



Staff Report to the Zoning Administrator

Application Number: **171195**

Applicant: Heidi Anderson Spicer

Agenda Date: February 21, 2020

Owner: Marcus and Mary Leavitt

Agenda Item #: 1

APN: 105-391-35

Time: After 9:00 a.m.

Site Address: 2010 Sparrow Valley Road, Aptos

Project Description: Proposal to recognize the construction of a 2,200 square foot two-story single-family dwelling with an attached 234 square foot non-habitable accessory structure (workshop), on site with an existing 1,320 square foot dwelling to be remodeled to be a 1,200 square foot Accessory Dwelling Unit in the SU (Special Use) zone district. Requires a Variance to reduce the required street-side yard setback from 20 feet to 13 feet and the rear yard setback from 20 feet to 14.5 feet. This application includes a Soils Report Review (REV181080) and a Geologic Hazards Assessment (REV191067).

Location: Property located on the north and east side of Sparrow Valley Road (2010 Sparrow Valley Road) at about 1,500 feet southeast of the intersection with Trout Gulch Road in Aptos.

Permits Required: Variance

Supervisory District: 2nd District (District Supervisor: Zach Friend)

Staff Recommendation:

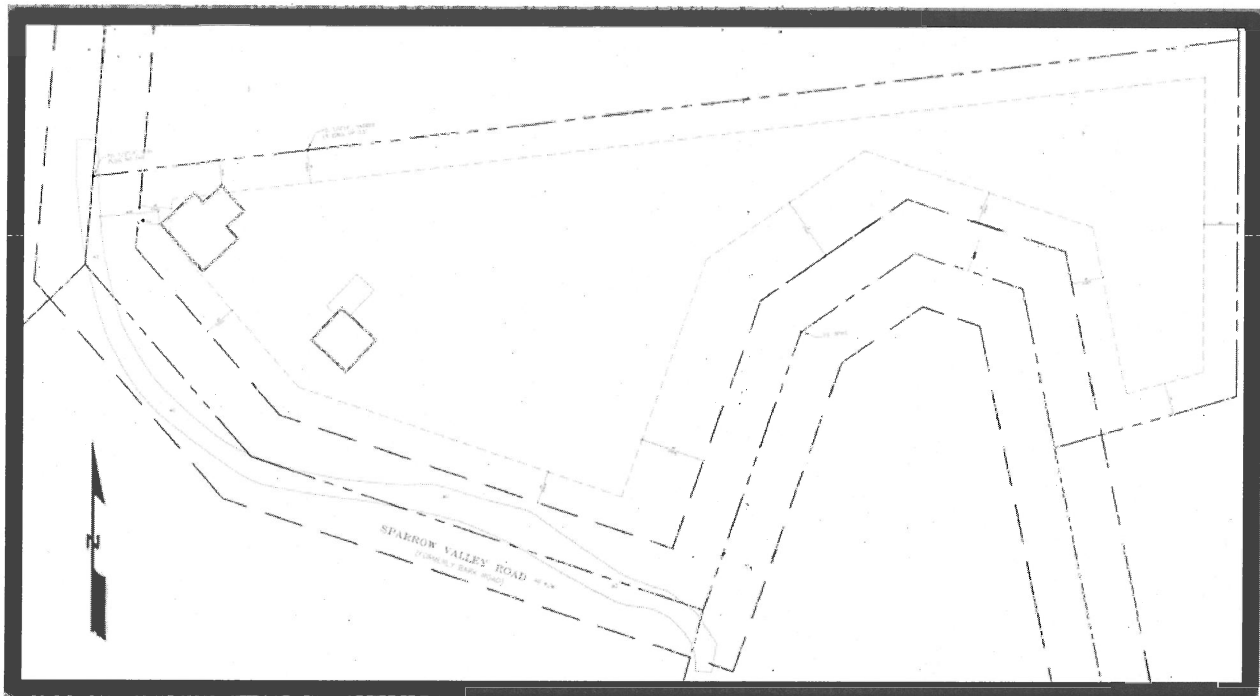
- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 171195 based on the attached findings and conditions.

Project Description and Setting

This application has been made to recognize the unpermitted construction of a dwelling on the subject property, with the associated conversion of the existing dwelling to an ADU. Because the house has been constructed within the required street-side and rear yard setbacks, Variances are required to recognize the as-built location of the structure.

The project is located in a rural area approximately three miles north northeast of the Aptos Village in the Aptos Hills, an area that is characterized by densely wooded hillsides and steep slopes. The property is moderately to steeply sloping and is located close to a southwest flowing ephemeral stream that drains into Valencia Creek. The right-of-way for Sparrow Valley Road (formerly Bark Road) runs along the southwestern property line and then, continuing along the property boundary, turns sharply northwards before looping around to the east and then back in a

southerly direction as shown on the map below. The proposed homesite is situated near the northwestern property corner on a level pad formed by cutting and filling of the natural slope. Access to the new homesite is by a short, unpaved road from Sparrow Valley Road as well as by a more level driveway that runs through the parcel and links to Sparrow Valley Road further east. This driveway also provides access to the original dwelling. The woodland that surrounds the project site includes a mix of deciduous trees, with oak, and bay, coniferous trees, including redwoods, and understory species such as hazel. The unpermitted dwelling and original dwelling that is proposed to be converted to an ADU are, therefore, mostly screened in views from Sparrow Valley Road and from neighboring properties.



Project Background

In September 1978, Building Permit 57757 was issued for the construction of the original dwelling on the property, a two-story house with decks but no garage. The project received a Final Inspection Clearance on December 22, 1978. In December 2000, application 00-0783 was submitted for a Residential Development Permit to allow for the construction of an ADU on the parcel and for a detached garage/carport. The application included a request for a Variance to allow for a reduced street-side setback of 5 feet. The reduced setback was approved for the ADU but was denied for the garage/carport; however, no building permit was issued for construction of the ADU and Permit 00-0783 subsequently went void in March 2005. In the interim, Grading Permit #130887 was issued in February 2002, to allow for grading of 135 cubic yards of material for a ravine drainage infill project. No other permits have been issued for construction on the parcel.

In December 2013 a complaint was received regarding the unpermitted construction of a large workshop on the parcel and in September 2014 a Notice of Violation was posted for a barn that had been constructed partially within the required setbacks. Subsequently, in September 2016, a further complaint was received alleging that the original dwelling was being rented and that the property owners were living in the unpermitted structure. This was verified and the case record

was then updated to reflect that the workshop was being used as a dwelling. In July 2017 application 171195 was submitted for a Variance to recognize reduced front and side yard setbacks so that the unpermitted structure could be recognized as a single-family dwelling. The application includes the associated conversion of the original house to an ADU, a Geologic Hazards Assessment and a Soils Report Review.

Zoning & General Plan Consistency

The subject property is an approximately 3.25-acre lot, located in the SU (Special Use) zone district, a designation that allows residential uses. The single family residence that is proposed to be recognized is a principal permitted use within the zone district and the zoning is consistent with the site's R-M (Mountain Residential) General Plan designation.

In accordance with County Code section 13.10.383 "Development standards for the Special Use SU District", for single-family dwellings and accessory structures the applied standards are the same as those contained in County Code section 13.10.323 pertaining to residential districts and are based on the size of the parcel for purposes of applying County Code section 13.10.323(B) "Single-Family Residential Districts, Site and Development Standards Chart".

The parcel, which is over an acre in size, most closely conforms to the one-acre minimum parcel size for the RA (Residential Agriculture) zone district and therefore standards for this zone district are applied. The RA zone district requires a front yard setback of 40 feet and side and rear yard setbacks of 20 feet.

The subject property is located at a corner where the right-of-way for Sparrow Valley turns through an angle of close to 90-degrees (County Code section 13.10.700 – L "Lot, corner"). The existing dwelling on the parcel is located such that it is over 35.5 feet from the edge of the right-of way where it runs along the southern and property boundary and over 200 feet from the edge of the right of way where it turns northwards. Therefore, so that the existing structure conforms to the required setbacks for the RA zone district, the front yard would be measured to the right of way where it turns northwards. The street-side yard, for which a 20-foot setback is required, would be measured to the right-of-way along the southern property line. As constructed, the dwelling that is proposed to be recognized has a street-side yard of just over 13 feet, measured from the edge of the right-of-way for Sparrow Valley Road and a rear yard of just over 14.5 feet as measured to the rear property line at the north of the parcel. This requires the approval of a Variance to allow for reduced setbacks. The as-built structure conforms to all other required site and development standards, including maximum height and lot coverage, and minimum 10-foot separation to the existing dwelling. There is no Floor Area Ratio standard for the RA zone district.

Setback Variances

The subject property is constrained by slopes as well as by existing dense vegetation. The unpermitted dwelling was constructed in an area that was disturbed during permitted grading operations in 2002, where vegetation had already been cleared and the land had been levelled. The structure is therefore located in an accessible location, close to the existing driveway, on a building site that did not require additional grading, thereby protecting the natural environment from further disturbance. The location of the dwelling is therefore appropriate.

Although the dwelling is technically located within the 20-foot street-side yard, the right-of-way for Sparrow Valley Road is 60 feet wide, with the roadway utilizing only 12 feet of the total width and, as a result, the dwelling is effectively located over 35.5 feet from the closest edge of the travelled roadway. The structure is also set well below the level of the street, with an elevation difference of nearly 20 feet. Therefore, to individuals travelling along Sparrow Valley Road the visual impact of the structure is minimal and the structure does not obstruct sight lines for traffic travelling along the road. In addition, because the building site is surrounded by existing mature vegetation the structure is effectively screened and softened in views from both the street and from neighboring properties.

Geology and Slopes

The Zayante fault zone is located about one quarter of a mile to the northwest of the northeastern property corner and the San Andreas fault zone lies approximately four miles to the northeast. The property is also depicted on the Santa Cruz County landslide map, as lying on a landslide deposit. In addition, because of the grading that occurred in 2002, the building site is underlain by some thickness of fill around the downhill portion of the building pad and the hillside above the home rises at a gradient of about fifty percent above the homesite. Therefore, a Geologic Hazards Assessment (GHA) was required in association with this project to ascertain the stability of the site of the dwelling that is proposed to be recognized.

The GHA determined that evidence for the landslide on the parcel was lacking. In addition, based upon site reconnaissance and review of pertinent maps and other documents, the County Geologist determined that no geologic hazards existed at the project site and that further geologic evaluation, in the form of a full geologic report, would not be required.

Further, the geotechnical (soils) investigation performed for the site by Haro, Kasunich and Associates has been accepted by Santa Cruz County. The soils report recommends deepening the foundation on the downhill side of the home to protect against failure or settling of the fill supporting the eastern side of the house. These recommendations are appropriate to ensure the safety of the structure. However, because there is some concern regarding the location of a culvert that potentially passes beneath the corner of the structure, the conditions of approval require that the soils or civil engineer for the project verify the culvert location and make supplementary recommendations, if warranted. All recommendations made by the project geotechnical engineer will then be required to be incorporated into the project and final building plans for the recognition of the as-built structure.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.

- **APPROVAL** of Application Number **171195** based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

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Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Soils report review letter
- H. Geologic Hazards Assessment

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 171195

Assessor Parcel Number: 105-391-35

Project Location: 2010 Sparrow Valley Road, Aptos

Project Description: Proposal to recognize construction of a 2,200 square foot single-family dwelling with an attached 234 square foot workshop, on site with an existing dwelling that will be converted to an ADU.

Person or Agency Proposing Project: Heidi Anderson Spicer

Contact Phone Number: (831) 425 2020

- A. _____ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. _____ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. _____ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. _____ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. X **Categorical Exemption**

Specify type: Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

Construction of a single family dwelling in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Lezanne

Jeffs,

Date: _____

Project

Planner

EXHIBIT A

Development Permit Findings

- 1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.**

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

The dwelling that is to be recognized does not obstruct sight lines or impact traffic along Sparrow Valley Road, in that the structure is located a minimum of 35.5 feet from the travelled roadway and is set at an elevation that is almost 20-feet lower than the street. Further, the dwelling is visually screened in views from adjacent dwellings and from Sparrow Valley Road and therefore will not be materially injurious to properties or improvements in the vicinity.

To ensure the safety of the structure, the foundation at the dwelling to be recognized will be upgraded in accordance with the recommendations of the approved Geotechnical report for the project.

- 2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.**

The location of the single family residence that is proposed to be recognized, and the conditions under which it would be operated or maintained, will be consistent with all pertinent County ordinances and the purpose of the SU (Special Use) zone district. The primary use of the property will be one single family residence that will conform to an approved Variance to allow for reduced street side and rear setbacks and that meets all other current site standards for the zone district, and an ADU that meets all current site standards for the zone district.

Therefore, this finding can be made.

- 3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.**

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-M (Mountain Residential) land use designation in the County General Plan.

As specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), the proposed single family residence will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties in that the dwelling is located over 200 feet from the closest neighboring residence. In addition, with the approval of Variances to recognize a street-side setback of 13 feet and a rear setback of 14.5 feet, the dwelling meets all current site and development standards for the zone district.

The proposed single family residence will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed single family residence will, with the approval of a Variance to setbacks, comply with the site standards for the SU zone district (including the side and front yard setbacks, lot coverage, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

4. That the proposed use will not overload utilities and will not generate more than the acceptable level of traffic on the streets in the vicinity.

The proposed single family residence is to be recognized on an existing developed lot where the existing dwelling will be converted to be an ADU. The expected level of traffic generated by the proposed project is anticipated to be only one peak trip per day (one peak trip per dwelling unit) and such an increase will not adversely impact existing roads or intersections in the surrounding area.

The dwelling that is to be recognized will not overload utilities. This finding can therefore be made.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the single family residence that is proposed to be recognized and the associated conversion of the existing dwelling to an ADU, is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

The project is not subject to Design Review.

Variance Findings

1. **That because of special circumstances applicable to the property, including size, shape, topography, location, or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.**

The project is located in the SU (Special Use) zone district, a designation that allows residential uses. The single family residence that is proposed to be recognized is a principal permitted use within the zone district and the zoning is consistent with the site's R-M (Mountain Residential) General Plan designation.

The special circumstances that apply to this lot are that the entire parcel is moderately steeply sloped and is also densely wooded, such that any new structure located where it could conform to all required setbacks, would require significant grading to create access to the dwelling and a level building site. An alternative site would also require removal of existing mature trees and other vegetation. The dwelling that is proposed to be recognized was constructed in an area that was disturbed during permitted grading operations in 2002. Therefore, the existing vegetation had already been cleared and the land had been levelled. The structure is located in an accessible location, close to the existing driveway, on a building site that did not require additional grading or vegetation removal, thereby protecting the natural environment from further disturbance.

The location of the dwelling is therefore appropriate, and this finding can be made.

2. **That the granting of the variance will be in harmony with the general intent and purpose of zoning objectives and will not be materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity.**

The intent and purpose of the SU zone district, where there is a residential General Plan designation, is to provide for residential uses. The dwelling that is proposed to be recognized and the conversion of the existing dwelling to an ADU will be in harmony with other dwellings in the neighborhood in that the proposed single family residence will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties in the area and

Although the dwelling is technically located within the 20-foot street-side yard, the right-of-way for Sparrow Valley Road is 60 feet wide, with the roadway utilizing only 12 feet of the total width and, as a result, the dwelling is effectively located just over 35.5 feet from the closest edge of the travelled roadway. The structure is also set well below the level of the street, with an elevation difference of nearly 20 feet. Therefore, to individuals travelling along Sparrow Valley Road the visual impact of the structure is minimal and the structure does not obstruct sight lines for traffic travelling along the road. In addition, because the building site is surrounded by existing mature vegetation the structure is effectively screened and softened in views from both the street and from neighboring properties. The closest neighboring house is located over 200 feet northeast of the dwelling that is to be recognized and there is no line of sight between the two structures because of existing redwood forest and other vegetation between the two structures.

The dwelling that is to be recognized is not materially detrimental to public health, safety, or welfare or injurious to property or improvements in the vicinity in that it does not obstruct sight lines or impact traffic along Sparrow Valley Road, in that the structure is located a minimum of 35.5 feet from the travelled roadway and is set at an elevation that is almost 20-feet lower than the street. Further, the dwelling is visually screened in views from Sparrow Valley Road and from all adjacent dwellings and therefore permitting the existing structure will not be materially injurious to properties or improvements in the vicinity.

