



Staff Report to the Zoning Administrator

Application Number: 191303

Applicant: Fuse Architects
Owner: Mark & Tamara DeMattei
APN: 054-231-13
Site Address: 939 Via Gaviota

Agenda Date: May 7, 2021
Agenda Item #: 2
Time: After 9:00 a.m.

Project Description: Proposal to demolish an existing two story single family dwelling and construct a replacement two story single family dwelling on property located in the R-1-6-SBE zone district.

Location: Property located on the northeast side of Via Gaviota approximately 200 feet southeast of the intersection with Clubhouse Drive (939 Via Gaviota).

Permits Required: Coastal Development Permit, Residential Development Permit

Supervisory District: 2nd District (District Supervisor: Zach Friend)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 191303, based on the attached findings and conditions.

Project Description & Setting

The subject property is located on the northeast side of Via Gaviota in the Seascape Beach Estates subdivision in the Aptos planning area. The parcel is developed with an existing single family dwelling and is located at the end of a row of houses on the side of the street facing the coastal bluff. The surrounding neighborhood is developed with single family residences and the beach is located to the southwest of the property.

The proposal includes the demolition of the existing two story single family dwelling and construction of a new two story single family dwelling. The existing dwelling (with 5 bedrooms, 3 1/2 bathrooms, and approximately 3,500 square feet of floor area) was constructed on a smaller parcel (APN 054-192-03) that was approximately 6,300 square feet in lot area. Since that time, additional property has been acquired and combined to enlarge the property to approximately 12,170 square feet in lot area. The replacement two story residence is proposed on the enlarged property with 6 bedrooms, 5 1/2 bathrooms, and approximately 6,440 square feet of floor area.

A Coastal Development Permit is required because the property is located within the appeals jurisdiction of the coastal zone and the structure is within 50 feet of the beach.

A Residential Development Permit is required because the total floor area of structure would exceed 5,000 square feet. The maximum size of a single family dwelling (without a Residential Development Permit review for a large dwelling) is 5,000 square feet of floor area.

Zoning & General Plan Consistency

The subject property is a 12,170 square foot lot, located in the R-1-6-SBE (Single family residential - 6,000 square feet; Seascape Beach Estates combining district) zone district, a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district and the zoning is consistent with the site's R-UL (Urban Low Density Residential) General Plan designation.

All required parking would be provided on site for the proposed six bedroom residence in the driveway and attached garage.

Seascape Beach Estates

The subject property is located within the Seascape Beach Estates (SBE) combining district. Site standards for the SBE combining district vary from the R-1-6 zone district standards.

The proposed residence complies with the site standards for the zone district, as outlined below:

	Site Standards (SBE)	Proposed
Front yard setback	20' min.	20'
Rear yard setback	10' min. from rear lot line	32'
Side yard setbacks	10% of lot width; No less than 5' min. and no more than 8' min.	18' and 8'
Maximum height	28' max. (from curb)	27'-5"
Maximum % lot coverage	45% max.	33%
Maximum Floor Area Ratio	60% max.	52%
Maximum number of stories	2	2

Large Dwelling Review

At approximately 6,440 square feet of floor area, the proposed replacement residence would require a Residential Development Permit. Single family dwellings that are over 5,000 square feet in floor area are subject to a Residential Development Permit for large dwelling review.

The existing residence currently totals approximately 3,500 square feet of floor area, and was built prior to the two parcels being combined, effectively doubling the size of the property. The proposed replacement residence is in compliance with the Seascape Beach Estates site standards, with less than 60% floor area ratio based on the total land area of the combined property.

The proposed residence would be clearly visible from the beach, but the modern architectural style

and location cut into the slope on the property will help the proposed structure to blend with the existing pattern of residential development at the toe of the bluff on Via Gaviota. Tall evergreen screening vegetation is unlikely to be successful (in a marine environment) or appropriate (as it would likely block views from the subject property and neighboring residences). However, the colors and materials selected for the proposed replacement residence would reduce the visual bulk and mass of the proposed structure. The combined effect of the proposed architectural style, location on the property and in the neighborhood, and the use of neutral colors and materials will result in a structure that is compatible with the surrounding pattern of development in the Seascape Beach Estates subdivision.

Scenic Resources & Design Review

The subject property is located within a mapped scenic resource area and is within the scenic viewshed of the public beach. The proposal complies with the requirements of the County Design Review Ordinance, in that the proposed residence would be cut back into the slope and would utilize varied exterior materials and neutral colors to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape within the scenic beach viewshed.

Local Coastal Program Consistency

The proposed residence is in conformance with the County's certified Local Coastal Program, in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, with larger two story homes on the inland side of Via Gaviota, and the design submitted is consistent with the existing pattern of development. The project site is not identified as a priority acquisition site in the County's Local Coastal Program, and beach access is available at Hidden Beach and Via Gaviota. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Geologic Hazards

Due to the location of the subject property in a coastal hazard area, the project applicant was required to submit geologic and soils reports to determine an acceptable level of safety for the proposed replacement residence. The reports have been reviewed and accepted by the Environmental Planning section.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **191303**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

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Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Comments & Correspondence

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 191303

Assessor Parcel Number: 054-231-13

Project Location: 939 Via Gaviota

Project Description: Proposal to demolish an existing two story single family dwelling and construct a replacement two story single family dwelling

Person or Agency Proposing Project: Fuse Architects

Contact Phone Number: 831-479-9295

- A. _____ The proposed activity is not a project under CEQA Guidelines Section 15378.
B. _____ The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
C. _____ **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
D. _____ **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
E. X **Categorical Exemption**

Specify type: Class 2 - Replacement or Reconstruction (Section 15302);
Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

Demolition and reconstruction of a single family dwelling in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Randall Adams, Project Planner

Date: _____

EXHIBIT A

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned R-1-6-SBE (Single family residential - 6,000 square feet; Seascape Beach Estates combining district), a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UL (Urban Low Density Residential) General Plan designation.

2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the development is consistent with the surrounding neighborhood in terms of architectural style; the site is located in a subdivision with lots developed to an urban density; and the colors will be natural in appearance and complementary to the site.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and beach access is available at Hidden Beach and Via Gaviota.

5. That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure is sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-6-SBE (Single family residential - 6,000 square feet; Seascape Beach Estates combining district) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, with larger two story homes on the inland side of Via Gaviota, and the design submitted is consistent with the existing pattern of development.

6. If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that the project site is not identified as a priority acquisition site in the County's Local Coastal Program, and beach access is available at Hidden Beach and Via Gaviota. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses and the geologic and soils reports for the project site have been reviewed and accepted. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the single family dwelling and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-6-SBE (Single family residential - 6,000 square feet; Seascape Beach Estates combining district) zone district as the primary use of the property will be one single family dwelling that meets all current site standards for the zone district.

The proposed addition will comply with all required site standards for the zone district and all required parking for the residence will be provided on site.

The project will comply with the requirements of County Code section 13.10.325 regarding large dwelling review. The proposed structure will be compatible with its surroundings given the neighborhood, locational or environmental context and its design is consistent with the large dwelling design guidelines, in that the proposed replacement residence will be compatible with the architectural character and pattern of development in the surrounding residential neighborhood; the structure will utilize muted natural tones and colors to reduce visual bulk and mass; the construction will be cut back into the slope on the property, without excessive grading or substantial modification of existing topography; the proposed replacement residence will be compatible with the architectural style, colors, and materials of surrounding development in the Seascape Beach Estates subdivision.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-UL (Urban Low Density Residential) land use designation in the County General Plan.

The proposed single family dwelling will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the single family dwelling will not adversely shade adjacent properties, and will meet current setbacks for the zone district.

The proposed single family dwelling will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a

Relationship Between Structure and Parcel Sizes), in that the proposed single family dwelling will comply with the site standards for the R-1-6-SBE zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

The project will be in compliance with the requirements for large dwellings as specified in General Plan Policy 8.6.4 (Review of Large Dwellings), in that the modern architectural style of the proposed residence and location cut into the slope on the property will help the proposed structure to blend with the existing pattern of residential development at the toe of the bluff on Via Gaviota and the proposed colors and materials would reduce the visual bulk and mass of the structure. The combined effect of the proposed architectural style, location on the property and in the neighborhood, and the use of neutral colors and materials will result in a structure that is compatible with the surrounding pattern of development in the Seascapes Beach Estates subdivision.

This proposal is consistent with General Plan Policy 5.10.7 (Open Beaches and Blufftops) in that the proposed replacement residence would be cut back into the slope and would utilize varied exterior materials and neutral colors to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape within the scenic beach viewshed.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities, and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made, in that the proposed single family dwelling is to be constructed as a replacement residence. The expected level of traffic generated by the proposed project is anticipated to remain at one peak trip per day (1 peak trip per dwelling unit), such an increase will not adversely impact existing roads or intersections in the surrounding area. No substantial increase in utilities consumption is anticipated

5. That the proposed project will complement and harmonize with the existing and proposed land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure would replace an existing dwelling in a residential neighborhood containing a variety of architectural styles, and the proposed replacement residence is consistent with the land use intensity and density of the neighborhood.

6. The proposed development project is consistent with the Design Standards and Guidelines (sections 13.11.070 through 13.11.076), and any other applicable requirements of this chapter.

This finding can be made, in that the proposed residence would be cut back into the slope and would utilize varied exterior materials and neutral colors to reduce the visual impact of the proposed development on surrounding land uses and the natural landscape within the scenic beach viewshed.

Conditions of Approval

Exhibit D: Project plans, prepared by Fuse Architects, revised 9/18/20.

- I. This permit authorizes the demolition of an existing residence and the construction of a replacement single family dwelling as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Demolition Permit from the Santa Cruz County Building Official.
 - C. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - D. Obtain a Grading Permit from the Santa Cruz County Building Official.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full size sheets of the architectural plan set.
 2. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Planning Department review and approval.
 3. Grading, drainage, and erosion control plans.
 4. The building plans must include a roof plan and a surveyed contour map of

the ground surface, superimposed and extended to allow height measurement of all features. Spot elevations shall be provided at points on the structure that have the greatest difference between ground surface and the highest portion of the structure above. This requirement is in addition to the standard requirement of detailed elevations and cross-sections and the topography of the project site which clearly depict the total height of the proposed structure. Maximum height is 28 feet.

5. Details showing compliance with fire department requirements.
- B. Meet all requirements of and pay Zone 6 drainage fees to the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
- C. Meet all requirements of the Soquel Creek Water District.
- D. Meet all requirements of the Santa Cruz County Sanitation District.
- E. Meet all requirements of the Environmental Planning section of the Planning Department.
- F. Meet all requirements and pay any applicable plan check fee of the Aptos/La Selva Fire Protection District.
- G. Submit 3 copies of plan review letters prepared and stamped by the project Geotechnical Engineer.
- H. Submit 3 copies of plan review letters prepared and stamped by the project Geologist.
- I. Pay the current fees for Parks and Child Care mitigation for 1 bedroom(s). Currently, these fees are, respectively, \$1,000 and \$109 per bedroom.
- J. Pay the current fees for Roadside and Transportation improvements for 1 bedroom(s). Currently, these fees are, respectively, \$1,000 and \$1,000 per bedroom.
- K. Pay the current Affordable Housing Impact Fee. The fees are based on unit size and the current fee for a dwelling over 4,000 square feet is \$15 per square foot.
- L. Provide required off-street parking for 5 cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
- M. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.

- N. Complete and record a Notice of Geologic Hazards, Acceptance of Risk, Liability Release, and Indemnification regarding development in a geologic hazard area. **You may not alter the wording of this declaration.** This form will be prepared by the Environmental Planning section and provided to you. Follow the instructions to record and return the form to the Planning Department.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils and geologic reports.
 - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- IV. Operational Conditions
- A. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.
- V. Indemnification
- The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall

reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
 - 1. COUNTY bears its own attorney's fees and costs; and
 - 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The "applicant/owner" shall include the applicant and/or the owner and the successor's in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit (or permits) is obtained for the primary structure described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Application #: 191303
APN: 054-231-13
Owner: Mark & Tamara DeMattei

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

PROPOSED EXTERIOR MATERIAL PALETTE

WD-01

TRESPA
COMPOSITE
SIBERIAN LARCH
(vertical orientation)

WD-02

WEATHERED
CEDAR
DECKING

STN-01

NEOLITH
STONE
SIDING

MTL-01

POWDER COAT OR
KYNAR FINISHED
WHITE METAL

MTL-02

DARK ANODIZED
BRONZE METAL
FINISH

CON-01

BOARD
FORM CONCRETE

PROPOSED LANDSCAPING PALETTE

PL-01

SUCCULENTS
[assorted]

PL-02

YUCCA
BLUE BOY
[yucca desmetiana]

PL-03

BLUE FESCUE
[festuca glauca]

