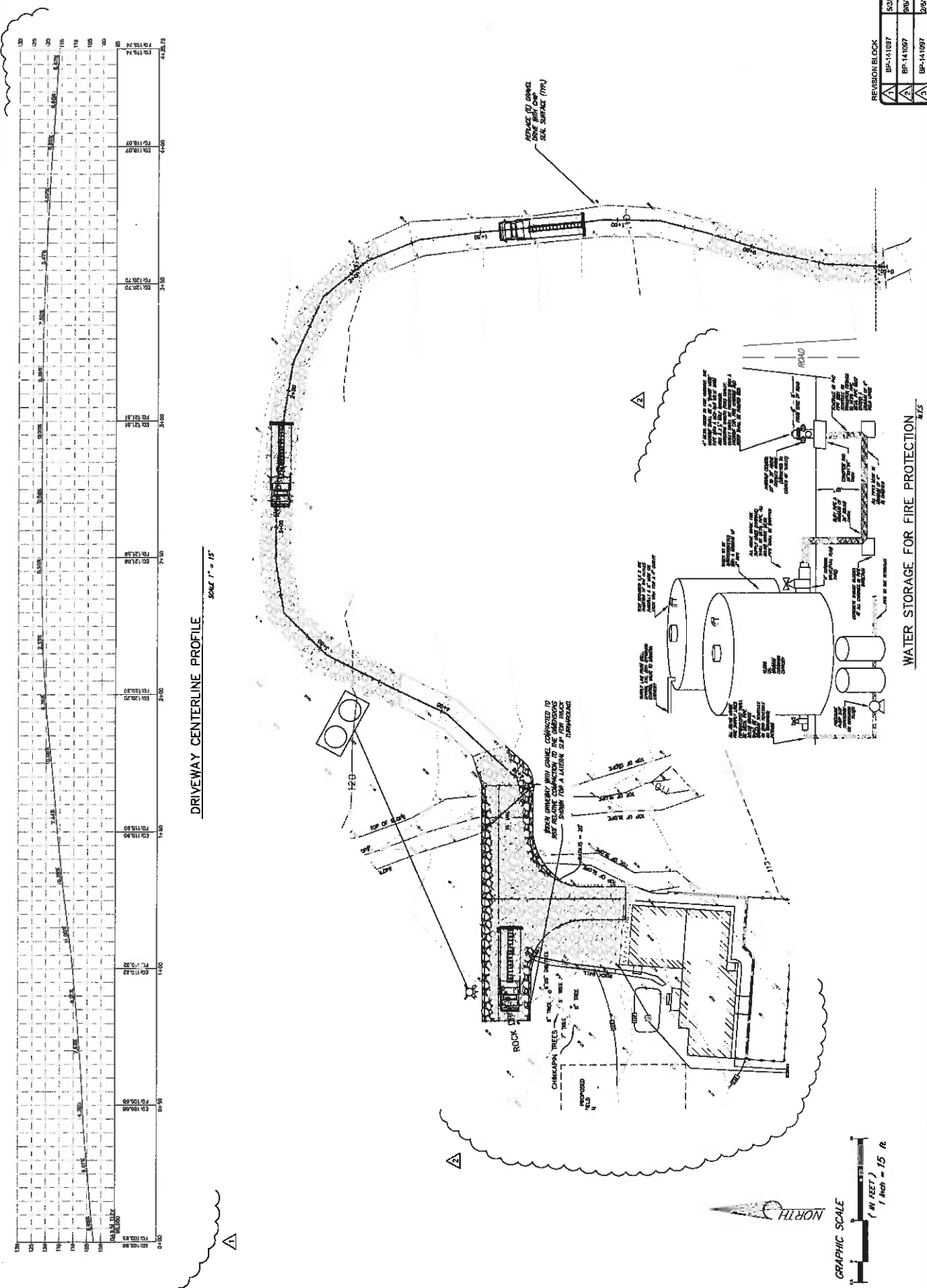
**HOGAN LAND SERVICES**  
402 E. 10th St., Ste. 100A  
Aptos, CA 95023  
TEL: (831) 426-1617  
FAX: (831) 426-0224  
www.hoganland.com

