



Staff Report to the Zoning Administrator

Application Number: 181217

Applicant: Brett Brenkwitz
Owner: Bret and Carol Sisney
APN: 033-132-05 & 13
Site Address: 4660 Opal Cliff Drive

Agenda Date: May 3, 2018
Agenda Item #: 2
Time: After 9:00 a.m.

Project Description: Proposal to demolish an existing 4,000 square foot one story single family dwelling and construct a replacement 6,700 square foot two story single family dwelling with approximately 1,500 square foot attached garage and swimming pool. Project includes combination of two parcels. Requires a Coastal Development Permit and Large Dwelling Review for construction of a single family dwelling in excess of 5,000 square feet.

Location: Property located on the south side of Opal Cliff Drive approximately 500 feet west of the intersection with Portola Drive (4660 Opal Cliff Drive).

Permits Required: Coastal Development Permit, Large Dwelling Review

Supervisory District: First District (District Supervisor: John Leopold)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 181217, based on the attached findings and conditions.

Project Setting and Description

The project is located on the south side of Opal Cliff Drive mid-block between the intersections with Portola Drive and Court Drive. The area is primarily characterized by two story single family residential development on parcels in excess of the minimum 5,000 square feet required by the R-1-5 zoning. Architectural styles in the vicinity consist of contemporary, Mediterranean and craftsman.

The subject properties are developed with an existing 4,000 square foot single family dwelling with detached garage and a non-habitable accessory structure, the "casita". The existing home encroaches over the adjoining parcel boundaries of four separate legal parcels. A number of shoreline protection structures consisting of seawalls and sea cave plugs have been authorized over the life of the existing home. Modifications to the existing shoreline protection structures are not proposed.

This proposal intends to demolish the existing home and combine two of the four parcels resulting in an approximately 35,000 gross square foot parcel (the proposed project site) sandwiched between vacant parcels to the east and west. Currently, there is no plan for development of the vacant parcels located to the east and west of the project site.

The project includes the construction of a new approximately 6,700 square foot two story single family dwelling with approximately 1,500 square feet of garage area and construction of a six foot high privacy wall located ten feet within the required twenty foot front yard setback. The project intends to retain the existing "casita" located in the rear yard and install a comprehensive landscape plan for the project site, which includes a new 42 inch high open rail safety fence in the rear yard abutting the coastal bluff.

Local Coastal Program Consistency

The proposed development is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the existing range of styles.

Geotechnical and geologic reports have been reviewed and accepted by County staff (Exhibit G). As proposed, all development will comply with the established geologic setback from the edge of the coastal bluff to ensure 100-year stability of the project.

The project site is located between the shoreline and the first public road however, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water. Existing beach access exists approximately 780 feet west of the project site (Private's Beach) and the project site is not identified as a priority acquisition site in the County's Local Coastal Program.

Large Dwelling Review

SCCC 13.10.325 states that residential structures exceeding 5,000 square feet of floor area or larger shall require a level 5 approval subject to design review. As proposed, the project would result in an approximately 6,700 square foot two story dwelling with attached 1,500 square feet of non-habitable garage space, which requires a Large Dwelling Review.

The proposed development includes the combination of two adjoining parcels resulting in a single parcel of approximately 24,400 net square feet. The project would be sufficiently screened from public view due to existing and proposed vegetation, and the home is sufficiently set back from the edge of the coastal bluff to preserve public views to the greatest extent feasible. Color and materials will be natural in appearance and complimentary to the site. As proposed, the project would comply with all site standards for the zone district as indicated in the chart below.

Site and Structural Dimensions (R-1-5 Zone District)							
	Setbacks				Lot Coverage	FAR	Height
	Front	East Side	West Side	Rear			
Required	20 feet	5 feet	8 feet	Geologic setback	40%	50%	28 feet
Proposed	20 feet	13 feet	8 feet	Geologic setback	25%	34%	28 feet

Design Review

The proposed single family dwelling complies with the requirements of the County Design Review Ordinance, in that the proposed project will incorporate site and architectural design features such as increased setbacks for second story elements, varied wall planes and natural appearing colors to reduce the visual impact of the proposed development on surrounding land uses and the existing natural landscape. As proposed, the project would be consistent with the range of architectural styles in the vicinity of the project.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number 181217, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

Report Prepared By: Nathan MacBeth
Santa Cruz County Planning Department
701 Ocean Street, 4th Floor
Santa Cruz CA 95060
Phone Number: (831) 454-3118
E-mail: nathan.macbeth@santacruzcounty.us

Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Geotechnical and Geologic report review letters
- H. Comments & Correspondence

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 181217

Assessor Parcel Number: 033-132-05 & 13

Project Location: 4660 Opal Cliff Drive

Project Description: Demolish an existing single family dwelling and construct a replacement single family dwelling.

Person or Agency Proposing Project: Brett Brenkwitz

Contact Phone Number: (831) 662-8800

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. ☒ **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

Construct a new single family dwelling in an area designated for residential uses

In addition, none of the conditions described in Section 15300.2 apply to this project.

Nathan MacBeth, Project Planner

Date: _____

EXHIBIT A

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned R-1-5 (Single Family Residential - 5,000 square foot minimum), a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UM (Urban Medium Density Residential) General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style. The site is surrounded by lots developed to an urban density and the proposed colors will be natural in appearance and complementary to the site. The development site is situated on a bluff top and will be visible from nearby public viewshed (Private's Beach) however, the project site is landscaped with large trees which exceed the height of the proposed home and provide adequate screening to ensure the project would not result in a significant impact to public views.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and public beach access is available at Private's Beach, approximately 780 feet to the west of the project site.

5. That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure is sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses (including Large Dwellings such as proposed here) are allowed uses in the R-1-5 zone district, as well as in the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the pattern of development within the surrounding neighborhood.

6. If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that the project site is located between the shoreline and the first public road however, the proposed development will not interfere with the existing public access to the beach, ocean, or any nearby body of water. The closest public access is located approximately 780 feet to the west of the project site (Private's Beach). Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

Large Dwelling Review Findings

1. The proposed structure is compatible with its surroundings given the neighborhood, locational and environmental context and its design is consistent with the large dwelling design guidelines in County Code section 13.10.325(D); or

This finding can be made, in that the proposed development will be properly proportioned to the property even though the new home is will be approximately 2,000 square feet larger than the existing home. Such an increase will not result in an adverse impact to the existing context of the neighborhood because of the large parcel size. The proposed structure will be in greater conformance with the site standards for the zone district than the existing house and eliminates existing encroachments.

As proposed, the project will result in 25 percent lot coverage where 40 percent is allowed; and result in 34 percent floor area ratio where 50 percent is allowed. The use of earth tone finish colors, comprehensive landscape for the project site together with the mature trees results in a project that is consistent with the design guidelines in SCCC 13.10.325(D).

2. The proposed structure, due to site conditions, or mitigation measures approved as part of this application, will be adequately screened from public view and will not adversely impact public viewsheds, neighboring property privacy or solar access, and its design is consistent with the large dwelling design guidelines set forth in County Code section 13.10.325(D).

This finding can be made, in that the proposed home is situated on a coastal bluff and though visible from the nearby Private's Beach, is not visible from other vantage points due to the height of the coastal bluff.

The project complies with all site standards for the zone district including setbacks, height, lot coverage, and floor area ratio. The project incorporates an increased setback of 13 feet at the east side and though the project will be constructed at the required eight foot side yard setback at the west side (measured to the side of the garage) all second story elements will be setback approximately 20 feet from the side yard. Further, the project will comply with the minimum 20 foot front yard setback (measured to the garage) though the majority of the home and living area will be setback approximately 80 feet from the front property line. As noted above, there are vacant parcels to the east and west of the project site resulting in an even greater setback to the nearest residential development to the east and west.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources. A Geotechnical Report prepared by Haro Kasunich and Associates, updated August 31, 2018 and Geology Report prepared by Easton Geology, updated August 29, 2018 were reviewed and accepted by county staff under application REV181117. Upon completion of the project, final letters from the project geotechnical engineer and engineering geologist are required to ensure the project has been constructed in compliance with all recommendations provided in the geotechnical and geologic reports.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the single family dwelling and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances, including SCCC 13.10.325 (Large dwelling permit requirements and design guidelines), and the purpose of the R-1-5 (Single Family Residential - 5,000 square foot minimum) zone district as the primary use of the property will be one single family dwelling that meets all current site standards for the zone district.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-UM (Urban Medium Density Residential) land use designation in the County General Plan.

The proposed single family dwelling will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the single family dwelling will not adversely shade adjacent properties, and will meet current setbacks for the zone district.

The proposed single family dwelling will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed single family dwelling will comply with the site standards for the R-1-5 zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities, and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed single family dwelling is to be constructed on an existing developed lot which is currently served by utilities. The level of traffic generated by the proposed project is not anticipated to exceed existing traffic levels of 1 peak trip per day (1 peak trip per dwelling unit). Consequently, the project will not adversely impact existing roads or intersections in the surrounding area or overload existing utilities.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed single family dwelling is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed project will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area. The proposed project will incorporate site and architectural design features such as increased setbacks for second story elements, varied wall planes and natural appearing colors to reduce the visual impact of the proposed development on surrounding land uses and the existing natural landscape. As proposed, the project would be consistent with the range of architectural styles in the vicinity.

Conditions of Approval

Exhibit D: Project plans (25 sheet), prepared by Franks & Brenkwitz LLP, revised 10/3/18.

- I. This permit authorizes the demolition of an existing single family dwelling and associated garage and construction of a single family dwelling as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
 - C. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - D. Obtain a Grading Permit from the Santa Cruz County Building Official.
 - E. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Planning Department review

EXHIBIT C

and approval.

3. Grading, drainage, and erosion control plans.
 4. Details showing compliance with fire department requirements.
- B. Record an Affidavit to Retain APNs 033-132-05 and 033-132-13 as a single parcel.
 - C. Meet all requirements of and pay Zone 5 drainage fees to the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
 - D. Meet all requirements of the Soquel Creek Water District. Proof of water service availability is required prior to application for a Building Permit.
 - E. Meet all requirements of the Santa Cruz County Sanitation District. Proof of sanitary sewer service availability is required prior to application for a Building Permit.
 - F. Meet all requirements of the Environmental Planning section of the Planning Department.
 - G. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
 - H. Submit 3 copies of plan review letters prepared and stamped by the project Geotechnical Engineer.
 - I. Pay the current Affordable Housing Impact Fee. Currently, fees are based on net new square footage of the replacement dwelling.
 - J. Provide required off-street parking for 5 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - K. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
 - L. Complete and record a Declaration of Restriction to maintain a non-habitable accessory structure (Casita). **You may not alter the wording of this declaration.** Follow the instructions to record and return the form to the Planning Department.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:

- A. All site improvements shown on the final approved Building Permit plans shall be installed.
- B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
- C. Record a Statement of Acknowledgment regarding issuance of a Development Permit in an area subject to Geologic Hazards.
- D. The project must comply with all recommendations of the approved soils reports.
- E. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
 - B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:

1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

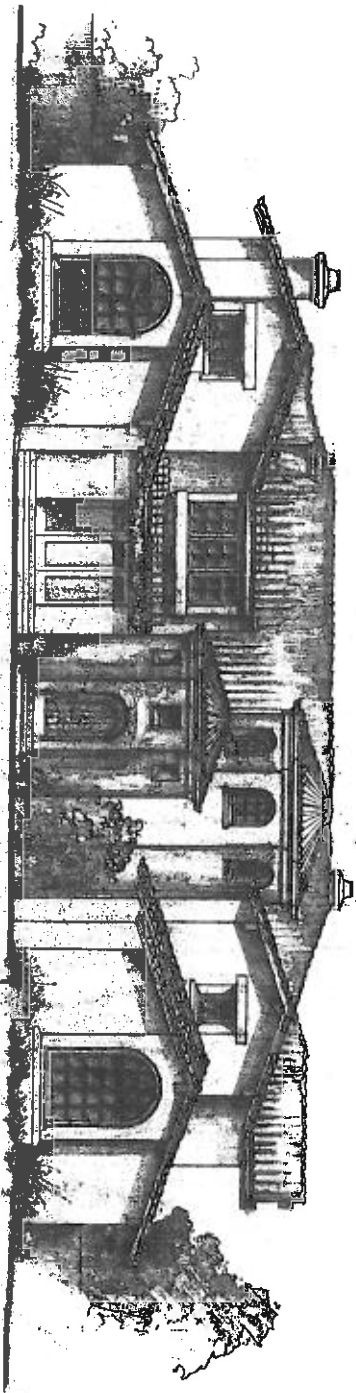
Effective Date: _____

Expiration Date: _____

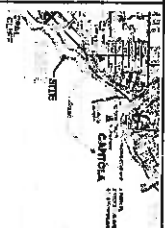
Jocelyn Drake
Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

SISNEY RESIDENCE



REPLACEMENT HOME 4660 OPAL CLIFF DR SANTA CRUZ, CA., 95062



4 NTS VICINITY MAP

PARCEL # 033-132-05-13
 EXIST. ADDRESS: 4660 OPAL CLIFF DR, SANTA CRUZ, CA 95062
 EXIST. LOT AREA: 1.52 AC
 PROPOSED PROJECT:
 NEW 4660 EXISTING HOUSE WITH NEW HOUSE, MARBLE
 PARCELS:
 -CONFINED GROUND LOT: 3,478 SQ FT
 -CONFINED GROUND LOT: 3,478 SQ FT
 -EXISTING HEATED AREA: 1,528 SQ FT
 -EXISTING NON-HEATED AREA: 504 SQ FT
 -PROPOSED HEATED AREA: 4,702 SQ FT
 -PROPOSED NON-HEATED AREA: 504 SQ FT
 -PROPOSED LOT COVERAGES: 4,009 SQ FT (26.98%)
 -PROPOSED P.A.L.: 1,528 SQ FT (10.00%)
 (BOTH LOT COVER. AND P.A.L. INCLUDE EXIST. COVER.)

