



Staff Report to the Zoning Administrator

Application Number: 191056

Applicant: Matson Britton Architects

Agenda Date: April 17, 2020

Owner: Eugene Ravizza

Agenda Item #: 4

APN: 043-141-05

Time: After 9:00 a.m.

Site Address: 536 Bayview Drive

Project Description: Proposal to remodel and construct a one- and two-story addition to an existing single-family dwelling to result in a 4,658 square foot home with an attached garage, located in the R-1-6 (Single-family Residential) zone district.

Location: Property located on the southwest side of Bayview Drive approximately 500 feet from Cliff Drive.

Permits Required: Coastal Development Permit

Supervisory District: District 2 (District Supervisor: Zach Friend)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 191056, based on the attached findings and conditions.

Project Description & Setting

The parcel is located on the southwest side of Bayview Drive approximately 500 feet from Cliff Drive. The project site is located in a neighborhood with one- and two-story single-family homes located north and east of the parcel, with the Monterey Bay directly south and west. A majority of the parcel is flat, however the rear portion of the lot is sloped between 40 and 50 percent where a steep bluff is located. The parcel is currently developed with a nonconforming 2,846 square foot single-story dwelling with a loft and a 1,150 square foot attached garage. The required side setbacks for this parcel are five feet on one side and 8 feet on the other. The existing home has side setbacks of two and one-half feet on the north side and five feet on the east side making it nonconforming.

The proposed project includes remodeling the existing first floor with a minor addition on the north side and a second story addition. The first story and second-story additions comply with the required 5-foot and 8-foot side setbacks. The subject property has a net site area of approximately 10,401 square feet with the deduction of the bluff (approximately 3,813 square feet). A Coastal

Development Permit is required for the project because the property is located within the appeals jurisdiction of the coastal zone and is located within a mapped Visual Resource Area.

Zoning & General Plan Consistency

The subject property is a 14,214 square foot lot, located in the R-1-6 (Single-family Residential) zone district, a designation which allows residential uses. The proposed addition to the existing single-family dwelling is a principal permitted use within the zone district and the zoning is consistent with the site's O-U; R-UL (Urban Open Space Lands; Urban Low Density Residential) General Plan designation. The project complies with the site standards of the R-1-6 zone district, including height, setbacks, lot coverage and floor area ratio. Floor area ratio and lot coverage are based on the net site area, as require by County Code.

Design Review

The proposed project is subject to the County's Design Review Ordinance (County Code 13.11 and 13.20.130) because it includes an addition over 500 square feet, and the project site is located within a mapped Visual Resource Area in the coastal zone. The existing home is single-story, ranch style home with tan stucco siding. The first and second-story addition will add two bedrooms, a family room, a second-story lanai, and a second-story deck. The siding will consist of gray stucco and gray and brown stone veneer. Additional features will be new windows and a multi-colored clay tile roof. The home will be a Mediterranean design with a variety of textures and colors to complement one another and be compatible with the houses in the surrounding neighborhood where there is a range of styles and colors.

Local Coastal Program Consistency

The proposed addition to the existing single-family dwelling is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the existing range of styles. The project site is located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Coastal access to the nearest public beach is approximately one third of a mile northwest of the site off Seaview Drive. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

General Plan Policy 5.10.2 (Development Within Visual Resource Areas): The proposed project is mapped within a mapped Visual Resource Area and is subject to the design criterial of Section 13.20.130 of the County's zoning ordinance. The applicant is proposing to remodel a majority of the existing first level with a minor addition along the north side of the home. The footprint of the new home will essentially be the same with the exception of the addition on the north side of the home; therefore, site disturbance will be minimal. The second floor will not cantilever toward, loom over, or otherwise adversely impact the public viewshed. The second story steps back towards the western side (rear) of the home above the first- floor entry and kitchen adding some relief to the bulk and mass of the upper floor. The overall height of the home is just under 23 feet which is five feet lower than the maximum.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number 191056, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

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Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Geotechnical and Geologic Report review letter dated October 31, 2019

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 191056

Assessor Parcel Number: 043-141-05

Project Location: 536 Bayview Drive

Project Description: Proposal to remodel and construct a one- and two-story addition to an existing single-family dwelling to result in a 4,658 square foot home with an attached garage.

Person or Agency Proposing Project: Matson Britton Architects

Contact Phone Number: (831) 425-0544

- A. ☐ The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. ☐ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. ☐ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. ☐ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. ☒ **Categorical Exemption**

Specify type: Class 1 – Existing Facilities

F. Reasons why the project is exempt:

Construct addition to an existing single-family dwelling on a parcel for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Elizabeth Cramblet, Project Planner

Date:_____

EXHIBIT A

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned R-1-6 (Single-family Residential), a designation which allows residential uses. The proposed addition to an existing single-family dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's O-U; R-UL (Urban Open Space Lands & Urban Low Density Residential) General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style in that the proposed first and second-story additions will enhance the traditional style of the existing home. The site is surrounded by lots developed to an urban density; the colors and building materials will be natural in appearance and complementary to the site. The home will be a Mediterranean design with a variety of textures and colors to complement one another and be compatible with the houses in the surrounding neighborhood in where there is a range of styles and colors.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and public beach access is approximately one third of a mile northwest of the site off Seaview Drive.

5. That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure is sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-6 (Single-family Residential) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the pattern of development within the surrounding neighborhood.

The project complies with General Plan Policy 5.10.2 (Development Within Visual Resource Areas) in that the applicant is proposing to remodel a majority of the existing first level with a minor addition along the north side of the home and a modest second story; therefore, the footprint

of the new home will essentially be the same. The home has been designed to minimize the visual impact from the beach by keeping the overall height to 23 feet which is five feet lower than the maximum and minimizing the size of the second story. Since the existing home is already visible from the beach below, the visual impact of the second-story addition will be minimal.

6. If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that the project site is located between the shoreline and the first public road; however, coastal access is available approximately one-third of a mile northwest of the site off Seaview Drive. Consequently, the residential addition and remodel will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the residential addition and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-6 (Single-family Residential) zone district as the primary use of the property will be one single-family dwelling and that the addition meets all current site standards for the zone district.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the O-U; R-UL (Urban Open Space Lands; Urban Low Density Residential) land use designation in the County General Plan.

The proposed single-family dwelling will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the single-family dwelling will not adversely shade adjacent properties, and the addition will meet current setbacks for the zone district.

The proposed single-family dwelling will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed addition to the existing single-family dwelling will comply with the site standards for the R-1-6 zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities, and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed residential addition is to be constructed on an existing developed lot. No additional traffic will be generated by the proposed project.

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is located in a mixed neighborhood containing a variety of architectural styles, and the proposed residential addition is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed residential addition will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact available open space in the surrounding area. The existing home is a single-story, ranch style home with tan stucco siding. The proposed first and second-story addition will result in a Mediterranean design with a variety of textures and colors to complement one another and be compatible with the houses in the surrounding neighborhood in which there is a range of styles and colors. Siding will consist of gray stucco and gray and brown stone veneer with new windows and a multi-colored clay tile roof.

The proposed residential addition is in conformance with the County's certified Local Coastal Program, in that the structure is designed to be visually compatible and in scope with the character of the surrounding neighborhood. The project site is surrounded mostly by single-family dwellings with a variety of architectural styles. The existing home is located within a mapped Visual Resource Area in the viewshed of a public beach. Because the home is already visible from the public beach below, the second story addition has a minor impact from the public viewshed and is in scale with and positioned similarly to adjacent homes on the blufftop.

Conditions of Approval

Exhibit D: Project plans, prepared by Matson Britton Architects, dated 5/6/19.

- I. This permit authorizes the construction of a 4,723 square foot first and second-story addition to an existing single-family dwelling as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
 - C. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - D. Obtain a Grading Permit from the Santa Cruz County Building Official.
 - E. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Planning Department review and approval.

3. Grading, drainage, and erosion control plans.
 4. Details showing compliance with fire department requirements.
- B. Meet all requirements of and pay Zone 6 drainage fees to the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area. The following are conditions of approval:
1. Project is recognized as a Small project per Part 3 Section C of the CDC, based on the civil plan sheet's supplied tabulation table of new and replaced impervious and semi-impervious area. Diversion of runoff beyond the site's pre-development/natural conditions shall not be permitted without direct approval from the Director of Public Works. Natural runoff rates and patterns shall be maintained for this site.
- C. Meet all requirements of the Santa Cruz County Sanitation District. Proof of sanitary sewer service availability is required prior to application for a Building Permit.
- D. Meet all requirements of the Environmental Planning section of the Planning Department. Additional information is below:
1. Please refer to the soils and geology report review letter which states: "We identified one item in the report that is not a deficiency in the geologic evaluation, per se, and does not need to be corrected for the report to be accepted, although the issue may affect permitting of projects at the site. The report concludes that location of the bluff crest is stable as a result of the bluff top retaining wall system and the protection of the bluff toe from active marine erosion by a wide beach and seawall. The report concludes that a 25' setback from the current bluff crest location is adequate provided that the wall is maintained.

