



Staff Report to the Zoning Administrator

Application Number: **211066**

Applicant: Derek Van Alstine

Agenda Date: January 21, 2022

Owner: Holbrook Properties / Jessica Walker

Agenda Item #: 2

APN: 028-233-12

Time: After 9:00 a.m.

Site Address: No Situs - 24th Ave.

Project Description: Proposal to construct a single-family dwelling of approx. 2,075 square feet, attached ADU of approximately 798 square feet, and attached garage of approximately 248 square feet on a vacant lot. Project requires approval of a Coastal Development Permit and an Exception to the Pleasure Point standards to reduce the required minimum second story setback from 10 feet to five feet.

Location: Southeast side of 24th Avenue (no situs), 325 feet southwest of the intersection with East Cliff Drive in Santa Cruz.

Permits Required: Coastal Development Permit and Exception to Pleasure Point standards to reduce the required minimum 2nd story setback from 10 feet to five feet.

Supervisory District: 1st District (District Supervisor: Koenig)

Staff Recommendation:

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- Approval of Application 211066, based on the attached findings and conditions.

Project Description & Setting

The proposed project is to construct a two-story dwelling unit with attached accessory dwelling unit and garage. The structure will be situated on a relatively small (4,000 square foot.) and narrow (40 foot) lot among parcels developed with one- and two-story structures. The proposed project would include a 24-foot section on the upper floor (south/right side), primarily to accommodate a stairwell, that would have only a five-foot setback from the south property line, which would require an exception to the 10-foot second-story setback required by the Pleasure Point standards. The property is bordered on the south side by three dwellings, all of which are two stories and set back at least 25 feet from the shared property line.

The proposed lot coverage, 44.4%, would exceed the 42% allowed on parcels with ADUs; however, the additional 74 square feet is allowed pursuant to Santa Cruz County Code (SCCC)

Section 13.10.681(D)(6)(c)(iv), which provides that an ADU may exceed maximum lot coverage by up to 800 square feet.

Zoning & General Plan Consistency

The subject property is located in the R-1-4-PP zone district (Single family residential - 4,000 square feet, Pleasure Point Combining District), a designation which allows residential uses. The proposed single family dwelling and ADU are principal permitted uses within the zone district and the zoning is consistent with the site's R-UM (Urban Medium Density Residential) General Plan designation. The Pleasure Point Combining District provides for exceptions as discussed below.

Pleasure Point Exception

The Pleasure Point Combining District (13.10.447(A)(1)) provides that an exception to the required second story setback can be approved when special site circumstances apply, including an absence of parcels that could be shaded by the proposed development. The section states:

(A) Exceptions to the Pleasure Point residential development standards may be granted if the project is found to be consistent with the Pleasure Point Community Design “PP” Combining District purposes, found in SCCC [13.10.444](#), the findings found in SCCC [18.10.230](#)(A), and at least one of the following additional findings:

(1) There are special existing site or improvement characteristics or circumstances, including but not limited to the absence of adjacent residential parcels that could potentially be shaded by the proposed development, that appropriately excuses the proposed development from meeting one or more of the development standards....

The applicant submitted a shadow study that demonstrates the shadow impact of the stairwell on the adjoining three parcels would be close to zero due to the fact that on the south side of the property shading from the proposed structure would occur only on the longest days of summer during the earliest morning hours.

The proposed exception thus complies with the purposes of the Pleasure Point Combining district, which are to:

- (A) Reduce the visual and shading impacts of new and expanded houses on neighboring parcels and houses;
- (B) Encourage community interaction and orientation towards the street by providing an incentive for the creation of more front porches in Pleasure Point; and
- (C) Reduce the visual impact of automobile-oriented features on residential building facades and in front yards.

The design of the proposed dwelling includes decks at the front on the second story and a small, one-car, recessed garage, further complying with the stated purposes of the district.

Design Review

For projects that are not listed in SCCC 13.11.040 as requiring Chapter 13.11 SCCC design

review, the standards and conditions of SCCC 13.11.072(A)(1) and 13.11.073(B)(1) shall be met. The proposed single family dwelling complies with SCCC 13.11.072(A)(1), which provides design standards for site development in that the proposed project provides an aesthetic design with a landscaped front yard, low front fence, and a front-facing gabled roof set over a recessed second story at a modest height of 25 feet. The dwelling would be smaller than the structures on the adjacent parcel, and partly screened from dwellings to the south by a landscape tree and trellis-topped fencing. The recessed second story maintains part of the scenic view from the deck of the adjoining dwelling to the north.

The structure complies with SCCC section 13.11.073(B)(1), which provides design standards for building construction. Although size and architectural styles in the vicinity vary, several neighboring buildings reflect the proposed gabled roof and narrow plank siding proposed, along with the second story deck. The building scale is consistent with the height and massing of the neighborhood structures, and the 25' ridge silhouette is comparable to neighboring structures.

Local Coastal Program Consistency

The proposed single family dwelling is in conformance with the County's certified Local Coastal Program in that the structure is sited and designed to be visually compatible, in scale with, and integrated with the character of the surrounding neighborhood, incorporating wood (or concrete) plank siding, gable roof, front deck, recessed garage and a comprehensive landscape plan to meet Coastal design criteria. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the gabled roofline and plank siding found on neighboring structures.

The project site is not located between the shoreline and the first public road and is not identified as a priority acquisition site in the County's Local Coastal Program. Consequently, the proposed project will not interfere with public access to the beach, ocean, or other nearby body of water.

Public Outreach/Public Comment

No comments were received other than from the applicant. The neighbor to the northeast requested – and was provided – a viewing of the plans but did not comment.

Conclusion

As proposed and conditioned, the project is consistent with all applicable codes and policies of the Zoning Ordinance and General Plan/LCP. Please see Exhibit "B" ("Findings") for a complete listing of findings and evidence related to the above discussion.

Staff Recommendation

- Determine that the proposal is exempt from further Environmental Review under the California Environmental Quality Act.
- **APPROVAL** of Application Number **211066**, based on the attached findings and conditions.

Supplementary reports and information referred to in this report are on file and available for viewing at the Santa Cruz County Planning Department, and are hereby made a part of the administrative record for the proposed project.

The County Code and General Plan, as well as hearing agendas and additional information are available online at: www.sccoplanning.com

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Exhibits

- A. Categorical Exemption (CEQA determination)
- B. Findings
- C. Conditions
- D. Project plans
- E. Assessor's, Location, Zoning and General Plan Maps
- F. Parcel information
- G. Will-serve letters (only when required for new units/commercial buildings)

CALIFORNIA ENVIRONMENTAL QUALITY ACT NOTICE OF EXEMPTION

The Santa Cruz County Planning Department has reviewed the project described below and has determined that it is exempt from the provisions of CEQA as specified in Sections 15061 - 15332 of CEQA for the reason(s) which have been specified in this document.

Application Number: 211066
Assessor Parcel Number: 028-233-12
Project Location: No Situs - 24th Ave.

Project Description: single family dwelling / ADU with attached garage

Person or Agency Proposing Project: Derek Van Alstine

Contact Phone Number: (831)426-8400

- A. The proposed activity is not a project under CEQA Guidelines Section 15378.
- B. The proposed activity is not subject to CEQA as specified under CEQA Guidelines Section 15060 (c).
- C. **Ministerial Project** involving only the use of fixed standards or objective measurements without personal judgment.
- D. **Statutory Exemption** other than a Ministerial Project (CEQA Guidelines Section 15260 to 15285).
- E. **X** **Categorical Exemption**

Specify type: Class 2 - Replacement or Reconstruction (Section 15302); Class 3 - New Construction or Conversion of Small Structures (Section 15303)

F. Reasons why the project is exempt:

Construction of a single family dwelling in an area designated for residential uses.

In addition, none of the conditions described in Section 15300.2 apply to this project.

Jerry Busch Date: 12/23/2021
Jerry Busch, Project Planner

EXHIBIT A

Coastal Development Permit Findings

1. That the project is a use allowed in one of the basic zone districts that are listed in LCP Section 13.10.170(D) as consistent with the LCP Land Use Plan designation of the site.

This finding can be made, in that the property is zoned R-1-4-PP (Single family residential - 4,000 square feet, Pleasure Point Combining District), a designation which allows residential uses. The proposed single family dwelling is a principal permitted use within the zone district, and the zoning is consistent with the site's R-UM (Urban Medium Density Residential) General Plan designation.

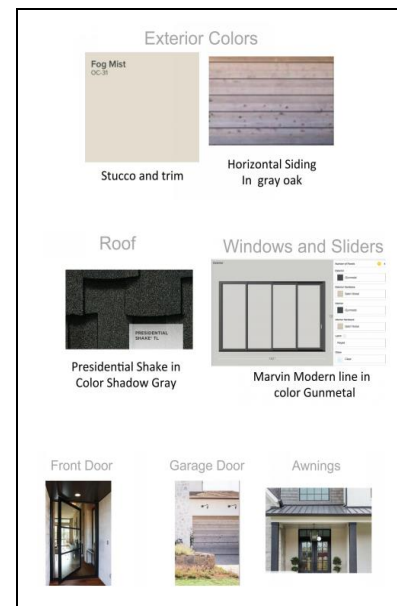
2. That the project does not conflict with any existing easement or development restrictions such as public access, utility, or open space easements.

This finding can be made, in that no such easements or restrictions are known to encumber the project site.

3. That the project is consistent with the design criteria and special use standards and conditions of this chapter pursuant to SCCC 13.20.130 and 13.20.140 et seq.

This finding can be made, in that the proposed building includes visual articulation, a recessed second story and wrap-around deck, numerous large windows, multiple roof planes and a recessed garage to provide architectural articulation and attractive street façade. The site landscaping and fencing is being upgraded to provide improved aesthetic quality, and to comply with fence height regulations. The site is surrounded by lots developed to an urban density; the project will not interfere with the light and air accessible to those parcels. The exterior materials would be a mixture of horizontal siding, stucco and trim, while the beige, grey oak and charcoal colors will be natural in appearance and complementary to the site. The development site is not directly on a ridge or bluff top and not visible from the beach.

4. That the project conforms with the public access, recreation, and visitor-serving policies, standards and maps of the LCP Land Use Plan, including Chapter 2: Section 2.5 and Chapter 7.



This finding can be made, in that the project site is not identified as a priority acquisition site in the County Local Coastal Program and public beach access is available at the end of the street.

5. That the project conforms to all other applicable standards of the certified LCP.

This finding can be made, in that the structure is sited and designed to be visually compatible and integrated with the character of the surrounding neighborhood. Additionally, residential uses are allowed uses in the R-1-4-PP (Single family residential - 4,000 square feet, Pleasure Point

Combining District) zone district, as well as the General Plan and Local Coastal Program land use designation. Developed parcels in the area contain single family dwellings. Size and architectural styles vary in the area, and the design submitted is consistent with the pattern of development within the surrounding neighborhood.

6. If the project is located between the nearest through public road and the sea or the shoreline of any body of water located within the Coastal Zone, that the project conforms to the public access and public recreation policies of Chapter 3 of the Coastal Act.

This finding can be made, in that the project site is not located between the shoreline and the first public road. Consequently, the single family dwelling will not interfere with public access to the beach, ocean, or any nearby body of water. Further, the project site is not identified as a priority acquisition site in the County Local Coastal Program.

Development Permit Findings

1. That the proposed location of the project and the conditions under which it would be operated or maintained will not be detrimental to the health, safety, or welfare of persons residing or working in the neighborhood or the general public, and will not result in inefficient or wasteful use of energy, and will not be materially injurious to properties or improvements in the vicinity.

This finding can be made, in that the project is located in an area designated for residential uses. Construction will comply with prevailing building technology, the California Building Code, and the County Building ordinance to ensure the optimum in safety and the conservation of energy and resources.

2. That the proposed location of the project and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the zone district in which the site is located.

This finding can be made, in that the proposed location of the single family dwelling and the conditions under which it would be operated or maintained will be consistent with all pertinent County ordinances and the purpose of the R-1-4-PP (Single family residential - 4,000 square feet, Pleasure Point Combining District) zone district as the primary use of the property will be one single family dwelling that meets all current site standards for the zone district and includes a proposed exception to Pleasure Point Standards for a stairwell and entry on one side.

The proposed lot coverage is approximately 45%. A lot coverage credit is allowed for the ADU up to 800 square feet, based on the size of the ADU. Thus, on the subject parcel of 4,000 square feet, the maximum total lot coverage including the ADU is 42% + 800 sq.ft., or up to 62%. Similarly, a floor area credit is allowed for the ADU up to 800 square feet; therefore, the maximum total FAR is 52% plus 800 square feet., or up to 72%.

The proposed project requires an exception to the second story setback imposed by the Pleasure Point Standards, to reduce the required 10-foot second story setback to 5 feet for a 24-foot section on the upper floor (south/right side), primarily to accommodate a stairwell.