3 NTS PROJECT NOTES

OWNER:
 SHEET & CLARK, INC.
 100 DE BERNARDINO LN.
 AVENUE, CA 95003
 (813) 250-0888

ARCHITECT:
 JAMES SCHWITZ LLP
 PO BOX 87
 AVENUE, CA 95001
 (813) 653-8800

SCALE:
 HAND DRAWING AND ASBLOC
 1/8" = 1'-0"
 1/4" = 2'-0"
 1/2" = 4'-0"
 3/4" = 6'-0"
 1" = 8'-0"

CIVIL ENGINEERING:
 JAMES SCHWITZ LLP
 2000 BURNING WOOD DR STE 100
 ROSELAND, CA 95068
 (813) 426-5350

GEOL. NOTES:
 EASTON GEOLOGY, INC.
 PO BOX 2355
 CA. 95063
 (813) 245-4317

2 NTS PROJECT DATA

SHEET NO.	DESCRIPTION
A-1	TITLE SHEET
C-10	CIVIL ENGINEERING
C-11	FOUNDATION PLAN
C-12	FOUNDATION AND CROSS SECTIONS
C-13	FOUNDATION AND UTILITY PLAN
C-14	DETAILS
C-15	STORMWATER MGMT PLAN
C-16	FOUNDATION & SUBMITTAL CONTROL PLAN
C-17	FOUNDATION PLAN
C-18	FOUNDATION PLAN
C-19	FOUNDATION PLAN
C-20	FOUNDATION PLAN
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1 NTS SHEET INDEX



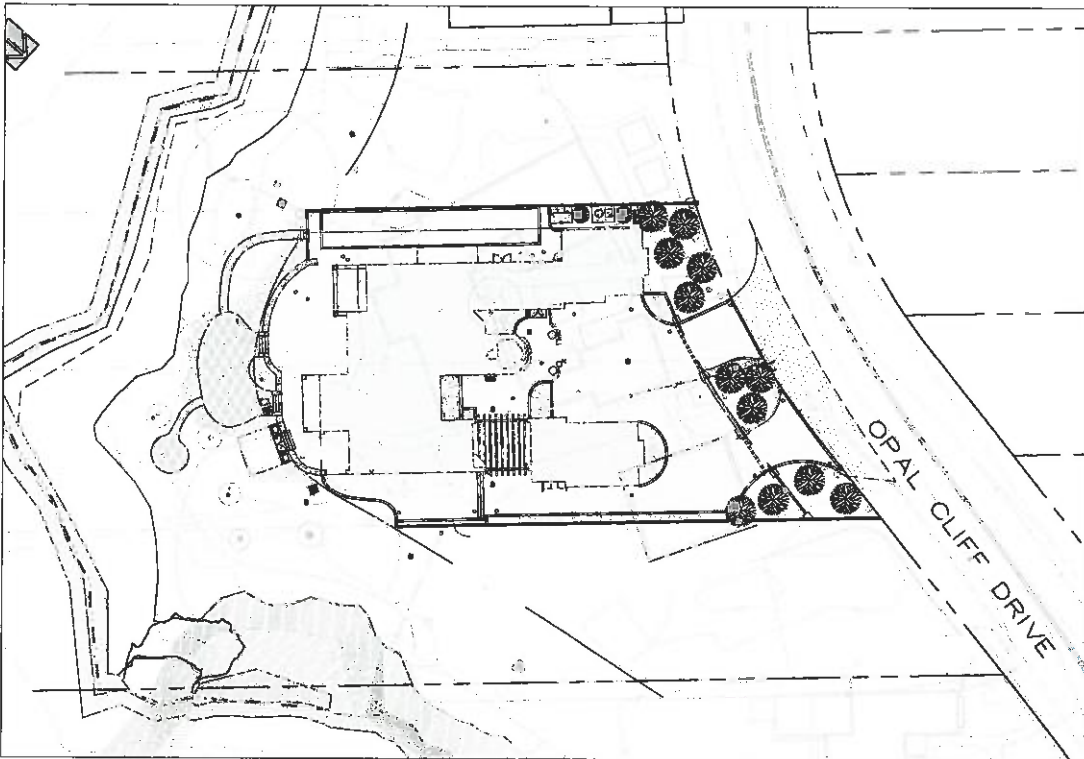
SISNEY RESIDENCE
 033-132-05, -13

TITLE SHEET



A-1

OF 23 SHEETS

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THE BAKERS ARE NOT ENTITLED TO THE PROPERTY OF THE BAKERY, AND THEREFORE, THE BAKERS, AS EMPLOYEES OF THE BAKERY, ARE NOT ENTITLED TO THE PROPERTY OF THE BAKERY. THE BAKERS ARE NOT ENTITLED TO THE PROPERTY OF THE BAKERY, AND THEREFORE, THE BAKERS, AS EMPLOYEES OF THE BAKERY, ARE NOT ENTITLED TO THE PROPERTY OF THE BAKERY.

REVISIONS		COUNT COMMENTS		SCHEDULE NAME	
<p>BOWMAN & WILLIAMS COMMERCIAL BUILDINGS AND LAND SURVEYORS</p> <p>1011 GLENN STREET SUITE 101, L.A. 90015 (213) 486-5800</p>					
COVER SHEET					
<p>SHEET PROPERTY - LOT 10 & LOT 13 1011 GLENN STREET SUITE 101, L.A. 90015</p>					
DATE OF DRAWING		DRAWING NAME		SHEET	
DATE		DATE		NO.	
DRAWN BY		CHECKED BY		SCALE	
DATE		DATE		BY	
DATE		DATE		BY	

[illegible]

(P) GRADE-SPOT ELEVATION
 (P) DATUM ELEVATION
 (P) DIRECTION OF SURFACE FLOW

THE TOPGRAPHIC AND SOLIDITY SURVEY SHOW HEREON WAS PREPARED BY
BROWDER & WILLIAMS, JCS NO. 20083 DATED JULY 8, 2018.

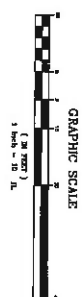
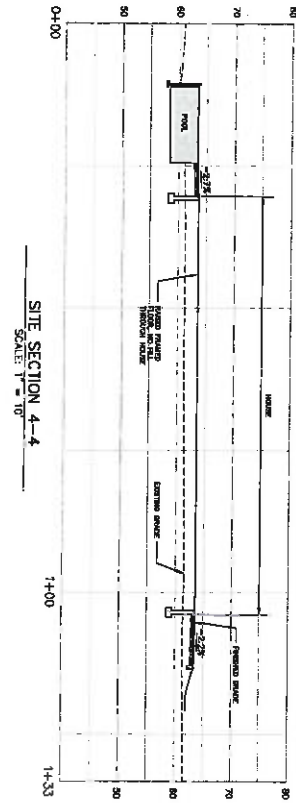
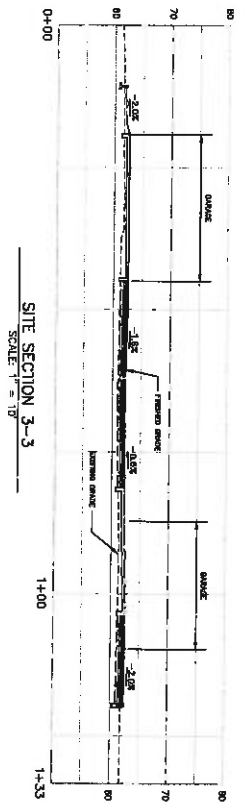
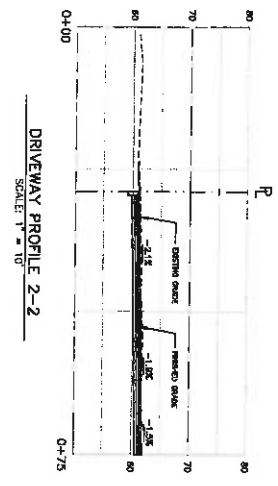
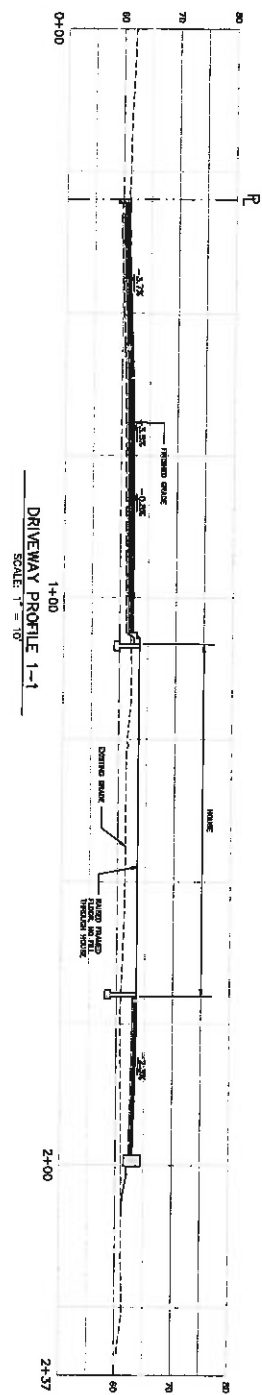
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13. The Government of India has agreed to accept the terms of the agreement.

AREA	EXPOSITION (°C)	FILL (°C)	NETT (°C)
STEEL COUPLERS	20	400	400 (FILL)
NUMBER	0	0	0

AREA	EXPOSITION (°C)	FILL (°C)	NETT (°C)
STEEL COUPLERS	20	400	400 (FILL)
NUMBER	0	0	0

446 LIBRARY

[illegible]



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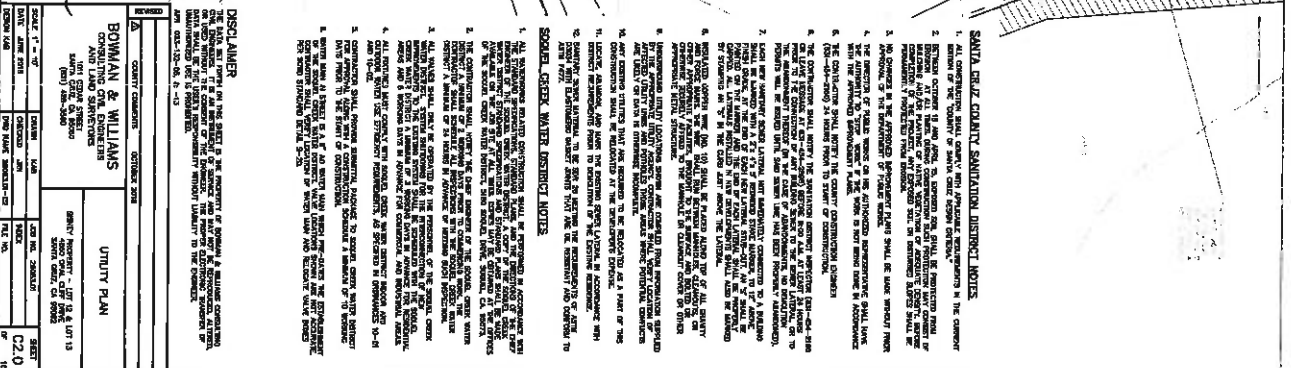
BOWMAN & WILLIAMS
CONSULTANTS, INC.
1001 SOUTH STREET
SUITE 100
ANN ARBOR, MI 48106-1000
(313) 963-2000

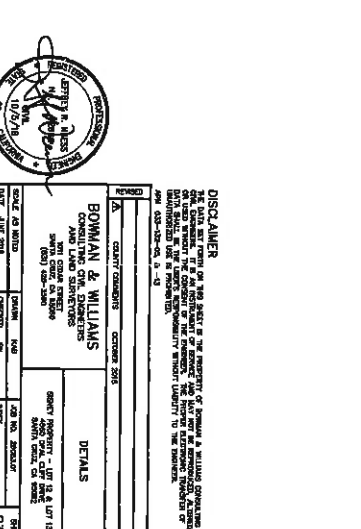
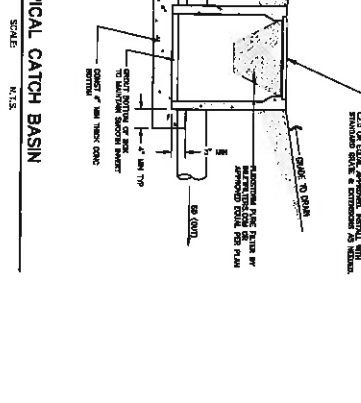
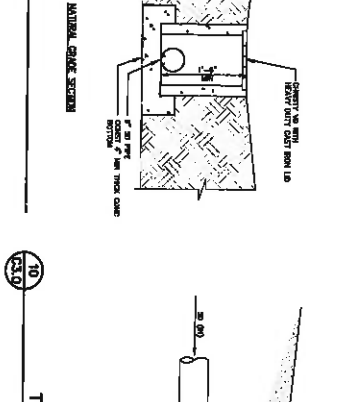
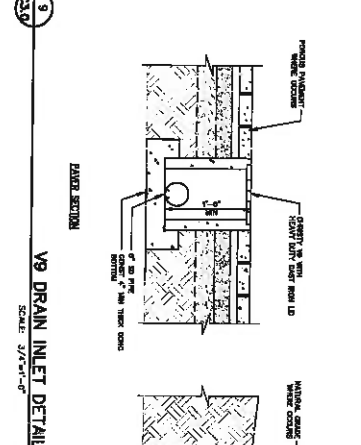
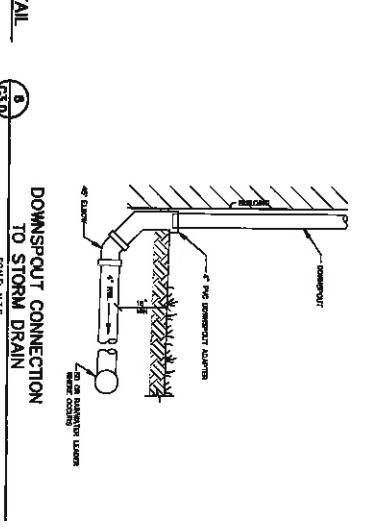
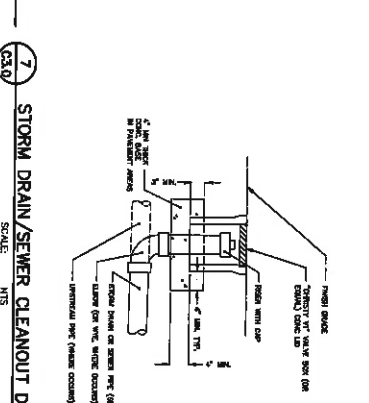
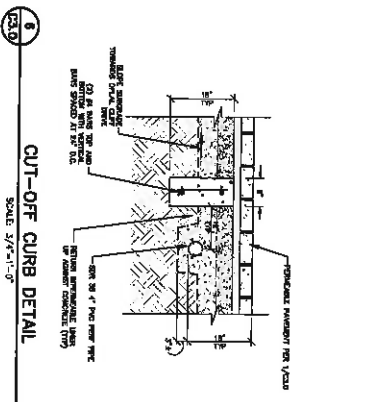
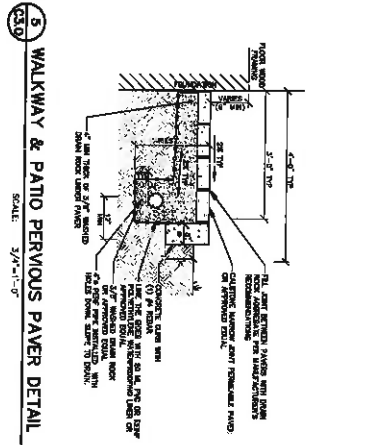
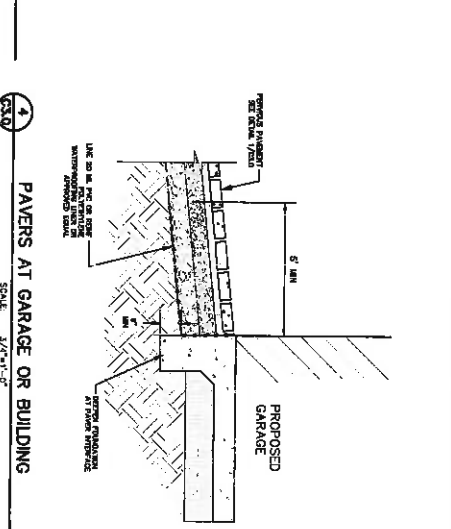
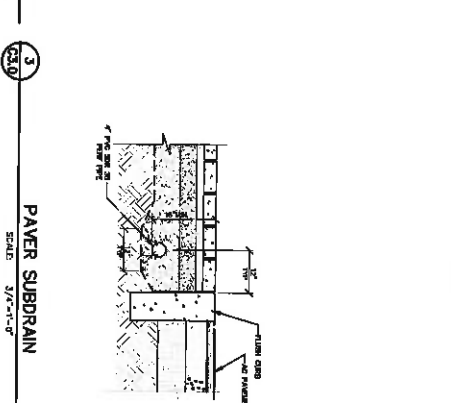
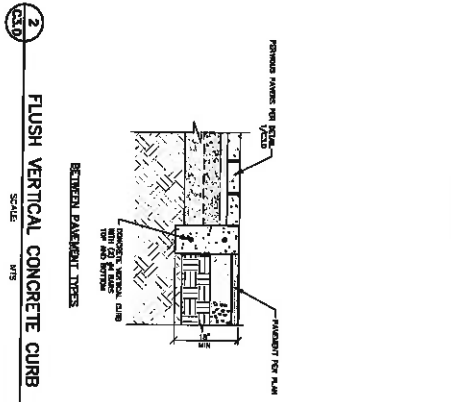
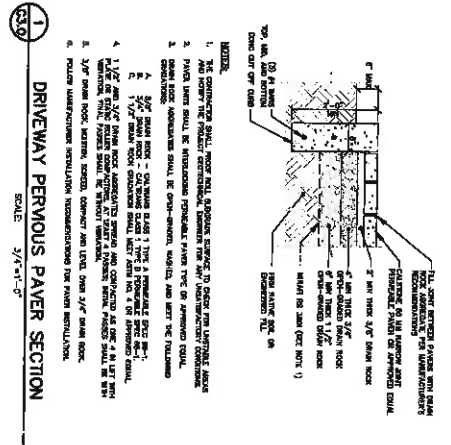
DRIVEWAY PROFILES AND SITE SECTIONS
SHEET NO. 1 OF 1
DATE: JAN 2016
DESIGNED BY: [Name]
CHECKED BY: [Name]
SCALE: 1" = 10'

PROJECT INFORMATION
PROJECT NO.: 2005-01-01
SHEET NO.: 1 OF 1
DATE: JAN 2016

APPROVALS
[Signature]
[Signature]

1. ALL REAGENTS AND SUPPLIES, INCLUDING REAGENTS, SHOULD BE STORED IN STANDARD CONTAINERS, LABELED WITH THE NAME OF THE REAGENT, THE DATE OF PREPARATION, AND THE EXPIRATION DATE.
2. REAGENTS SHOULD BE STORED IN A PLACE THAT IS PROTECTED FROM LIGHT, HEAT, AND MOISTURE. REAGENTS SHOULD BE STORED IN A PLACE THAT IS PROTECTED FROM CONTAMINATION BY OTHER REAGENTS.
3. ALL REAGENTS SHOULD BE USED WITHIN THE EXPIRATION DATE. REAGENTS SHOULD BE USED WITHIN THE EXPIRATION DATE.
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BOWMAN & WILLIAMS ENGINEERS, P.C.