PL-04

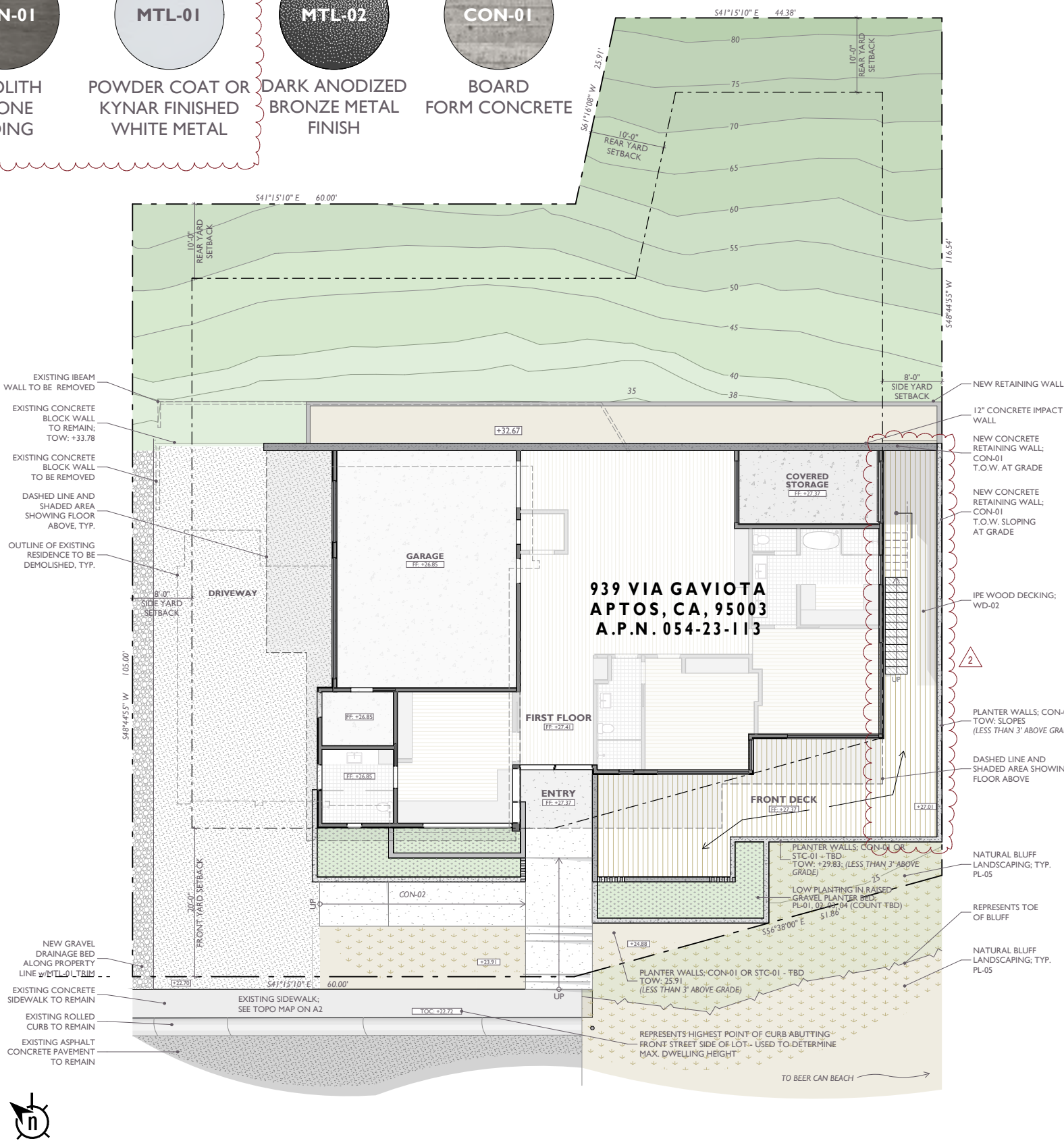
BLACK MONDO
GRASS
[ophiopogon
planiscapus
nigrescens]

PL-05

EXISTING DUNE
FLORA

CON-02

CONCRETE
FLATWORK



PROJECT DESCRIPTION

DEMOLITION OF AN (E) TWO-STORY SINGLE FAMILY RESIDENCE.
CONSTRUCTION OF A (N) TWO-STORY SINGLE FAMILY RESIDENCE
WITH ATTACHED GARAGE.

PROJECT INFORMATION

SITE DATA	
APN	054-23-113
ZONING	R-1-6 (SINGLE FAMILY RESIDENCE / 5,000 SF LOT)
GENERAL PLAN	R-UL (RURAL - URBAN LOW DENSITY)
LOT AREA/ ACRES	0.279
LOT AREA/ SF	12,170.25
NEIGHBORHOOD	SEASCAPE BEACH ASSOCIATION
LOT DESIGNATION	No. 40: LOT WIDTH OF 60-FT OR GREATER
MAX. DWELLING SIZE	60% OF LOT AREA = 7,302.15 SF
PROPOSED DWELLING SIZE	52% OF LOT AREA = 6,437.8 SF SEE A3 FOR BREAKDOWN
PARKING	5 REQUIRED (6 BEDROOM), 5 PROVIDED
MAX. STORIES	3 ALLOWED
PROPOSED STORIES	2
SETBACKS (PER SCCC SECTION 13.10.436 A)(1,2,3))	
FRONT	20'-0"
REAR	10'-0"
SIDE	8'-0"
MAX. HEIGHT	28'-0" ABOVE HIGHEST POINT OF CURB ADJUTING STREET SIDE OF LOT = +22.72
PROPOSED HEIGHT	27'-5" +50.15

DRAWING INDEX

SHEET	SHEET NAME
A1	PROJECT INFO + SITE PLAN
TP-2	TOPOGRAPHIC MAP
A3	AREA CALCULATIONS
A4	PROPOSED FIRST FLOOR PLAN
A5	PROPOSED SECOND FLOOR PLAN
A6	PROPOSED ROOF PLAN
A7	EXTERIOR ELEVATIONS
A8	EXTERIOR ELEVATIONS
A9	BUILDING SECTIONS
A10	EXTERIOR PERSPECTIVES
B1	NEIGHBORHOOD CONTEXT
B2	NEIGHBORHOOD CONTEXT
C1	GRADING & DRAINAGE PLAN
C2	DETAILS & SECTIONS
C3	STORMWATER POLLUTION CONTROL PLAN

PROJECT LOCATION



VICINITY MAP



SEASCAPE
BEACH HOUSE
939 VIA GAVIOTA
APTOS, CA 95003

fuse
architects + builders
512 Capitola, Ave, Capitola, California 95010
www.fusearchitecture.com 831.479.9295

#	Issue	Date	Issue Description
		10/24/19	COASTAL DEVELOPMENT PERMIT SUBMITTAL
1		7/15/20	COASTAL DEVELOPMENT PERMIT RESUBMITTAL
2		9/18/20	COASTAL DEVELOPMENT PERMIT RESUBMITTAL

Seal/ Signature



Project Name
VIA GAVIOTA
SEASCAPE BEACH HOUSE

Project Number
APN #: 054-23-113

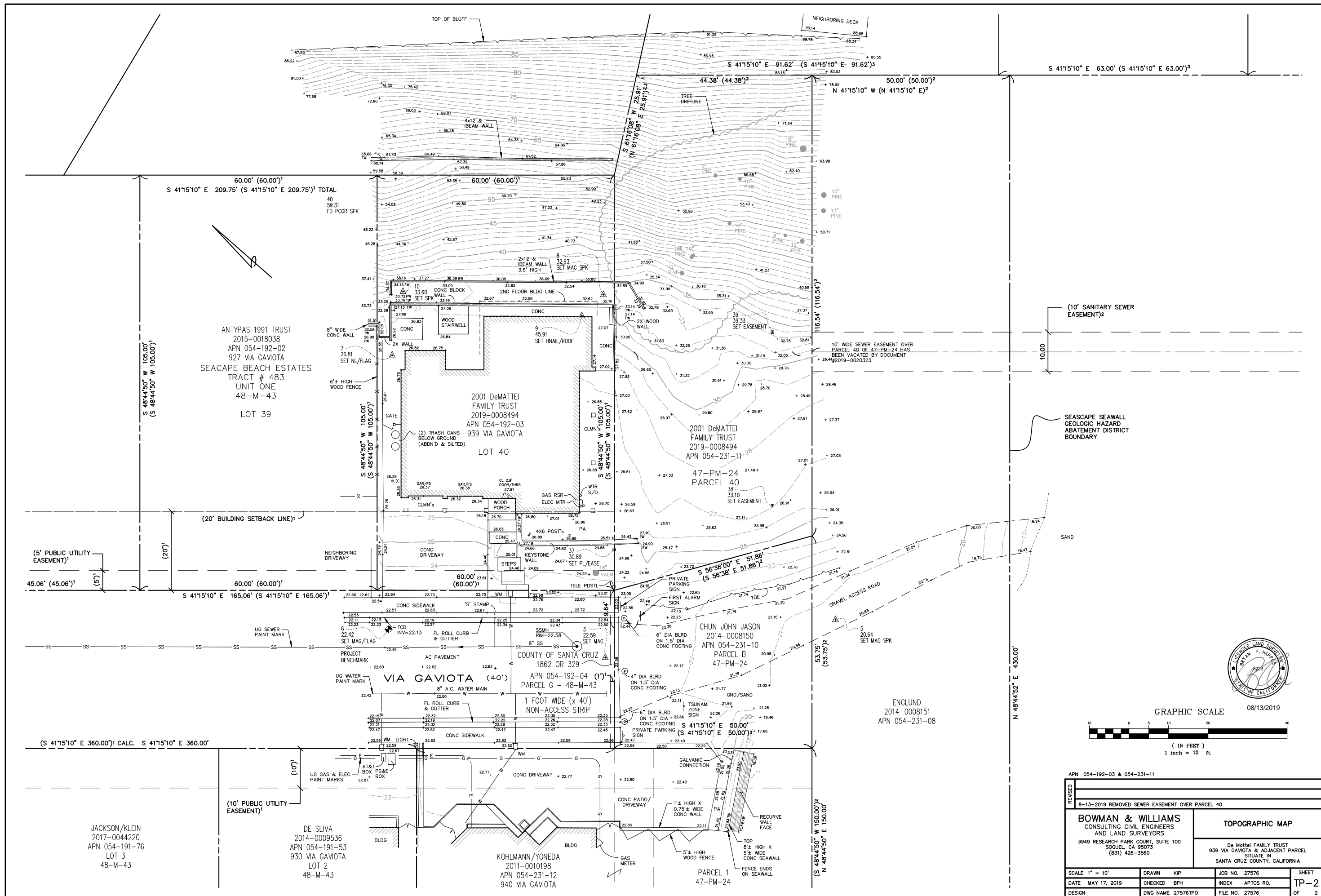
Description
PROJECT INFO + SITE PLAN

Scale
As Indicated

A1

© 2020 Fuse

PROPOSED SITE PLAN + LANDSCAPE
SCALE: 3/16" = 1'-0"



\\NEWUSE\Fuse_Files\Architecture\DelMater\Drawings\BIM\Via Gaviota Residence.pln 9/21/2020 1:26 PM



SQUARE FOOTAGE BREAKDOWN

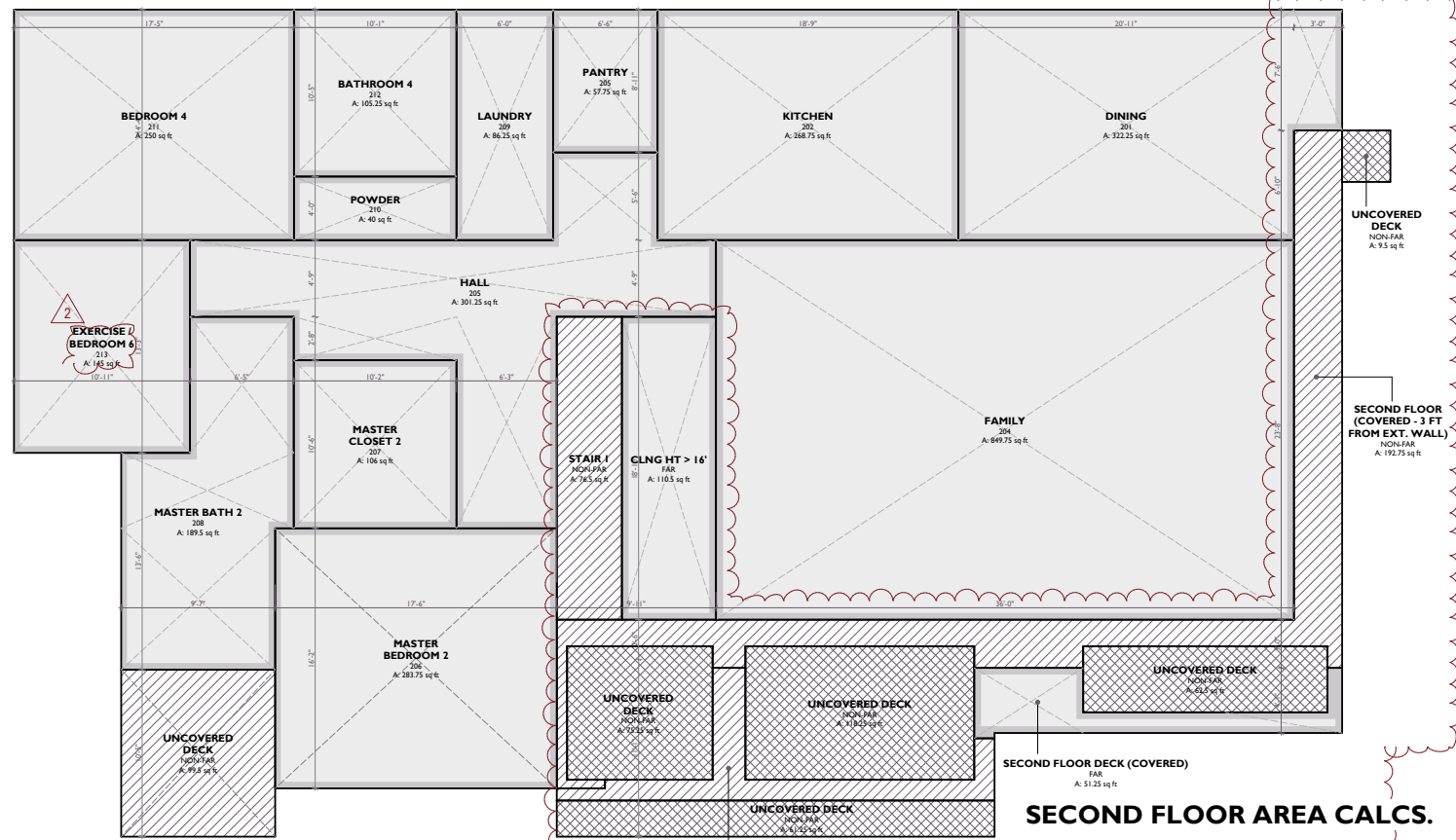
AREA CALCS PROPOSED FAR		
ROOM NAME	ROOM #	AREA
FIRST FLOOR		
ENTRY	100	114.5
STAIR 1	101	77.0
OFFICE / BEDROOM 5	102	312.4
BATHROOM 5	103	111.0
FAMILY	104	833.2
BEDROOM 3	106	236.3
BATH 3	107	102.0
MASTER BEDROOM 1	108	258.5
MASTER BATHROOM 1	109	175.1
MASTER CLOSET 1	110	64.8
GARAGE	111	602.4
MUDROOM	112	83.3
COVERED STORAGE	113	221.1
COVERED DECK	FAR	78.6
SECOND FLOOR		
DINING	201	322.3
KITCHEN	202	268.7
FAMILY	204	850.0
HALL	205	301.3
PANTRY	205	57.8
MASTER BEDROOM 2	206	283.8
MASTER CLOSET 2	207	106.0
MASTER BATH 2	208	189.5
LAUNDRY	209	86.3
POWDER	210	40.0
BEDROOM 4	211	250.1
BATHROOM 4	212	105.1
EXERCISE / BEDROOM 6	213	145.1
CLING HT > 16'	FAR	110.4
COVERED DECK	FAR	51.2

