



Staff Report to the Zoning Administrator

Application Number: 181000

Applicant: Dee Murray
Owner: Machado & Moore
APN: 043-095-16 & 043-095-17
Site Address: 375 & 373 Beach Drive

Agenda Date: June 21, 2019
Agenda Item #: 3
Time: After 9:00 a.m.

Project Description: Proposal to recognize Emergency Coastal Development Permit 171263, and to construct a 67-foot long, 12 high Geobruigg debris impact fence and two 12-foot high containment wing walls (23 foot long and 33 feet long respectively) located at the end of the debris fence. Project includes approximately 85 cubic yards of grading. Requires a Coastal Development Permit.

Location: Properties located on the northern side of Beach Drive at 373 and 375 Beach Drive.

Permits Required: Coastal Development Permit

Supervisory District: Second District (District Supervisor: Zach Friend)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 181000, based on the attached findings and conditions.

Project Description & Setting

The subject parcels are approximately 5,000 square feet in size and zoned Single Family Residential (minimum parcel size 6,000 square feet), (R-1-6) which is consistent with the Land Use Designation of Urban Low Residential Density (R-UL). The properties are developed with an existing single family dwelling.

The project is situated among a row of homes sandwiched between the base of a coastal bluff and Beach Drive. The coastal bluff behind the subject properties is subject to continued erosion and failure. All of the homes along this portion of Beach Drive are within the mapped VE Flood Zone and subject to tidal and wave inundation. The west side of Beach Drive contains a sidewalk and public beach/access resulting in unimpeded views of the Monterey Bay. Many of the homes along this stretch of Beach Drive are two and three stories in height consisting of a variety of architectural styles.

Project Background

On January 2, 2018, Emergency Coastal Development Permit 171263 was issued for the installation of a coastal bluff debris impact fence above the existing homes at 373 and 375 Beach Drive. All work associated with the emergency repair was completed under building permit B-174202. Geotechnical (soils) and Geologic Report have been prepared and submitted to the County for review and accepted by county staff under application REV171106. Final letters from the project geologist and soils engineer have been submitted to the County and indicate that all work had been performed in accordance with the recommendations contained in the reports.

Zoning, General Plan & Local Coastal Program Consistency

The subject properties are approximately 5,000 square feet in size, located in the R-1-6 (Single Family Residential - 6,000 square foot minimum) zone district, a designation which allows residential uses. The proposed debris fence is an allowed use within the zone district. The project is consistent with the site's R-UL (Urban Low Density Residential) General Plan designation.

The proposed debris impact fence is in conformance with the County's certified Local Coastal Program, in that the project has been designed to minimize impacts to coastal views. The structure has been sited behind the existing residence and at an elevation that optimizes safety of the occupants of the homes and is not readily visible from the public beach.

Geologic and geotechnical (soils) reports have been reviewed and accepted by the County of Santa Cruz (Exhibit G). Review of the inspection letters confirmed the necessity of the project and all work has been performed in conformance with the approved plans (Exhibit D).

The project site is located between the shoreline and the first public road however, the project will not interfere with public access to the beach or ocean in that existing public access to the beach is located on the opposite side of Beach Drive from the subject parcel. The project site is not identified as a priority acquisition site in the County's Local Coastal Program.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number 181000, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available

for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.co.santa-cruz.ca.us

Report Prepared By: Nathan MacBeth
Santa Cruz County Planning Department
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Santa Cruz CA 95060
Phone Number: (831) 454-3118
E-mail: nathan.macbeth@santacruzcounty.us

Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans and site photos
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Report review letters
- H. Comments & Correspondence

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 181000

Assessor Parcel Number: 043-095-16 & 043-095-17

Project Location: 375 & 373 Beach Drive

Project Description: Recognize construction of a coastal bluff debris impact fence intended to protect existing single family dwellings.

Person or Agency Proposing Project: Dee Murray

Contact Phone Number: (831) 475-5334

- A. _____ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. _____ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. _____ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. _____ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. X **Categorical Exemption**

Specify type: Class 1 - Existing Facilities (Section 15301) & Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

Recognize construction of a coastal bluff debris impact fence above existing single family dwellings in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Nathan MacBeth, Project Planner

Date: _____

EXHIBIT A

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned R-1-6 (Single Family Residential - 6,000 square foot minimum), a designation which allows residential uses. The proposed impact debris fence is an allowed use in the zone district in that the installation is necessary to protect the existing homes and occupants from threat of life and safety. The zoning is consistent with the site's R-UL (Urban Low Density Residential) General Plan designation.

The proposed coastal bluff face debris impact fence is consistent with General Plan Policy 6.2.16 in that it is necessary to ensure the safety of the homes located at the base of the coastal bluff and life and safety of occupants and residents in the vicinity. Detailed technical studies have been reviewed and accepted which demonstrate the need for the proposed impact fencing. The project would not reduce or restrict existing beach access which is located across Beach Drive from the project site.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the project is sited and designed to be visually compatible with the surrounding land uses and character of the neighborhood. The location of the debris impact fencing will not be readily visible from any nearby public viewshed in that it is situated behind the existing homes at 373 and 375 Beach Drive. Consequently, the project would not result in an adverse impact to scenic resources. The development site is not on a prominent ridge, beach, or bluff top.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and existing public beach access is available at across Beach Drive from the project site.

5. That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure is sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-6 (Single Family Residential - 6,000 square foot minimum) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels

Application #: 181000
APN: 043-095-16 & 043-095-17
Owner: Machado & Moore

in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the pattern of development within the surrounding neighborhood.

6. If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that the project site is not located between the shoreline and the first public road however, the debris fence will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources. The project has been conditioned to require recordation of a maintenance agreement to ensure long-term functionality of the debris fence.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the debris fence and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-6 (Single Family Residential - 6,000 square foot minimum) zone district as the primary use of the property will continue to residential. Installation of the debris fencing was necessary to ensure safety of the existing residential structures at the base of the bluff and residents in the vicinity.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that an emergency coastal development permit (171263) and associated building permit were issued for the landslide repair due to an imminent risk to health and safety. The project has been designed in accordance with General Plan Policy 6.2.10 (Site development to Minimize Hazards). Geotechnical and Geologic Report (REV171106) prepared by Haro, Kasunich, and Associates dated September 2016, accepted by County staff (Exhibit G) concluded that potential further failure of the bluff would result in a significant threat to the existing homes at the base of the coastal bluff.

A specific plan has not been adopted for this portion of the County. This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-UL (Urban Low Density Residential) land use designation in the County General Plan.

4. That the proposed use will not overload utilities, and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the construction of the proposed debris fence is to be constructed on an existing developed lot intended to protect the existing homes and occupants from further erosion and potential hazard associated with the instability of the coastal bluff. Beyond the construction phase, the project will not require the use of utilities and will not generate additional traffic on the streets in the vicinity.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the project is located along a coastal bluff which is subject to coastal erosion. The subject parcels are both developed with existing single family dwellings. In terms of design, the project is consistent with debris fencing which has been installed in the vicinity. The proposed project will be located behind and below the roofline of the existing homes therefore, will not result in potential impacts to visual resources. Construction of debris fence to protect the existing homes, does result in any change to the existing land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the debris fence has been located behind existing single family dwellings and at an elevation that screens the structure from public view to the greatest extent feasible while providing the necessary protection to the homes at the base of the coastal bluff. Consequently, the project does not result in adverse impacts to coastal views and consistent with the Design Standards and Guidelines in SCC 13.11.070 through 13.11.076.

Conditions of Approval

Exhibit D: Project plans, prepared by Haro, Kasunich and Associates, dated 9/8/17.