To ensure the safety of the structure, the foundation at the dwelling to be recognized will be upgraded in accordance with the recommendations of the approved Geotechnical report for the project.

Therefore, this finding can be made.

3. **That the granting of such variances shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such is situated.**

This finding can be made. The granting of a Variance to reduce the street-side yard setback from 20 feet to 13 feet, and the rear yard setback from 20 feet to 14.5 feet will not constitute a grant of special privilege to this parcel. This is because the house has been located in an area that had already been legally graded, a situation that does not commonly exist on other properties in the vicinity and zone in which the property is located. In addition, the building site does not impact any neighboring properties or the public street. The dwelling to be recognized is a moderately-sized, single-family dwelling that is painted using earth-toned colors and that is architecturally compatible with the existing house on the parcel that is to be converted to an ADU. The structure is also screened in views from surrounding properties, and from the street, by existing vegetation.

Conditions of Approval

Exhibit D: Project plans – 18 sheets: 8 sheets prepared by Hogan Land Services (5 dated 10/30/2019 and 3 dated 12/5/2018); 6 sheets prepared by Heidi Anderson Spicer, 5 dated 10/31/2019, 1 dated 2/11/2020, and 4 sheets prepared by Randy Hudson Designs dated 2/8/2018.

- I. This permit authorizes recognition of the site of an existing single family residence on site with an original dwelling that is to be converted to an ADU as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department, except that the toilet in the workshop, as is shown on sheet P1.1, is not authorized. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full-size sheets of the architectural plan set.
 2. One elevation shall indicate existing materials and colors (reddish-brown with a green roof). If different materials and colors are proposed, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Planning Department review and approval. The exterior of the structure shall be painted using darker earth-toned colors to blend with the natural environment.

3. Grading, drainage, and erosion control plans.
 4. Details showing compliance with fire department requirements. If the proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
- B. Meet the following requirements of the County Department of Public Works, Stormwater Management:
1. This project is recognized & approved as a 'Medium' project per the County Design Criteria (CDC) Part C Section C.1.
 - a. Project shall be required to address Part 3 Section C.2 'Source Control Measures' & C.3 'Design Standards Applicable to All Categories' at the building permit phase. Please demonstrate how this project will mitigate the 2 year, 2-hour storm through onsite retention.
 - b. Projects civil engineer shall evaluate the existing stormwater facilities (including outfall locations), to ensure they are in good working condition. Please provide an assessment as part of the building permit application.
 - c. Please provide a driveway profile.
 - d. Project shall be designed to minimize the generation, transportation, and discharge of pollutants.
 - e. Safe stormwater overflow shall be incorporated into the project design.
 - f. A copy of the CDC can be viewed by following the link provided:
<http://www.dpw.co.santa-cruz.ca.us/Portals/19/pdfs/DESIGNCRITERIA.pdf>
 2. Please provide cross-section construction details for the permanent stormwater drainage features to be constructed as part of the future building permit application. Please ensure all pertinent information is included with these details to facilitate accurate construction. Details should include at least the following: invert elevations, material coverage/placement, specific materials to be used, and pipe sizes.
 - a. Please provide a maintenance schedule/table for all drainage features that require ongoing maintenance. This guidance will also be supplied to the property owner(s) to ensure they are aware of all necessary requirements.

3. Upon approval of the project, a drainage “Hold” will be placed on the permit and will be cleared once the construction is complete and the stormwater management improvements are constructed per the approved plans: In order to clear the Hold, one of these options has to be exercised:
 - a. The civil engineer must inspect the drainage improvements on the parcel and provide public works with a letter confirming that the work was completed per the plans. The civil engineer’s letter shall be specific as to what got inspected whether invert elevations, pipe sizing, the size of the mitigation features and all the relevant design features. Notes of “general conformance to plans” are not sufficient.
 - b. As-built plans stamped by the civil engineer may be submitted in lieu of the letter. The as-built stamp shall be placed on each sheet of the plans where stormwater management improvements were shown.
 - c. The civil engineer may review as-built plans completed by the contractor and provide the county with an approval letter of those plans, in lieu of the above two options. The contractor installing the drainage improvements will provide the civil engineer as-built drawings of the drainage system, including construction materials, invert elevations, pipe sizing and any modifications to the horizontal or vertical alignment of the system. The as-built drawings, for each sheet showing drainage improvements and/or their construction details, must be identified with the stamp (or label affixed to the plan) stating the contractor’s name, address, license and phone number. The civil engineer will review the as-built plans for conformance with the design drawings. Upon satisfaction of the civil engineer that the as-built plans meet the design intent and are adequate in detail, the civil engineer shall submit the as-built plans and a review letter, stamped by the civil engineer to the County Public Works Department for review to process the clearance of the drainage Hold, if the submittal is satisfactory.
4. Applicant will be required to submit a notarized and recorded document acknowledging that this parcel does, and will continue to, receive upslope runoff. Please refer to Part 3 Section G.3 of the CDC for acceptable documentation.
5. Please provide a final maintenance agreement and include specifications on the building plan sheets to identify all existing and newly proposed mitigation features that will require inspections and maintenance. Please refer to Part 3 Section C.3e of the CDC for further guidance/requirements. Please contact the County of Santa Cruz Recorder’s office for the appropriate recording procedure.

- a. Applicant shall fulfill this item after the building permit has been approved. Applicant shall use the SWM-25A maintenance agreement form and will be responsible for notarizing and recording the document.
 - b. The maintenance agreement form can be picked up from the Public Works office or can be found online through the Dept of Public Works homepage.
 - c. Maintenance responsibilities shall include the new catch basin on Sparrow Valley Rd and all other existing/proposed drainage infrastructure serving the subject parcel.
- C. Meet all requirements of the County Department of Environmental Health Services:
 1. The sewage disposal application for the dwelling must be approved prior to permit issuance. The sewage disposal system is subject to inspection and must meet Tier 1 standards or an application to the State Regional Water Quality Control Board Waste Discharge Permit will be required.
- D. Meet all requirements of the Environmental Planning section of the Planning Department.
 1. Update the grading volumes shown on Sheet C1, dated 10/30/19 to include separate grading volume line items for: house construction, driveway (including firetruck turnout), guest house, road widening and new parking). Please also add this information to Sheet C4.
 2. The culvert running under the existing main house shall be sealed/capped to the satisfaction of the project geotechnical engineer prior to building permit final.
- E. Meet all requirements and pay any applicable plan check fees of the Santa Cruz County Fire Protection District.
- F. The geotechnical (soils) or civil engineer for the project shall verify the culvert location and make supplementary recommendations, if warranted. Submit 3 copies of any update to the soils report. Any updated report shall be stamped by a licensed Geotechnical Engineer.
- G. Submit 3 copies of plan review letters prepared and stamped by the project Geotechnical Engineer.
- H. Pay the current fees for Parks and Child Care mitigation for one bedroom. Currently, these fees are, respectively, \$578 and \$109 per bedroom.
- I. Pay the current Affordable Housing Impact Fee. The fees are based on unit size and the current fee for a dwelling up to 2,000 square feet is \$2 per square foot.

- J. Provide required off-street parking for 4 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - K. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
 - L. Complete and record a Declaration of Restriction to maintain a 234 square foot non-habitable workshop attached to a single family. **You may not alter the wording of this declaration.** Follow the instructions to record and return the form to the Planning Department.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- IV. Operational Conditions
- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- V. Indemnification
- A. The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is

requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- B. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- C. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- D. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- E. Successors Bound. The "applicant/owner" shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Application #: 171195
APN: 105-391-35
Owner: Marcus and Mary Leavitt

Approval Date: _____

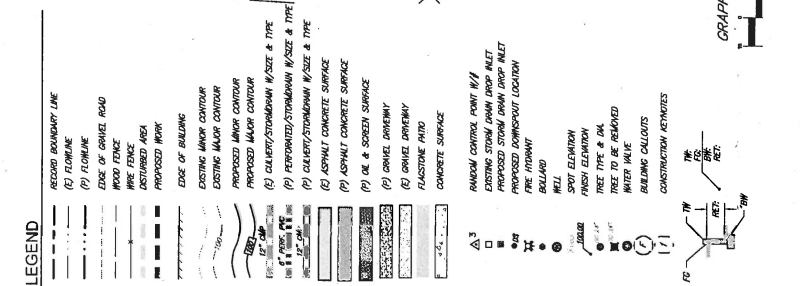
Effective Date: _____

Expiration Date: _____

Annette Olson
Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

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EARTHWORK QUANTITIES TOTAL

MOOSE- CUT = 67 C.Y.
FILL = 0 C.Y.

CONCRETE = 0 C.Y.
BASE = 0 C.Y.

NET = 57 C.Y. EXPORT

ESTIMATED AREA = 5,468 SQ. (1,452 ACRES)

NOTE: ABSOLUTE CLERK QUALITY REQUIRED FOR SURETY. MATERIAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL MATERIAL TAKEOFFS.

EXHIBIT 10

PLOT PLAN

LEAVITT RESIDENCE
2010 SPARROW VALLEY ROAD
APTOS, CA 95003
APN 105-391-35

DATE
BLOG PERMITSUBMITTAL
2019.12.12
ADDENDUM TO B.P. APP
2020.02.11

PLOT PLAN
W/ SETBACKS



Heidi Anderson Spicer architect
Anderson Spicer architecture
180 7th Ave, suite 102
Santa Cruz, CA 95062
831 425 2020
tspicyarch@gmail.com

architecture
SIA

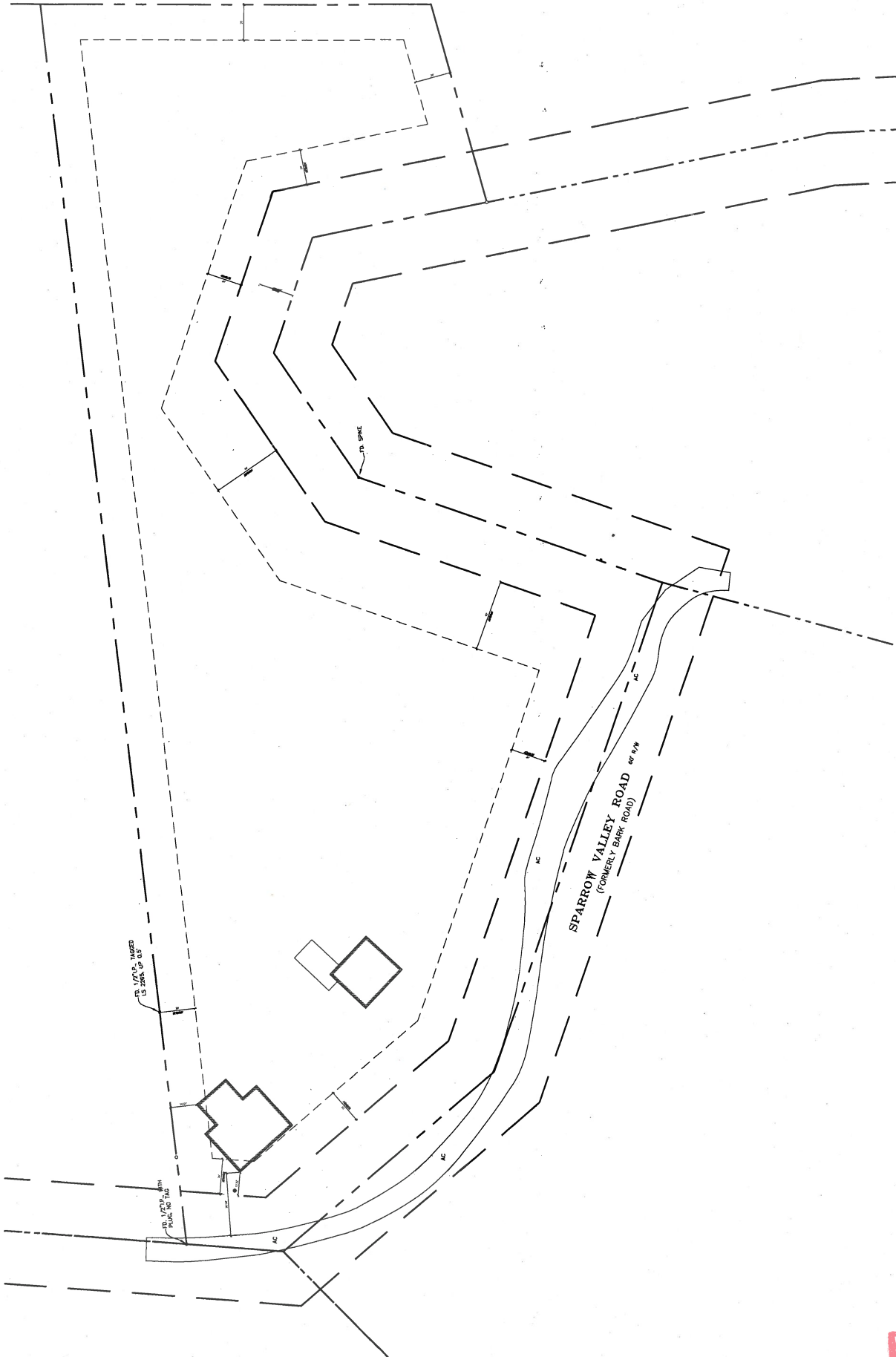


EXHIBIT D

FIRE SITE

DATE: 07/21/2019
 DISCRETIONARY APPLICATION
 DISCRETIONARY APPLICATION RESPONSE
 07/18/2019

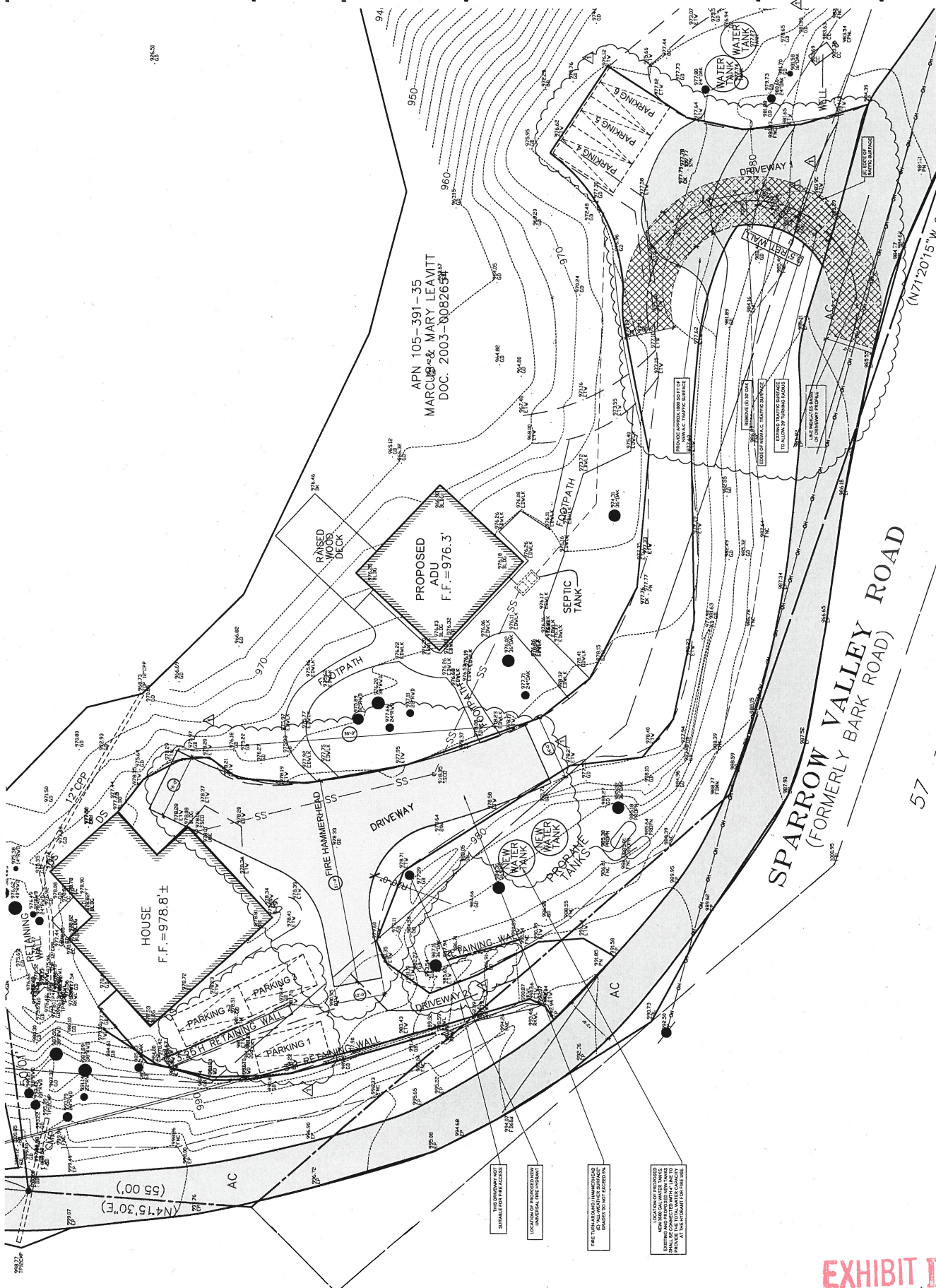
LEAVITT RESIDENCE
 SPARROW VALLEY ROAD
 APTOS, CA 95066
 APN 105-391-35