6,437.8 sq ft

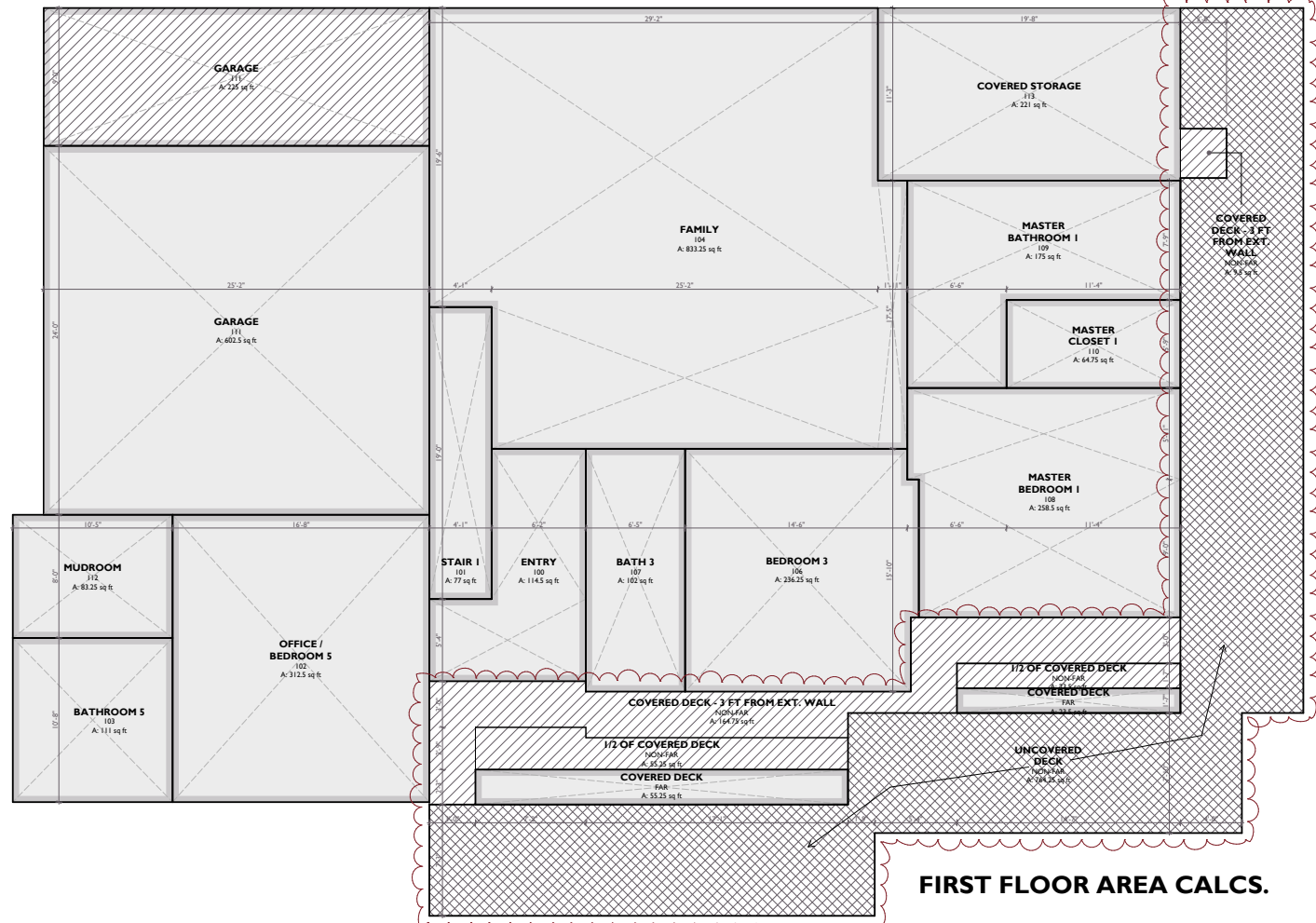
AREA CALCS PROPOSED NON-FAR (2nd)		
ROOM NAME	ROOM #	AREA
FIRST FLOOR		
GARAGE	111	225.1
UNCOVERED DECK	NON-FAR	764.3
1/2 OF COVERED DECK	NON-FAR	78.5
COVERED DECK - 3 FT FROM EXT. WALL	NON-FAR	174.4
SECOND FLOOR		
COVERED DECK - 3 FT FROM EXT. WALL	NON-FAR	192.7
STAIR 1	NON-FAR	76.4
UNCOVERED DECK	NON-FAR	426.3
1,937.7 sq ft		

AREA CALCS LEGEND

	PROPOSED FAR SQUARE FOOTAGE
	PROPOSED NON-FAR SQUARE FOOTAGE



SECOND FLOOR AREA CALCS.



FIRST FLOOR AREA CALCS.

PROPOSED FIRST & SECOND FLOOR AREA CALCS

SCALE: 3/16" = 1'-0"

SEASCAPE BEACH HOUSE

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#	Issue	Date	Issue Description
		10/24/19	COASTAL DEVELOPMENT PERMIT SUBMITTAL
1		7/15/20	COASTAL DEVELOPMENT PERMIT RESUBMITTAL
2		9/18/20	COASTAL DEVELOPMENT PERMIT RESUBMITTAL

Seal/ Signature



Project Name
VIA GAVIOTA
SEASCAPE BEACH HOUSE

Project Number
APN #: 054-23-113

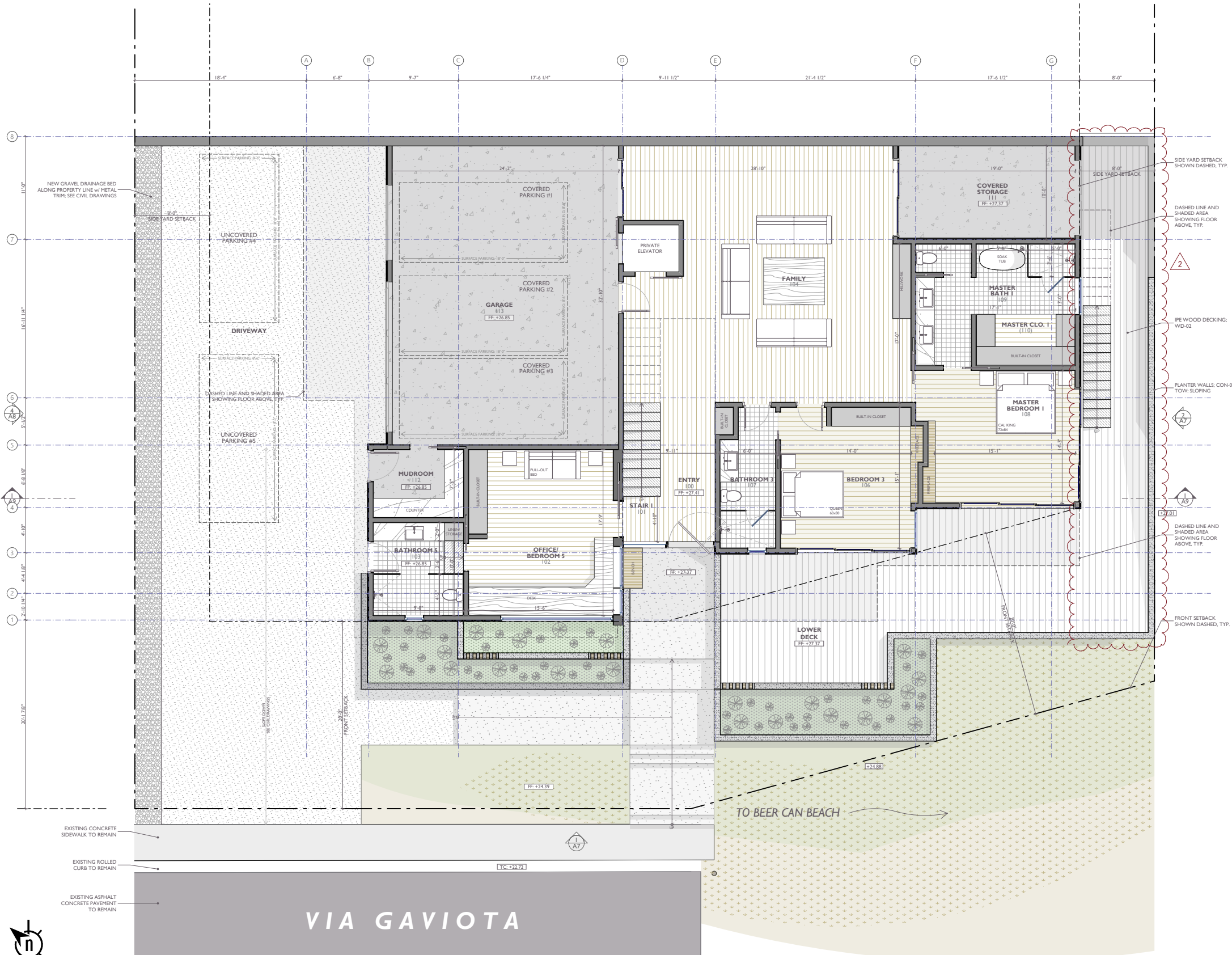
Description
AREA CALCULATIONS

Scale
As Indicated

A3

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FLOOR PLAN LEGEND

- (N) WOOD FLOOR BOARDS - INTERIOR
- (N) TILE FLOORING
- (N) CONCRETE FLOORING
- (N) WOOD FINISH - INTERIOR MILLWORK
- (N) STONE FINISH - INTERIOR
- (N) METAL FINISH - EXTERIOR
- (N) WOOD DECKING - EXTERIOR
- (N) WOOD FINISH - EXTERIOR
- (N) STONE - EXTERIOR
- PROPERTY LINE
- SETBACK LINE
- TOP OF BLUFF

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Seal/ Signature



Project Name
VIA GAVIOTA
SEASCAPE BEACH HOUSE

Project Number
APN #: 054-23-113

Description
PROPOSED FIRST FLOOR PLAN

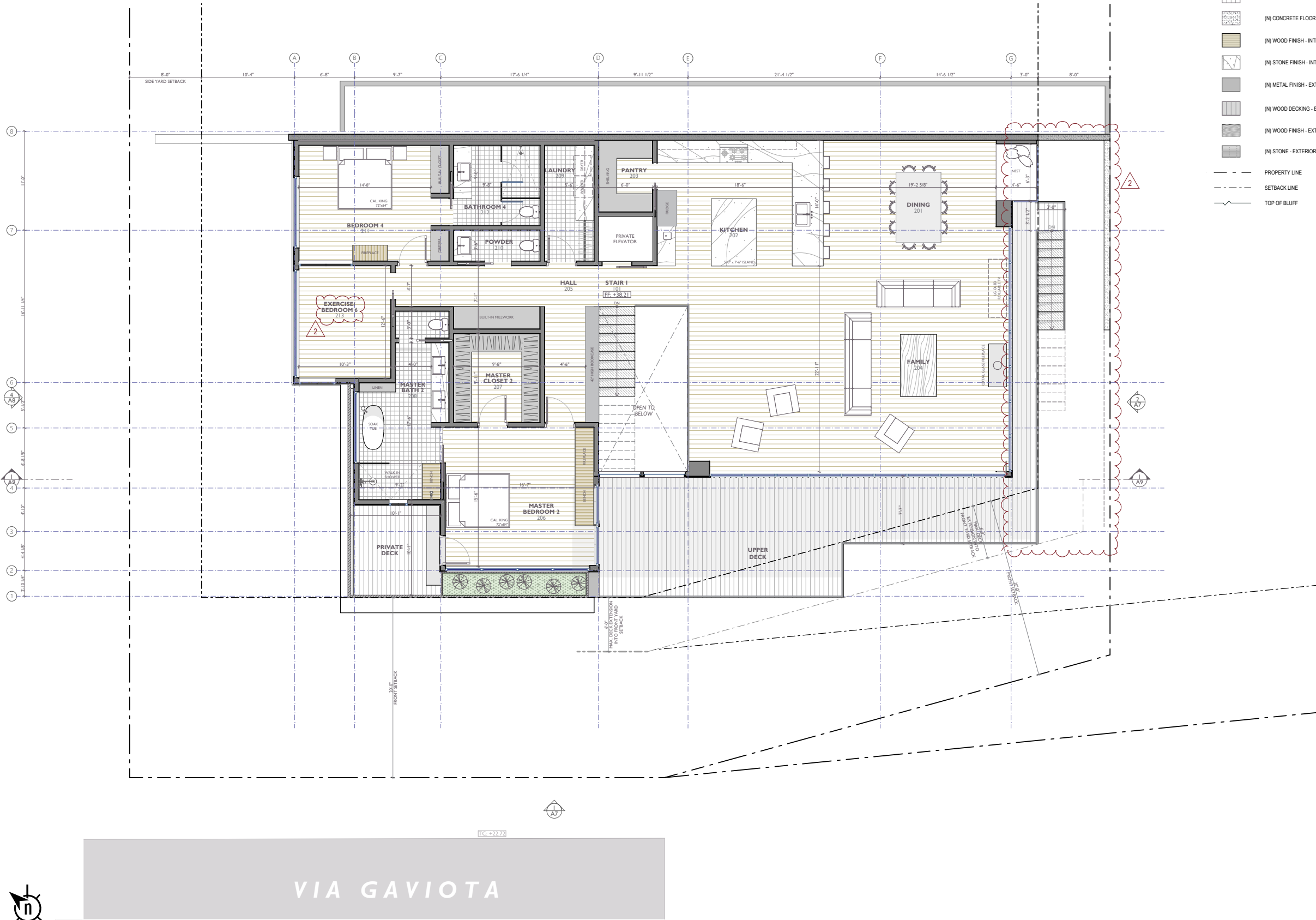
Scale
As Indicated

A4

PROPOSED FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

*ALL FINISH FLOOR HEIGHTS ON FLOOR PLANS REFERENCED TO NAVD 88 DATUM

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FLOOR PLAN LEGEND

- (N) WOOD FLOOR BOARDS - INTERIOR
- (N) TILE FLOORING
- (N) CONCRETE FLOORING
- (N) WOOD FINISH - INTERIOR MILLWORK
- (N) STONE FINISH - INTERIOR
- (N) METAL FINISH - EXTERIOR
- (N) WOOD DECKING - EXTERIOR
- (N) WOOD FINISH - EXTERIOR
- (N) STONE - EXTERIOR
- PROPERTY LINE
- SETBACK LINE
- TOP OF BLUFF