CONSULTING CIVIL ENGINEERS

1000 SOUTH 10TH AVENUE, SUITE 200

PHOENIX, AZ 85026

PHONE: (602) 944-1234

DATE: JULY 2018

PROJECT: 1000 SOUTH 10TH AVENUE, SUITE 200

SCALE: 3/4"=1'-0"

FIG. NO. 03.0

OF 10

7/2800 Park Filtr™
CONCRETE CATCH BASIN
- SINGLE CHAMBER -

7/2800A (SEE NOTE)

Kristar Enterprises, Inc.
200 South Pine, Suite 200
Tomball, TX 77375
713-200-0000, Fax 713-200-0001
www.kristar.com

Notes:

1. Dimensions shall be per standard dimensions (1,000 per inch).
2. Catch basin shall be constructed of concrete or equivalent material.
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DATE: 03-12-10, A-415

BOWMAN & WILLIAMS
CONSULTING ENGINEERS
1001 SOUTH PINE
SUITE 200
TOMBALL, TX 77375
713-200-0000

DETAILS

PROJECT: 2000 PINE, 400' WIDE
SOUTH CHASE, TX 77375

SCALE: AS NOTED

DATE: 03-12-10

DESIGNED BY: [Signature]

CHECKED BY: [Signature]

IN CHARGE: [Signature]

PROJECT NO.: 2000-PINE-01

SHEET NO.: 01

TOTAL SHEETS: 01



ADDRESS: 4780 OPAI CLIFF DR
LAKE: GREENBURG

SOQUEL GREEN WATER DISTRICT HYDRAULIC MODELING RESULTS
 STATIC PRESSURE (PSI): 23
 FLOW @ 20 PSI RESIDUAL: 722 GPM

[illegible]

AREA	PRE-DEVELOPMENT	POST-DEVELOPMENT	DELTA
PERMANENT	10,327 SF	8,505 SF	(-) 1,822 SF
SEMI-PERMANENT	0	8,090 SF	(+) 8,090 SF
TRANSIENT	10,438 SF	7,658 SF	(-) 2,780 SF
TOTAL	20,765 SF	16,253 SF	(-) 4,512 SF

STORAGE/HAZARD MITIGATION COMPLIANCE

THE TOTAL POST-DEVELOPMENT WATERSHED AREA IS 10,599,080+10,022=10,592 SQ. AND CLASSIFIED AS A LARGE PROJECT PER COUNTY OF SANTA CRUZ DESIGN CRITERIA. THE SITE DRAINS DIRECTLY TO THE OCEAN, SO THERE ARE NO DOWNSTREAM STORAGE OR RESTRICTIONS BASED ON CONVEYANCES WITH THE DRAINAGE DEPARTMENT OF THE COUNTY OF SANTA CRUZ. DETENTION AT THE EDITION OR ON-SITE RUNOFF IS NOT REQUIRED FOR PROJECTS THAT DISCHARGE DIRECTLY TO THE OCEAN.

DRAINAGE DESCRIPTION:

THE SITE IS DIVIDED INTO THREE DRAINAGE MANAGEMENT AREAS (DMA), DMA 2 AND 3 UTILIZE PERMEABLE PAVEMENT TO CAPTURE RUNOFF FROM IMPERVIOUS AREAS, DMA 1 DRAINS TO DRAIN INLETS TO CAPTURE RUNOFF AND DISCHARGES VIA A REPAVED STORM DRAIN OUTLET WHICH DISCHARGES TO THE EXISTING SEWALL BELOW THE BLUFF. DMA 2 IS ROUTED TO A MEDIA FILTRATION SYSTEM FOR TREATMENT, THE FILTER SYSTEM OPERATES VIA THE SCALE DOWN DRAIN AS DMA 1, DMA 3 DRAINS TO THE STORMWATER SYSTEM IN THE STREET.

PERKILTER TREATMENT CALCULATION

RESTAURANT EMP SCHED: F-job Based Treatment (Mechanical)

Alms Organization	Area (ft ²)	Required Intensity, in/hr	Catchment	Required Treatment Flow, cfs
CRWA #2	7,624	0.20	0.90	0.13

Park Filter Catch Basin Capacity

Other Fiber Database	Capacity (gpm)	Capacity (cfs)	Proc. Treatment
10' diameter	18	0.04	Area (A/C) 7226

Data 1:

	PRE-DEVELOPMENT	POST-DEVELOPMENT	DELTA
TOTAL AREA			
PERMANENT	7,114 SF	6,176 SF	(-) 938 SF
SEMI-PERMANENT	0 SF	603 SF	(+) 603 SF
IMPERVIOUS	2,172 SF	3,063 SF	(+) 891 SF
TOTAL	9,286 SF	9,842 SF	(+) 556 SF

TOTAL	7,398
-------	-------

DATA 2:	
TOTAL AREA	PRE-DEVELOPMENT POST-DEVELOPMENT DELTA

TOTAL AREA	PRE-
------------	------

PERIMOUS	6,707 SF	435 SF	(-) 6,272
SCM-PERIMOUS	0	7,230 SF	(+) 7,200
TOTAL IMPERIMOUS	6,261 SF	7,365 SF	(-) 820 SF
TOTAL	14,968 SF	14,969 SF	

TOTAL	14,80
-------	-------

	PRE-DEVELOPMENT	POST-DEVELOPMENT	DELTA
TOTAL AREA			




1010 MUEA

PERIODS	1,308 SF	2,692 SF	(+) 1,384 SF
SEMI-PERIODS	0	867 SF	(+) 867 SF
TOTAL PERIODS	2,143 SF	0 SF	(-) 2,143 SF
TOTAL	3,648 SF	3,648 SF	

1014 2845



PSYCHICS

- | | |
|---------------------------------|---|
| SEMI-PELVIOUS |  |
| PERVIOUS |  |
| POOL AREA (CONSIDERED PERVIOUS) |  |

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APN 033-122-05, 2nd

#	Δ	COUNTY COMMENTS	OCT
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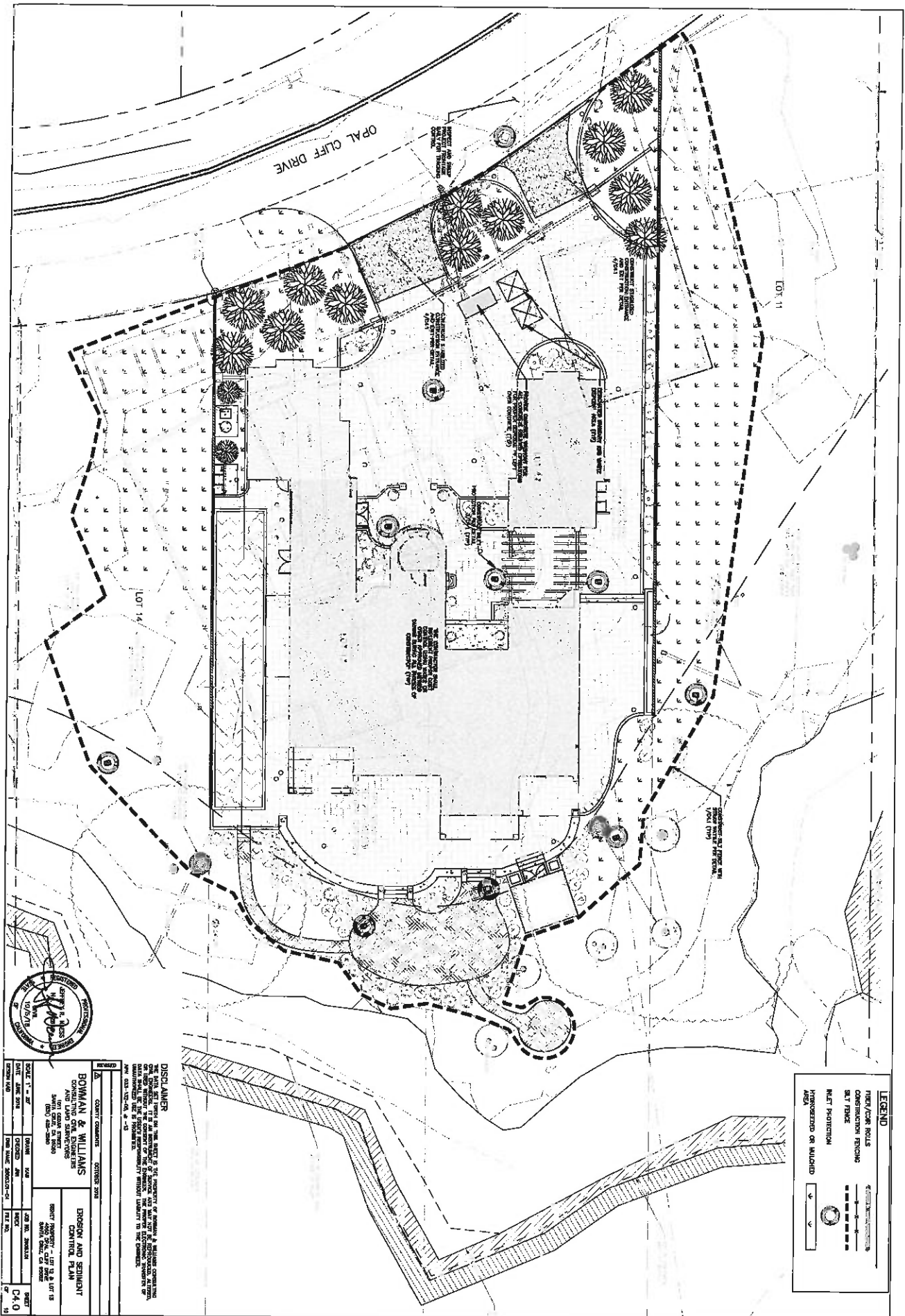
**CONSULTING CIVIL ENGINEERS
AND LAND SURVEYORS**

SANTA CRUZ, CA 95060
[PREF. 408-3560]

SCALE AS NOTED	EXAMINER
----------------	----------

DING MAOJI 2017

BOWMAN & WILLIAMS		STORMWATER MANAGEMENT PLAN	
CONTRACT NO. 03-2		SHEET NO. 11	
1011 SOUTH TRUMP SOUTH, ST. LOUIS, MO 63103 TEL: 368-2600		SHEET NO. 11	
DATE: DEC 2001		DATE: DEC 2001	
DESIGNED BY: [Signature]		CHECKED BY: [Signature]	
PROJECT NO. 03-2		PROJECT NO. 03-2	
SHEET NO. 11		SHEET NO. 11	



BEING A PORTION OF THE RANCHO ANTONIO DEL BODEO AND BEING ALL OF LOT 13 AND A PART OF LOTS 14, 12, AND 11, BLOCK A, OF GRAL. CITE# RECORDED IN VOLUME 25 AT PAGE 12 OF MAPS SANTA CRUZ COUNTY RECORDS, AND MORE PARTICULARLY BOUNDARY AND DESCRIBED AS FOLLOWS, TO WIT:

[illegible][illegible]

1. Deposed oral burial teams and observations for the fiscal years 2016–2017, a 100 ml yml set or probe.
2. The time of supplemental tests, any, oriented pursuant to Chapter 3.5, non-archival, with Section 21 of the District's Bureau and Traction Code.

- [illegible]

[illegible][illegible]

d. While apples, oranges or lemons are eaten, whether or not shown by the profit records.
(Florida rules DSS-332-85)

7. Any rights, interests, or easements in favor of the public, which would be extinguished by action of the state board, covered by writs, including a public right of access to the water.
6. Any claim that any action of the board is or was formerly defensible or substantiated.

can request to see such records in the following manner:

1. A certification pursuant to Section 1810.0 of the California Probate Code in a form satisfactory to the Company.

2. A copy of those records from the original trust documents and documents thereto which are requested by the trustee and/or for the trustee (as power to act in the pending probate).

3. Other representations which the Company may require stipulating the nature of the material requested herein and other information which the Company may require.

100

[illegible]



P.O. Box 397
Arcata, CA 95521
(707) 662-8800

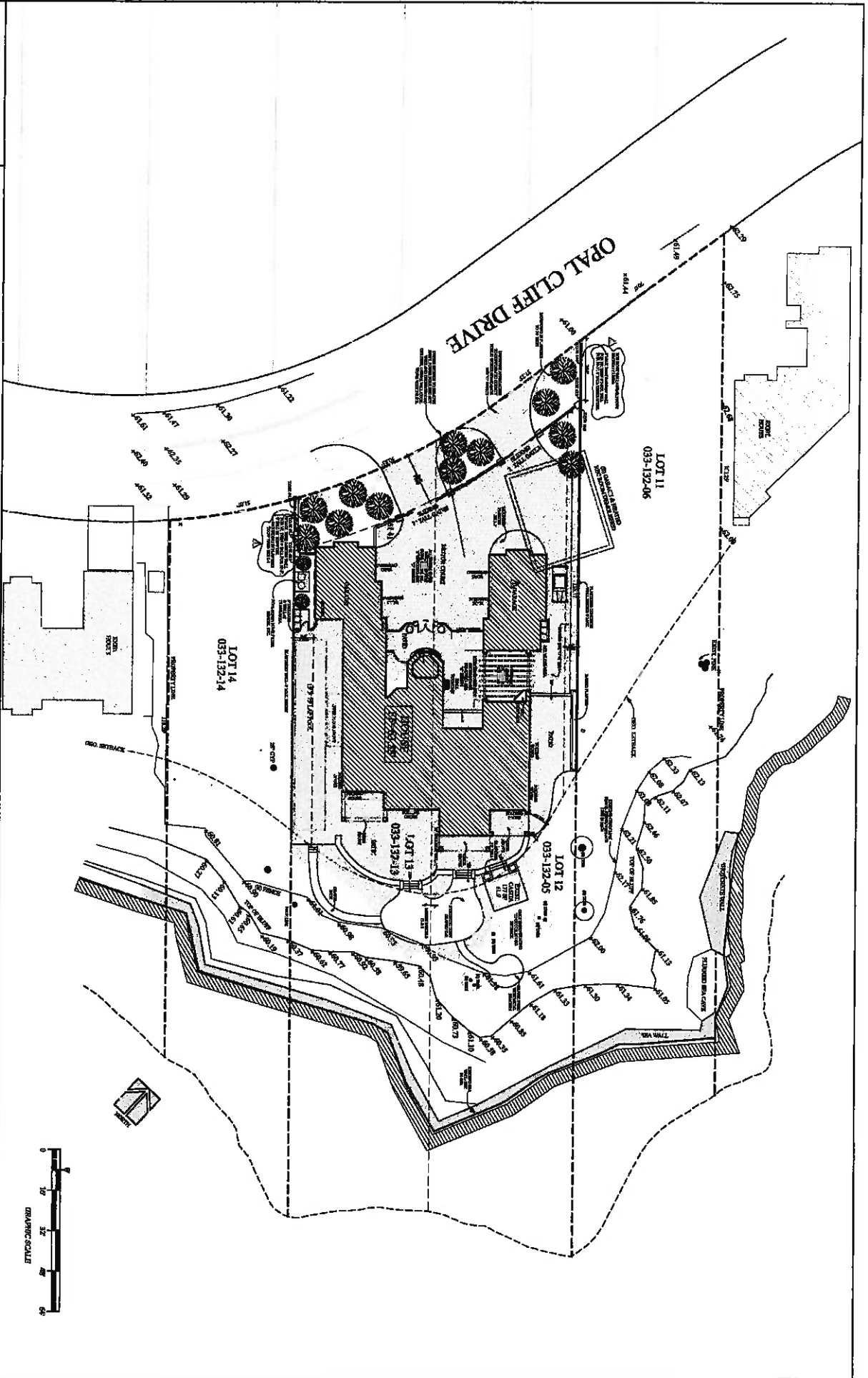
SISNEY RESIDENCE
OPAL CLIFF DRIVE
033-132-05,13

