



Staff Report to the Zoning Administrator

Application Number: **191215**

Applicant: Marcus Franklin

Owner: Gabrael Franklin

APN: 106-011-21

Site Address: 620 Maymens Flat Road, Los Gatos (Santa Cruz County)

Agenda Date: 1/17/2020

Agenda Item #: 4

Time: After 9:00 a.m.

Project Description: Proposal to operate a 10,000 square foot, Class SU, outdoor cannabis cultivation facility with Class 1 Distribution (self-distribution) in the SU (Special Use) zone district on a site with an existing single-family dwelling. The cultivation includes two (2) 320 square foot temporary seasonal refrigerator trailers and one (1) 120 square foot storage shed. Requires a Commercial Development Permit and a determination that the project is exempt from further environmental review under the California Environmental Quality Act (CEQA).

Location: The property is located at the end of Maymens Flat Road (620 Maymens Flat Road), approximately one mile southwest of Summit Road, and then approximately 11 miles southeast of Highway 17 on Summit Road and Loma Prieta Way/Ave.

Permits Required: Commercial Development Permit

Supervisory District: 1st District (District Supervisor: John Leopold)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 191215, based on the attached findings and conditions.

Project Description & Setting

Setting

The subject property is located within the Summit Planning area in a remote and rural part of the County. The subject property is located approximately 12 miles southeast of Highway 17 and Summit Road in an area with very limited residential development. The property itself is located on a ridge, extending southwest from the Summit Road ridge. The subject property is located at the end of Maymens Flat Road, a dead-end road, and contains an existing single-family dwelling. The site is currently cultivated with cannabis adjacent to the existing single-family dwelling since prior to 2013. The Cannabis Licensing Office completed a Pre-License Inspection and a

Letter of Local Authorization for on-site cultivation was issued on September 6, 2018 until the use permit is authorized.

The parcel is mapped within a critical fire hazard and high State Responsibility Fire hazard area.

Project Detail

The proposed cultivation is limited to the 10,000 square feet of canopy within hoop houses, a 120 square foot non-habitable accessory structure for track and trace functions to meet State weighing requirements prior to transport off site (self-distribution), and two (2) 320 square foot temporary seasonal refrigerator trailers for harvest operations.

Staffing is limited to employees for tending eight hoop house gardens and one outdoor garden. The applicant proposes two full time resident-operators and otherwise proposes two to three seasonal employees for harvest operations. Three parking spaces are proposed adjacent to the dwelling.

At the request of staff, the applicant has provided a fire prevention program, incorporated into the Best Management and Operations Practices (Exhibit D- Project Plans) and employee safety training for all employees associated with the operation.

Permit Requirements

Pursuant to County Code Section 13.10.323, cannabis cultivation facilities located within the Special Use (SU) zoned district are subject to a Commercial Development Permit and a public hearing with approval by the Zoning Administrator.

Zoning & General Plan Consistency

The subject property is a 19-acre lot, located in the SU (Special Use) zone district, a designation which allows residential and small-scale agricultural uses. Cannabis cultivation is akin to a vineyard or other similar small-scale agricultural activity allowed in the SU district with exception of security requirements. The proposed cannabis cultivation use is an allowed use within the Special Use zone district and the project is consistent with the site's R-M (Mountain Residential) General Plan designation.

Key Regulatory Issues

Siting

The cultivation itself is located on a relatively flat portion of the site, immediately adjacent to the residence where active oversight and cultivation management can be accomplished by the property owner (residents of the dwelling).

The proposed employee parking, harvest shed, and harvest trailers are proposed adjacent to the residence where the residence parking is provided. No change to the driveway access width is proposed.

Notwithstanding, given critical fire hazard mapping, high State Responsibility Area fire hazard mapping, and vegetation surrounding the development, a fire management plan/clearing plan has been required and included in the BMOP to reduce the potential fire hazard and ensure that the facility operation, as limited as it is, does not pose a public health and safety issue for the larger community. The scope of vegetation management plan is required to be reviewed and approved by the fire agency prior to building permit issuance. In addition, BMOP includes fires safety training for all employees.

Conditions of approval are recommended to prohibit electricity to the single non-habitable shed, as well as a prohibition on camping, generators, and campfires in the cultivation area. Any power required for the weigh scale shall be provided by battery only.

As required by County Code, 13.10.650, the plans also include Best Management and Operational Practices (BMOP), which, among other topics, address irrigation and water conservation practices, operational practices, worker safety, pesticide use and storage, etc.

Canopy

The below table provides relevant information regarding the allowed and proposed cultivation activity. The proposed cultivation meets the code limits as shown.

Cultivation Canopy Allowance						
Zone District - License Type	Number of Licenses	Site Acreage	Maximum Outdoor Cultivation Canopy Allowance	Outdoor Cultivation Canopy Proposed	Indoor Cultivation Canopy Proposed	Total Canopy Proposed
SU - Class SU	Single License	19 acres	1.25 % of parcel, but not to exceed 10,000 square feet	10,000 square feet	N/A	10,000 Square feet

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the

California Environmental Quality Act.

- **APPROVAL** of Application Number 191215, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

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Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 191215

Assessor Parcel Number: 106-011-21

Project Location: 620 Maymens Flat Road, Los Gatos

Project Description: Proposal to operate a 10,000 square foot, Class SU, outdoor cannabis cultivation facility with Class 1 Distribution (self-distribution) in the SU (Special Use) zone district on a site with an existing single-family dwelling. The cultivation includes two (2) 320 square foot temporary seasonal refrigerator trailers and one (1) 120 square foot storage shed. Requires a Commercial Development Permit and a determination that the project is exempt from further environmental review under the California Environmental Quality Act (CEQA).

Person or Agency Proposing Project: Marcus Franklin

Contact Phone Number: (831) 431-0078

- A. _____ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. _____ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. _____ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. _____ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. X **Categorical Exemption**

Specify type: See below

F. Reasons why the project is exempt:

Class	Category	Description
Class 1	Existing Facilities	Consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. (Cal. Code Regs., tit. 14, §15301.)
Class 3	New Construction or Conversion of Small Structures	Consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. (Cal. Code

EXHIBIT A

		Regs., tit. 14, § 15303.)
Class 4	Minor Alterations to Land	Consists of minor public or private alterations in the condition of land, water, and/or vegetation which do not involve removal of healthy, mature, scenic trees except for forestry and agricultural purposes. (Cal. Code Regs., tit. 14, § 15304.)
Class 5	Minor Alterations in Land Use Limitations	Consists of minor alterations in land use limitations in areas with an average slope of less than 20%, which do not result in any changes in land use or density. (Cal. Code Regs., tit. 14, § 15305.)

In addition, none of the conditions described in Section 15300.2 apply to this project.

Sheila McDaniel, Project Planner

Date: _____

Commercial Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the cannabis cultivation would be in an area designated for cultivation. The parcel is approximately 19 acres in size and complies with the minimum 10-acre lot size required of the SU zone district for cultivation.

The Cannabis Licensing Manager reviewed the proposed project and recommends approval of the proposed security plan and Best Management and Operations Practices. The proposed cultivation is located a sufficient distance from legally established adjacent residential development sites and meets the required setbacks to sensitive receptors, limiting odor from the proposed cultivation; the facility has a security plan that has been reviewed and accepted by the County Sheriff's office. In addition, the project is limited in scope, facility improvements, and number of employees. Furthermore, the project, as designed and conditioned, and the conditions under which it would be operated, will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public. In addition, the use will not be materially injurious to properties or improvements in the vicinity. The project will not result in inefficient or wasteful use of energy.

All facility structures and improvements will be in proximity to the existing residence to ensure health and safety. As conditioned, including prohibiting camping, electricity, and campfires, as well as requiring employee safety training and a vegetation management plan around the facility operation, will ensure health and safety. All improvements will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the cannabis cultivation use and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the SU (Special Use) zone district and the proposed cannabis use meets all current site standards for the zone district and cannabis regulations. Furthermore, the project proposes a single structure located in the existing developed portion of the site, adjacent to the residence, and utilizes existing access and site infrastructure on site.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed cannabis cultivation use is consistent with the use and density requirements specified for the RM (Mountain Residential) land use designation in

the County General Plan. With the small scope of proposed project, security measures, as approved by the County Sheriff, and vegetation management and employee safety training, the proposed cultivation will be consistent with the General Plan policies to ensure public health and safety.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities, and will not generate more than the acceptable level of traffic on the streets in the vicinity.

Two full time employees (both living on site) and two to three seasonal employees are proposed. The expected level of traffic generated by the proposed project is not anticipated to be adversely impact existing roads or intersections in the surrounding area. Motion sensor lighting is proposed for operation.

Thus, the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the access to the site is located in remote area of the county in an area with very little surrounding development and located on a dead end roadway with existing gated access ensures public safety, and as further conditioned to meet the final review and approval by the County Sheriff prior to license issuance. The proposed cannabis cultivation use is an allowed use within the zone district. The scope of the operation is limited to full time employees living on site and two to three seasonal harvest employees and will not significantly modify the residential use of the site and will complement the rural area. The use provides a single small structure, and temporary harvest trailers located within the existing development area of the site for facility harvest operations and otherwise does not propose any additional development disturbance. As a result, the proposed use is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed use will be of an appropriate small scale and type of design that will not affect the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area.