- I. This permit authorizes the construction of a Coastal bluff debris impact fence as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
- A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Please submit a maintenance and monitoring *plan* prepared by the project civil engineer for the debris impact fence and wing walls.
 - C. A Maintenance and Monitoring *Agreement*, prepared by County staff, shall be recorded on the deed in the official records of the County of Santa Cruz (Office of the County Recorder) within 30 days from the effective date of this permit.
 - D. "Notice of Geologic Hazards, Acceptance of Risk, Liability Release, and Indemnification" shall be recorded on the parcel with the format and content of that document to be reviewed and accepted by the County of Santa Cruz prior to recordation. The Notice will provide for property owner (and all successors and assigns) agreement to an acknowledgement of coastal and geologic hazards, an acceptance of and assumption of risk, a waiver of liability against the County, and an indemnification of the County; the final language of such provisions will be consistent with the following:
 - 1. Coastal Hazards. That the site is subject to coastal hazards including but not limited to episodic and long-term shoreline retreat and coastal erosion, high seas, ocean waves, storms, tsunamis, tidal scour, coastal flooding, liquefaction and the interaction of same;
 - 2. Assume Risks. To assume the risks to the Applicant and the properties that are the subject of this CDP of injury and damage from such coastal hazards in connection with the permitted development;
 - 3. Waive Liability. To unconditionally waive any claim of damage or liability against the County, its officers, agents, and employees for injury or damage from such coastal hazards in connection with the permitted development;
 - 4. Indemnification. To indemnify and hold harmless the County, its officers, agents, and employees with respect to the County's approval of the development against any and all liability, claims, demands, damages, costs (including costs and fees incurred in defense of such claims), expenses, and amounts paid in settlement arising from any injury or damage due to

such coastal hazards in connection with the permitted development; and

5. Property Owner Responsible. That any adverse effects to property caused by the permitted development shall be fully the responsibility of the property owner

II. Operational Conditions

- A. The Development Approval Holder(s) shall comply with the Maintenance and Monitoring *Agreement*.
- B. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- C. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

III. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.

- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 1. COUNTY bears its own attorney's fees and costs; and

2. COUNTY defends the action in good faith.

- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D: Successors Bound. "Development Approval Holder" shall include the applicant and the successor'(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless the conditions of approval are complied with and the use commences before the expiration date.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Jocelyn Drake
Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

Application #: 181000
APN: 043-095-16 & 043-095-17
Owner: Machado & Moore

Parcel Information

Services Information

Urban/Rural Services Line:	<u>X</u> Inside <u> </u> Outside
Water Supply:	Soquel Creek Water District
Sewage Disposal:	Santa Cruz County Sanitation
Fire District:	Aptos/LaSelva Fire Protection
Drainage District:	Flood Control 6

Parcel Information

Parcel Size:	Approximately 5,000 square feet (each)
Existing Land Use - Parcel:	Residential
Existing Land Use - Surrounding:	Residential
Project Access:	Beach Drive
Planning Area:	Aptos
Land Use Designation:	R-UL (Urban Low Density Residential)
Zone District:	R-1-6 (Single Family Residential - 6,000 square foot minimum, Park Dedication)
Coastal Zone:	<u>X</u> Inside <u> </u> Outside
Appealable to Calif. Coastal Comm.	<u>X</u> Yes <u> </u> No

Technical Reviews: Geotechnical and Geologic report reviewed and accepted (REV171106)

Environmental Information

Geologic Hazards:	Coastal Bluff and VE Flood Zone
Fire Hazard:	Not a mapped constraint
Slopes:	Coastal Bluff
Env. Sen. Habitat:	Not mapped/no physical evidence on site
Grading:	85 cubic yards of grading
Tree Removal:	No trees proposed to be removed
Scenic:	Mapped scenic resource
Archeology:	Not mapped

PROJECT DESCRIPTION AND PURPOSE

The purpose of these shoreline repair plans is to assess hazards from potential landsliding and increase the stability of the coastal bluff slopes above three existing houses at 573 and Beach Drive in Agoura, California. Construction of a 685 foot long 11.5 foot high gabriolen sheet pile wall, and two 23 foot long and 33 foot long 1 to 1.15 foot high confinement wall with at the ends of the debris line are proposed. Best management practices must be and will be followed during construction to protect the environment where the project is located.

SHEET 10 - STRUCTURAL SHEET 5-3 BY RC CONSULTING ENGINEERS

373 Beach Drive APN 043-095-17
Robt & Susan Moore, Trustees
21401 Santee Hills Road
Santee, CA 95070

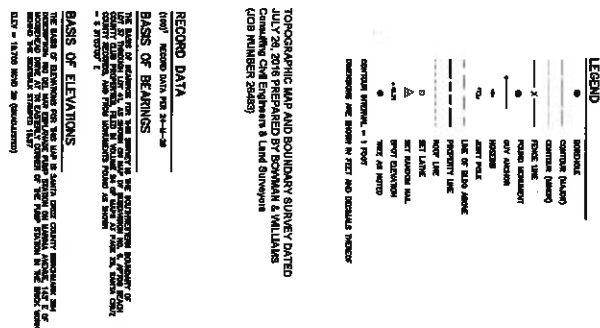
375 Beach Drive APN 043-095-16
Ellen & Teresa Metcalfe, Trustees
1815 W. Kollerman Lane, #A
Lodi, CA 95042

John Kasunich, G.E. 405
Main Fox, C.E.G. 1483
HARO, KASUNICH & ASSOCIATES, INC.
118 East Lake
Westonville, CA 95078
(931) 722-4175 (931) 722-3202 FAX

Bryan Happe, P.L.S. B229
BOYMAN & WILLIAMS
Consulting Civil Engineers & Land Surveyors
1011 Cedar St. Santa Cruz, CA 95060
(831) 426-3560

Romero C. Carbajal, CE, ABETS
RC Consulting Engineers, Inc.
7007 Reslin Dr., #B3
San Jose, CA 95119
(408) 229-8155

A map of the study area showing the coastline of the Mediterranean Sea. A black arrow points to a specific location on the beach, labeled 'S1' and 'LOCATION'. The map includes various land use features such as green areas (parks or forests), yellow areas (beach or dunes), and blue areas (water). A scale bar is visible in the bottom right corner.



TOPOGRAPHIC MAP AND BOUNDARY SURVEY DATED
JULY 29, 2016 PREPARED BY BOYMAN & WILLIAMS
Consulting Civil Engineers & Land Surveyors
(JOB NUMBER 25483)

RECORD DATA

RECORD DATA FOR 24-M-28

BASIS OF BEARINGS

THE BASES OF REFERENCE FOR THE SURVEY IN THE SOUTHEASTERN QUARTERLY OF LOT 37 THROUGH LOT 41, AS SHOWN ON MAP OF REVISIONS NO. 4, AFTER REACH CORNER AND PROPOSED FIELD IN VOLUME 34 OF BOOK 24, EARTH COUNTY RECORDS, AND FROM MONUMENTS FOUND AS SHOWN

BASIS OF ELEVATIONS

ELTY = 18.708 MCHD 20 (DECOMMISSION)
THE CASE OF ELSTON FOR THE LAP IS SANTA ROSA COUNTY INCARCERATION 304
DECOMMISSION AND DEL MAP EMPLOYEE PLANT STATION ON KALAMA AVENUE, 147 E OF
HOLCOMB DRIVE AT TRUCKERLY CORNER OF THE PLANT STATION IN THE BLOCK SOME
MILES TO THE SOUTHEAST STATION 1467