PROPOSED SITE PLAN



REVISION:
A 10-1-18
DATE: 6-21-18
SCALE: 1"=40'

SHEET NO.
A-2
OF 25 SHEETS

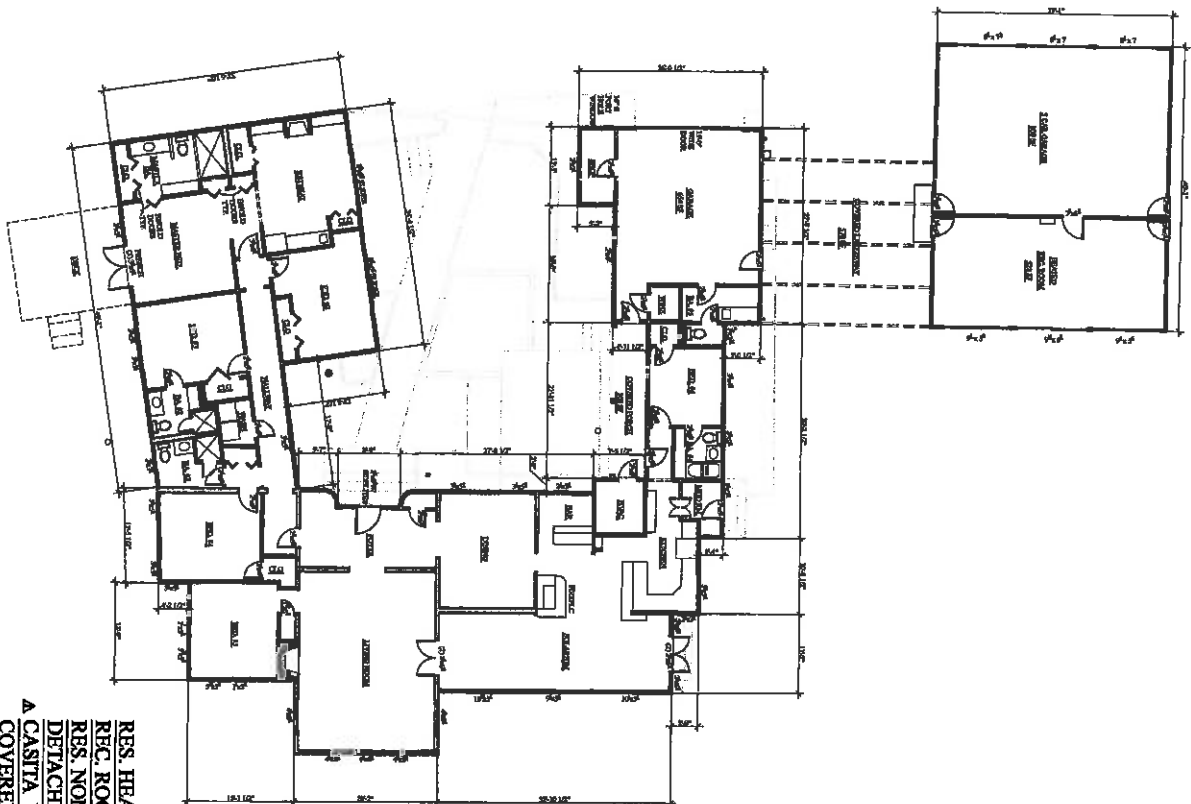


LOT COVERAGE AREAS EXISTING VS. PROPOSED

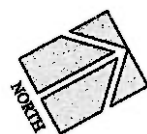
ROOM / AREA	S.F. EXISTING CONDITIONS (PRE-PROJECT)	S.F. PROPOSED CONDITIONS (POST-PROJECT)
MAIN HOUSE- HEATED	3,952	3,784
ATTACHED GARAGE	654	716
DETACHED GARAGE	800	866
REC. ROOM	528	0
CASITA	177	177
COVERED BREEZEWAY	570	0
COVERED PORCHES	108	466
SUBTOTAL	6,789	6,009

2 NTS LOT COVERAGE AREAS

1 1/8"=1' EXISTING FLOOR PLAN



RES. HEATED AREA: 3,952 SF
 REC. ROOM HEATED AREA: 528 SF
 RES. NON HEATED AREA (ATTACH. GARAGE): 654 SF
 DETACHED GARAGE AREA: 800 SF
 CASITA UNHEATED AREA: 177 SF
 COVERED BREEZEWAY AREA: 570 SF



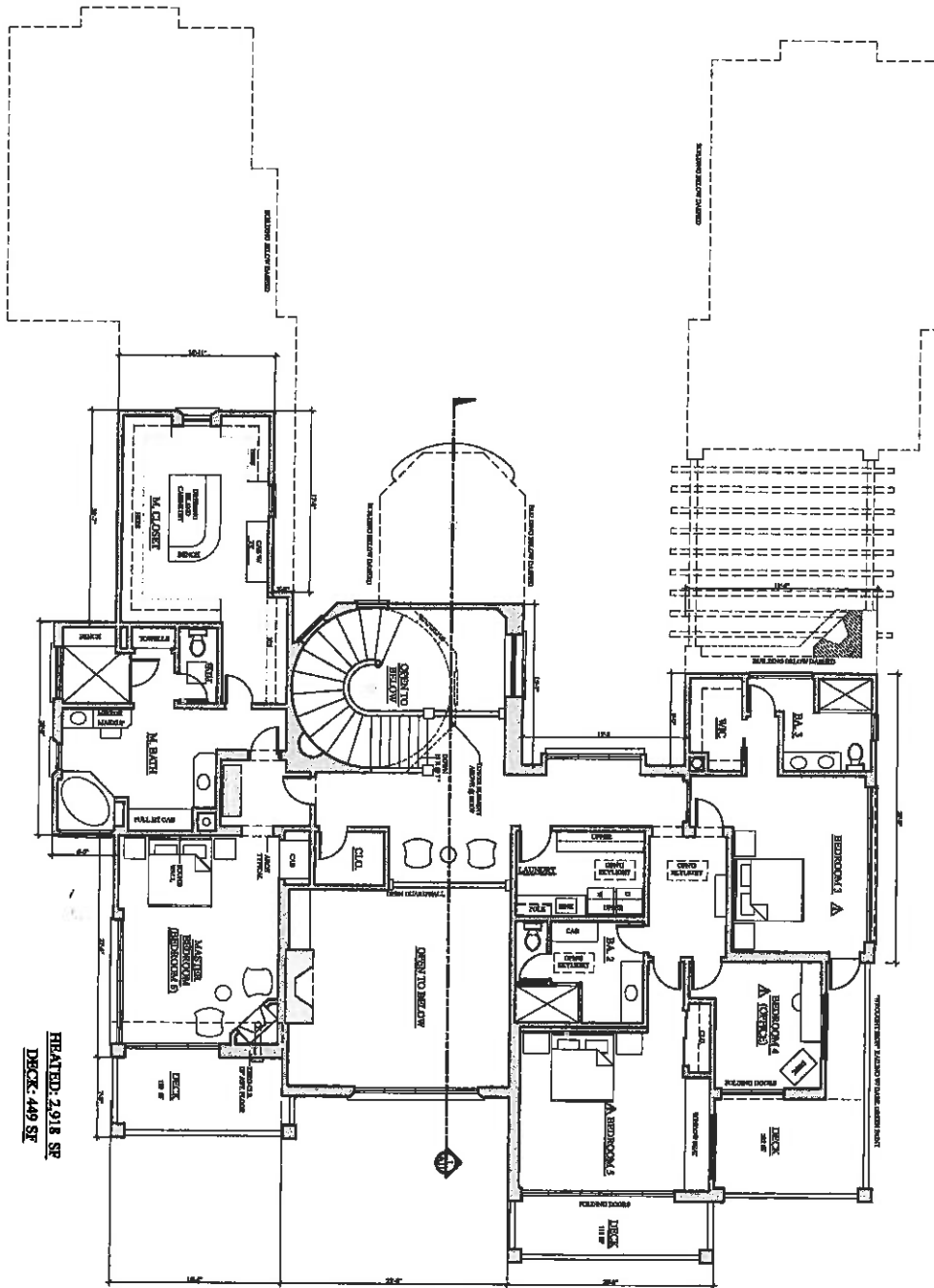
EXISTING FLOOR PLAN

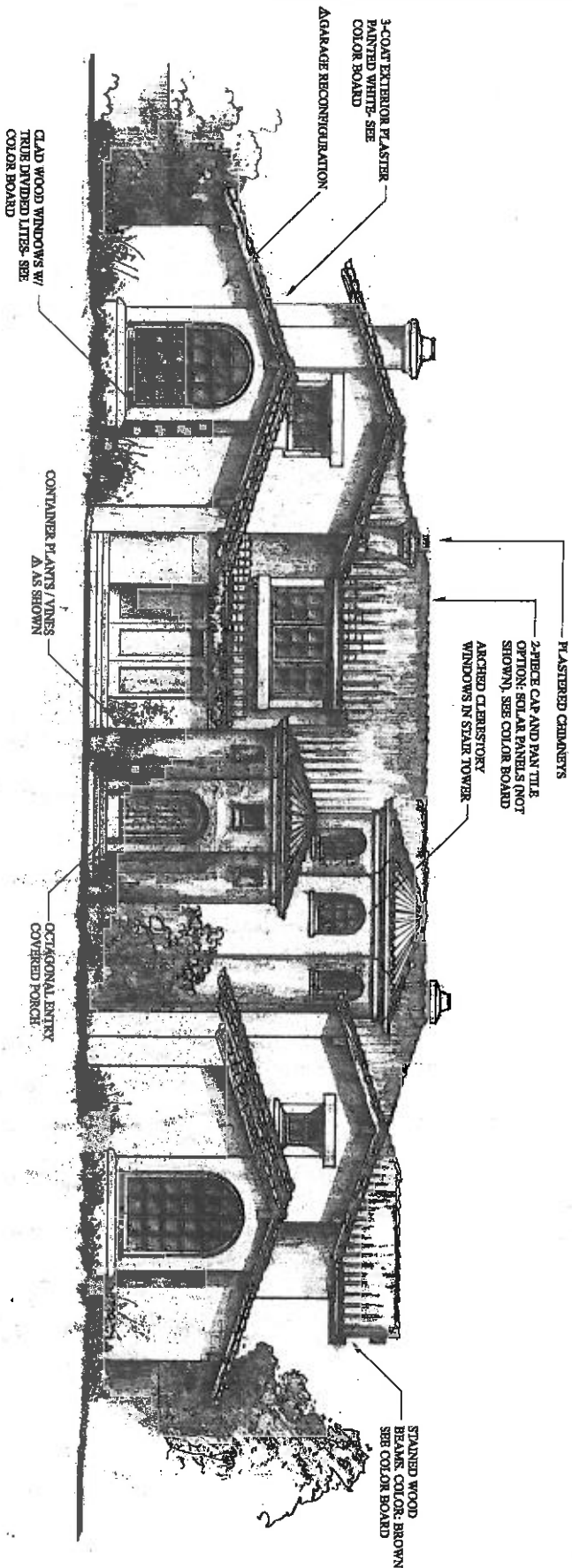
SISNEY RESIDENCE
033-132-05, -13



RESCALE: 1/8"=1'
 SHEET NO. 1

A-3
 OF 24 SHEETS





1 1/4"=1'-0" NORTH ELEVATION



SISNEY RESIDENCE
033-132-05, -13

PROPOSED NORTH ELEVATION

REVISION:
Δ 10-1-18

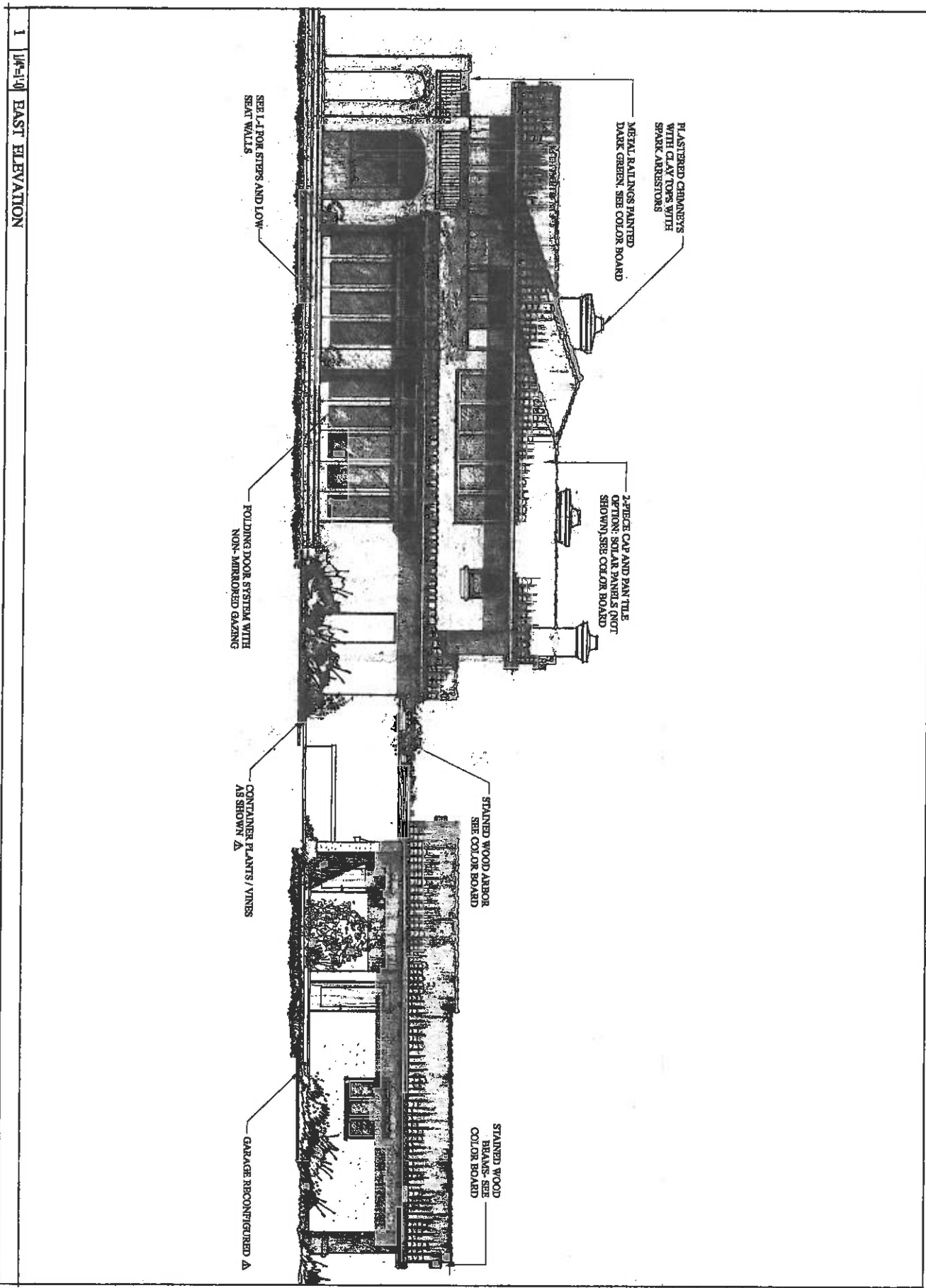
DATE: 6-27-18



SCALE: 1/4"=1'-0"
SHEET NO.