As noted in the report, the bluff face below the bluff top retaining wall is not stable. It presently stands at about a 1:1 (H:V) gradient (section A). Experience has shown that these bluffs are not stable at 1:1 and will fail back to about 1.5:1 (H:V) over time, which is clearly happening at this site.

The crest of the bluff shown on the 1936 subdivision map is located 164' from the northeast property corner along the northern property line and 86' from the southeast property corner along the southern property line. The distances from the property corners shown for the natural bluff crest on the site geologic map (Plate 1) are about 151' and 77' respectively. These figures yield bluff retreat rates prior to the 1955 construction of the retaining wall of almost one foot per year on the northern property line and one-half foot per year on the southern property line. These numbers emphasize the importance of maintaining the current retaining wall to preserve the level area at the rear of the house.

Retreat of the bluff crest will effectively stop once the slope has failed back to a stable configuration, provided no new marine erosion occurs at the toe of the bluff. Based on the slope configuration shown on section A, the projected bluff crest retreat will effectively cease slightly before impinging on the proposed 25' setback shown on the geologic site map.

However, if the bluff erosion below the retaining wall continues until the unretained portion of the slope reaches a 1.5:1 gradient, the height of the existing 6' to 7' high retaining wall will have to increase to a height of about 15'. This increase in height may require a coastal development permit, which is subject to further review. Approval of the coastal development permit is based on whether any proposed or future projects have met the definition of "development" at the time the CDP is submitted. Development is defined by a number of thresholds (SCCC 16.10.040(19)(b))."

- E. Meet all requirements and pay any applicable plan check fee of the Aptos/La Selva Fire Protection District.
 - F. Submit 3 copies of plan review letters prepared and stamped by the project Geotechnical Engineer.
 - G. Pay the current fees for Parks and Child Care mitigation for 1 bedroom. Currently, these fees are, respectively, \$1,000 and \$109 per bedroom.
 - H. Pay the current fees for Roadside and Transportation improvements for 1 bedroom. Currently, these fees are, respectively, \$1,000 and \$1,000 per bedroom.
 - I. Pay the current Affordable Housing Impact Fee. The fees are based on the net new square footage greater than 500 square feet and is calculated at \$2 per square foot. Final square footage is determined by the Building Department.
 - J. Provide required off-street parking for 4 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - K. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.

- C. The project must comply with all recommendations of the approved soils reports.
- D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.

IV. Operational Conditions

- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- V. As a condition of this development approval, the holder of this development approval ("Development Approval Holder"), is required to defend, indemnify, and hold harmless the COUNTY, its officers, employees, and agents, from and against any claim (including attorneys' fees), against the COUNTY, its officers, employees, and agents to attack, set aside, void, or annul this development approval of the COUNTY or any subsequent amendment of this development approval which is requested by the Development Approval Holder.
- A. COUNTY shall promptly notify the Development Approval Holder of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. COUNTY shall cooperate fully in such defense. If COUNTY fails to notify the Development Approval Holder within sixty (60) days of any such claim, action, or proceeding, or fails to cooperate fully in the defense thereof, the Development Approval Holder shall not thereafter be responsible to defend, indemnify, or hold harmless the COUNTY if such failure to notify or cooperate was significantly prejudicial to the Development Approval Holder.
 - B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
 - C. Settlement. The Development Approval Holder shall not be required to pay or perform any settlement unless such Development Approval Holder has approved the settlement. When representing the County, the Development Approval Holder shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development

approval without the prior written consent of the County.

- D. Successors Bound. "Development Approval Holder" shall include the applicant and the successor'(s) in interest, transferee(s), and assign(s) of the applicant.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Jocelyn Drake
Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

Parcel Information

Services Information

| | |
|----------------------------|---|
| Urban/Rural Services Line: | <u> X </u> Inside <u> </u> Outside |
| Water Supply: | Soquel Creek Water District |
| Sewage Disposal: | Santa Cruz County Sanitation District |
| Fire District: | Aptos/La Selva FPD |
| Drainage District: | Zone 6 |

Parcel Information

| | |
|------------------------------------|---|
| Parcel Size: | 14,214 square feet gross |
| Existing Land Use - Parcel: | Residential |
| Existing Land Use - Surrounding: | Residential |
| Project Access: | Bayview Drive |
| Planning Area: | Aptos |
| Land Use Designation: | O-U; R-UL (Urban Open Space; Urban Low Density) |
| Zone District: | R-1-6 (Single-family Residential) |
| Coastal Zone: | <u> X </u> Inside <u> </u> Outside |
| Appealable to Calif. Coastal Comm. | <u> X </u> Yes <u> </u> No |

Technical Reviews: Combined Geotechnical/Geologic Report Review

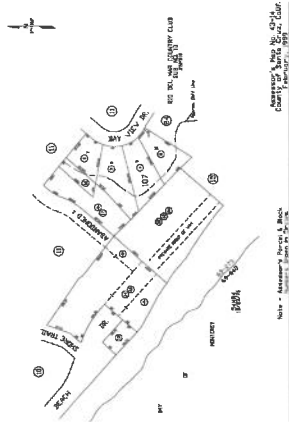
Environmental Information

| | |
|--------------------|---|
| Geologic Hazards: | Coastal bluff |
| Fire Hazard: | Not a mapped constraint |
| Slopes: | Coastal bluff in rear (>50%); 5-10% for home site |
| Env. Sen. Habitat: | Not mapped/no physical evidence on site |
| Grading: | Minimal grading proposed |
| Tree Removal: | No trees proposed to be removed |
| Scenic: | Scenic |
| Archeology: | Not mapped/no physical evidence on site |

[illegible]

A map of the study area, showing a coastal region. A large body of water is on the right. A coastline runs diagonally from the top right to the bottom left. A road, labeled 'Highway 101', runs parallel to the coast. A circular area on the coast is labeled 'SITE' with a line pointing to it. Other labels on the map include 'San Francisco Bay', 'San Francisco', 'San Francisco Bay Bridge', 'Golden Gate Bridge', 'Golden Gate Park', 'Marina del Rey', 'Santa Monica', 'Malibu', 'Beverly Hills', 'West Hollywood', 'Hollywood', 'Burbank', 'Glendale', 'Pasadena', 'Orange', 'Anaheim', 'Irvine', 'Costa Mesa', 'Fountain Valley', 'Brea', 'Fullerton', 'Orange County', 'San Diego', 'San Jose', 'San Francisco', 'San Francisco Bay', 'San Francisco Bay Bridge', 'Golden Gate Bridge', 'Golden Gate Park', 'Marina del Rey', 'Santa Monica', 'Malibu', 'Beverly Hills', 'West Hollywood', 'Hollywood', 'Burbank', 'Glendale', 'Pasadena', 'Orange', 'Anaheim', 'Irvine', 'Costa Mesa', 'Fountain Valley', 'Brea', 'Fullerton', 'Orange County', 'San Diego', 'San Jose', 'San Francisco'.

PARCEL MAP

[illegible]

1. THREE PLANS SHALL COMPLY WITH 2014 CALIFORNIA BUILDING CODE AND 2014 CALIFORNIA FIRE CODE AND DISTRICT AMENDMENTS.
2. OCCUPANCY R-3 & U, TYPE V-8, NON SPRINKLED.
3. ADDRESS NUMBERS SHALL BE POSTED AND MAINTAINED AS SHOWN ON THE SITE PLAN. NUMBERS SHALL BE A MINIMUM OF 4 INCHES IN HEIGHT AND OF A COLOR CONTRASTING TO THEIR BACKGROUND.
4. ROOF COVERING SHALL BE NO LESS THAN CLASS "B" RATED.
5. THE JOB COPIES OF THE BUILDING PLANS AND PERMITS MUST REMAIN ON-SITE DURING INSPECTIONS.
6. PUBLIC FIRE HYDRANT REQUIRED WITHIN 600 FT. OF ANY PORTION OF THE BUILDING WITH A MINIMUM 1000 GALLON FIRE FLOW. AVAILABLE FIRE HYDRANT APPROXIMATELY 1/4 MI. FROM BUILDING.
7. ONE HUNDRED (100) FOOT CLEARANCE TO BE MAINTAINED WITH NON-COMBUSTIBLE VEGETATION AROUND ALL STRUCTURES OR TO THE PROPERTY LINE, WHICHEVER IS SHORTER DISTANCE.