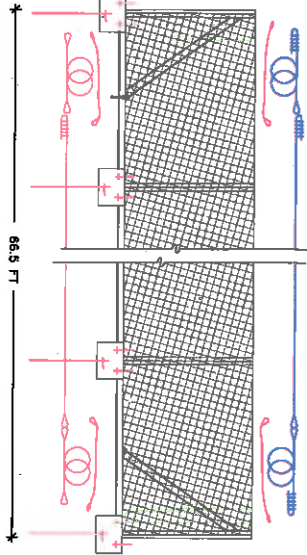
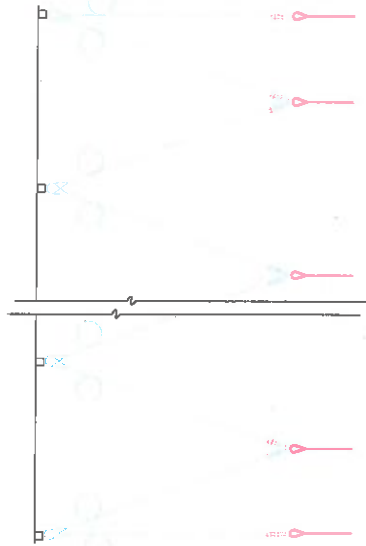
GRAPHIC SCALE

(36 页)

HARO, KASUNICH AND ASSOCIATES, INC.
CONSULTING CIVIL, GEOTECHNICAL & COASTAL ENGINEERS
116 EAST LAKE AVE., WATSONVILLE, CA 95076 (831) 722-4175

PLAN VIEW
DEBRIS IMPACT & CATCHMENT WALL SYSTEM
 373 & 375 EACH DRIVE, APTOS, CA 95003
 APN: 043-095-16 & -17

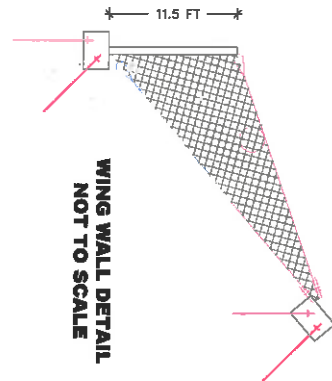
REVISIONS BY



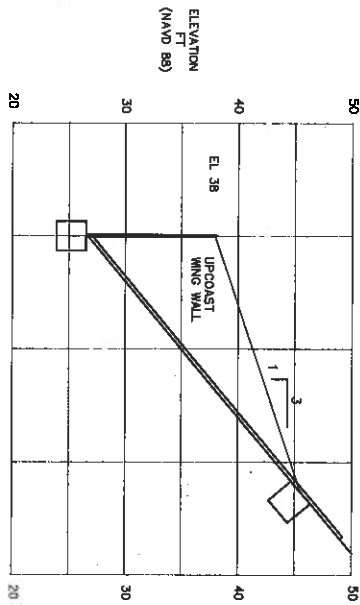
- A: Upper support rope \varnothing 7/8" with 4 brake rings GS-8002
- B: Lower support rope \varnothing 7/8" with 4 brake rings GS-8002
- Lateral anchor rope \varnothing 7/8"
- Retaining rope \varnothing 7/8" with 1 brake ring GS-8002
- Vertical rope \varnothing 7/8" Geobinex
- Bypass Rope

DEBRIS FENCE DETAILS
SCALE: 1" = 5 FEET

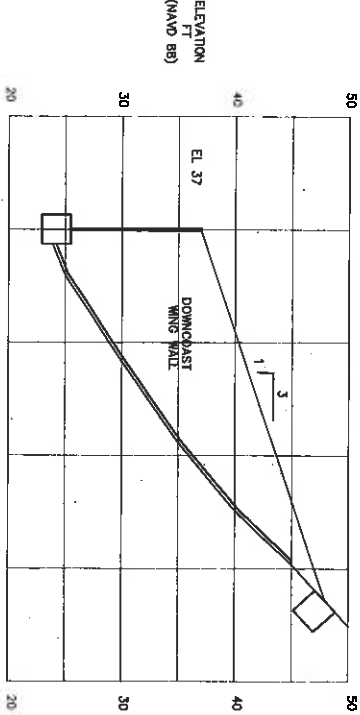
NOTE: SEE STRUCTURAL PLANS BY PROJECT ENGINEERS:
HARO, KASUNICH & ASSOCIATES, INC.
7001 Fremont Dr., 3rd Floor, San Jose, CA 95119 (408) 258-8125



WING WALL DETAIL
NOT TO SCALE



ELEVATION
FT
(NAVD 88)



ELEVATION
FT
(NAVD 88)

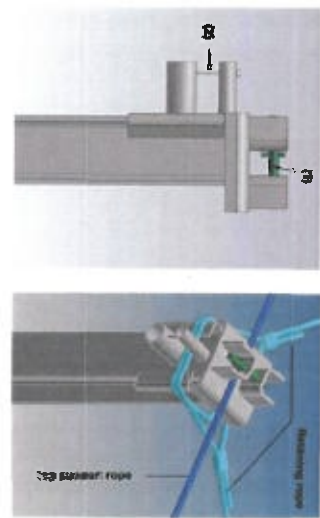
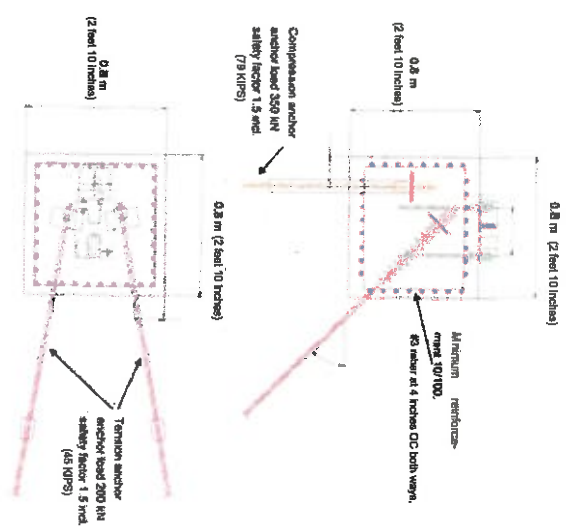
WING WALL CROSS SECTIONS
SCALE: 1" = 5 FEET

DEBRIS FENCE DETAILS
DEBRIS IMPACT & CATCHMENT WALL SYSTEM
373 & 375 EACH DRIVE, APTOS, CA 95003
APN: 043-095-16 & -17

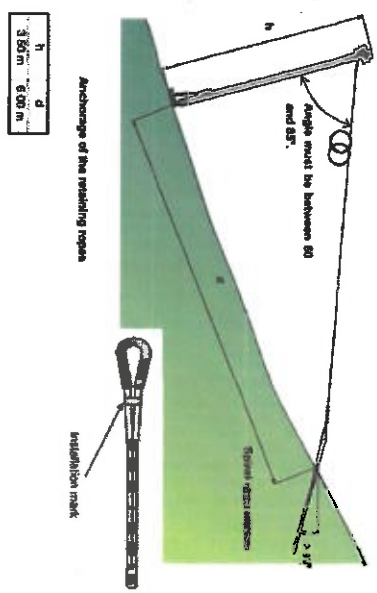
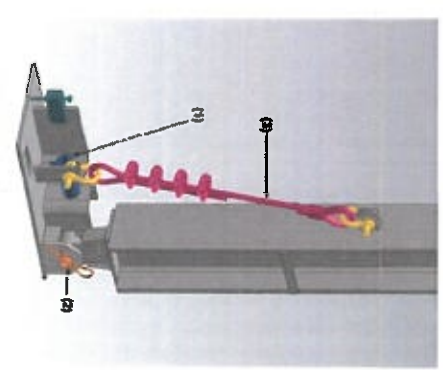
HARO, KASUNICH AND ASSOCIATES, INC.
CONSULTING CIVIL, GEOTECHNICAL & COASTAL ENGINEERS
110 EAST LAKE AVE., WATSONVILLE, CA 95076 (831) 722-4175