APN# 063-061-28  
101 MARTIN RD  
BONNY DOON, CALIFORNIA

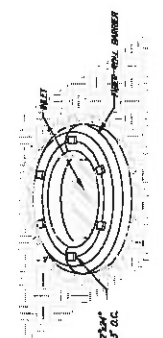
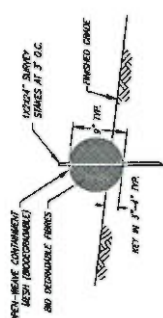
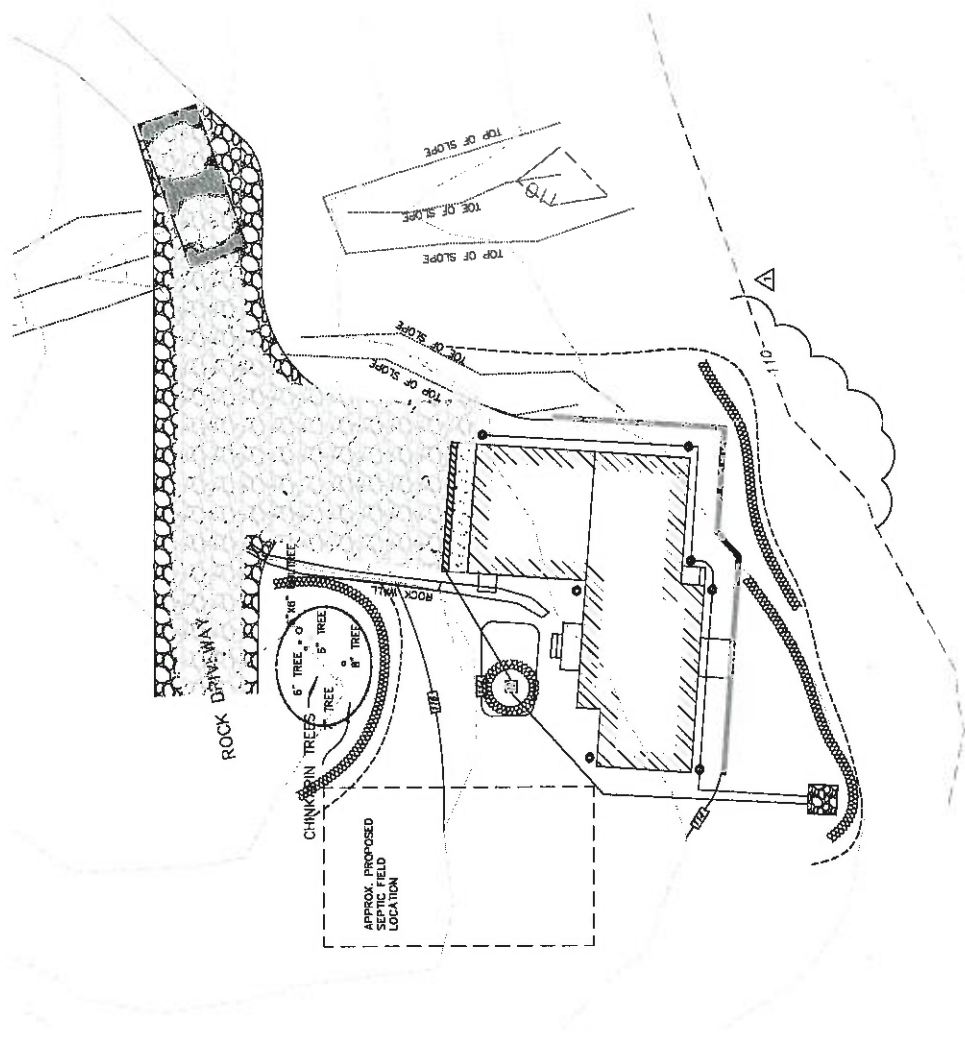
LANDS OF SOHL  
DRIVEWAY PROFILE

C5 of 7

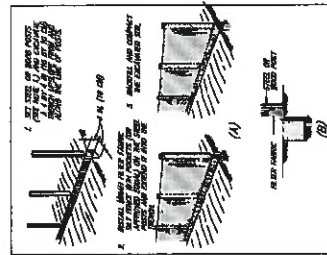
REVISION BLOCK	
SC116	BP-141897
BP16	BP-141897
BP17	BP-141897







3 STORM DRAIN INLET SEDIMENT BARRIER  
4 FIBER ROLL BARRIER

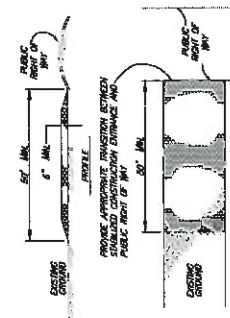


**INSTALLATION OF SILT FENCE SEDIMENT BARRIER**

1. THE SILT FENCE SEDIMENT BARRIER SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

- THE SILT FENCE SEDIMENT BARRIER SHALL BE INSTALLED IN A LINE WITH THE EXISTING GROUND SURFACE.
- THE SILT FENCE SEDIMENT BARRIER SHALL BE INSTALLED IN A LINE WITH THE EXISTING GROUND SURFACE.

### 1 SILT FENCE INSTALLATION



**DESIGN AND CONSTRUCTION OF THE SILT FENCE**

THE SILT FENCE SHALL BE 12\"/>

### 2 STABILIZED CONSTRUCTION ENTRANCE

**STABILIZED CONSTRUCTION ENTRANCE**

THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:

- THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED IN A LINE WITH THE EXISTING GROUND SURFACE.
- THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED IN A LINE WITH THE EXISTING GROUND SURFACE.



DATE: 12/17/16  
DRAWN: PAB  
CHECKED: GJT  
SCALE: 1"=200'  
PROJECT: 1. PLANNING  
SHEET: 1.0  
SHEET NO.: 1.0  
SHEET TOTAL: 1.0  
THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA.