ARCHITECTURAL DRAWINGS

| | |
|-----|---------------------------------------|
| P1 | TITLE SHEET |
| P2 | SITE PLAN |
| P3 | EXISTING FLOOR PLANS |
| P4 | FIRST FLOOR PLAN |
| P5 | SECOND FLOOR PLAN |
| P6 | DIMENSIONED PROPOSED FLOOR PLANS |
| P7 | ROOF PLAN |
| P8 | BUILDING ELEVATIONS |
| P9 | BUILDING ELEVATIONS / PARTIAL SECTION |
| P10 | BUILDING ELEVATIONS |
| P11 | STRUCTURAL MODIFICATION PLANS |

C1 GRADING & DRAINAGE PLAN
C2 DETAILS

C3 STORMWATER POLLUTION CONTROL PLAN

SU1 SURVEY PLAN
SU2 SURVEY SECTIONS

OWNER: CLARRANNE LONG AND GENE RAVIZZA
300 SOUTH SAN ANTONIO RD
LOS ALTOS, CA 94022

A. P. N.: 043-141-05

ZONING: R-1-6

OCCUPANCY GROUP: R-3 & U (PER 2016 CRC)

CONSTRUCTION TYPE: VB [NON SPRINKLERED]

THE UNIVERSITY OF CHICAGO

UTILITY DISTRICTS:

PROJECT DESCRIPTION:

REMODEL ADDITION TO AN EXISTING 2 STORY SINGLE FAMILY DWELLING
RESULTING IN A 2 STORY RESIDENCE WITH 4 BEDROOMS, 4.5 BATHS AND AN
ATTACHED GARAGE

ARCHITECTS:

ARCHITECTS:
MATSON BRITTON ARCHITECTS
728 N. BRANCFORTE
SANTA CRUZ, CA 95062
PHONE: 831-425-0544
FAX: 831-425-4795

CIVIL ENGINEERING:

3005 FORBES STREET, 3110, 42-2002
SANTA CRUZ, CA 95062
PHONE: 831-425-3901
FAX: 831-425-1522

SURVEYING:

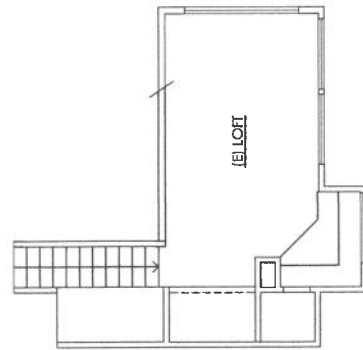
SURVEYING:
HANAGAN LAND SURVEYING, INC
305-C SOQUEL AVE
SANTA CRUZ, CA 95062
PHONE: 831-469-3428
FAX: 831-469-3400

**GEOTECHNICAL
ENGINEERING:**

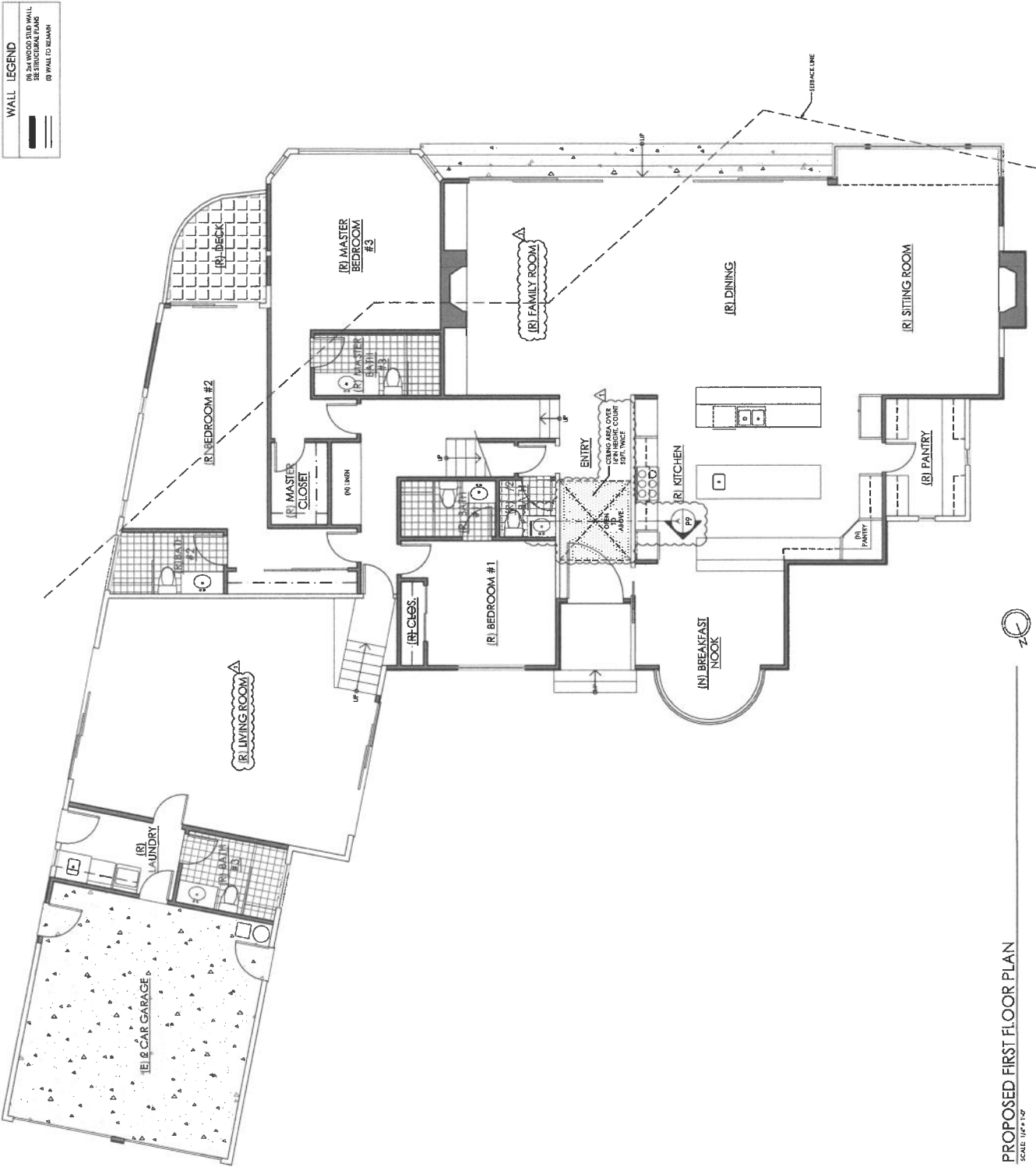
**GEOTECHNICAL
ENGINEERING:**
PACIFIC CREST ENGINEERING, INC
444 AIRPORT BLVD
WATSONVILLE, CA 95076
PHONE: 831-722-9446
FAX: 831-722-9158

GEOLOGIST:

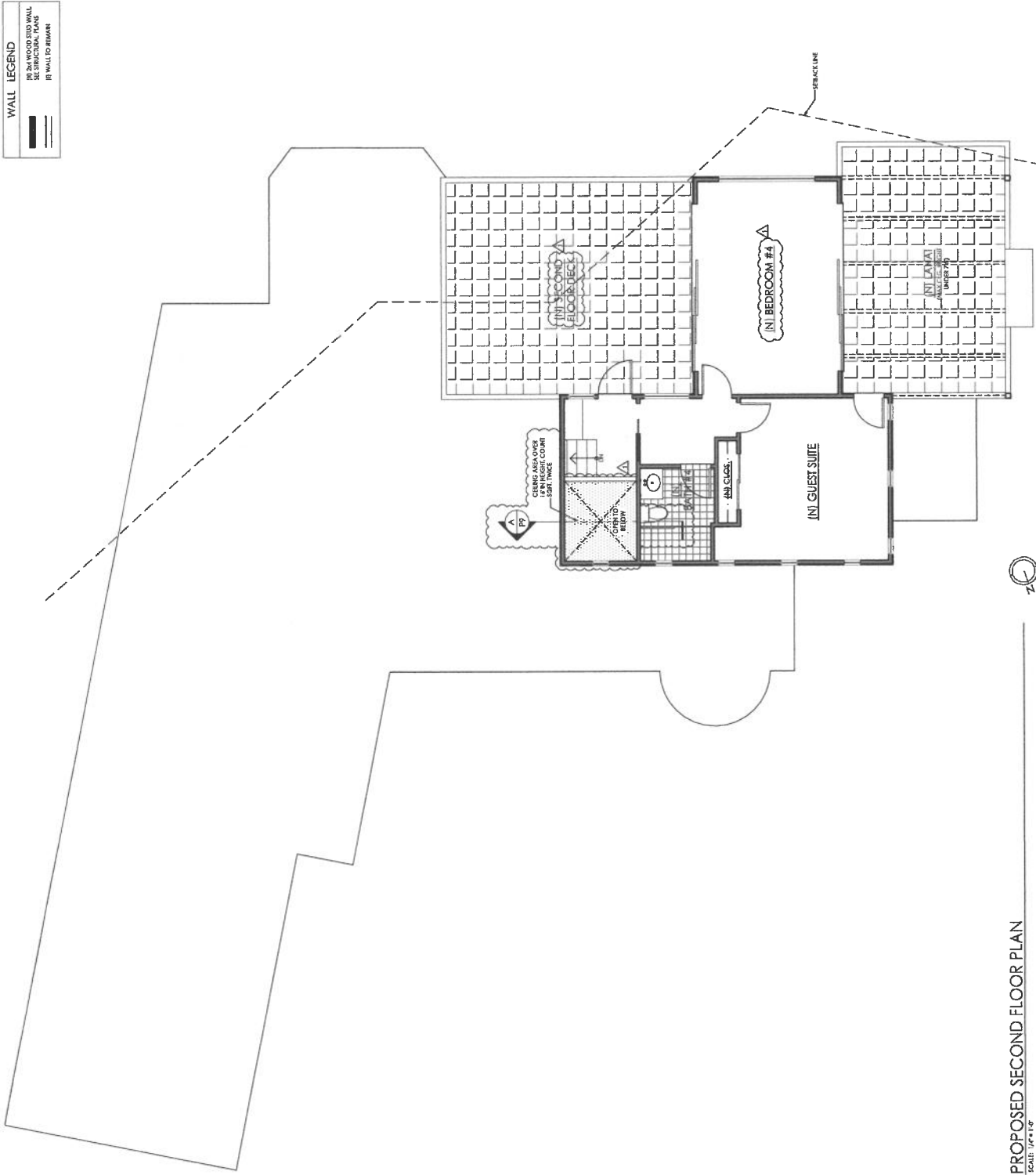
GEOLOGIST:
IRWIN GEOLOGY
 2231 40TH AVENUE
 SANTA CRUZ, CA 95062
 PHONE: 831-334-4833



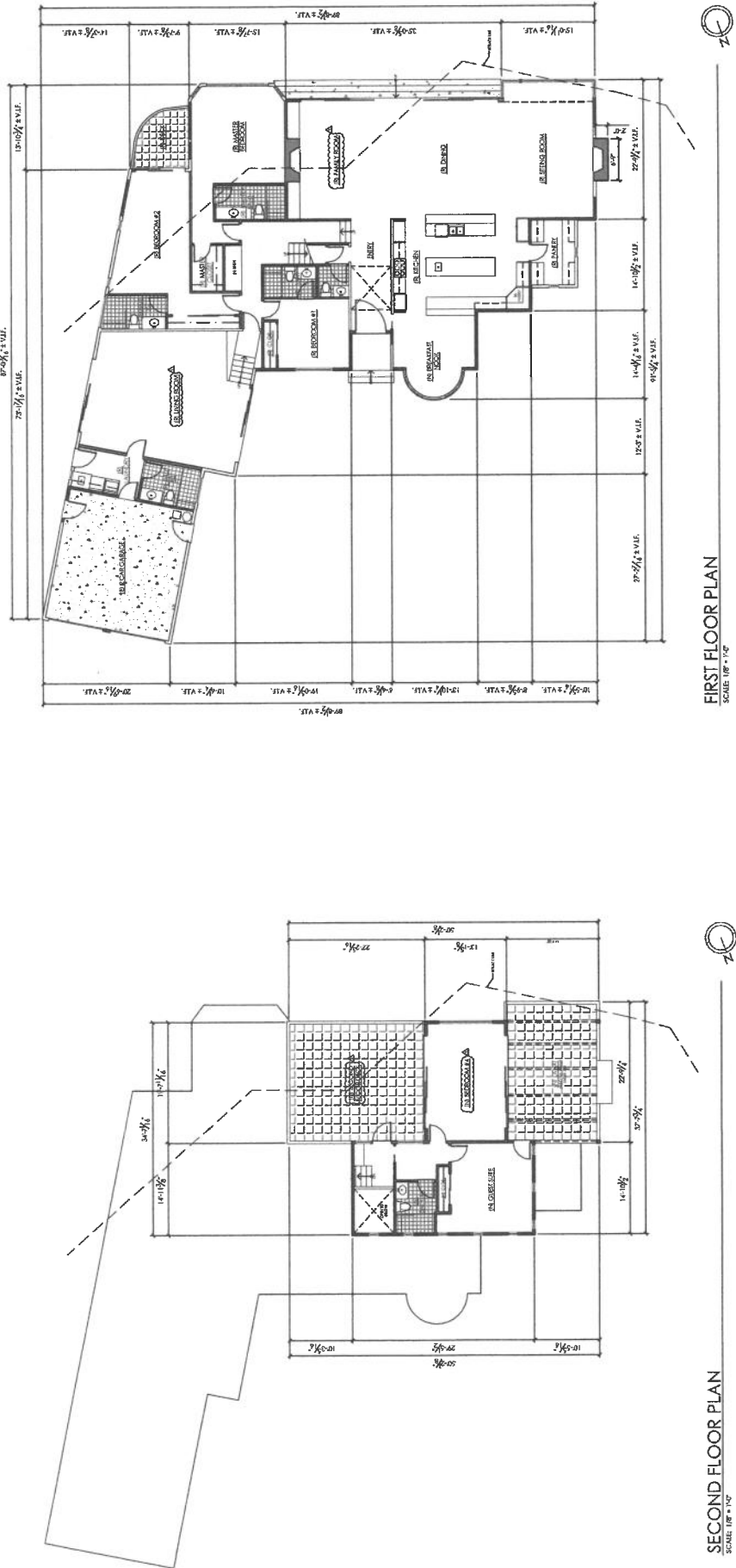
EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED FIRST FLOOR PLAN



PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

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RAVIZZA
555 BAYVIEW DRIVE
APTOS, CA 95003
APN: 043-141-05