Date	8-5-2017
Scale	AS SHOWN
Owner	MFF
Asst.	
Sheet	5
OF 10 SHEETS	

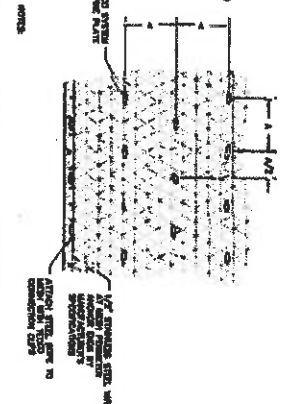
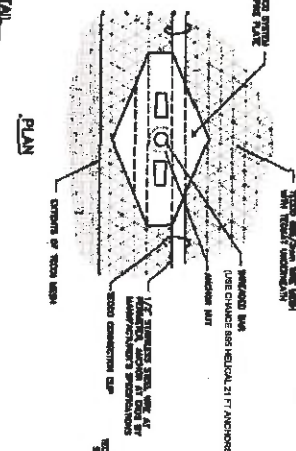
GEOBRUGG SL-150 DEBRIS FENCE DETAILS



Base plate and overturn securing rope



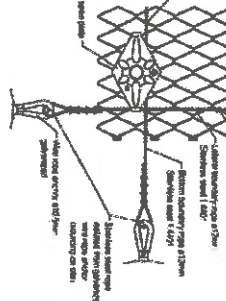
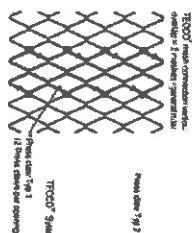
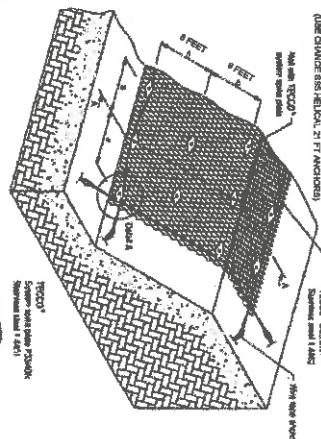
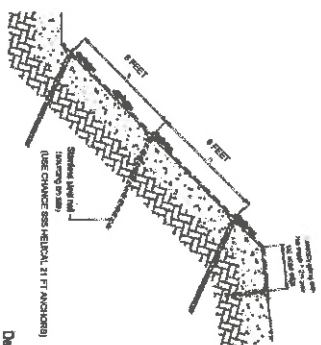
NOTE:
Full Safety Regional Manager of Geobruigg North America, LLC
has approved use of a vertical wall for this project

[illegible]

NOTES

1. CONTRIBUTION TO ECONOMIC GROW AND ECONOMIC DEVELOPMENT ON SITE FROM THE DIVERSITY OF THE ENVIRONMENT, THE LAND, THE PEOPLE AND THE CULTURE AND THE IMPROVEMENT OF ECONOMIC, SOCIAL AND ENVIRONMENTAL CONDITIONS.
2. TO IMPROVE ECONOMIC GROW AND ECONOMIC DEVELOPMENT ON SITE FROM THE DIVERSITY OF THE ENVIRONMENT, THE LAND, THE PEOPLE AND THE CULTURE AND THE IMPROVEMENT OF ECONOMIC, SOCIAL AND ENVIRONMENTAL CONDITIONS.
3. TO IMPROVE ECONOMIC GROW AND ECONOMIC DEVELOPMENT ON SITE FROM THE DIVERSITY OF THE ENVIRONMENT, THE LAND, THE PEOPLE AND THE CULTURE AND THE IMPROVEMENT OF ECONOMIC, SOCIAL AND ENVIRONMENTAL CONDITIONS.

GTPAS Section A-A



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GEORGIA PAC CH-2000 Chemically COMBUSTOC	TECO® 6653 Stainless System drawing	Model/Item 6653 6653	Made in U.S.A. Manufactured by GE-10136 and 22,091 IS
GE-10136	Part 07 12 16 07 12 16 07 12 16 07 12 16 07 12 16	Part 07 12 16 07 12 16 07 12 16 07 12 16 07 12 16	Part 07 12 16 07 12 16 07 12 16 07 12 16 07 12 16

CONDORACIO SILVEIROS
* ESTADÍSTICA DE INFLUENCIA

2. PRIOR TO CLOSING THE CONTRACT, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER FOR REVIEW AND APPROVAL THE FOLLOWING ESTIMATES:

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SPECIFICATIONS

1. What are the similarities and differences between the two systems?
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WASH. PRODUCE BOARD
ALLEGES AT AGRICULTURE

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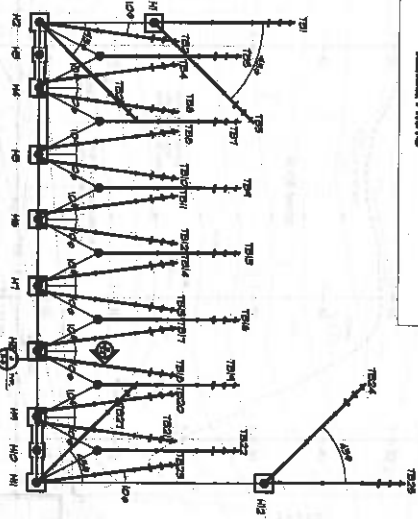
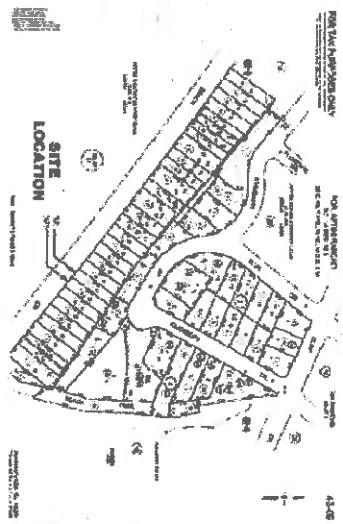
Drawn	7	OF 10 SHEETS	Date 04-03-17 Title AB 910101N Drawn MF HARO, KASUNICH AND ASSOCIATES, INC. CONSULTING CIVIL, GEOTECHNICAL & COASTAL ENGINEERS 110 EAST LAKE AVE., WATSONVILLE, CA 95076 (831) 722-4175	SLOPE REINFORCEMENT SYSTEM DETAILS DEBRIS IMPACT & CATCHMENT WALL SYSTEM 373 & 375 EACH DRIVE, APTOS, CA 95003 APN: 043-095-16 & -17	REVISIONS 01
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SEPTEMBER 4, 2018
DEBRIS IMPACT & CATCHMENT WALL SYSTEM
AERIAL PHOTO



SEPTEMBER 11, 2018
DEBRIS IMPACT & CATCHMENT WALL SYSTEM
AERIAL PHOTO



LEGEND

1. N/A AS CHAINED STEEL HELIX ANCHOR, PILE, 18" O.D. ON DETACHED GEOTECHNICAL ENGINEER, IN THE FIELD DURING DRILLING

2. VERTICAL HELIX PILE NUMBER

3. THE BLACK NUMBER AND TIEBACK X 25'-0" MIN. RIG LENGTH ON DETACHED GEOTECHNICAL ENGINEER, IN THE FIELD DURING DRILLING

DEBRIS IMPACT & CATCHMENT WALL SYSTEM

SCALE: 1/8" = 1'-0"

S-1

DEBRIS IMPACT & CATCHMENT WALL SYSTEM

373 BEACH DRIVE

APTOS, CA 95003



Consulting Engineers, Inc.
Analytical & Design
FACILITY & DESIGN
1000 N. 1ST AVE.
APTOS, CA 95003
TEL: 831.426.1111
FAX: 831.426.1112
WWW.CONSULTINGENGINEERS.COM