**HOGAN LAND SERVICES**

APN# 063-061-28  
802 E. 10th St., Ste. 100A  
Anaheim, CA 92805

# LANDS OF SOHL HABITAT PROTECTION PLAN

1101 MARTIN RD  
BOYNTON, CALIFORNIA

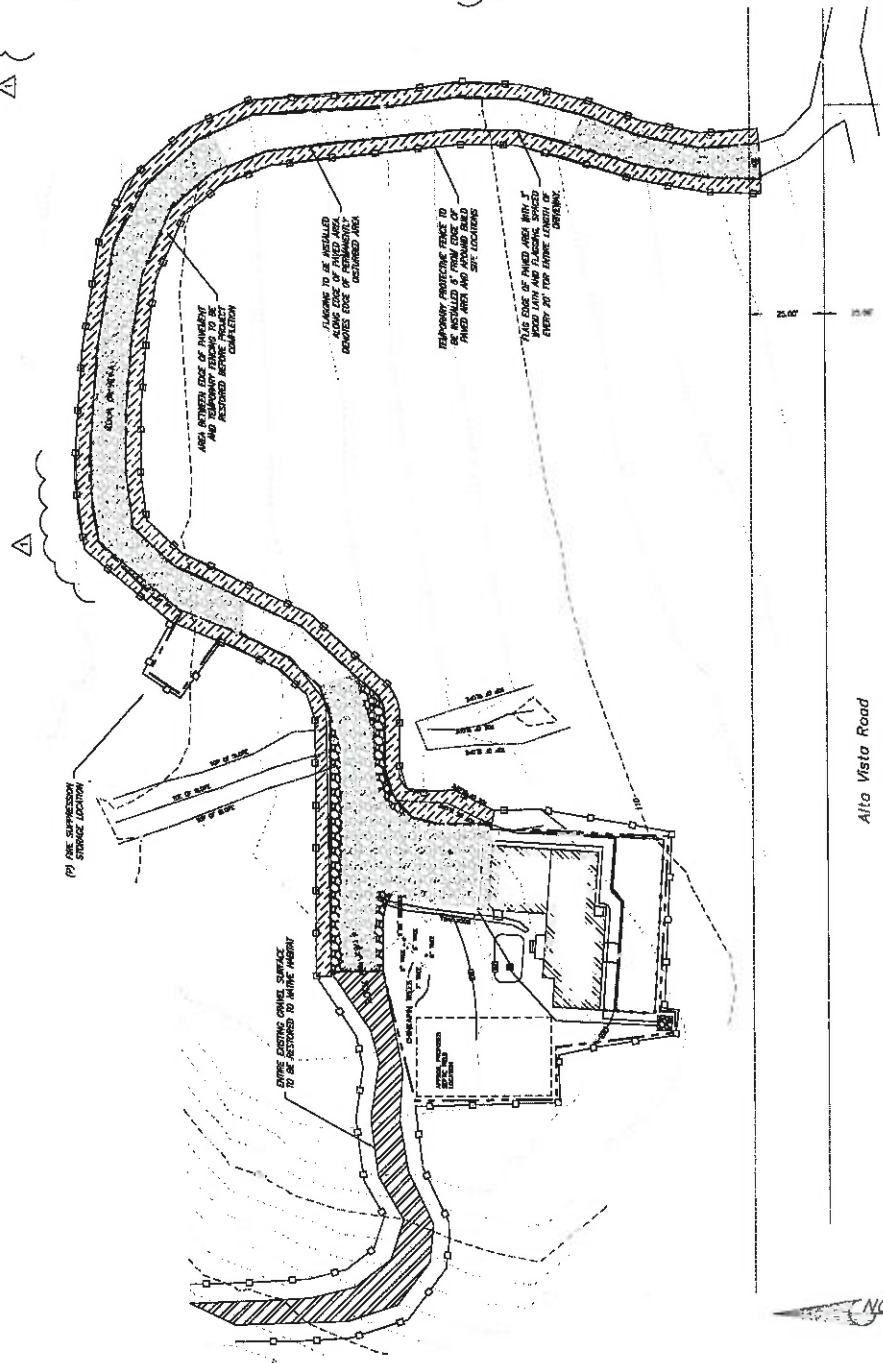
## ESTIMATED DISTURBED AREAS

Proposed Feature	Area (sq. ft.)	Area (sq. ft.)
Excavation for 4' deep trench	1,000	0.003
Excavation for 6' deep trench	1,000	0.003
Excavation for 8' deep trench	1,000	0.003
Excavation for 10' deep trench	1,000	0.003
Excavation for 12' deep trench	1,000	0.003
Excavation for 14' deep trench	1,000	0.003
Excavation for 16' deep trench	1,000	0.003
Excavation for 18' deep trench	1,000	0.003
Excavation for 20' deep trench	1,000	0.003
Excavation for 22' deep trench	1,000	0.003
Excavation for 24' deep trench	1,000	0.003
Excavation for 26' deep trench	1,000	0.003
Excavation for 28' deep trench	1,000	0.003
Excavation for 30' deep trench	1,000	0.003
Excavation for 32' deep trench	1,000	0.003
Excavation for 34' deep trench	1,000	0.003
Excavation for 36' deep trench	1,000	0.003
Excavation for 38' deep trench	1,000	0.003
Excavation for 40' deep trench	1,000	0.003
Excavation for 42' deep trench	1,000	0.003
Excavation for 44' deep trench	1,000	0.003
Excavation for 46' deep trench	1,000	0.003
Excavation for 48' deep trench	1,000	0.003
Excavation for 50' deep trench	1,000	0.003
Excavation for 52' deep trench	1,000	0.003
Excavation for 54' deep trench	1,000	0.003
Excavation for 56' deep trench	1,000	0.003
Excavation for 58' deep trench	1,000	0.003
Excavation for 60' deep trench	1,000	0.003
Excavation for 62' deep trench	1,000	0.003
Excavation for 64' deep trench	1,000	0.003
Excavation for 66' deep trench	1,000	0.003
Excavation for 68' deep trench	1,000	0.003
Excavation for 70' deep trench	1,000	0.003
Excavation for 72' deep trench	1,000	0.003
Excavation for 74' deep trench	1,000	0.003
Excavation for 76' deep trench	1,000	0.003
Excavation for 78' deep trench	1,000	0.003
Excavation for 80' deep trench	1,000	0.003
Excavation for 82' deep trench	1,000	0.003
Excavation for 84' deep trench	1,000	0.003
Excavation for 86' deep trench	1,000	0.003
Excavation for 88' deep trench	1,000	0.003
Excavation for 90' deep trench	1,000	0.003
Excavation for 92' deep trench	1,000	0.003
Excavation for 94' deep trench	1,000	0.003
Excavation for 96' deep trench	1,000	0.003
Excavation for 98' deep trench	1,000	0.003
Excavation for 100' deep trench	1,000	0.003

## LEGEND

- LINE OF PERMANENT DISTURBANCE
- TEMPORARY PROTECTIVE FENCE, ORANGE PLASTIC NET
- EXISTING DRIVEWAY AID TO BE RESTORED
- MAINT. AREA ALONG DRIVEWAY TO BE MAINTAINED
- EXISTING DRIVEWAY
- PROPOSED ASPHALT SURFACE
- PROPOSED DRIVEWAY

NOTE: LINE OF THE TEMPORARY PROTECTIVE FENCE SHALL BE AS SHOWN ON THE PLAN. APPROXIMATE AND SHALL BE DETERMINED ON SITE BASED UPON THE RECOMMENDATIONS OF THE DISTURBED AREA. THE FENCE SHALL NOT BE OUTSIDE THE EXISTING DISTURBED AREA.