SEASCAPE
BEACH HOUSE

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Seal/ Signature



Project Name
VIA GAVIOTA
SEASCAPE BEACH HOUSE

Project Number
APN #: 054-23-113

Description
PROPOSED SECOND FLOOR PLAN

Scale
As Indicated

A5

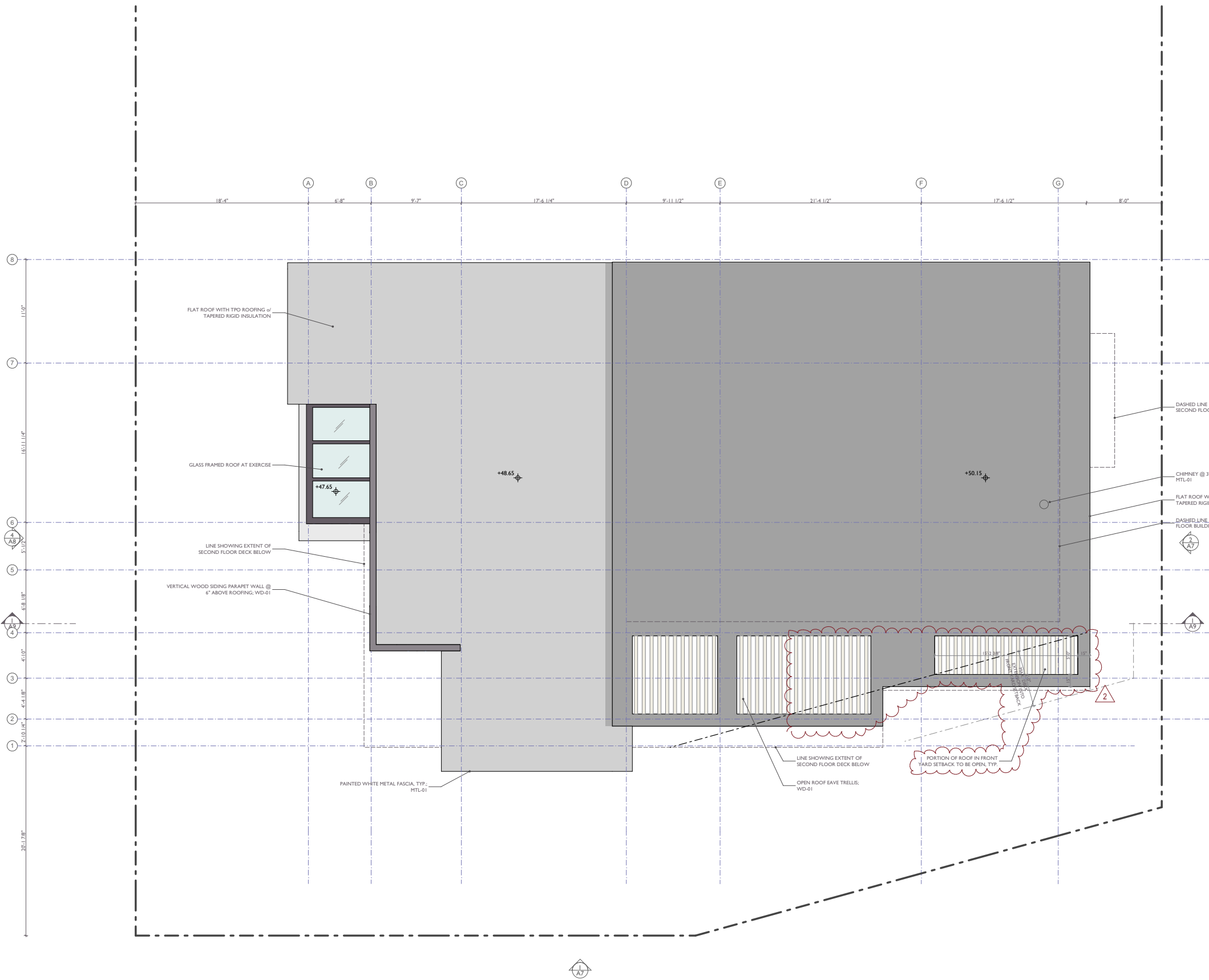
PROPOSED SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

1

*ALL FINISH FLOOR HEIGHTS ON FLOOR PLANS REFERENCED TO NAVD 88 DATUM

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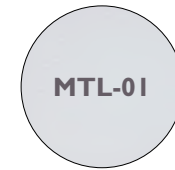
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PROPOSED ROOF PALETTE



TRESPA
COMPOSITE
SIBERIAN LARCH
(vertical orientation)



POWDER COAT OR
KYNAR FINISHED
WHITE METAL



THERMOPLASTIC
POLYOLEFIN ROOFING

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2		9/18/20	COASTAL DEVELOPMENT PERMIT RESUBMITTAL

Seal/ Signature



Project Name
VIA GAVIOTA
SEASCAPE BEACH HOUSE

Project Number
APN #: 054-23-113

Description
PROPOSED ROOF PLAN

Scale
As Indicated

A6

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PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"

1

*ALL FINISH FLOOR HEIGHTS ON FLOOR PLANS REFERENCED TO **NAVD 88** DATUM

PROPOSED EXTERIOR MATERIAL PALETTE

WD-01

TRESPA COMPOSITE SIBERIAN LARCH
(vertical orientation)

WD-02

WEATHERED CEDAR DECKING

CON-01

BOARD FORM CONCRETE

MTL-01

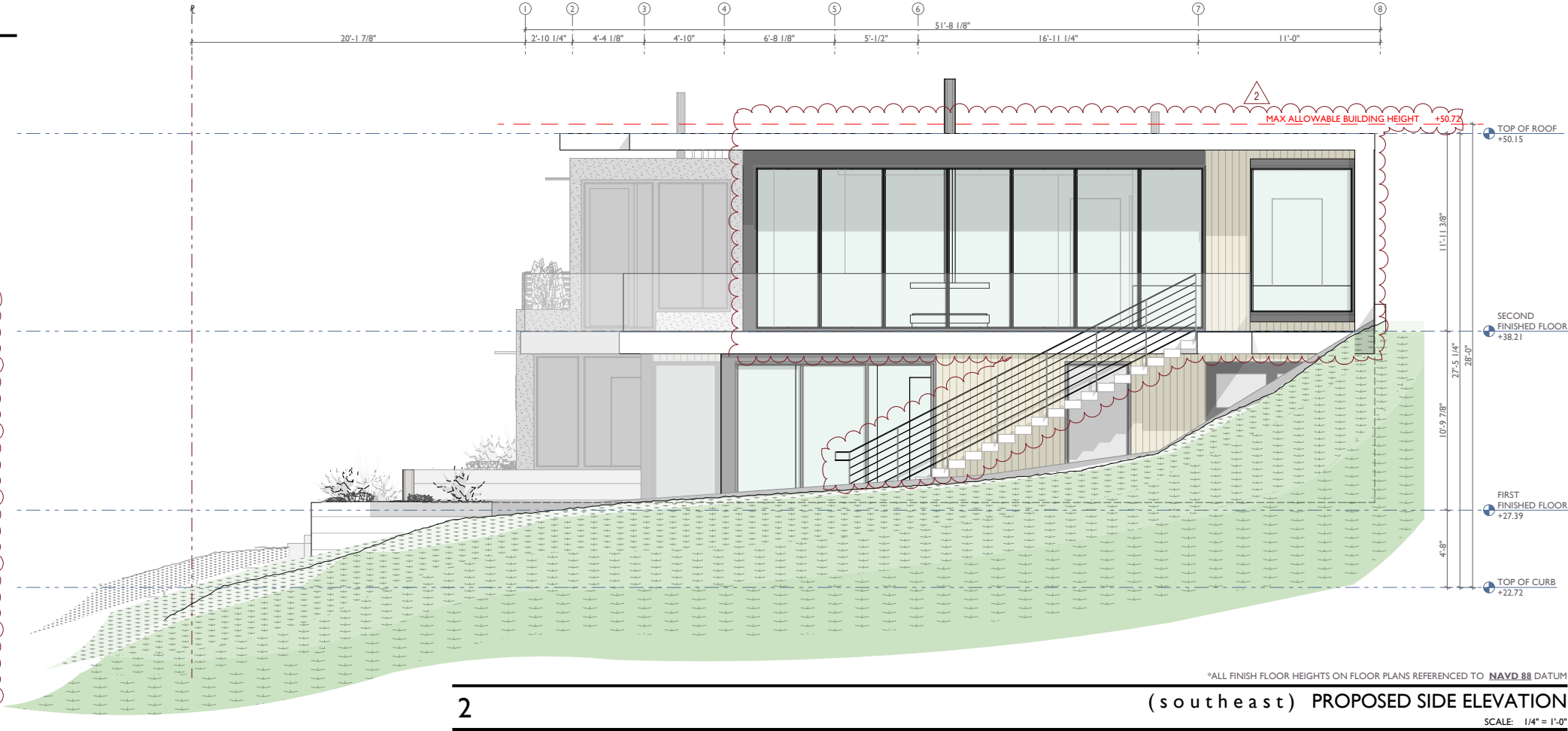
POWDER COAT OR KYNAR FINISHED WHITE METAL

MTL-02

DARK ANODIZED BRONZE METAL FINISH

STN-01

NEOLITH STONE SIDING



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2		9/18/20	COASTAL DEVELOPMENT PERMIT RESUBMITTAL

Seal/ Signature



Project Name
VIA GAVIOTA
SEASCAPE BEACH HOUSE

Project Number
APN #: 054-23-113

Description
EXTERIOR ELEVATIONS

Scale
As Indicated

A7

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PROPOSED EXTERIOR MATERIAL PALETTE

WD-01

TRESPA COMPOSITE SIBERIAN LARCH
(vertical orientation)

WD-02

WEATHERED CEDAR DECKING

CON-01

BOARD FORM CONCRETE

MTL-01

POWDER COAT OR KYNAR FINISHED WHITE METAL

MTL-02

DARK ANODIZED BRONZE METAL FINISH

STN-01

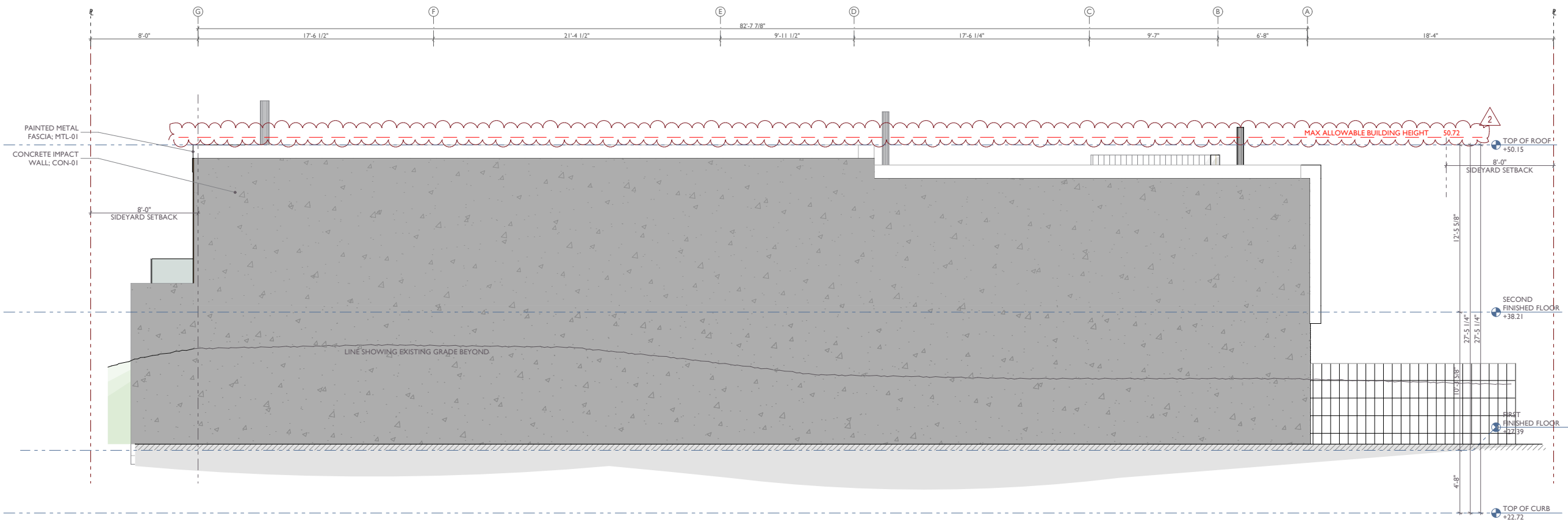
NEOLITH STONE SIDING



4 (northeast) PROPOSED SIDE ELEVATION

SCALE: 1/4" = 1'-0"

*ALL FINISH FLOOR HEIGHTS ON FLOOR PLANS REFERENCED TO NAVD 88 DATUM



3

(northwest) PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

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2		9/18/20	COASTAL DEVELOPMENT PERMIT RESUBMITTAL