A-6

OF 25 SHEETS



1 1/4"=1'-0" EAST ELEVATION



SISNEY RESIDENCE
033-132-05, -13

PROPOSED EAST ELEVATION

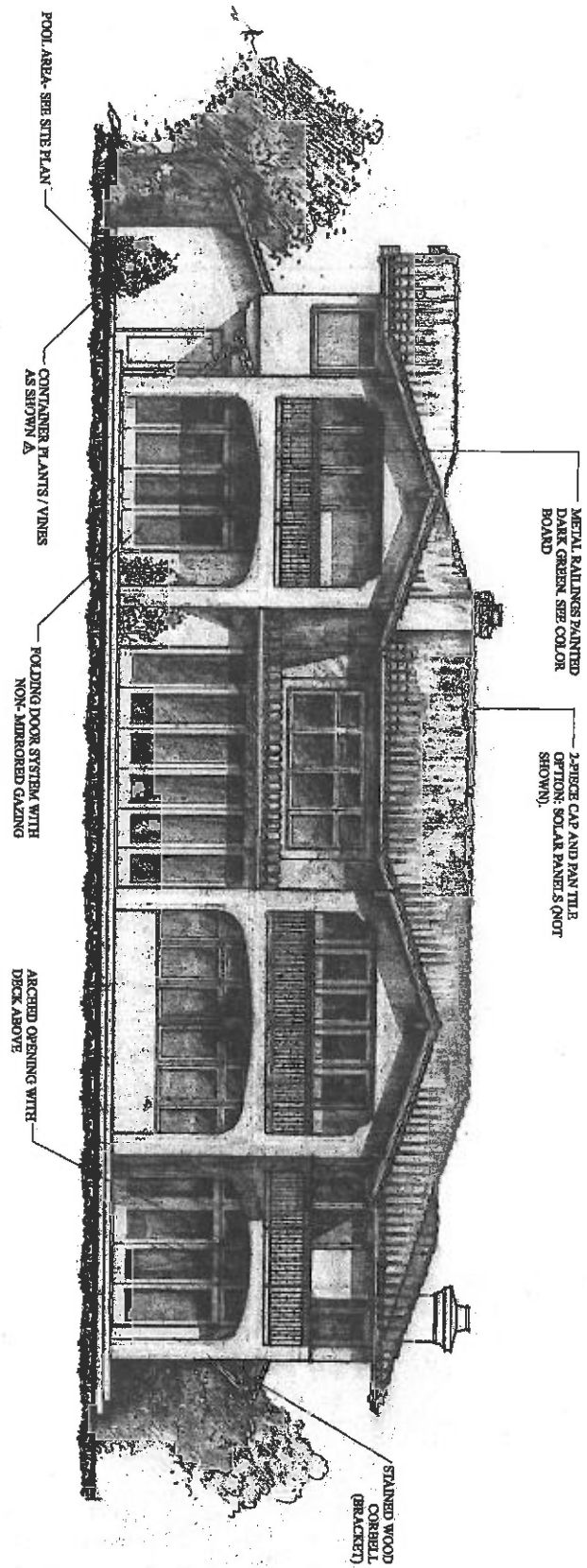
REVISION:
A 10-1-18

DATE: 6-20-18



SCALE: 1/4"=1'-0"

ROBERT M. L.
A-7
OF 25 SHEETS



1 1/4"=1'-0" SOUTH ELEVATION



SISNEY RESIDENCE
033-132-05, -13

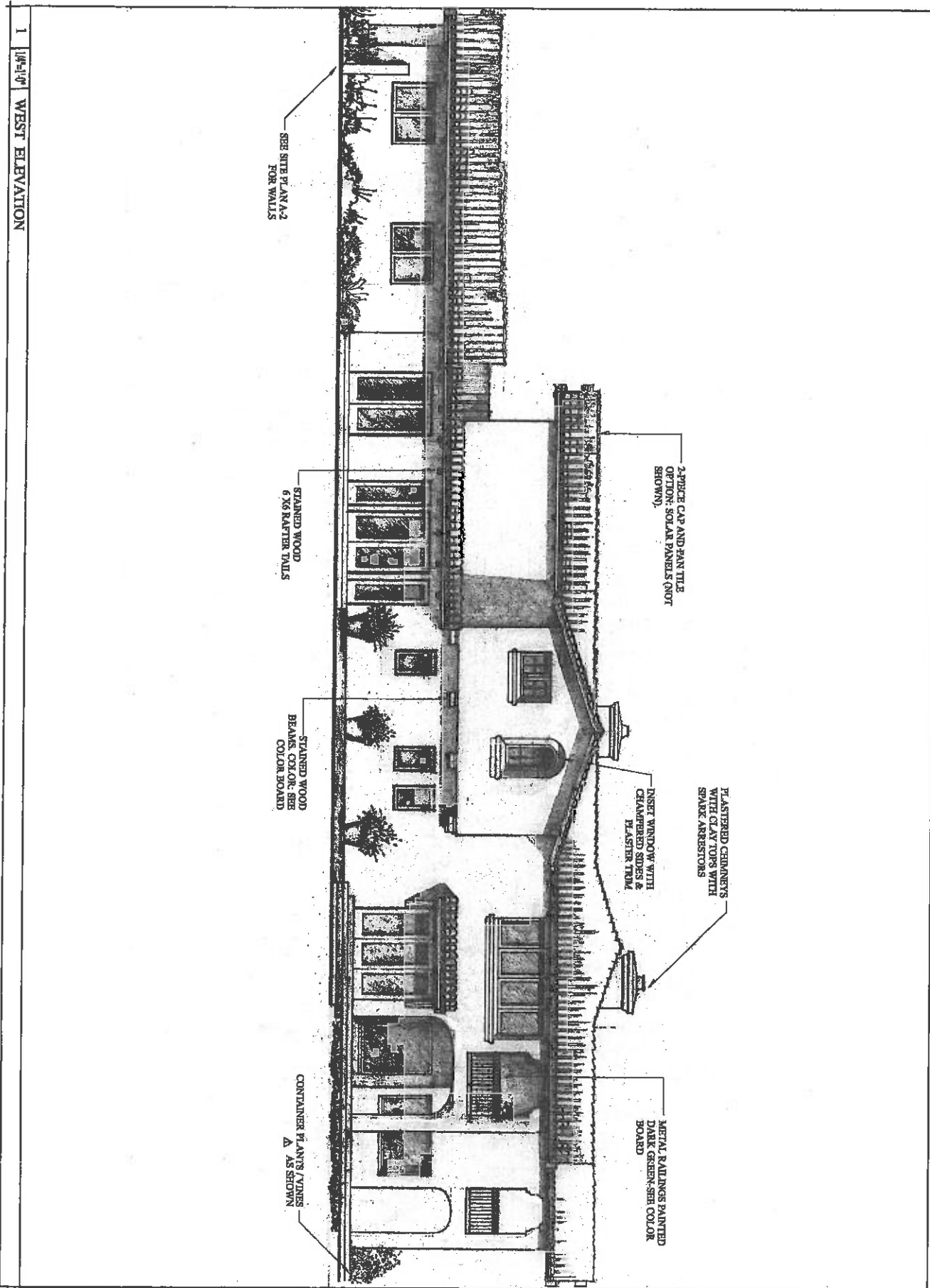
PROPOSED SOUTH ELEVATION



A-8
OF 25 SHEETS

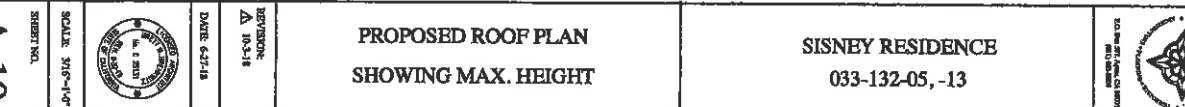
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SHEET NO.

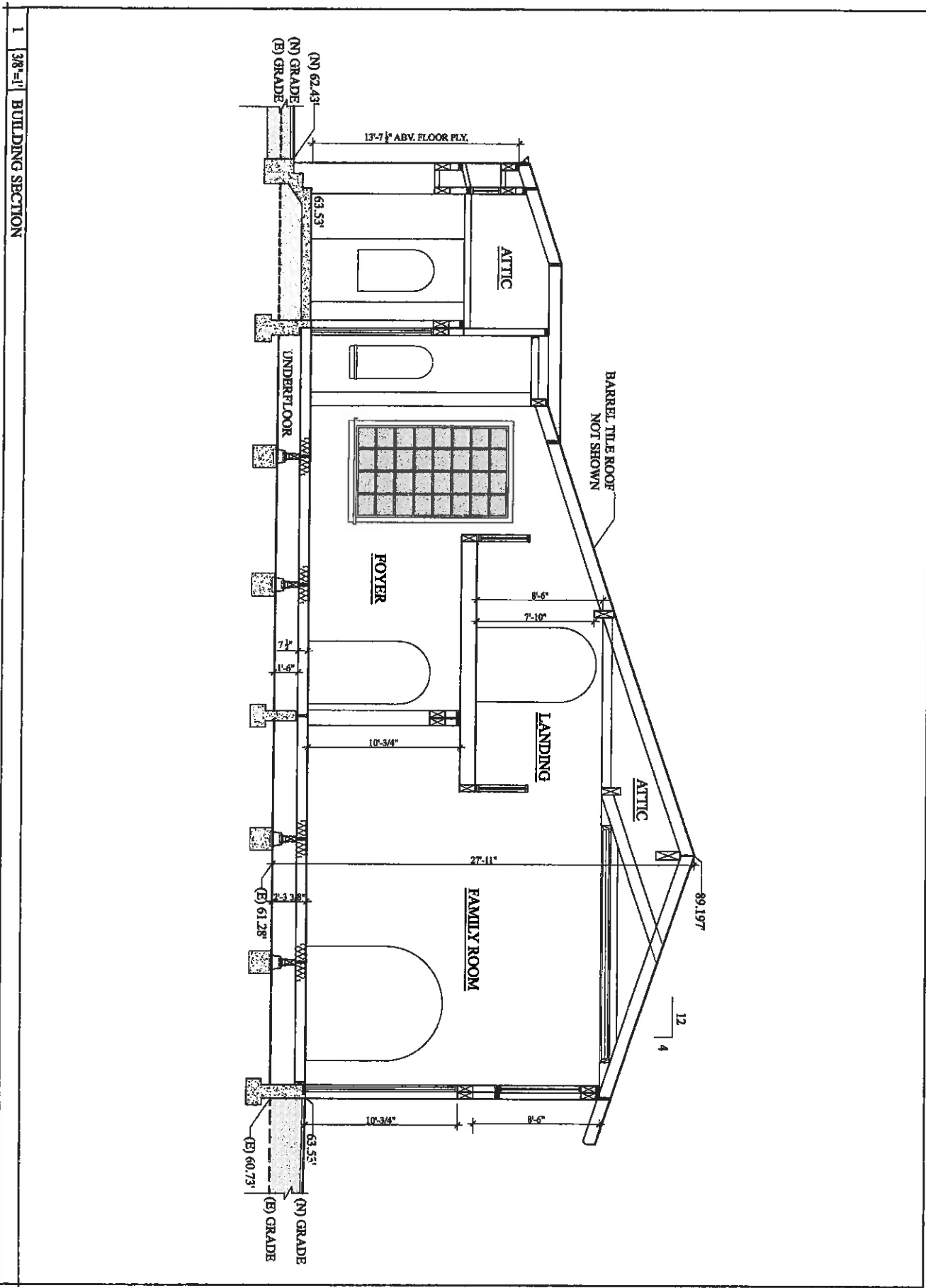
DATE: 6-27-18
REVISION: A 10-1-18



1 1/4"=1'-0" WEST ELEVATION

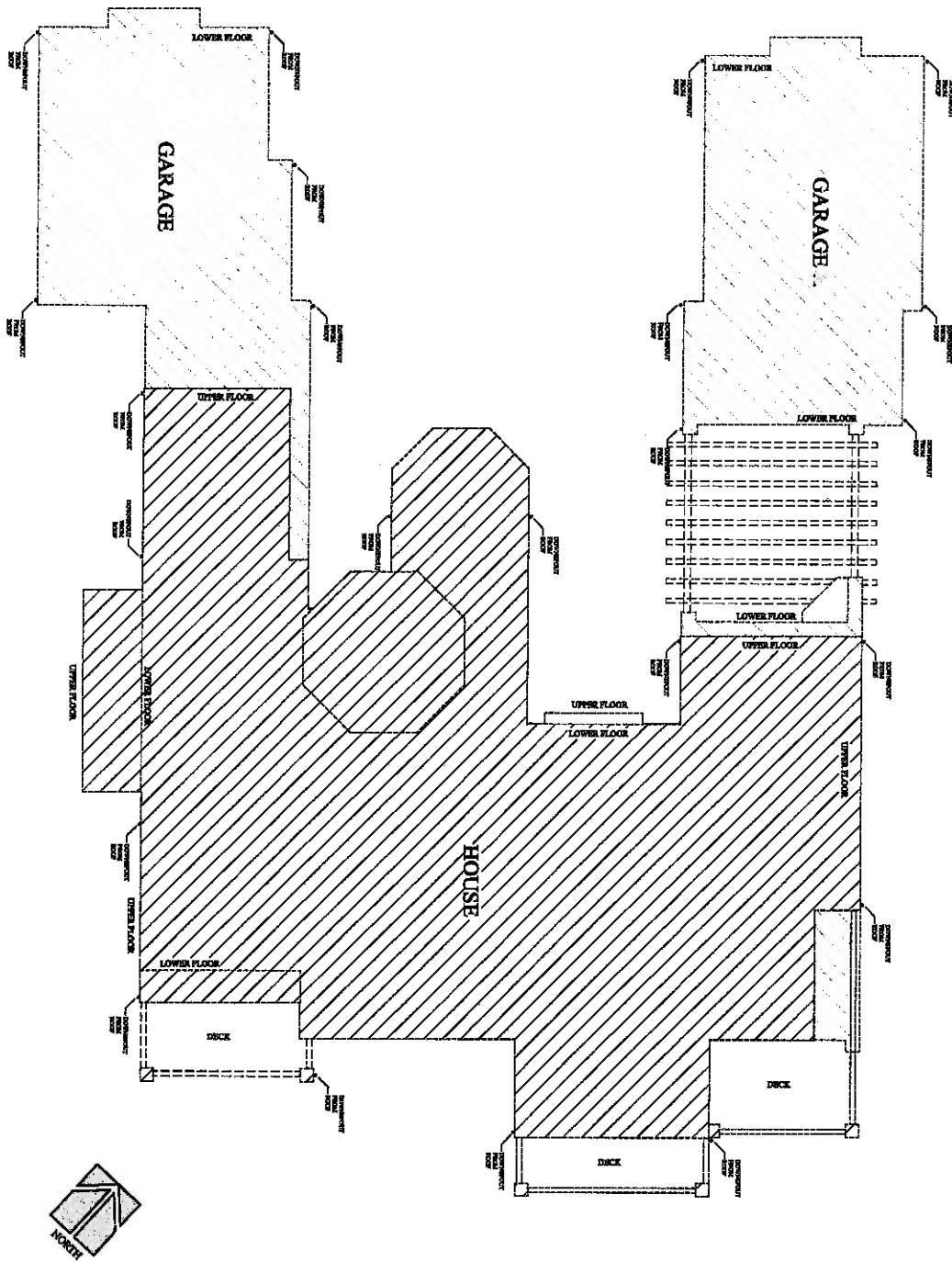
<p>033-132-05 -13</p> <p>SISNEY RESIDENCE</p> <p>033-132-05, -13</p>		<p>DATE: 6/27/18</p>	<p>REVISION:</p> <p>Δ 18-18</p>	<p>PROPOSED WEST ELEVATION</p>	
		<p>SCALE: 1/4"=1'-0"</p>	<p>SHEET NO.</p>	<p>A-9</p>	<p>OF 34 SHEETS</p>
		<p>1/4"=1'-0"</p>			
		<p>033-132-05 -13</p>			





1 3/8"=1' BUILDING SECTION

OF 25 SHEETS A-11	SCALE: 3/8"=1'-0" SHEET NO. 	DATE: 6-27-18 REVISION:	PROPOSED BUILDING SECTION	SISNEY RESIDENCE 033-132-05, -13	



SITE DRAINAGE & EROSION CONTROL NOTES:

1. THE FACES OF CUT & FILL SLOPES SHALL BE PREPARED & MAINTAINED TO CONTRAST AGAINST EROSION. THE PROTECTION FOR THE SLOPES SHALL BE INSTALLED AS SOON AS PRACTICAL. NO GRADING TO OCCUR AFTER OCT. 15 OR BEFORE APRIL 15 UNLESS A WINTER GRADING PERMIT IS OBTAINED.
2. SOIL ADJACENT TO THE FOUNDATION BE MAINTAINED WITH A SLOPE OF 12% AWAY FROM THE FOUNDATION FOR A DISTANCE OF 5'-0" MIN.
3. EROSION CONTROL OF RUNOFF IS ESSENTIAL TO THE LONG TERM PERFORMANCE OF THE PROJECT. RUNOFF MUST NOT BE ALLOWED TO SHEET FLOW OVER GRADED SLOPES. BERMES OR LINED V-DITCHES SHOULD BE CONSTRUCTED AT THE TOP OF SLOPES TO DIVERGE WATER TOWARD SUITABLE COLLECTION POINTS.
4. RILL ROOF GUTTERS AROUND ALL EAVES DISCHARGE FROM ROOF GUTTERS SHALL BE CONNECTED AWAY FROM DOWNSPOUTS BY A CLOSED PLASTIC CONDUIT.
5. ALL EXPOSED SURFACES SHOULD BE PLANTED AS PRACTICAL AFTER DEVELOPMENT IN ORDER TO MINIMIZE FUTURE EROSION.
6. TEMPORARY SEED & MULCH AT ALL DISTURBED AREAS TO BE IN PLACE TO PREVENT EROSION. REVEGETATION TEMPORARY SEED MIX OF 1/3 BLANCO BROME & 2/3 ROSS CLOVER, WITH 2" STRAW MULCH, PERMANENT. SITE TO BE REPLANTED WITH CALIFORNIA NATIVE & DROUGHT TOLERANT TREES, SHRUBS & GROUND COVERS.