FIRE SITE PLAN
 1"=10'-0"



Heidi Anderson Spicer architect
 Anderson Spicer architecture
 180 7th Ave, suite 102
 Santa Cruz, CA 95062
 831 425 2020
 tspic@arch@gmail.com

architecture
SIA



57

EXHIBIT D

FIRE
DP

LEAVITT RESIDENCE
SPARROW VALLEY ROAD
APTOS, CA 95066
APN 105-391-35

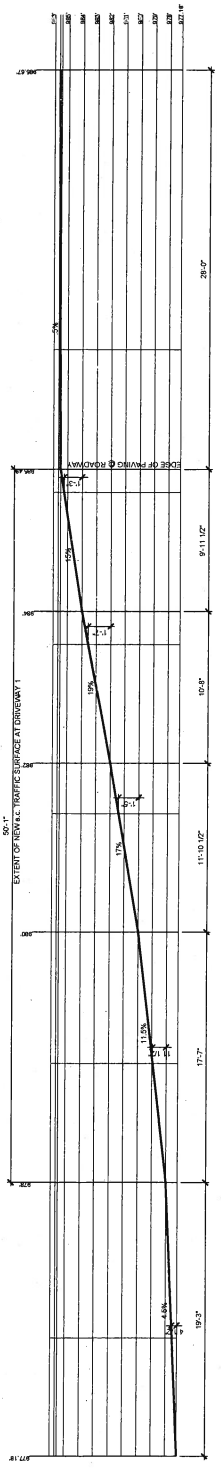
DATE: 10/31/2019
DRAWN BY: BHEID
CHECKED BY: BHEID
PROJECT: LEAVITT SPARROW ROAD FIRE SITE PLAN 2019 10 31.DWG
SHEET: 21 OF 21
SCALE: AS SHOWN

FIRE
DRIVEWAY PROFILES
1/4" = 1'-0"



Heidi Anderson Spicer architect
Anderson Spicer architecture
180 7th Ave, suite 102
Santa Cruz, CA 95062
831 425 2020
tspicyarch@gmail.com

architecture
S/A



DRIVEWAY 1 PROFILE
1/4" = 1'-0"

FIRE NOTES

THE ACCESS ROAD DRIVEWAY SHALL BE AN ALL-WEATHER SURFACE. ALL WEATHER SURFACES ARE DESIGNED AS A MINIMUM OF 8" OF COMPACTED AGGREGATE BASE ROCK, CLASS 1 OR EQUIVALENT, AND CERTIFIED IN WRITING BY A LICENSED ENGINEER TO 98% COMPACTION FOR GRADES UP TO AND INCLUDING 5%. FOR GRADES IN EXCESS OF 5%, ALL WEATHER SURFACES SHALL BE DESIGNED TO A MINIMUM OF 8" OF COMPACTED AGGREGATE ROCK BASE, CLASS 1 OR EQUIVALENT, CERTIFIED IN WRITING BY A LICENSED ENGINEER TO 98% COMPACTION FOR GRADES EXCEEDING 5%. 2" OF ASPHALTIC CONCRETE SHALL BE APPLIED OVER A MINIMUM OF 8" OF COMPACTED AGGREGATE ROCK BASE, CLASS 1 OR EQUIVALENT, CERTIFIED IN WRITING BY A LICENSED ENGINEER TO 98% COMPACTION. THE ACCESS ROAD SHALL HAVE A VERTICAL CLEARANCE OF 13'6" FOR ITS ENTIRE WIDTH AND LENGTH, INCLUDING TURNOUTS. ALL WEATHER SURFACES SHALL BE MAINTAINED TO ENSURE THE FIRE DEPARTMENT CAN AND EXERCISE PASSAGE TO THE PROPERTY LINE, WHICHEVER IS THE SHORTER DISTANCE.

NOTE: ALL BUILDINGS REQUIRE THE INSTALLATION OF AN AUTOMATIC FIRE SPRINKLER SYSTEM. SPRINKLER PLANS SHALL BE SUBMITTED AS A DEFERRED SUBMITTAL. THE DESIGNER/INSTALLER SHALL SUBMIT TWO (2) SETS OF PLANS, CALCULATIONS AND A FIVE MINUTE TURNOUT AND OVERHEAD RESIDENTIAL AUTOMATIC SPRINKLER SYSTEM TO SANTA CRUZ COUNTY FIRE PROTECTION DISTRICT.

A2.1

Sheet Number

Feb 8, 2016

LAP Building Permit for
 Marcus & Mary Leavitt
 2010 Sparrow Valley Road,
 Aptos, California 95003
 Phone: (831) 580-6002
 APN#: 105 - 391 - 35

Main & Upper Floor Plans

RANDY HUDSON
 Designs

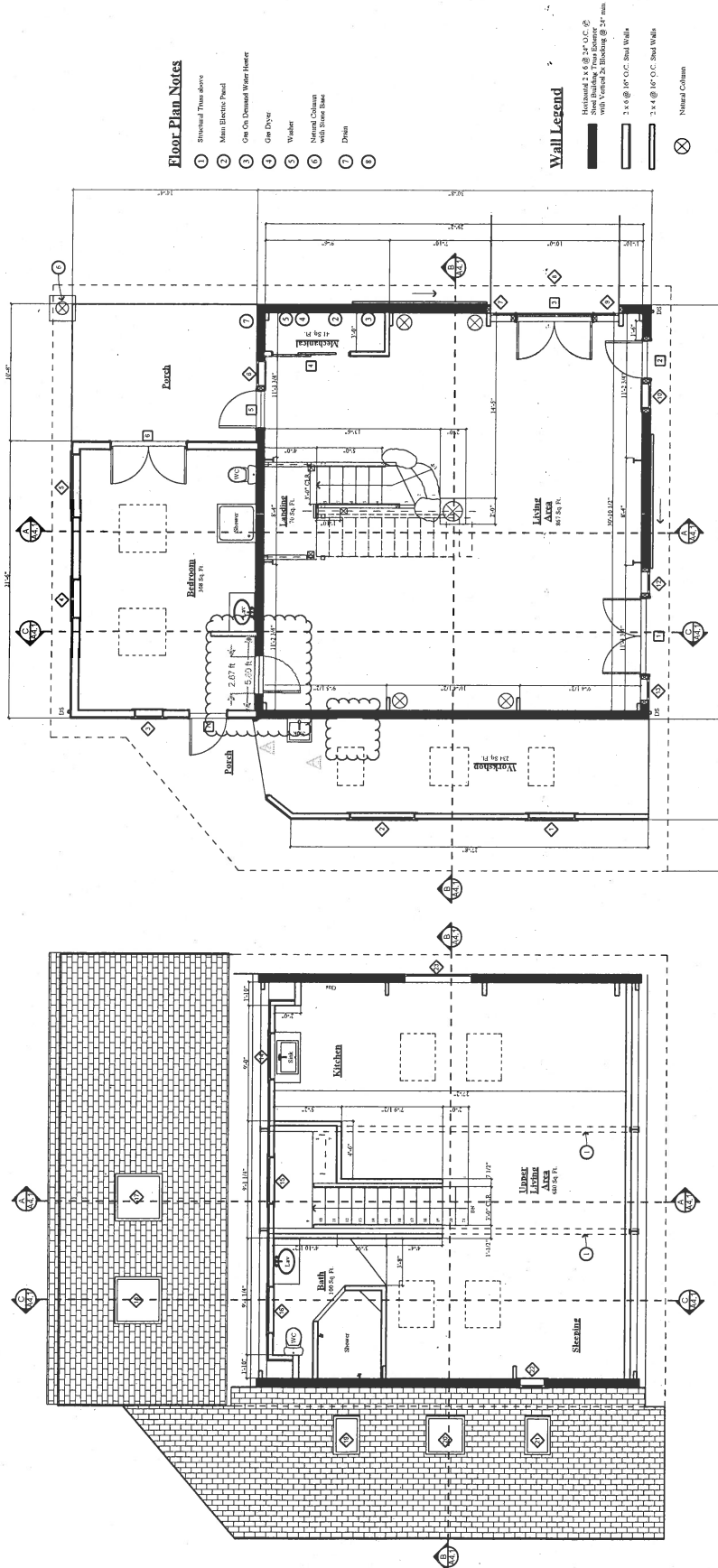
RANDY HUDSON
 DESIGNS
 P.O. Box 911
 Aptos, CA 95021
 Phone: (831) 581-0852
 RANDYHUDSON1@earthlink.com

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PRELIMINARY

Main Floor Plan 1/4" = 1'-0"

Upper Floor Plan 1/4" = 1'-0"



A2.2

Sheet Number

Feb. 8, 2016

LAPP Building Permit for
Marcus & Mary Leavitt
2010 Sparrow Valley Road,
Aptos, California 95003
Phone: (831) 580-6002
APN#: 105 - 391 - 35

Roof Plan

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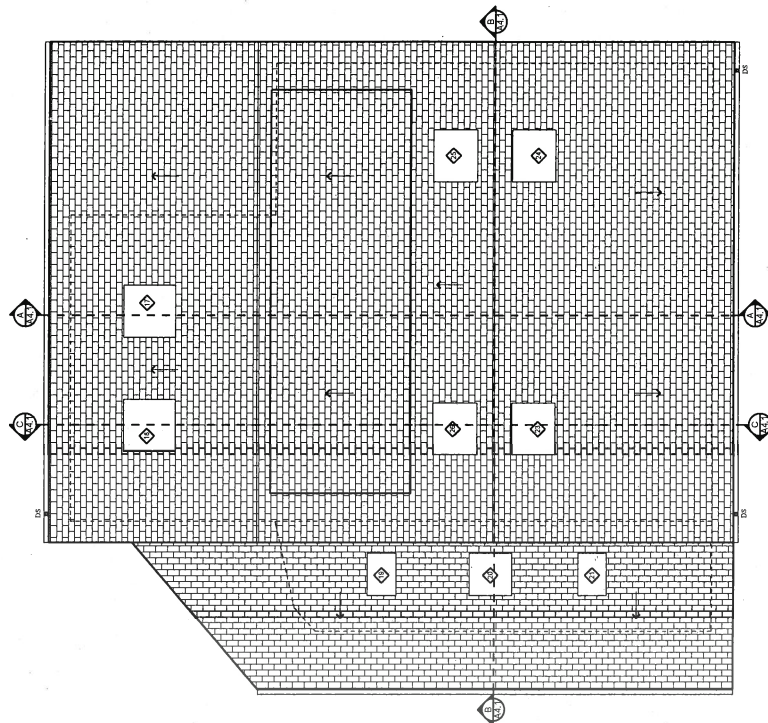
RANDY HUDSON
DESIGNS
705 BROADWAY
PACIFIC PALMS, CA 90019
631 4661 0852
RANDYHUDSONDESIGNS.COM

RANDY
HUDSON
Designs

PRELIMINARY

Roof Plan

1/4" = 1'-0"



Roof Plan Notes

- 1. Roof Slope, Typ
- 2. Roof Color, Typ
- 3. Roof Material, Typ
- 4. Roof Drain, Typ
- 5. Roof Edge, Typ

A3.1

Sheet Number

Feb. 8, 2016

LAPP Building Permit for
 Marcus & Mary Leavitt
 2010 Sparrow Valley Road,
 Aptos, California 95003
 Phone: (831) 580-6002
 APN#: 105 - 391 - 35

Exterior
 Elevations

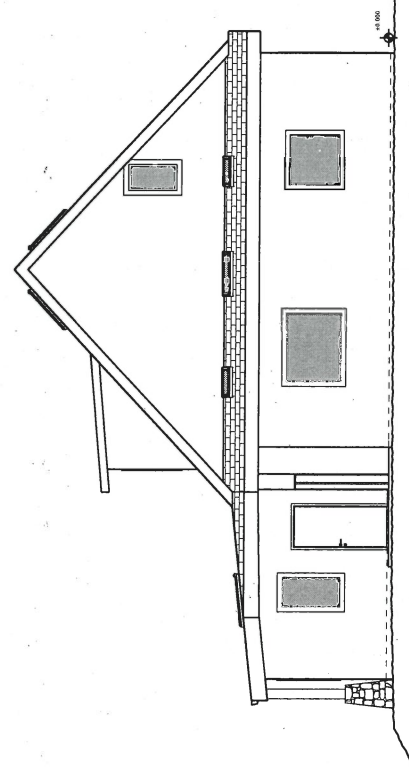
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RANDY HUDSON
 DESIGNS
 P.O. Box 911
 Aptos, CA 95003
 Phone: (831) 581-1082
 RANDYHUDSONDESIGNS.COM

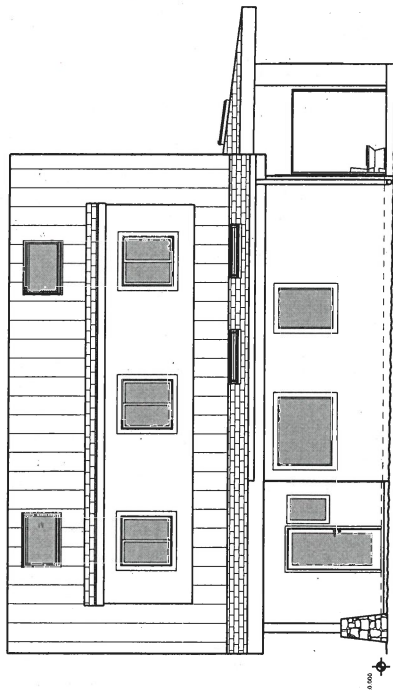
RANDY
 HUDSON
 Designs

PRELIMINARY

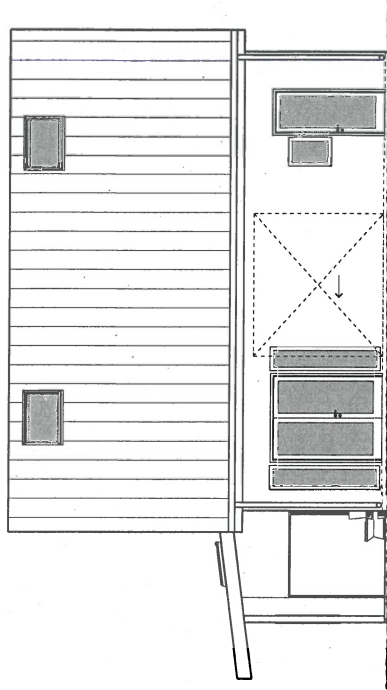
North Elevation $1/4" = 1'-0"$



East Elevation $1/4" = 1'-0"$



West Elevation $1/4" = 1'-0"$



South Elevation $1/4" = 1'-0"$

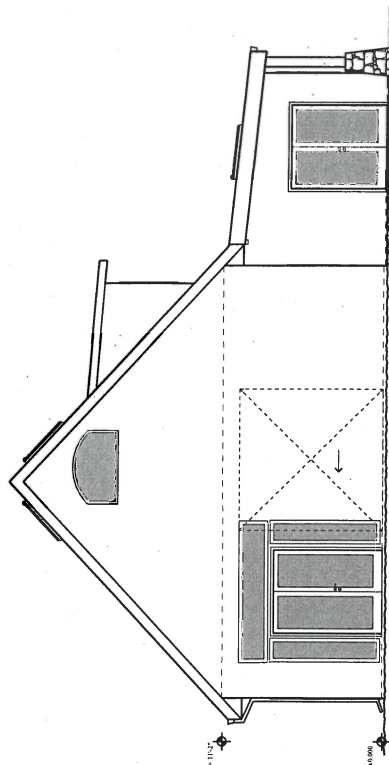


EXHIBIT D

A4.1

Sheet Number

Feb. 8, 2016

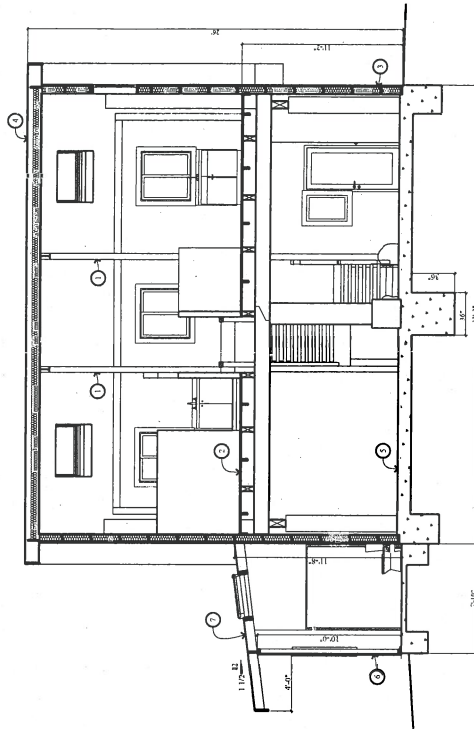
LAPP Building Permit for
 Marcus & Mary Leavitt
 2010 Sparrow Valley Road,
 Aptos, California 95003
 Phone: (831) 580-6002
 APN#: 105 - 391 - 35