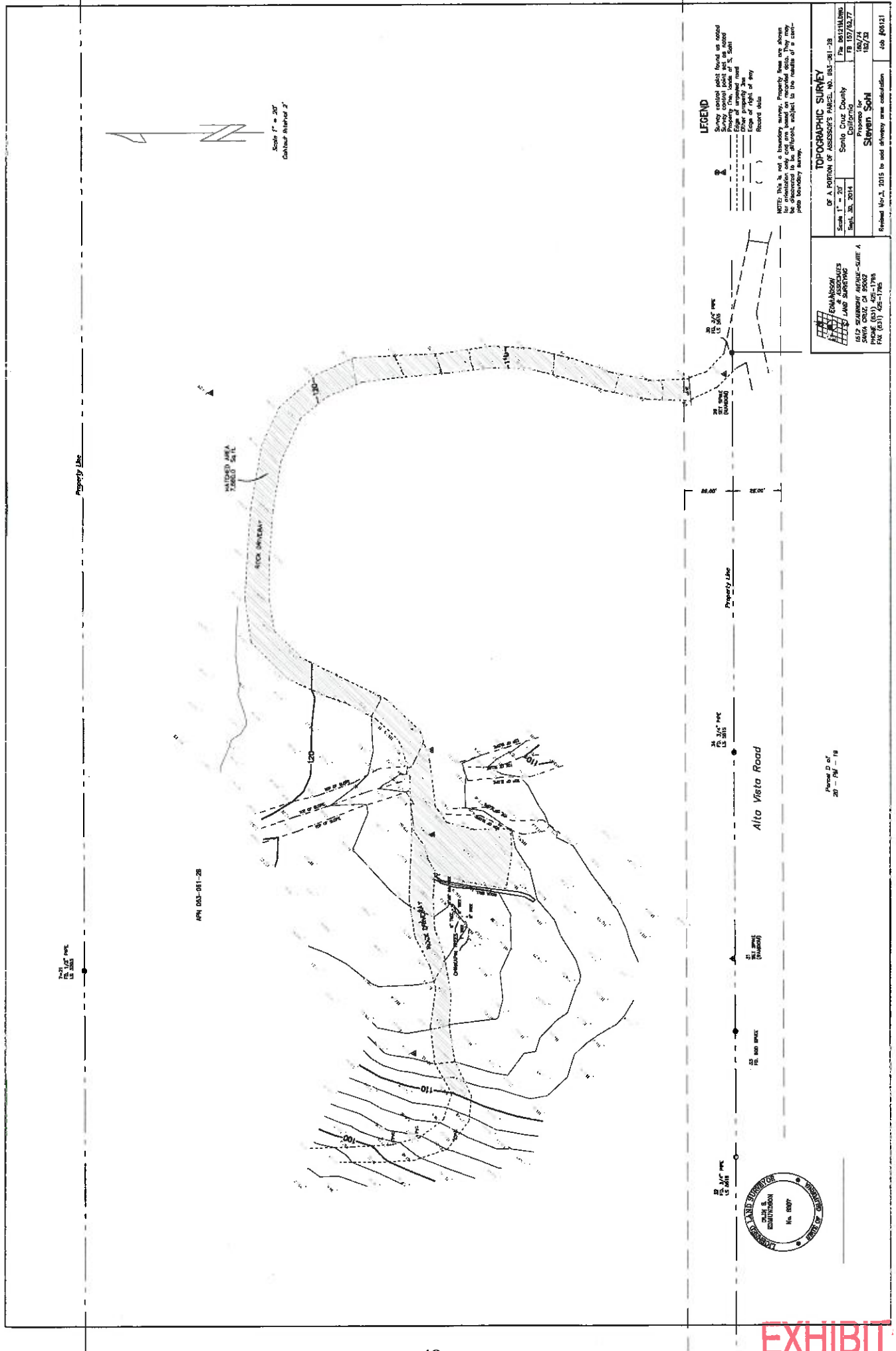


REVISION BLOCK

NO.	DESCRIPTION	DATE
1	REVISION	12/17/16



<p><b>SITE MAP</b></p> <p>OF ADDENDUM'S PARCEL NO. 08-1-08-128</p> <p>Santa Cruz County Cemetery</p> <p>Scale 1" = 10' July 8, 2013</p> <p>Prepared for <b>Steven Spili</b></p> <p>July 8/2013</p>	
--	--



FOR TAX PURPOSES ONLY

THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.

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POR, N. 1/2 SEC. 24,  
T.10S., R.3.W., M.D.B. & V.