Conditions of Approval

Exhibit D: Project Plans, prepared by Whitfield Architects, dated November 5, 2019

- I. This permit authorizes operation of a 10,000 square foot, Class SU, outdoor cannabis cultivation facility with Class 1 Distribution (self-distribution) in the SU (Special Use) zone district on a site with an existing single-family dwelling. The cultivation includes two (2) 320 square foot temporary seasonal refrigerator trailers and one (1) 120 square foot storage shed, as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, all construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Class CA Cultivation License from the Cannabis Licensing Office.
 - C. Obtain a Class 1 Distribution License from the Cannabis Licensing Office.
 - D. Obtain a Building Permit from the Santa Cruz County Building Official for site security lighting, security cameras, etc.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Cultivation License by the Cannabis Licensing Office:
 - A. The applicant shall obtain a Building Permit from the Planning Department and obtain final inspection clearance by all review agencies for each permit.
 - B. Meet all requirements of the Agricultural Commissioner, including:
 1. Obtain an Operator Identification Number (OIN) for pesticide application.
- III. Prior to issuance of a Building Permit (for harvest vehicle solar power drop, and any required security lighting) the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out

EXHIBIT C

and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:

1. A copy of the text of these conditions of approval incorporated into the full-size sheets of the architectural plan set.
 2. A copy of the preliminary Best Management and Operational Practices Plan (BMOP) incorporated into the full-sized sheets of the architectural plan set. The BMOP shall be revised to reflect cultivation between April 15th and October 31st.
 3. Building plans shall exclude the security plan sheet, as this is confidential to the Sheriff's Office.
- B. Obtain an Environmental Health Clearance from the County Department of Environmental Health Services to address, including,
1. All buildings plans shall include, sewage disposal systems (tanks, leach field and future 100% expansion), water well, roads, buildings and storage tanks.
 2. Provide a current pumpers report for existing sewage disposal system.
 3. Obtain a Waiver from the State Regional Water Quality Control Board (RWQCB) for approval of the water well groundwater use.
 4. Complete the County Agricultural Water Conservation Questionnaire.
 5. Obtain a Hazardous Materials Permit from the County Hazardous Materials (HM) Program prior to storing HM on site.
- C. Meet all accessibility requirements, including:
1. Obtain building permits for non-exempt work per Santa Cruz County Code 12.10.310.
 2. Exterior route details shall be provided to include slopes, widths, surface materials, and detectable warnings.
 3. accessible parking details to include slopes, striping and signage shall be provided. [CBC 11B-501]
 4. Any required ramps shall be detailed to include slopes, landings, curbs or guiderail, handrail and handrail extensions. [CBC 11B-405]
 5. Doors, doorways and gates shall be detailed. Include maneuvering clearances, threshold detail and hardware. [CBC 11B-404]

6. Complete and dimensioned details for restrooms shall be provided. Include fixture mounting heights, grab bars, maneuvering clearances, and door signage. [CBC 11B-603]
 7. Signs shall be detailed to include character size, sign location, and Type II Braille, as required. [CBC 11B-216]
- D. Meet all requirements of and pay Zone 7 drainage fees to the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area. Plans shall comply with the following requirements.
1. The proposed impervious area associated with this project shall be limited to the two 120 square foot sheds (labelled tool and distribution sheds) shown on the November 5, 2019 enlarged site plan.
 2. All hoop house covers shall be removed between October 31 - April 15 each year.
 3. All temporary trailers shall be removed between October 31 - April 15 each year.
 4. No additional impervious or semi-impervious (gravel, etc.) surfacing shall be installed on the project site without prior approval/permits from the County of Santa Cruz.
 5. Provide a Project Information and Threshold Determination form as shown in Appendix A of the June 2019 County Design Criteria.
- E. Meet all requirements of the Agricultural Commissioner, including, as required:
- A. Plans shall include a single pesticide storage site and shall provide a separate locker for each cultivator.
- F. Provide required off-street parking for 2 spaces for use and 3 for single family residence (as noted). Parking spaces must be 8.5 feet wide by 18 feet long. Parking must be clearly designated on the plot plan.
- IV. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.

- C. Should archaeological resources from either the pre-contact or historic period be encountered during construction related ground disturbance, operations shall stop within 50 feet of the find and a qualified professional archaeologist meeting the Secretary of the Interior Standards shall be called. The archaeologist shall be given enough time to assess the discovery for significance and to make recommendations for treatment. If a find is determined to be potentially significant, appropriate mitigation measures shall be formulated and implemented.
- D. If human burials are encountered, work shall stop within 100 feet of the find, and the County Coroner shall be notified immediately. If human remains are of Native American origin, the Coroner shall notify the Native American Heritage Commission within 24 hours. The Commission shall then notify the "Most Likely Descendant", who has 24 hours to make recommendations to the landowner for the disposition of the remains.
- E. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

V. Operational Conditions

- A. Prior to cannabis cultivation and related activities, the Grading Permit and Building Permit shall be finalized by the Building Official, including clearance of all agency holds, and the Cannabis License shall be issued by the Cannabis Licensing Office. Prior to issuance of cultivation or distribution license:
 - 1. The security plan shall be updated prior to licensing approval to ensure requirements of security plan (formatting, content, etc.) are documented. Additional cameras shall be required both inside and outside of the distribution building.
 - 2. Obtain an Operator Identification Number (OIN) for pesticide application, as required by the Agricultural Commissioner.
- B. The cultivation licensee shall maintain a valid state license, posted in a conspicuous location.
- C. Semi-trailers shall be powered by a permitted power source. Semi-trailers are prohibited from being powered by on-board generators, if they are utilized for storage (i.e., cannabis is stored within them overnight).

- D. All conditions of approval of this approval and the Cannabis Licensing Official shall remain in effect.
- E. All measures of the security plan as adopted by the Cannabis Licensing Office, per the Sheriff's Office, shall remain in effect.
- F. The following security measures shall be maintained:
 - 1. All required cannabis cultivation area security fencing shall be maintained.
 - 2. No advertising or signage is allowed that displays either in words or symbols the presence of cannabis on-site.
 - 3. Each employee shall receive training regarding the site's security plan.
- G. Hours of operation shall be limited to 7:00 a.m. and 7:00 p.m. seven days a week. Deliveries shall be limited to 7:00 a.m. and 7:00 p.m. seven days a week.
- H. The cannabis cultivation operation shall adhere to the best management operational practices per the approved plans.
- I. In the event that odor complaints are substantiated by the Monterey Bay Air Quality Control Board, the Licensing Official may reduce the canopy allowance associated with this use permit to minimize odor, as appropriate.
- J. There will be no on-site retail sales of cannabis products and the premises shall not be open to the public.
- K. This permit authorizes a maximum of one (1) cultivation licensee.
- L. Hoop house coverings and temporary harvest refrigeration trailers are only permitted on-site between April 15th to October 31st.
- M. The applicant/licensee shall submit documentation each year to the Public Works Department demonstrating that all temporary impervious areas, including hoop houses and trailers, are removed prior to October 31st each year. If removal of temporary impervious area does not occur then the areas shall be considered impervious and permit, fee, and mitigation requirements shall be addressed.
- N. Lighting provided within hoop houses shall include light deprivation curtains so that lighting used for cultivation does not escape the site between sunset and sunrise. A building permit for lighting shall be required.
- O. All employee vehicle parking, including full time, seasonal employees, and distribution and delivery parking associated with the operation shall be provided in designated parking areas, per approved plans.
- P. Refrigeration trailers shall comply with the noise standards of the General Plan at

the property line.

- Q. No processing of off-site product shall be permitted.
- R. Prior to placement of portable toilets for agricultural employees, an Environmental Health Agency Clearance shall be obtained.
- S. No camping, temporary generators, or campfires shall be permitted on site.
- T. The Fire Prevention Plan, including in the approved plans, shall be maintained throughout operations to ensure public health and safety.
- U. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- V. In the event that future County inspections of the subject property by the Cannabis Office or the Planning Department Office disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including use permit revocation.
- VI. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
 - A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
 - B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:

1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the County.
- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor'(s) in interest, transferee(s), and assign(s) of the applicant.
-

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) and cannabis license(s) are obtained for the primary structure and cannabis use described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, and to obtain the cannabis license, will void the development permit, unless there are special circumstances as determined by the Planning Director and Cannabis Licensing Official.

Approval Date:

Effective Date:

Expiration date:

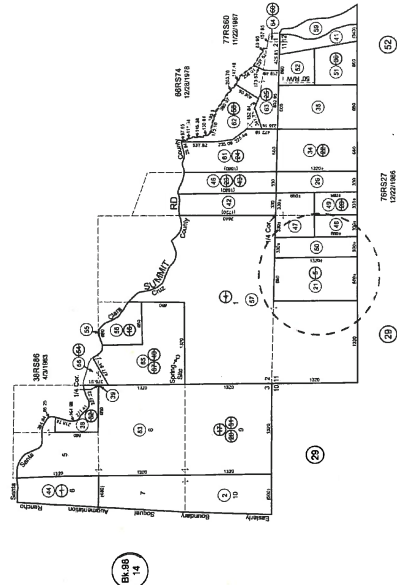
ASSESSOR'S MAP

FOR TAX PURPOSES ONLY

POR, SECS. 1,2,3,11 & 12, T.10S., R.1E., M.D.B. & M.

Tax Area Code

106-01



Note - Assessor's Parcel & Block Numbers Shown in Pink

Assessor's Map No. 106-01
County of Santa Cruz, Calif.
Feb 1998

PROJECT NARRATIVE

COASTVIEW CULTIVATORS PROGRAM STATEMENT

OVERVIEW

COUNTRYMAN CULTIVATORS PLANS TO CULTIVATE AND SELF-DISTRIBUTE CANNABIS AT 10-15 ACRE SITES IN THE NEAR FUTURE. THE COMPANIES' FIRST PROPOSED SITES IN 11 ACRE AREAS AND ITS "ONES-5V" WITH A GENERAL PLANT DESIGNATION OF 1-4-1.

IN ORDER TO PRESERVE AND ENHANCE THE AGRICULTURAL VIABILITY OF THE PROPERTY, CULTIVATION WILL BE SOIL-DEPENDENT AND IN RAISED BEDS. HARVESTED PRODUCE WILL BE STORED IN LOCKED TEMPORARY-USE MOBILE TRAILERS SPECIFICALLY DESIGNED FOR CANNABIS STORAGE. CANNABIS WILL BE GROWN IN A 10,000-SQ-FT SEPARATE SECURE TEMPORARY STRUCTURE (A DESIGNATED DISTRIBUTION OFFICE).