Exceptions to the Pleasure Point Standards (**13.10.447 Exceptions**) require a finding, as follows:

- (A) Exceptions to the Pleasure Point residential development standards may be granted if the project is found to be consistent with the Pleasure Point Community Design “PP” Combining District purposes, found in SCCC [13.10.444](#), the findings found in SCCC [18.10.230](#)(A), and at least one of the following additional findings:
 - (1) There are special existing site or improvement characteristics or circumstances, including but not limited to the absence of adjacent residential parcels that could potentially be shaded by the proposed development, that appropriately excuses the proposed development from meeting one or more of the development standards;
or

- (2) The Pleasure Point Community Design “PP” Combining District purposes, found in SCCC [13.10.444](#), are better achieved by an alternative design; or
- (3) The granting of an exception will result in a superior residential design that is consistent with the Pleasure Point Community Design “PP” Combining District purposes, found in SCCC [13.10.344](#).

Finding #1 can be made in that a shadow plan (see Project Plans, page A1.2) was submitted demonstrating that the adjoining parcels on the south side of the proposed exception would not be shaded by the reduced second-story setback (reduced to a five-foot minimum setback from the required 10’ minimum setback).

Finding #3 can be made in that the stairwell and entry projection / pop-out allows significantly more usable floor area within the dwelling, while not shading neighboring parcels. The subject parcel is very narrow – only 40 feet wide – and restricts width of the building and the available lateral space within the interior of the building.

3. That the proposed use is consistent with all elements of the County General Plan and with any specific plan which has been adopted for the area.

This finding can be made, in that the proposed residential use is consistent with the use and density requirements specified for the R-UM (Urban Medium Density Residential) land use designation in the County General Plan.

The proposed single family dwelling will not adversely impact the light, solar opportunities, air, and/or open space available to other structures or properties, and meets all current site and development standards for the zone district as specified in Policy 8.1.3 (Residential Site and Development Standards Ordinance), in that the single family dwelling will not adversely shade adjacent properties, and will meet current setbacks for the zone district.

The proposed single family dwelling will be properly proportioned to the parcel size and the character of the neighborhood as specified in General Plan Policy 8.6.1 (Maintaining a Relationship Between Structure and Parcel Sizes), in that the proposed single family dwelling will comply with the site standards for the R-1-4-PP zone district (including setbacks, lot coverage, floor area ratio, height, and number of stories) and will result in a structure consistent with a design that could be approved on any similarly sized lot in the vicinity.

A specific plan has not been adopted for this portion of the County.

4. That the proposed use will not overload utilities, and will not generate more than the acceptable level of traffic on the streets in the vicinity.

This finding can be made in that the proposed single family dwelling will be constructed on an existing undeveloped lot. The expected level of traffic generated by the proposed project is anticipated to be only peak trip per day (one peak trip per dwelling unit), such an increase will not adversely impact existing roads or intersections in the surrounding area.

5. That the proposed project will complement and harmonize with the existing and proposed

land uses in the vicinity and will be compatible with the physical design aspects, land use intensities, and dwelling unit densities of the neighborhood.

This finding can be made, in that the proposed structure is a single-family dwelling in an R-1-4-PP zoning district adjacent to other single-family buildings in the same district. The two-story dwelling is proportionate in floor area, height and scale to other two-story dwellings in the neighborhood. The proposed building includes visual articulation, a recessed second story and wrap-around deck, numerous large windows, multiple roof planes and a recessed garage to provide architectural articulation and attractive street façade. The site landscaping and fencing is being upgraded to provide improved aesthetic quality, and to comply with fence height regulations. The site is surrounded by lots developed to an urban density and the project will not interfere with the light and air accessible to those parcels. The exterior materials would be a mixture of horizontal siding, stucco and trim, while the beige, grey oak and charcoal colors are understated and compatible with the neighborhood. A privacy screen was provided at the rear of the proposed new dwelling so as not to look over the rear yard and rooms of the adjoining parcel to the north. An existing tree on the adjoining parcel to the south provides an additional visual screen to the dwelling and its south projection.

6. The proposed development project is consistent with the Design Standards and Guidelines of SCCC [13.11.072\(A\)\(1\)](#) and [13.11.073\(B\)\(1\)](#).

The proposed development is consistent with the criteria as outlined in SCCC section 13.11.072(A)(1) in that the proposed single family dwelling will be of an appropriate scale and type of design that will enhance the aesthetic qualities of the surrounding properties and will not reduce or visually impact the coastal neighborhood. The simple gable roof and second story deck, horizontal siding and large windows are reflective of many older homes in the neighborhood, and the beige, gray and charcoal color palette is similarly consistent.

The proposed development is consistent with the criteria as outlined in SCCC 13.11.072(A)(1) in that the site plan complies with setbacks (pursuant to the Pleasure Point. exception). Further, the project site is not on a ridge top, coastal bluff or other visually intrusive location. The proposed site plan includes a planting and fencing plan that will eliminate unsightly, decaying planted areas and existing decaying, nonconforming fencing and includes a full landscape plan with plants, boulders and compliant fencing. Further, the access paths are articulated with pavers, and the concrete-sand finish parking surfaces are enhanced by dividing strips of Irish moss to add additional aesthetic qualities.

Conditions of Approval

Exhibit D: Project plans, prepared by Derek van Alstine, dated Aug. 24, 2021.

- I. This permit authorizes the construction of a(n) single family dwelling as indicated on the approved Exhibit "D" for this permit. This approval does not confer legal status on any existing structure(s) or existing use(s) on the subject property that are not specifically authorized by this permit. Prior to exercising any rights granted by this permit including, without limitation, any construction or site disturbance, the applicant/owner shall:
 - A. Sign, date, and return to the Planning Department one copy of the approval to indicate acceptance and agreement with the conditions thereof.
 - B. Obtain a Building Permit from the Santa Cruz County Building Official.
 1. Any outstanding balance due to the Planning Department must be paid prior to making a Building Permit application. Applications for Building Permits will not be accepted or processed while there is an outstanding balance due.
 - C. Obtain an Encroachment Permit from the Department of Public Works for all off-site work performed in the County road right-of-way.
- II. Prior to issuance of a Building Permit the applicant/owner shall:
 - A. Submit final architectural plans for review and approval by the Planning Department. The final plans shall be in substantial compliance with the plans marked Exhibit "D" on file with the Planning Department. Any changes from the approved Exhibit "D" for this development permit on the plans submitted for the Building Permit must be clearly called out and labeled by standard architectural methods to indicate such changes. Any changes that are not properly called out and labeled will not be authorized by any Building Permit that is issued for the proposed development. The final plans shall include the following additional information:
 1. A copy of the text of these conditions of approval incorporated into the full-size sheets of the architectural plan set.
 2. The minimum setback to the south-facing projection approved by this permit as a Pleasure Point Exception shall be 5 feet; the minimum setback to the eave shall be 5 feet, and to the gutter shall be approximately 4.5 feet.
 3. One elevation shall indicate materials and colors as they were approved by this Discretionary Application. If specific materials and colors have not been approved with this Discretionary Application, in addition to showing the materials and colors on the elevation, the applicant shall supply a color and material sheet in 8 1/2" x 11" format for Planning Department review

and approval.

4. Provide elevation views of fence design in front (as applicable) and along sides. Maximum height of fence on south side of property facing front yard and alley along south property line (including any trellis) shall be six feet.
5. Horizontal siding shall be wood or cement plank, 6-inch maximum width. Approved plans indicate horizontal siding throughout second story including privacy screen at rear deck, and on the first story at base of south facing projection with reduced upper floor setback.
6. Include a privacy screen at the north side of the 2nd floor deck at rear of structure, which would otherwise look down upon rear yard of 130 24th Ave.
7. Specify that second floor windows in south facing gable (the gable requiring Pleasure Point standards exception) shall be frosted or feature raised sill heights to maintain privacy of adjoining parcel to the south.
8. Provide fence design on the south side of property, six feet maximum height including a one-foot wood trellis at the top.
9. No gate is allowed between the two tandem spaces adjacent to the north property line.
10. As provided by the approved landscape plan:
 - a. Center strips of parking areas and driveway shall be planted with Irish moss or similar low-growing, permanent vegetation.
 - b. Impermeable areas within driveway and front shall be concrete-sand finish.
 - c. Walking aisles shall be comprised of separated pavers.
 - d. Vegetative screening shall be planted along pavers, including trees as shown in plan.
11. Drainage and erosion control plans.
12. Details showing compliance with fire department requirements. If the proposed structure(s) are located within the State Responsibility Area (SRA) the requirements of the Wildland-Urban Interface code (WUI), California Building Code Chapter 7A, shall apply.
 - a) NOTE on the plans that these plans are in compliance with California Building and Fire Codes (2019) and District Amendment.
 - b) NOTE on the plans the OCCUPANCY CLASSIFICATION, BUILDING CONSTRUCTION TYPE-FIRE RATING and SPRINKLERED as determined by the building official and outlined in

- the 2019 California Building Code (e.g., R-3, Type V-B, Sprinklered).
- c) The FIRE FLOW requirement for the subject property is 1000 gallons per minute for 120 minutes. NOTE on the plans the REQUIRED and AVAILABLE FIRE FLOW. The AVAILABLE FIRE FLOW information can be obtained from the water company.
 - d) SHOW on the plans, a public fire hydrant, type and location, meeting the minimum required fire flow for the building, within 600 feet of any portion of the building when the building is equipped with an automatic fire sprinkler system. Note the actual fire flow of that hydrant. This information is available from the local water department.
 - e) NOTE on the plans that the building shall be protected by an approved automatic sprinkler system complying with the edition of NFPA 13D currently adopted in Chapter 35 of the California Building Code.
 - f) NOTE on the plans that the designer/installer shall submit two (2) sets of plans, calculations, and cut sheets for the underground and overhead Residential Automatic Sprinkler System to this agency for approval. Installation shall follow our guide sheet.
 - g) SHOW on the plans where smoke detectors are to be installed according to the following locations and approved by this agency as a minimum requirement:
 - h) SHOW additional smoke detectors in the following locations:
 - One detector adjacent to each sleeping area (hall, foyer, balcony, or etc.).
 - One detector in each sleeping room.
 - One at the top of each stairway of 24" rise or greater and in an accessible location by a ladder.
 - There must be at least one smoke detector on each floor level regardless of area usage.
 - There must be a minimum of one smoke detector in every basement area.
 - i) SHOW the location of the CO detector outside each sleeping room and on each level at a minimum of the residence.
 - j) NOTE on the plans where address numbers will be posted and maintained. Note on plans that address numbers shall be a minimum of FOUR (4) inches in height and of a color contrasting to their background.
 - k) NOTE on the plans the installation of an approved spark arrestor on the top of the chimney if there is a chimney. Wire mesh not to exceed ½ inch.
 - l) NOTE on the plans that the roof coverings to be no less than Class "B" rated roof.
 - m) NOTE on the plans that a 30-foot clearance will be maintained with non-combustible vegetation around all structures.
 - n) State on plans that "the submitter, designer and installer certify that these plans and details comply with applicable Specifications, Standards, Codes and Ordinances, agree that they are solely responsible for compliance with applicable Specifications, Standards, Codes and Ordinances, and further agree to correct any deficiencies noted by this review, subsequent

review, inspection or other source. Further, the submitter, designer, and installer agrees to hold harmless from any and all alleged claims to have arisen from any compliance deficiencies, without prejudice, the reviewer and this agency.

- B. Per the plans submitted with Planning Application #211066, all proposed improvements are planned to be within the private property boundaries. However, once the existing gravel garden is removed from the 24th Avenue right-of-way to accommodate the new driveway, the entire ROW in front of APN 028-23-312 should be paved to County standards to allow for public parking. Please consult with Kristine Conley (Kristine.conley@santacruzcounty.us) with the County Department of Public Works for paving standards.” Meet all requirements of the County Department of Public Works, Stormwater Management. Drainage fees will be assessed on the net increase in impervious area.
- C. Meet all requirements of the County of Santa Cruz Public Works Department, Stormwater Management:
 - 1. The application submittal shall adhere to Part 3 Section C of the CDC and County Code 7.79.
 - 2. Please show how stormwater run-on from adjacent properties will be accommodated on the subject site without adverse impacts to the upstream / upslope properties. Please provide additional topographic information / spot elevations / site inspection notes on adjacent properties to clearly identify local drainage patterns. If runoff currently drains toward the site, a tributary area map shall be submitted. The project shall be designed to accommodate existing upstream runoff and safely convey stormwater overflow, in accordance with Hydrology Section H of the CDC.
 - 3. Please perform a site assessment and add a note to the plans that states the date the assessment was performed, whether there are any existing drainage issues on or near the site, and if any drainage issues or adverse impacts to drainage pathways, roadways, and/or neighboring properties are anticipated resulting from the proposed improvements.
 - 4. Zone 5 fees will be assessed on the net increase in permitted impervious area following the Unified Fee Schedule in place at building permit issuance. Reduced fees (50%) are assessed for semi-pervious surfacing without liners (such as gravel, base rock, paver blocks, porous pavement, etc.) to offset costs and encourage more extensive use of these materials
- D. Meet all requirements of the City of Santa Cruz Water Department, including Water Efficient Landscaping as applicable. Proof of water service availability should be submitted together with the Building Permit application.
- E. Meet all requirements of the Santa Cruz County Sanitation District. Proof of water service availability should be submitted together with the Building permit application.
- F. Meet all requirements of the Environmental Planning section of the Planning

Department.