EXTERIOR ELEVATIONS

P8

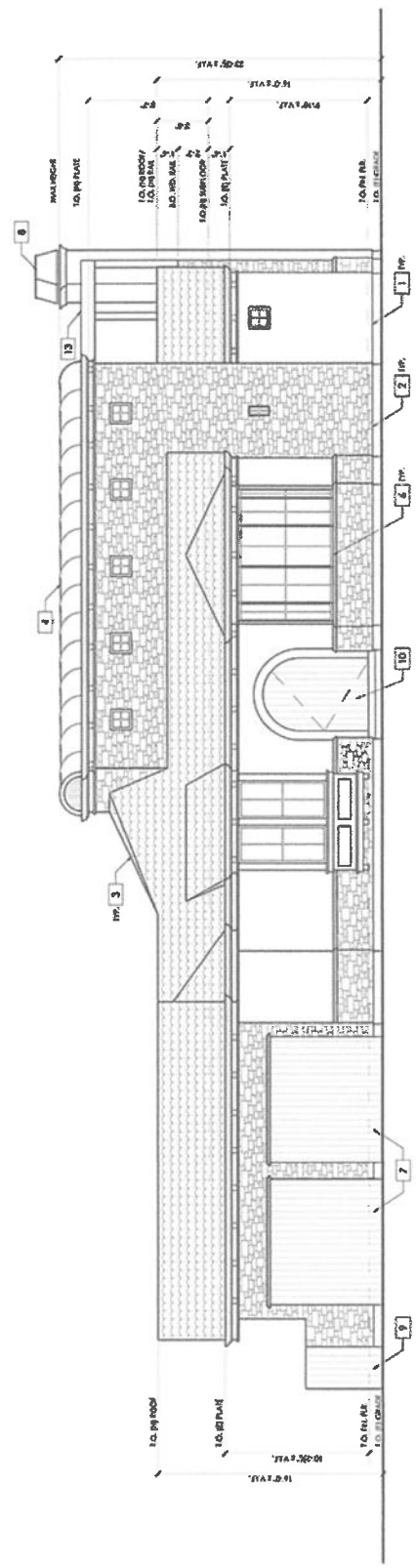
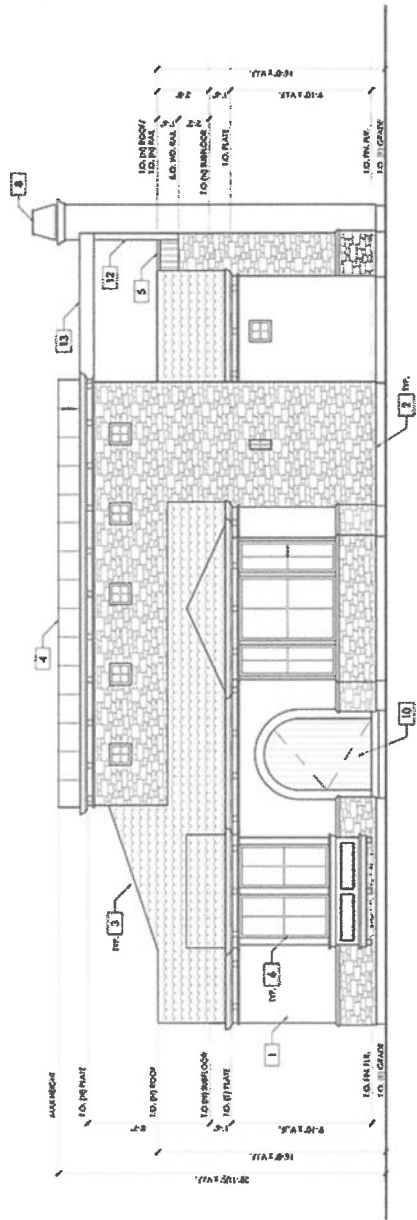
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RAVIZZA

02 / 19 / 19

ELEVATION LEGEND

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| 3 | STONE VENEER/FAÇADE |
| 4 | GRAY / BROWN / BROWN STONE |
| 5 | CLAY TILE ROOF |
| 6 | STANDING METAL SLATE ROOF - COPPER |
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RAVIZZA
1524 BAYVIEW DRIVE
APRIS, CA 95003
APRIS D33 141-05

EXTERIOR ELEVATIONS & PARTIAL SECTION

P9

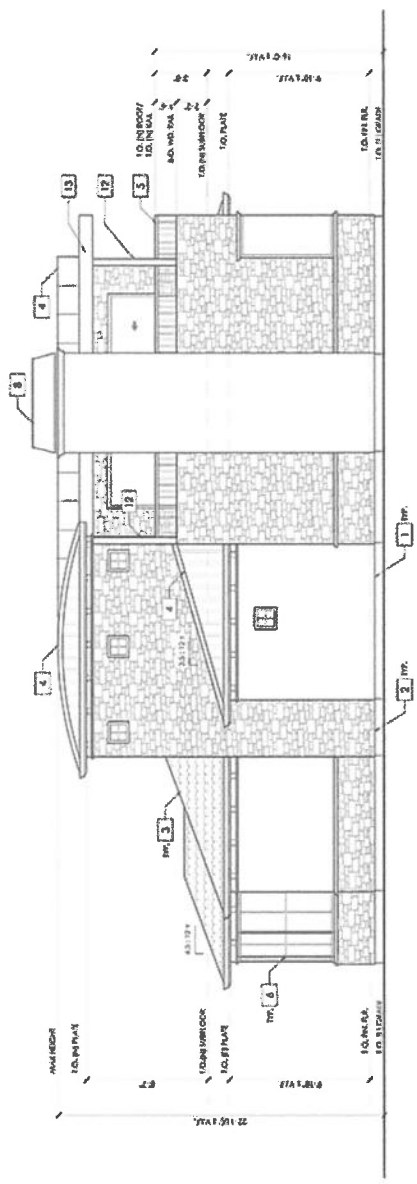
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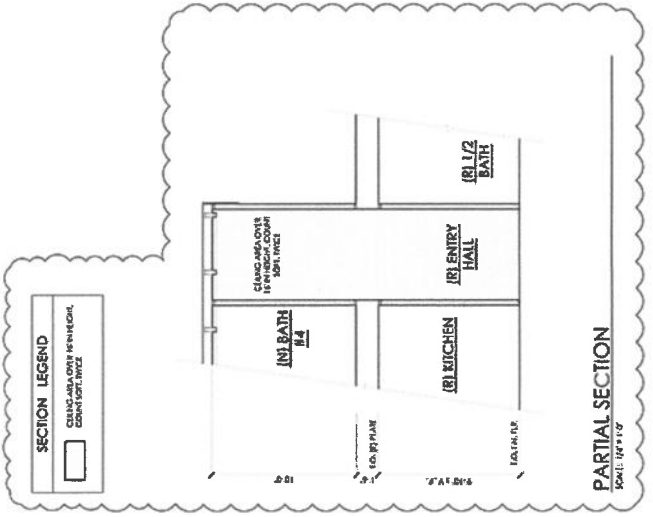
07/19/19

ELEVATION LEGEND

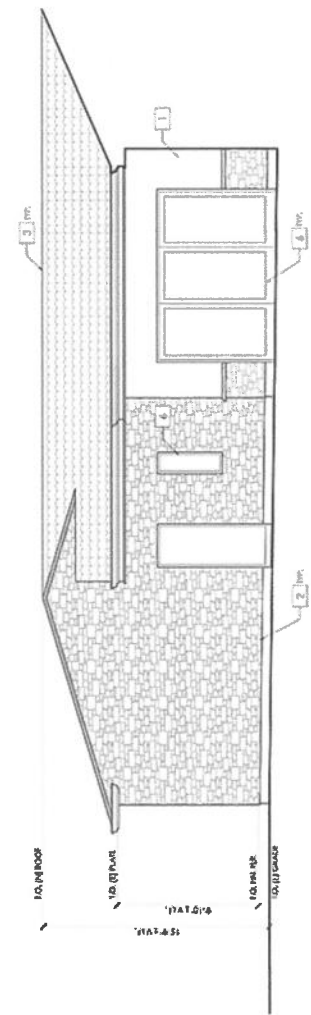
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| 1 | BRICK/PAVING BLOCK/PAVING |
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| 13 | BRICK/PAVING BLOCK/PAVING |



WEST ELEVATION
SCALE: 1/4" = 1'-0"



PARTIAL SECTION
SCALE: 1/4" = 1'-0"

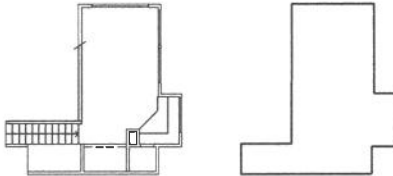
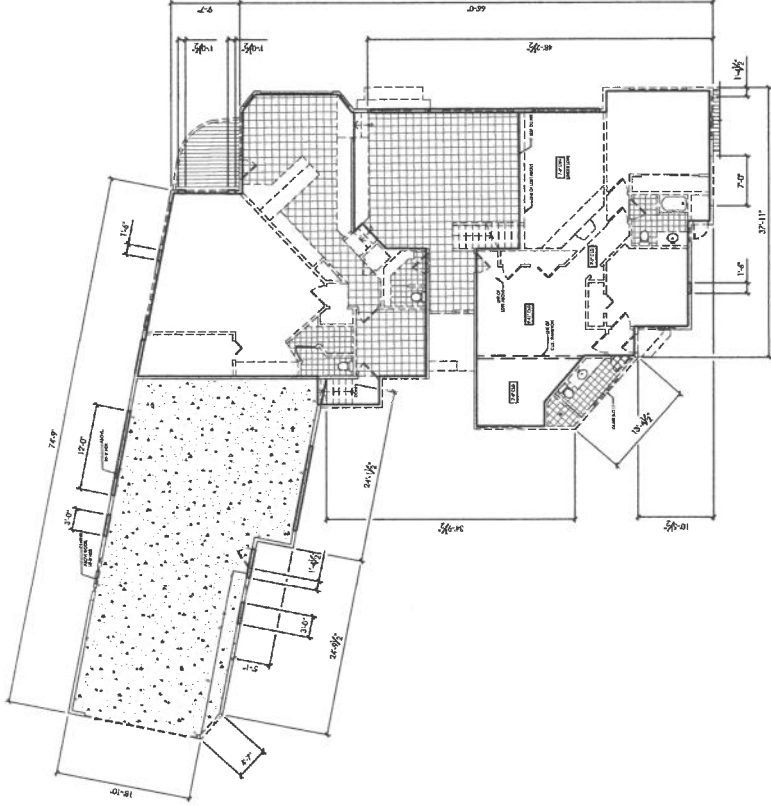