CANNABIS WILL BE PICKED UP BY LOCALIZED PROCESSORS AND/OR MANUFACTURERS OR WHEN OF STEIN A LICENSED DISTRIBUTION VEHICLE. SOLID WASTE WILL BE STORED IN A 10,000-SQ-FT SECURE TEMPORARY STRUCTURE (A DESIGNATED WASTE STORAGE AREA).

EMPLOYEES, WASTOKE AND OVERFLOW PARKING AREAS ARE DESIGNATED OUTSIDE PLANS AND. EMPLOYEES, WASTOKE AND OVERFLOW PARKING AREAS ARE DESIGNATED OUTSIDE PLANS AND.

CULTIVATION IS CLUSTERED ON EXISTING FLATS, REQUIRING VERY MINIMAL GRADING. THIS IS INTENDED TO REDUCE THE IMPACT OF THE OPERATION ON THE SITE AND SOILS AS MUCH AS IS REASONABLY POSSIBLE. THERE IS A PRIMARY RESIDENCE (KEYED ON A10 AND A11 S1) AND FOUR CULTIVATION AREAS LABELED (2), (3), (4) AND (5).

A THREE BEDROOM, TWO BATHROOM 1854 SQ FT SINGLE FAMILY HOME EXISTS ON THE SUBJECT PROPERTY. THE PROPERTY MANAGERS, MEGAN WHITES AND TBO, RESIDES FULL-TIME THEREWITHIN. RESIDENCE WILL SERVE CERTAIN AS AS ADDRESSED IN THE SECURITY PLAN.

CULTIVATION SITES:
AREA (2) WILL HAVE TWO 30'X20' HOOP-HOUSES TOTALING 2,320 SQ FT
AREA (3) WILL HAVE TWO 40'X20' HOOP-HOUSES TOTALING 5,600 SQ FT
AREA (4) WILL HAVE FOUR 50'X20' HOOP-HOUSES TOTALING 10,080 SQ FT
AREA (5) WILL BE A RECTANGULAR OUTDOOR GARDEN TOTALING 3,400 SQ FT
TOTAL GARDEN FOOTPRINT OF 17,420 SQ FT OF WHICH 57% IS CANOPY, 9,832 SQ FT OF CANOPY
AS DENOTED ON SHEETS A11 & A20.

CULTIVATION PLAN. Beds (1) and (2) will be cultivated with raised planter beds in temporary hoop structures. All hoop structure are 20 feet wide and will have (2) 4 wide by 10' deep raised beds (as shown on sheet A0). Seedlings acquired from licensed nursery will be sown directly into the raised planter beds and given 2.5 months to grow. The first round will be planted in early March and harvested in early June. The second round will be planted in early June and harvested in early August. The third round will be planted in early August and harvested in early October. The remaining two rounds will be planted in early November and early February. The remaining two rounds will be planted in early April and early May.

FIRE PREVENTION PROGRAM

RULES OF THE PAYOR ARE IMPLEMENTED HERE.

[illegible]

HAZARDOUS MATERIALS AND PESTICIDE STORAGE AREAS ARE NOTED ON THE SITE PLAN AND HANDLING REQUIREMENTS ARE OUTLINED IN THE BMOF

THE PROJECT CLUSTERS OPERATIONS ASSOCIATED WITH HARVEST ADJACENT TO THE RESIDENCE, IN KEEPING WITH BEST MANAGEMENT PRACTICES, THE APPLICANT PROPOSES THE REMOVAL OF EXISTING DECREEPT KIT-SHEDS LOCATED AT THE PROPOSED CULTIVATION AREA.

[illegible]

SINGLE OPERATOR DISTRIBUTION DETAILS:
THE DISTRIBUTION OFFICE IS A TEMPORARY STRUCTURE 10'X12' IN SIZE. DISTRIBUTION OFFICE
RESIDENTS AND SEASONAL WORKERS WILL RECEIVE FIRE PREVENTION TRAINING (E.G.,
PROHIBIT ALL SMOKING, SITE INSPECTIONS, ETC.) AS WELL AS TRAINING FOR EMERGENCY
PROCEDURES (EVACUATION PLAN).

SHALL BE EQUIPPED WITH SECURITY MEASURES SET FORTH IN THE ATTACHED SECURITY PLAN. HARVESTED CANNABIS FROM THE CULTIVATION SITE SHALL BE WEIGHED, LABELED AND STANDARDIZED IN THE DISTRIBUTION OFFICE. LICENSED PROCESSORS AND MANUFACTURERS SHALL PICK UP THE HARVESTED CANNABIS FROM THE DISTRIBUTION

OFFICE OR IT WILL BE DELIVERED TO LICENCED DISTRIBUTORS, MANUFACTURERS, PROCESSORS OR RETAILERS. ONLY PERMANENT RESIDENT EMPLOYEES WILL BE ALLOWED TO ACCESS THIS PORTION OF THE PROJECT.

[illegible]

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A99	SECTION DETAILS	10/05/99		
A00	SECTION DETAILS	10/05/99		

CONTACTS

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415.72.4279

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BOWMAN & WILLIAMS
JOEL REICA
3949 Research Park Court, Suite 100
Sequel, California 95072
Joel@bowmanandwilliams.com

GRANT LLP
30
AW@GMAIL.COM

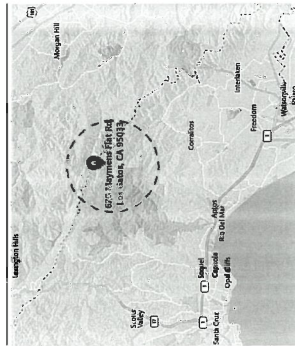
CRUIZ, CRUZ & ASSOCIATES, P.C.
ANTIA CRUZ, CA. 95042
@GMAIL.COM

NOT FOR CONSTRUCTION

APPLICABLE CODES

2001: SANTA CRUZ COUNTY CODE (SCCC)
2002: A Codification of the General Ordinances of Santa Cruz County, California
2003: SANTA CRUZ COUNTY CODE
2004: SANTA CRUZ COUNTY CODE
2005: AS ADOPTED BY THE COUNTY OF SANTA CRUZ 12.10.215CCC
2006: 10.10.37 SCCF Appendix A of the 2016 California Building Code Adopted
2007: CALIFORNIA MECHANICAL CODE
2008: AS ADOPTED BY THE COUNTY OF SANTA CRUZ
2009: CALIFORNIA ELECTRICAL CODE
2010: AS ADOPTED BY THE COUNTY OF SANTA CRUZ
2011: CALIFORNIA FIRE CODE
2012: AS ADOPTED BY THE COUNTY OF SANTA CRUZ
2013: CALIFORNIA ENERGY CODE
2014: AS ADOPTED BY THE COUNTY OF SANTA CRUZ
2015: CALIFORNIA GREEN BUILDING STANDARDS CODE

PROJECT VICINITY



PROJECT DATA

PLANNING INFORMATION	
BLOCK #X	#07
ZONING	R-16K (40'-0" LOT WIDTH)
AREA #	REQUIRED REAR SETBACKS (% OF L OT DEPTH)
LOT AREA X #	
PROJECT DESCRIPTION	
DISTRICT: 87 / BAY RESERVE	
ADDRESS: 1400 SQ FT AGRICULTURAL BUILDING	
USE: 1400 SQ FT BARN	
EXISTING USE: 1400 SQ FT HOUSE / JOBS & TRAILER	
TOTAL OUTDOOR CULTIVATION AREAS TOTALING APPROXIMATELY 4,000 SQ. FT.	
PHASES:	
DEMOLISH EXISTING AGRICULTURAL BUILDINGS	
ADD 4,000 SQ. FT. TEMPORARY GREENHOUSE ON EXISTING FLAT	
ADD 1,000 SQ. FT. TEMPORARY GREENHOUSE ON EXISTING FLAT	
ADD 1,000 SQ. FT. TEMPORARY GREENHOUSE ON EXISTING FLAT	

MAYMENS FLAT C.U.P.
620 Maymens Flat, Los Gatos, 95033
APN: 106-011-21

17-21

W

WHITFIELD
ARCHITECTS
3626 FOLSOM STREET
SF/CA 94110
415-724-6279

WHITFIELD-ARCHITECTS.COM

~ PLANNING SUBMITTAL ~

COVER SHEET

A01

DIRECTIONS TO PROPERTY

SANTA CRUZ
CALIFORNIA
TAKE CHESTNUT ST EXT TO CA-15
1/4 MI. S. ON CA-15
FOLLOW CA-15 N 1/4 SUMMIT RD IN LEXINGTON HILLS. EXT FROM CA-17N
1/4 MI. E. ON CA-17N
CONTINUE ON SUMMIT RD. TAKE OLGA PRIETA WAY
AND SUMMIT RD TO MAYMENS FLAT RD
1/4 MI. S. ON SUMMIT RD
30 MIN (12.5 MI)
430 MAYMENS FLAT RD
LOS GATOS, CA 95033
WINDMILL
CALIFORNIA
FOLLOW CA-15 AND SHOVEL SAN JOSE RD TO HIGHLAND WAY SUMMIT RD
35 MIN (12.5 MI)
27 MIN (8.4 MI)
430 MAYMENS FLAT RD
LOS GATOS, CA 95033
PROCEED TO DATE & CALL BOX

ZONING INFO

APN 106-011-21
ACRES 19.88
ASSESSOR USE CODE 642
ZONING SU
GEN PLAN R-4M
SU ZONING SETBACKS
13.16-321 (8) RR VALUES, 4 ACRES FRONT (407 SIDE (207 REAR) (207

SITE CANOPY CALCULATION

ALLOWED CANOPY AREA CALCULATION
APN# 106-011-21
CLASS SULLICENCE
COUNTY CODE SECTION 138 (UNINCORPORATED)
1/4 IN. OF PARCEL SIZE NOT TO EXCEED 10,000 SF.
88742 SF * 0.025 = 10,447 SF
10,000 SF CAP GOVERNS