1. The applicant shall provide a signed and stamped copy of the accepted soils report and update(s).
 2. Building permit application plans shall reference the soils report and update(s), include contact information for the geotechnical engineer, and include a statement that the project shall conform to the recommendations of the geotechnical engineer.
 3. Building permit application plans shall clearly represent all proposed grading, including any over excavation and recompaction as recommended by the geotechnical engineer.
 4. The applicant shall submit a stormwater pollution control plan that meets the requirements set forth in the County's Construction Site Stormwater Pollution Control BMP Manual, available here: <http://www.sccoplanning.com/Portals/2/County/Planning/env/ConstructionStormwaterBMPManual-Oct%20312011version.pdf>.
 5. The applicant shall submit a drainage plan that complies with the requirements set forth in 2019 California Building Code (CBC) Section 1804.4 and the recommendations of the soils engineer.
 6. The applicant shall submit a signed and stamped Soils (Geotechnical) Engineer Plan Review Form to Environmental Planning. The plan review form shall reference each reviewed sheet of the final plan set by its last revision date. Any updates to the soils report recommendations necessary to address conflicts between the report and plans must be provided via a separate addendum to the soils report. The author of the report shall sign and stamp the completed form. An electronic copy of this form may be found on our website: www.sccoplanning.com, under "Environmental
- G. Meet all requirements and pay any applicable plan check fee of the Central Fire Protection District.
- H. Submit 3 copies of the approved soils report prepared and stamped by a licensed Geotechnical Engineer.
- I. Submit 3 copies of plan review letters prepared and stamped by the project Geotechnical Engineer.
- J. Pay the current fees for Parks and Child Care mitigation based on square footage of the primary dwelling.
- K. Pay the additional fees for Parks and Child Care mitigation based on square footage of the ADU.
- L. Pay the current fees for Roadside and Transportation improvements.
- M. Pay the current Affordable Housing Impact Fee. The fees are based on unit size and the current fee for a dwelling of 2,000-3,000 square feet is \$3 per square foot.

- N. Pay additional Affordable Housing Impact Fee based on unit size. The current fee for an accessory dwelling unit is \$2 per square foot.
 - O. Provide required off-street parking for four (4) cars. Parking spaces must be 8.5 feet wide by 18 feet long and must be located entirely outside vehicular rights-of way. Parking must be clearly designated on the plot plan.
 - P. Submit a written statement signed by an authorized representative of the school district in which the project is located confirming payment in full of all applicable developer fees and other requirements lawfully imposed by the school district.
- III. All construction shall be performed according to the approved plans for the Building Permit. Prior to final building inspection, the applicant/owner must meet the following conditions:
- A. All site improvements shown on the final approved Building Permit plans shall be installed.
 - B. All inspections required by the building permit shall be completed to the satisfaction of the County Building Official.
 - C. The project must comply with all recommendations of the approved soils reports.
 - D. Pursuant to Sections 16.40.040 and 16.42.080 of the County Code, if at any time during site preparation, excavation, or other ground disturbance associated with this development, any artifact or other evidence of an historic archaeological resource or a Native American cultural site is discovered, the responsible persons shall immediately cease and desist from all further site excavation and notify the Sheriff-Coroner if the discovery contains human remains, or the Planning Director if the discovery contains no human remains. The procedures established in Sections 16.40.040 and 16.42.080, shall be observed.
- IV. Operational Conditions
- A. Second floor rear deck privacy screen, and second story frosted, south facing windows shall be maintained in perpetuity.
 - B. No gate or fence is allowed between the two tandem spaces adjacent to the north property line.
 - 1. As provided by the approved landscape plan:
 - a. Center strips of parking areas and driveway shall be planted with Irish moss or similar low-growing, permanent vegetation.
 - b. Impermeable areas within driveway and front shall be concrete-sand finish.
 - c. Walking aisles shall be comprised of separated pavers.
 - d. Vegetative screening shall be planted along fence, including trees as shown in plan.

- B. In the event that future County inspections of the subject property disclose noncompliance with any Conditions of this approval or any violation of the County Code, the owner shall pay to the County the full cost of such County inspections, including any follow-up inspections and/or necessary enforcement actions, up to and including permit revocation.

II. Indemnification

The applicant/owner shall indemnify, defend with counsel approved by the COUNTY, and hold harmless the COUNTY, its officers, employees, and agents from and against any claim (including reasonable attorney's fees, expert fees, and all other costs and fees of litigation), against the COUNTY, its officers, employees, and agents arising out of or in connection to this development approval or any subsequent amendment of this development approval which is requested by the applicant/owner, regardless of the COUNTY's passive negligence, but excepting such loss or damage which is caused by the sole active negligence or willful misconduct of the COUNTY. Should the COUNTY in its sole discretion find the applicant's/owner's legal counsel unacceptable, then the applicant/owner shall reimburse the COUNTY its costs of defense, including without limitation reasonable attorney's fees, expert fees, and all other costs and fees of litigation. The applicant/owner shall promptly pay any final judgment rendered against the COUNTY (and its officers, employees, and agents) covered by this indemnity obligation. It is expressly understood and agreed that the foregoing provisions are intended to be as broad and inclusive as is permitted by the law of the State of California and will survive termination of this development approval.

- A. The COUNTY shall promptly notify the applicant/owner of any claim, action, or proceeding against which the COUNTY seeks to be defended, indemnified, or held harmless. The COUNTY shall cooperate fully in such defense.
- B. Nothing contained herein shall prohibit the COUNTY from participating in the defense of any claim, action, or proceeding if both of the following occur:
1. COUNTY bears its own attorney's fees and costs; and
 2. COUNTY defends the action in good faith.
- C. Settlement. The applicant/owner shall not be required to pay or perform any settlement unless such applicant/owner has approved the settlement. When representing the COUNTY, the applicant/owner shall not enter into any stipulation or settlement modifying or affecting the interpretation or validity of any of the terms or conditions of the development approval without the prior written consent of the COUNTY.
- D. Successors Bound. The "applicant/owner" shall include the applicant and/or the owner and the successor(s) in interest, transferee(s), and assign(s) of the applicant and/or the owner.

Minor variations to this permit which do not affect the overall concept or density may be approved by the Planning Director at the request of the applicant or staff in accordance with Chapter 18.10 of the County Code.

Please note: This permit expires three years from the effective date listed below unless a building permit is obtained for the first phase of the project consisting of one of the primary structures described in the development permit (does not include demolition, temporary power pole or other site preparation permits, or accessory structures unless these are the primary subject of the development permit). Failure to exercise the building permit and to complete all of the construction under the building permit, resulting in the expiration of the building permit, will void the development permit, unless there are special circumstances as determined by the Planning Director.

Approval Date: _____

Effective Date: _____

Expiration Date: _____

Jocelyn Drake
Deputy Zoning Administrator

Appeals: Any property owner, or other person aggrieved, or any other person whose interests are adversely affected by any act or determination of the Zoning Administrator, may appeal the act or determination to the Planning Commission in accordance with chapter 18.10 of the Santa Cruz County Code.

WALKER RESIDENCE

GROSS BUILDING AREA WORKSHEET

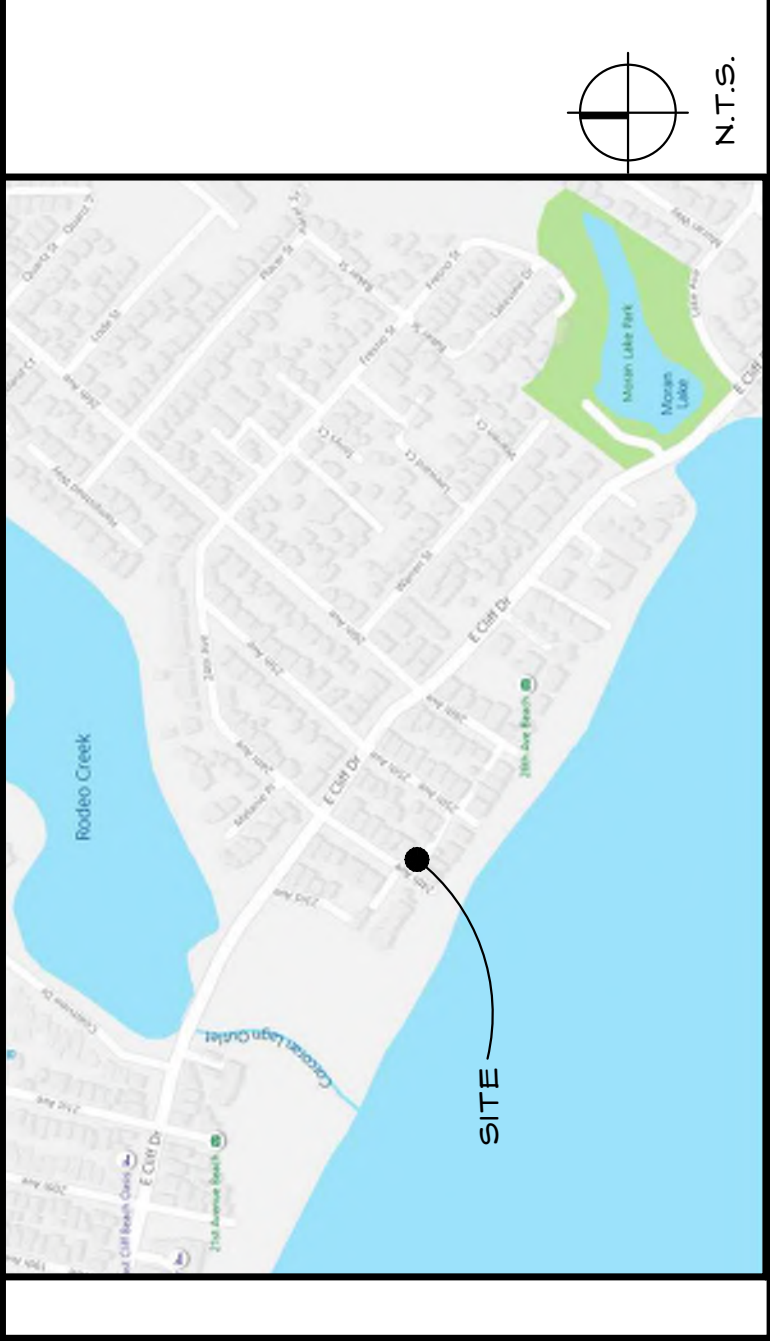
LOT COVERAGE CALCULATION		HEATED SPACE CALCULATION	
1. ZONE DISTRICT:	1) R-1-4-PP	1. TOTAL HEATED SPACE:	1,925 sq.ft.
2. PARCEL AREA:	2) 4,000 sq.ft.	A) FIRST FLOOR	1,341 sq.ft.
3. AREA OF RIGHTS-OF-WAY:	3) 0 sq.ft.	B) SECOND FLOOR	2,066 sq.ft.
4. NET PARCEL AREA (#2-#3):	4) 4,000 sq.ft.	1)	
5. COVERAGE BY STRUCTURES:	5) 1,773 sq.ft.		
6. PARCEL COVERAGE (#5/#4 x 100):	5) 44.3%		