CENTRAL FIRE DEPARTMENT NOTES:

1. MEN, 4' IN HEIGHT ADDRESS NOT VISIBLE FROM STREET, ON CONTRASTING BACKGROUND.
2. SMOKE / CO DETECTORS ARE REQUIRED TO BE HANDWIRED TOGETHER WITH BATTERY BACKUP. ALSO PROVIDE C.O. DET. @ EA. LEVEL OF HOUSE AND OUTSIDE SLEEPING ROOMS.
3. A MINIMUM OF 48 HOURS NOTICE SHALL BE GIVEN TO THE FIRE DEPT. PRIOR TO INSPECTION.
4. THESE PLANS ARE IN COMPLIANCE WITH CALIF. BUILDING AND FIRE CODES 2016 AND CENTRAL FIRE DEPT. DISTRICT AMENDMENTS.
5. OCCUPANCY: R-3, SPRINKLERED, TYPE V-A CONST.
6. ROOF COVERINGS NOT TO BE LESS THAN CLASS "B"
7. JOB COPIES OF THE BUILDING PLANS SHALL BE AVAILABLE ON-SITE FOR INSPECTIONS.
8. SEE SITE PLAN FOR EXISTING HYDRANT
9. THE DESIGNER/INSTALLER SHALL SUBMIT THREE SETS OF PLANS AND CALC. FOR THE UNDERGROUND AND OVERHEAD RES. AUTO. FIRE SPRINKLER SYSTEM TO THE FIRE DEPT. FOR APPROVAL. IN AS A CONDITION OF SUBMITTAL OF THESE PLANS THE SUBMITTER, DESIGNER AND INSTALLER CERTIFY THAT THESE PLANS AND DETAILS COMPLY WITH APPLICABLE SPECIFICATIONS, STANDARDS, CODES, AND ORDINANCES, AGREE THAT THEY ARE SOLELY RESPONSIBLE FOR COMPLIANCE WITH APPLICABLE SPECIFICATIONS, STANDARDS, CODES AND ORDINANCES, AND FURTHER AGREE TO CORRECT ANY DEFICIENCIES NOTED BY THE REVIEW, INSPECTION OR OTHER SOURCE, AND TO HOLD HARMLESS AND WITHOUT PREJUDICE, THE REVIEWER AND THE REVIEWING AGENCY.
11. NEW/ OVERHEAD HYDRANTS, WATER STORAGE TANKS, AND/OR OVERHEAD ROADWAYS SHALL BE INSTALLED PRIOR TO THE TIME OF CONST.
12. AN AUTO. SPRINKLER SYSTEM SHALL BE PROVIDED IN GROUP R, DIV. 3 DWELLINGS WHEN A BUILDING PERMIT IS ISSUED TO ALLOW ADDITIONS TO BE MADE TO INCREASE THE TOTAL EXISTING SQUARE FOOTAGE BY MORE THAN 50%. ADDITIONS 500 S.F. OR LESS ARE EXEMPT FROM FIRE SPRINKLER REQUIREMENTS UNLESS THE STRUCTURE IS ALREADY PROTECTED BY A FIRE SPRINKLER SYSTEM.
13. AN UNDERGROUND FIRE PROTECTION SYSTEM WORKING DRAWING MUST BE PREPARED BY THE DESIGNER/INSTALLER. THE PLANS SHALL COMPLY WITH THE UNDERGROUND FIRE PROT. SYSTEM INSTALLATION POLICY HANDOUT. UNDERGROUND PLAN SUBMITTAL AND PERMIT WILL BE ISSUED TO A CLASS C-16 OR OVER/NEW/ BUILDER, NO EXCEPTIONS.
14. A 30' CLEARANCE SHALL BE MAINTAINED WITH NON-COMBUSTIBLE VEGETATION AROUND ALL STRUCTURES OR TO THE PROPERTY LINE WHICHEVER IS A SHORTER DISTANCE. EXCEPTIONS ARE SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SMALL AIR PLANTS USED AS GROUND COVERS, PROVIDED THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM THE NATIVE GROWTH TO ANY STRUCTURE.

PROJECT GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE.
2. THE WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE LAWS, LOCAL ORDINANCES, PERMITS AND THE CONTRACT DOCUMENTS. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCLUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS OPERATION.
3. CONTRACTOR SHALL VISIT THE JOBSITE AND VERIFY ALL DIMENSIONS AND CONDITIONS HEREON BEFORE COMMENCING WORK. REPORT AND DISCREPANCIES AND/OR POTENTIAL PROBLEMS TO THE ARCHITECT IN WRITING.
4. GOVERNING CODES AND FIRE DEPARTMENT FIELD INSPECTOR SHALL DICTATE SIZE, TYPE, QUANTITY AND LOCATIONS OF ANY REQUIRED PORTABLE FIRE EXTINGUISHERS.
5. DURING CONSTRUCTION, CONTRACTOR SHALL PROVIDE AND MAINTAIN FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT FIELD INSPECTOR.
6. CONTRACTOR SHALL PROVIDE ALL CEILING OR WALL ACCESS PANELS, (OR ACCESS DOORS), AS REQUIRED BY THE A.C. PLUMBING AND ELECTRICAL SYSTEMS.
7. ALL MATERIAL STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
8. ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPAIRED WILL, UPON COMPLETION, MATCH SURROUNDING SMALL AIR SURFACES.
9. PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, A/C EQUIPMENT, RESTROOM ACCESSORIES AND ALL OTHER ITEMS REGARDING SAME.

ROOF NOTES:

1. 2-Piece BARBER TILE ROOF. COLOR: SEE COLOR BOARD
2. CONTINUOUS COPPER GUTTER AT NEW ROOF AREAS.
3. ALL ROOF FLASHINGS TO BE COPPER.
4. ALL GUTTERS TO BE TIED INTO (B) UNDERGROUND DRAINS. SEE "C" SHEETS.

**SISNEY RESIDENCE
OPAL CLIFF DRIVE
033-132-05,13**

PROPOSED LANDSCAPE PLAN



MEVLAND
Δ 10-3-18

DATE: 6-27-11

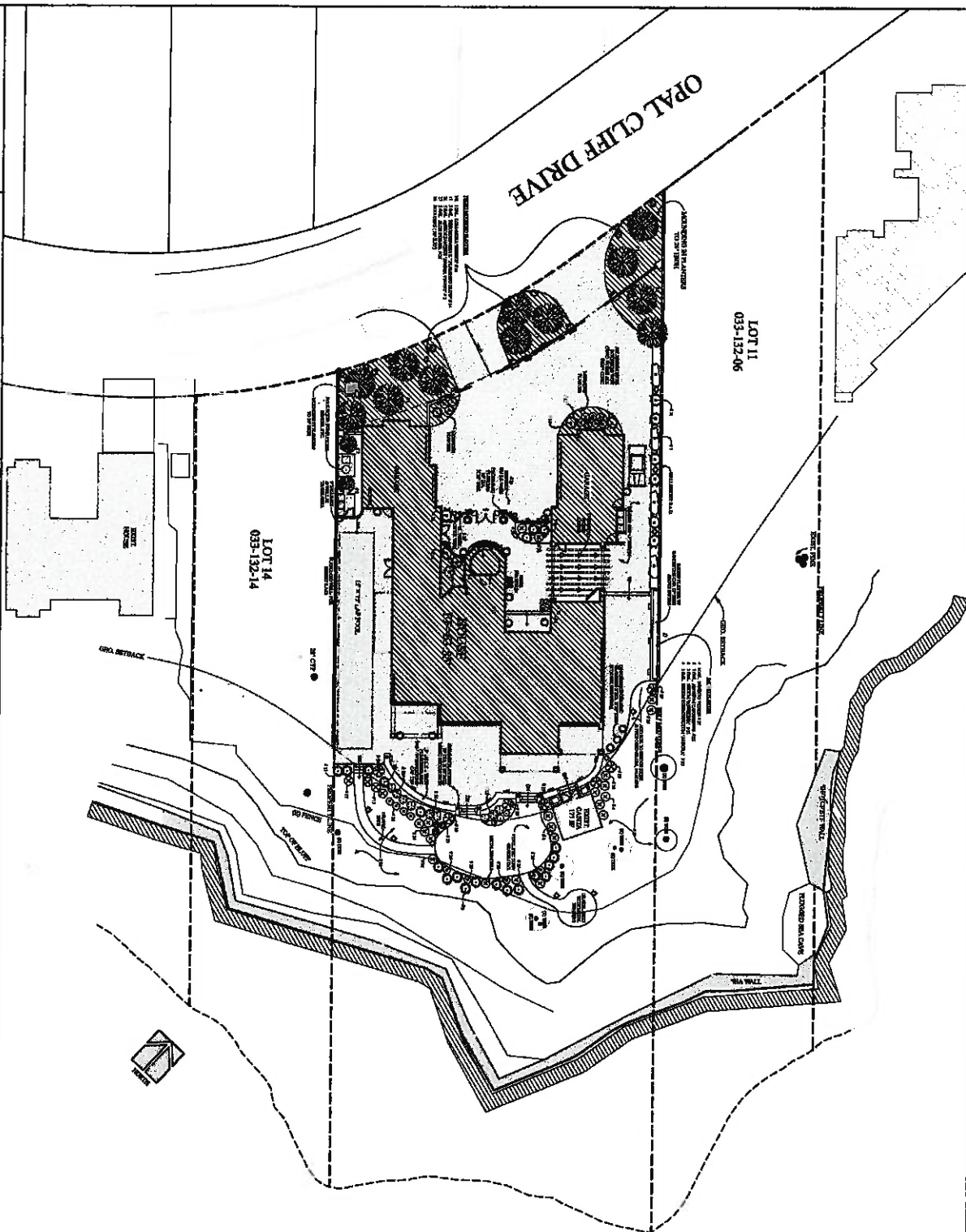
SHEET NO.
I-1
OF 25 SHEETS



LANDSCAPE DESIGN
ALTON MASSACHUSETTS
LANDSCAPE DESIGN
(617) 211-9151

- LANDSCAPE ARCHITECTURE**
 PROFESSION REGISTRATION
 ◆ REGISTERED (R)
 ◆ ARCHITECT (A)
 CA WEILSBY (W)
 D WALL CLERK OF WORKS (C)
 A OTHER ARCHITECT (O)
 R REGISTERED (REG)

Planning Notes

[illegible]



WALL SECTION

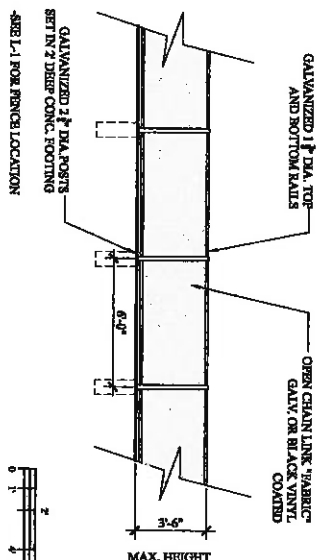
Reinforcement details shown:

- #4 HORIZ. @ 2' OC
- & #4 VERT. @ 16" OC
- CORNER IN WALL
- #4 & 1" LONG DOWNBARS
- 16" OC EA. FACE
- #4 @ 16" OC
- POLYMER CONC. FIB. - W/(6) #4 HORZ., 3" CLR.
- EXTER. GRADE
- WALL IS DRAWN AS CALU. BUT MAY BE POURED IN PLACE CONCRETE AT OWNER'S CHOICE

Dimensions and notes:

- Overall width: 8"
- Foundation depth: 3'-0"
- Foundation width: 6"
- Foundation height: 2'

GRAPHIC SCALE



GRAPHIC SCALE



PHOTO LOCATION

PROJECT LOCATION

181217 PHOTO LOCATION FROM "PRIVATES" BEACH

EXHIBIT D


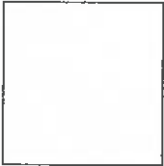

















181217 EXISTING PHOTO FROM "PRIVATE'S" BEACH

EXHIBIT D



181217 RENDERING FROM "PRIVATE" BEACH

 <p>FLORIDA ARCHITECTS No. 13205 SISNEY RESIDENCE</p>	<p>SISNEY RESIDENCE 033-132-05, -13</p>		<p>EXTERIOR COLORS/ FINISHES</p>		<p>DATE: 6-27-18 BY: [Signature] SCALE: N/A SHEET NO. C-1 OF 1 SHEETS</p>
<p>4 PLASTER COLORS- 3 OPTIONS SHOWN</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  BUTTER PECAN </div> <div style="text-align: center;">  MONTEREY WHITE </div> <div style="text-align: center;">  SAIL CLOTH </div> </div>		<p>METAL DECK RAILING - 2 OPTIONS SHOWN</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  TARRYTOWN GREEN HC-134 </div> <div style="text-align: center;">  BLACK FOREST GREEN </div> </div>		<p>EXTERIOR COLORS/ FINISHES</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  VAN BUREN BROWN HC-70 </div> <div style="text-align: center;">  HARRISON BROWN HC-71 WOOD BEAMS / EAVES 2 OPTIONS SHOWN </div> </div> <div style="text-align: center; margin-top: 20px;">  COPPER GUTTER / DOWNSPOUTS: 6" HALF ROUND GUTTER / 3" OR 4" DIA. DOWNSPOUTS </div>	
<p>2-PIECE CAP AND PAN TILE FIRE FLASH</p>  <p>2-PIECE CAP AND PAN TILE PALERMO BLEND</p> 		<p>2-PIECE CAP AND PAN TILE TUSCANY BLEND</p>  <p>ROOF TILE: BORAL BRAND OR =</p>		<p>EXTERIOR CLAD DOORS AND WINDOWS- 5 OPTIONS SHOWN</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  TERRATONE </div> <div style="text-align: center;">  PALE BROWN </div> <div style="text-align: center;">  MEDIUM BRONZE </div> <div style="text-align: center;">  HARTFORD GREEN </div> <div style="text-align: center;">  BLACK GREEN </div> </div> <p>NOTES: -PAINT COLORS SHOWN ARE BENAMIN MOORE. -EXTERIOR PLASTER MAY BE COLOR-COAT (3 OPTIONS SHOWN). -EXTERIOR DOORS AND WINDOWS WILL BE WOOD WITH CLAD (COATED) ALUMINUM. COLORS SHOWN FROM NANA DOOR -WOOD BEAMS/ FEATURES: BENAMIN MOORE PAINT -ROOF: 2-PIECE CAP AND PAN TILE.</p>	