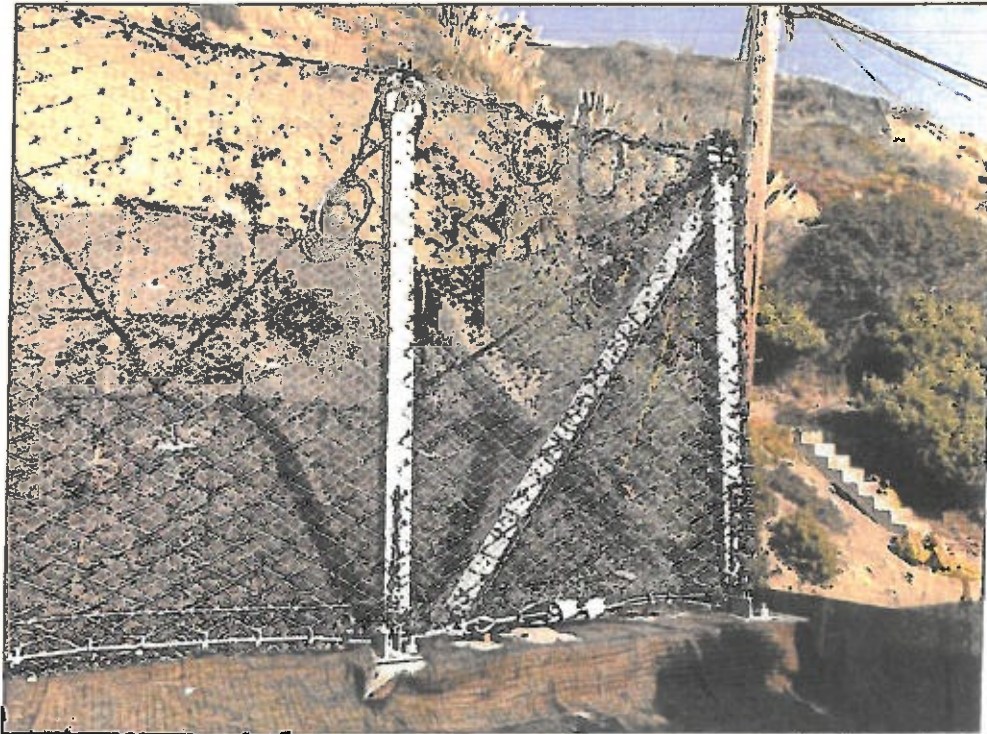
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Project No. SC11077.3 & .5
373 & 375 Beach Drive
11 January 2019

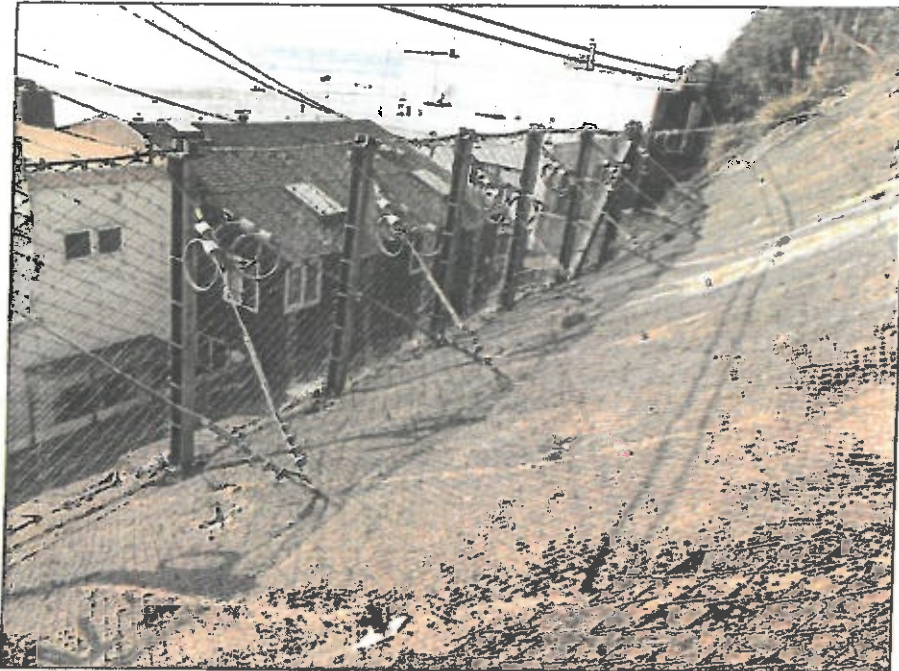


*Photo Point - 1: View of debris wall (panoramic view) from down coast side
(15 November 2018)*

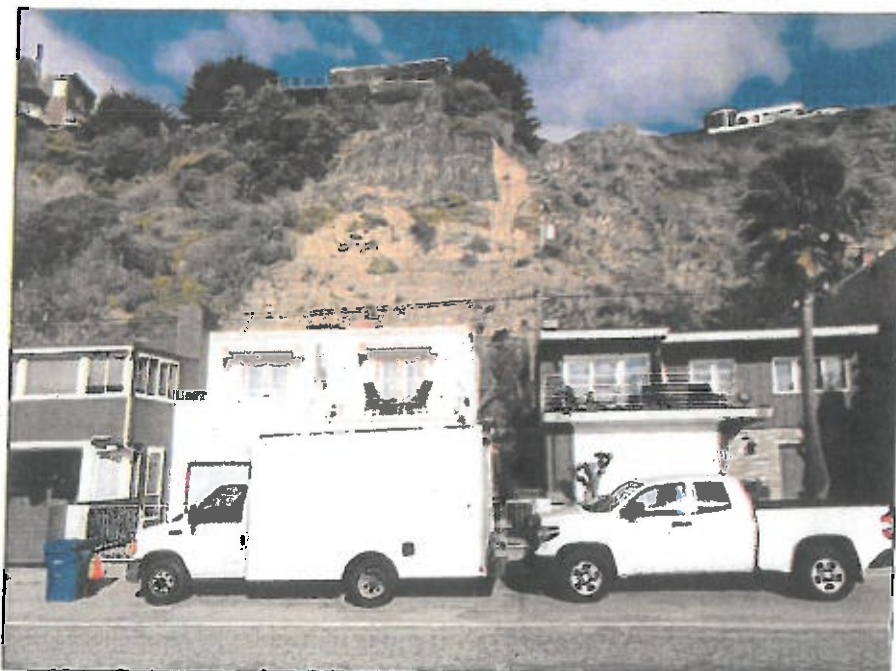


*Photo Point - 2: View of debris wall looking at down coast wing wall
(15 November 2018)*

Project No. SC11077.3 & .5
373 & 375 Beach Drive
11 January 2019



*Photo Point - 3: View of debris wall and Tecco mesh from down coast wing wall
(15 November 2018)*



*Photo Point - 4: View of debris wall taken from down coast end at seaward side of
Beach Drive (4 January 2019)*