Sections

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 OR MECHANICAL,
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 PERMISSION OF
 RANDY HUDSON DESIGNS

RANDY HUDSON
 DESIGNS
 P.O. Box 9119
 Aptos, CA 95020
 831-661-0882
 RANDYHUDSONDESIGNS.COM

RANDY
 HUDSON
 Designs



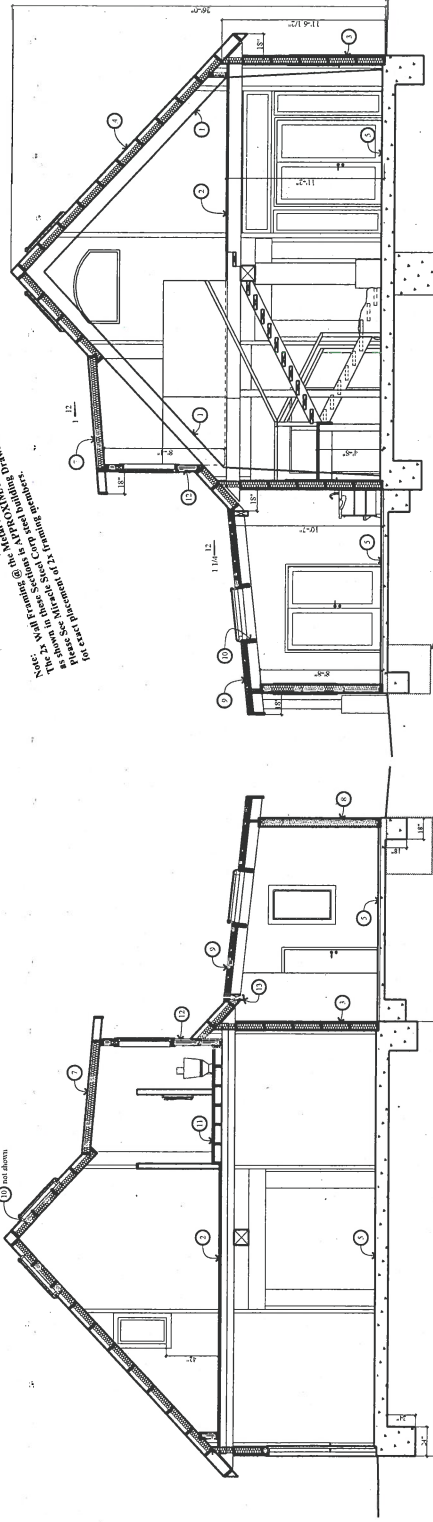
Section B

1/4" = 1'-0"

Section Notes

1. Line of Best Structural Trim
2. 2 x 6 Floor Joists @ 48" O.C. (Min.)
3. 4 x 12 Floor Joists @ 48" O.C. (Min.)
4. 2 x 6 Floor Joists @ 48" O.C. (Min.)
5. Water Above Siding w/ 2 x 6 Floor Joists @ 48" O.C. (Min.)
6. Vertical 2 x 6 Blocking w/ 2 x 6 Floor Joists @ 48" O.C. (Min.)
7. Vertical 2 x 6 Blocking w/ 2 x 6 Floor Joists @ 48" O.C. (Min.)
8. Vertical 2 x 6 Blocking w/ 2 x 6 Floor Joists @ 48" O.C. (Min.)
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98. Vertical 2 x 6 Blocking w/ 2 x 6 Floor Joists @ 48" O.C. (Min.)
99. Vertical 2 x 6 Blocking w/ 2 x 6 Floor Joists @ 48" O.C. (Min.)
100. Vertical 2 x 6 Blocking w/ 2 x 6 Floor Joists @ 48" O.C. (Min.)

Notes:
 1. All wall framing @ the North building is 11' x 12' for framing members.
 2. All wall framing @ the South building is 11' x 12' for framing members.
 3. All wall framing @ the West building is 11' x 12' for framing members.
 4. All wall framing @ the East building is 11' x 12' for framing members.
 5. All wall framing @ the Central building is 11' x 12' for framing members.
 6. All wall framing @ the North building is 11' x 12' for framing members.
 7. All wall framing @ the South building is 11' x 12' for framing members.
 8. All wall framing @ the West building is 11' x 12' for framing members.
 9. All wall framing @ the East building is 11' x 12' for framing members.
 10. All wall framing @ the Central building is 11' x 12' for framing members.



Section A

1/4" = 1'-0"

Section C

1/4" = 1'-0"

IMPROVEMENTS TO FOOTING
 REFER TO FIGURE 1 OF HARD
 COPY OF SUBMITTAL REPORT
 PROJECT NO. SC20071 DATED
 APRIL 3RD 2013

IMPROVEMENTS TO FOOTING
 REFER TO FIGURE 1 OF HARD
 COPY OF SUBMITTAL REPORT
 PROJECT NO. SC20071 DATED
 APRIL 3RD 2013

IMPROVEMENTS TO FOOTING
 REFER TO FIGURE 1 OF HARD
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 PROJECT NO. SC20071 DATED
 APRIL 3RD 2013

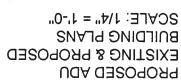
IMPROVEMENTS TO FOOTING
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 COPY OF SUBMITTAL REPORT
 PROJECT NO. SC20071 DATED
 APRIL 3RD 2013

IMPROVEMENTS TO FOOTING
 REFER TO FIGURE 1 OF HARD
 COPY OF SUBMITTAL REPORT
 PROJECT NO. SC20071 DATED
 APRIL 3RD 2013

EXHIBIT D



SA
architecture



DATE: 2013.07.21
DISCRETIONARY APPLICATION - 2013.10.16
DISCRETIONARY APPLICATION RESPONSE 2013.10.31



A1

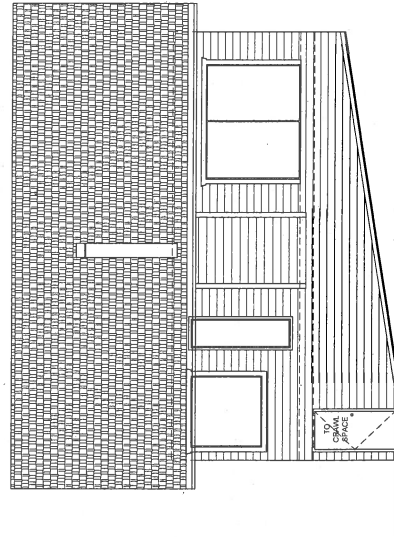
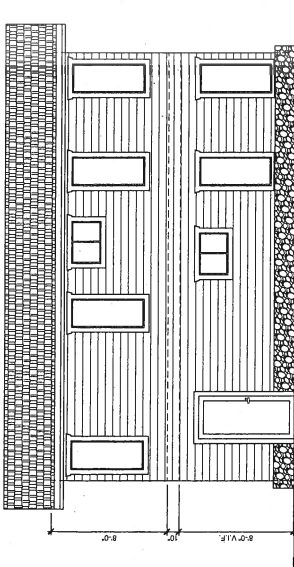
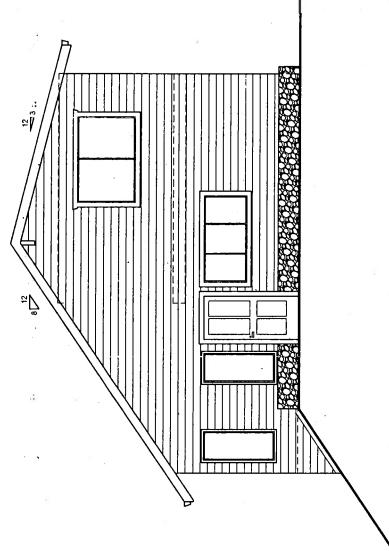
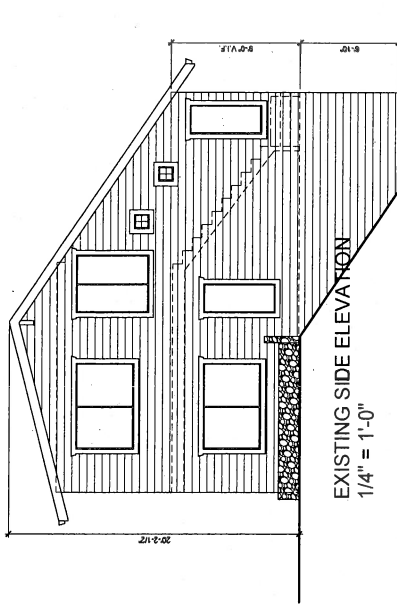
LEAVITT RESIDENCE
2010 SPARROW VALLEY ROAD
APTOS, CA 95003
APN 105-391-35
PROPOSED ADU
EXISTING
EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"

DATE: 01/21/2019
DRAWN BY: J. LEAVITT
CHECKED BY: J. LEAVITT
DISCREETARY APPLICATION
DISCREETARY APPLICATION RESPONSE
APR 18, 2019



Heidi Anderson Spicer architect
Anderson Spicer architecture
180 7th Ave, suite 102
Santa Cruz, CA 95062
831 425 2020
tspicyarch@gmail.com

SA
architecture



LEAVITT RESIDENCE
2010 SPARROW VALLEY ROAD
APTOS, CA 95003
APN 105-391-35

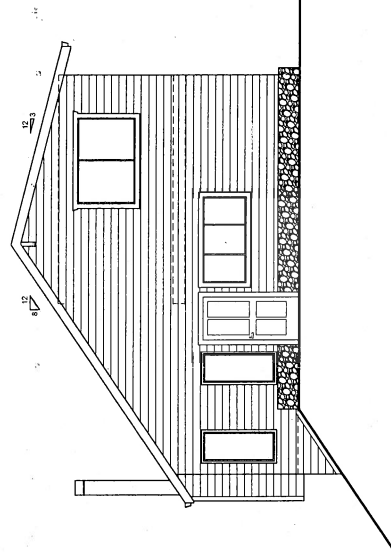
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DRAWN BY: TSP
CHECKED BY: TSP
DISCREETINARY APPLICATION
A DISCREETINARY APPLICATION RESPONSE
DATE: 01/11/21

PROPOSED ADU
EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"

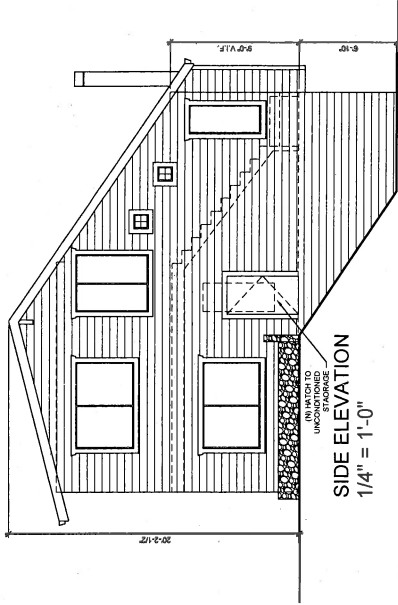


Heidi Anderson Spicer architect
tspicyarch@gmail.com
831 425 2020
Santa Cruz, CA 95062
180 7th Ave, Suite 102
Anderson Spicer architecture

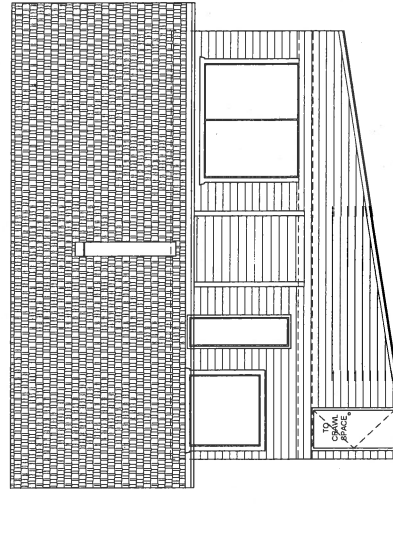
SIA
architecture



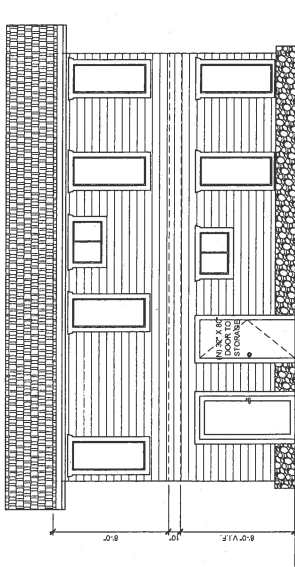
SIDE ELEVATION
1/4" = 1'-0"



SIDE ELEVATION
1/4" = 1'-0"



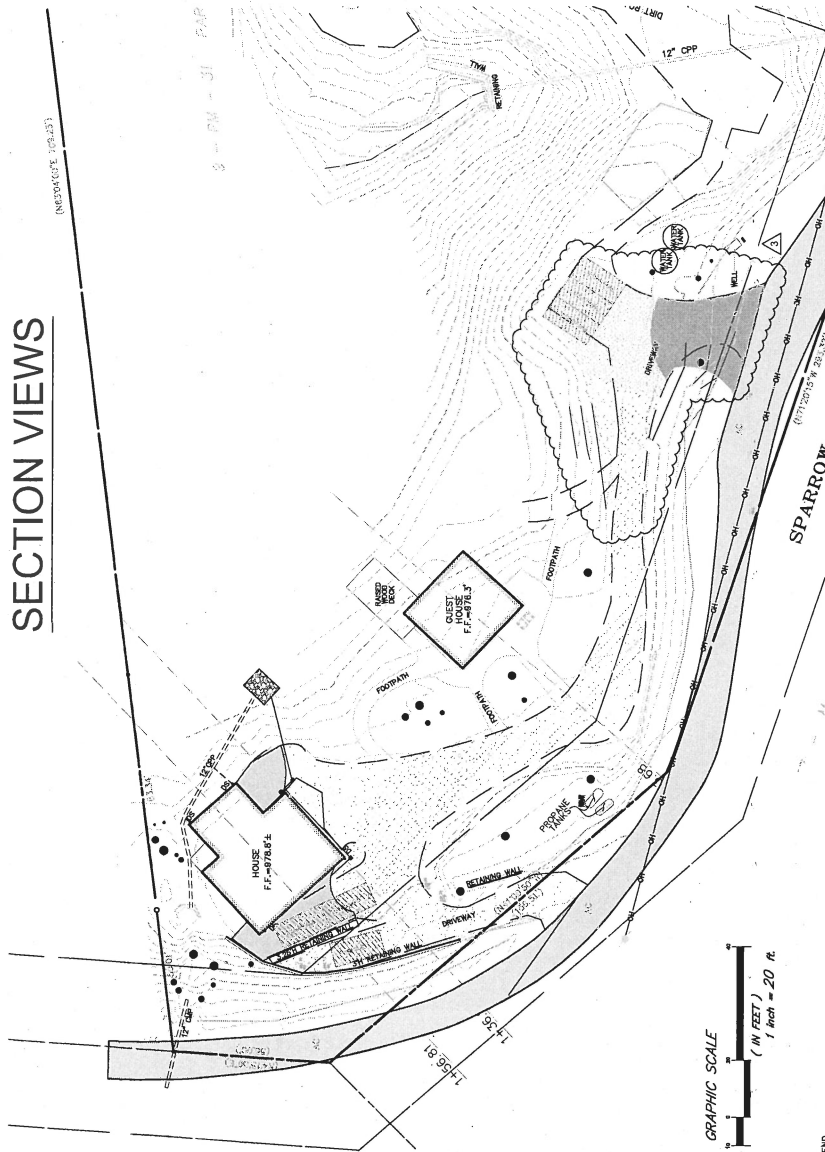
REAR ELEVATION
1/4" = 1'-0"