Tax Area Code  
58-001

63-06

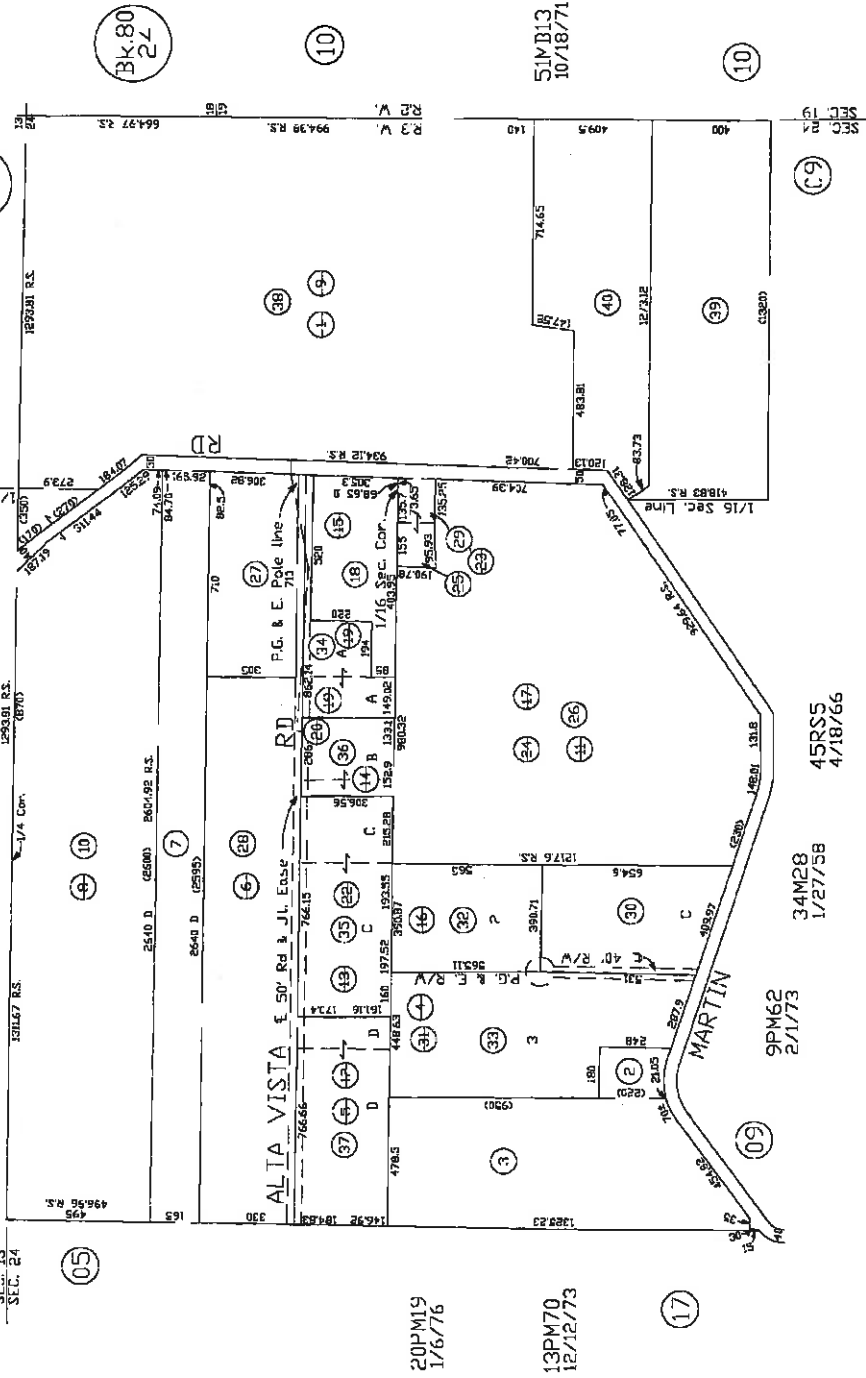
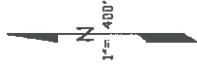
45MB5  
4/19/66

Bk.80  
23

Bk.80  
23

Bk.80  
27

SEC. 13  
SEC. 24



20PM19  
1/6/76

13PM70  
12/12/73

51MB13  
10/18/71

45RS5  
4/18/66

34M28  
1/27/58

9PM62  
2/1/73

Assessor's Map No. 63-06  
County of Santa Cruz, Calif.  
Nov. 1999

Note - Assessor's Parcel Block &  
Int Numbers Shown in Circles.