Seal/ Signature



Project Name
VIA GAVIOTA
SEASCAPE BEACH HOUSE

Project Number
APN #: 054-23-113

Description
EXTERIOR ELEVATIONS

Scale
As Indicated

A8

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PROPOSED EXTERIOR MATERIAL PALETTE

WD-01

TRESPA COMPOSITE SIBERIAN LARCH
(vertical orientation)

WD-02

WEATHERED CEDAR DECKING

CON-01

BOARD FORM CONCRETE

MTL-01

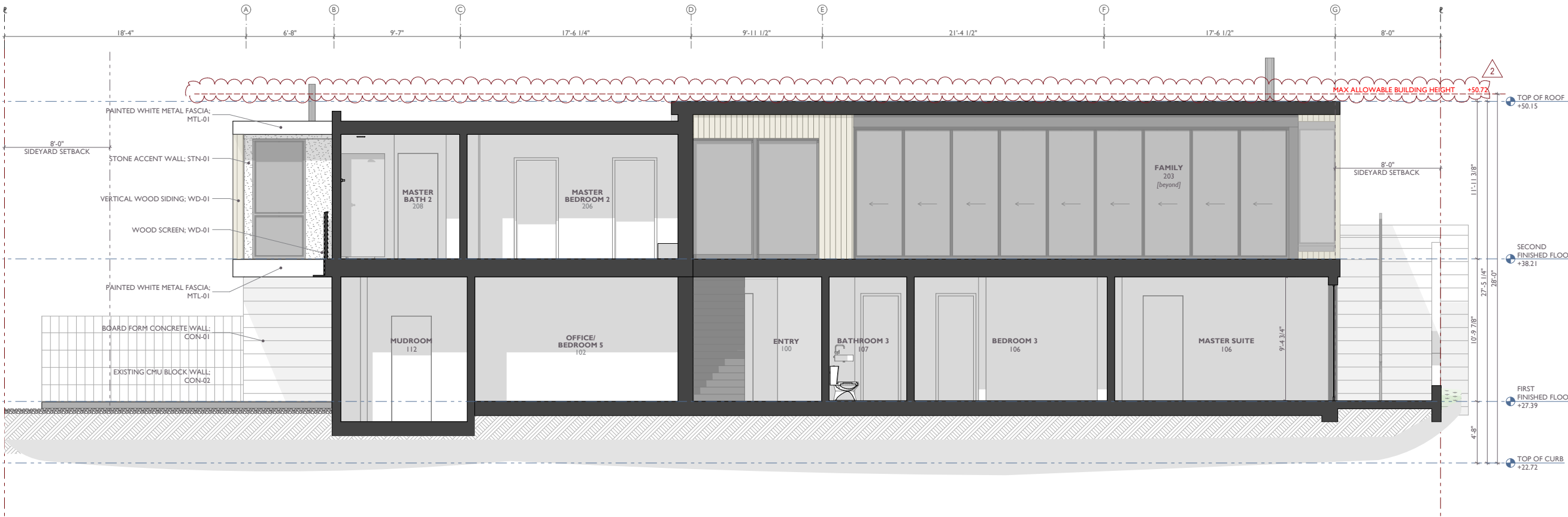
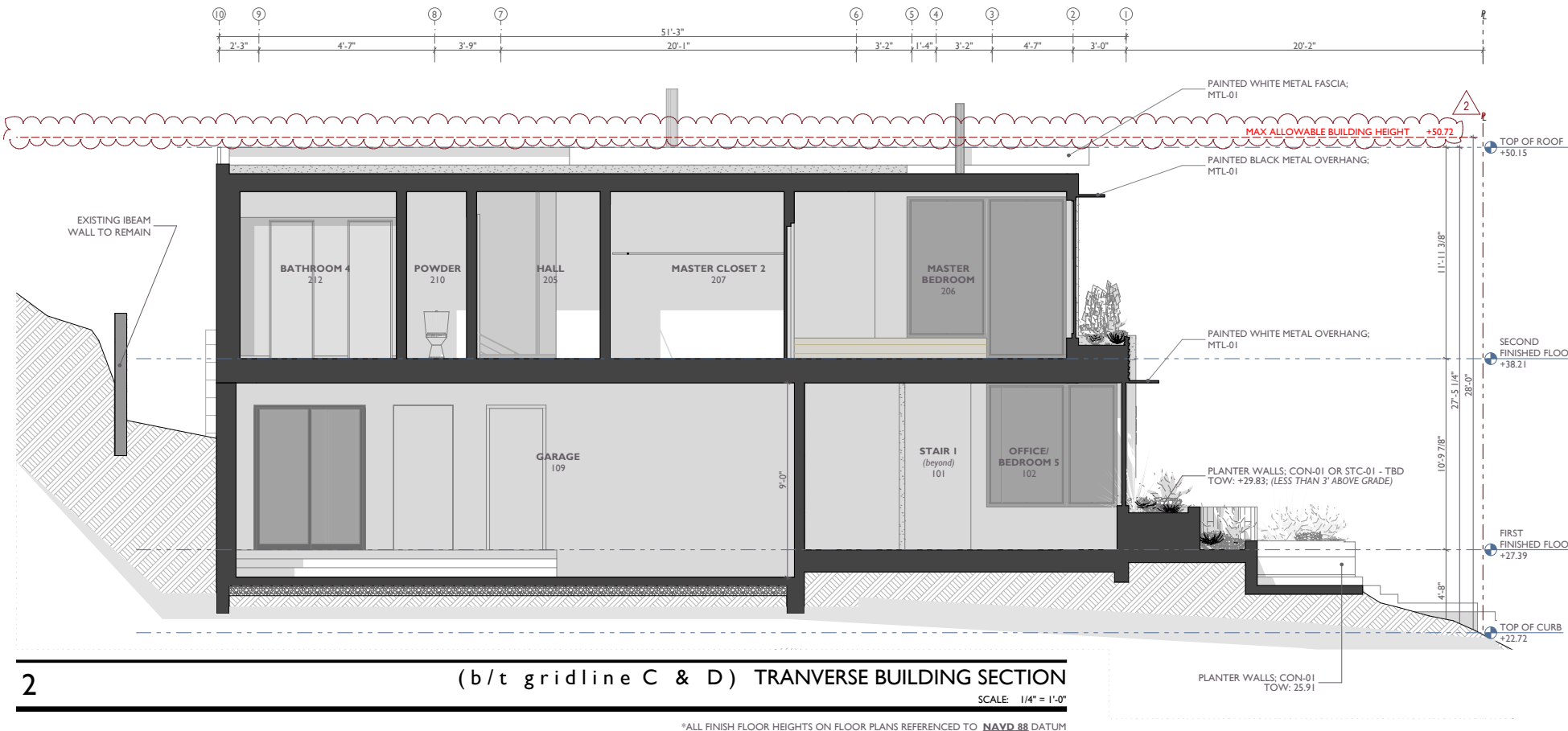
POWDER COAT OR KYNAR FINISHED WHITE METAL

MTL-02

DARK ANODIZED BRONZE METAL FINISH

STN-01

NEOLITH STONE SIDING



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Seal/ Signature



Project Name
VIA GAVIOTA
SEASCAPE BEACH HOUSE

Project Number
APN #: 054-23-113

Description
BUILDING SECTIONS

Scale
As Indicated

NORTHWEST
SIDE PERSPECTIVE
FROM VIA GAVIOTA



MTL-01

POWDER COAT OR KYNAR FINISHED WHITE METAL

STN-01

NEOLITH STONE SIDING

CON-01

BOARD FORM CONCRETE

CON-02

CONCRETE FLATWORK

CON-01

BOARD FORM CONCRETE

WD-01

TRESPA COMPOSITE SIBERIAN LARCH SIDING

MTL-01

POWDER COAT OR KYNAR FINISHED WHITE METAL

PL-05

EXISTING DUNE FLORA

EXISTING DUNE
FLORA



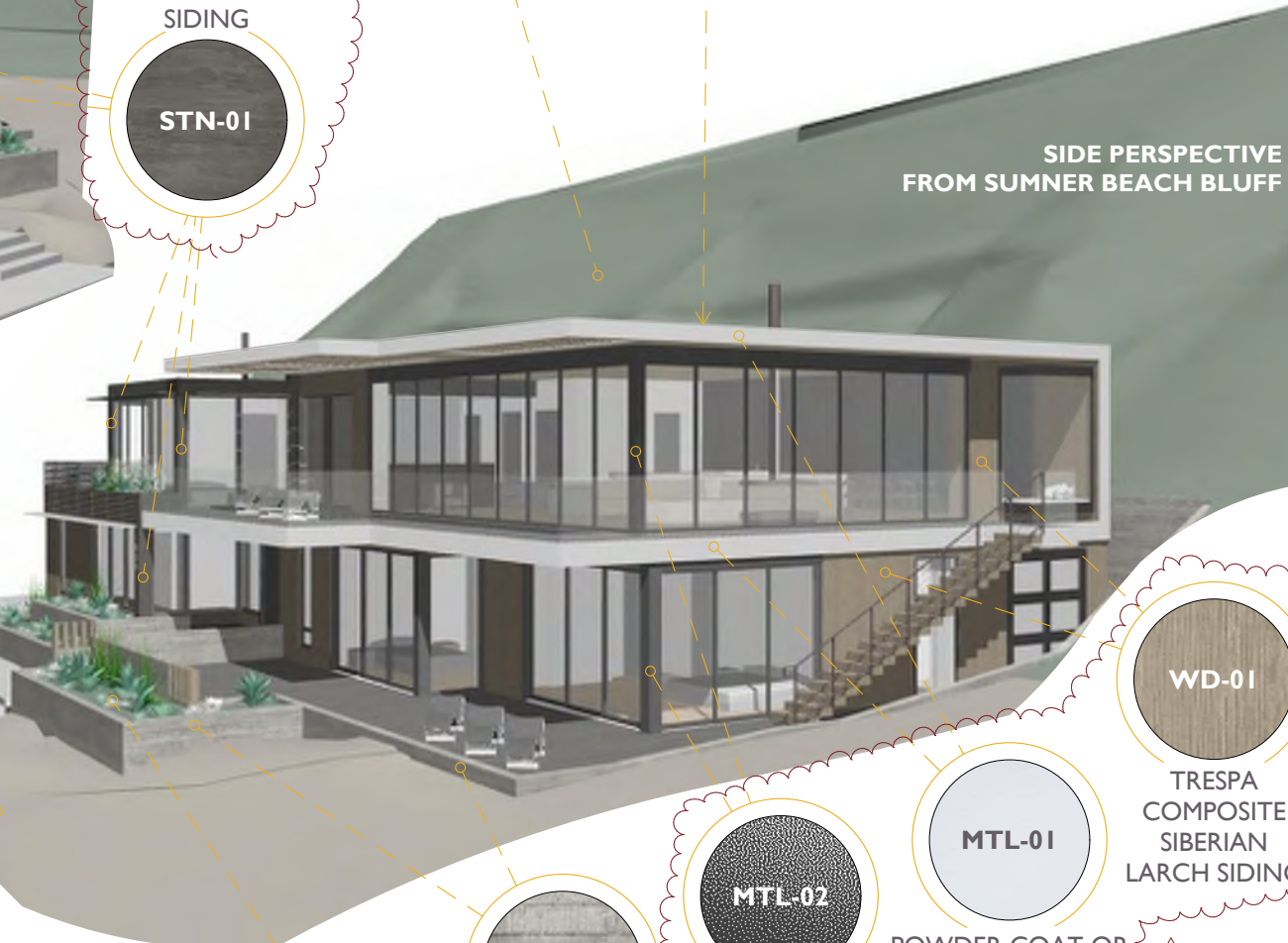
THERMOPLASTIC
POLYOLEFIN ROOFING



NEOLITH STONE
SIDING

STN-01

SIDE PERSPECTIVE
FROM SUMNER BEACH BLUFF



WD-01

TRESPA COMPOSITE SIBERIAN LARCH SIDING

MTL-01

POWDER COAT OR KYNAR FINISHED WHITE METAL

MTL-02

DARK ANODIZED BRONZE METAL FINISH

CON-01

BOARD FORM CONCRETE

PL-02

YUCCA BLUE BOY
[yucca desmetiana]

PL-03

BLUE FESCUE
[festuca glauca]

PL-01

SUCCULENTS
[assorted]

PL-04


BLACK MONDO GRASS
[ophiopogon planiscapus nigrescens]



FRONT PERSPECTIVE FROM VIA GAVIOTA

#	Issue	Date	Issue Description
		10/24/19	COASTAL DEVELOPMENT PERMIT SUBMITTAL
1		7/15/20	COASTAL DEVELOPMENT PERMIT RESUBMITTAL
2		9/18/20	COASTAL DEVELOPMENT PERMIT RESUBMITTAL

Seal/ Signature



Project Name
VIA GAVIOTA
SEASCAPE BEACH HOUSE

Project Number
APN #: 054-23-113

Description
EXTERIOR PERSPECTIVES

Scale
As Indicated

A10



VIA GAVIOTA | EXISTING 939 VIA GAVIOTA FROM VIA GAVIOTA

SCALE: n.t.s.

1
2



VIA GAVIOTA | PROPOSED 939 VIA GAVIOTA FROM VIA GAVIOTA

SCALE: n.t.s.

2
2



VIA GAVIOTA | EXISTING 939 VIA GAVIOTA FROM CLUB HOUSE DRIVE

SCALE: n.t.s.

4
2



VIA GAVIOTA | PROPOSED 939 VIA GAVIOTA FROM CLUB HOUSE DRIVE

SCALE: n.t.s.