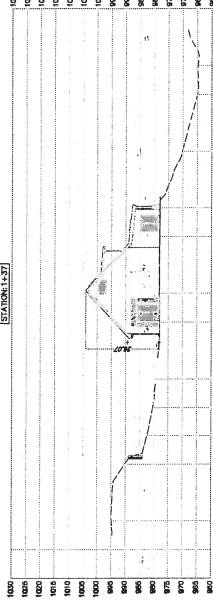
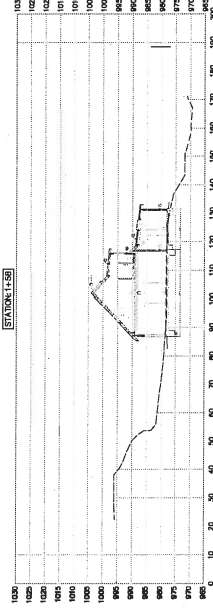
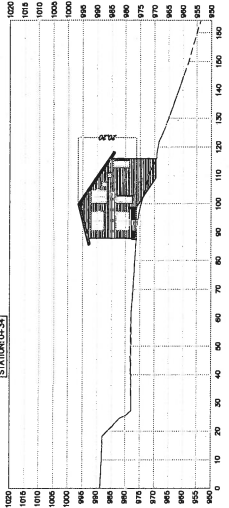
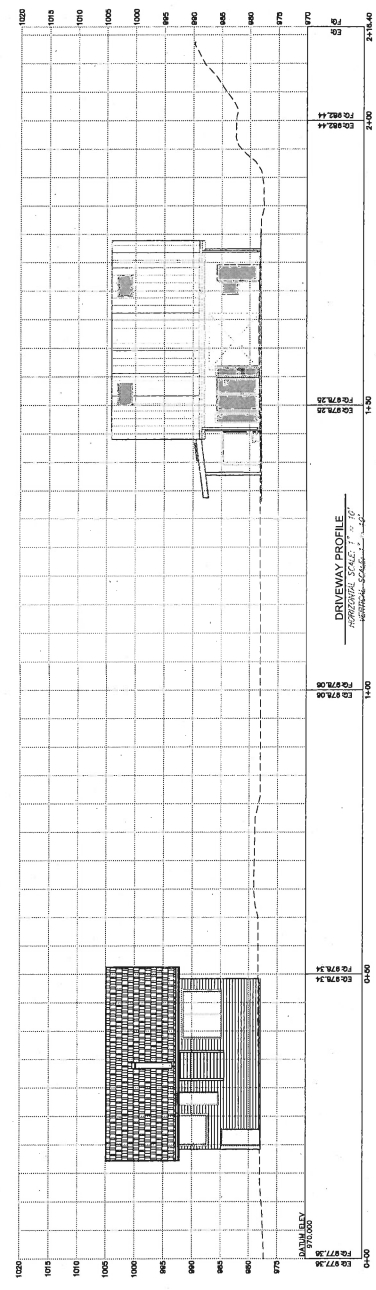
FRONT ELEVATION
1/4" = 1'-0"

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SECTION VIEWS

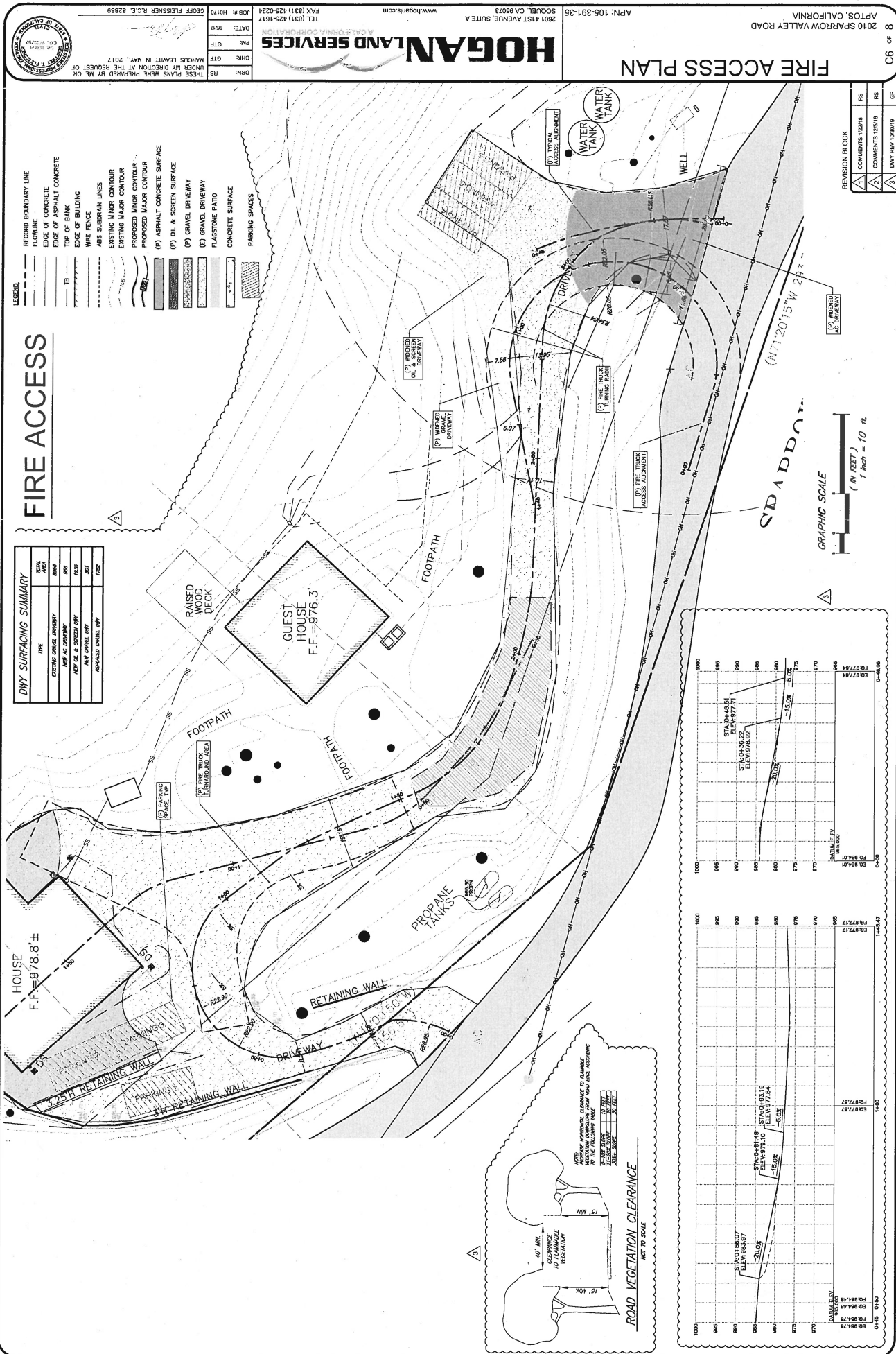


- LEGEND**
- RECORD BOUNDARY LINE
 - FLOWLINE
 - EDGE OF CONCRETE
 - EDGE OF ASPHALT CONCRETE
 - TOP OF BANK
 - EDGE OF BUILDING
 - WIRE FENCE
 - ASD SUBURBAN LINES
 - EXISTING MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - GRAVEL DRIVEWAY
 - FLAUSTONE PATIO
 - CONCRETE SURFACE
 - PARKING SPACES



SECTIONS
HORIZONTAL SCALE 1" = 20'
VERTICAL SCALE 1" = 10'

REVISION BLOCK		
NO.	DATE	DESCRIPTION
1	05/10/17	ISSUED FOR PERMIT



FIRE ACCESS PLAN

REVISION BLOCK	DATE	BY	RE
1	08/08	RS	RE
2	08/08	RS	RE
3	08/08	RS	RE



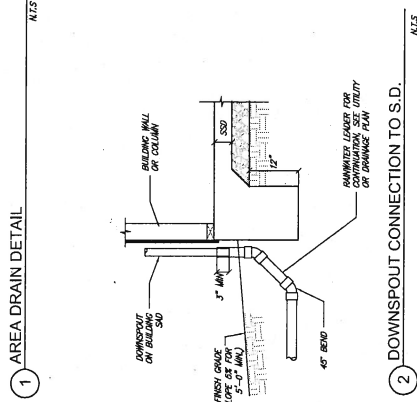
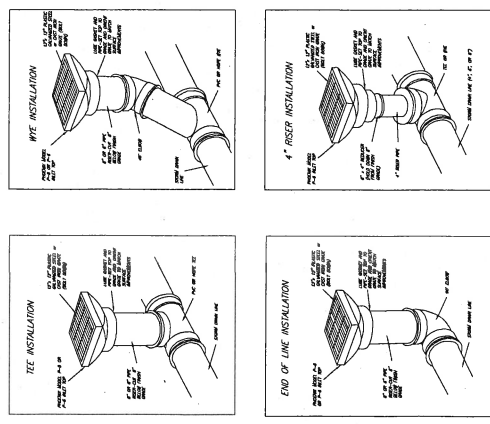
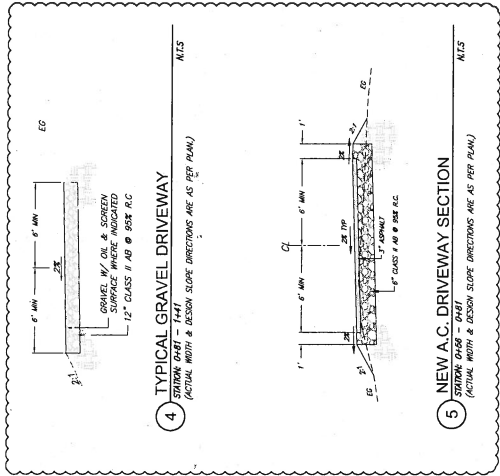
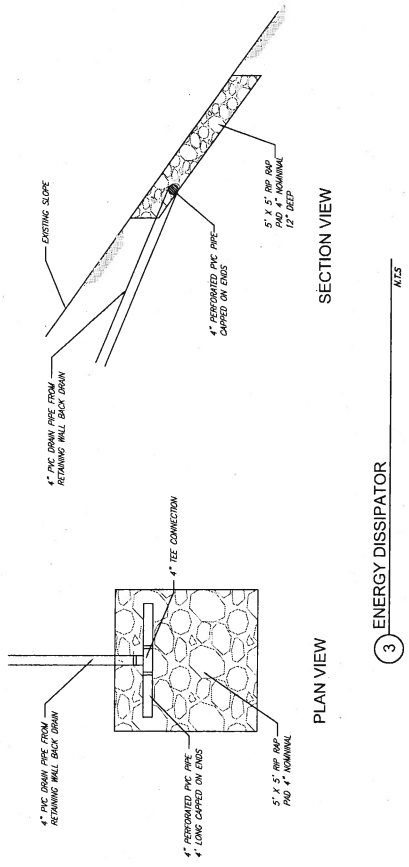
THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF
MARCUS LEVITT IN MAY, 2017
R.C.C. 82889
FLEXSNER R.C.C. 82889

HOGAN LAND SERVICES
A CALIFORNIA CORPORATION
www.hoganls.com
2801 41ST AVENUE, SUITE A
SOUQUET, CA 95073
TEL (831) 425-1617
FAX (831) 425-0224
JOB # 440170
DATE: 05/17
PK: QTF
CHK: QTF
DRN: RS

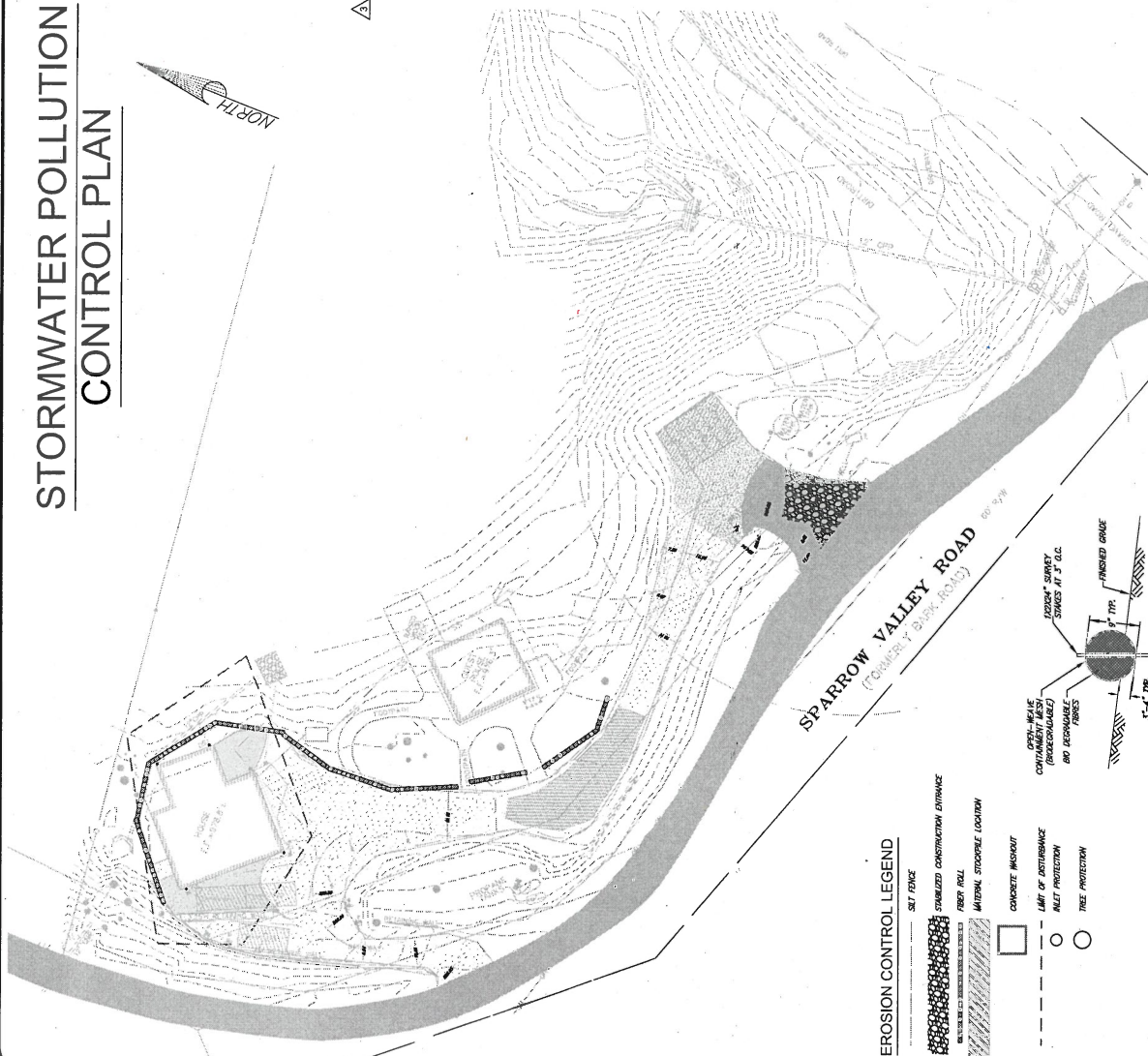
APN: 105-391-35
2010 SPARROW VALLEY ROAD
APTOS, CALIFORNIA
C7 of 8

REVISION BLOCK		
1	RS	COMMENTS 12/2/18
2	RS	COMMENTS 12/2/18
3	GF	REVISED 10/30/19

DETAILS



STORMWATER POLLUTION CONTROL PLAN



EROSION CONTROL LEGEND

- SET FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- FIBER ROLL
- CONCRETE INCHOUT
- LIMIT OF DISTURBANCE
- INLET PROTECTION
- TRIPLE PROTECTION

1 FIBER ROLL BARRIER

NOTE: INSTALL FIBER ROLL ON CONTOUR

2 STABILIZED CONSTRUCTION ENTRANCE



PROJECT INFORMATION

OWNER/DEVELOPER:
MARCUS LEVITT
2010 SPARROW VALLEY ROAD
MOUNTAIN VIEW, CA 92654
(916) 555-1177
SUBMITTER:
HOGAN LAND SERVICES
2001 41ST AVENUE, SUITE A
SACRAMENTO, CA 95833
(916) 452-1617
TOTAL AREA OF DISTURBANCE = 5.42 ACRES (16,668 S.F.)