Electronically Redrawn 11/3/99 KB

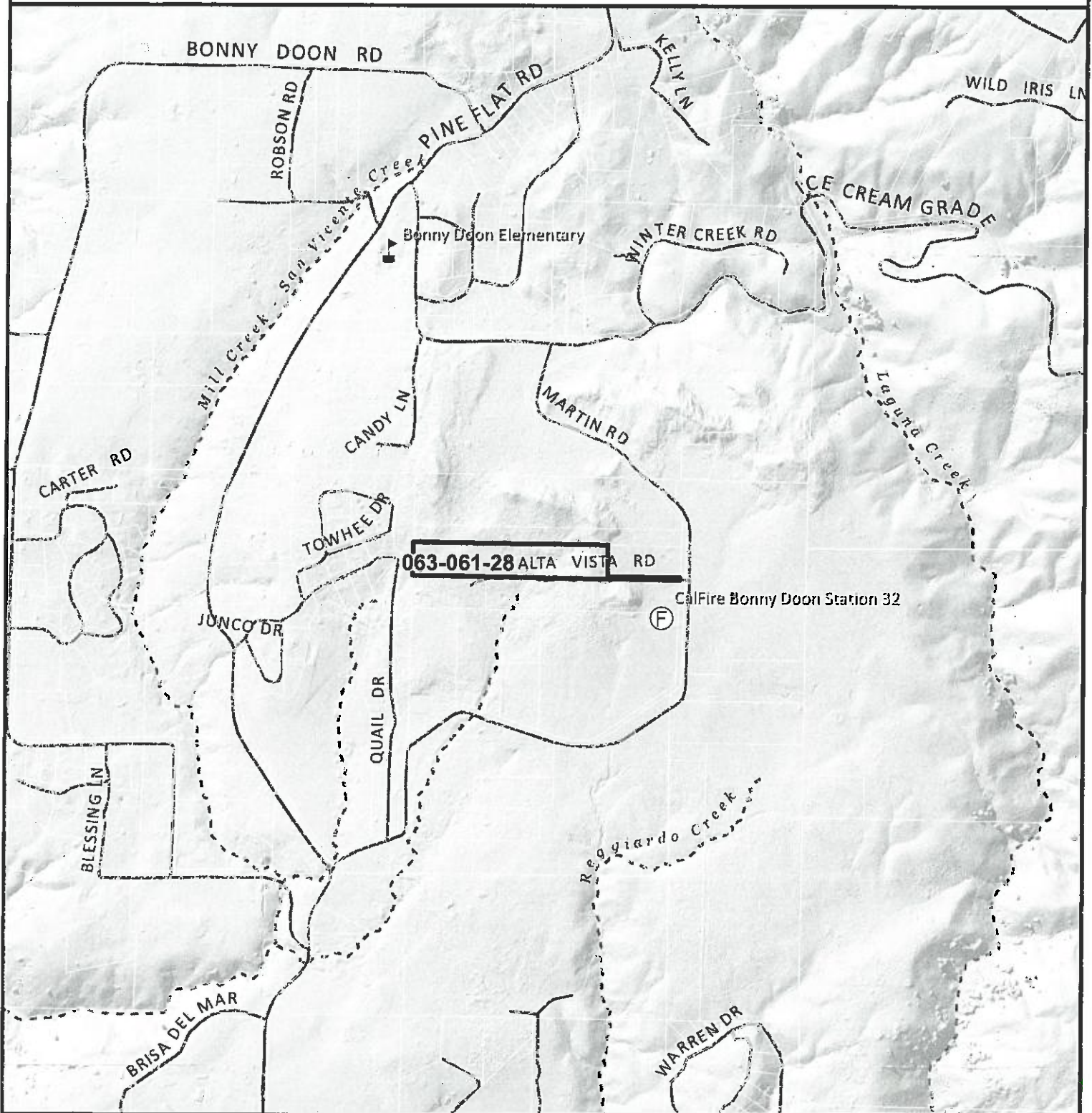




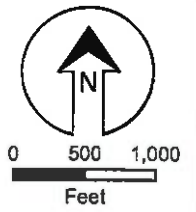
# Parcel Location Map

Santa Cruz County Planning Department

Parcel Number  
**063-061-28**  
Jun. 6, 2018



- Symbol Key**
- Ⓕ Fire Station
  - 🏫 School
  - Street
  - Perennial Stream







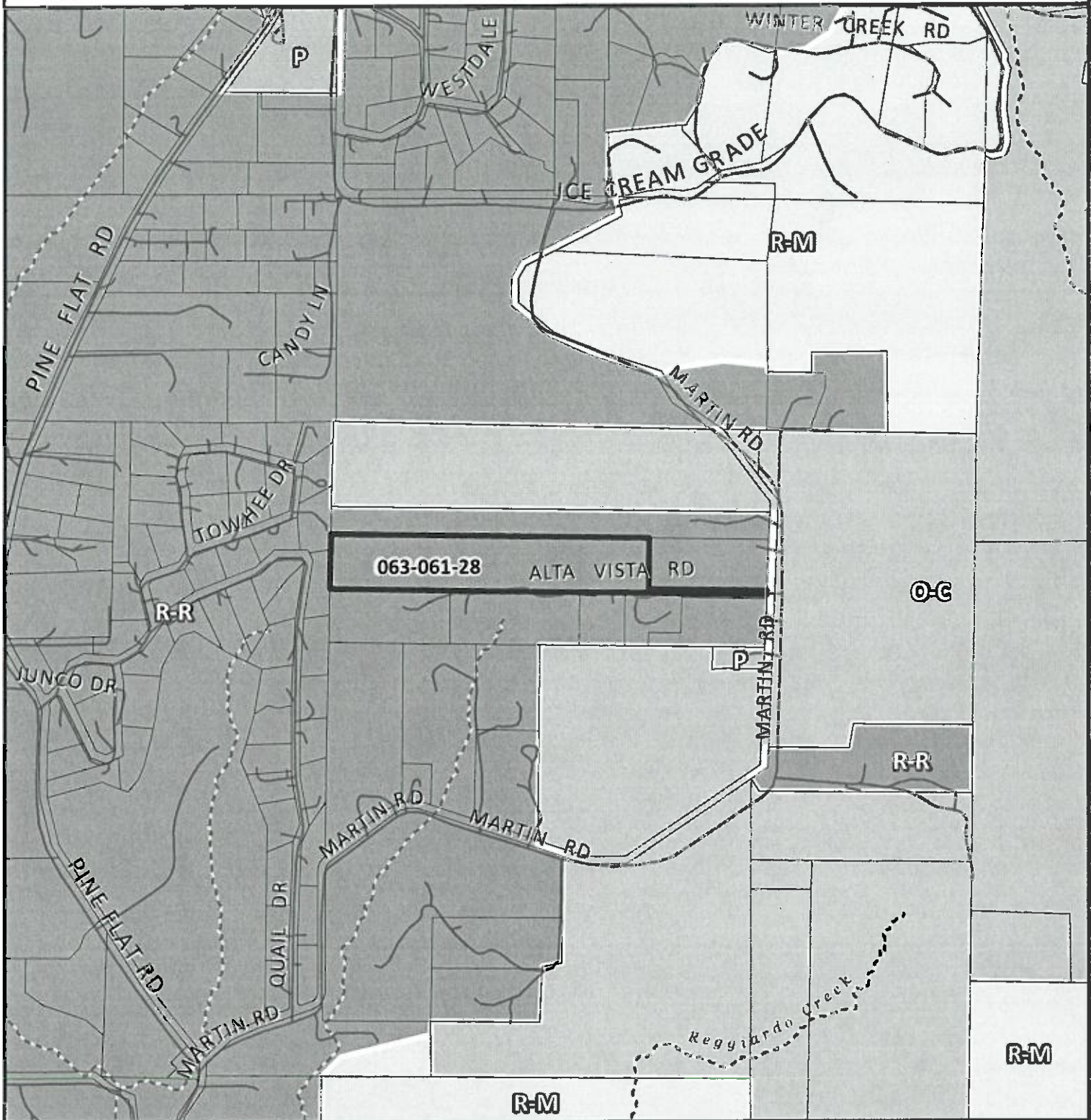
# Parcel General Plan Map

Santa Cruz County Planning Department

Parcel Number

063-061-28

Jun. 6, 2018



## General Plan

- |                            |                             |
|----------------------------|-----------------------------|
| AG - Agriculture           | O-C - Resource Conservation |
| P - Public Facilities      |                             |
| R-M - Residential-Mountain |                             |
| R-R - Residential-Rural    |                             |