SUMMARY TABLE

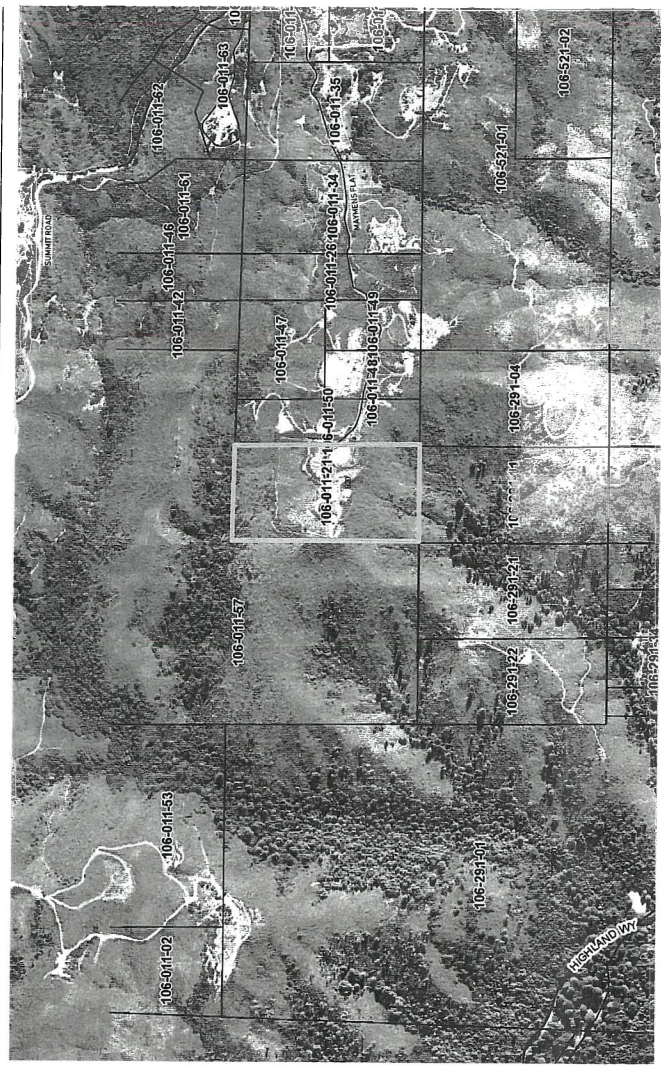
OWNER'S NAME	ASSESSOR'S PARCEL NUMBER	MARQUEE (FRANKLIN)
WATER UTILITY DIST	N/A	
SUNNY VALLEY DIST		
PHIL DISTRICT	CSA 48 CAL FIRE	
IMPERVIOUS AREA CALCULATION		
PROCESSED BY STRUCTURES AND/OR IMPERVIOUS SURFACING, PAVED ROADS/PAVING, ETC.		
STRUCTURES	15,800 SF	
PAVED ROADS	12,800 SF	
TOTAL IMPERVIOUS AREA (EST)	27,000 SF	
TOTAL PARCEL AREA	835,140 SF	
% COVERAGE	3.2%	

GRADING QUANTITIES
N/A

COMPLIANCE STATEMENTS

THE PROPOSED IMPERVIOUS AREA ASSOCIATED WITH THIS PROJECT SHALL BE LIMITED TO THE AMOUNT'S BY ENLARGED SITE PLAN.
2) ALL HOOP HOUSE COVERS SHALL BE REMOVED SEASONALLY EACH YEAR.
3) ALL TEMPORARY TRAILERS SHALL BE REMOVED FROM THE SITE SEASONALLY EACH YEAR.
4) NO ADDITIONAL IMPERVIOUS OR TEMPORARY IMPERVIOUS AREAS, ETC. ARE ALLOWED TO BE INSTALLED ON THE PROJECT SITE WITHOUT PRIOR APPROVAL PERMITS FROM THE COUNTY OF SANTA CRUZ.
5) THE APPLICANT/AGENCY SHALL SUBMIT DOCUMENTATION EACH YEAR TO THE COUNTY OF SANTA CRUZ, DEMONSTRATING THAT ALL TEMPORARY IMPERVIOUS AREAS, INCLUDING HOOP HOUSES, TRAILERS, ETC. HAVE BEEN REMOVED FROM THE PROJECT SITE. IF THE APPLICANT/AGENCY DOES NOT OCCUR THEN THE AREAS SHALL BE CONSIDERED IMPERVIOUS AND REMOVAL PERMITS AND REMEDIATION REQUIREMENTS SHALL BE ADDRESSED.

PARCELS FROM COUNTY GIS



WA
WHITFIELD
ARCHITECTS
3626 FOLSON STREET
SF/CA 94110
415-724-6279
WHITFIELD-ARCHITECTS.COM

MAYMENS FLAT C.U.P.
620 Maymens Flat, Los Gatos, 95033
APN: 106-011-21

NOT FOR CONSTRUCTION
P.L.S. DO NOT DISTRIBUTE

11/05/19

PROPERTY
INFORMATION
A02

PROPERTY REPORT

SANTA CRUZ COUNTY PARCEL INFORMATION DETAIL REPORT

[illegible][illegible][illegible]

ZONING REPORT

SANTA CRUZ COUNTY ZONING COUNTER BASIC INFO REPORT

GRADE INFORMATION		AND USE - CREDIT HOURS		HOURS - CREDIT HOURS	
000111	ENGLISH 101	3	3	000111	ENGLISH 101
000112	ENGLISH 102	3	3	000112	ENGLISH 102
000113	ENGLISH 103	3	3	000113	ENGLISH 103
000114	ENGLISH 104	3	3	000114	ENGLISH 104
000115	ENGLISH 105	3	3	000115	ENGLISH 105
000116	ENGLISH 106	3	3	000116	ENGLISH 106
000117	ENGLISH 107	3	3	000117	ENGLISH 107
000118	ENGLISH 108	3	3	000118	ENGLISH 108
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000166	ENGLISH 156	3	3	000166	ENGLISH 156
000167	ENGLISH 157	3	3	000167	ENGLISH 157
000168	ENGLISH 158	3	3	000168	ENGLISH 158
000169	ENGLISH 159				

FOCUS: LIVES. The paper will include data used in the study that have been obtained from very different sources. The structure of the book will be such that it will be of interest to a wide range of people, including those who are not directly involved in the project. The book will be a valuable addition to the literature on the topic and will be a useful reference for those who are interested in the topic. The book will be a valuable addition to the literature on the topic and will be a useful reference for those who are interested in the topic. The book will be a valuable addition to the literature on the topic and will be a useful reference for those who are interested in the topic.

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Date: 25-4-2015 08:28 hours[illegible][illegible][illegible]Page 4
 2025 RELEASE UNDER E.O. 14176

JULY CONTINGENCY	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
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WILDLAND - URBAN - INTERFACE NOTES