FLOOR AREA CALCULATION BY TYPES OF SPACE

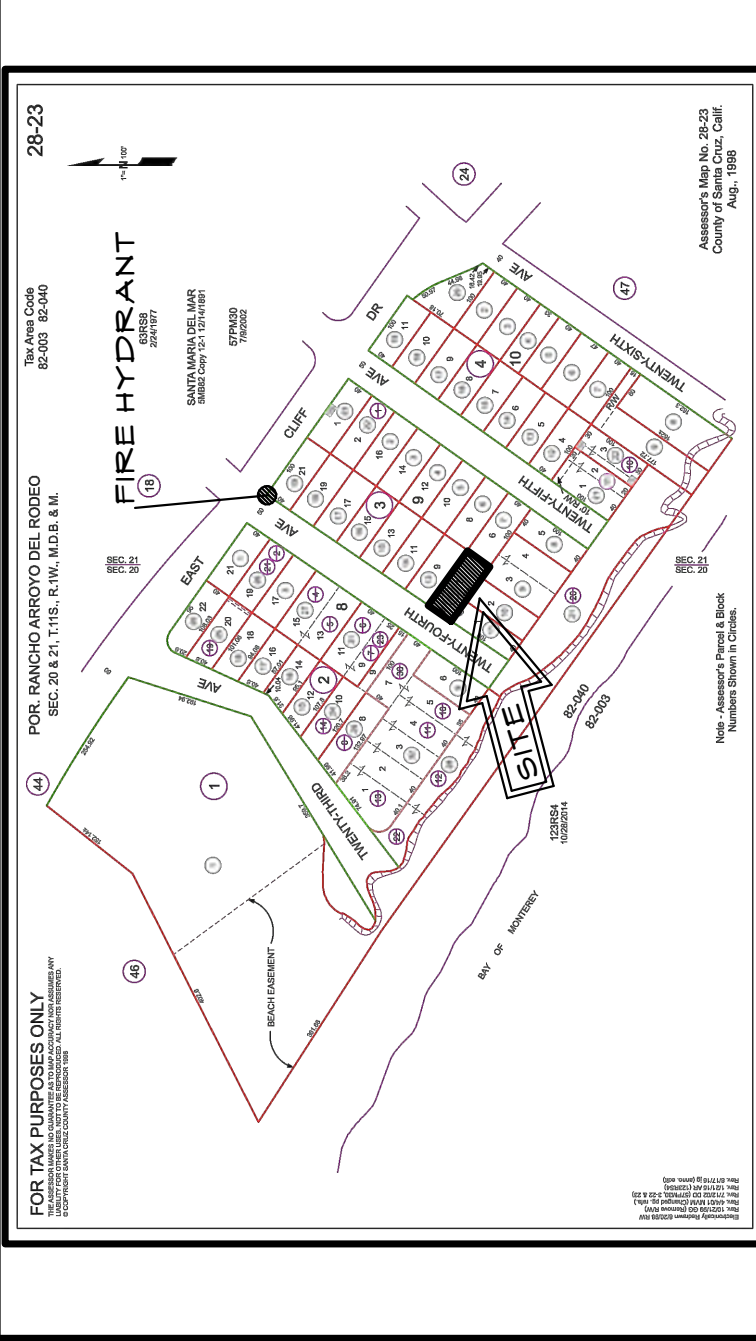
SEE SHEET A1 FOR FLOOR AREA DIAGRAM

1. BASEMENT:	NONE	1) N/A	7) TRELIS AND ARBOR:	NONE	7) 0 sq.ft.
2. FIRST FLOOR:					
A) AREA W/ CEILINGS LESS THAN 16'-0" IN HEIGHT:	727 sq.ft.				
ADU CREDIT	790 sq.ft.				
B) AREA W/ CEILINGS 16'-0" TO 24'-0" IN HEIGHT: (x2)	<800> sq.ft.				
C) AREA W/ CEILINGS GREATER THAN 24'-0" IN HEIGHT: (x3)	(e) 0 sq.ft.				
TOTAL FIRST FLOOR AREA:	727 sq.ft.				
3. SECOND FLOOR:					
	2) 1,269 sq.ft.				
4. MEZZANINE: NONE					
5. ATTIC:	N/A				
IF ANY PART OF ATTIC IS 7'-6" OR GREATER THAN 5'-0" IN HEIGHT:					
6. (B) GARAGE:					
A) TOTAL GARAGE AREA:	INCLUDED				
B) GARAGE CREDIT	249 sq.ft.				
C) TOTAL GARAGE AREA	<225 sq.ft. >				
	NONE				
	6) 23 sq.ft.				
9. TOTAL FLOOR AREA OF THE BUILDING:					
SUM OF ITEMS ABOVE	2) 2,074 sq.ft.				
10. FLOOR AREA RATIO CALCULATION:					
PROPOSED FLOOR AREA (9) / NET PARCEL AREA (MAX. 52%)	10) 51.85%				
11. LARGE DWELLING CALCULATION:					
	11) N/A				

VICINITY MAP



PARCEL MAP



BUILDING INFORMATION SUMMARY

PROJECT DESCRIPTION:

MINOR EXCEPTIONS REQUESTED:

PROJECT ADDRESS:

PARCEL NUMBER:

ZONING:

OCCUPANCY TYPE:

LOT AREA:

SETBACK INFORMATION:

REQUIRED
PROPOSED

PARKING (PROVIDED):

CODE NOTE:

NEW TWO STORY SINGLE FAMILY RESIDENCE CONSISTING OF 2,068 SQ.FT. AND 790 SQ.FT. ATTACHED ACCESSORY DWELLING UNIT WITH ATTACHED 249 SQ.FT. GARAGE.

1. REDUCED SIDE YARD SETBACK ON SECOND FLOOR:

A MINOR EXCEPTION IS REQUESTED FOR A REDUCED SIDE YARD SETBACK AT A PORTION OF THE SECOND FLOOR FROM 10'-0" TO 5'-0" ON THE OCEAN SIDE PER 13.10.04. THIS ENABLES US TO MAINTAIN THE EXISTING PLANTING AND TREES ON THE OCEAN SIDE OF THE PROPERTY, WHILE KEEPING WITH THE INTENT OF THE PLEASURE POINT GUIDELINES AS THE EXISTING HOUSES ON THE OCEAN SIDE ARE SETBACK APPROX. 26 FEET FROM THE SUBJECT PROPERTY, ALLOWING FOR A TOTAL OF APPROX. 30 FEET FROM OUR REQUESTED 5'-0" SETBACK.

2. LOT COVERAGE: A MINOR EXCEPTION IS REQUESTED TO INCREASE THE LOT AREA FROM 42% TO 44.3% DUE TO THE SMALL SIZE OF THE PARCEL.

24TH AVE.

SANTA CRUZ, CA 95062

028-233-12

R-1-4-PP

R3 / U SPRINKLER

4,000 sq.ft.

GARAGE	FRONT YARD	SIDE YARD	SIDE YARD	UPPER LEVEL	REAR YARD
20'-0"	15'-0"	5'-0"	10'-0"	10'-0"	15'-0"
20'-0"	15'-0"	10'-2" + 5'-0"	10'-27' 5'-0" + 10'-0"	15'-0"	15'-0"

3 UNCOVERED, 1 COVERED

ALL WORK INDICATED ON THE PLANS SHALL COMPLY WITH THE FOLLOWING CODES:

- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA ELECTRIC CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS
- 2019 CALIFORNIA ENERGY STANDARDS
- SANTA CRUZ COUNTY CODE AMENDMENTS

NOTES

1. ALL CONSTRUCTION MUST CONFORM TO THE RECOMMENDATION OF THE SOILS REPORT NUMBERED 18039 PREPARED BY ROCK SOLID ENGINEERING DATED DECEMBER 6, 2018 AND ADDENDUM DATED SEPTEMBER 18, 2020
2. CALIFORNIA ENERGY COMPLIANCE: HRES TESTING REQUIRED PER ENERGY COMPLIANCE FORMS
3. ALL CREDITED WASTE HAULING RECEIPTS MUST INDICATE THE MATERIAL RECYCLED, AND CANNOT INDICATE "PUBLIC REFUSE" OR "UNPROCESSED C&D". RETAIN ALL WASTE HAULING RECEIPTS FOR INSPECTOR. RECEIPTS MUST INDICATE 65% SEPARATED, RECYCLABLE MATERIALS.

FIRE PROTECTION NOTES

1) THESE PLANS ARE IN COMPLIANCE WITH CALIFORNIA BUILDING AND FIRE CODES (C.B.C. AND C.F.C.) AND ALL FIRE PROTECTION DISTRICT AMENDMENTS.

2) BUILDING SHALL BE PROTECTED BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM COMPLYING WITH THE EDITION OF NFPA 13D CURRENTLY ADOPTED IN CHAPTER 35 OF THE CALIFORNIA BUILDING CODE.

3) FIRE SPRINKLER DESIGNER / INSTALLER SHALL SUBMIT TWO (2) SETS OF PLANS, CALCULATIONS, AND CUT SHEETS FOR THE UNDERGROUND AND OVERHEAD RESIDENTIAL SPRINKLER SYSTEM TO CENTRAL FIRE DEPARTMENT FOR APPROVAL. FIRE DEPARTMENT SHALL FOLLOW GUIDE SHEET PROVIDED BY CENTRAL FIRE DEPARTMENT.

4) AN APPROVED SPARK ARRESTOR SHALL BE INSTALLED AT THE TOP OF CHIMNEY. WIRE MESH NOT TO EXCEED 2 INCH.

5) ROOF COVERING SHALL BE NO LESS THAN CLASS 'B' RATED ROOF.

6) ADDRESS NUMBERS SHALL BE MINIMUM 4 INCH HIGH, CONTRASTING TO THE BACKGROUND.

7) A 30-FOOT CLEARANCE WILL BE MAINTAINED WITH NON-COMBUSTIBLE VEGETATION AROUND ALL STRUCTURES.

8) FIRE HYDRANT INFORMATION:

LOCATION: INTERSECTION OF 24TH AVE. & EAST CLIFF DR.
FIRE FIGHT # 25
STATIC PRESSURE (PSI): 90
RESIDUAL PRESSURE (PSI): 80
FLOW (GPM): 1,162
DATE TESTED: 10/31/2010
TESTED BY: ROCK SOLID ENGINEERING
CONNECTED TO 6" WATER MAIN

NOTE: NO TRENCHING REQUIRED IN THE RIGHT-OF-WAY

CONTACTS

OWNER:

JESSICA WALKER
233 MONDRIAN CT.
EL DORADO HILLS, CA 95762
(650) 868-6266

PROJECT DESIGNER:

DEREK VAN ALSTINE RESIDENTIAL DESIGN, INC.
DEREK VAN ALSTINE
1535 SEABRIGHT AVE SUITE 200
SANTA CRUZ, CA 95062
PH: (831) 426-6846
FAX: (831) 426-6446
derek@vanalstine.com

STRUCTURAL ENGINEER:

REDWOOD ENGINEERING
LEONARD WILLIS, P.E.
1535 SEABRIGHT AVE SUITE 200
SANTA CRUZ, CA 95062
PH: (831) 426-6846
FAX: (831) 426-6446
LEONARD@REDWOODENGINEERING.NET

LANDSCAPE ARCHITECT

ELLEN COOPER & ASSOCIATES
ELLEN COOPER
614 MONDRIAN ST
SANTA CRUZ, CA 95062
PH: (831) 426-6845
FAX: (831) 426-6845

SURVEYOR

EDMONSON & ASSOC. LAND SURVEYING
OLIN EDMONSON
1512 SEABRIGHT AVE
SANTA CRUZ, CA 95062
PH: (831) 425-1796

GEOTECHNICAL ENGINEER:

ROCK SOLID ENGINEERING
ROCK SOLID ENGINEERING
1100 MAIN STREET, SUITE A
WATSONVILLE, CA 95076
PH: (831) 724-5966

DRAWING INDEX

BUILDING DESIGN

- T1 TITLE SHEET
- T1 SURVEY
- L1 LANDSCAPE PLAN
- A1 SITE PLAN
- A1.1 SITE PLAN-NEIGHBORHOOD CONTEXT
- A1.2 SITE PLAN-SHADOW STUDY
- A2 LOWER LEVEL FLOOR PLAN
- A3 UPPER LEVEL FLOOR AND ROOF PLAN
- A4 EXTERIOR ELEVATIONS
- A5 EXTERIOR ELEVATIONS

CIVIL DRAWINGS

- C1.0 SITE PLAN
- C2.0 GRADING AND DRAINAGE PLAN
- C3.0 DETAILS
- C4.0 EROSION CONTROL PLAN & DETAILS

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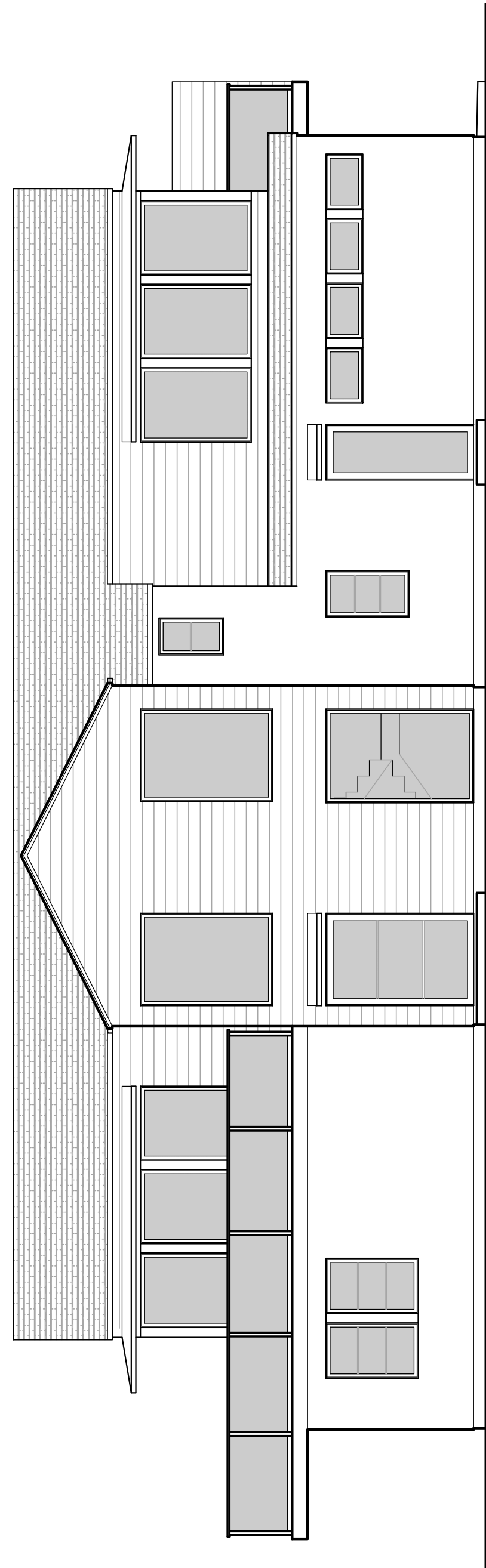
A1.2