Project No. SC11077.3 & .5
373 & 375 Beach Drive
11 January 2019

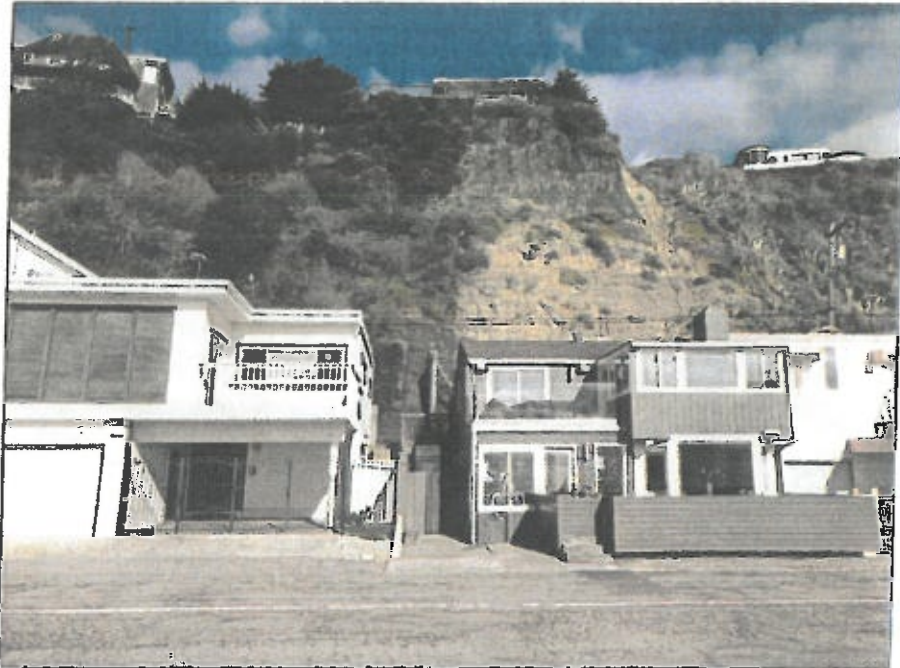


Photo Point - 5: View of debris wall taken from up coast end at seaward side of Beach Drive (4 January 2019)

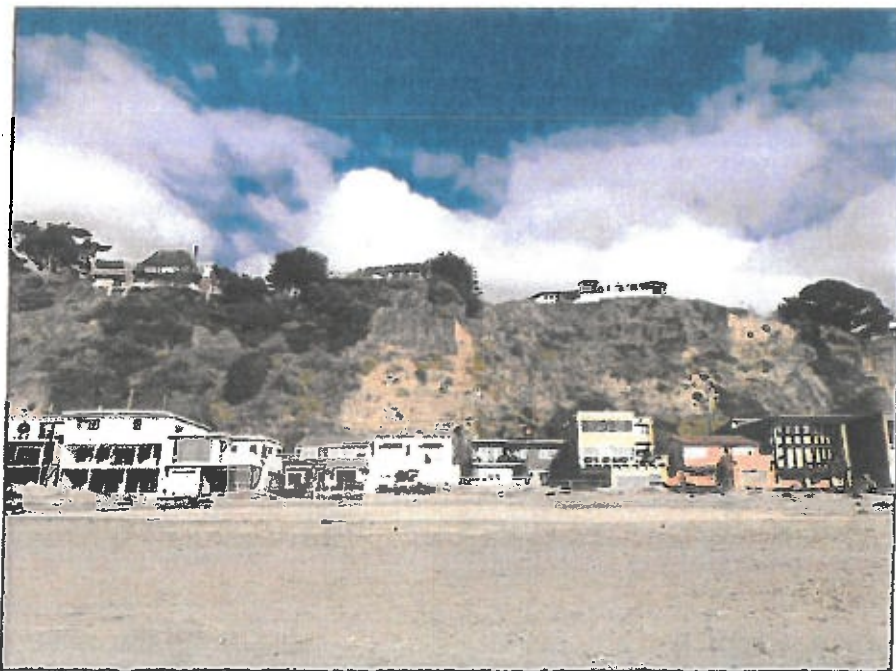


Photo Point - 6: View of debris wall taken from down coast end at water edge (4 January 2019)

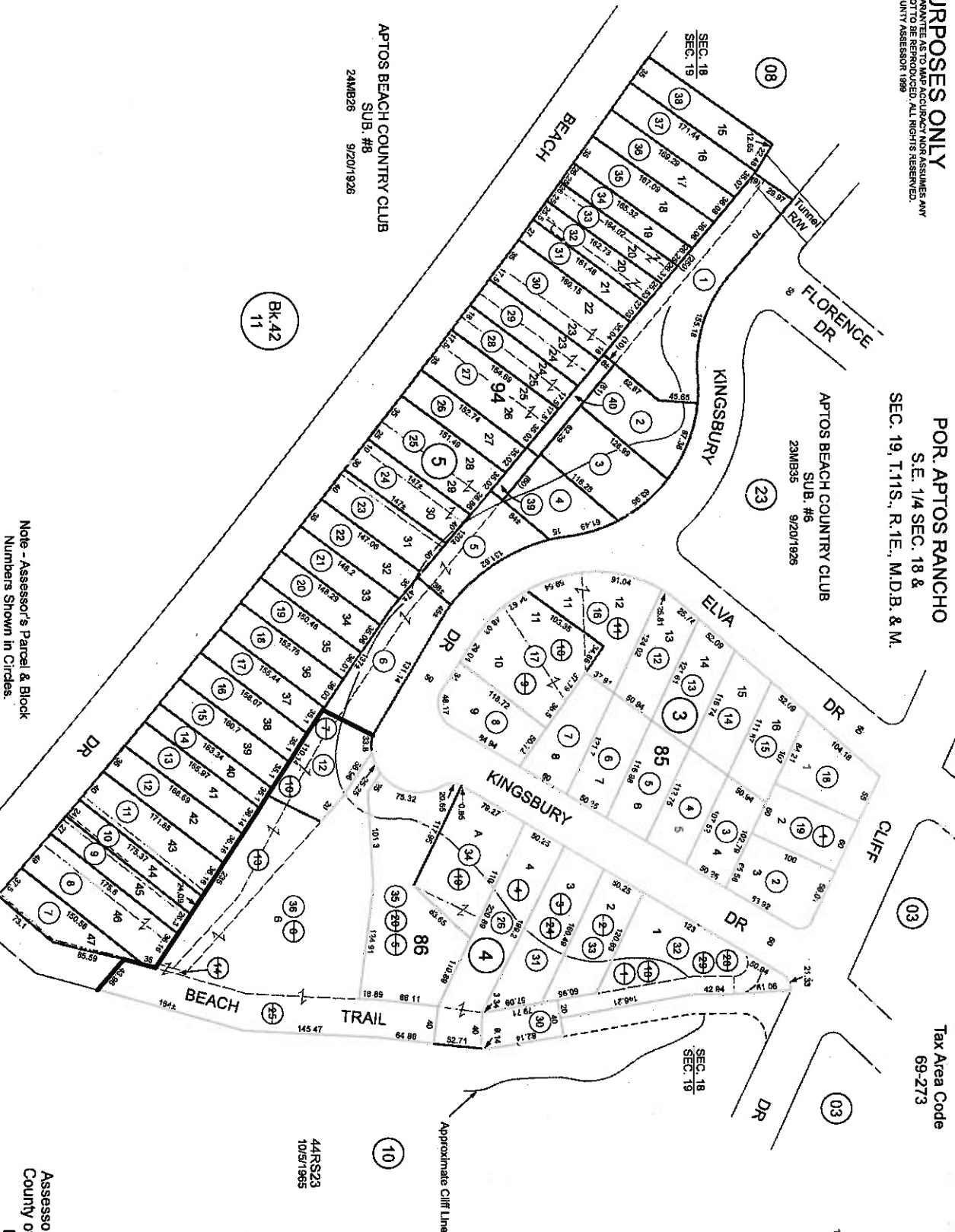
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POR. APTOS RANCHO
 S.E. 1/4 SEC. 18 &
 SEC. 19, T.11S., R.1E., M.D.B. & M.