0 325 650  
Feet





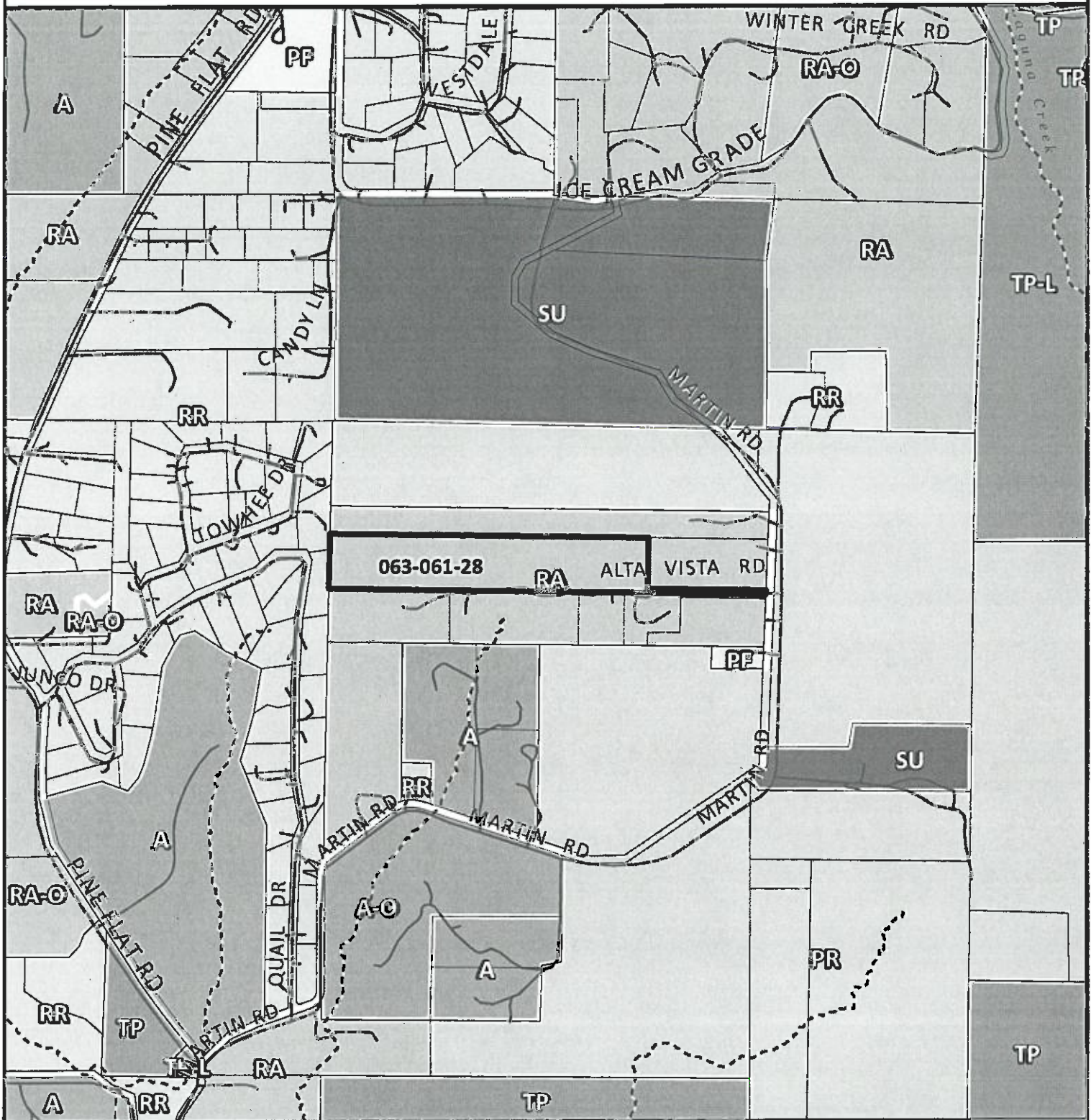
# Parcel Zoning Map

Santa Cruz County Planning Department

Parcel Number

063-061-28

Jun. 6, 2018



## Zoning

- |  |                        |
|--|------------------------|
| (A) Agriculture                        | (RR) Rural Residential |
| (PF) Public & Community Facilities     | (SU) Special Use       |
| (PR) Parks, Recreation, and Open Space | (TP) Timber Production |
| (RA) Residential Agricultural          |                        |



0 325 650  
Feet



EDMUND G. BROWN JR.  
GOVERNOR

STATE OF CALIFORNIA  
GOVERNOR'S OFFICE *of* PLANNING AND RESEARCH



KEN ALEX  
DIRECTOR

May 22, 2018

Lezanne Jeffs  
Santa Cruz County  
701 Ocean Street  
Santa Cruz, CA 95060

Subject: Sohl Residence Project  
SCH#: 2018042068

Dear Lezanne Jeffs:

The State Clearinghouse submitted the above named Mitigated Negative Declaration to selected state agencies for review. The review period closed on May 21, 2018, and no state agencies submitted comments by that date. This letter acknowledges that you have complied with the State Clearinghouse review requirements for draft environmental documents, pursuant to the California Environmental Quality Act.

Please call the State Clearinghouse at (916) 445-0613 if you have any questions regarding the environmental review process. If you have a question about the above-named project, please refer to the ten-digit State Clearinghouse number when contacting this office.

Sincerely,

Scott Morgan  
Director, State Clearinghouse

**Document Details Report  
State Clearinghouse Data Base**

**SCH#** 2018042068  
**Project Title** Sohl Residence Project  
**Lead Agency** Santa Cruz County

---

**Type** MND Mitigated Negative Declaration  
**Description** The proposed project is to construct a 1,583 sf single family dwelling with an attached 440 sf garage on an existing vacant parcel that is located in the Bonny Doon Zayante Sandhills.

---

**Lead Agency Contact**

**Name** Lezanne Jeffs  
**Agency** Santa Cruz County  
**Phone** (831) 454-2480 **Fax**  
**email**  
**Address** 701 Ocean Street  
**City** Santa Cruz **State** CA **Zip** 95060

---

**Project Location**

**County** Santa Cruz  
**City**  
**Region**  
**Lat / Long** 37° 3' 8.89" N / 122° 8' 45.15" W  
**Cross Streets** Alta Vista Rd and Martin Rd  
**Parcel No.** 063-061-28  
**Township** 10S **Range** 3W **Section** 24 **Base** MD

---

**Proximity to:**

**Highways**  
**Airports**  
**Railways**  
**Waterways** Mill Creek  
**Schools** Pacific ES  
**Land Use** Z: Residential ag  
GP: RR

---

**Project Issues** Archaeologic-Historic; Biological Resources; Coastal Zone; Drainage/Absorption; Septic System; Soil Erosion/Compaction/Grading; Vegetation; Wildlife

---

**Reviewing Agencies** Resources Agency; California Coastal Commission; Department of Fish and Wildlife, Region 3; Department of Parks and Recreation; Department of Water Resources; Caltrans, District 5; State Water Resources Control Board, Division of Water Quality; Regional Water Quality Control Board, Region 3; Native American Heritage Commission

---

**Date Received** 04/20/2018 **Start of Review** 04/20/2018 **End of Review** 05/21/2018

---

## Lezanne Jeffs

---

**From:** Alicia Saam <absaam@yahoo.com>  
**Sent:** Monday, September 18, 2017 1:52 PM  
**To:** Lezanne Jeffs  
**Subject:** Support of development for Steve and Angela Sohl

Good Afternoon Ms. Jeffs,

I am writing you in support of the final approvals required for the building of Steve and Angela Sohl's single home residence. They are a beautiful family that have been exceptional and contentious neighbors here in Bonny Doon. We are very fortunate to have them here and I hope their patience will be soon rewarded!