A2

A3

A4

A5



DEREK VAN ALSTINE
RESIDENTIAL DESIGN INC.
1535 SEABRIGHT AVENUE SUITE 200, SANTA CRUZ, CALIFORNIA
(831) 426-8400 PHONE (831) 426-8446 FAX

DVRD INC.
DEREK VAN ALSTINE
DESIGNER
REGISTERED ARCHITECT
AL0000000000

WALKER RESIDENCE
24th AVE.
SANTA CRUZ, CA 95062

PLAN 028-233-12

ISSUE DESCRIPTION

SCHEMATIC DESIGN
OCT. 14, 2020
DESIGN DEVELOPMENT

PLANNING SUBMITTAL

FEB. 11, 2021

ROLLING SUBMITTAL

REVISIONS

JULY 06, 2021

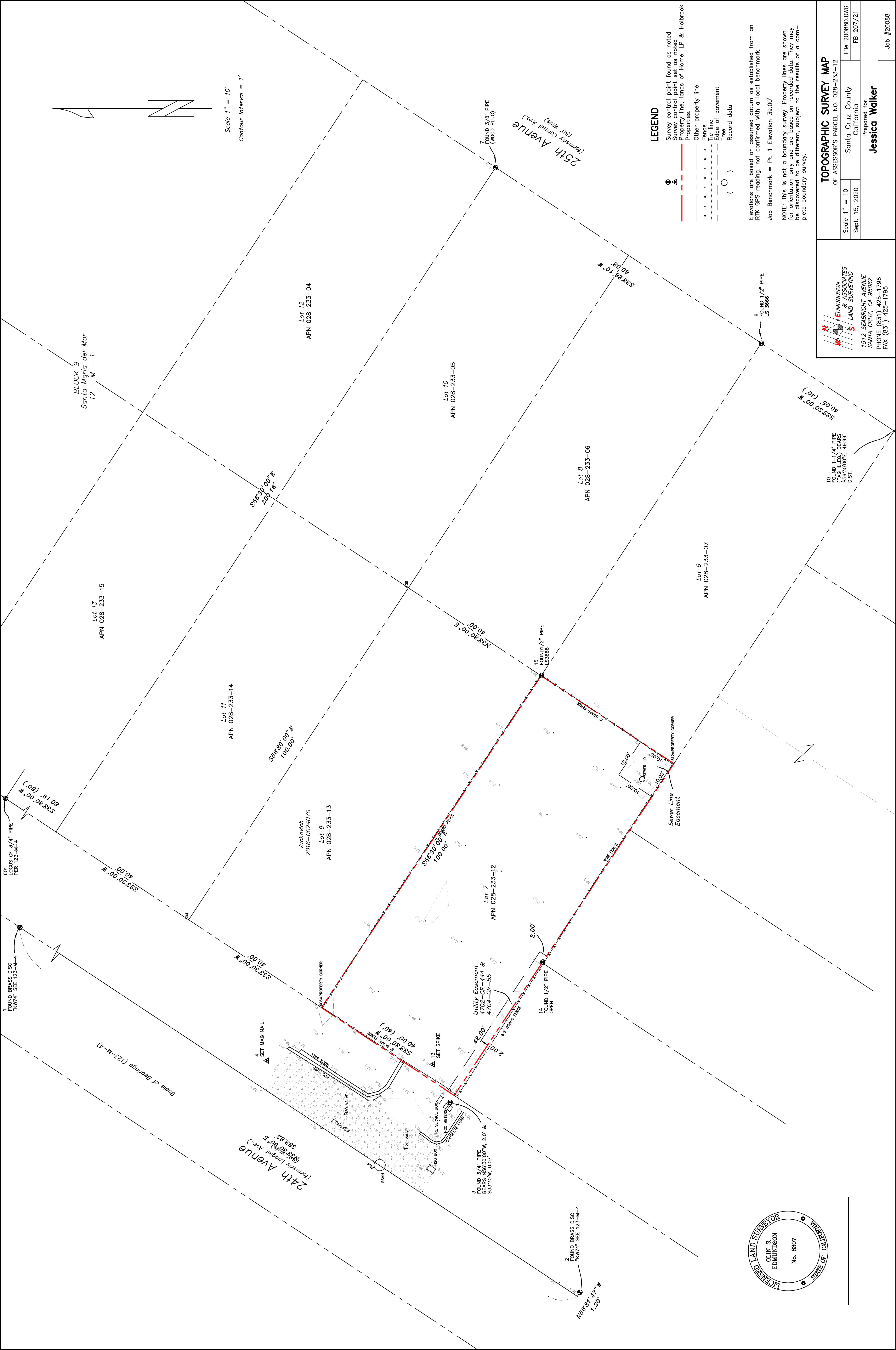
AUG. 24, 2021

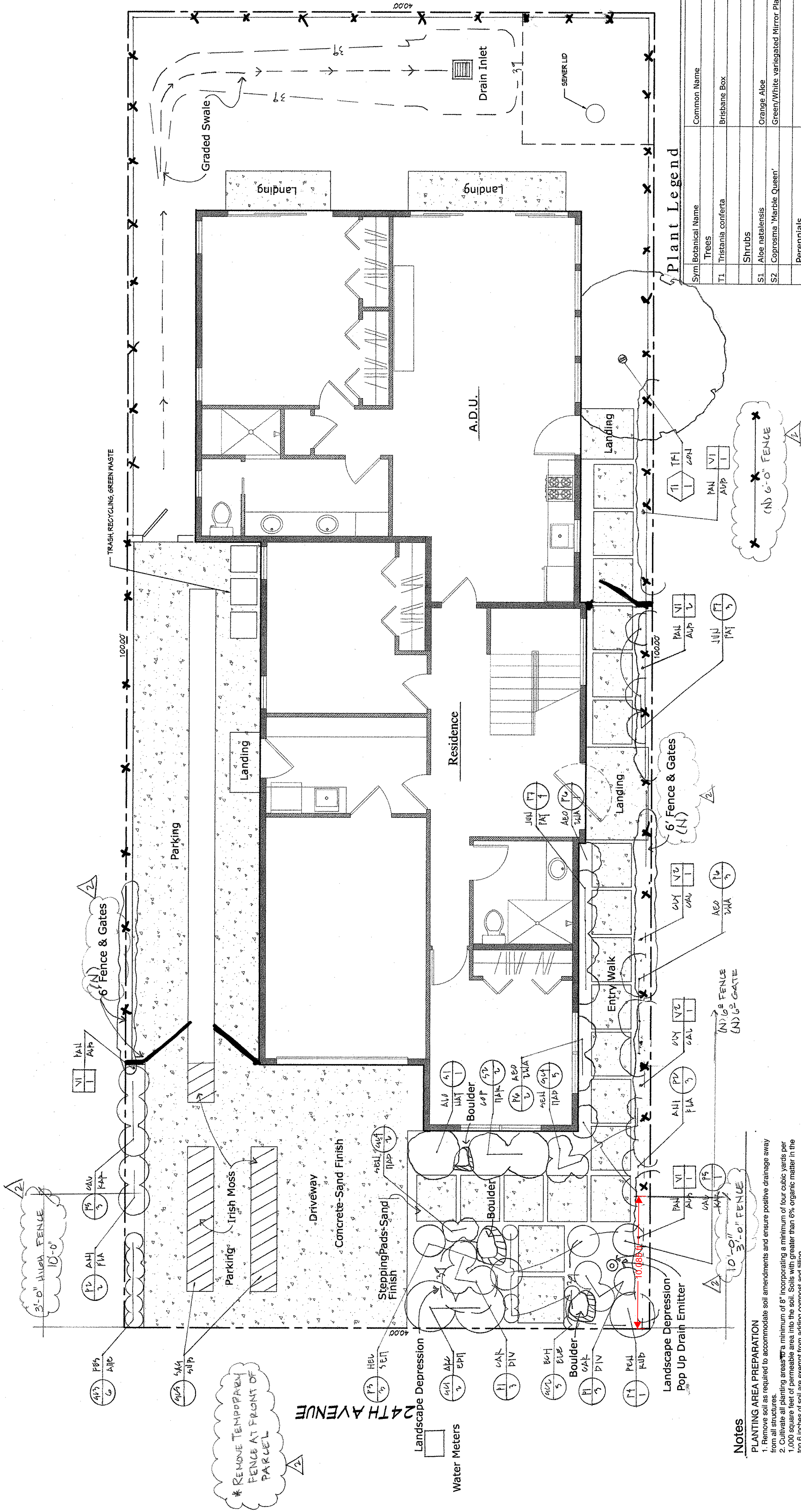
P.C. COMMENTS

P.C. COMMENTS

TITLE SHEET

T1





Notes

- Remove soil as required to accommodate soil amendments and ensure positive drainage away from building.
 - Cultivate all planting areas to a minimum of 6" incorporating a minimum of four cubic yards per 1,000 square feet of permeable area into the soil. Soils with greater than 8% organic matter in the top 6 inches of soil are exempt from adding compost and tilling.
 - After the completion of all grading and underground construction, all planting areas shall be finished graded, to smooth, even surfaces with positive drainage per existing topography or to drainage swales or structures.
 - Existing plants to be saved shall be protected from injury.
 - No stakes or plants or materials to be saved shall be located within the drip line of any plant.
- QUALITY OF PLANT MATERIALS**
- All plant material shall be nursery grown, healthy and free from diseases and pests.
 - Plants not conforming to common nursery standards or found unacceptable by the Landscape Architect will be considered defective and shall be replaced at no additional cost to the owner.
 - Plants shall be protected from drying out, wind burn and injury during handling and storage.
- INSTALLATION**
- Planting holes shall be as deep as the root ball and 3 times the width of the root ball.
 - Each plant shall have a pre-made or site-made gopher basket of the appropriate size.
 - Backfill for the planting holes shall be 80% site soil and 20% blend mushroom compost.
 - All plant material shall be secured with 3" of burlap or other approved material, except in turf areas, ensuring or rooting groundcovers, or direct seeding applications. All trees shall be staked with 2" x 10" lodge pole pine tree stake outside the root ball and secured with two rubber tree ties.

LANDSCAPE PLAN

SCALE: 1/4" = 1'-0"

Plant Legend

Sym	Botanical Name	Common Name	Size	Quan
T1	Tristania conferta	Brisbane Box	15GC	1
S1	Aloe natalensis	Orange Aloe	5GC	1
S2	Coprosma 'Marble Queen'	Green/White variegated Mirror Plant	5GC	2
P1	Carex divulca	Berkeley Sedge (grass)	1GC	6
P2	Angoanthos flavidis	Yellow Kangaroo Paw	5GC	5
P3	Helictotrichon sempervirens	Blue-leaf Oat Grass	1GC	3
P4	Pennisetum rubrum	Red-leaf Fountain Grass (deciduous)	1GC	1
P5	Calamagrostis 'Karl Forester'	Reed Grass	1GC	4
P6	Aeonium 'Zwartkop'	Dark Burgundy Tree Aeonium	1GC	6
P7	Jurcus patens	California Rush	1GC	7
GC1	Arctostaphylos edmundsii 'Little Sur'	Little Sur Manzanita	1GC	2
GC2	Echevaria elegans	Hen and Chicks	1GC	5
GC3	Festuca amethystina 'Superba'	Large Blue Fescue	1GC	6
GC4	Senecio madraliscae	Blue Chalk Fingers	1GC	7
GC5	Sagina subulata	Irish Moss	Fr. Flats	
V1	Pandora 'Alba'	White Bower Vine	5GC	4
V2	Clytostoma callestegiodes	Violet Trumpet Vine	5GC	2



NOTE: 130 24TH AVENUE
ENJOYS PERMITTED ROOF
DECK WITH UNOBSTRUCTED
VIEW. NO VIEW MITIGATION
NECESSARY.
SCREENING WILL BE PROVIDED
ON THE NORTH END OF REAR
DECK IF THE NEIGHBORS
REQUEST IT.