Tax Area Code
 69-273

43-09

Electronically Redrawn 2/10/99 rw
 Rev. 2/10/99 (Por. to pg. 23) rw
 Rev. 5/4/99 CB (Added MIB ref's)
 Rev. 5/6/00 CB (Added Bk line)
 Rev. 5/25/01 mmv (changed page refs.)
 Rev. 12/10/02 CB (2-0088225, Sp 4-32 & 33)
 Rev. 3/31/05 DO (4-0069640, lba 4-34 & 35)
 Rev. 6/3/15 AR (14-0019936, comb. 4-36)

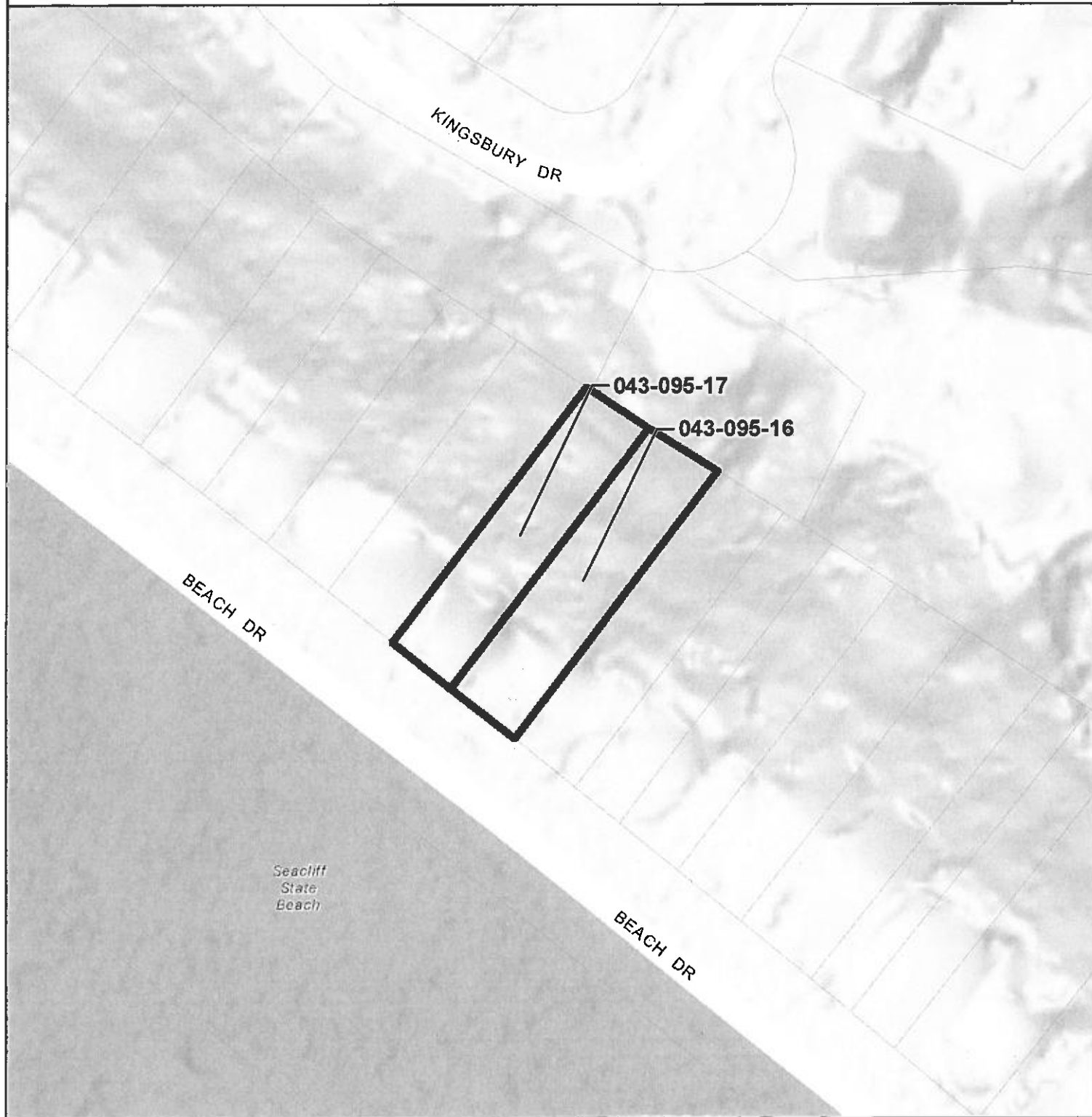


Note - Assessor's Parcel & Block
 Numbers Shown in Circles.

Assessor's Map No. 43-09
 County of Santa Cruz, Calif.
 Feb. 1999



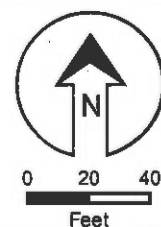
Parcel Location Map



Parcel: 04309516,04309517

- Study Parcel
- Assessor Parcel Boundary
- Existing Park

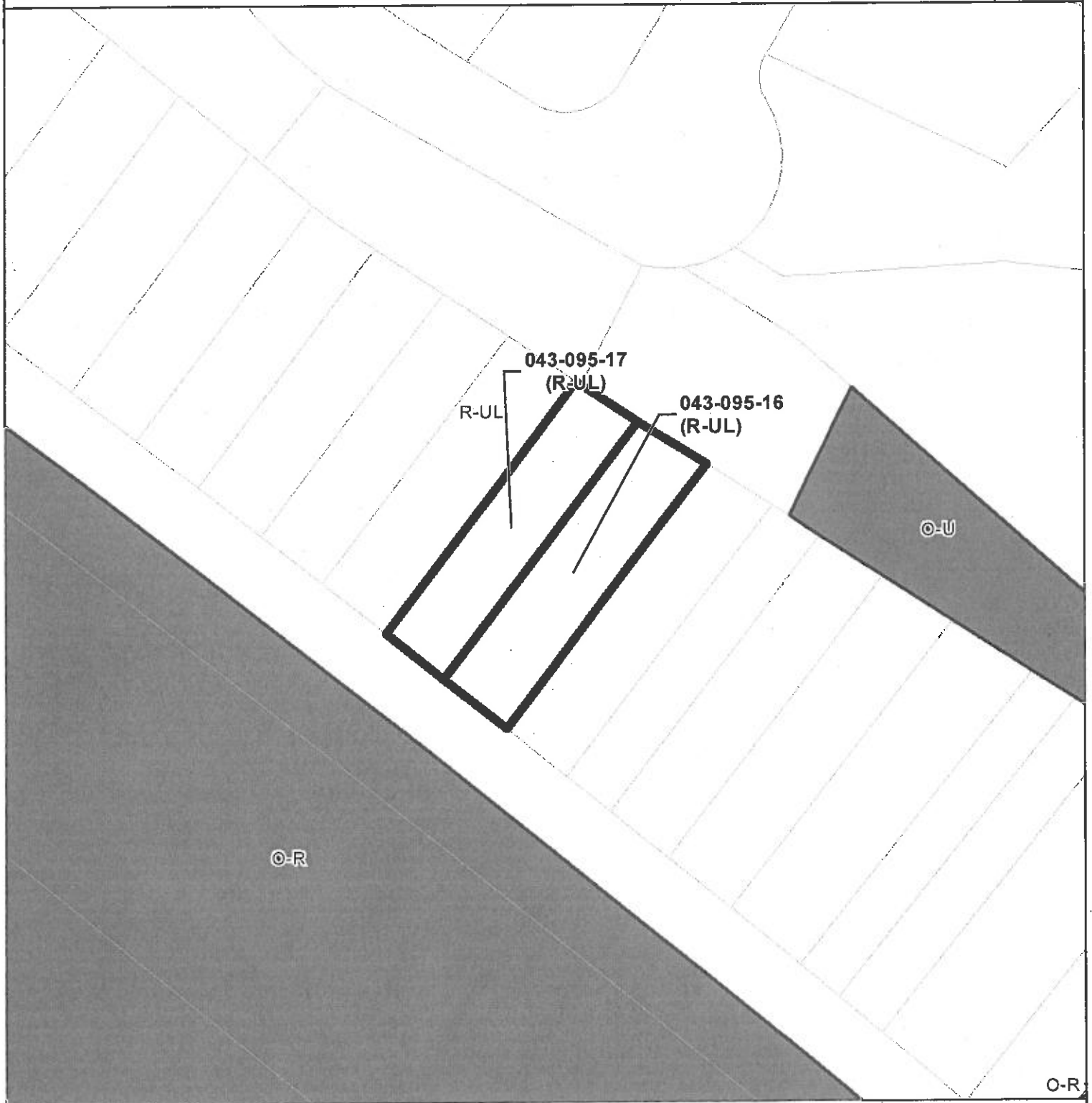
Map printed: 24 Apr. 2019






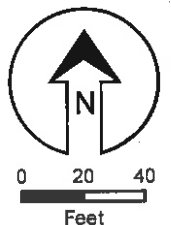


SANTA CRUZ COUNTY PLANNING DEPARTMENT

Parcel General Plan Map



-  O-R Parks, Recreation & Open Space
-  O-U Urban Open Space
-  R-UL Res. Urban Low Density