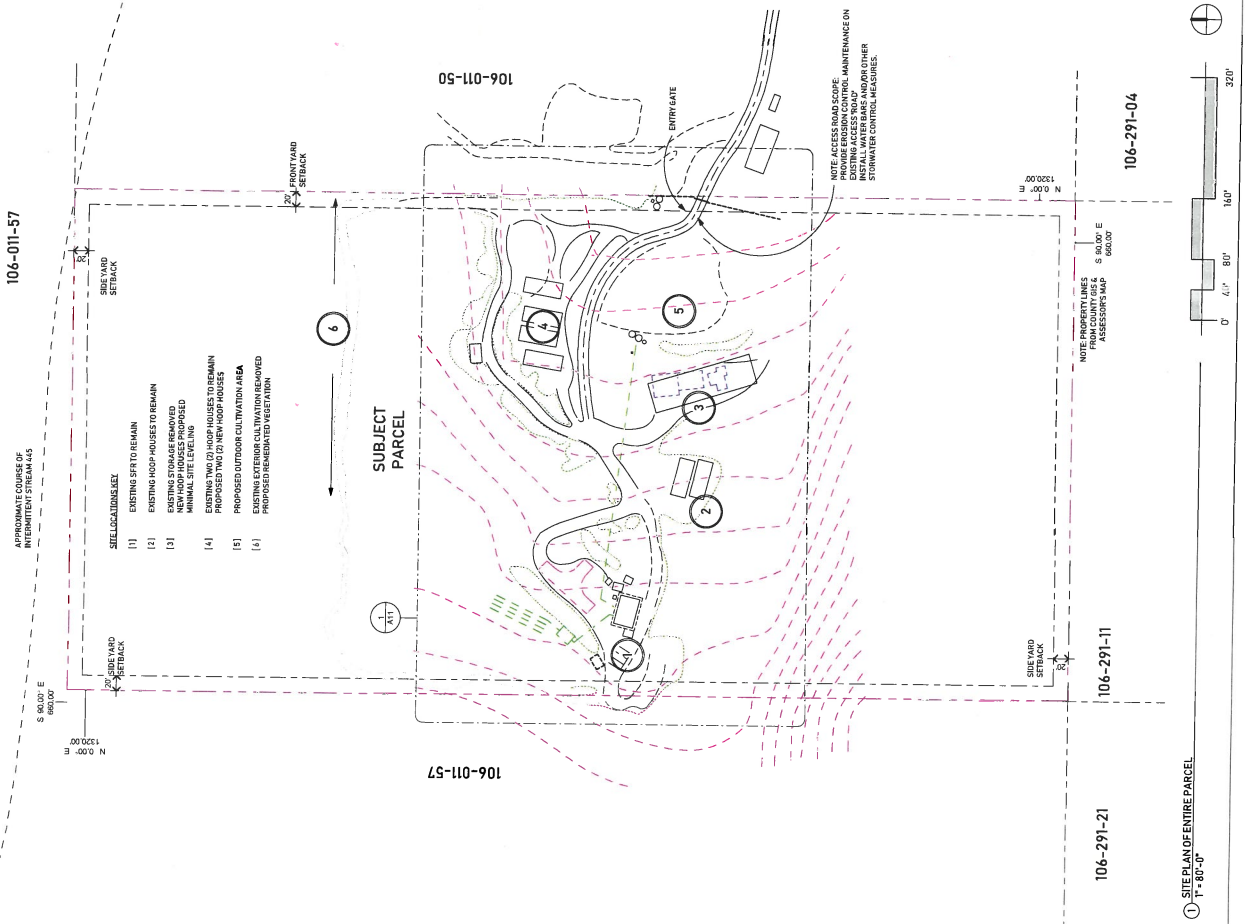
GENERAL NOTES

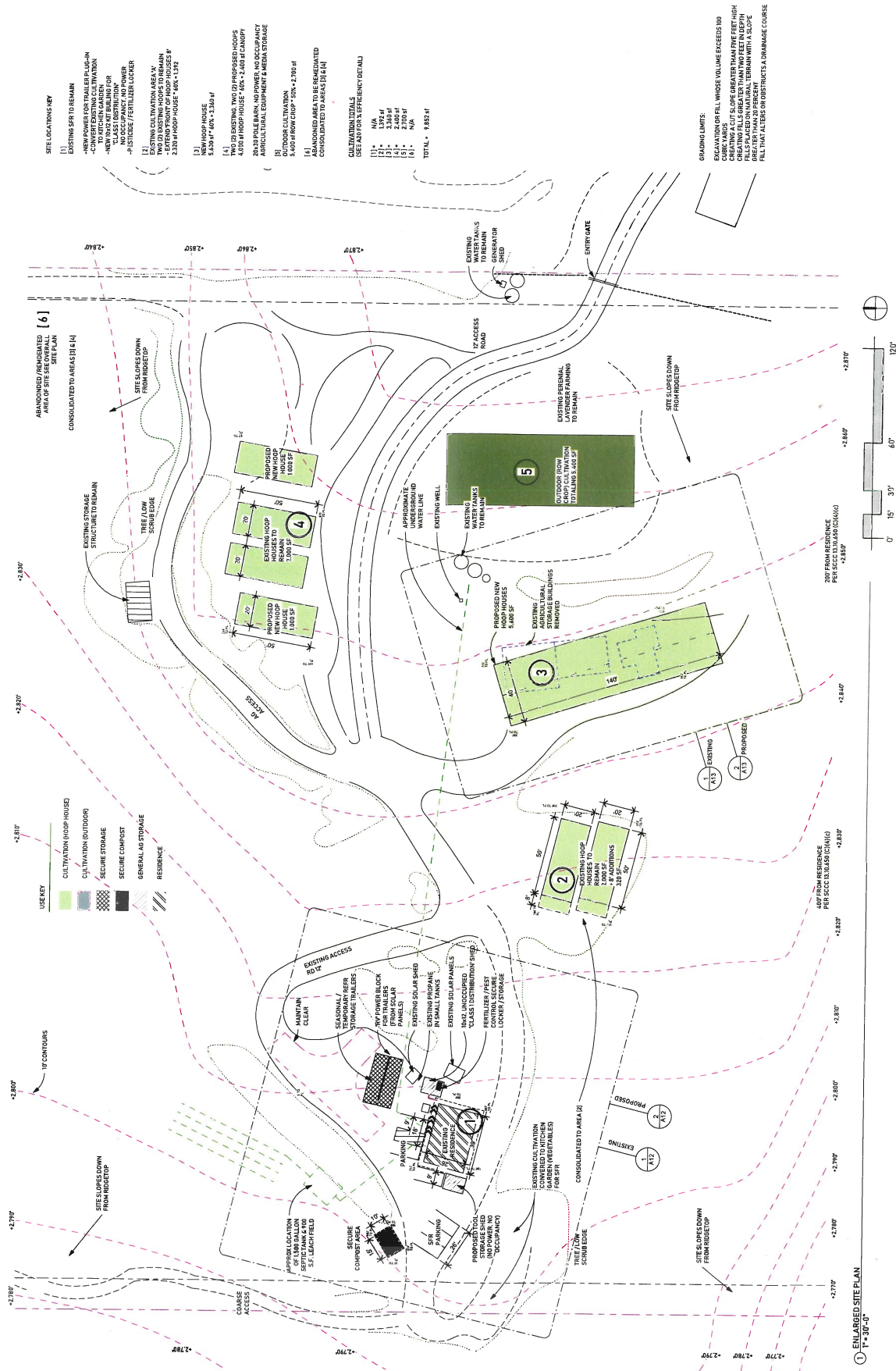
- ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENT CALIFORNIA BUILDING CODE (CBC) AND ALL OTHER CODES APPLICABLE AS REQUIRED BY THE LOCAL JURISDICTION. NOTHING WITHIN SHALL BE CONSTRUED TO VIOLATE CODE REQUIREMENTS.
- THIS PROJECT IS LOCATED IN A "V" ZONE AND SUBJECT TO ALL THE REQUIREMENTS OF CBC-327 FOR ALL NEW CONSTRUCTION.

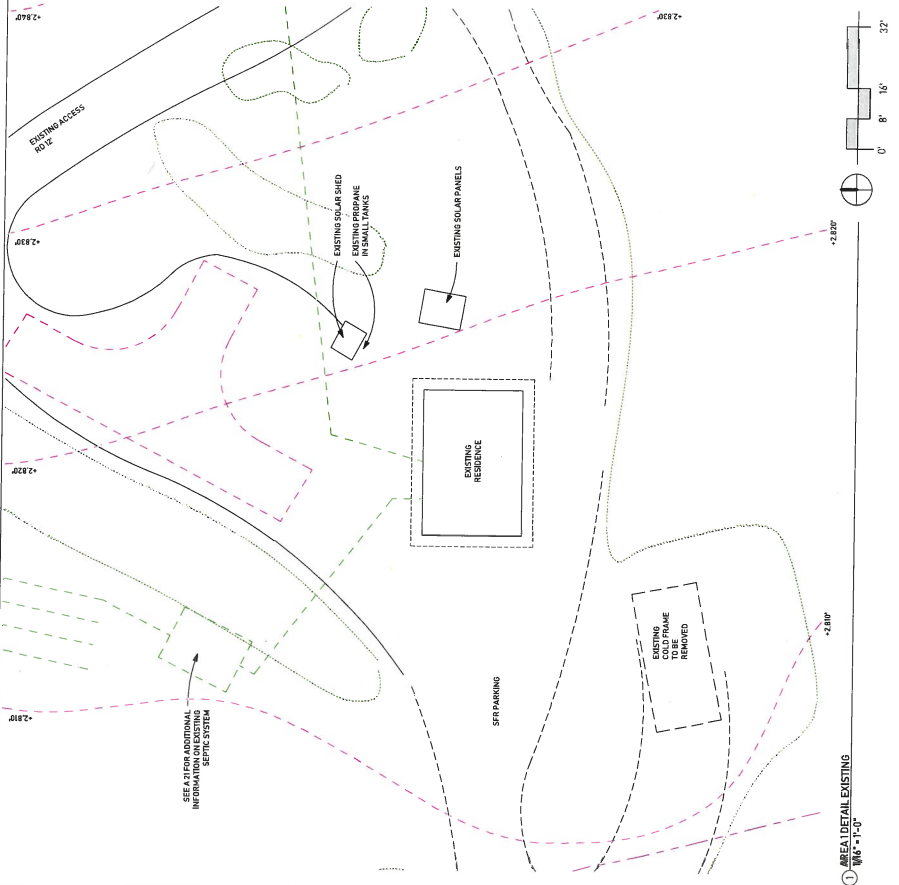
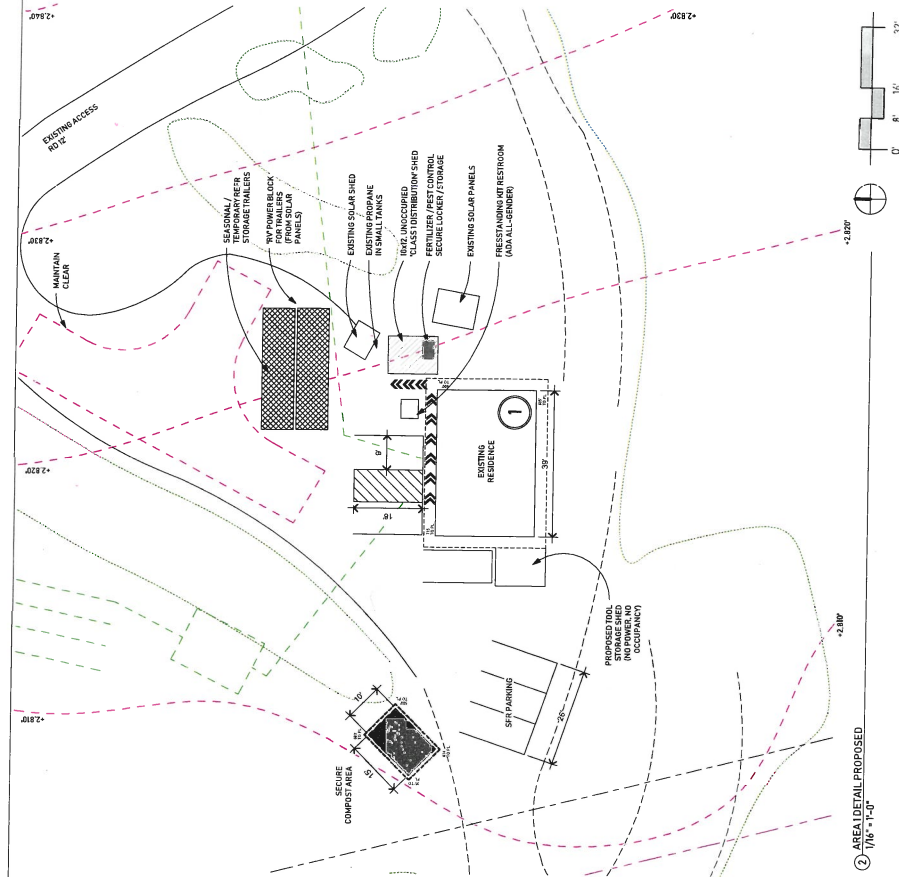
WILDLAND - URBAN - INTERFACE NOTES