FOR TAX PURPOSES ONLY

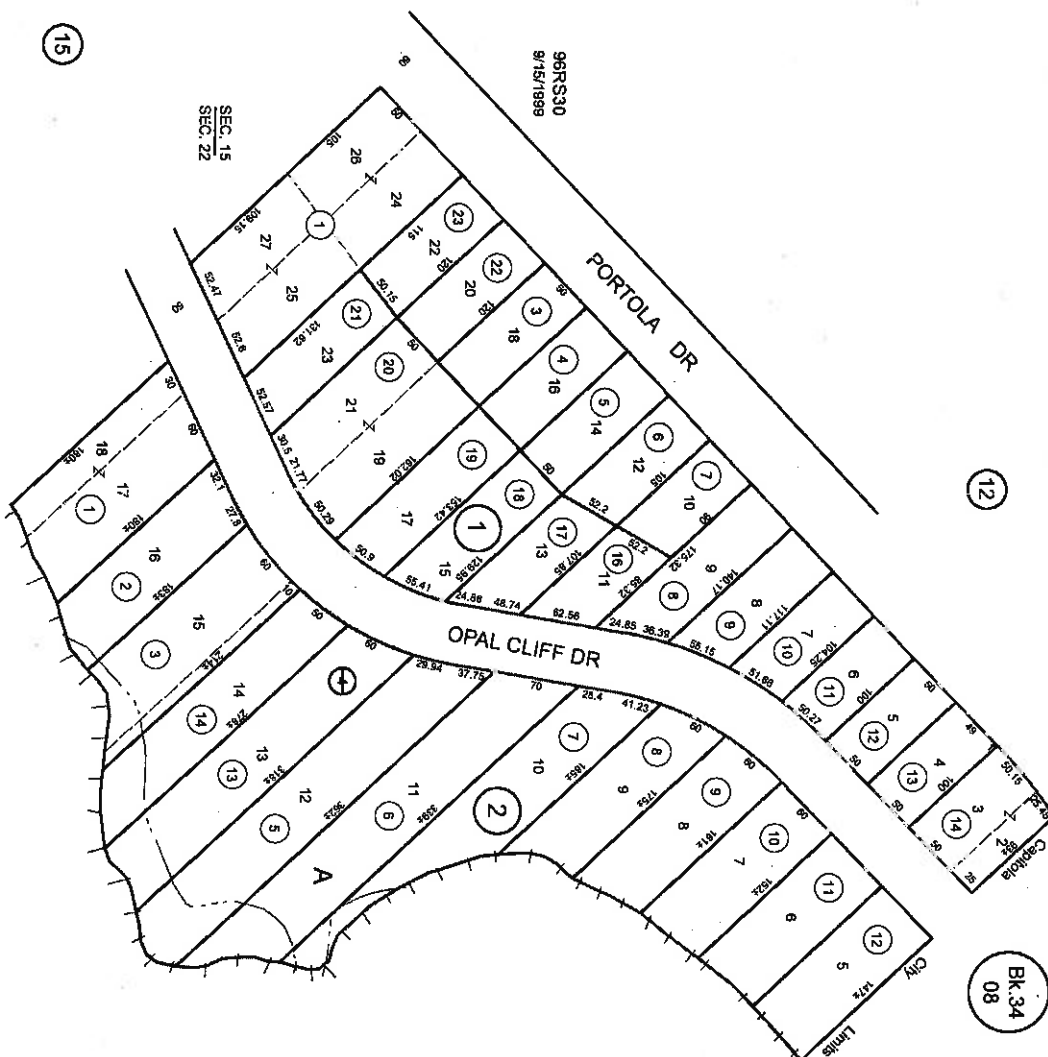
THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
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Electronically drawn 8/2/95 KSA
Rev. 4/8/98 GG (CA consolidation)
Rev. 12/13/99 CB (96RS30)
Rev. 1/25/00 GG (cor. adjointer)
Rev. 4/1/201 mm (changed page refs.)
Rev. 11/8/16 jg (16-000922, split 2-13)
Rev. 11/8/16 jg (16-000920, split 2-14)

POR. RANCHO ARROYO DEL RODEO
SECS. 15 & 22, T.11S., R.1W., M.D.B. & M.

Tax Area Code
96-100

33-13

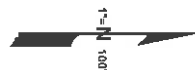


Note - Assessor's Parcel & Block
Numbers Shown in Circles.

SEC. 15
SEC. 22

OPAL CLIFFS SUB.
25MB12 3/8/1930

BAY OF MONTEREY



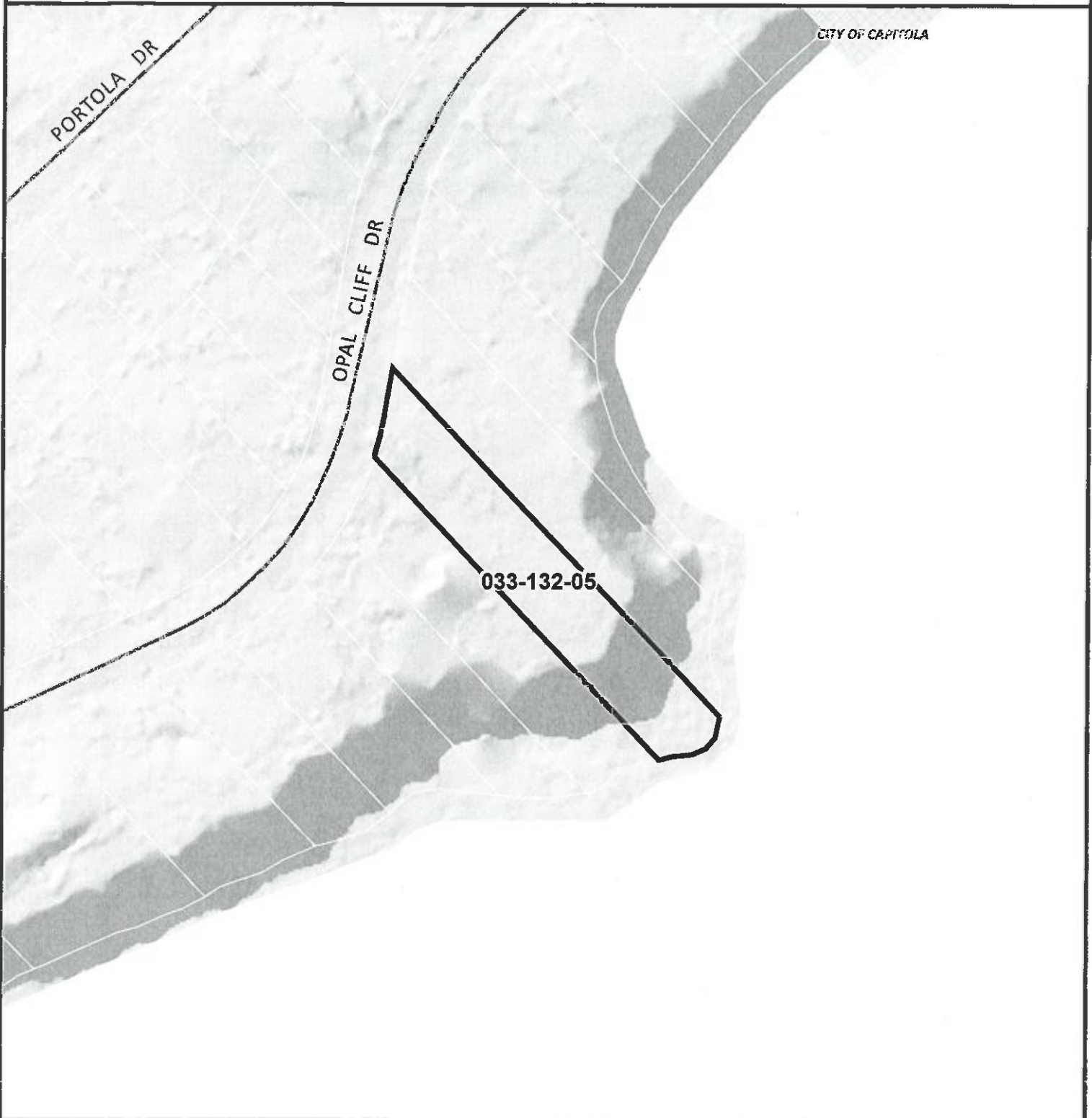
Assessor's Map No. 33-13
County of Santa Cruz, Calif.
June 1995



Parcel Location Map

Santa Cruz County Planning Department

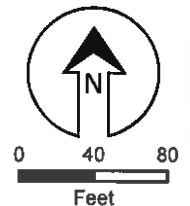
Parcel Number
033-132-05
Feb. 8, 2019



Location Overview

Symbol Key

- Street
- City Jurisdiction

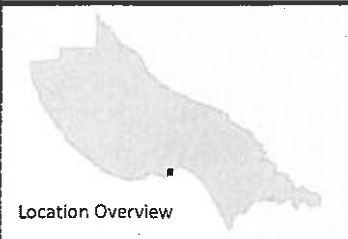
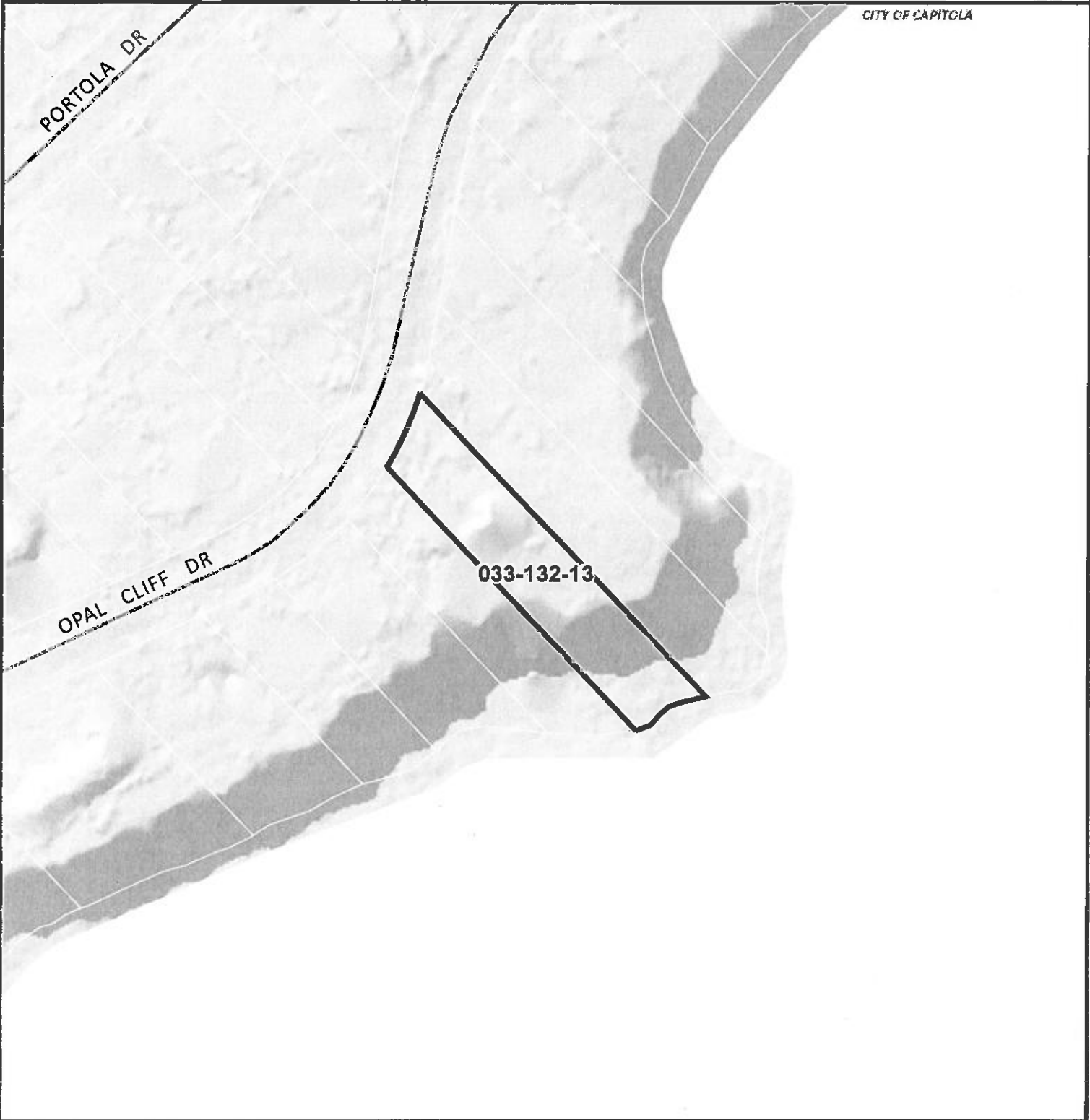