5
2

SEASCAPE BEACH HOUSE

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Seal/ Signature



Project Name
VIA GAVIOTA
SEASCAPE BEACH HOUSE

Project Number
APN #: 054-23-113

Description
NEIGHBORHOOD CONTEXT

Scale
As Indicated

BI

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VIA GAVIOTA | EXISTING 939 VIA GAVIOTA FROM THE BEACH
SCALE: n.t.s. 1



VIA GAVIOTA | PROPOSED 939 VIA GAVIOTA FROM THE BEACH
SCALE: n.t.s. 2



VIA GAVIOTA | EXISTING 939 VIA GAVIOTA FROM THE SEA WALL
SCALE: n.t.s. 3



VIA GAVIOTA | PROPOSED 939 VIA GAVIOTA FROM THE SEA WALL
SCALE: n.t.s. 4

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2		9/18/20	COASTAL DEVELOPMENT PERMIT RESUBMITTAL

Seal/ Signature



Project Name
VIA GAVIOTA
SEASCAPE BEACH HOUSE

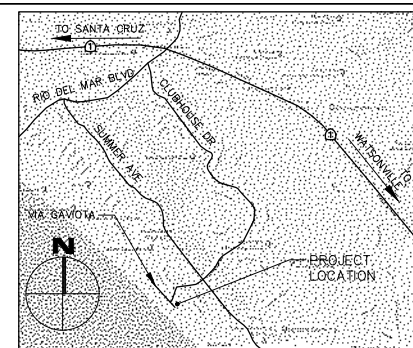
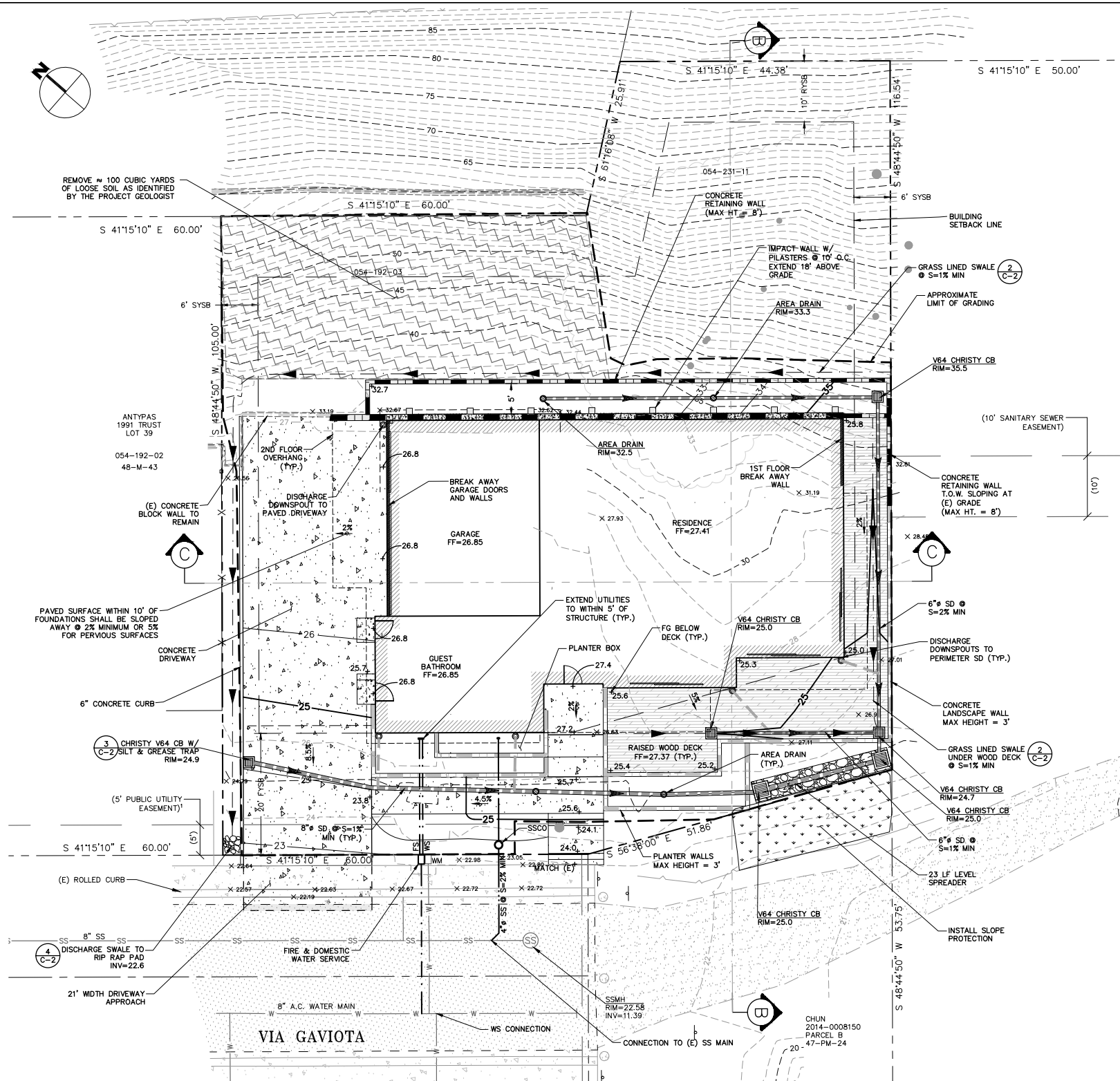
Project Number
APN #: 054-23-113

Description
NEIGHBORHOOD CONTEXT

Scale
As Indicated



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VICINITY MAP
NTS

LEGEND

	(E) AB
	(E) AC
	(E) CONCRETE
	PROPOSED CONCRETE
	PROPOSED AC
	PROPOSED SLOPE PROTECTION
	PROPOSED RAISED WOOD DECK
	LOOSE SOIL TO BE REMOVED
	(E) RETAINING WALL
	PROPERTY LINE
	PROPOSED SETBACK
	PROPOSED LIMIT OF GRADING
	PROPOSED RETAINING WALL
	PROPOSED SITE WALL
	PROPOSED BREAK AWAY WALL
	PROPOSED SWALE
	PROPOSED SD
	PROPOSED PERIMETER SD
	PROPOSED SDCO
	PROPOSED CB

APPROXIMATE EARTHWORK QUANTITIES

	CUT	CUBIC YARDS FILL	NET
SITE GRADING	105	43	62 CUT
LOOSE SOIL REMOVAL	100	0	100 CUT
TOTAL	205	43	162 CUT

*FOUNDATION GRADING (NOT INCLUDED IN SITE GRADING)
183 3 180 CUT

NOTES:
1. EARTHWORK QUANTITIES ARE APPROXIMATE AND SHALL BE INDEPENDENTLY VERIFIED BY THE CONTRACTOR FOR BIDDING PURPOSES.
2. EARTHWORK VOLUMES FOR RESIDENCE GRADING INCLUDE EXCAVATION TO ROUGH GRADE FOR CONSTRUCTION OF THE PROPOSED RESIDENCE. EARTHWORK VOLUMES REQUIRED TO CONSTRUCT THE FOUNDATIONS HAVE NOT BEEN INCLUDED.
3. EXCESS SOIL SHALL BE HAULED OR PLACED IN A COUNTY APPROVED LOCATION.

ABBREVIATIONS

BW	BOTTOM OF WALL
CB	CATCH BASIN
CONST	CONSTRUCT
DIA, Ø	DIAMETER
DS	DOWNSPOUT
DTL	DETAIL
DWY	DRIVEWAY
EL	ELEVATION
(E)	EXISTING
EOP	EDGE OF PAVEMENT
FF	FINISH FLOOR
FG	FINISH GRADE
FS	FIRE SERVICE
HP	HIGH POINT
INV	INVERT
LF	LINEAR FEET
LP	LOW POINT
MAX	MAXIMUM
N.T.S.	NOT TO SCALE
RW	RETAINING WALL
RIM	RIM ELEVATION
S	SLOPE
SCCO	COUNTY OF SANTA CRUZ
SCOWD	SOQUEL CREEK WATER DISTRICT
SSCO	SANITARY SEWER CLEANOUT
SDCO	STORM DRAIN CLEANOUT
TYP	TYPICAL
TW	TOP OF WALL
WS	WATER SERVICE

PROJECT DESCRIPTION			
Let Coverage (measured in square feet)	Actual sq ft	Estimated sq ft	
A. Total lot size	12,400	4,970	if 4,970 is > than 3,400 project shall be required to mitigate the entire site.
B. Existing Permitted Impervious Area	3,400		
C. Replaced permitted impervious area	3,400		
D. Replaced permitted semi-imperious area	0	0	Total replaced impervious & semi-imperious area
E. Proposed new self-healing area	0	0	3,400 sq ft
F. Proposed new impervious area	1,570	0	Total proposed impervious & semi-imperious area
G. Proposed new semi-imperious area	0	0	1,570 sq ft
Project Threshold Classification			
<input type="checkbox"/> Small Project (less than 100 sq ft. created and/or replaced) - Use Appendix B "Small Project Submittal Requirements" for submittal requirement guidance.			
<input checked="" type="checkbox"/> Medium Project (101 sq ft. but less than 5,000 sq ft. created and/or replaced) - Use Appendix C "Medium Project Submittal Requirements" for submittal requirement guidance.			
<input type="checkbox"/> Large Project (5,001 sq ft. or more created and/or replaced OR 10% increase in permitted impervious area) - Use Appendix D "Large Project Submittal Requirements" for submittal requirement guidance.			

TOPOGRAPHIC SURVEY

THE TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION PROVIDED HEREON WAS COMPLETED BY BOWMAN & WILLIAMS. RI ENGINEERING INC. MAKES NO GUARANTEE AS TO THE ACCURACY OF BOTH. THE CONTRACTOR SHALL VERIFY THE BOUNDARY LOCATION AND TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK.

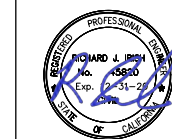
BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE WESTERN LINE OF VIA GAVIOTA BETWEEN THE NORTHERN CORNER OF LOT 18 AND THE EASTERN CORNER OF LOT 9, AS SHOWN ON SEASCAPE BEACH ESTATES, TRACT 483, UNIT ONE, FILED IN VOLUME 48 OF MAPS AT PAGE 43, SANTA CRUZ COUNTY RECORDS, AND FROM MONUMENTS FOUND AS SHOWN

BASIS OF ELEVATION

ELEVATIONS SHOWN ON THIS MAP ARE BASED UPON THE NAVD83 DATUM, AS DERIVED FROM THE FIRST ORDER, CLASS 1 NGS (NATIONAL GEODETIC SURVEY) BENCHMARK

DESIGNATION 6 1237
PID GU2276
ELEVATION = 125.18' (NAVD83)



9/18/2020



RI Engineering, Inc.

303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

NEW RESIDENCE
FOR
MARK DE MATTEI
939 VIA GAVIOTA
SANTACRUZ COUNTY, CA
APN # 054-192-03 & 054-231-11
GRADING & DRAINAGE PLAN

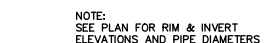
project no.
19-079-1

date
JULY 2020

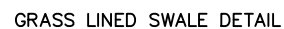
scale
AS SHOWN

dwg name
CIVIL2.dwg

C-1



TYPICAL CATCH BASIN DETAIL



NTS C-2



CATCH BASIN W/ SILT AND GREASE TRAP (3)
NTS (C-2)



RIP RAP PAD DETAIL

NTS

4
C-2



SCALE: 1"=10' HORIZONTAL, VERTICAL



SCALE: 1"=10' HORIZONTAL, VERTICAL



303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
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**NEW RESIDENCE
FOR
MARK DE MATTEI
939 VIA GAVIOTA
SANTACRUZ COUNTY, CA
APN # 054-192-03 & 054-231-11
DETAILS & SECTIONS**

APN # 054-192-03 & 054-231-
DETAILS & SECTIONS

project no.	19-079-
-------------	---------

date
JULY 2020

scale
AS SHOWN

dwg name
CIVIL2.dwg

C-2

TOTAL AREA OF DISTURBANCE = 9,270 SQFT

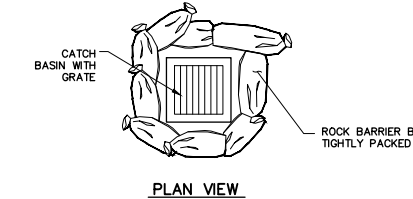
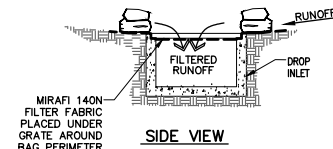
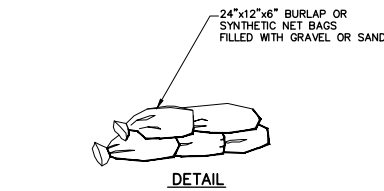
SITE HOUSEKEEPING REQUIREMENTS

- CONSTRUCTION MATERIALS**
1. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
 2. ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
 3. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
 4. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

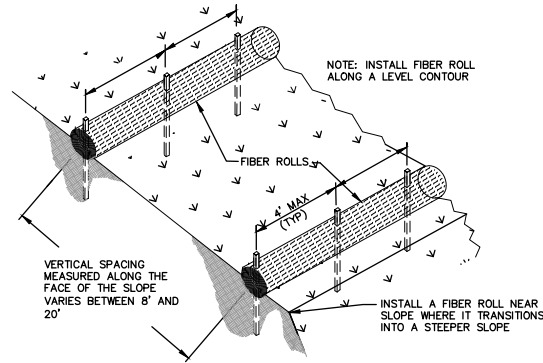
- LANDSCAPE MATERIALS**
1. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
 2. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
 3. DISCONTINUE THE APPLICATION OF ANY ERODABLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIOD OF PRECIPITATION.
 4. APPLY ERODABLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
 5. STACK ERODABLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

- VEHICLE STORAGE AND MAINTENANCE**
1. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACES WATERS.
 2. ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ON-SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S.
 3. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