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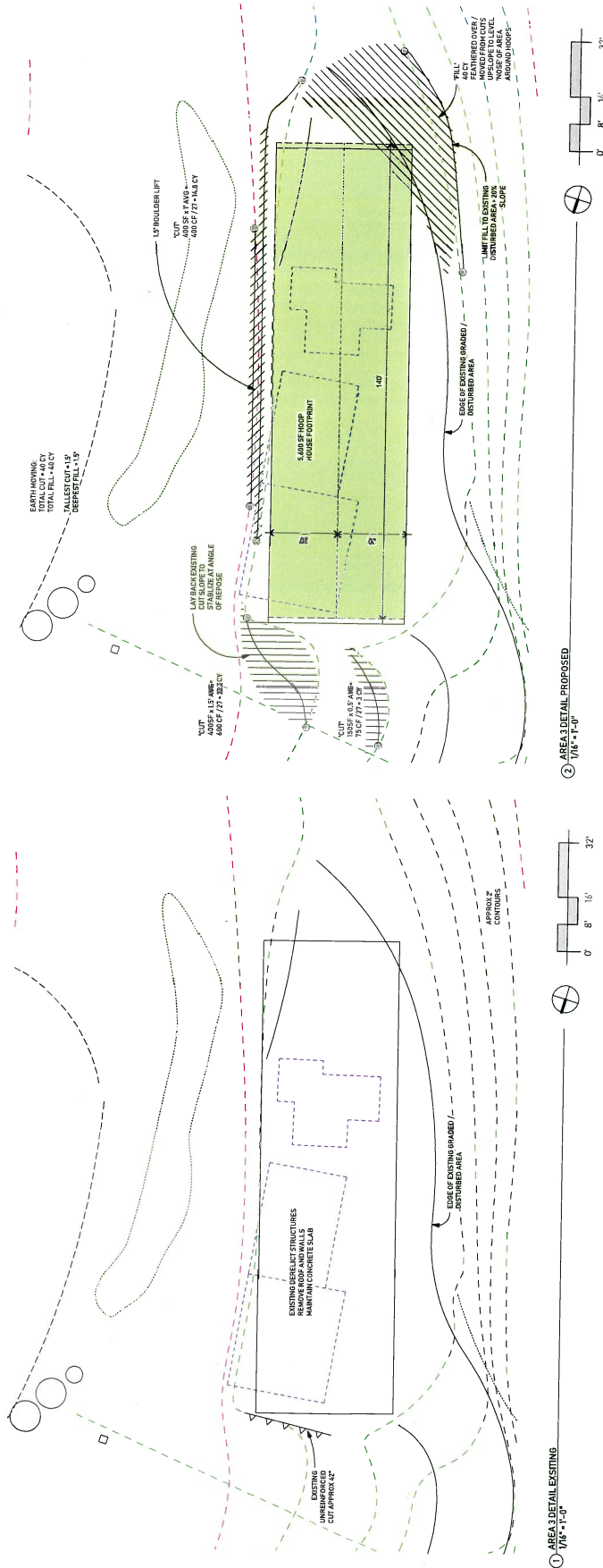


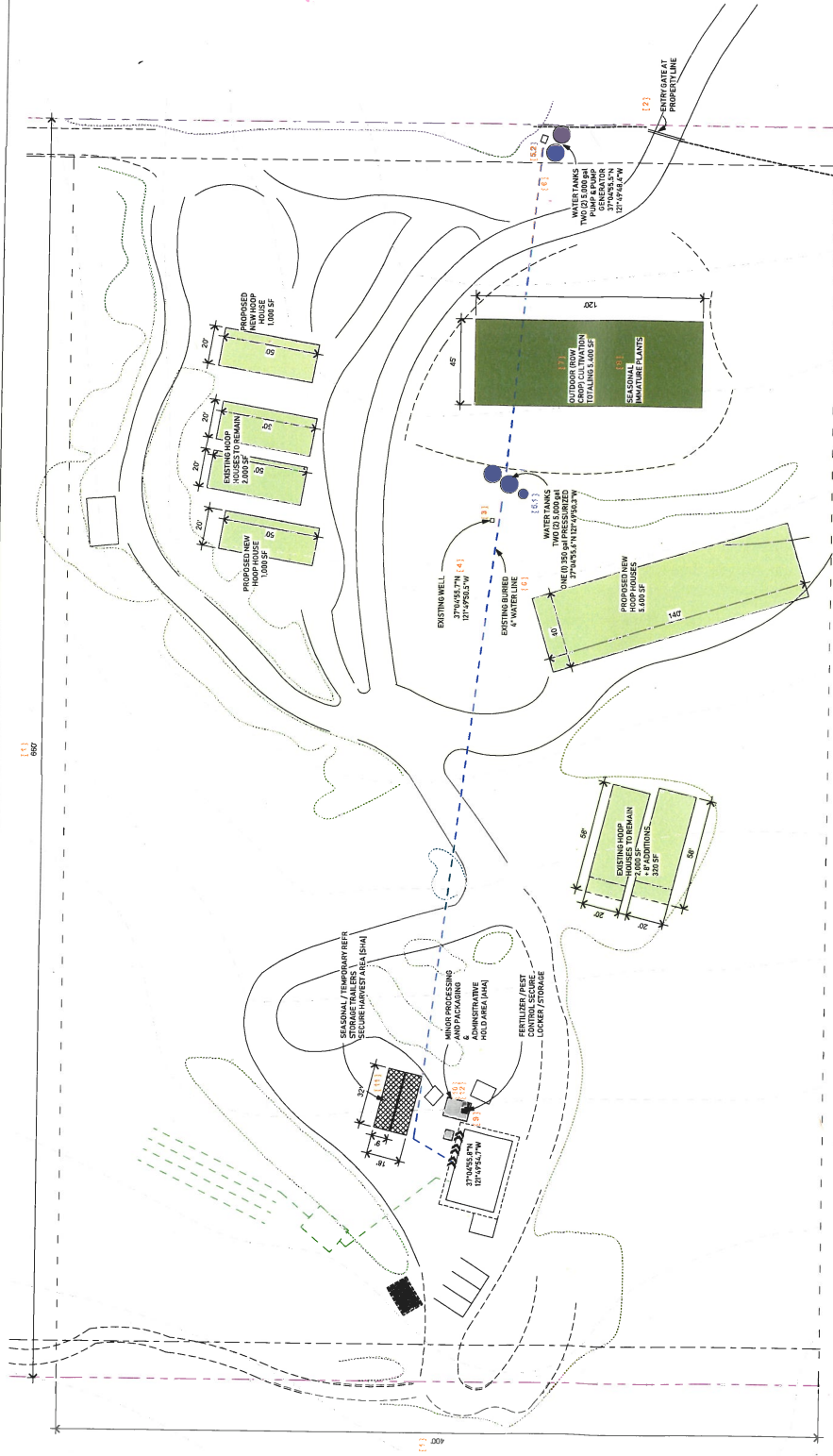




LEGEND

	PROPERTY LINE
	SETBACK LINES (PLANNING / CANNABIS)
	FENCING
	CULTIVATION: HOOP-HOUSES
	CULTIVATION: OUTDOOR
	SECURE WASTE AREA (SMA) - COMPOST
	SECURE HARVEST AREA (SHA) - TEMPORARY TRAILER
	ACCESSORY STRUCTURES - SHEDS / STORAGE
	ACCESSORY STRUCTURES - UNRELATED TO CULTIVATION
	ACCESSIBLE PATH OF TRAVEL COMPACTED & STABILIZED DECOMPOSED GRANITE W/ PERMEABLE COINGS





① PREMISES DIAGRAM
1" = 30'-0"

LEGEND

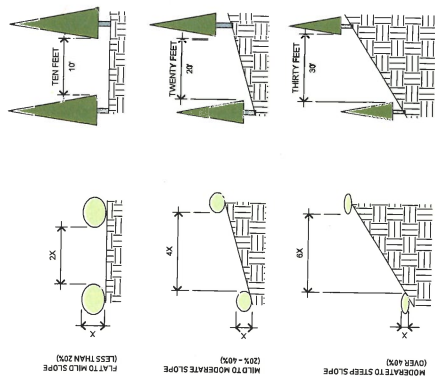
- PROPERTY LINE
- SETBACK LINES (PLANNING / CANNABIS)
- FENCING
- CULTIVATION: HOOP-HOUSES
- CULTIVATION: OUTDOOR
- SECURE WASTE AREA (SWA) - COMPOST
- SECURE WASTE AREA (SWA) - TEMPORARY TRAILERS
- ACCESSORY STRUCTURES - SHEDS / STORAGE
- ACCESSORY STRUCTURES - UNRELATED TO CULTIVATION
- ACCESSIBLE PATH OF TRAVEL
- COMPACTED & STABILIZED DECOMPOSED ORGANIC W/ FERTILIZABLE SOILS

KEY

- [1] PREMISES
620 Maymens Flat, Los Gatos, 95033
- [2] ACTIVE LATERAL OF SITE: 4867' 4867' 24,000-sf
- [3] ENTRY / EXIT TO THE PREMISES
- [4] LOCATION OF WELL
EXISTING WELL TO REMAIN
- [4-1] COORDINATES OF WELL
37°45'55.7"N 127°47'02.5"W
- [4-2] WATER TANK AREA No. 1
TWO (2) 3,000-gal PLASTIC ABOVE-GROUND TANKS
ONE (1) 300-gal PRESSURIZED PLASTIC ABOVE-GROUND TANK
- [4-3] WATER TANK AREA No. 2
TWO (2) 3,000-gal PLASTIC ABOVE-GROUND TANKS
PUMP & PUMP GENERATOR
- [4-4] WATER DISTRIBUTION
BURIED WATER LINES
- [7] DIMENSIONS OF THE OUTDOOR CANOPY
- [8] IMMATURE PLANTS
PLANTED SEASONALLY WITHIN THE OUTDOOR CULTIVATION AREA
- [9] PRELIMINARY STORAGE
PRELIMINARY STORAGE LOCKER (40' x 18' x 15')
- [10] PROCESSING PACKAGING
- [11] SECURE WASTE AREA (SWA)
LOCATED IN TEMPORARY STORAGE FOR IMMATURE PLANTS
- [12] ADMINISTRATIVE HOLD AREA (AHA)
LOCATED IN DISTRIBUTION-SIZED