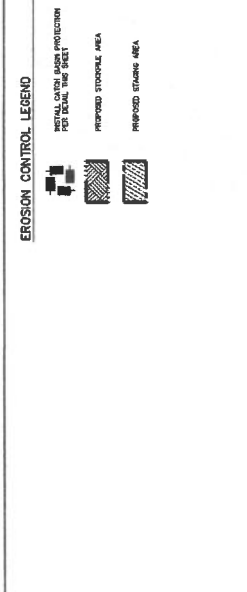
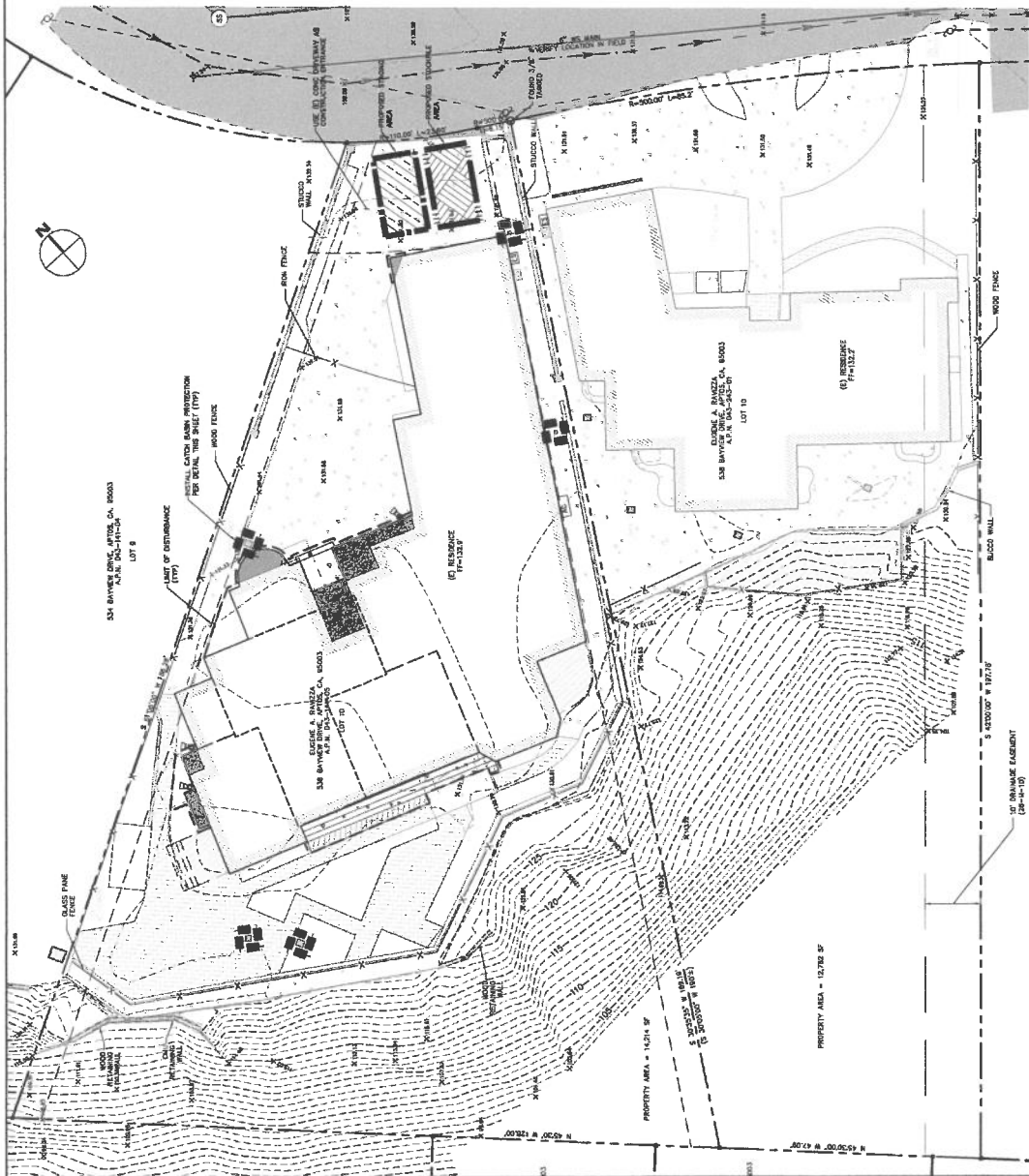
PARTIAL COURTYARD WEST ELEVATION
SCALE: 1/4" = 1'-0"



LEGEND

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| | EXISTING STRUCTURE |
| | PROPOSED STRUCTURE |
| | EXISTING FOUNDATION |
| | PROPOSED FOUNDATION |
| | EXISTING WALL |
| | PROPOSED WALL |
| | EXISTING FLOOR |
| | PROPOSED FLOOR |
| | EXISTING ROOF |
| | PROPOSED ROOF |
| | EXISTING STAIRS |
| | PROPOSED STAIRS |
| | EXISTING DOOR |
| | PROPOSED DOOR |
| | EXISTING WINDOW |
| | PROPOSED WINDOW |
| | EXISTING BALCONY |
| | PROPOSED BALCONY |
| | EXISTING RAMP |
| | PROPOSED RAMP |
| | EXISTING DRIVEWAY |
| | PROPOSED DRIVEWAY |
| | EXISTING PARKING |
| | PROPOSED PARKING |
| | EXISTING LANDSCAPE |
| | PROPOSED LANDSCAPE |
| | EXISTING SITE |
| | PROPOSED SITE |





GRAVEL BAG CATCH BASIN PROTECTION

1. GRAVEL BAG CATCH BASIN PROTECTION SHALL BE INSTALLED AT ALL EROSION CONTROL MEASURES.

2. GRAVEL BAG CATCH BASIN PROTECTION SHALL BE INSTALLED AT ALL EROSION CONTROL MEASURES.

3. GRAVEL BAG CATCH BASIN PROTECTION SHALL BE INSTALLED AT ALL EROSION CONTROL MEASURES.

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9. GRAVEL BAG CATCH BASIN PROTECTION SHALL BE INSTALLED AT ALL EROSION CONTROL MEASURES.

10. GRAVEL BAG CATCH BASIN PROTECTION SHALL BE INSTALLED AT ALL EROSION CONTROL MEASURES.

EROSION CONTROL MEASURES

1. EROSION IS TO BE CONTROLLED AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD.

2. EROSION IS TO BE CONTROLLED AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD.

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10. EROSION IS TO BE CONTROLLED AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD.

EXPOSED SLOPE MEASURES

1. EXPOSED SLOPE MEASURES SHALL BE APPLIED TO ALL EXPOSED SLOPES.

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STORMWATER POLLUTION CONTROL PLAN

1. STORMWATER POLLUTION CONTROL PLAN SHALL BE INSTALLED AT ALL TIMES.

2. STORMWATER POLLUTION CONTROL PLAN SHALL BE INSTALLED AT ALL TIMES.

3. STORMWATER POLLUTION CONTROL PLAN SHALL BE INSTALLED AT ALL TIMES.

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5. STORMWATER POLLUTION CONTROL PLAN SHALL BE INSTALLED AT ALL TIMES.