Parcel Location Map

Santa Cruz County Planning Department

Parcel Number
033-132-13
Feb. 8, 2019



Symbol Key

— Street

City Jurisdiction

0 40 80
Feet



Parcel General Plan Map

Santa Cruz County Planning Department

Parcel Number

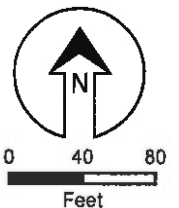
033-132-05

Feb. 8, 2019



General Plan

R-UM - Residential - Urban Medium Density





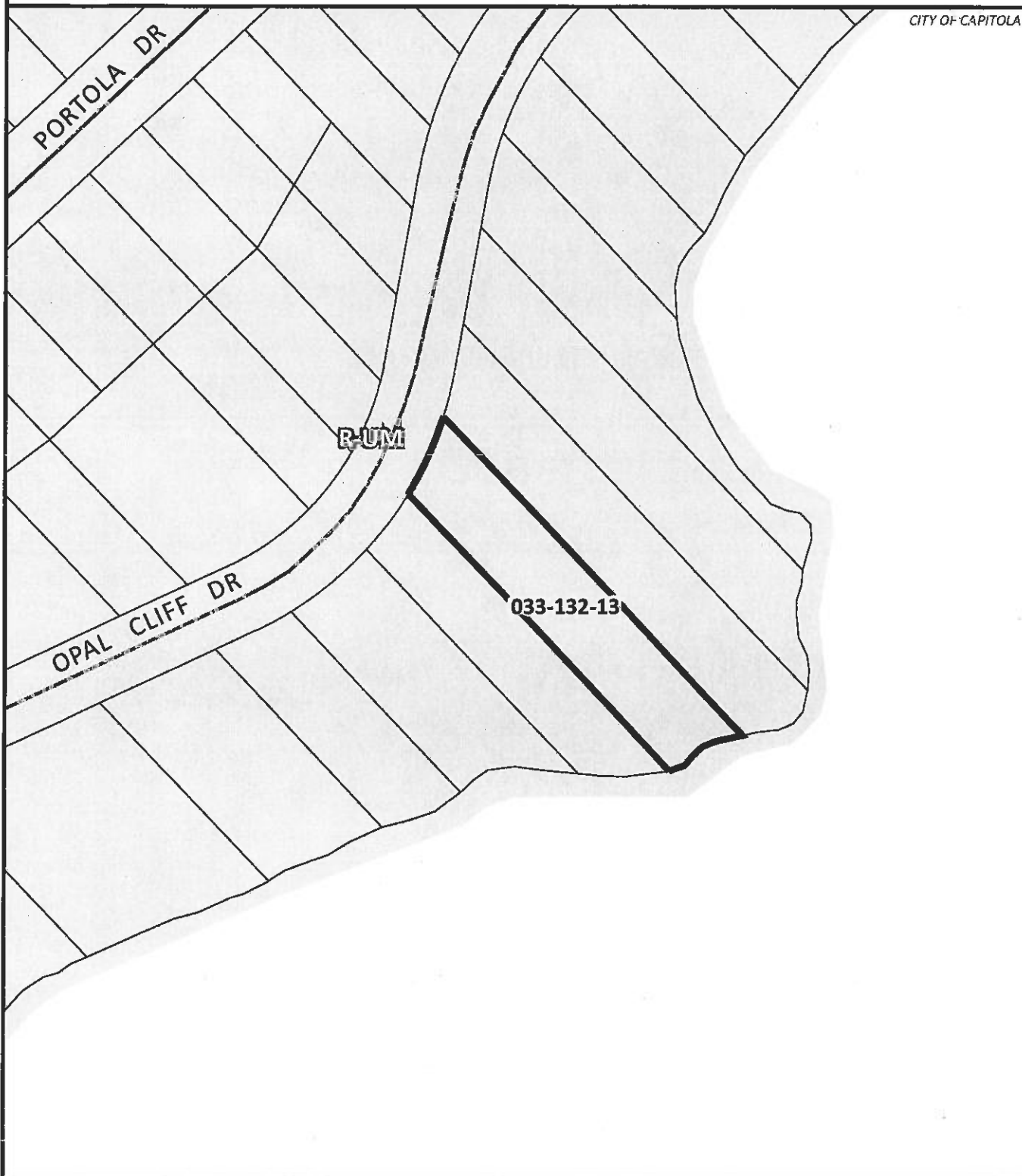
Parcel General Plan Map

Santa Cruz County Planning Department

Parcel Number

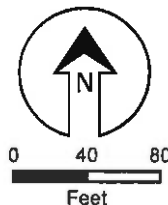
033-132-13

Feb. 8, 2019



General Plan

R-UM - Residential - Urban Medium Density





Parcel Zoning Map

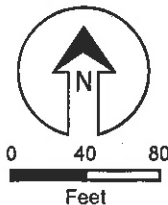
Santa Cruz County Planning Department

Parcel Number
033-132-05
Feb. 8, 2019



Zoning

- (PR) Parks, Recreation, and Open Space
- (R-1) Single-Family Residential

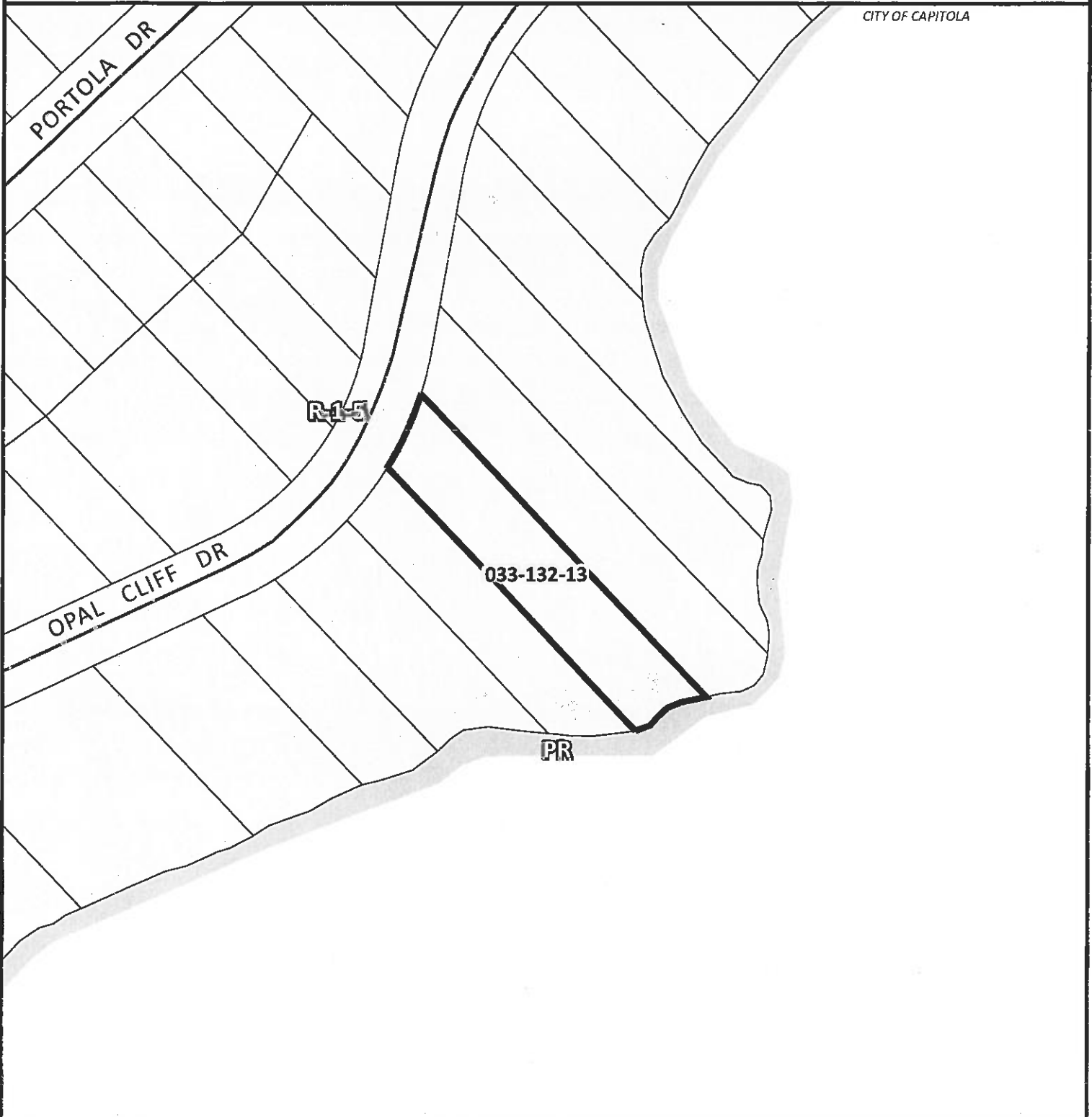




Parcel Zoning Map

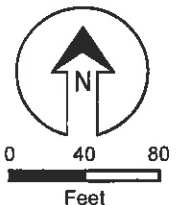
Santa Cruz County Planning Department

Parcel Number
033-132-13
Feb. 8, 2019



Zoning

- (PR) Parks, Recreation, and Open Space
- (R-1) Single-Family Residential



Parcel Information

Services Information

Urban/Rural Services Line: ☒ Inside ☐ Outside
Water Supply: Soquel Creek Water
Sewage Disposal: Santa Cruz County Sanitation
Fire District: Central Fire
Drainage District: Flood Control District 5

Parcel Information

Parcel Size: 24,400 net square feet (combined)
Existing Land Use - Parcel: Residential
Existing Land Use - Surrounding: Residential
Project Access: Opal Cliff Drive
Planning Area: Live Oak
Land Use Designation: R-UM (Urban Medium Density Residential)
Zone District: R-1-5 (Single Family Residential - 5,000 square foot minimum)
Coastal Zone: ☒ Inside ☐ Outside
Appealable to Calif. Coastal Comm. ☒ Yes ☐ No

Technical Reviews: Geology/Geotechnical Report Review (REV181117)

Environmental Information

Geologic Hazards: Coastal Bluff
Fire Hazard: Not a mapped constraint
Slopes: Coastal Bluff
Env. Sen. Habitat: Not mapped
Grading: 400 cubic yards of grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Archeology: Not mapped



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
KATHLEEN MOLLOY, PLANNING DIRECTOR

August 30, 2018

Bret Sisney
100 De Bernado Lane
Santa Cruz, CA 95003

**Subject: Review of Engineering Geologic by Easton Geology, Inc.
Dated July 27, 2017 and August 29, 2018: Project: C15023
APN 033-132-05, Application #: REV181117**

Dear Bret Sisney,

The purpose of this letter is to inform you that the Planning Department has accepted the subject report and the following items shall be required:

1. All construction shall comply with the recommendations of the report.
2. Final plans shall reference the report and include a statement that the project shall conform to the report's recommendations.
3. The geotechnical report has been reviewed and the County has requested additional information that was not submitted with the Engineering Geologist addendum.
4. Prior to building permit issuance, a *plan review letter* shall be submitted to Environmental Planning. After plans are prepared that are acceptable to all reviewing agencies, please submit a review letter that states the project plans conform to the recommendations of the subject report. *Please note that the plan review letter must reference the final plan set by last revision date.* The author of the report shall write the *plan review letter*.
5. Please submit an electronic copy of the report in .pdf format via compact disk or email to: joseph.hanna@santacruzcounty.us. Please note that the report must be generated and/or sent directly from the engineer of record.

After building permit issuance the soils engineer and engineering geologist *must remain involved with the project* during construction. Please review the *Notice to Permits Holders* (attached).

Our acceptance of the report is limited to its technical content. Other project issues such as zoning, fire safety, septic or sewer approval, etc. may require resolution by other agencies.

(over)

**NOTICE TO PERMIT HOLDERS WHEN TECHNICAL REPORTS HAS BEEN PREPARED,
REVIEWED AND ACCEPTED FOR THE PROJECT**

After issuance of the building permit, the County requires your soils engineer engineering geologist to be involved during construction. Several letters or reports are required to be submitted to the County at various times during construction. They are as follows:

1. **When a project has engineered fills and / or grading**, a letter from your soils engineer must be submitted to the Environmental Planning section of the Planning Department prior to foundations being excavated. This letter must state that the grading has been completed in conformance with the recommendations of the soils report. Compaction reports or a summary thereof must be submitted.
2. **Prior to placing concrete for foundations**, letters from the soils engineer and engineering geologist must be submitted to the building inspector and to Environmental Planning stating that the consultants has observed the foundation excavation and that it meets the recommendations of the soils report.
3. **At the completion of construction**, *final letters* from your consultants are required to be submitted to Environmental Planning that summarizes the observations and the tests the consultants have made during construction. The final letter must also state the following: "Based upon our observations and tests, the project has been completed in conformance with our report recommendations."

If the *final letters* identifies any items of work remaining to be completed or that any portions of the project were not observed by the consultants, you will be required to complete the remaining items of work and may be required to perform destructive testing in order for your permit to obtain a final inspection.

(over)



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
KATHLEEN MOLLOY, PLANNING DIRECTOR

8 November 2018

Brett Brenkwitz, Architect
POB 597
Aptos, CA 95001

Subject: Review of the Geotechnical Investigation - Proposed Residential Construction for Lots 11, 12, 13, 14 at 4660 Opal Cliff Drive/APN 033-132-04, 05, 06 report dated 2 December 2016; Response to County Comments dated 31 August 2018; and Geotechnical Recommendation Addendum report dated 31 August 2018 by Haro, Kasunich and Associates – Project No. SC10959.1

Project Site: 4660 Opal Cliff Drive
APN 033-132-05
Application No. REV181117

Dear Applicant:

The purpose of this letter is to inform you that the Planning Department has accepted the subject reports. The following items shall be required:

1. All project design and construction shall comply with the recommendations of the reports.
2. Final plans shall reference both the 2 December 2016 Geotechnical Investigation and the 31 August 2018 Geotechnical Recommendation Addendum by titles, author and dates. Final Plans should also include a statement that the project shall conform to the reports' recommendations. This item may be redlined on the project plans by the applicant if no other plan set revisions are required.
3. After plans are prepared that are acceptable to all reviewing agencies, please submit a completed Soils (Geotechnical) Engineer Plan Review Form to Environmental Planning. The author of the soils report shall sign and stamp the completed form. Please note that the plan review form must reference the final plan set by last revision date.

Any updates to report recommendations necessary to address conflicts between the reports and plans must be provided via a separate addendum to the soils report.

Electronic copies of all forms required to be completed by the Geotechnical Engineer may be found on our website: www.sccoplanning.com, under "Environmental", "Geology & Soils", and "Assistance & Forms".

After building permit issuance the soils engineer *must remain involved with the project* during construction. Please review the Notice to Permits Holders (attached).

Review of the Geotechnical Investigation - Proposed Residential Construction for Lots 11, 12, 13, 14 at 4660 Opal Cliff Drive/APN 033-132-04, 05, 06 report dated 2 December 2016; Response to County Comments dated 31 August 2018; and Geotechnical Recommendation Addendum report dated 31 August 2018 by Haro, Kasunich and Associates

APN 033-132-05

8 November 2018

Page 2 of 3

Our acceptance of the report is limited to its technical content. Other project issues such as zoning, fire safety, septic or sewer approval, etc. may require resolution by other agencies.

Please note that this determination may be appealed within 14 calendar days of the date of service. Additional information regarding the appeals process may be found online at: http://www.sccoplanning.com/html/devrev/plnappeal_bldg.htm

If we can be of any further assistance, please contact the undersigned at (831) 454-3168 or rick.parks@santacruzcounty.us

Sincerely,



Rick Parks, GE 2603

Civil Engineer – Environmental Planning

Cc: Environmental Planning, Attn: Jessica deGrassi
Haro, Kasunich and Associates, Attn: Moses Cuprill, PE
Owner, Bret Sisney

Attachments: Notice to Permit Holders

Review of the Geotechnical Investigation - Proposed Residential Construction for Lots 11, 12, 13, 14 at 4660 Opal Cliff Drive/APN 033-132-04, 05, 06 report dated 2 December 2016; Response to County Comments dated 31 August 2018; and Geotechnical Recommendation Addendum report dated 31 August 2018 by Haro, Kasunich and Associates

APN 033-132-05

8 November 2018

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**NOTICE TO PERMIT HOLDERS WHEN A SOILS REPORT HAS BEEN PREPARED,
REVIEWED AND ACCEPTED FOR THE PROJECT**

After issuance of the building permit, the County requires your soils engineer to be involved during construction. Several letters or reports are required to be submitted to the County at various times during construction. They are as follows:

1. **When a project has engineered fills and / or grading**, a letter from your soils engineer must be submitted to the Environmental Planning section of the Planning Department prior to foundations being excavated. This letter must state that the grading has been completed in conformance with the recommendations of the soils report. Compaction reports or a summary thereof must be submitted.
2. **Prior to placing concrete for foundations**, a letter from the soils engineer must be submitted to the building inspector and to Environmental Planning stating that the soils engineer has observed the foundation excavation and that it meets the recommendations of the soils report.
3. **At the completion of construction**, a *Soils (Geotechnical) Engineer Final Inspection Form* from your soils engineer is required to be submitted to Environmental Planning that includes copies of all observations and the tests the soils engineer has made during construction and is stamped and signed, certifying that the project was constructed in conformance with the recommendations of the soils report.

If the *Final Inspection Form* identifies any portions of the project that were not observed by the soils engineer, you may be required to perform destructive testing in order for your permit to obtain a final inspection. The soils engineer then must complete and initial an *Exceptions Addendum Form* that certifies that the features not observed will not pose a life safety risk to occupants.

Nathan MacBeth

From: Jane Parks-McKay <janerparksmckay@gmail.com>
Sent: Saturday, April 20, 2019 8:58 PM
To: Nathan MacBeth
Cc: Tim McKay
Subject: regarding Item # 2.181217

Nathan: we are in receipt of your Notice of Public Hearing for the above project. Thank you for sending it.

Without knowing what the plans look like, it's hard to comment. What we do know is the Sisney's have been great neighbors as they have rented out their home here on Opal Cliff Drive for vacation rental. They have followed every ordinance and we appreciate that.

Would it be possible to share with us the plans for the rebuild? We live across the street and it would be nice to know what type of view we will have, among other things.

The only other comment we would have at this point would be our concern about the large tree on the lot adjacent to the current garage in the backyard. Our Arborist mentioned when doing some work that the ivy could damage the tree and we would be concerned that the tree could possibly fall eventually.

Let us know what you have and what we can see online; we would be grateful. Thanks again. Our beautiful street is certainly looking even more beautiful!

Jane Parks-McKay and Tim McKay
4715 Opal Cliff Drive
Santa Cruz, CA 95062
(831) 475-0588
janeRparksmckay@gmail.com
timmckay@mac.com

Nathan MacBeth

From: h.foedisch@nm.com
Sent: Monday, April 22, 2019 1:04 PM
To: Nathan MacBeth
Subject: Application # 181217 -- 4660 Opal Cliff Drive

Dear Nathan;

We recently received notice of the public hearing for the proposed construction at 4660 Opal Cliff. I am a neighbor, at 4705 Opal Cliff (directly across the street from 4660 Opal Cliff), unfortunately I can't make the hearing but have reviewed the above referenced proposed project and spoken with the Owner. I am sending you this e-mail to state my support in favor of the approval of the project. Since I am unable to make the hearing I would like this letter of support added to the County's file.

Sincerely,
Herb Foedisch
4705 Opal Cliff
h.foedisch@nm.com

Herbert W. Foedisch CLU, CFP

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