EROSION CONTROL NOTES

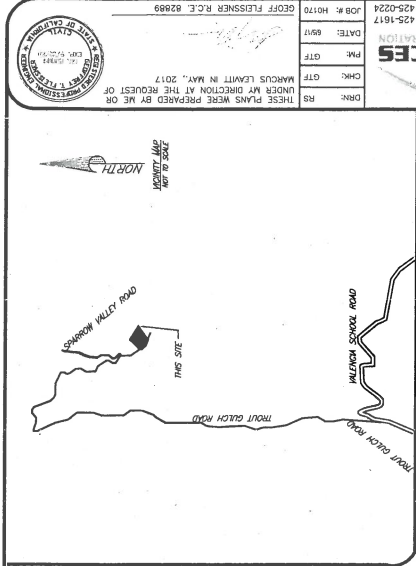
1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE EARTH SURFACE. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND REMOVED UPON COMPLETION OF THE PROJECT.
2. UNDESIRABLE GRASS AND VEGETATION SHALL BE REMOVED PRIOR TO CONSTRUCTION. ALL REMAINING GRASS SHALL BE RESEED WITH A MIXTURE OF 50% BENTON GRASS AND 50% BENTON LEGUMES.
3. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND REMOVED UPON COMPLETION OF THE PROJECT.
4. ANY EROSION CONTROL MEASURES THAT ARE DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
5. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND REMOVED UPON COMPLETION OF THE PROJECT.
6. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND REMOVED UPON COMPLETION OF THE PROJECT.
7. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND REMOVED UPON COMPLETION OF THE PROJECT.
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9. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND REMOVED UPON COMPLETION OF THE PROJECT.
10. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND REMOVED UPON COMPLETION OF THE PROJECT.

SITE HOUSEKEEPING REQUIREMENTS

- ### CONSTRUCTION MATERIALS
1. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT COVERED OR OTHERWISE PROTECTED SHALL BE STORED IN A MANNER THAT PREVENTS EROSION AND SEDIMENTATION.
 2. ALL MATERIALS SHALL BE STORED IN A MANNER THAT PREVENTS EROSION AND SEDIMENTATION.
 3. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND REMOVED UPON COMPLETION OF THE PROJECT.
 4. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND REMOVED UPON COMPLETION OF THE PROJECT.
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 10. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND REMOVED UPON COMPLETION OF THE PROJECT.
- ### WASTE MANAGEMENT
1. ALL WASTE MATERIALS SHALL BE STORED IN A MANNER THAT PREVENTS EROSION AND SEDIMENTATION.
 2. WASTE MATERIALS SHALL BE STORED IN A MANNER THAT PREVENTS EROSION AND SEDIMENTATION.
 3. WASTE MATERIALS SHALL BE STORED IN A MANNER THAT PREVENTS EROSION AND SEDIMENTATION.
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 10. WASTE MATERIALS SHALL BE STORED IN A MANNER THAT PREVENTS EROSION AND SEDIMENTATION.
- ### VEHICLE STORAGE AND MAINTENANCE
1. ALL VEHICLES SHALL BE STORED IN A MANNER THAT PREVENTS EROSION AND SEDIMENTATION.
 2. VEHICLES SHALL BE STORED IN A MANNER THAT PREVENTS EROSION AND SEDIMENTATION.
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 10. VEHICLES SHALL BE STORED IN A MANNER THAT PREVENTS EROSION AND SEDIMENTATION.
- ### LANDSCAPE MATERIALS
1. ALL LANDSCAPE MATERIALS SHALL BE STORED IN A MANNER THAT PREVENTS EROSION AND SEDIMENTATION.
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 10. LANDSCAPE MATERIALS SHALL BE STORED IN A MANNER THAT PREVENTS EROSION AND SEDIMENTATION.

STORMWATER POLLUTION CONTROL PLAN

APN: 105-391-35
2001 41ST AVENUE, SUITE A
SACRAMENTO, CA 95833
HOGAN LAND SERVICES
TEL: (916) 452-1617
FAX: (916) 452-0224
JOB #: 16170
DATE: 08/17/17
CHK: GTF
RSK: RS



REVISION BLOCK	
NO.	DESCRIPTION
1	COMMENTS 12/20/18
2	COMMENTS 12/20/18
3	DATE: FEB 14/2019

C8 of 8

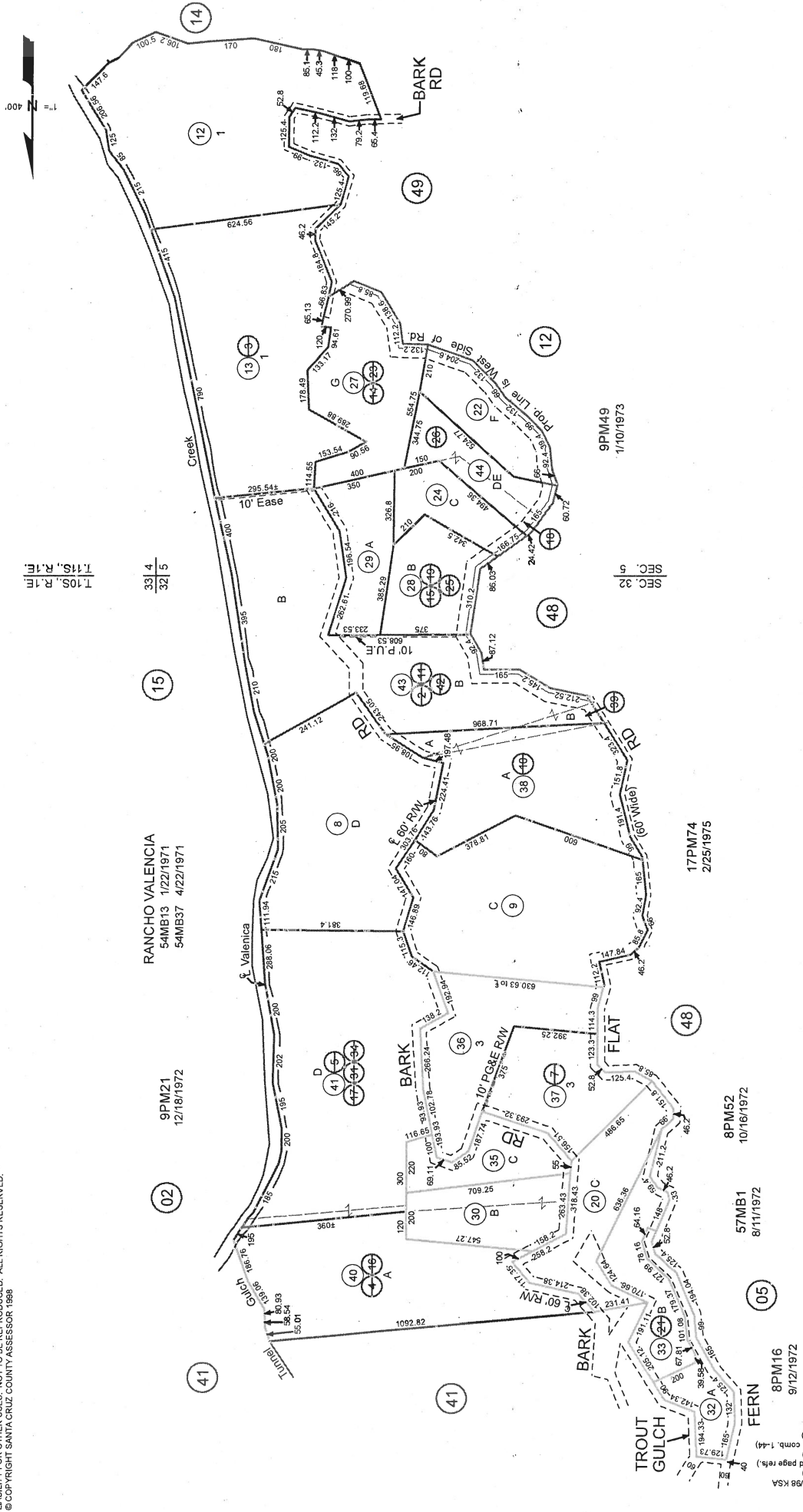
FOR TAX PURPOSES ONLY

THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
© COPYRIGHT SANTA CRUZ COUNTY ASSESSOR 1998

SOQUELAUGMENTATION RANCHO
POR. SEC. 32, T.10S., & SECS. 4&5, T.11S., R.1E., M.D.B. & M.

Tax Area Code
69-266

105-39



Note - Assessor's Parcel & Block
Numbers Shown in Circles.

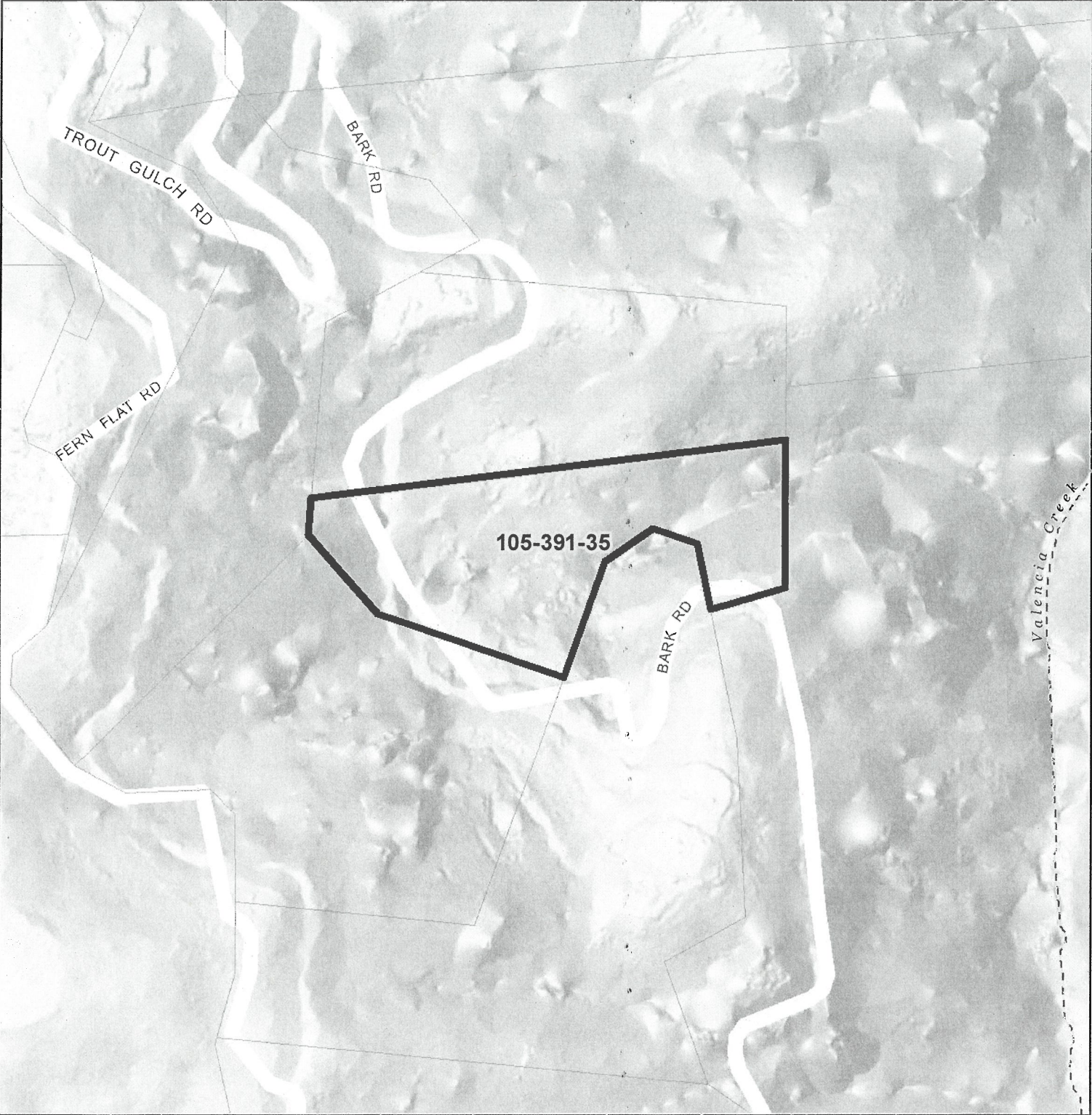
Assessor's Map No. 105-39
County of Santa Cruz, Calif.
June 1998

Rev. 8/22/01 mm (BPM49)
Rev. 10/30/01 mm (BPM49)
Rev. 11/30/01 mm (BPM49)
Rev. 8/31/07 mm (BPM49)
Rev. 7/21/12 CB (Cor. Lot #9)