Thank you and please let me know if I can provide any further information.

Best,  
Alicia

Sent from my iPhone



## Lezanne Jeffs

---

**From:** Stephen King <sjuelking@gmail.com>  
**Sent:** Monday, September 18, 2017 2:58 PM  
**To:** Lezanne Jeffs  
**Subject:** Proposed Development on Alta Vista Road in Bonny Doon

Lezanne Jeffs  
701 Ocean Street, Room 400  
Santa Cruz, CA, 95060

Lezanne,

We are writing you in support of the proposed development by Steve and Angela Sohl for their property on Alta Vista Road in Bonny Doon. We have known the Sohls for over a decade and find them to be conscientious, hard working, community members who reflect the values of Bonny Doon. We are aware of the Zayante Sand Hills habitat that encompasses much of the property and feel the site chosen for their home minimally impacts the environs. We believe that the Sohls will be wonderful stewards for the property. It is our hope that the proposed development will be approved and will be a cherished place for their children to grow up.

Regards,

Stephen King and Linda Levy  
416 Westdale Drive  
Bonny Doon, CA 95060  
831-426-4906

## Lezanne Jeffs

---

**From:** Teresa Sabankaya <teresa@bonnydoongardenco.com>  
**Sent:** Tuesday, September 26, 2017 7:18 AM  
**To:** Lezanne Jeffs  
**Subject:** Sohl Project SUPPORT

Hello Lezanne,

I am writing this letter in support of the project by Angela and Steve Sohl. I want to stress the importance of **due diligence**. I understand this permit process must enable voices and opinions from the opposition as well as support. However, I completely disagree with this format. If a person has proceeded with your requirements (and paid a LOT of money) for application fees, reviews and reports, made revisions in their plans more than likely, it does not seem fair that a few radical dimwits can come to their hearing (or write letters) and fabricate all sorts of ridiculous scenarios and lies, thus jeopardizing the success of their project.

Again, I am in full support of this project. You have done your job in assuring the applicants have gone through all the processes and passed all their tests, and the applicants have abided and done everything they're required to do. Why on earth shouldn't they be rewarded with their permits?

Thank you,  
Teresa and Nezih Sabankaya

## Lezanne Jeffs

---

**From:** Ryan Beauregard <ryan@beauregardvineyards.com>  
**Sent:** Sunday, September 24, 2017 8:55 AM  
**To:** Lezanne Jeffs  
**Subject:** In support of Angela and Stephen Sohl's project APN-06306128

Dear Lezanne,

I am writing to express my full support for some great community members whom are applying for a development permit to build on property that they own.

Though I do not know the technicals of the application (I could not find any reports on line), I feel that them building on their property adjacent to their family's land is a great fit for them and does nothing to compromise the beauty and tranquillity that we all hold dear here in Bonny Doon.

Steve and Angela are pillars in our community and people that are always on the hunt to do things for their neighbors. I attended Bonny Doon School with Steve over 30 years ago. Steve has earned his money by the sweat of his brow and did not purchase this property by striking it rich easy in high tech. I respect this immensely. Keeping people like this in our community preserves what Bonny Doon is. There are very few multi generation families able to keep hold of their family land and to be able to raise the next generation in Bonny Doon (as they are). I have seen so many of my peers flee the mountain on account of the ability to stay. I have watched the Sohl's do what ever they can to hang on to their paradise. They are good, clean, and generous people that I am proud to call my neighbors. They are exceptional stewards of the land.

Furthermore, I want to note that this development will be a long term family homestead. This is not something that is going to be turned and burned for profit. If it was, I would oppose it. The Sohl's intention is to see the next generations enjoy this development which is something that makes my heart feel warm as this is my intentions with my real estates as well. I want to enjoy watching the next generations grow up together and see our community stay tight.

Thank your entering my later into the file supporting this development.

With respect,

Ryan

--  
Ryan Beauregard  
Winemaker  
Beauregard Vineyards  
10 Pine Flat Road  
Bonny Doon California 95060

831-425-7777 ext 3

September 14, 2017

1025 Martin Road

Santa Cruz, CA 95060

Re:

Steven and Angela Sohl's Property Located At

1035 Martin Road

Santa Cruz, CA 95060

Letter of Support for Building a new home

Dear Santa Cruz County Building Department:

This letter is a statement of our full support, without reservations, for Steven and Angela Sohl to build a home on their property.

Our property borders their property and shares a right of way. We have a wonderful, supportive, and cooperative relationship with Steve and Angela and their extended family. Steve grew up on his family's property which borders Steve's property. Issuing Steve and Angela a Building Permit will help us all keep our neighborhood as it has been since we bought our home in 1983.

We have known Steve for many years. For most of these years, we have employed him to maintain our property. Steve has worked for all of his adult years with his neighbors in the same capacity. "Everyone knows Steve."

We are greatly relieved to know that you are advancing the Sohl's building permit toward approval, because we have been very concerned that some wealthy person from outside our area would throw money at the project, build a house not in keeping with our successful neighborhood of several families, not live in the house, and add considerable traffic to our very quiet and remarkable neighborhood that supports law enforcement, our fire team, our Bonny Doon Elementary School, and the Bonny Doon Ecological Reserve.

Thank you.

Sincerely,

Robert B. Goodenough and Victoria S. Slama

1025 Martin Road

Santa Cruz, CA 95060

831 359 5886

EXHIBIT F