ADDITIONAL COMPLIANCE NOTES

EPMS Number: 08568
Project Name: Santa Cruz Mountain Farm



2 FIRE PREVENTION - MIN HORIZONTAL CLEARANCE



SITE PLAN ZONE KEY

- | | |
|-----|---|
| [1] | EXISTING SFR TO REMAIN |
| [2] | EXISTING HOOP HOUSES TO REMAIN |
| [3] | EXISTING STORAGE REMOVED
NEW HOOP HOUSES PROPOSED
MINIMAL SITE LEVELING |
| [4] | EXISTING TWO (2) HOOP HOUSES TO REMAIN
PROPOSED TWO (2) NEW HOOP HOUSES |
| [5] | PROPOSED OUTDOOR CULTIVATION AREA |
| [6] | EXISTING EXTERIOR CULTIVATION REMOVED
PROPOSED REMEDIATED VEGETATION |

SITE PLAN LEGEND

- | | |
|---|---|
|  | PROPERTY LINE |
|  | SETBACK LINES (PLANNING / CANNABES) |
|  | FENCING |
|  | ZONE DEFENSIBLE AREA (50') |
|  | ZONE DEFENSIBLE AREA (50' - 100') |
|  | DRIVE VEGETATION MAINTENANCE ZONE (05' DIST.) |
|  | PERMANENT STRUCTURES (EXISTING AND PROPOSED) |
|  | SEASONAL / TEMPORARY ELEMENTS |

FIRE PREVENTION NOTES & CHECKLIST

REVIEW CONDITIONS OF THE PROPERTY ONCE A MONTH FROM JUNE TO DECEMBER TO VERIFY CONDITIONS ARE MAINTAINED.
IDENTIFY ANY AREAS NEEDING REMEDIATION AND MAKE AN IMMEDIATE PLAN FOR REMEDY

MAINTAIN EFFECTIVE DEFENSIBLE SPACE BY REMOVING, MODIFYING, OR THINNING HIGHLY IGNITABLE SHRUBS, TREES OR PLANTS AND OTHER FLAMMABLE MATERIALS FROM AREAS WITHIN 100 HORIZONTAL FEET OF STRUCTURES.

ZONE ONE: AREA WITHIN A 50 FOOT RADIUS OF ANY STRUCTURE, MUST BE MODIFIED TREATED AND PLANTED WITH FIRE RESISTIVE PLANTS

ZONE TWO: AREA BETWEEN 50 TO 100 FEET FROM THE STRUCTURE, NATIVE VEGETATION MAY REMAIN, BUT IT MUST BE THINNED BY 50% WHEN THE PARCEL IS COMPARED TO THE NATURAL WILDLAND SETTING ADJACENT TO IT. ALL DEAD AND DYING VEGETATION MUST

BE REMOVED, GRASS AND OTHER VEGETATION LESS THAN 18" IN HEIGHT ABOVE THE GROUND NEED NOT BE REMOVED WHEN NECESSARY TO STABILIZE THE SOIL AND PREVENT EROSION.

REMOVE ALL DEAD WOOD FROM TREES ADJACENT TO OR OVERHANGING A BUILDING.
REMOVE LIMBS FROM BOTTOM 1/3 OF TREE, UP TO A MAXIMUM OF 6 FEET ABOVE THE
GROUND, AND ALL LIMBS WITHIN 10 FOOT RADII OF THE CROWN OF THE CROWN OF THE

REMOVE DEBRIS FROM UNDER TREES.

COMPLIANCE NOTES

1. A 100-FOOT CLEARANCE SHALL BE MAINTAINED AROUND ANY BUILDING OR STRUCTURE TO PROTECT THE PUBLIC BY REMOVING ALL BRUSH, FLAMMABLE LIQUIDS, AND

**FIRE
PREVENTION
PLAN
DIAGRAM &
NOTES**

A15

WA

WHITFIELD
ARCHITECTS
8626 FOLSOM STREET
SF/CA 94110
415-724-6279

HITFIELD-ARCHITECTS.COM

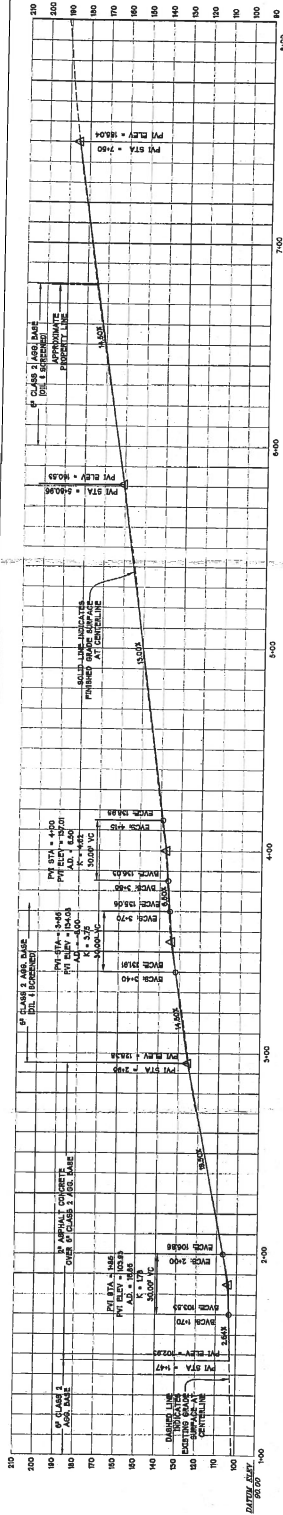
MAYMENS FLAT C.U.P.
620 Maymens Flat, Los Gatos, 95033
APN: 106-011-21

APN: 106-011-21

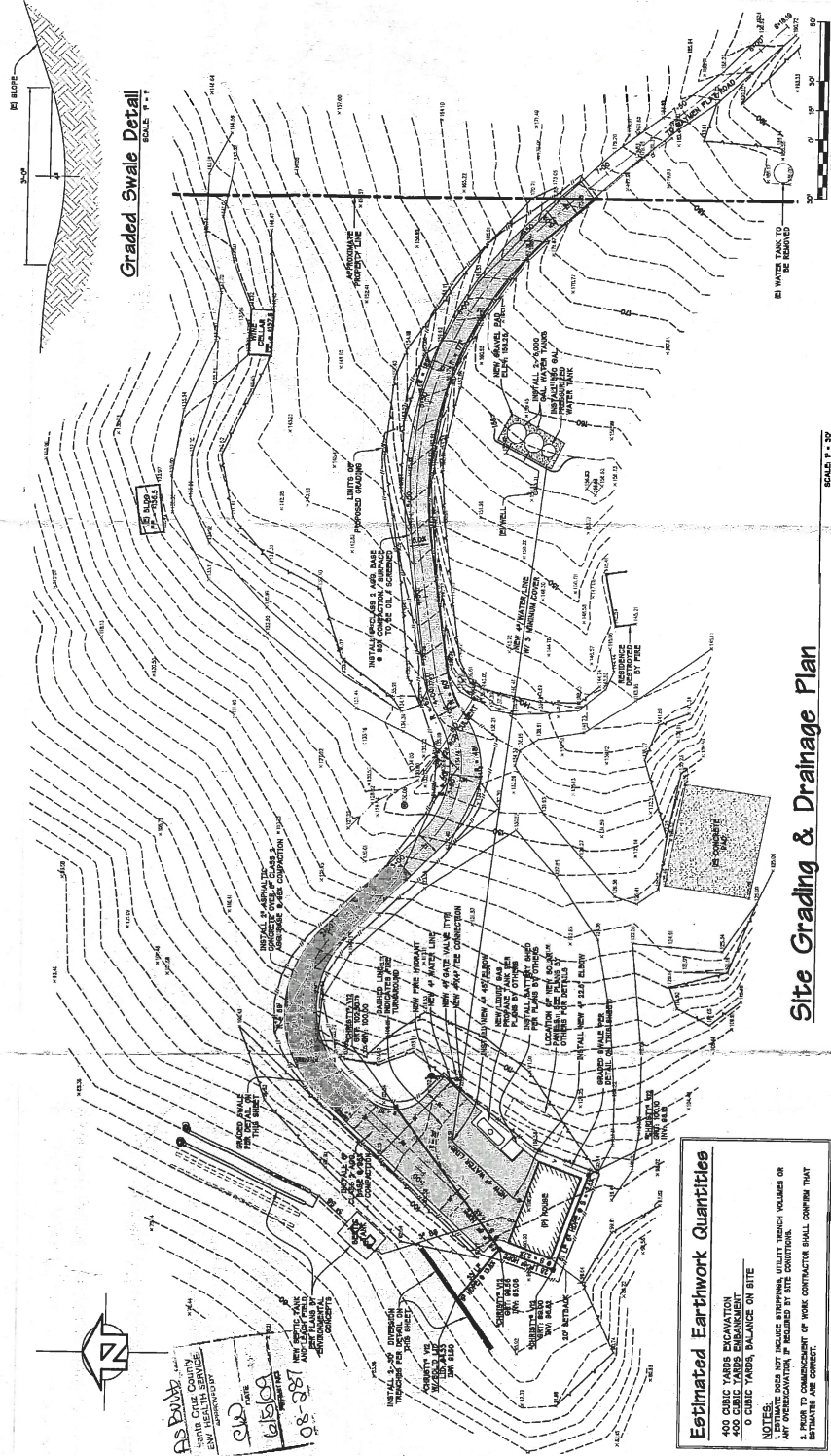
NOT FOR CONSTRUCTION
P.L.S. DO NOT DISTRIBUTE