DEREK VAN ALSTINE
RESIDENTIAL DESIGN INC.
1535 SEABRIGHT AVENUE SUITE 200, SANTA CRUZ, CALIFORNIA
(831)426-8400 PHONE (831)426-8446 FAX

DVRD
DEREK VAN ALSTINE
DESIGNER
24th AVENUE
SANTA CRUZ, CA 95062

WALKER RESIDENCE
24th AVE.
SANTA CRUZ, CA 95062

028-233-112

ISSUE DESCRIPTION

SCHMATIC DESIGN
OCT. 14, 2020

DESIGN DEVELOPMENT

PLANNING SUBMITTAL:
FEB. 11, 2021

BUILDING SUBMITTAL

REVISIONS

△ JULY 06, 2021
P.C. COMMENTS

△ AUG. 24, 2021
P.C. COMMENTS

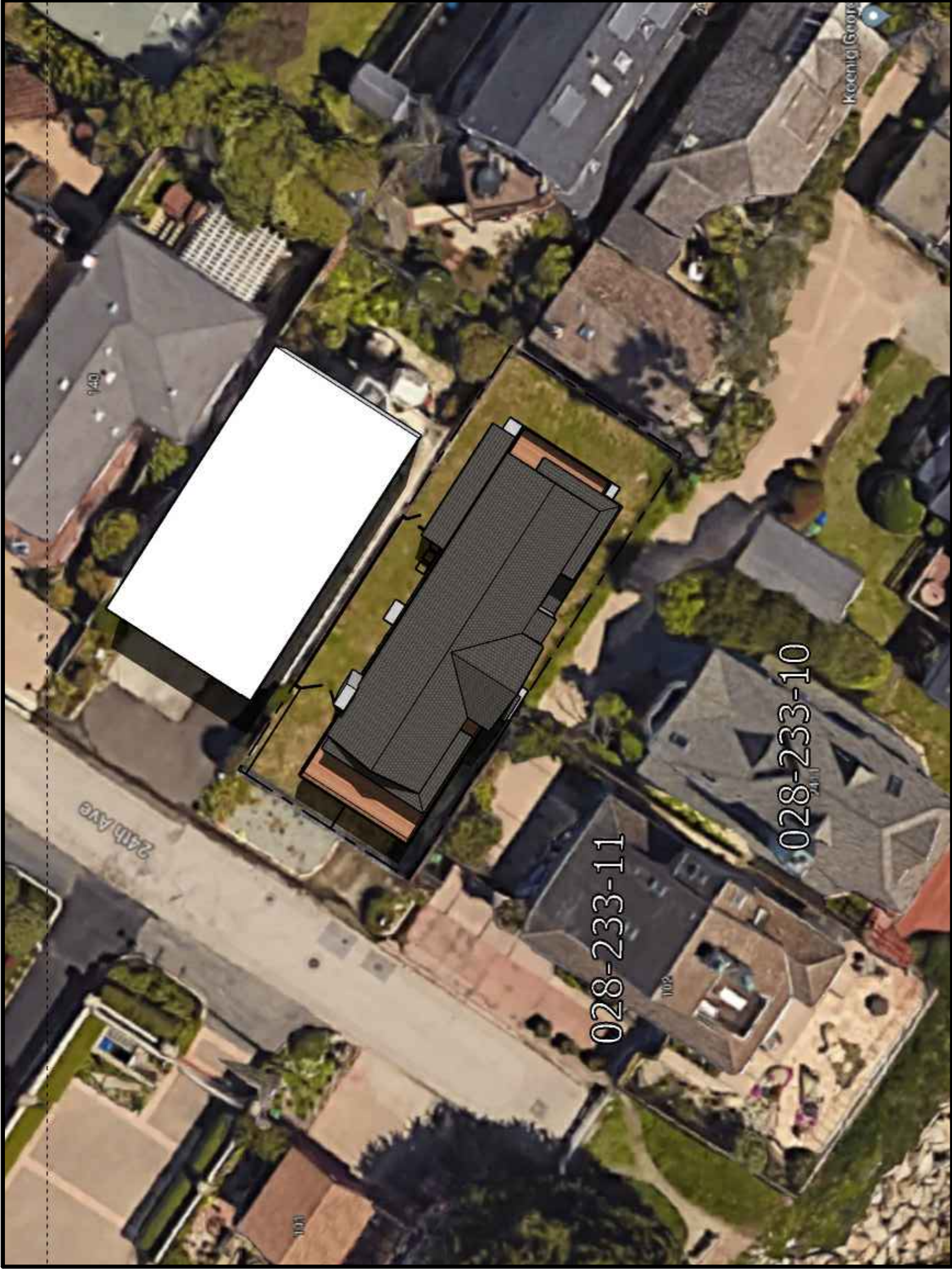
SITE PLAN-
NEIGHBORHOOD
STUDY

A 1.1

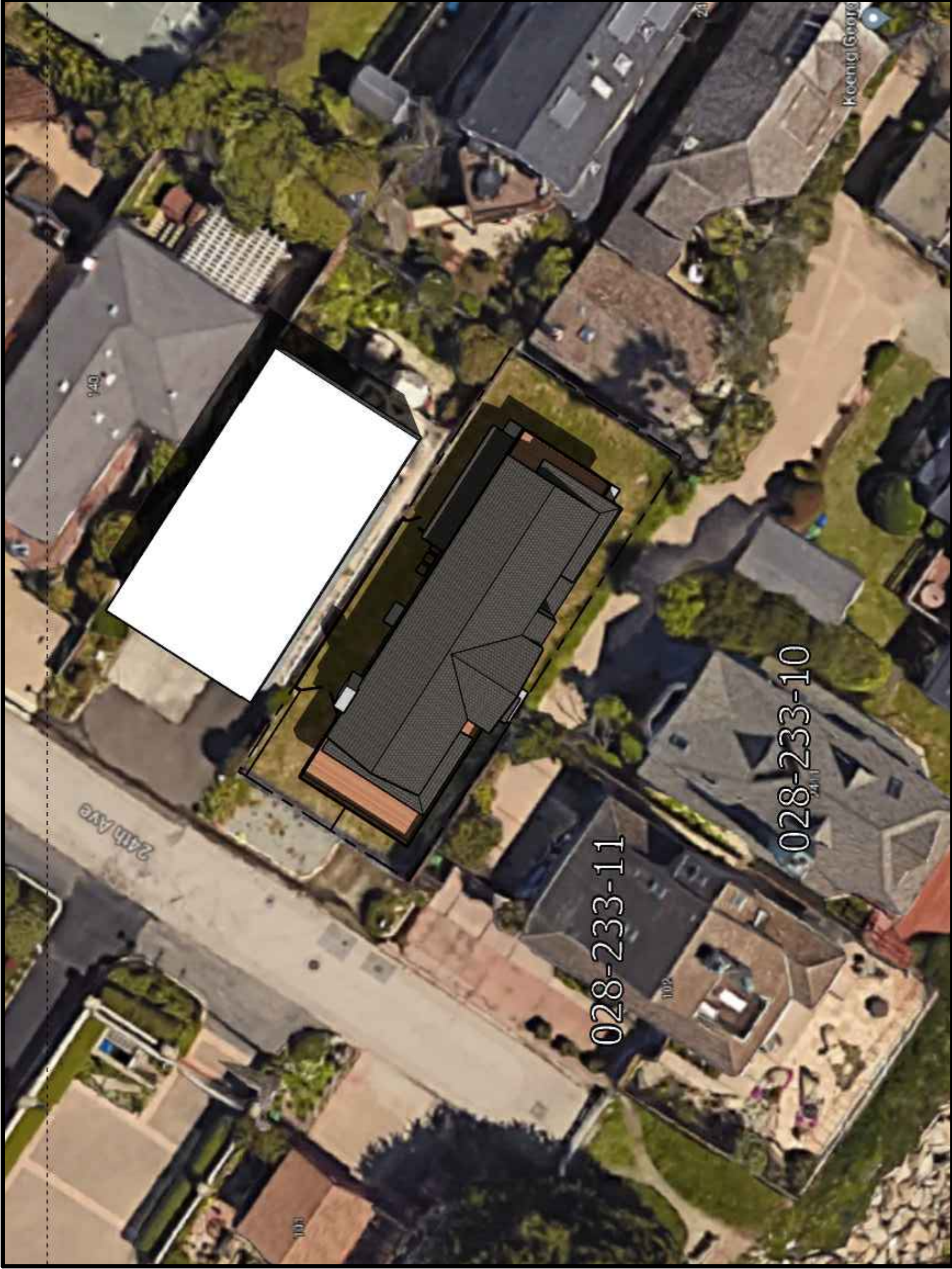
1 SITE PLAN- NEIGHBORHOOD CONTEXT

SCALE: 1/16"=1'-0"

JUNE 21 - 10AM



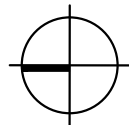
JUNE 21 - 2PM



DECEMBER 21 - 10AM



DECEMBER 21 - 2PM



1 SITE PLAN- SHADOW STUDY

SCALE: NOT TO SCALE

BUILDING GEOLOCATED AT 36.958761N - 121.982428W

DEREK VAN ALSTINE
RESIDENTIAL DESIGN INC.
1535 SEABRIGHT AVENUE SUITE 200, SANTA CRUZ, CALIFORNIA
(831)426-8400 PHONE (831)426-8446 FAX

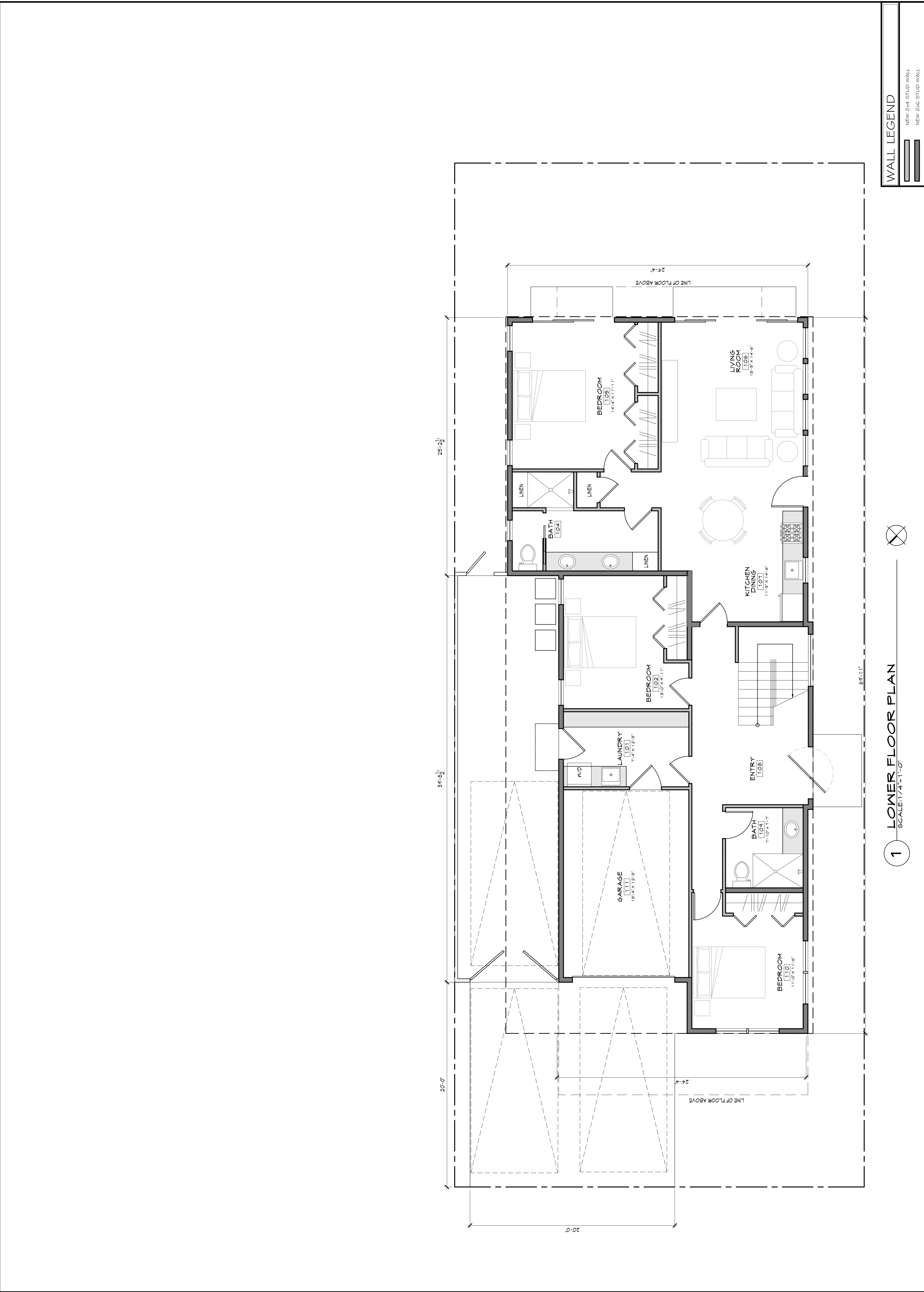
DVRD
DEREK VAN ALSTINE
DESIGNER
ALL RIGHTS RESERVED

WALKER RESIDENCE
24th AVE.
SANTA CRUZ, CA 95062

PK	028-233-112
ISSUE DESCRIPTION	
SCHMATIC DESIGN	OCT. 14, 2020
DESIGN DEVELOPMENT	
PLANNING SUBMITTAL	FEB. 11, 2021
BUILDING SUBMITTAL	
REVISIONS	
△	JULY 06, 2021 P.C. COMMENTS
△	AUG. 24, 2021 P.C. COMMENTS

SITE PLAN-
SHADOW
STUDY

A1.2



WALL LEGEND

NEW 2x4 STUD WALL

NEW 2x6 STUD WALL

1 LOWER FLOOR PLAN

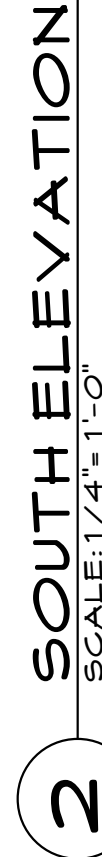
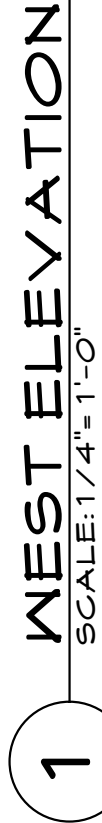
SCALE: 1/4" = 1'-0"



3 ROOF PLAN
SCALE: 1/4" = 1'-0"



2 UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"



EXTERIOR
ELEVATIONS

FOR TAX PURPOSES ONLY

THE ASSESSOR MAKES NO GUARANTEE AS TO MAP ACCURACY NOR ASSUMES ANY LIABILITY FOR OTHER USES. NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.