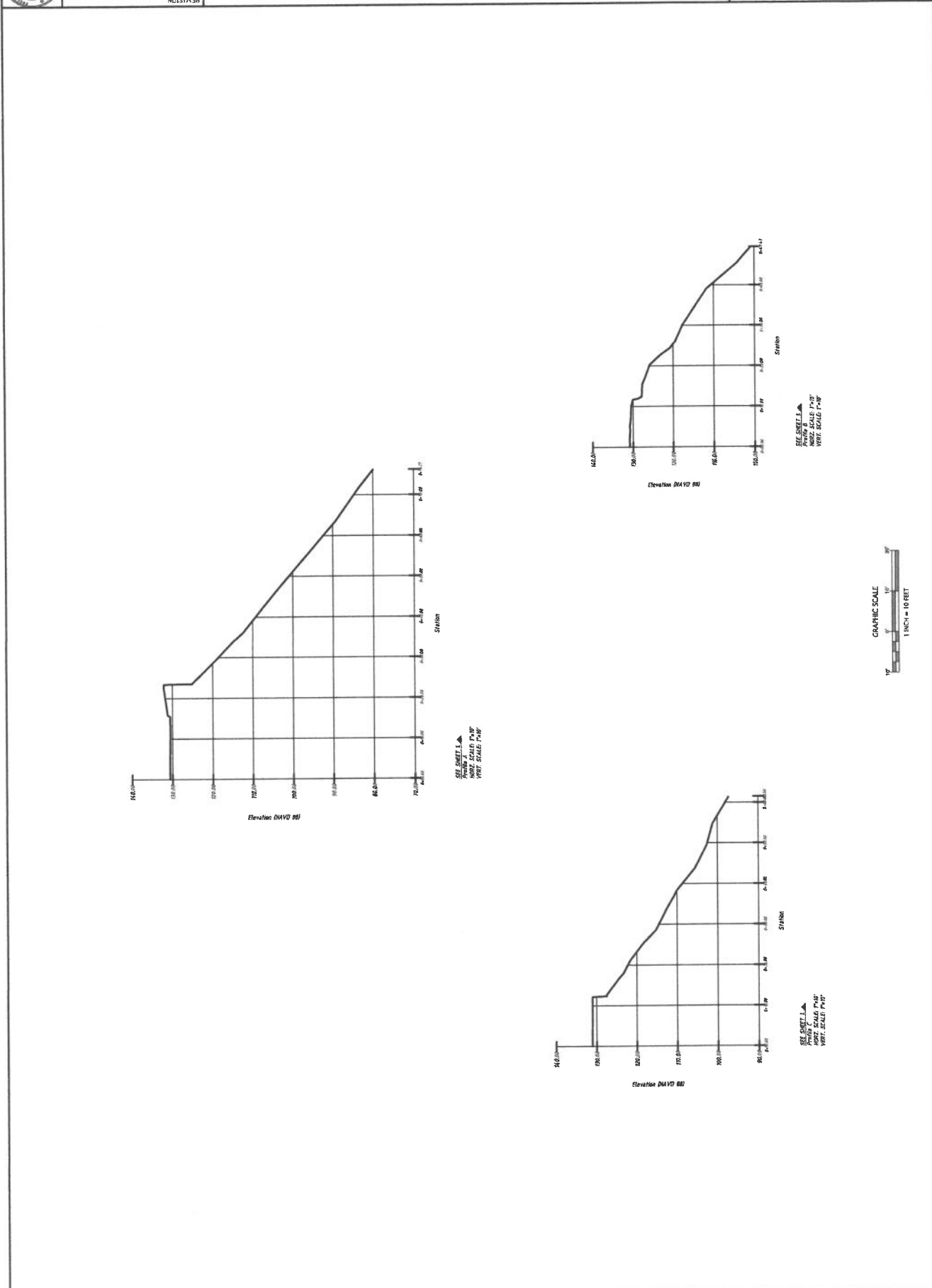
6. STORMWATER POLLUTION CONTROL PLAN SHALL BE INSTALLED AT ALL TIMES.

7. STORMWATER POLLUTION CONTROL PLAN SHALL BE INSTALLED AT ALL TIMES.

8. STORMWATER POLLUTION CONTROL PLAN SHALL BE INSTALLED AT ALL TIMES.

9. STORMWATER POLLUTION CONTROL PLAN SHALL BE INSTALLED AT ALL TIMES.

10. STORMWATER POLLUTION CONTROL PLAN SHALL BE INSTALLED AT ALL TIMES.








Parcel Location Map



Parcel: 04314105

-  Study Parcel
-  Assessor Parcel Boundary
-  Existing Park

Map printed: 26 Feb. 2020

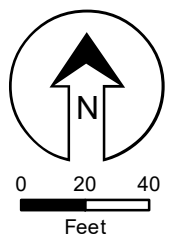





EXHIBIT E



Parcel General Plan Map



-  O-R *Parks, Recreation & Open Space*
-  O-U *Urban Open Space*
-  R-UL *Res. Urban Low Density*

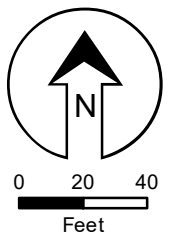
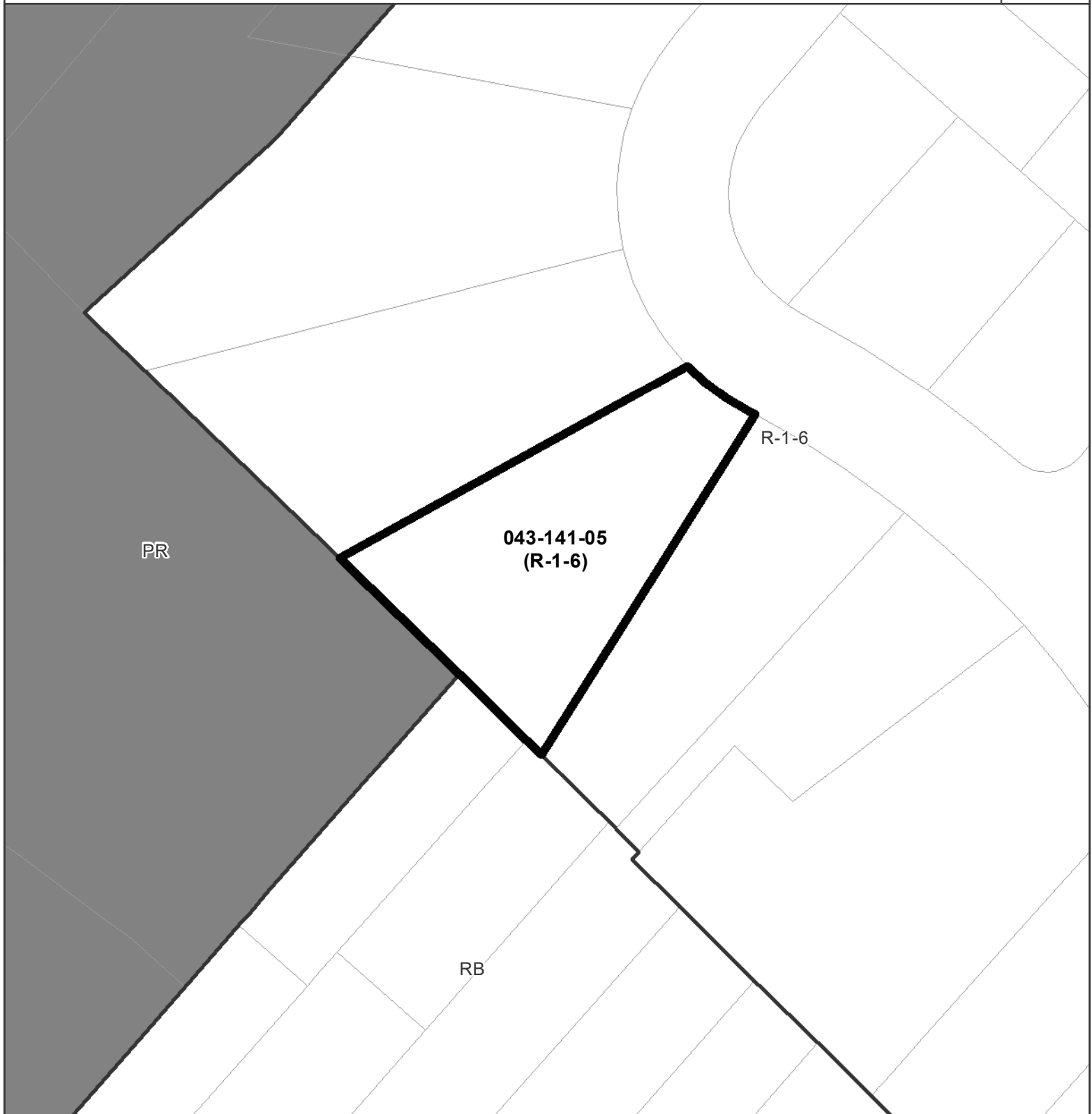





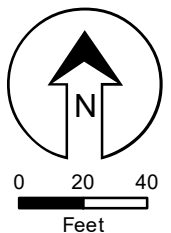
EXHIBIT E



Parcel Zoning Map



-  PR *Parks, Recreation, & Open Space*
-  R-1 *Single-Family Residential*
-  RB *Single-Family Ocean/Beach Residential*



An aerial photograph of a coastal residential neighborhood. The map shows a mix of green spaces, trees, and built-up areas with houses. A blue triangle marks the 'Project Site' on a road. Numerous streets are labeled in yellow text, including Vista del Mar Dr, Cuesta Dr, Pinehurst Dr, Tamarack Dr, Greenbrier Dr, Baltusrol Wy, Saint Andrews Dr, Baltusrol Dr, Club House Dr, Woodhaven Ct, La Honda Dr, Lock Dr, Sumner Av, Via Tornasol, Via Palo Alto, Via Campaña, Via Concha, Dry Creek Rd, East Townsend Dr, Los Altos Dr, Loyola Dr, Doris Av, Hurler Av, Bay View Dr, Toledo Dr, Cliff Dr, Granada Dr, Bay View Dr, Townsend Dr, Lamanda Dr, Baldwin Dr, Kenneth Dr, Farley Dr, Cliff Dr, Martin Dr, Beach Dr, Seaview Dr, Beach Dr, Kingbury Dr, Elva Dr, and Beach Dr. The coastline is visible on the right side of the map.