EXHIBIT E



Parcel Location Map

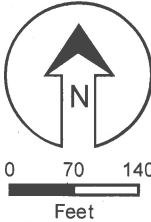


Parcel: 10539135

- Study Parcel
- Assessor Parcel Boundary

Map printed: 31 Jan. 2020

EXHIBIT E



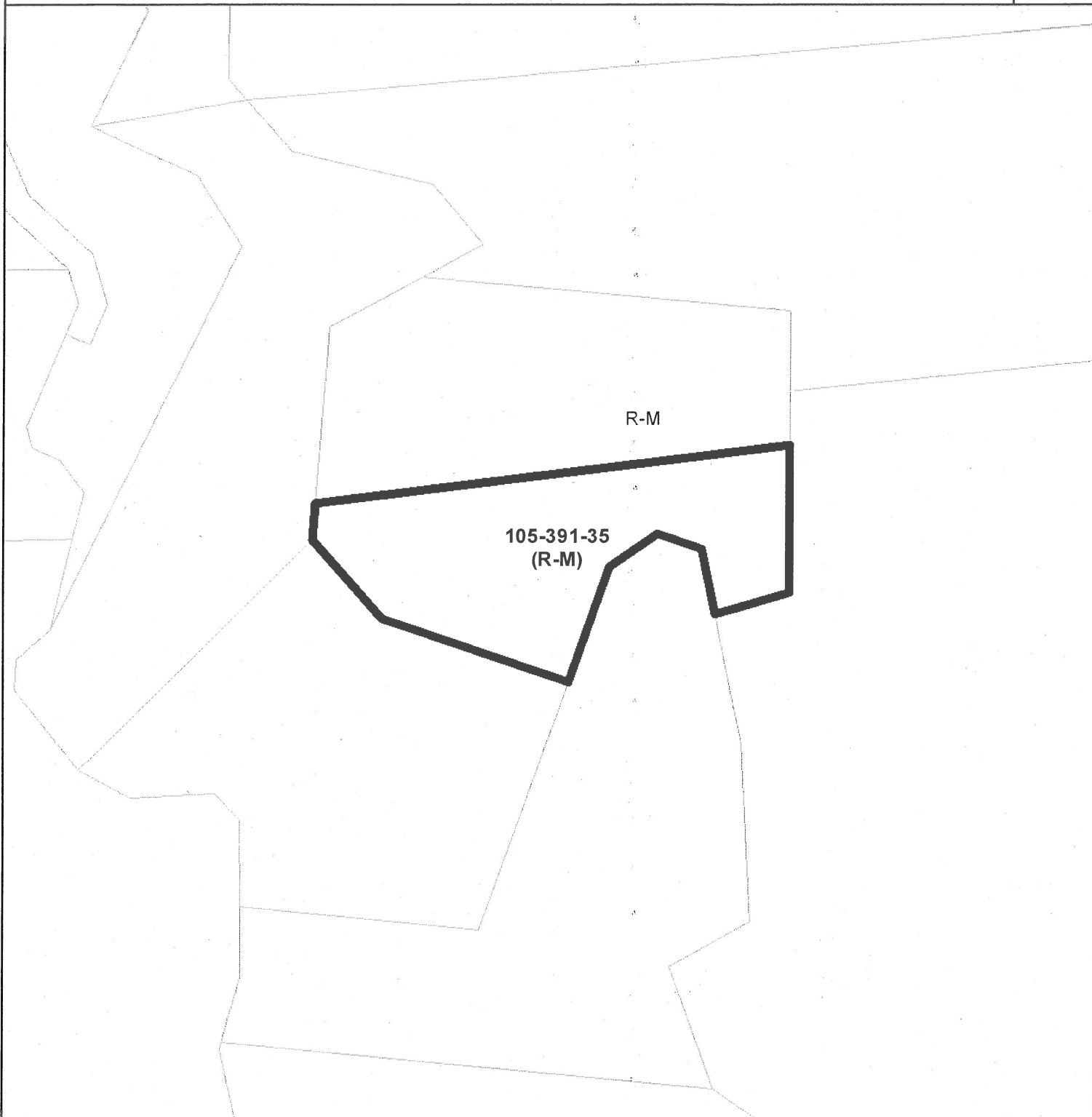


SANTA CRUZ COUNTY PLANNING DEPARTMENT

Parcel General Plan Map



Mapped
Area



☐ R-M Residential Mountain



EXHIBIT E

0 70 140
Feet

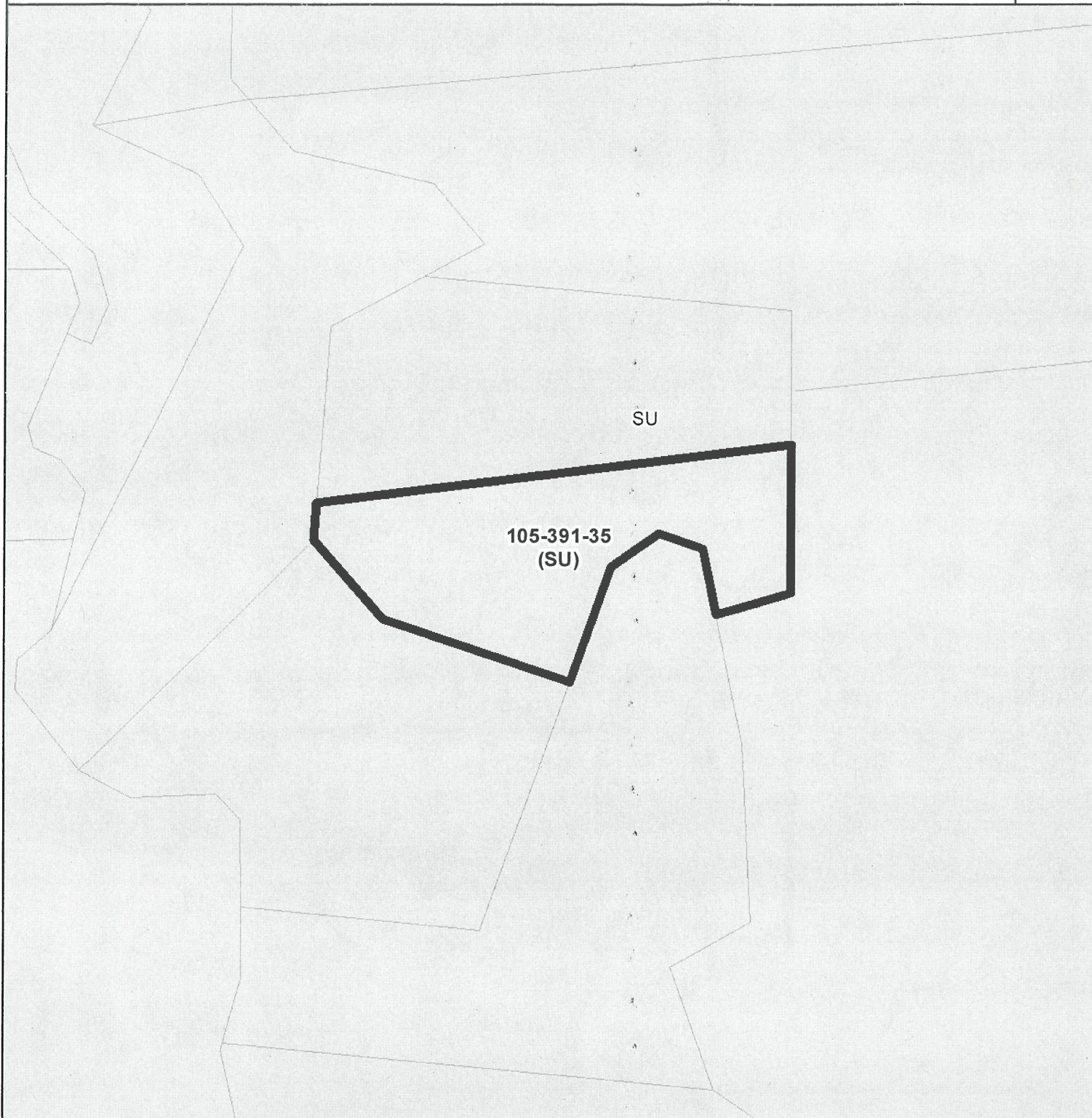


SANTA CRUZ COUNTY PLANNING DEPARTMENT

Parcel Zoning Map



Mapped
Area



■ SU *Special Use*



EXHIBIT E

0 70 140
Feet

Application #: 171195
APN: 105-391-35
Owner: Marcus and Mary Leavitt

Parcel Information

Services Information

Urban/Rural Services Line: ☐ Inside ☒ Outside
Water Supply: Private well
Sewage Disposal: Septic System
Fire District: Santa Cruz county Fire Protection District
Drainage District: Outside

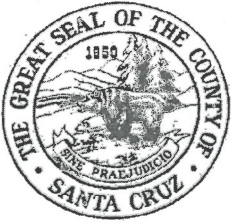
Parcel Information

Parcel Size: 3.5 acres
Existing Land Use - Parcel: Residential
Existing Land Use - Surrounding: Residential
Project Access: Sparrow Valley Road
Planning Area: Aptos Hills
Land Use Designation: R-M (Mountain Residential)
Zone District: SU (Special Use)
Coastal Zone: ☐ Inside ☒ Outside
Appealable to Calif. Coastal Comm.: ☐ Yes ☒ No

Technical Reviews: Soils Report Review - REV191067
Geologic Hazards Assessment - REV191067

Environmental Information

Geologic Hazards: See Geologic Hazards Assessment - REV191067
Fire Hazard: Not a mapped constraint
Slopes: Slopes between 15% and over 50%
Env. Sen. Habitat: Not mapped/no physical evidence on site
Grading: No additional grading proposed
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Archeology: Not mapped/no physical evidence on site



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123

KATHLEEN MOLLOY, PLANNING DIRECTOR

7 September 2018

Marcus Leavitt
2010 Sparrow Valley Rd
Aptos, CA 95003

Subject: Review of the Geotechnical Investigation Update for Residential Construction – LAPP Building Permit at 2010 Sparrow Valley Road/APN 105-391-35 dated 3 April 2018 by Haro, Kasunich and Associates – Project No. SC7067.1

Project Site: 2010 Sparrow Valley Road
APN 105-391-35
Application No. REV181080

Dear Applicant:

The purpose of this letter is to inform you that the Planning Department has accepted the subject report and the following items shall be required:

1. All project design and construction shall comply with the recommendations of the subject report.
2. Final plans shall reference the report by title, author and date. Final Plans should also include a statement that the project shall conform to the report's recommendations.
3. After plans are prepared that are acceptable to all reviewing agencies, please submit a completed Soils (Geotechnical) Engineer Plan Review Form to Environmental Planning. The author of the soils report shall sign and stamp the completed form. Please note that the plan review form must reference the final plan set by last revision date.

Any updates to report recommendations necessary to address conflicts between the report and plans must be provided via a separate addendum to the soils report.

Electronic copies of all forms required to be completed by the Geotechnical Engineer may be found on our website: www.sccoplanning.com, under "Environmental", "Geology & Soils", and "Assistance & Forms".

After building permit issuance the soils engineer *must remain involved with the project* during construction. Please review the Notice to Permits Holders (attached).

Our acceptance of the report is limited to its technical content. Other project issues such as zoning, fire safety, septic or sewer approval, etc. may require resolution by other agencies.

Review of the Geotechnical Investigation Update for Residential Construction – LAPP Building Permit at 2010 Sparrow Valley Road/APN 105-391-35 dated 3 April 2018 by Haro, Kasunich and Associates – Project No. SC7067.1

APN 105-391-35

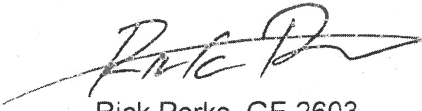
7 September 2018

Page 2 of 3

Please note that this determination may be appealed within 14 calendar days of the date of service. Additional information regarding the appeals process may be found online at: http://www.sccoplanning.com/html/devrev/plnappeal_bldg.htm

If we can be of any further assistance, please contact the undersigned at (831) 454-3168 or rick.parks@santacruzcounty.us

Respectfully,



Rick Parks, GE 2603
Civil Engineer – Environmental Planning Section
County of Santa Cruz Planning Department

Cc: Haro, Kasunich and Associates, Inc. Attn: Robert Hasseler, GE
Environmental Planning, Attn: Robert Loveland
Owners Agent: Geoffrey Fleissner, PE

Attachments: Notice to Permit Holders

**NOTICE TO PERMIT HOLDERS WHEN A SOILS REPORT HAS BEEN PREPARED,
REVIEWED AND ACCEPTED FOR THE PROJECT**

After issuance of the building permit, the County requires your soils engineer to be involved during construction. Several letters or reports are required to be submitted to the County at various times during construction. They are as follows:

1. **When a project has engineered fills and / or grading**, a letter from your soils engineer must be submitted to the Environmental Planning section of the Planning Department prior to foundations being excavated. This letter must state that the grading has been completed in conformance with the recommendations of the soils report. Compaction reports or a summary thereof must be submitted.
2. **Prior to placing concrete for foundations**, a letter from the soils engineer must be submitted to the building inspector and to Environmental Planning stating that the soils engineer has observed the foundation excavation and that it meets the recommendations of the soils report.
3. **At the completion of construction**, a *Soils (Geotechnical) Engineer Final Inspection Form* from your soils engineer is required to be submitted to Environmental Planning that includes copies of all observations and the tests the soils engineer has made during construction and is stamped and signed, certifying that the project was constructed in conformance with the recommendations of the soils report.

If the *Final Inspection Form* identifies any portions of the project that were not observed by the soils engineer, you may be required to perform destructive testing in order for your permit to obtain a final inspection. The soils engineer then must complete and initial an *Exceptions Addendum Form* that certifies that the features not observed will not pose a life safety risk to occupants.



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
KATHLEEN MOLLOY PREVISICH, PLANNING DIRECTOR

June 26, 2019

Marcus Leavitt
c/o Hogan Land Services
ATTN: Geoffrey Fleissner
802 Estates Drive Suite 100-A
Aptos, California 95003

Subject: GEOLOGIC HAZARDS ASSESSMENT
APN 105-391-35
LOCATION: Sparrow Valley Road
Aptos, CA
PERMIT APPLICATION NUMBER: REV191067
OWNER: Marcus Leavitt

Dear Mr. Leavitt:

I performed a site reconnaissance of the parcel referenced above on 6/14/19, where you are working to obtain permits for an existing residence. The parcel was evaluated for possible geologic hazards due to its location in an area of steep slopes that may be prone to landsliding. This letter briefly discusses my site observations, outlines permit conditions, requirements for further technical investigations, if any, and completes the hazard assessment for this property. The property location is shown on Figure 1, attached.

Completion of this geologic hazards assessment included a site reconnaissance, a review of maps and other pertinent documents on file with the Planning Department, and an evaluation of aerial photographs. We were also provided with a copy of a geotechnical (soils) report and report update for the parcel by Haro, Kasunich, and Associates. The scope of this assessment is not intended to be as detailed as a full geologic or geotechnical report completed by a state registered consultant.

GEOLOGIC SETTING

The subject property occupies a moderately to steeply sloping, southwest flowing ephemeral stream drainage on the western flank of Valencia Creek (Figure 1, Topographic Index Map). The property is in an area underlain by marine sandstone of the Purisima Formation, of Pliocene age (about 3 to 6 million years old; see Figure 2, Regional Geologic Map). The layering in the Purisima sandstone is dipping (tilted) to the south at 3 to 15 degrees. The Zayante fault zone is located about ¼ mile to the northwest of the northeastern property corner. The property is

depicted as lying on a landslide deposit on the Santa Cruz County landslide map, as will be discussed in a later section (Figure 3, Santa Cruz County Landslide Map).

The subject homesite is situated near the northwestern property corner on a level pad formed by cutting and filling of the natural slope. It is accessed by a short, unpaved road from Sparrow Valley Road. The building site is underlain by some thickness of fill around the downhill portion of the building pad. The hillside above the home rises at a gradient of about 60% gradient to a ridge crest above the homesite.

SEISMIC HAZARDS

This property is located in a seismically active region of northern California, as the October 17, 1989 earthquake amply demonstrated. The subject parcel is located approximately 4 miles southwest of the San Andreas fault zone, a very large strike-slip (horizontally moving) fault that extends for over 700 miles through California. Other active or potentially active faults in the area include the Zayante, San Gregorio and Monterey Bay/Tularcitos faults to the southwest and the Sargent, Monte Vista, Calaveras, and Hayward faults to the northeast. The property is situated 0.25 miles from the Zayante fault. The subject property is situated outside of any Santa Cruz County or State of California designated fault zones.

Projects sited in areas of active faulting must be carefully evaluated for the potential for ground surface rupture. Fault movement during earthquakes can offset the ground surface, which will severely damage or destroy structures built directly over the fault rupture zone. The proposed homesite is situated away from areas where surface ground rupture is likely to occur. We observed no evidence on aerial photographs or lidar imagery for tonal or geomorphic lineaments that would be indicative of active faulting in the immediate vicinity of the proposed homesite.

In addition to fault ground surface rupture, very strong ground shaking is likely to occur on the parcel during the anticipated lifetime of the proposed dwelling. Therefore, proper structural and foundation design is imperative. Intense ground shaking may be accompanied by shaking-related ground deformation that includes ridgetop shattering, liquefaction, lateral spreading, and ground subsidence.

SLOPE STABILITY HAZARDS

A "Preliminary Map of Landslide Deposits in Santa Cruz County" was prepared in 1975 as part of the County's General Plan. This interpretive map was prepared from aerial photographs and was designed only for "regional land use evaluations." The map indicates areas where questionable, probable, or definite past instability is suspected. While not a susceptibility map indicating potential site-specific stability problems, when utilized in conjunction with other published data and documents the map is a useful planning resource.

The subject parcel is situated within the boundaries of a "probable" landslide on the County landslide map (Figure 3). The geologic map for the area (Figure 2) does not show any landslides at this site. However, the geologic map was not intended to document landsliding and it is not unusual for the geologic map to not show landslides shown on the County landslide map. We

reviewed lidar imagery and aerial photos taken in 1948, 1973, 1975, and 1989 to help assess the potential extent of landsliding on the property.

In our opinion, evidence for the landslide on the parcel depicted on the local geologic map (Figure 2) is lacking. There is a gently sloping topographic bench at about 600' elevation along the ridge flank where the subject property is located. This bench is matched by corresponding benches on the eastern flank of Valencia Creek (Figure 1). We consider this bench to be a partially dissected older terrace of Valencia Creek and not evidence of landsliding. We did not see any evidence for large scale or deep-seated landsliding on the slopes above subject residence

The hill slopes above the proposed building site are steeply sloping and are cut by steep swales. This type of setting is capable of generating debris flows. Debris flows are small, fluid, highly mobile landslides that can race downhill and severely damage any structures in their path. They may entrain large trees that increase the destructive power of the flows. We also noted that there is an unpaved road that had been graded across the slope high above the subject property. The road has cuts on the inboard side and a fill prism on the outboard edge of the road. We observed two landslide failures of the fill prism above the subject property.