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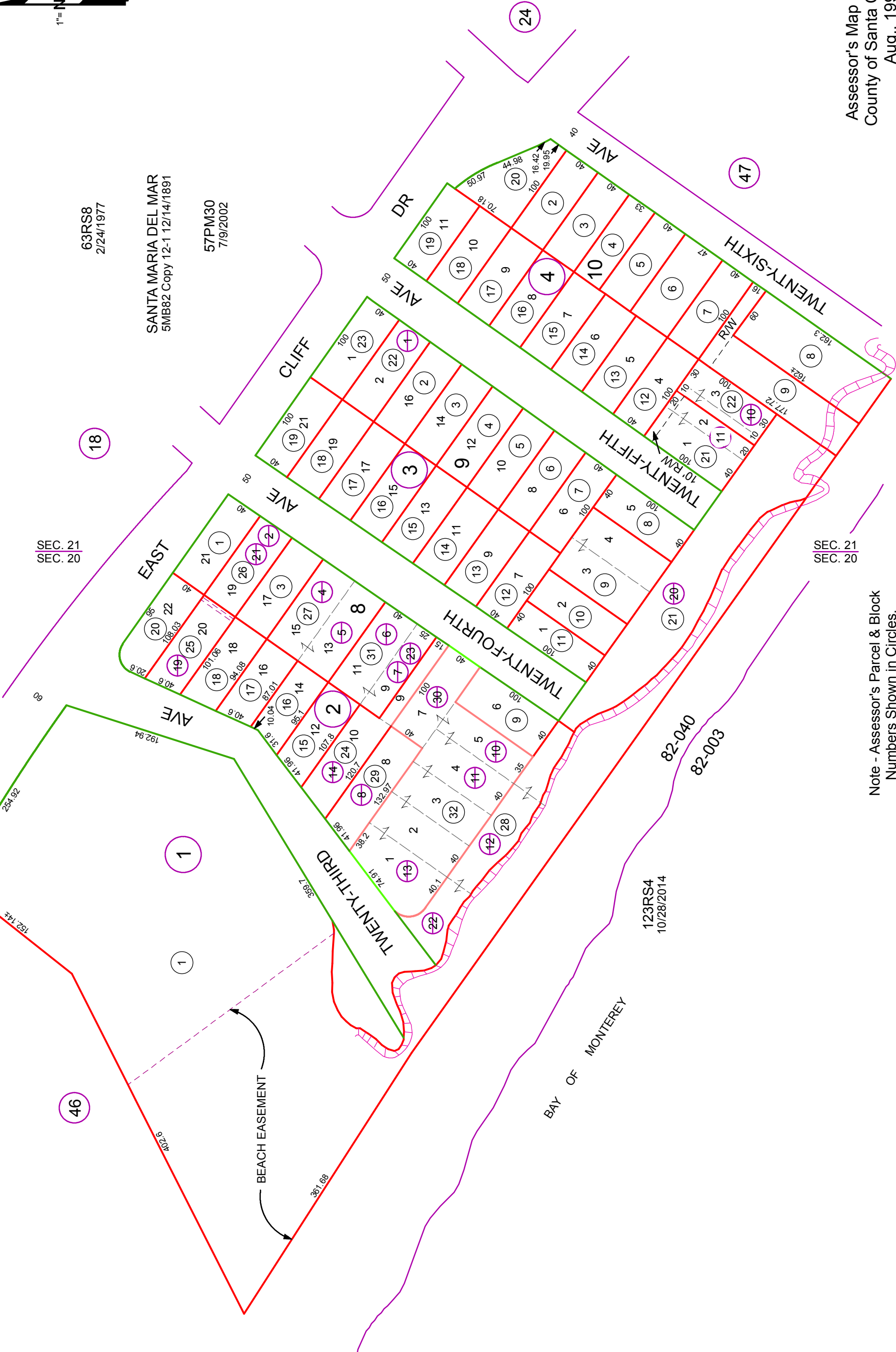
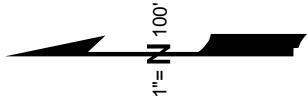
POR. RANCHO ARROYO DEL RODEO

SEC. 20 & 21, T.11S., R.1W., M.D.B. & M.

Tax Area Code

82-003 82-040

28-23



SEC. 21

SEC. 20

SEC. 21

SEC. 20

Electronically Redrawn 8/20/98 RW
Rev. 10/21/99 GG (Remove R/W)
Rev. 4/4/01 MVM (Changed pg. refs.)
Rev. 7/12/02 DD (57PM30, 3-22 & 23)
Rev. 1/21/15 AR (123RS4)
Rev. 8/17/16 Jg (anno. edit)

Note - Assessor's Parcel & Block
Numbers Shown in Circles.

Assessor's Map No. 28-23

County of Santa Cruz, Calif.

Aug., 1998

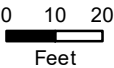
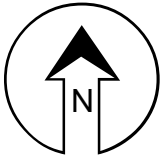


Parcel Location Map



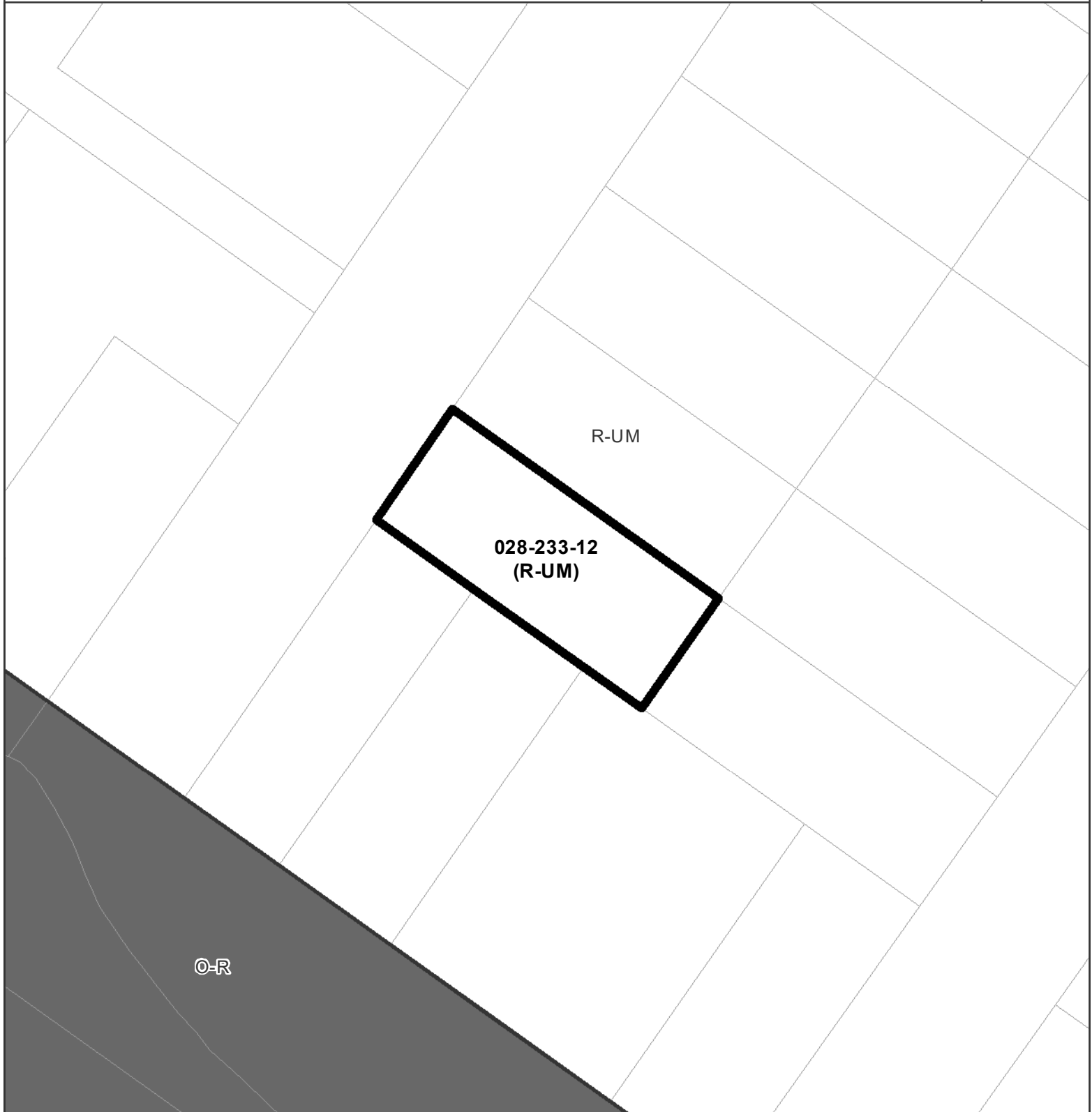
Parcel: 02823312



- Study Parcel
- Assessor Parcel Boundary

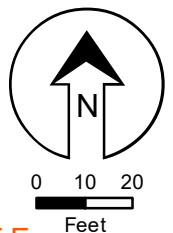




Parcel General Plan Map

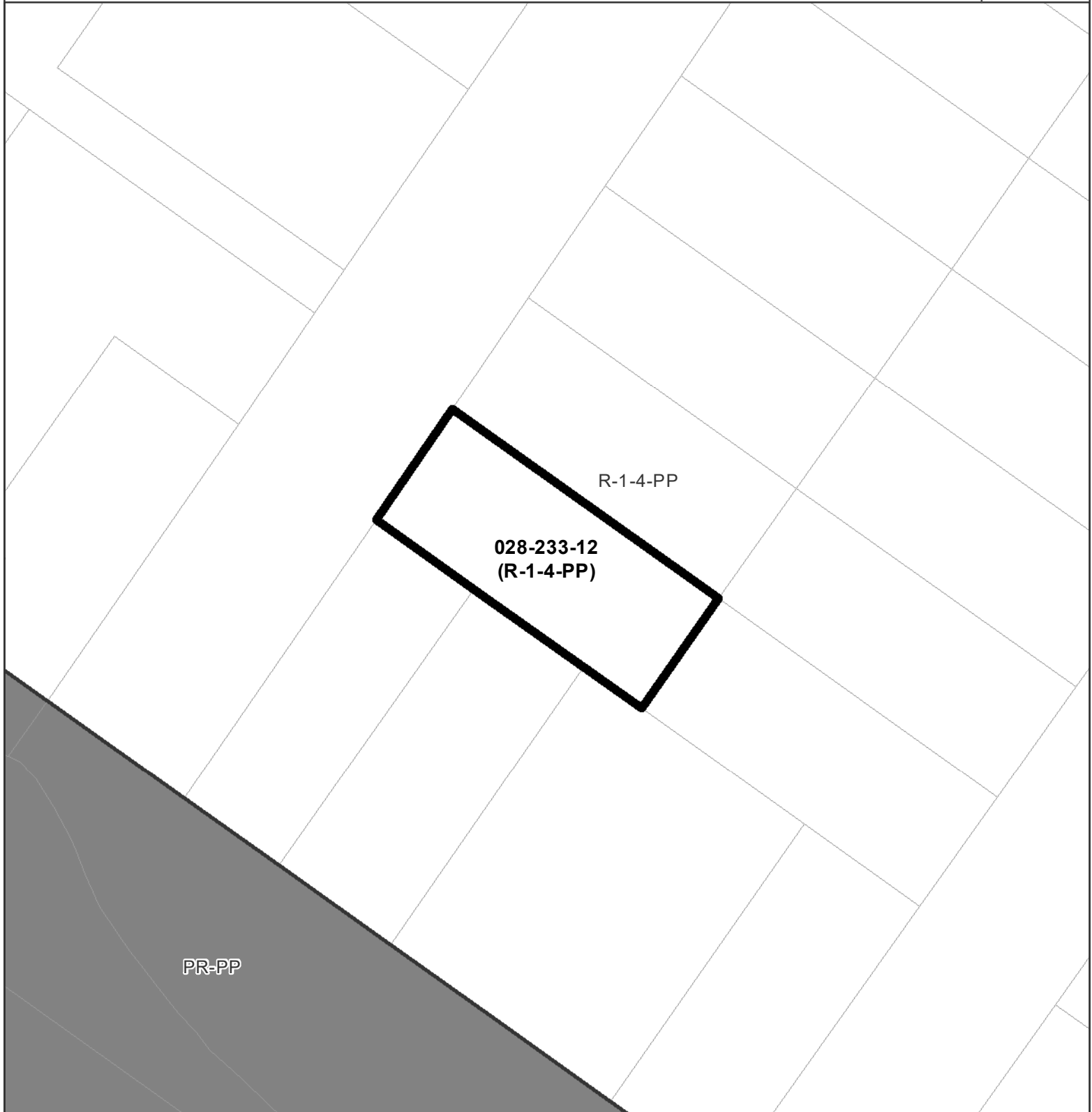




-  O-R *Parks, Recreation & Open Space*
-  R-UM *Res. Urban Medium Density*

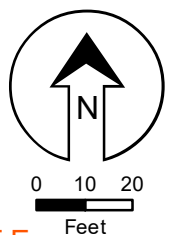




Parcel Zoning Map



-  PR *Parks, Recreation, & Open Space*
-  R-1 *Single-Family Residential*



Parcel Information

Services Information

Urban/Rural Services Line: X Inside ___ Outside
Water Supply: City of Santa Cruz
Sewage Disposal: County of Santa Cruz Sanitation District
Fire District: Central
Drainage District: Zone 5