County of Santa Cruz

| Population (ft) | Population (m) |
|-----------------|----------------|
| 0 | 0 |
| 115 | 115 |
| 230 | 230 |
| 375 | 375 |
| 750 | 750 |
| 1,500 | 1,500 |
| 1,8170 | |

Parcel Information

Services Information

| | |
|----------------------------|---|
| Urban/Rural Services Line: | <u> X </u> Inside <u> </u> Outside |
| Water Supply: | Soquel Creek Water District |
| Sewage Disposal: | Santa Cruz County Sanitation District |
| Fire District: | Aptos/La Selva FPD |
| Drainage District: | Zone 6 |

Parcel Information

| | |
|------------------------------------|---|
| Parcel Size: | 14,214 square feet gross |
| Existing Land Use - Parcel: | Residential |
| Existing Land Use - Surrounding: | Residential |
| Project Access: | Bayview Drive |
| Planning Area: | Aptos |
| Land Use Designation: | O-U; R-UL (Urban Open Space; Urban Low Density) |
| Zone District: | R-1-6 (Single-family Residential) |
| Coastal Zone: | <u> X </u> Inside <u> </u> Outside |
| Appealable to Calif. Coastal Comm. | <u> X </u> Yes <u> </u> No |

Technical Reviews: Combined Geotechnical/Geologic Report Review

Environmental Information

| | |
|--------------------|---|
| Geologic Hazards: | Coastal bluff |
| Fire Hazard: | Not a mapped constraint |
| Slopes: | Coastal bluff in rear (>50%); 5-10% for home site |
| Env. Sen. Habitat: | Not mapped/no physical evidence on site |
| Grading: | Minimal grading proposed |
| Tree Removal: | No trees proposed to be removed |
| Scenic: | Scenic |
| Archeology: | Not mapped/no physical evidence on site |



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
KATHLEEN MOLLOY, PLANNING DIRECTOR

31 October 2019

Matson Britton Architects
728 N Branciforte
Santa Cruz, CA 95060

Subject: Review of: *"Geologic Investigation, Lands of Long and Ravizza, 536 Bayview Drive, Aptos, California APN 041-141-05"* Geologic report prepared by Zinn Geology, dated 15 September 2017
Project no. 2018028-G-SC.

Review of *"Geotechnical Investigation, Proposed Remodel, 536 Bayview Drive, APN 043-141-05, Aptos, California"* Geotechnical report prepared by Pacific Crest Engineering, dated September 2019
Project no. 1850-SZ70-C52.

RE: 536 Bayview Drive
APN: 043-141-05
REV 191125

Dear Applicant:

The purpose of this letter is to inform you that the Planning Department has accepted the subject reports and the following items shall be required:

1. All project design and construction shall comply with the recommendations of the reports.
2. Final plans shall reference the reports by titles, authors, and dates. Final Plans should also include a statement that the project shall conform to the reports' recommendations.
3. After plans are prepared that are acceptable to all reviewing agencies, please submit a completed Soils (Geotechnical) Engineer Plan Review Form and a completed Geologist Plan Review Form to Environmental Planning. The authors of the soils and geology reports shall sign and stamp their respective completed forms. Please note that the plan review forms must reference the final plan set by last revision date.

Any updates to report recommendations necessary to address conflicts between the reports and plans must be provided via a separate addendum to the soils report and/or geology report.

Electronic copies of all forms required to be completed by the Geotechnical Engineer may be found on our website: www.sccoplanning.com, under "Environmental", "Geology & Soils", and "Assistance & Forms".

After building permit issuance the soils engineer and engineering geologist *must remain involved with the project* during construction. Please review the Notice to Permits Holders (attached).

Our acceptance of the reports is limited to its technical content. Other project issues such as zoning, fire safety, septic or sewer approval, etc. may require resolution by other agencies.

PLEASE NOTE:

We identified one item in the report that is not a deficiency in the geologic evaluation, per se, and does not need to be corrected for the report to be accepted, although the issue may affect permitting of projects at the site. The report concludes that location of the bluff crest is stable as a result of the bluff top retaining wall system and the protection of the bluff toe from active marine erosion by a wide beach and seawall. The report concludes that a 25' setback from the current bluff crest location is adequate provided that the wall is maintained.

As noted in the report, the bluff face below the bluff top retaining wall is not stable. It presently stands at about a 1:1 (H:V) gradient (section A). Experience has shown that these bluffs are not stable at 1:1 and will fail back to about 1.5:1 (H:V) over time, which is clearly happening at this site.

The crest of the bluff shown on the 1936 subdivision map is located 164' from the northeast property corner along the northern property line and 86' from the southeast property corner along the southern property line. The distances from the property corners shown for the natural bluff crest on the site geologic map (Plate 1) are about 151' and 77', respectively. These figures yield bluff retreat rates prior to the 1955 construction of the retaining wall of almost one foot per year on the northern property line and one half foot per year on the southern property line. These numbers emphasize the importance of maintaining the current retaining wall to preserve the level area at the rear of the house.

Retreat of the bluff crest will effectively stop once the slope has failed back to a stable configuration, provided no new marine erosion occurs at the toe of the bluff. Based on the slope configuration shown on section A, the projected bluff crest retreat will effectively cease slightly before impinging on the proposed 25' setback shown on the geologic site map.

However, if the bluff erosion below the retaining wall continues until the unretained portion of the slope reaches a 1.5:1 gradient, the height of the existing 6' to 7' high retaining wall will have to increase to a height of about 15'. This increase in height may require a coastal development permit, which is subject to further review. Approval of the coastal development permit is based on whether any proposed or future projects have met the definition of "development" at the time the CDP is submitted. Development is defined by a number of thresholds (SCCC 16.10.040 (19)(b)).

This determination may be appealed within 14 calendar days of the date of service. Additional information regarding the appeals process may be found online at: http://www.sccoplanning.com/html/devrev/plnappeal_bldg.htm

Please contact Rick Parks at (831) 454-3168/email: Rick.Parks@santacruzcounty.us or Jeff Nolan at (831) 454-3175/Jeffrey.Nolan@santacruzcounty.us if we can be of any further assistance.

Sincerely,



Rick Parks, GE 2603
Civil Engineer – Environmental Planning
County of Santa Cruz Planning Department



Jeffrey Nolan, CEG 2247
County Geologist – Environmental Planning
County of Santa Cruz Planning Department

Cc: Pacific Crest Engineering, Inc. Attn: Elizabeth Mitchell, GE
Zinn Geology, Attn: Eric Zinn, CEG
Planning Dept., Attn: Jessica deGrassi
Eugene Ravizza, Property Owner

Attachments: Notice to Permit Holders

**NOTICE TO PERMIT HOLDERS WHEN SOILS AND GEOLOGY REPORTS HAVE BEEN
PREPARED, REVIEWED AND ACCEPTED FOR THE PROJECT**

After issuance of the building permit, the County requires your soils engineer and engineering geologist to be involved during construction.

1. **At the completion of construction,** a *Soils (Geotechnical) Engineer Final Inspection Form* and a *Geologist Final Inspection Form* are required to be submitted to Environmental Planning that includes copies of all observations made during construction and is stamped and signed, certifying that the project was constructed in conformance with the recommendations of the soils and geology reports.

If the *Final Inspection Form* identifies any portions of the project that were not observed by the soils engineer and/or geologist, you may be required to perform destructive testing in order for your permit to obtain a final inspection. The soils engineer and/or geologist then must complete and initial an *Exceptions Addendum Form* that certifies that the features not observed will not pose a life safety risk to occupants.