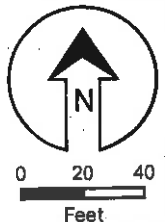


SANTA CRUZ COUNTY PLANNING DEPARTMENT
Parcel Zoning Map

Mapped
Area



-  PR. Parks, Recreation, & Open Space
-  R-1 Single-Family Residential





COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
KATHLEEN MOLLOY PREVISICH, PLANNING DIRECTOR

10 October 2017

Dee Murray
2272 Kinsley Street
Santa Cruz, CA 95062

Subject: Review of the Geotechnical and Geologic Investigation for a Bluff Face Debris Impact Wall at 373, 375 and 377 Beach Drive (APNs 043-095-17, -16 and -15), dated 26 September 2016, Project No. SC11077; and the Addendum to September 2016 Geotechnical Investigation for Bluff Face Impact Wall at 373 and 375 Beach dated 12 September 2017 - Project No. SC11290

Project Site: 373 and 375 Beach Drive
APNs 043-095-17 and -16
Application No. REV171106

Dear Applicant,

The purpose of this letter is to inform you that the Planning Department has conditionally accepted the subject reports with the following exception:

1. The shallow hand auger subsurface exploration and single direct shear test completed for the 26 September 2016 subject report does not appear sufficient for design and construction of the project consisting of an 11 feet high debris flow net barrier spanning two parcels. Without the benefit of Standard Penetration Testing blow counts, it is not clear in reviewing the boring logs if and where the Purisima sandstone bedrock was encountered.

The direct shear test results at 9 feet below grade at boring location B-1 yielded a phi angle of 34° and cohesion of 87 pcf. The report recommends a relatively high passive earth pressure of 700 pcf over 2.5 pier diameters be used within the bedrock.

We recognize an emergency situation exists at the project site and a debris flow net barrier system is needed before the winter rainy season to protect the two residences. We are approving the subject report on the condition that the top of the Purisima sandstone bedrock be established by either exposure from excavation or Standard Penetration Testing, before construction begins. At least one exploratory pit or limited access exploratory boring with Standard Penetration Testing should be performed along the proposed wall alignment at each project parcel.

Please notify either Rick Parks at (831) 454-3168 or Joe Hanna at (831) 454-3175 at least three work days before the scheduled excavation/drill date to confirm the top of the Purisima sandstone bedrock;

2. All project design and construction shall comply with the recommendations of the reports;

Review of the Geotechnical and Geologic Investigation for a Bluff Face Debris Impact Wall at 373, 375 and 377 Beach Drive (APNs 043-095-17, -16 and -15), dated 26 September 2016, Project No. SC11077; and Addendum to September 2016 Geotechnical Investigation for Bluff Face Impact Wall at 373 and 375 Beach dated 12 September 2017 - Project No. SC11290

APNs 043-095-17 and -16

10 October 2017

Page 2 of 3

3. Final plans shall reference the reports by titles, author, and dates. Final Plans should also include a statement that the project shall conform to the reports' recommendations; and
4. After plans are prepared that are acceptable to all reviewing agencies, please submit a completed Soils (Geotechnical) Engineer Plan Review Form to Environmental Planning. The author of the soils report shall sign and stamp the completed form. Please note that the plan review form must reference the final plan set by last revision date. Any updates to reports recommendations necessary to address conflicts between the reports and plans must be provided via a separate addendum to the soils report.

Electronic copies of all forms required to be completed by the Geotechnical Engineer may be found on our website: www.sccoplanning.com, under "Environmental", "Geology & Soils", "Assistance & Forms".

After building permit issuance the soils engineer must remain involved with the project during construction. Please review the Notice to Permits Holders (attached).

Our acceptance of the report is limited to its technical content. Other project issues such as zoning, fire safety, septic or sewer approval, etc. may require resolution by other agencies.

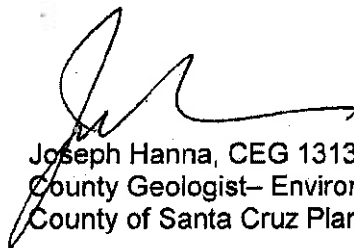
Please note that this determination may be appealed within 14 calendar days of the date of service. Additional information regarding the appeals process may be found online at: http://www.sccoplanning.com/html/devrev/plnappeal_bldg.htm

Please contact Rick Parks at (831) 454-3168/email: Rick.Parks@santacruzcounty.us or Joe Hanna at (831) 454-3175/Joseph.Hanna@santacruzcounty.us if we can be of any further assistance.

Sincerely,



Rick Parks, GE 2603
Civil Engineer – Environmental Planning
County of Santa Cruz Planning Department



Joseph Hanna, CEG 1313
County Geologist– Environmental Planning
County of Santa Cruz Planning Department

Cc: Environmental Planning, Attn: Antonella Gentile
Haro, Kasunich and Associates; Attn: John Kasunich, GE

Attachment: Notice to Permit Holders

Review of the Geotechnical and Geologic Investigation for a Bluff Face Debris Impact Wall at 373, 375 and 377 Beach Drive (APNs 043-095-17, -16 and -15), dated 26 September 2016, Project No. SC11077; and Addendum to September 2016 Geotechnical Investigation for Bluff Face Impact Wall at 373 and 375 Beach dated 12 September 2017 - Project No. SC11290
APNs 043-095-17 and -16
10 October 2017
Page 3 of 3

**NOTICE TO PERMIT HOLDERS WHEN A SOILS REPORT HAS BEEN PREPARED,
REVIEWED AND ACCEPTED FOR THE PROJECT**

After issuance of the building permit, the County requires your soils engineer to be involved during construction. Several letters or reports are required to be submitted to the County at various times during construction. They are as follows:

1. **When a project has engineered fills and / or grading**, a letter from your soils engineer must be submitted to the Environmental Planning section of the Planning Department prior to foundations being excavated. This letter must state that the grading has been completed in conformance with the recommendations of the soils report. Compaction reports or a summary thereof must be submitted.
2. **Prior to placing concrete for foundations**, a letter from the soils engineer must be submitted to the building inspector and to Environmental Planning stating that the soils engineer has observed the foundation excavation and that it meets the recommendations of the soils report.
3. **At the completion of construction**, a *Soils (Geotechnical) Engineer Final Inspection Form* from your soils engineer is required to be submitted to Environmental Planning that includes copies of all observations and the tests the soils engineer has made during construction and is stamped and signed, certifying that the project was constructed in conformance with the recommendations of the soils report.

If the *Final Inspection Form* identifies any portions of the project that were not observed by the soils engineer, you may be required to perform destructive testing in order for your permit to obtain a final inspection. The soils engineer then must complete and initial an *Exceptions Addendum Form* that certifies that the features not observed will not pose a life safety risk to occupants.