Parcel Information

Parcel Size: 4,000 sq.ft.
Existing Land Use - Parcel: Vacant
Existing Land Use - Surrounding: Single-family Residential
Project Access: Public street
Planning Area: Live Oak
Land Use Designation: R-UM (Urban Medium Density Residential)
Zone District: R-1-4-PP (Single family residential - 4,000 square feet, Pleasure Point Combining District)
Coastal Zone: X Inside ___ Outside
Appealable to Calif. Coastal Comm. X Yes ___ No

Technical Reviews: Soils Report Review (REV211121)

Environmental Information

Geologic Hazards: Not mapped/no physical evidence on site
Fire Hazard: Not a mapped constraint
Slopes: N/A
Env. Sen. Habitat: No physical evidence on site
Grading: No grading proposed other than foundation
Tree Removal: No trees proposed to be removed
Scenic: Not a mapped resource
Archeology: Not mapped/no physical evidence on site

SANTA CRUZ COUNTY PARCEL INFORMATION DETAIL REPORT

PARCEL INFORMATION	
APN	02823312
ESTIMATED ACREAGE	0.0900
ESTIMATED SQ. FT.	3920.4000
SITUS ADDRESS	
SITUS CITY STATE ZIP	
OWNER NAME	HOLBROOK PROPERTIES LP
OWNER ADDRESS	233 MORDRAIN CT
OWNER CITY STATE ZIP	EL DORADO HILLS, CA 95762
HOME OWNER EXEMPTION	
ASSESSOR USE CODE	050
ASSESSOR USE CODE DESCRIPTION	050-LOT/RURAL ZONE
MAP BOOK	028
TAX CODE AREA	82-040
LAND USE & GENERAL PLAN	
ZONING	R-1-4-PP
200ft of CA ZONING or Ag Resource	No
ADJACENT TO TP ZONING	No
GENERAL PLAN DESIGNATION	R-UM
GENERAL PLAN DESIGNATION DESCRIP.	Urban Medium Residential
GENERAL PLAN FUTURES	n/a
GENERAL PLAN PUBLIC FACILITIES	n/a
GENERAL PLAN PUBLIC FACILITIES DESCRIP.	n/a
GENERAL PLAN PARKS	n/a
GENERAL PLAN SPECIAL COMMUNITIES	n/a
GENERAL PLAN SPECIAL COMMUNITIES DESCRIP.	n/a
GENERAL PLAN BOUNDARIES	LIVE OAK
GENERAL PLAN SCENIC AREAS	n/a
WITHIN RURAL SERVICES LINE	No
WITHIN URBAN SERVICES LINE	Yes
ARCHEOLOGICAL RESOURCES	No
EXISTING PARKS	n/a
AIRPORT CLEAR ZONES	n/a
AGRICULTURAL RESOURCES	n/a
NO SHOOT AREAS	8.28.030(B)
COASTAL ZONE	Yes
COASTAL ZONE RESIDENTIAL EXCLUSION	Not in Residential Exclusion Area

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COASTAL ZONE APPEAL JURISDICTION	Coastal Zone Appeal Jurisdiction
CODE COMPLIANCE AREA	CCA-MID COUNTY
PLANNER TEAM AREA	MID COUNTY-PLANNING TEAM AREA
ENVIRONMENTAL PLANNER TEAM AREA	North Coast & Live Oak
SPECIAL DESIGN REVIEW	n/a
BUILDING INSPECTION AREA	BLDINS-AREA3
400 ft. INDEX GRID	106-400GRID
USGS GRID	SOQUEL-USGS
AIRPORT INFLUENCE AREA	
PLACEHOLDER	n/a
BIOTIC AND WATER RESOURCES	
TIMBER RESOURCES	No
GRASSLANDS	No
RIPARIAN WOODLANDS	No
BIOTIC RESOURCES	No
SPECIAL FOREST	No
SANDHILL HABITAT	n/a
SANDHILLS IPHCP	n/a
FISHERY RESOURCE	n/a
GROUND WATER RECHARGE	No
BASINS	Soquel
WATERSHEDS	Arana-Rodeo
RESERVOIR PROTECTION	No
WATER SUPPLY WATERSHED	No
LEAST DISTURBED WATERSHED	No
STREAM NAME	n/a
STREAM TYPE	n/a
LAKE NAME	n/a
EVAPO-TRANS	39
SCHOOL DISTRICTS & COUNTY SERVICE AREAS	
HIGH SCHOOL DISTRICT	Santa Cruz High School District
BOARD OF EDUCATION TRUSTEES	Board of Education Trustee Area 4
SAN LORENZO TRUSTEES	n/a
PAJARO VALLEY TRUSTEES	n/a
SCHOOL DISTRICT	Live Oak
CABRILLO COLLEGE TRUSTEES	Cabrillo College Trustee Area 3
SANTA CRUZ CITY TRUSTEES	Santa Cruz City Schools Trustee Area 4

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SANITATION REPAY AREA	n/a
ROAD DISTRICT	MID
REFUSE AREA	Waste Management, Inc.
ZONES OF BENEFIT	CSA 11 Parks and Recreation
COUNTY SERVICE AREA 9A	CSA-9A
COUNTY SERVICE AREA 9B	CSA-9B
COUNTY SERVICE AREA 9C	CSA-9C
COUNTY SERVICE AREA 9D	Zone 2
ROAD MAINT. COUNTY SERVICE AREA	n/a
ROAD MAINT. COUNTY SERVICE AREA SOI*	n/a
COUNTY SERVICE AREA 38	CSA-38
COUNTY SERVICE AREA 38 SOI*	CSA-38-SOI
COUNTY SERVICE AREA 53	CSA-53
COUNTY SERVICE AREA 53 SOI*	CSA-53-SOI
HAZARDS & GEOPHYSICAL	
FAULT ZONE	n/a
DFIRM PANEL NUMBER	06087C0353F
FLOODWAY	n/a
FLOOD ZONE	n/a
STATE RESPONSE AREA	LRA
HIGH FIRE HAZARD AREA	n/a
FIRE SERVICE AREA	Central FPD
FIRE HAZARD AREA	No
SOIL EXPANSIVE	Yes
SOIL PERMEABILITY	Low to Very Low Permeability HydroGroups C/D
GEOLOGIC PALEONTOLOGIC	No
MINERAL RESOURCES	No
MINERAL CLASS	MRZ-4
MINERAL DESIGNATION	n/a
SPECIAL DISTRICTS	
FIRE DISTRICT	Central FPD
FIRE DISTRICT SOI*	Central FPD SOI
WATER DISTRICT	n/a
WATER DISTRICT SOI*	n/a
PAJARO VALLEY WATER MGMT AGENCY	n/a
SANITATION DISTRICT	Santa Cruz Sanitation District
SANITATION DISTRICT SOI*	CSA 12 Septic Maintenance; Santa Cruz Sanitation District
FLOOD CONTROL DISTRICT	Flood Control Zone 5

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RECREATION DISTRICT	CSA 11 Parks and Recreation
PAJARO VALLEY CEMETARY DISTRICT	n/a
PAJARO VALLEY CEMETARY DISTRICT SOI*	n/a
PORT DISTRICT	Santa Cruz Port District
RESOURCE CONSERVATION DISTRICT	Resource Conservation District
MID-PENINSULA OPEN SPACE DISTRICT	n/a
WATER SERVICE AREAS	Santa Cruz
JURISDICTIONAL	
SUPERVISORIAL DISTRICT	Supervisory District 1
CITY LIMITS	n/a
CITY LIMITS SOI*	City of Capitola Sphere of Influence
STATE ASSEMBLY DISTRICT	CA State Assembly District 29
US CONGRESSIONAL DISTRICT	US Congress District 20
US SENATE DISTRICT	SENATE-17
VOTER PRECINCT	10170
POSTAL ZIP CODE	95062

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W A T E R D E P A R T M E N T

212 Locust Street, Suite C Santa Cruz CA 95060 Phone (831) 420-5200 Fax (831) 420-5201

February 3, 2021

Derik Van Alstine
1535 Seabright Ave. #200
Santa Cruz, CA 95062

Re: APN 028-233-12 – PROPOSED NEW SINGLE FAMILY DWELLING AND ADU

Dear Mr. Van Alstine:

This letter is to advise you that the subject parcel is located within the service area of the Santa Cruz Water Department and potable water is currently available for normal domestic use and fire protection. Service will be provided to the development upon payment of the fees and charges in effect at the time of service application and upon completion of the installation, at developer expense, of any water mains, service connections, fire hydrants and other facilities required for the development under the rules and regulations of the Santa Cruz Water Department. The development will also be subject to the City's Landscape Water Conservation requirements.

At the present time:

No building permits or plans have been obtained by the City of Santa Cruz Water Department. Water system improvements may be required pending review of future plans.

This letter will remain in effect for a period of two years from the above date. It should be noted, however, that the City Council may elect to declare a moratorium on new service connections due to drought conditions or other water emergency. Such a declaration would supersede this statement of water availability.

If you have any questions regarding service requirements, please call the Engineering Division at (831) 420-5210. If you have questions regarding landscape water conservation requirements, please contact the Water Conservation Office at (831) 420-5230.

Sincerely,

Rosemary Menard
Water Director



SANTA CRUZ COUNTY SANITATION DISTRICT

701 OCEAN STREET, SUITE 410 · SANTA CRUZ, CA · 95060-4073
(831) 454-2160 · FAX (831) 454-2089 · TDD: (831) 454-2123 · WWW.SCCSD.US
MATT MACHADO, DISTRICT ENGINEER

February 12, 2021

DEREK VAN ALSTINE RESIDENTIAL DESIGN
1535 SEABRIGHT AVE, SUITE 200
SANTA CRUZ, CA 95062

SUBJECT: SEWER AVAILABILITY AND DISTRICT'S CONDITIONS OF SERVICE FOR THE FOLLOWING
PROPOSED DEVELOPMENT

APN: 028-233-12

APPLICATION NO.: N/A

PARCEL ADDRESS: VACANT LOT, 24TH AVE, SANTA CRUZ CA

PROJECT DESCRIPTION: DEVELOP A VACANT PARCEL WITH TWO SINGLE FAMILY RESIDENTIAL SEWER
CONNECTIONS

Dear Derek Van Alstine:

The District has received your inquiry regarding sewer service availability for the subject parcel(s). Sewer service is available in 24th Ave. for the subject development. No downstream capacity problem or other issue is known at this time. Note, however, that downstream sewer requirements will again be evaluated at time of Planning Permit review, at which time the District reserves the right to add or modify downstream sewer requirements, though none are anticipated at this time.

This notice is valid for one year from the date of this letter. If, after this time frame, this project has not yet received approval from the Planning Department, then this determination of availability will be considered to have expired. If that occurs or is likely to occur prior to an upcoming submittal or public hearing, please call us ahead of time for a new letter. At that time, we can evaluate the then proposed use, improvements, and downstream capacity, and provide a new letter.

Also, for your reference, we have attached a list of common items required during the review of sanitation projects. Thank you for your inquiry. If you have any questions, please call Bryan Wardlow at (831) 454-2160.

Yours truly,

MATT MACHADO
District Engineer

By: 
528D647137C44D4...
Ashleigh Trujillo
Sanitation Engineer

BW/arg:21-021.docx
Cc: Jessica Walker
233 Mondrian Court
El Dorado Hills, CA, 95762
Attachment

EXHIBIT G