Figure 4 is a sketch map summarizing our findings. There are two swales on the slope above the subject residence. The northerly swale is the smaller of the two and is relatively shallow. This swale is directed towards the residence. We did not note any natural debris flow scars, but there was a substantial landslide failure of the road fill prism at the head of this drainage. The landslide mass is not in evidence, only the evacuation scar, and we infer that the fill failure likely moved rapidly downslope as a debris flow, probably accumulating on Sparrow Valley Road. The age of this failure and any impacts due to the event are not known. Most of the fill at the head of this swale was removed as a result of this failure. Failures of the small amount of remaining fill are not expected to present a hazard to the subject residence.

The southerly swale is of substantial size, but is not directed towards the subject residence, and therefore any debris flows issuing from this drainage are not considered to be a threat to the residence. We noted a larger, slump type failure of the fill prism on the side slopes of the swale, and we noted evidence for significant past grading (cut and fill benches) along the axis of the swale. However, we do not consider these features to be indicative of any threat to the residence.

It does appear that there could be a landslide located to the north of the subject residence on a neighboring parcel (Figure 4). This suspected landslide is situated on the other side of the drainage from the subject residence. Reactivation of this landslide, should it exist, is not expected to impact the subject residence.

BUILDING SITE CONSIDERATIONS

The subject residence is constructed on a cut and fill pad. The fill underlies the eastern side of the residence, is of undetermined thickness, and is buttressed by an informal retaining structure on the downslope site. The western (upslope) portion of the residence is situated on cut. The fill, to our knowledge, is undocumented and the efficacy of the retaining structure on the downhill side is unknown. The soils report for the project prepared by Haro, Kasunich, and

Associates (report of June 2000 and report update of 3 April 2018) recommends deepening the foundation on the downhill side of the home to protect against failure or settling of the fill supporting the eastern side of the house. These recommendations are appropriate.

We noted a 12" corrugated plastic culvert that conveys runoff from Sparrow Valley Road and from downspouts on the western side of the residence to a drainage channel on the eastern side of the residence. The grading and drainage plan by Hogan Land Services (May 2017, revision of 12/5/18) shows the culvert routed around the northeast side of the residence. Observing the culvert at both ends in the field, it is not clear whether the culvert as it exists is routed around the residence or under it.

REPORT REQUIREMENTS

Based on my site visit and review of pertinent maps and other documents, further geologic evaluation in the form of a full geologic report is **not** indicated for your proposed development on this parcel.

The geotechnical (soils) investigation performed for the site by Haro, Kasunich, and Associates has been accepted by Santa Cruz County and no further geotechnical report requirements are proposed. We do, however, have some concern regarding the culvert that appears to pass beneath the structure. We request that the soils or civil engineer for the project verify the culvert location and make supplementary recommendations, if warranted. Your engineer should address this issue in a letter prior to submitting or re-submitting plans for a building permit.

PERMIT CONDITIONS

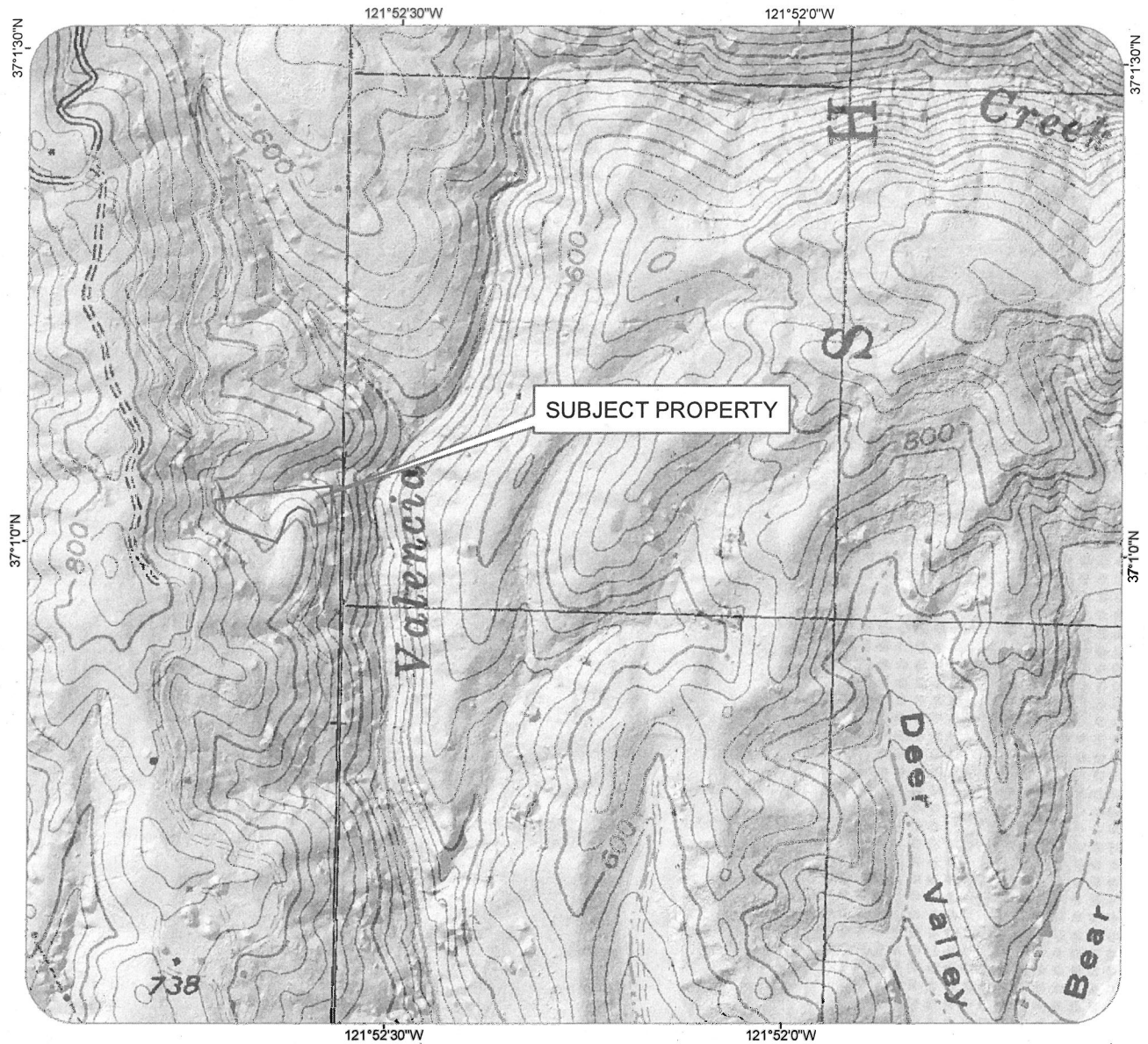
Please ensure that all recommendations made by the project geotechnical engineer are incorporated into the project. Final building plans submitted to the Planning Department will be checked to verify that the project is consistent with the geotechnical report recommendations prior to issuance of a building permit. If you have any questions concerning these conditions, the hazards assessment, or geologic issues in general, please contact me at 454-3175. It should be noted that other planning issues not related specifically to geology may alter or modify your development proposal and/or its specific location.

Sincerely,

Jeff Nolan
County Geologist
CEG #2247

Date

Enclosure(s): Figures 1-4



0 600 1,200 1,800 2,400 Feet



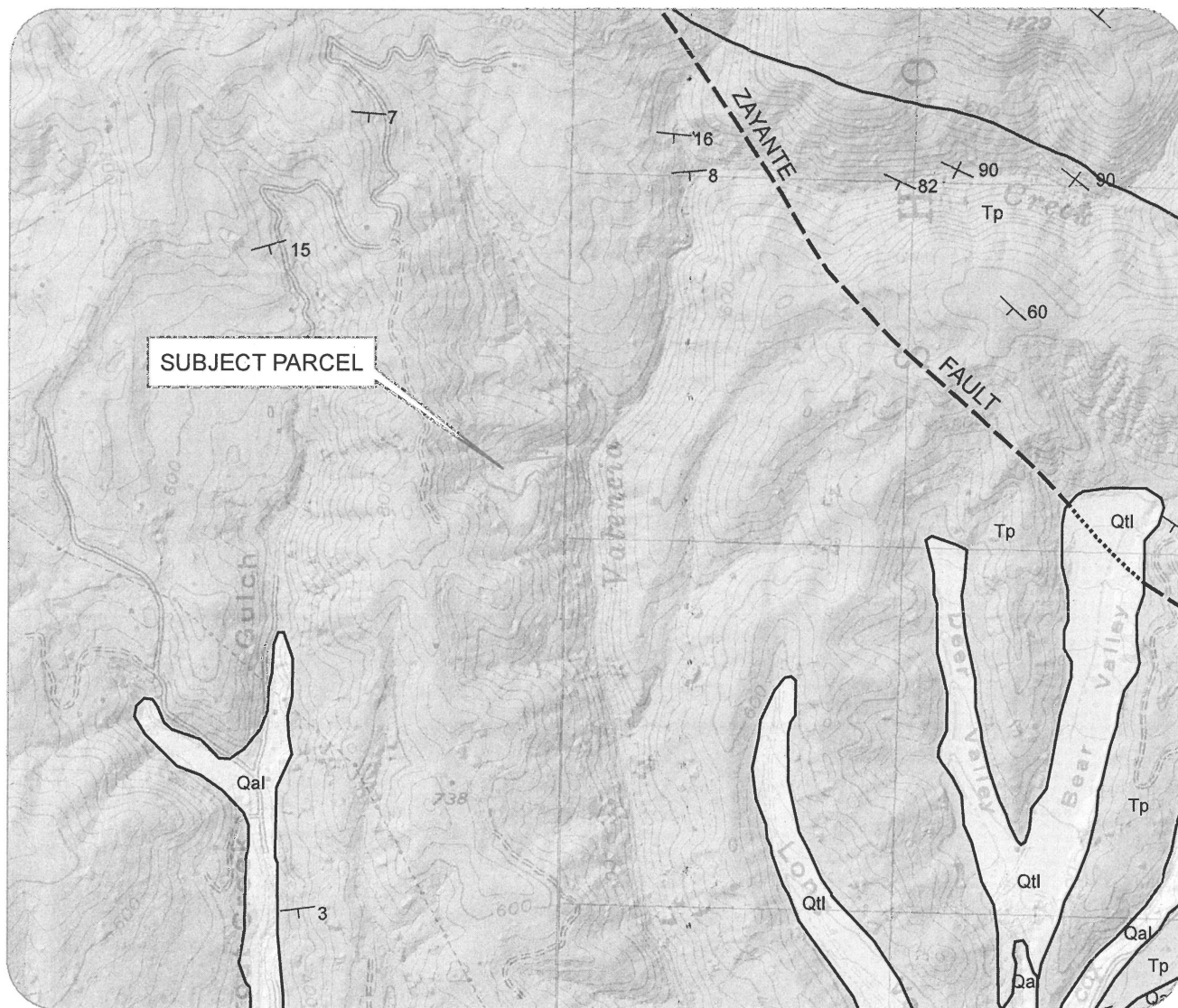
Planning Department
<http://www.sccoplanning.com/>

Topographic Index Map

Sparrow Valley Road
 Santa Cruz County, California
 APN: 105-391-35

Figure #1

Date: 7/2/19



Reference: U.S. Geological Survey Miscellaneous Investigation Series Map I-1905

Legend

Symbols

- |— Approx strike and dip of bedding
- + Strike and dip of Bedding
- + Vertical bedding

- contact, certain
- - - fault, approx. located
- fault, concealed
- ↕ anticline, certain

Geologic Unit

- Qal
- Qtl
- Qae
- Tp

0 1,000 2,000 3,000 4,000 Feet



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Regional Geologic Map

Sparrow Valley Road
 Santa Cruz County, California
 APN: 105-391-35

Figure # 2

Date: 7/1/19



Reference: Landslide mapping by Cooper-Clark Associates. 1975, Preliminary map of landslide deposits in Santa Cruz County.

Legend

Small Landslides (too small to depict at map scale)

- ▲ Definite Landslide
- ▲ Probable Landslide
- ▲ Questionable Landslide

Large Landslides

- D- Definite Landslide Deposit
- P - Probable Landslide Deposit
- ? - Questionable Landslide Deposit
- Unattributed Landslide Deposit

Direction of
Landslide Movement

0 500 1,000 1,500
Feet



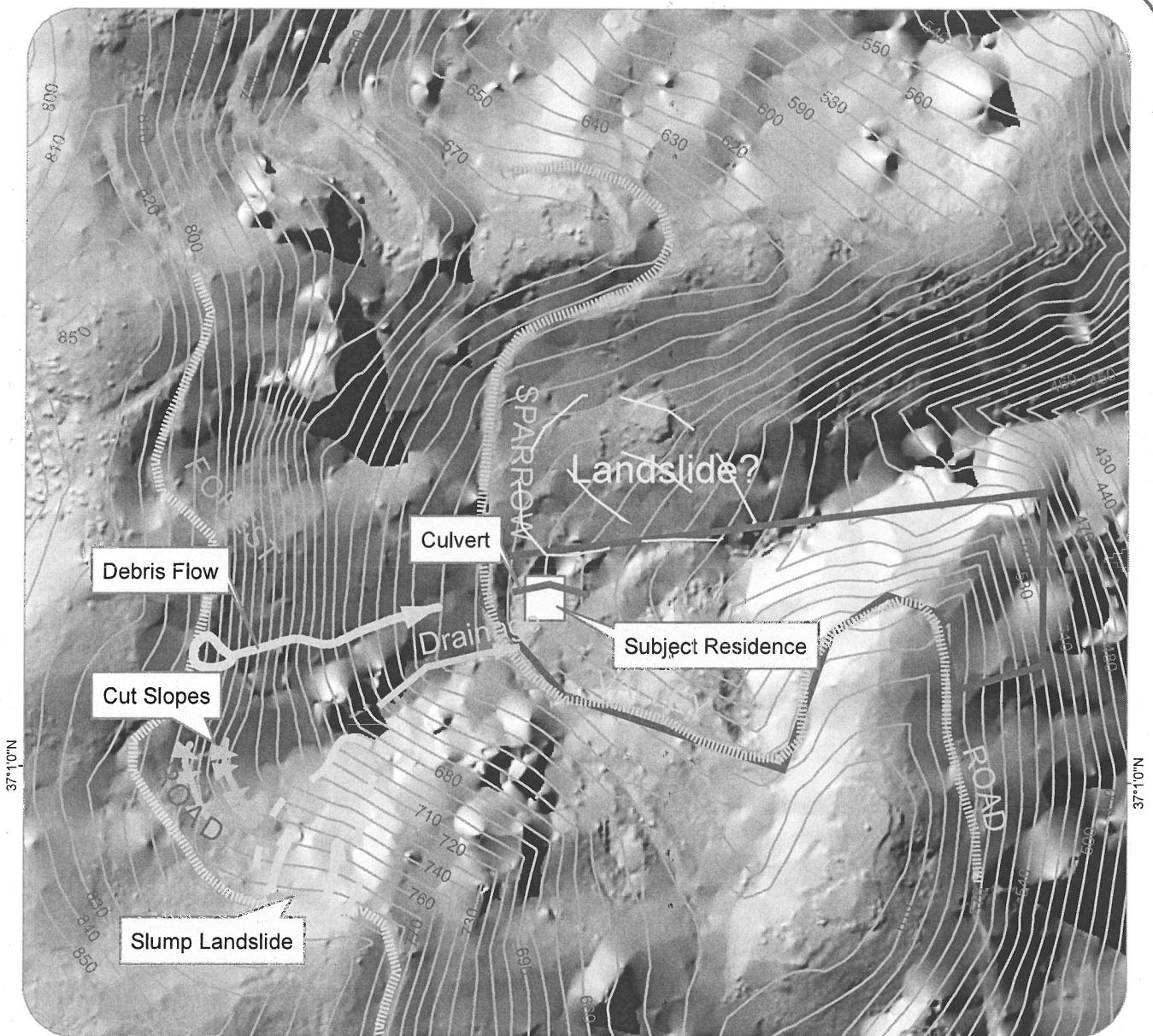
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Santa Cruz County Landslide Map

Sparrow Valley Road
Santa Cruz County, California
APN: 105-391-35

Figure #3

Date: 7/2/19



0 100 200 300 400 Feet



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Site Sketch Map

Sparrow Valley Road
 Santa Cruz County, California
 APN: 105-391-35

Figure #4

Date: 7/2/19