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DEF



Driveway Profile
SCALE: 1" = 20' H
1" = 20' H



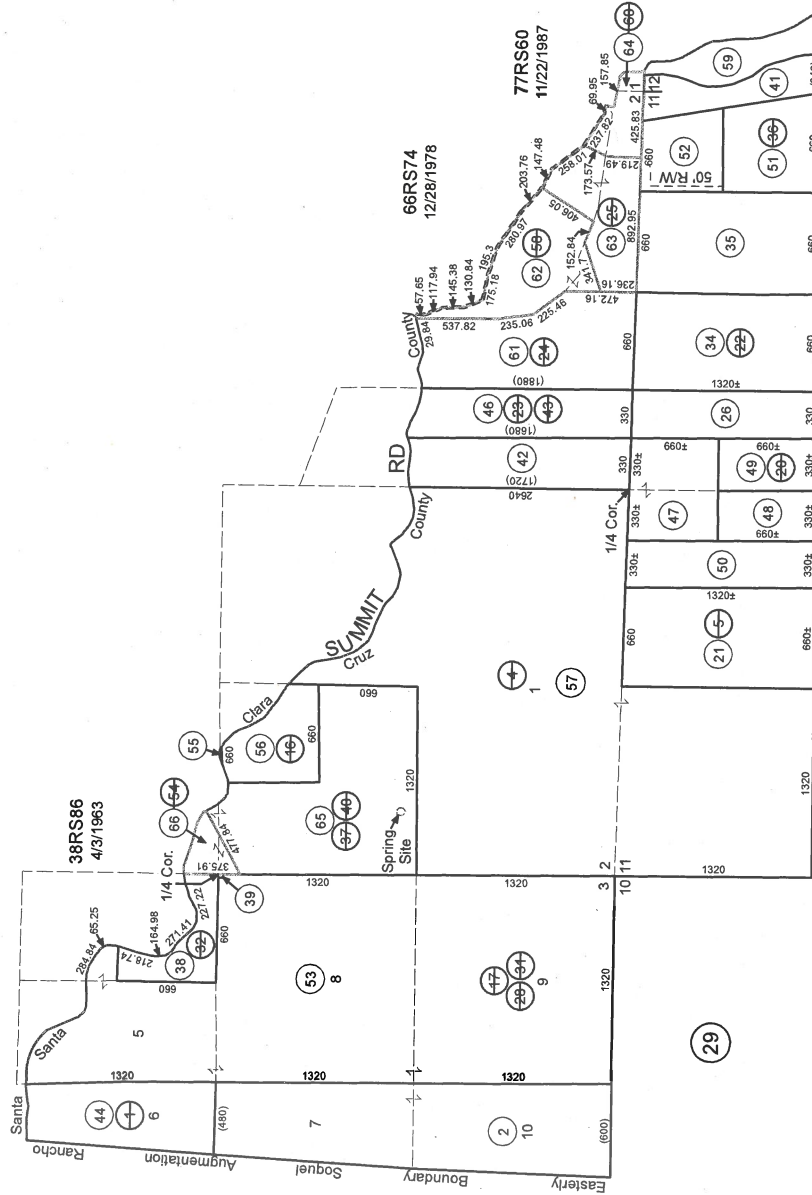
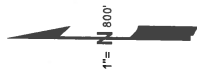
FOR TAX PURPOSES ONLY

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POR. SECS. 1,2,3,11 & 12, T.10S., R.1E., M.D.B. & M.

Tax Area Code
69-070

106-01



Bk. 98
14

52

76RS27
12/22/1986

29

Assessor's Map No. 106-01
County of Santa Cruz, Calif.
Feb. 1998

Note - Assessor's Parcel & Block
Numbers Shown in Circles.

Electronically redrawn 2/2/98 KSA
Rev 2/16/98 KSA (Added Pg. Ref.)
Rev 1/11/93 mc (12-0053990, 12-0057810 & 11, LBA 1-62 to 64)
Rev 1/22/93 mc (12-0024240 & 41, LBA 1-65 & 66)

EXHIBIT E



Parcel Zoning Map

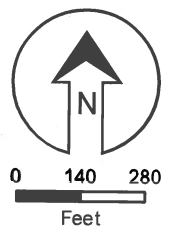


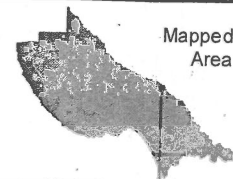
Mapped
Area

106-011-21
(SU)

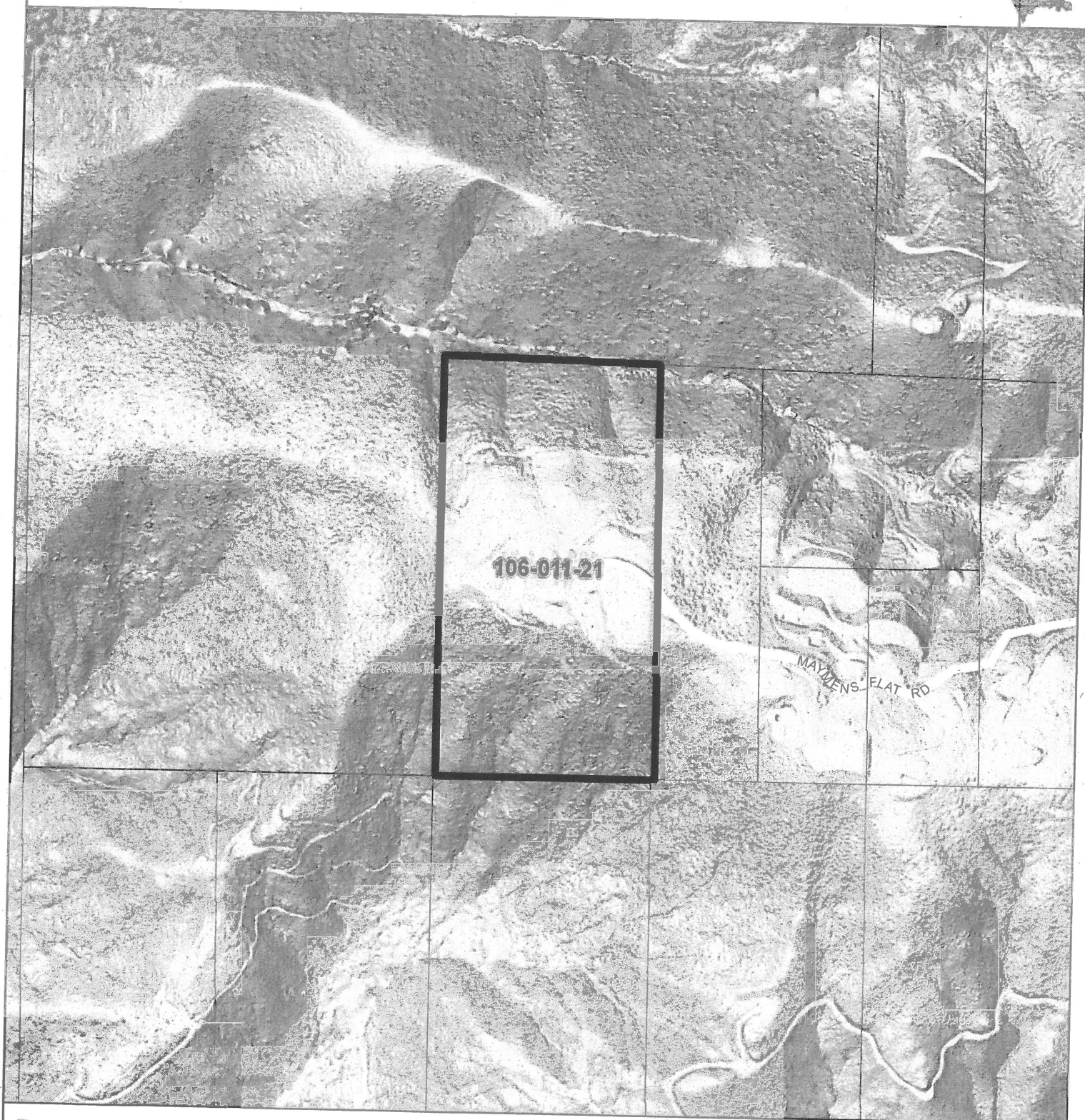
SU

 SU Special Use





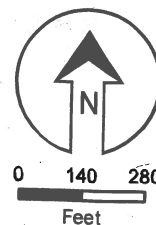
Parcel Location Map



Parcel: 10601121

-  Study Parcel
-  Assessor Parcel Boundary

Map printed: 23 Dec. 2019





Parcel General Plan Map

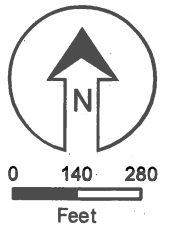


Mapped
Area

106-011-21
(R-M)

R-M

☐ R-M Residential Mountain



Parcel Information

Services Information

Urban/Rural Services Line: ☐ Inside ☒ Outside
Water Supply: Well
Sewage Disposal: Septic
Fire District: Cal Fire
Drainage District: Zone 7

Parcel Information

Parcel Size: 19 acres
Existing Land Use - Parcel: Single family Residential, Cannabis Cultivation
Existing Land Use - Surrounding: Residential
Project Access: Summit Road, Maymens Flat Road
Planning Area: Summit
Land Use Designation: R-M (Mountain Residential)
Zone District: SU (Special Use)
Coastal Zone: ☐ Inside ☒ Outside
Appealable to Calif. Coastal Comm.: ☐ Yes ☒ No

Technical Reviews: Archaeological Report Review Accepted

Environmental Information

Geologic Hazards: San Andreas Fault- No habitable structures proposed
Fire Hazard: Critical Fire Hazard Area
Slopes: 0-5 percent
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: Minor site prep grading, less than 40 cubic yards, no grading required
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Archeology: Mapped, Archaeological report reviewed and accepted; no resources present