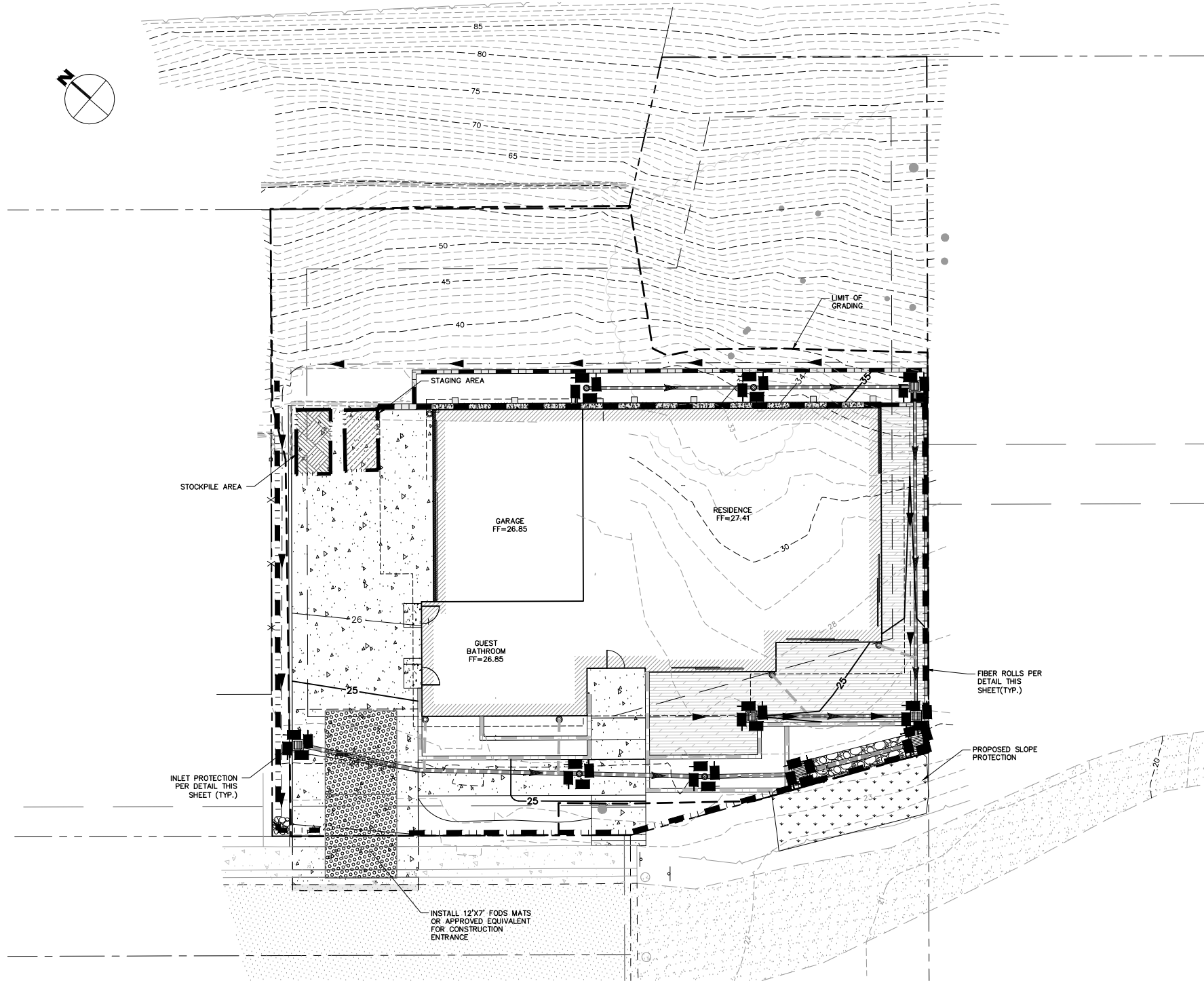
- WASTE MANAGEMENT**
1. DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
 2. SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
 3. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
 4. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
 5. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
 6. STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
 7. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
 8. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY, AND
 9. CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.



GRAVEL BAG CATCH BASIN PROTECTION
NTS



TYPICAL FIBER ROLL INSTALLATION
NTS



EROSION CONTROL MEASURES

1. EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BY OCTOBER 15.
2. UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THIS PLAN, ALL COLLECTED RUNOFF SHALL BE CARRIED TO DRAINAGE COURSES IN LINED CONDUITS. DISCHARGE SHALL BE IN THE LOCATIONS SHOWN ON THE PLANS.
3. THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. IF FAILED INSPECTIONS BY COUNTY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
4. ALL DISTURBED AREAS NOT CURRENTLY BEING USED FOR CONSTRUCTION SHALL BE SEEDED WITH THE FOLLOWING SEED MIXTURE:

WINTER BARLEY 25#/ACRE
5. AFTER SEEDING, STRAW MULCH WILL BE APPLIED IN 4" (AVG.) LAYERS.
6. AMMONIUM PHOSPHATE FERTILIZER, 6-3-3, SHALL BE APPLIED AT A RATE OF 30 LBS. PER ACRE, ON SLOPES GREATER THAN 20% EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SHALL BE APPLIED.
7. SILT BARRIERS SHALL BE PLACED END TO END AND STAKED DOWN ALONG THE BOTTOM OF ALL GRADED SLOPES.

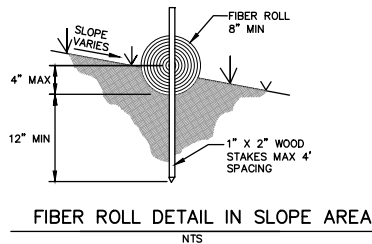
ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SILT FENCES, FIBER ROLLS AND SLOPE PROTECTION SHALL BE IN PLACE BY OCTOBER 15TH. THE ENGINEER OF RECORD SHALL INSPECT ONCE EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

EXPOSED SLOPE MEASURES

1. COVER ALL EXPOSED SLOPES
2. STRAW 2 TONS/ACRE ON SLOPES \leq 20% WITH SOIL BINDER
3. USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES $>$ 20%

EROSION CONTROL LEGEND

- INSTALL FIBER ROLL PER DETAILS THIS SHEET
- INSTALL CATCH BASIN PROTECTION PER DETAIL THIS SHEET
- INSTALL FODS MATS STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED SLOPE PROTECTION
- PROPOSED STOCKPILE AREA
- PROPOSED STAGING AREA



RI Engineering, Inc.
303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

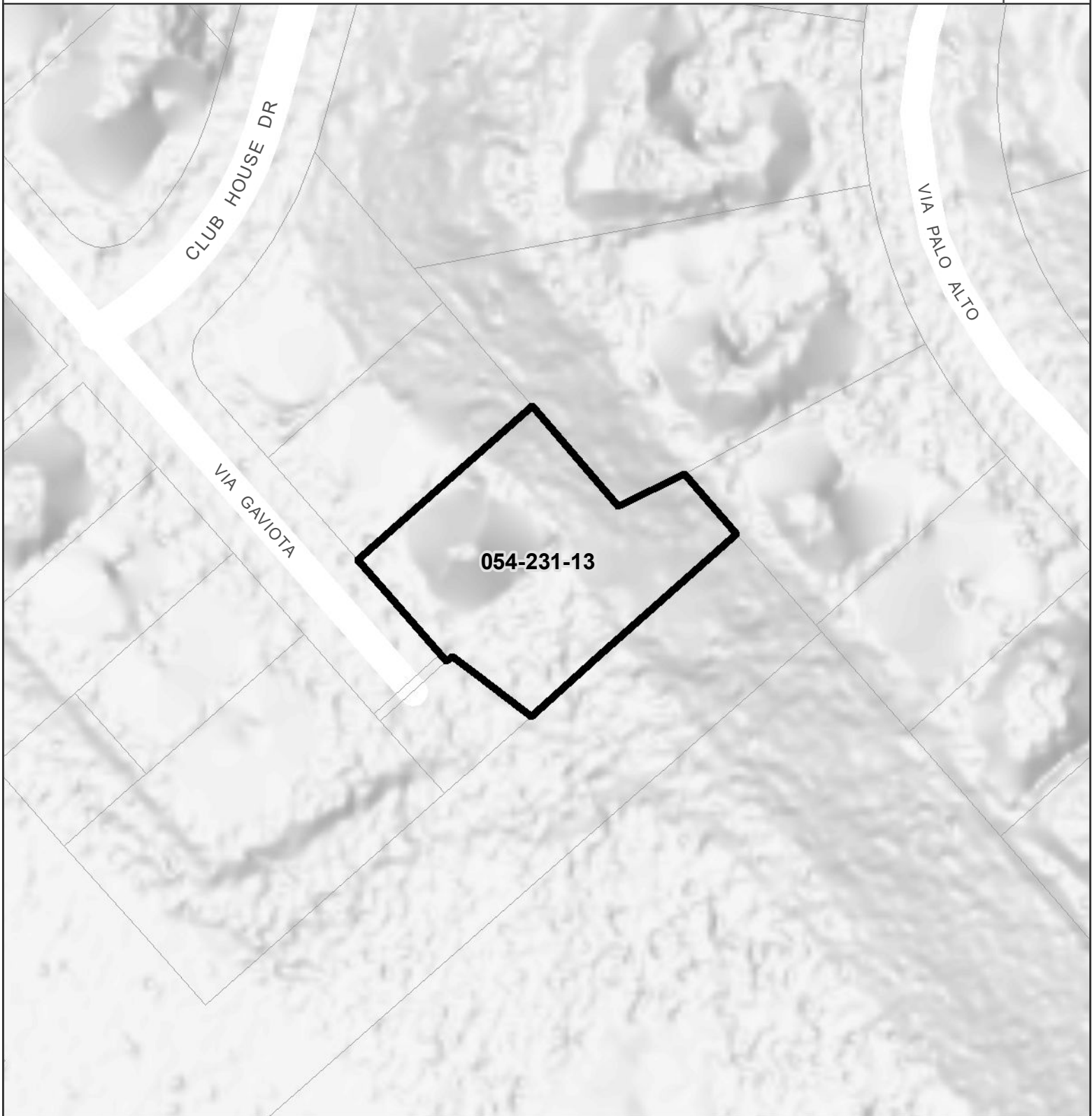
NEW RESIDENCE
FOR
MARK DE MATTEI
939 VIA GAVIOTA
SANTA CRUZ COUNTY, CA
APN # 054-192-03 & 054-231-11
**STORMWATER POLLUTION
CONTROL PLAN**

project no.
19-079-1
date
JULY 2020
scale
AS SHOWN
dwg name
CIVIL2.dwg



C-3



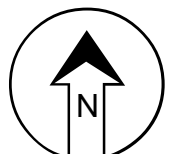
Parcel Location Map



Parcel: 05423113

-  Study Parcel
-  Assessor Parcel Boundary

Map printed: 18 Mar. 2021



0 20 40
Feet

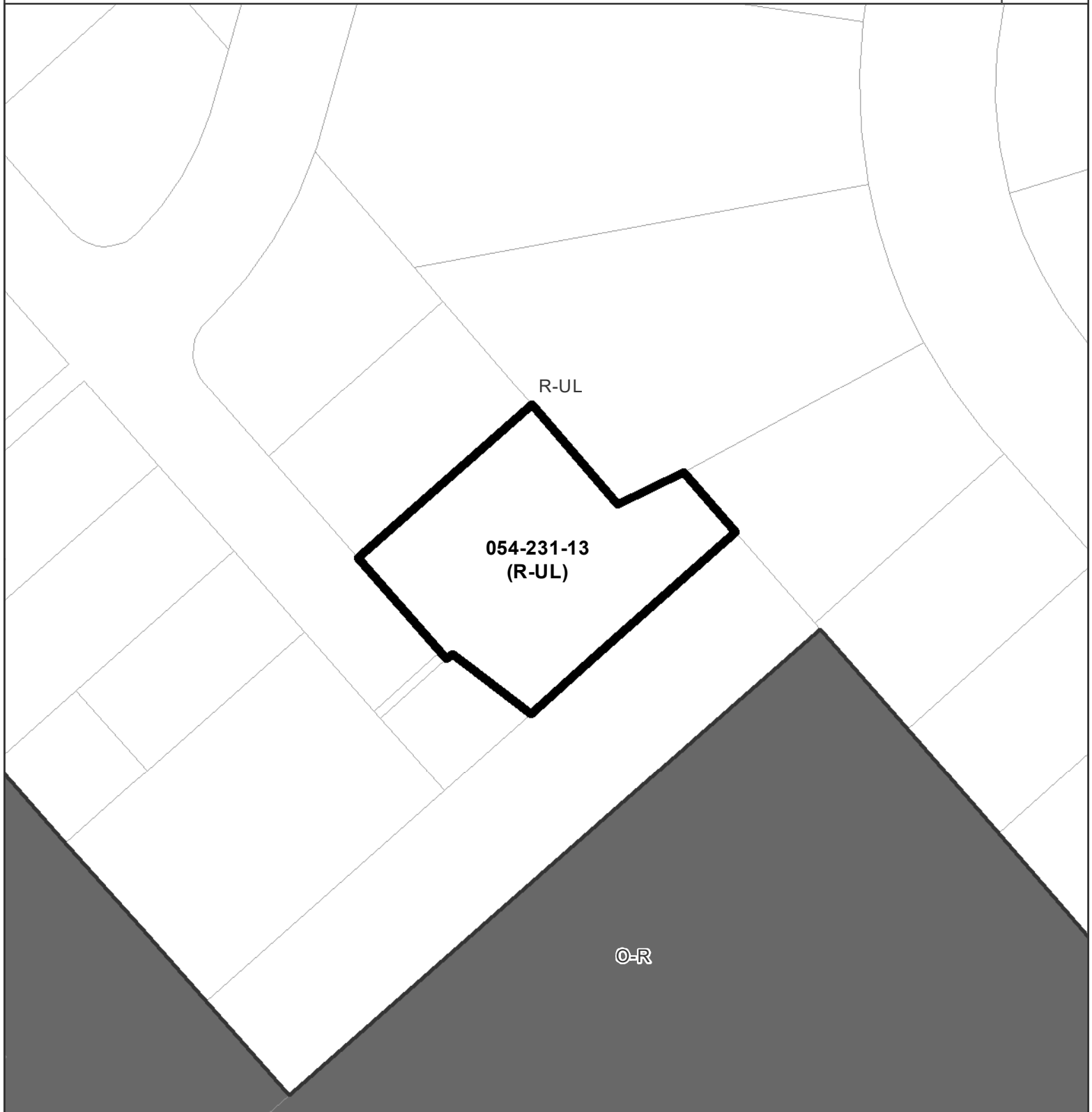
EXHIBIT E





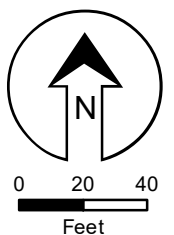
Parcel General Plan Map



Mapped
Area

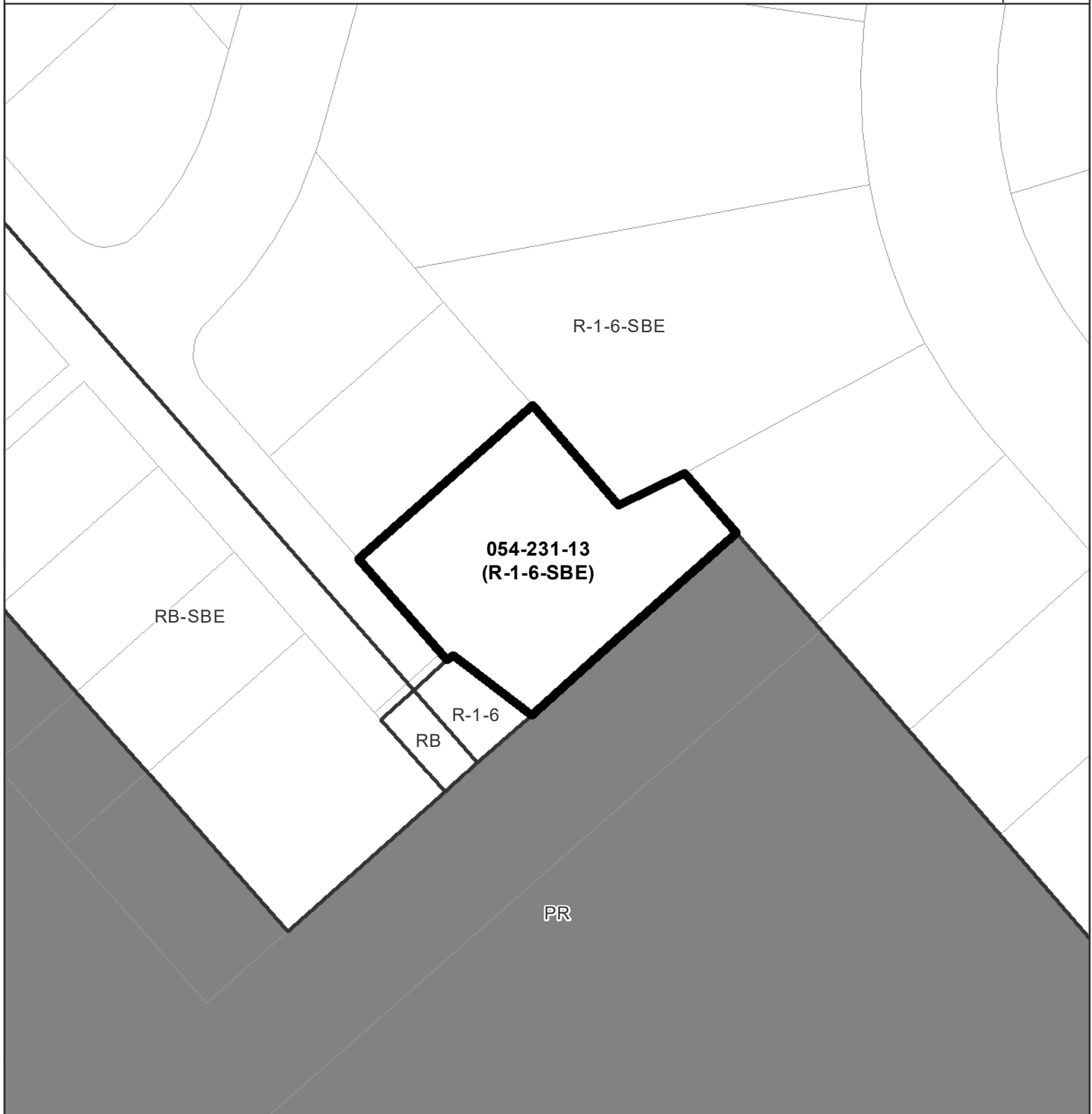


-  O-R *Parks, Recreation & Open Space*
-  R-UL *Res. Urban Low Density*

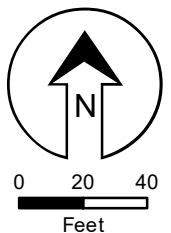




Parcel Zoning Map



- PR *Parks, Recreation, & Open Space*
- R-1 *Single-Family Residential*
- RB *Single-Family Ocean/Beach Residential*



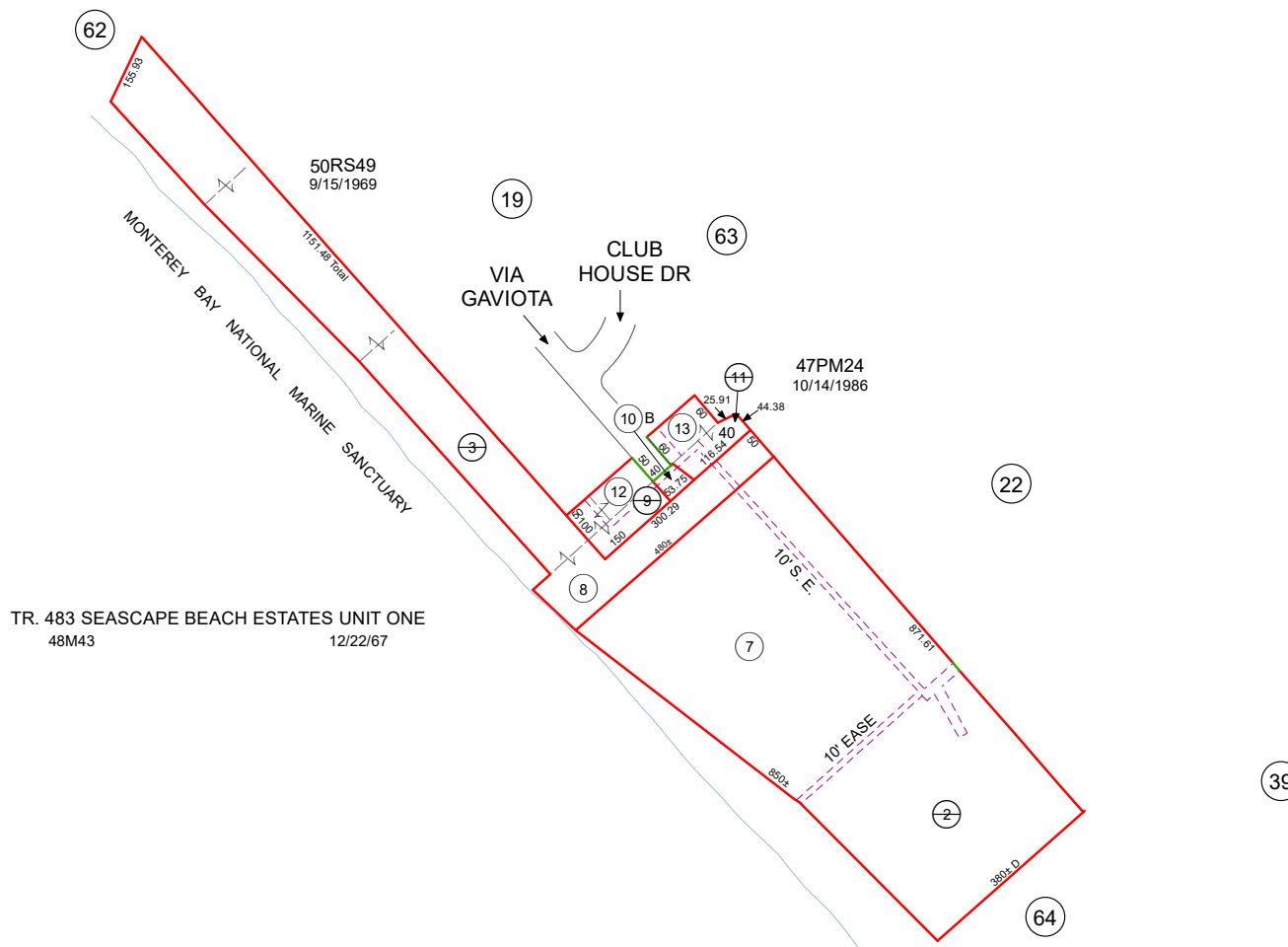
FOR TAX PURPOSES ONLY

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POR. APTOS RANCHO
SEC. 20, T.11S., R.1E., M.D.B. & M.

Tax Area Code
69-267

54-23



Electronically redrawn 10/17/00 KSA
(Rev. 7/20/18) (added parcel numbers)
Rev. 7/20/18 (added lot numbers)
Rev. 6/4/2019 AN (por. from page 19)
Rev. 6/4/2019 AN (Combo form, 1-13)

Note - Assessor's Parcel & Block
Numbers are Shown in Circles.

Assessor's Map No. 54-23
County of Santa Cruz, Calif.

Parcel Information

Services Information

Urban/Rural Services Line:	<u> X </u> Inside <u> </u> Outside
Water Supply:	Soquel Creek Water District
Sewage Disposal:	Santa Cruz County Sanitation District
Fire District:	Aptos/La Selva Fire Protection District
Drainage District:	Zone 6 Flood Control District

Parcel Information

Parcel Size:	12,170 square feet
Existing Land Use - Parcel:	Single family dwelling
Existing Land Use - Surrounding:	Single family residential, coastal bluff and beach
Project Access:	Via Gaviota
Planning Area:	Aptos
Land Use Designation:	R-UL (Urban Low Density Residential)
Zone District:	R-1-6-SBE (Single family residential - 6,000 square feet; Seascape Beach Estates combining district)
Coastal Zone:	<u> X </u> Inside <u> </u> Outside
Appealable to Calif. Coastal Comm.	<u> X </u> Yes <u> </u> No

Technical Reviews: Geologic and Soils Report Reviews

Environmental Information

Geologic Hazards:	Coastal bluff, wave run-up zone
Fire Hazard:	Not a mapped constraint
Slopes:	15-25+%
Env. Sen. Habitat:	Not mapped/no physical evidence on site
Grading:	Site grading: 205 cubic yards (cut); 43 cubic yards (fill) Foundation: 183 cubic yards (cut); 3 cubic yards (fill)
Tree Removal:	No trees proposed to be removed
Scenic:	Scenic beach viewshed
Archeology:	Not mapped/no physical evidence on site



COUNTY OF SANTA CRUZ

PLANNING DEPARTMENT

701 OCEAN STREET, 4TH FLOOR, SANTA CRUZ, CA 95060
(831) 454-2580 FAX: (831) 454-2131 TDD: (831) 454-2123
KATHLEEN MOLLOY, PLANNING DIRECTOR

11 November 2020

FUSE Architects
411 Capitola Ave.
Capitola, CA 95010

Subject: Review of the Geotechnical Investigation, 939 Via Gaviota, Aptos, California for Mr. and Mrs. De Mattei dated 21 October 2019 and revised 27 April 2020 by Pacific Crest Engineering, Inc. - Project No. 1926-SZ75-E13

Review of: Coastal Geologic Investigation, Lands of De Mattei, 939 Via Gaviota Drive, Aptos, California, County of Santa Cruz APN 054-192-03 dated 14 October 2019, by Zinn Geology Job #2019007-G-SC

Project Site: 939 Via Gaviota
APN 054-231-13
Application No. REV191151

Dear Applicant:

The purpose of this letter is to inform you that the Planning Department has accepted the subject reports and the following items shall be required:

1. All project design and construction shall comply with the recommendations of the reports.
2. Final plans shall reference the subject reports by titles, authors, and dates. Final Plans should also include a statement that the project shall conform to the reports' recommendations.
3. After plans are prepared that are acceptable to all reviewing agencies, please submit a completed Soils (Geotechnical) Engineer Plan Review Form and a completed Geologist Plan Review Form to Environmental Planning. The authors of the soils and geology reports shall sign and stamp their respective completed forms. Please note that the plan review forms must reference the final plan set by last revision date.

Any updates to report recommendations necessary to address conflicts between the reports and plans must be provided via a separate addendum to the soils report and/or geology report.

Electronic copies of all forms required to be completed by the Geotechnical Engineer may be found on our website: www.sccoplanning.com, under "Environmental", "Geology & Soils", and "Assistance & Forms".

After building permit issuance the soils engineer and engineering geologist *must remain involved with the project* during construction. Please review the Notice to Permits Holders (attached).

EXHIBIT G

Our acceptance of the reports is limited to their technical content. Other project issues such as zoning, fire safety, septic or sewer approval, etc. may require resolution by other agencies.

Please note that this determination may be appealed within 14 calendar days of the date of service. Additional information regarding the appeals process may be found online at: http://www.sccoplanning.com/html/devrev/plnappeal_bldg.htm

Please contact Rick Parks at Rick.Parks@santacruzcounty.us or Jeff Nolan at (831) 454-3175/Jeffrey.Nolan@santacruzcounty.us if we can be of any further assistance.

Respectfully,



Rick Parks, GE 2603
Civil Engineer – Environmental Planning
County of Santa Cruz Planning Department



Jeffrey Nolan, CEG 2247
County Geologist– Environmental Planning
County of Santa Cruz Planning Department

Cc: Elizabeth Mitchell, Pacific Crest Engineering
Erik Zinn, Zinn Geology
Environmental Planning, Attn: Jessica deGrassi
Owner: Mark De Mattei Family

Attachments: Notice to Permit Holders

**NOTICE TO PERMIT HOLDERS WHEN SOILS AND GEOLOGY REPORTS HAVE BEEN
PREPARED, REVIEWED AND ACCEPTED FOR THE PROJECT**

After issuance of the building permit, the County requires your soils engineer and engineering geologist to be involved during construction.

1. **At the completion of construction,** a *Soils (Geotechnical) Engineer Final Inspection Form* and a *Geologist Final Inspection Form* are required to be submitted to Environmental Planning that includes copies of all observations made during construction and is stamped and signed, certifying that the project was constructed in conformance with the recommendations of the soils and geology reports.

If the *Final Inspection Form* identifies any portions of the project that were not observed by the soils engineer and/or geologist, you may be required to perform destructive testing in order for your permit to obtain a final inspection. The soils engineer and/or geologist then must complete and initial an *Exceptions Addendum Form* that certifies that the features not observed will not pose a life safety risk to occupants.